



Environmental Planning Commission

Agenda Number: 03
Project Number: 1004677
Case Number: 17EPC- 40027
Hearing Date: August 10, 2017

Staff Report

Agent	Mullen Heller Architecture
Applicant	Country Club Partners LLC
Request	Site Development Plan for Building Permit
Legal Description	Lot 5 Country Club Plaza Subdivision
Location	Central Ave. SW between and Laguna Blvd. SW and San Pasquale Ave SW
Size	1.63 acres
Existing Zoning	SU-2 CLD
Proposed Zoning	Same

Staff Recommendation:

APPROVAL of Project # 1004677 Case #17EPC40027 based on the Findings on page 11 and the Conditions on page 14

Staff Planner
Maggie Gould

Summary of Analysis

This a request for Site Development Plan for Building Permit for lot 5 of the Country Club Plaza Subdivision, an approximately 1.63 acre vacant site located on Central Avenue between Laguna Blvd. and San Pasquale Ave in the southwest part of the city.

The applicant proposes a 49,814 square foot, three story building containing 58 residential units and 4,767 square feet of office space on lot. This request will complete the build out of the development. The building will contain basement level apartments.

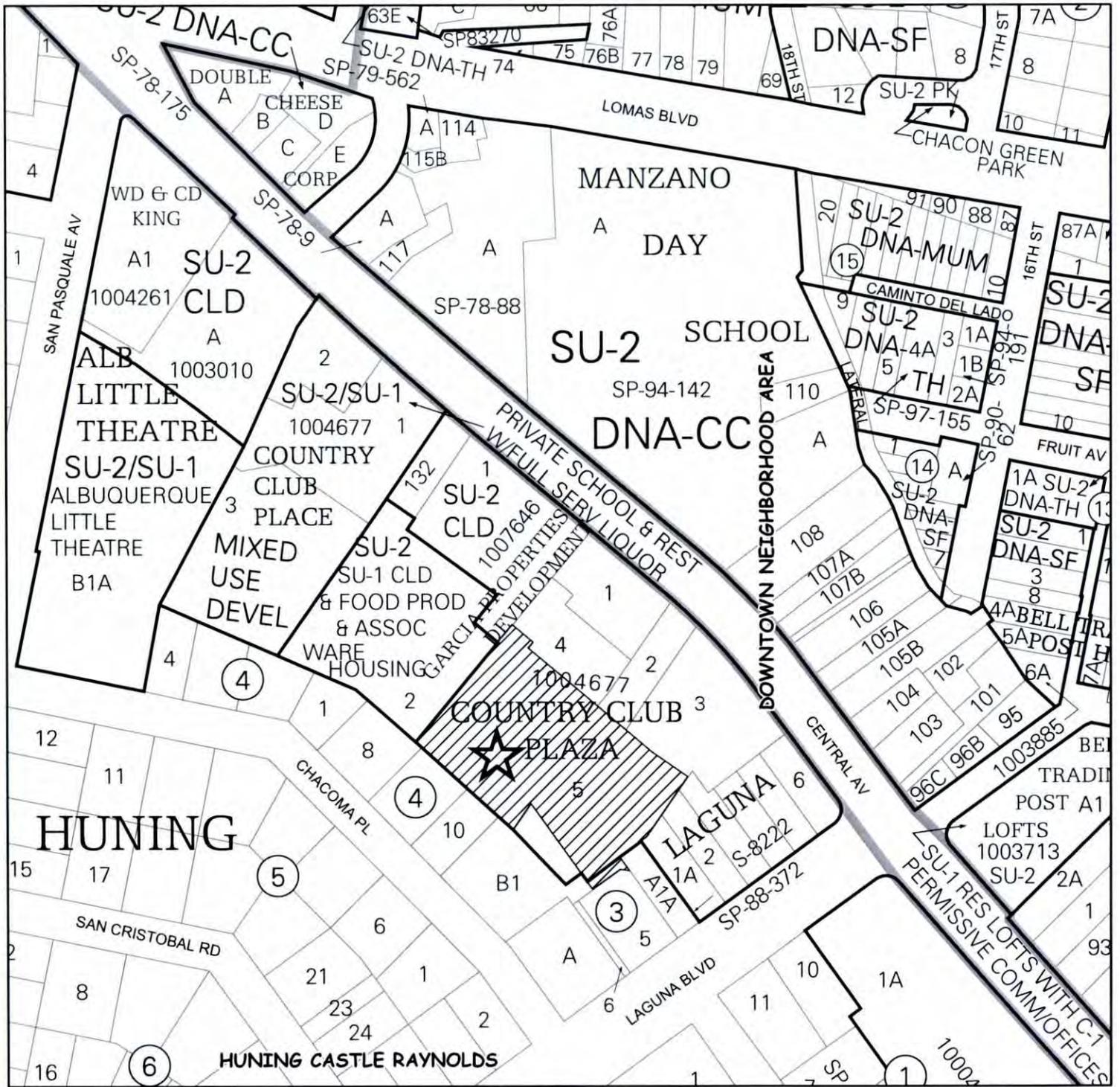
The request is consistent with Comprehensive Plan Goals and Policies regarding, Areas of Change, Land Use, Infill and Auto Demand. The use is allowed under the existing zoning.

The Huning Castle and Downtown Neighborhood (DNA) Neighborhood Associations were notified. The DNA requested a facilitated meeting, but then decided that they preferred to meet with the applicants at their September 6th meeting.

Staff recommends approval

Map





ZONING MAP

Note: Grey shading indicates County.



1 inch = 200 feet

Project Number:

1004677

Hearing Date:

08/10/2017

Zone Map Page: J-13

Additional Case Numbers:

17EPC-40027



LAND USE MAP

Note: Grey shading indicates County.

KEY to Land Use Abbreviations

- AGRI Agriculture
- COMM Commercial - Retail
- CMSV Commercial - Service
- DRNG Drainage
- MFG Manufacturing
- MULT Multi-Family or Group Home
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



1 inch = 200 feet

Project Number:

1004677

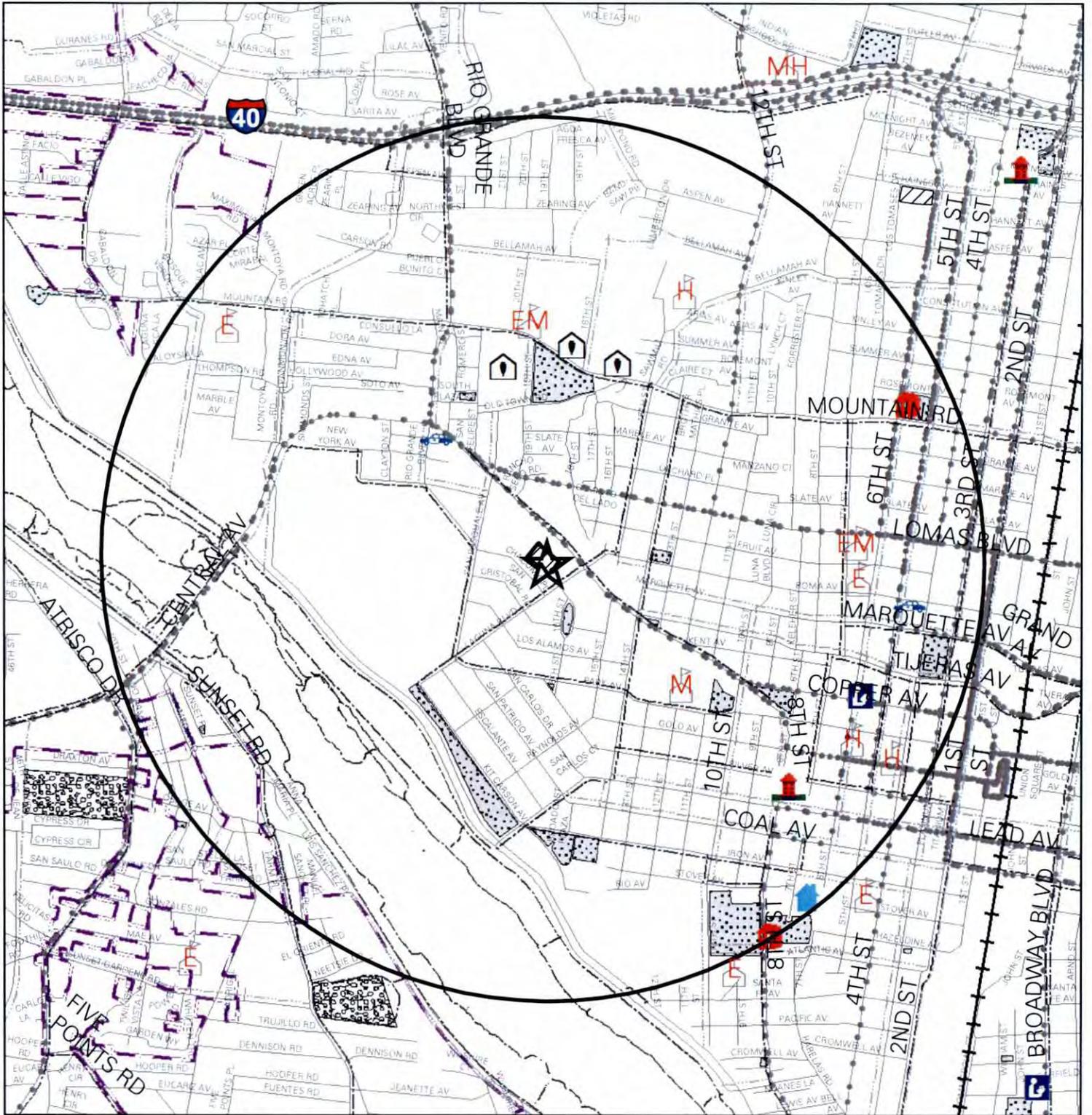
Hearing Date:

08/10/2017

Zone Map Page: J-13

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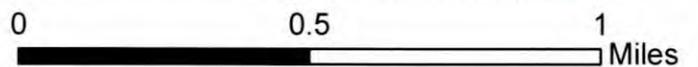
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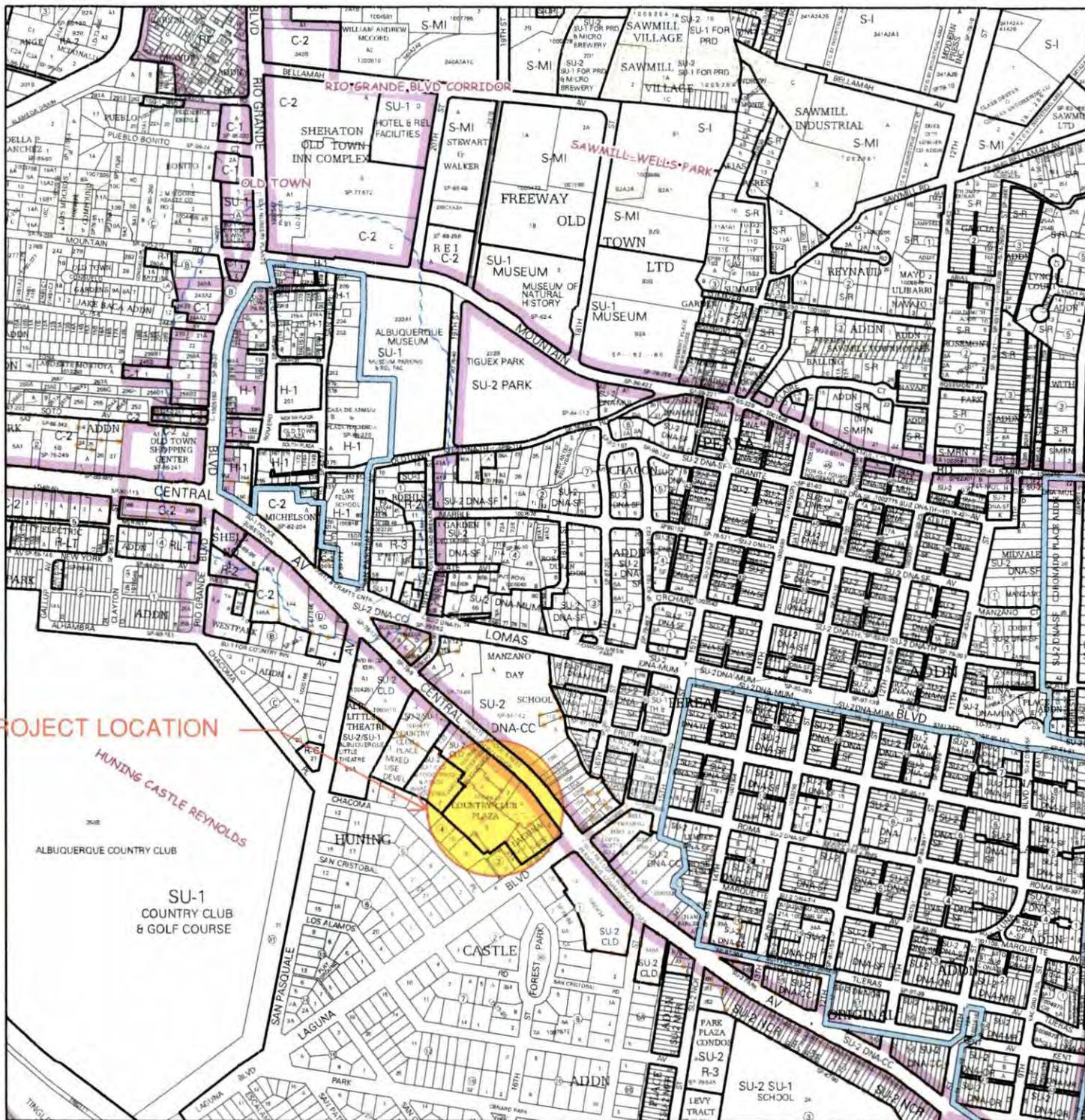


Public Facilities Map with One-Mile Buffer

- | | | | |
|--|---|--|---|
|  COMMUNITY CENTER |  FIRE |  Public Schools |  Landfill Buffer (1000 feet) |
|  MULTI-SERVICE CENTER |  POLICE |  Proposed Bike Facilities |  Landfills designated by EHD |
|  SENIOR CENTER |  SHERIFF |  ABQ Bike Facilities |  Developed County Park |
|  LIBRARY |  SOLID WASTE |  ABQ Ride Routes |  Undeveloped County Park |
|  MUSEUM |  Albuquerque City Limits | |  Developed City Park |
| | | |  Undeveloped City Park |

Project Number: 1004677





For more current information and details visit: <http://www.cabq.gov/gis>





(2016 Aerial Imagery , CABQ AGIS)

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I. INTRODUCTION

A. Surrounding zoning, plan designations, and land uses:

	Zoning	Comprehensive Plan Area; Applicable Rank II & III Plans	Land Use
Site	SU-1 CLD	Area of Change, Huning Castle Raynolds Addition SDP	Vacant
North	SU-2 DNA CC (across Central)	Area of Change, Downtown Neighborhoods SDP	Commercial /Residential
South	R-1, SU-2 CLD	Area of Consistency, Huning Castle Raynolds Addition SDP	Single Family Residential
East	SU-2 DNA CC (across Central) , R-1	Area of Change, Downtown Neighborhoods SDP “	Single Family Residential, Commercial
West	SU-2 SU-1 CLD AND Food Production & Associated Warehousing	Area of Change, Huning Castle Raynolds Addition SDP	Commercial/Warehouse

B. Proposal

This a request for Site Development Plan for Building Permit for Lot 5 of the Country Club Plaza Subdivision, an approximately 1.63 acre vacant site located on Central Avenue between Laguna Blvd. and San Pasquale Ave in the southwest part of the city.

The applicant proposes to construct a 49,814 square foot, three story building containing 58 residential units and 4,767 square feet of office space. This request will complete the build out of the development. The building will contain basement level apartments.

C. EPC Role

The Huning Castle Raynolds Addition Sector Development zoned the site SU-2 CLD. On Page 18 of the plan, number 9, the Site Development Plan Review and Approval Procedures are the same as the SU-1 zone and require a site plan and landscaping plan approved by the EPC.

The case is a quasi-judicial matter

D. History/Background

The subject site is located in the Huning Castle area, which was platted as the Huning Castle Addition in March 1928. The Huning Castle Neighborhood grew around the Country Club, built in 1928-1929.

The area developed with a mixture of neighborhood scale commercial use and residential development.

The

In March 2006, the EPC approved a site development plan for subdivision with design standards (Project #1004677, 06EPC-00143/00144) for a larger project that included most of the subject site plus the Garcia's properties and a detached 1.3 acre site west of the Garcia properties. The approved SPS did not include MRGCD Map 38 Tract 129A fronting Central Ave., part of the current subject site. The approved SPS was a development project on 4.45 acres and referred to as the Country Club Plaza I, consisting of residential uses (a total of approximately 298,800 square feet in lofts, studios, and courtyard/villas) and approximately 10,078 square feet of commercial space. The EPC's approval was appealed (AC-06-9) by the Downtown Neighborhood Association, which was denied by City Council at its August 9, 2006 hearing. The DRB approved the SPS in November 2007.

The EPC approved amendments to the Site Development Plans for Subdivision and Building Permit in October of 2013 (13 EPC 40139, 13 EPC 40140). These amendments configured the site into, lots 1-5, designated future phases of development and replaced the previously approved SPS with the current one. The site was replatted into lots 1-5 through the DRB.

E. Context

The subject site consists of three of original buildings on lots 2 and 3 that were renovated and two new buildings on lots 1 and 4.

The area surrounding the site developed with a mix of commercial, residential and institutional uses, including a school, restaurants, single family and multi-family housing, a food production and warehouse and personal services.

The applicant's proposed building will add multi-family and office uses that are compatible with the existing uses. The use is allowed under the existing zoning.

The site is within the boundaries of the Historic Central Metropolitan Redevelopment Area.

F. Transportation System

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The LRRS designates Central Avenue as a Principal Arterial.

The LRRS designates Laguna Blvd as a Local street.

G. Comprehensive Plan Corridor Designation

Central Avenue is designated as both a Premium Transit and a Main Street Corridors.

H. Trails/Bikeways

Laguna Blvd contains a bike route; Central Avenue contains a bike lane.

I. Transit

Refer to Transit Agency comments

J. Public Facilities/Community Services

Please refer to the Public Facilities Map in the packet for a complete listing of public facilities and community services located within one mile of the subject site.

II. ANALYSIS of APPLICABLE ORDINANCES, PLANS AND POLICIES

A. Albuquerque Comprehensive Zoning Code

Existing zoning for the subject site is SU-2 CLD (Commercial/Low Density Apartment), regulated by the standards of the Huning Castle-Raynolds Addition Sector Development Plan. This zone allows uses in the R-2, Residential Zone (§14-16-2-11) and a variety of commercial and services uses.

B.

Definitions The City Zoning Code defines the SU-2 Zone:

SU-2 Special Neighborhood Zone (§14-16-2-23). This zone allows a mixture of uses controlled by a Sector Development Plan, which specifies new development, and redevelopment which is appropriate to a given neighborhood, when other zones are inadequate to address special needs.

SU-2 CLD Zone. The SU-2 CLD Zone is unique to the Huning Castle-Raynolds Addition Sector Development Plan. It was promoted by the Sector Development Plan as a replacement zone for the C-2 Zone on properties along the south side of Central Ave. between San Pasquale and 14th St. The SU-2 CLD Zone is described as the Zone that “provides suitable sites for houses, townhouses, low density apartments, and commercial uses.” The SU-2 CLD Zone has its own development standards, including the following, applicable to the subject site:

- **Height:** Structure up to 26 feet in is permitted at any location 50 feet or more from an adjacent R-1 zone. Height over 26 feet must be within a 25-degree angle plane from the mean grade along each boundary abutting an R-1 zone.
- **Setback:** From Central Ave. 5 feet minimum; 10 feet minimum from Laguna Blvd., 15th St. and San Pasquale; and 11 feet minimum from the junction of a driveway or alley and a public sidewalk.
- **Density:** Floor area ratio 0.61 maximum for residential development.
- **Landscaping:** Zoning Code standards (§14-16-3-10)
- **Parking:** Zoning Code standards (§14-16-3-1)
- **Open Space:** Zoning Code standards for R-2 Zone (§14-16-2-11)
- **Signage:** Zoning Code standards for C-1 Zone (§14-16-2-16)

C. Albuquerque / Bernalillo County Comprehensive Plan

Policy Citations are in Regular Text; Staff Analysis is in **Bold Italics**

The subject site is located in the areas designated Area of Change by the Comprehensive Plan. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities. Applicable policies include:

Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request adds to the mix of uses in the area by providing both housing and office use in close proximity to existing neighborhoods and along a transit corridor. Residents of the development will have access to the existing services on the site and in the surrounding area. The office use will be a short walk, bike ride or drive from the surrounding neighborhoods. The request furthers Policy 5.2.1 Land Uses.

Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The request adds a residential and employment use to an area that is well served by existing urban infrastructure including transit, public utilities, parks, and fire and police service. The request furthers Policy 5.3.1 Infill Development.

Goal 5.4 Jobs-Housing Balance: Balance jobs and housing by encouraging residential growth near employment across the region and prioritizing job growth west of the Rio Grande.

(a) Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all

The request furthers Goal 5.4 and Goal 5.4(a) by adding more housing on the east side near existing employment opportunities and providing an additional employment and service opportunity for nearby residents. The site has access from Central Avenue and internal pedestrian connections.

Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request furthers Goal 5.6 by adding both higher density housing and employment /service use in an Area of Change. The building design steps back from the exiting residential development to the south and is a minimum of 50 feet from the R-1 zoning to the south and east.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged

(f) Minimize potential negative impacts of development on existing residential uses with respect to noise, stormwater runoff, contaminants, lighting, air quality, and traffic.

The request furthers policy 5.6.2 and 5.6.2(f) by adding both higher density housing and employment /service use in an Area of Change and a Metropolitan Redevelopment Area. The building is located a minimum of 50 feet from the property line of the R-1 zoned sites to the east and south and has no illuminated lighting facing these areas,

storm water will be addressed using a pumping station and ponding area, landscaped areas and existing stormwater infrastructure.

Policy 5.6.4 Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

The request furthers Policy 5.6.4 by providing a building that setback from the single family residential uses, stepped down in height from the single family residential areas, well-articulated and generously landscaped at the edges to provide a good buffer for the single family residential areas.

Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

h) Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

n) Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The request furthers Policy 5.2.1 h) and n) by filling in a vacant lot with a use that is complimentary and compatible to the surrounding areas. The is of a similar intensity to the uses in the surrounding area. The building design reflects the historic character of the area by referencing the Moderne style of the 1920s. The office use will be easily accessible for the surrounding neighborhoods.

Policy 6.1.3 Auto Demand: Reduce the need for automobile travel by increasing mixed-use development, infill development within Centers, and travel demand management (TDM) programs

The request furthers policy 6.1.3 by adding a mixed use development along a Premium Transit Corridor.

Policy 7.3.2 Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

a) Design development to reflect the character of the surrounding area and protect and enhance views.

e) Encourage high-quality development that capitalizes on predominant architectural styles, building materials, and landscape elements.

The request furthers Policy 7.3.2 by providing a building the uses similar landscape elements, building finishes, fencing and style to the buildings in the area. The building is setback from existing single family development to preserve views and is lower at the edge to preserve views and solar access. There will be on site lighting and fencing to ensure the safety of future residents and the public.

D. Huning Castle Reynolds Addition Development Plan (Rank 3)

The site is within the boundaries of the adopted Huning Castle and Reynolds Addition Rank III Plan, first adopted in 1981 and amended in 1993, 200 and 2002.. The Plan generally encompasses properties between the Rio Grande River and San Pasquale south of Central Ave. The Rank III Plan does not provide goals or policies but rather objectives relevant to new development.

Land Use and Zoning:

Objective 2. Evaluate development on Central Avenue to encourage mixed use, neighborhood oriented development.

The request furthers Land Use and Zoning Objective 2 by providing a mixed use building in a neighborhood oriented development.

Social Services:

Objective 4. Improve the quality of rental property in the area.

The request furthers Social Services Objective 4 by providing new, high quality rental apartments.

III. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

A. Request

This a request for Site Development Plan for Building Permit for lot 5 of the Country Club Plaza Subdivision, an approximately 1.63 acre site located on Central Avenue between Laguna Place and San Pasquale Avenue in the southwest part of the city.

The applicant proposes to construct a 49,814 square foot, three story building containing 58 residential units and 4,767 square feet of office space on lot. The building will contain basement level apartments. This request will complete the build out of the site.

Section 14-16-3-11(B) of the Zoning Code states, "...Site Development Plans are expected to meet the requirements of adopted city policies and procedures." As such, staff has reviewed the attached site development plan for conformance with applicable goals and policies in the Comprehensive Plan, the Comprehensive Zoning Code and all other applicable City planning documents.

B. Site Plan Layout / Configuration

This is final building in the development. The proposed building will located behind (to the south of) the four existing buildings; those buildings have a frontage along Central Avenue, this building will not.

The main entrance faces north towards the existing development and Central Avenue.

The building will be 46 feet at its highest and will step down to 31 feet closer to the single family residential development.

The building will be setback 80 to 90 feet from the property line at the rear, 80 feet on the sides and 220 feet in the front.

The allowed residential FAR for the site is .61, per the SU-2 CLD zone, this allows up to 89,655 square feet of residential on the site. With the additional of this building there will be 61,442 square feet of residential square footage. The proposed building complies with the FAR requirements.

C. Public Outdoor Space

The site plan shows a 614 square foot patio on the east side of the building, an approximately 360 square foot paved area on the west side of the building and an approximately 5,000 square foot landscaped yard area with outdoor furniture along the southern property line. The building will contain walkways, balconies, and a 1,574 square foot second level patio. The total on-site open space will be 26,589 square feet, 23,200 square feet would be required by the R-2 zone, §14-16-2-11, referenced in the SU-2 CLD zone.

D. Vehicular Access, Circulation and Parking

Access to the entire site is from Central Avenue via two 26 foot wide drive aisles. The subject site takes access from the 26 foot wide drive aisle off of Central Avenue via its own 26 foot wide drive aisle.

Parking will be provided at 1 space per unit for the residential portion of the building and at 1 space per each 200 square feet for the office portion.

The approved Site Development Plan for the first phase of the site used the C-1 parking requirements for the residential units and so they are also the requirements for this final phase of the project. Per Zoning Code provisions (§14-16-3-1) off-street parking is proposed to be in shared use, therefore parking demand will vary between uses and time of day. Office-generated demand will be between 7 AM and 6 PM on weekdays, and restaurant demand will peak between 6 PM and midnight on weekdays with lower demand between 7 AM and 6 PM weekdays and weekends. Residential demand is primarily between 6 PM and 7 AM. In addition, the development is eligible for the 10% reduction in required parking because it abuts a transit line. The entire site has a total 167 parking spaces.

There are shared access, ingress/egress, parking and drainage easements for lots 1-5 (the entire site) of the development.

E. Pedestrian and Bicycle Access and Circulation, Transit Access

Pedestrians can access the site from the public sidewalk along Central Avenue and then use the pedestrian patio/walkway between building 2 and building C to connect to the 10 wide paved crosswalk that will lead to the entrance of the proposed building.

The applicant propose two bikes rack on the west side of the building. There are 5 existing bike racks in the development for a total of 55 bike spaces.

F. Walls/Fences

There is an existing approximately 8 foot tall CMU wall along the east, south and west boundaries of the site. The applicant proposes a steel and wire fence with vines along the northern boundary of the yard area at approximately 3 feet in height. The same wall material is proposed along the patio on the eastern side of the building and on the eastern side of the building to enclose the rear of the site. The rear parking area will be secured by two gates , one the east side near the patio and one on the west side near the sidewalk on the north façade. The walls and fences are consistent with 14-16-3-19, General Height and Design Regulations for Walls, Fences and Retaining Walls.

G. Lighting and Security

The applicant proposes 16 foot tall parking lot lights, the Zoning Code, §14-16-3-9(F) requires that light poles be a maximum of 16 feet in height within 100 feet of a residential zone. The lights comply with the zoning code.

H. Landscaping

The landscaping meets the square footage and plant material requirements of the Zoning Code, 14-16-3-10, Landscaping. The plant palette contains a mix of low and medium water species that are generally successful in the area.

The net lot area would be 59,169 square feet. Landscaping is required on 15 % of the net lot area and 75% of the area must be covered with live vegetation. The landscaping plan shows that 8875 square feet of landscaping would be required, the applicant is providing 15,970 and 12,637 square feet of this area will be landscaped, achieving 77% landscape coverage.

I. Grading, Drainage, Utility Plans

The subject site is relatively flat, with a grade change of approximately 3 feet across the site. Stormwater will generally flow from west to east and will be accommodated in a ponding area with pumping station ; water will flow through a discharge line into Laguna Boulevard.

J. Architecture

The approved SPS references the Moderne Style and the Mediterranean Revival style for buildings. The applicant states the building references the Moderne style.

This including a simple massing composed of asymmetrical, well defined projecting forms, large overhangs and canopies, and enclosed soffits. Recessed entry porches and balconies of varying sizes and configurations will further help to articulate the facades.

Exterior walls will primarily be finished with earth-tone colored stucco and accented with contemporary materials and vibrant colors to add diversity to the façade.

These elements are consistent with definitions in the SPS.

Additionally, the building meets the SPS requirements for windows and doors to form a rhythmic façade.

Building materials are consistent with building materials and colors in the SPS . Stucco and metal accents are listed as appropriate materials and earth tones as appropriate colors.

K. Signage

Signage is allowed per the C-1 zone, §14-16-2-16, referenced in the SU-2 CLD zone, and the general sign regulations with exceptions including:

Maximum height of 18 and maximum size 100 square feet

Signage shall be limited to 9% of the façade to which it is applied.

Building mounted signage shall be individually illuminated channel letters

The applicant proposes one illuminated sign made of individual letters, on the north façade of the building, at 249 square feet, 942 square feet would be allowed.

The applicant proposes 3 non illuminated signs on the west, south and east facades to prevent lighting from disturbing neighborhoods residents.

West façade:

336 feet allowed, 12 square feet proposed

South façade:

937 allowed square feet allowed, 62 feet square proposed

East façade:

355 square feet allowed, 93 square feet proposed

IV. AGENCY & NEIGHBORHOOD CONCERNS

A. Reviewing Agencies/Pre-Hearing Discussion

There are no significant agency comments.

B. Neighborhood/Public

The Huning Castle and Downtown Neighborhood (DNA)Neighborhood Associations were notified. The DNA requested a facilitated meeting, but then decided that the DNA preferred to meet with the applicants on September 6th in any case, rather than prior to the EPA meeting. They just wanted to know more about the project.

Staff has not received any public comment as of this writing.

V. CONCLUSION

This a request for Site Development Plan for Building Permit for lot 5 of the Country Club Plaza Subdivision, an approximately 1.63 acre site located on Central Avenue between Laguna Blvd. and San Pasquale Ave in the southwest part of the city.

The applicant proposes to construct a 49,814 square foot, three story building containing 58 residential units and 4,767 square feet of office space on lot. This request will complete the build out of the site. The building will contain basement level apartments.

The request is consistent with Comprehensive Plan Goals and Policies regarding, Areas of Change, Land Use, Infill and Auto Demand.

FINDINGS, Site Development Plan for Building Permit

Project # 1004677, Case # 17EPC- 40027

1. This is a request for a Site Development Plan for Building Permit for lot 5 of the Country Club Plaza Subdivision located on Central Avenue, between Laguna Blvd and San Pasquale Avenue containing approximately 1.63 acres.
2. The proposed building will be a 49,814 square foot, three story building containing 58 residential units and 4,767 square feet of office space.
3. The use is allowed under the existing zoning, but EPC approval is required for Site Development Plans pursuant to the Huning Castle Raynolds Addition Sector Plan.
4. In March 2006, the EPC approved a site development plan for subdivision with design standards (Project #1004677, 06EPC-00143/00144) for a larger project that included most of the subject site plus an adjacent site and off site parcel. The EPC's approval was appealed (AC-06-9) by the Downtown Neighborhood Association, which was denied by City Council at its August 9, 2006 hearing. The DRB approved the SPS in November 2007.

The EPC approved amendments to the Site Development Plans for Subdivision and Building Permit in October of 2013(13 EPC-40139 and 13 EPC 40140). These amendments created the current site configuration, lots 1-5, designated future phases of development and replaced the previously approved SPS with the current one.

5. Development on the site is subject to the requirements of the approved Site Development plan for Subdivision.
6. The subject is within the Historic Central Metropolitan Redevelopment Plan area.
7. The Albuquerque/Bernalillo County Comprehensive Plan, Huning Castle Raynolds Addition Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
8. The subject site is located in the areas designated Area of Change by the Comprehensive Plan. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities. Applicable policies include:
 - A. Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request adds to the mix of uses in the area by providing both housing and office use in close proximity to existing neighborhoods and along a transit corridor. Residents of the development will have access to the existing services on the site and in the surrounding area. The office use will be a short walk, bike ride or drive from the surrounding neighborhoods. The request furthers Policy 5.2.1 Land Uses.
 - B. Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The request adds a residential and employment use to an area that is well served by existing urban infrastructure including transit, public utilities, parks, and fire and police service. The request furthers Policy 5.3.1 Infill Development.

- C. Goal 5.4 Jobs-Housing Balance: Balance jobs and housing by encouraging residential growth near employment across the region and prioritizing job growth west of the Rio Grande.

- (a) Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all

The request furthers Goal 5.4 and Goal 5.4(a) by adding more housing on the east side near existing employment opportunities and providing an additional employment and service opportunity for nearby residents. The site has access from Central Avenue and internal pedestrian connections.

- D. Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request furthers Goal 5.6 by adding both higher density housing and employment /service use in an Area of Change. The building design steps back from the existing residential development to the south and is a minimum of 50 feet from the R-1 zoning to the south and east.

- E. Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged

- (f) Minimize potential negative impacts of development on existing residential uses with respect to noise, stormwater runoff, contaminants, lighting, air quality, and traffic.

The request furthers policy 5.6.2 and 5.6.2(f) by adding both higher density housing and employment /service use in an Area of Change and a Metropolitan Redevelopment Area. The building is located a minimum of 50 feet from the property line of the R-1 zoned sites to the east and south and has no illuminated lighting facing these areas, storm water will be addressed using a pumping station and ponding area, landscaped areas and existing stormwater infrastructure.

- F. Policy 5.6.4 Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

The request furthers Policy 5.6.4 by providing a building that setback from the single family residential uses, stepped down in height from the single family residential areas, well-articulated and generously landscaped at the edges to provide a good buffer for the single family residential areas.

- G. Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

- h) Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

n) Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The request furthers Policy 5.2.1 h) and n) by filling in a vacant lot with a use that is complimentary and compatible to the surrounding areas. The is of a similar intensity to the uses in the surrounding area. The building design reflects the historic character of the area by referencing the Moderne style of the 1920s. The office use will be easily accessible for the surrounding neighborhoods.

- H. Policy 6.1.3 Auto Demand: Reduce the need for automobile travel by increasing mixed-use development, infill development within Centers, and travel demand management (TDM) programs

The request furthers policy 6.1.3 by adding a mixed use development along a Premium Transit Corridor.

- I. Policy 7.3.2 Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

a) Design development to reflect the character of the surrounding area and protect and enhance views.

e) Encourage high-quality development that capitalizes on predominant architectural styles, building materials, and landscape elements.

The request furthers Policy 7.3.2 by providing a building the uses similar landscape elements, building finishes, fencing and style to the buildings in the area. The building is setback from existing single family development to preserve views and is lower at the edge to preserve views and solar access. There will be on site lighting and fencing to ensure the safety of future residents and the public.

9. The site is within the boundaries of the adopted Huning Castle and Raynolds Addition Rank III Plan. The Rank III Plan does not provide goals or policies but rather objectives relevant to new development.

- A. Land Use and Zoning Objective 2.: Evaluate development on Central Avenue to encourage mixed use, neighborhood oriented development.

The request furthers Land Use and Zoning Objective 2 by providing a mixed use building in a neighborhood oriented development.

- B. Social Services Objective 4.: Improve the quality of rental property in the area.

The request furthers Social Services Objective 4 by providing new, high quality rental apartments.

10. The Huning Castle and Downtown Neighborhood (DNA) Neighborhood Associations were notified. The DNA requested a facilitated meeting, but then decided that the DNA preferred to meet with the applicants on September 6th in any case, rather than prior to the EPA meeting. They just want to know more about the project.

11. Property owners within 100 feet of the site were notified of the request.
12. Staff has not received any public comment as this writing.

RECOMMENDATION

APPROVAL/ of 17EPC-40027, a request for Site Development Plan for Building Permit, for 1. lot 5 of the Country Club Plaza Subdivision located on Central Avenue, between Laguna Blvd and San Pasquale Avenue containing approximately 1.63 acres, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL, Site Development Plan for Building Permit

Project # 1004677, Case # 17EPC- 40027

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
 2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
 3. Transportation Development Conditions:
 1. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
 2. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
 4. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
-

***Maggie Gould
Planner***

Notice of Decision cc list:

Mullen Heller

Country Club Partners LLC

Huning Castle Neighborhood Association

Downtown Neighborhood (DNA) Neighborhood Association

AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Enforcement

No adverse comments.

Long Range Planning

- No Comments
- FYI-Rocky Mountain Juniper – Females Only – is on our tree list.

Metropolitan Redevelopment Agency

CITY ENGINEER

Transportation Development

17EPC-40024 Site Development Plan for Building Permit

Transportation Development Conditions:

1. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
2. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

The following comments need to be addressed prior to DRB:

1. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.
2. The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
3. The handicap accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.

Hydrology Development

EPC project # 1004677; In anticipation of the EPC requiring the DRB review and approval of the technical details, the Hydrology Development Section will require a grading and drainage plan addressing the below criteria, the criteria stated in the Development Process Manual, and the design guidelines in Standard Specifications. Per predesign mtg with the engineer, allowable discharge is 0.3cfs.

Hydrology Engineer: Dana Peterson, PE

GENERAL HYDROLOGY CRITERIA:

- Beyond 10' of a structure, all landscape beds to be depressed below grade. Within 10', runoff shall be directed away from the structure.
- All new development projects shall manage the runoff from precipitation which occurs during the 90th Percentile Storm Events, referred to as the "first flush." The Site Plan/Drainage Plan must indicate all areas and mechanisms intended to capture the first flush. For volume calculations, the 90th Percentile storm event is 0.44 inches. For Land Treatment D the initial abstraction is 0.1", therefore the first flush volume should be based on $0.44'' - 0.1'' = 0.34''$ and only consider the impervious areas.
 - State how the first flush will be retained and provide supporting calculations
 - State the area of Land Treatment D on the plan
- The applicant may request a pre-design meeting with the Hydrology Section; a Conceptual Grading and Drainage plan or site plan should be included. Contact either Dana Peterson (dpeterson@cabq.gov) or René Brissette (rbrissette@cabq.gov) to set up a pre-design meeting.
 - The engineer should research the Master Drainage Plan and/or adjacent sites – essentially practice due diligence prior to meeting. Conceptual Grading and Drainage plans should reference the master drainage plan or other sources that indicate the intended drainage for that area. The applicant should provide excerpts from the supporting documents and/or grading plans.
 - Final Drainage Reports should have an appendix with all supporting documentation.
- When determining allowable discharge from a site:
 - If a Master Drainage Report planned an allowable discharge for a site, determine if the basis for that discharge is still valid or if conditions have since changed.
 - If discharging to the street, determine if the street has capacity. Also determine if the storm drain has capacity.
 - If discharging to the back of inlets, determine if doing so will still provide capacity for the discharge from the street.
 - All flows must enter a water quality pond/swale before leaving the site or entering the public storm sewer system.

DEPARTMENT of MUNICIPAL DEVELOPMENT

Transportation Planning

Traffic Engineering Operations

No comments.

WATER UTILITY AUTHORITY

Utility Services

1. 17EPC-40017 Site Development Plan for Subdivision Amendment
 - Identification: UPC – 101206220010931201 and 101206215006131202
 - a. No adverse comments
 - b. When development is desired request an availability statement at the link below:
 - i. http://www.abcwua.org/Availability_Statements.aspx
 - ii. Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.

ENVIRONMENTAL HEALTH DEPARTMENT

PARKS AND RECREATION

Planning and Design

Open Space Division

City Forester

POLICE DEPARTMENT/Planning

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division

FIRE DEPARTMENT/Planning

You will need to submit a separate plan to the Fire Marshall's office.

TRANSIT DEPARTMENT

Transit Corridor- Central Avenue Premium Transit and Main Street Corridors

Transit Route- Two new ART routes replacing the 766 and 777 Rapid Rides, and the Fixed Route 66

Current Service/Stops- The Route 66 has a stop pair immediately east of the site and a second stop pair about 1000 feet to the west at the Wendy's site. The site is approximately half way between the ART stops at San Felipe Street and 15th Street, which should become operational in November.

Comments/Support/Requests- ABQ RIDE welcomes the level of integration of land use and transportation represented by such a well-placed project. Moderate scaled vertical projects of this nature are perfecting for increasing density and creating place in a Transit Corridor without overwhelming the streetscape.

BERNALILLO COUNTY

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

Reviewed. No comment.

ALBUQUERQUE PUBLIC SCHOOLS

1. Project# 1004677

- a. EPC Description: 17EPC-40027 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
- b. Site Information: Lot 5, Country Club Plaza Subdivision
- c. Property Location: southwest corner of Central Ave SW and Laguna Blvd.
- d. Request Description: The property owner requests approval of a Site Development Plan for Building Permit to allow for the development of a Mixed Use Office/Residential Development.
- e. APS Comments: Any residential development in this area will have impacts to

School Capacity

School	2016-17 Enrollment	Enrollment Capacity	Space Available
Lew Wallace ES	247	276	<u>29</u>
Washington MS	441	678	237
Albuquerque HS	1803	1900	97

MID-REGION COUNCIL OF GOVERNMENTS

MRMPO has no adverse comments.

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

PUBLIC SERVICE COMPANY OF NEW MEXICO

1. An existing overhead electric distribution line is located south of the proposed development. The developer has coordinated with PNM on this line. The developer should continue to coordinate with PNM's New Service Delivery Department regarding electric service for this project. Contact:

Mike Moyer

PNM Service Center

4201 Edith Boulevard NE

Albuquerque, NM 87107

Phone: (505) 241-3697

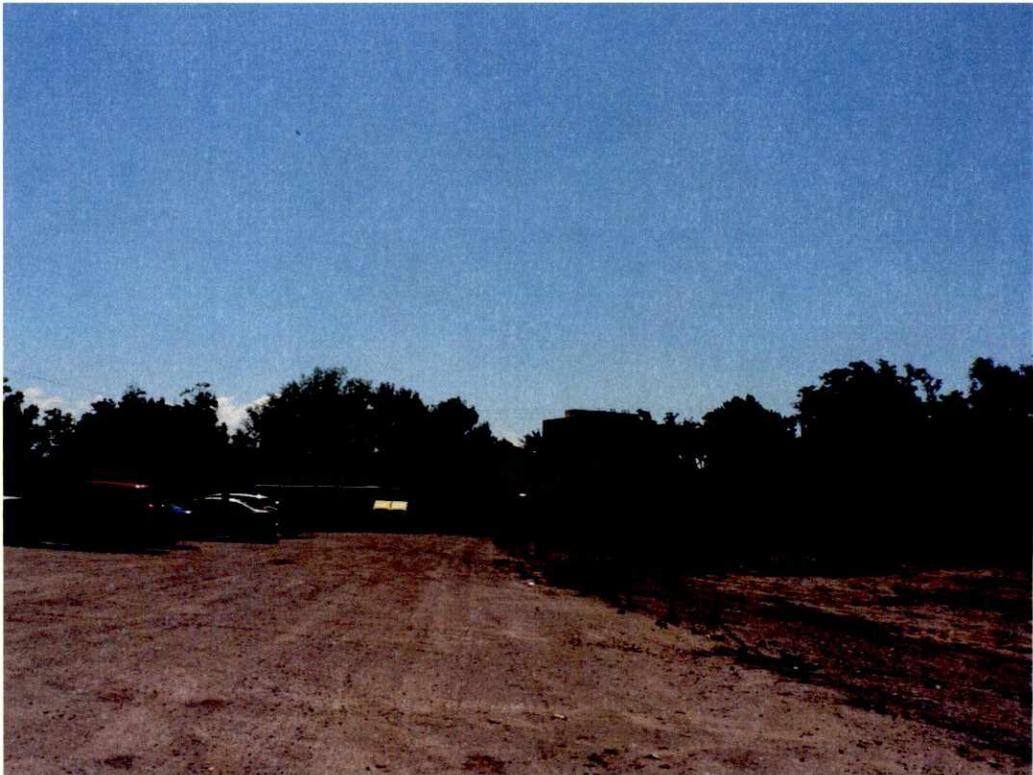
2. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers

2

and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.



View from the subject site looking south towards the residential neighborhood



View from the subject site looking east .



View from
the subject
site looking
south.



View from
the subject
site looking
west.



Existing pedestrian access from Central Avenue to existing businesses and the subject site



HISTORY

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

October 10, 2013

Rembe and Country Club Partners LLC
117 B Richmond SE
Albuquerque, NM 87106

Project# 1004677

13EPC-40139 Site Development Plan for Building Permit
13EPC-40140 Amend the Site Development Plan for Subdivision

LEGAL DESCRIPTION:

For all or a portion of Tract A-1-A Laguna Sub; MRGCD Tract Map 38 Tract 129A & 129-B-1-A; Lot B-1 Block 3 Huning Castle Addn; Tracts A & B Lands of H B & Calvin Horn, located on Central Avenue between San Pasquale and Laguna containing approximately 3.37 acres.
Staff Planner: Chris Glore

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

On October 10, 2013, the Environmental Planning Commission (EPC), voted to **APPROVE** Project 1004677, 13EPC-40139, a request for a Site Development Plan for Building Permit and 13EPC-40140, an Amendment to the Site Development Plan for Subdivision, based on the following Findings and Conditions:

FINDINGS: 13EPC-40140 – Site Development Plan for Subdivision Amendment

1. This is a request for a Site Development Plan for Subdivision Amendment for Tract A-1-A Laguna Sub; MRGCD Tract Map 38 Tract 129A & 129-B-1-A; Lot B-1 Block 3 Huning Castle Addn; Tracts A & B Lands of H B & Calvin Horn, containing approximately 3.37 acres of land located in the 1700 block of Central Ave. SW.
2. The request involves design and development standards for the Country Club Plaza development site, a mixed commercial and residential project. The applicant proposes to re-subdivide the property into five lots.
3. The subject site is located in the Established Urban Areas of the Comprehensive Plan and within the area of the Huning Castle and Raynolds Addition Sector Development Plan. The proposal must comply with the Zoning Regulations and General Regulations of the Zoning Code.

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4. The Albuquerque/Bernalillo County Comprehensive Plan, Huning Castle and Reynolds Addition Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.

5. The Site Development Plan for Subdivision Amendment request furthers the following Comprehensive Plan policies:

Policy II.B.5.a: Full range of urban land uses. The request will result in the development of a mixed use commercial and residential project on an under-utilized infill site within the established urban area.

Policy II.B.5.d: Development respects neighborhood values, environmental conditions, and scenic resources. Neighborhood values are respected with increasing commercial activity in proximity to residential neighborhoods. The design standards established by the SPS Amendment reflect a building design theme consistent and complimentary to the surrounding area as detailed in the proposed SPBP.

Policy II.B.5.h: Higher density housing is most appropriate with excellent access to major streets; mixed density pattern; similar or higher density development; and transition. A mixed development pattern exists in the neighborhood consisting of single family homes, a school and commercial uses, and multi-family residential and commercial development. The subject site is in an urban setting with existing infrastructure in place. The proposed project meets all of the use and development standards of the existing SU-2 CLD Zone

Policy II.B.5.k: Minimize harmful effects of traffic; livability and safety of residential neighborhoods. The SPS Amendment and SPBP requests will result in adequate off-street parking and are not likely to adversely impact traffic volumes on Central Ave. The proposal for vehicle access to Laguna Blvd. has been a neighborhood concern but is designated for emergency vehicle access only.

Policy II.B.5.l: Quality and innovation in design appropriate to the Plan area. The SPS Amendment retains the design themes and standards of the original SPS. The proposed SPBP will implement the SPS Amendment design standards and will integrate the design of the existing historic Horn Oil Co. buildings.

Policy II.B.5.m: Design improves the quality of the visual environment. The SPS regulates building architecture, lighting, landscaping and signage. The SPBP demonstrates architectural style consistent with the SPSD, and compatible with surrounding development. The landscaping plan will enhance the appearance of the property from Central Ave.

Policy II.B.5.o: Redevelopment and rehabilitation of older neighborhoods. The requests will rehabilitate older commercial buildings and develop new mixed-use buildings, on a site within the Comprehensive Plan Established Urban Area.

Policy II.B.5.p: Cost-effective redevelopment techniques. The project represents an infill development, and adaptive re-use of existing buildings, within an urban area served by urban infrastructure and within the Historic Central Redevelopment Area. The project will be cost effective by not requiring direct City investment.

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Policy II.D.4.a: Objectives for street design, transit service, and development form consistent with Transportation Corridors and Activity Centers. Central Ave. is a Major Transit Corridor. The new construction will be consistent with the Development Form details including major entrance from Central Ave., minimum building setback, and parking behind or to the side of buildings.

Policy II.D.4.c: Additional dwelling units near transit corridors. Central Ave. is a Major Transit Corridor and the request will add dwelling units along the Corridor.

6. The Site Development Plan for Subdivision Amendment request furthers the following objectives of the Huning Castle and Raynolds Addition Sector Plan:

Land Use and Zoning: Development on Central Avenue to be mixed use, neighborhood oriented. The proposed development is mixed-use including ground-floor commercial along Central Ave. in a neighborhood underserved by retail, services and restaurants. The residential development will provide options for potential transit users.

Proposed Zoning: Land on Central Ave. between San Pasquale and 15th St. be zoned SU-2 for low density apartments or limited commercial development. The proposed development of mixed uses, residential and commercial, will provide housing opportunities near Downtown and commercial businesses for surrounding residents. The proposed SPS Amendment and SPBP meet the SU-2 CLD standards as promulgated by the Huning Castle and Raynolds Addition Sector Plan.

Transportation: Reduce traffic volume and speed on local streets. The proposed mixed-use development will increase commercial and residential uses in an older neighborhood, potentially reducing the need for automobile trips in the surrounding area.

7. The neighborhood expressed opposition to the request, primarily the height of the proposed building in the southern portion of the site. That building has been removed from the request.
8. The Site Development Plan for Subdivision Amendment and Site Development Plan for Building Permit are in support of the 'road diet' along Central Ave.

CONDITIONS OF APPROVAL - 13EPC-40140 -Site Development Plan for Subdivision Amendment

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

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2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Concurrent Platting Action required at Development Review Board (DRB).
4. The development will utilize existing access points from Central Ave. and will be upgraded per DPM standards unless approved by Variance by the DRB. Existing bicycle lanes adjacent to the site shall be maintained.
5. The Site Development Plan shall comply with the General Regulations of the Zoning Code and all other applicable design regulations, except as specifically approved by the EPC.
6. Future development in the southern portion of the site will require EPC review for a Site Development Plan for Building Permit.
7. Required parking shall be consistent with the C-1 Zone parking requirements.

FINDINGS - 13EPC-40139 - Site Development Plan for Building Permit

1. This is a request for a Site Development Plan for Building Permit Tract A-1-A Laguna Sub; MRGCD Tract Map 38 Tract 129A & 129-B-1-A; Lot B-1 Block 3 Huning Castle Addn; Tracts A & B Lands of H B & Calvin Horn for, containing approximately 3.37 acres of land located in the 1700 block of Central Ave. SW.
2. The request involves five buildings, including the three existing buildings, and two proposed buildings of mixed use, including office, residential and commercial. The development will provide approximately 22,000 square feet of commercial space and 25 residential units.
3. The subject site is located in the Established Urban Areas of the Comprehensive Plan and within the area of the Huning Castle and Raynolds Addition Sector Plan. The proposal must comply with the Zoning Regulations and General Regulations of the Zoning Code.
4. The Albuquerque/Bernalillo County Comprehensive Plan, Huning Castle and Raynolds Addition Sector Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The Site Development Plan for Building Permit request furthers the following Comprehensive Plan policies:
Policy II.B.5.a: Full range of urban land uses. The request will result in the development of a mixed use commercial and residential project on an under-utilized infill site within the established urban area.

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Policy II.B.5.d: Development respects neighborhood values, environmental conditions, and scenic resources. Neighborhood values are respected with increasing commercial activity in proximity to residential neighborhoods. The design standards established by the SPS Amendment reflect a building design theme consistent and complimentary to the surrounding area as detailed in the proposed SPBP.

Policy II.B.5.h: Higher density housing is most appropriate with excellent access to major streets; mixed density pattern; similar or higher density development; and transition. A mixed development pattern exists in the neighborhood consisting of single family homes, a school and commercial uses, and multi-family residential and commercial development. The subject site is in an urban setting with existing infrastructure in place. The proposed project meets all of the use and development standards of the existing SU-2 CLD Zone.

Policy II.B.5.k: Minimize harmful effects of traffic; livability and safety of residential neighborhoods. The SPS Amendment and SPBP requests will result in adequate off-street parking and are not likely to adversely impact traffic volumes on Central Ave. The proposal for vehicle access to Laguna Blvd. has been a neighborhood concern but is designated for emergency vehicle access only.

Policy II.B.5.l: Quality and innovation in design appropriate to the Plan area. The SPS Amendment retains the design themes and standards of the original SPS. The proposed SPBP will implement the SPS Amendment design standards and will integrate the design of the existing historic Horn Oil Co. buildings.

Policy II.B.5.m: Design improves the quality of the visual environment. The SPS regulates building architecture, lighting, landscaping and signage. The SPBP demonstrates architectural style consistent with the SPSD, and compatible with surrounding development. The landscaping plan will enhance the appearance of the property from Central Ave.

Policy II.B.5.o: Redevelopment and rehabilitation of older neighborhoods shall be continued and strengthened. The requests will rehabilitate older commercial buildings and develop new mixed-use buildings, on a site within the Comprehensive Plan Established Urban Area.

Policy II.B.5.p: Cost-effective redevelopment techniques shall be utilized. The project represents an infill development within an urban area served by urban infrastructure and within the Historic Central Redevelopment Area; the project will be a cost effective redevelopment not requiring direct City investment.

Policy II.D.4.a: Objectives for street design, transit service, and development form consistent with Transportation Corridors and Activity Centers. Central Ave. is a Major Transit Corridor. The new construction will be consistent with the Development Form details including major entrance from Central Ave., minimum building setback, and parking behind or to the side of buildings.

Policy II.D.4.c: Additional dwelling units near transit corridors. Central Ave. is a Major Transit Corridor and the request will add dwelling units along the Corridor.

6. The Site Development Plan for Building Permit request furthers the following objectives of the Huning Castle and Reynolds Addition Sector Plan:

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Land Use and Zoning: Development on Central Avenue to be mixed use, neighborhood oriented. The proposed development is mixed-use including ground-floor commercial along Central Ave. in a neighborhood underserved by retail, services and restaurants. The residential development will provide options for potential transit users.

Proposed Zoning: Land on Central Ave. between San Pasquale and 15th St. be zoned SU-2 for low density apartments or limited commercial development. The proposed development of mixed uses, residential and commercial, will provide housing opportunities near Downtown and commercial businesses for surrounding residents. The proposed SPS Amendment and SPBP meet the SU-2 CLD standards as promulgated by the Huning Castle and Reynolds Addition Sector Plan.

Transportation: Reduce traffic volume and speed on local streets. The proposed mixed-use development will increase commercial and residential uses in an older neighborhood, potentially reducing the need for automobile trips in the surrounding area.

7. The applicant is requesting delegation of SPBP Building 2 to the DRB.
8. The SPBP deviates from the DPM standards regarding curb cuts/drive pad design on Central Ave. The EPC supports approval of a variance to the DPM standards in order to maintain the character of the area.
9. The neighborhood expressed opposition to the request, primarily the height of the proposed building in the southern portion of the site. That building has been removed from the request.
10. The Site Development Plan for Subdivision Amendment and Site Development Plan for Building Permit are in support of the 'road diet' along Central Ave.

CONDITIONS OF APPROVAL - 13EPC-40139 –Site Development Plan for Building Permit

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Site plan shall comply and be in accordance with DPM (Development Process Manual) and current ADA standards/ requirements.

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4. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
5. Work proposed within the COA ROW may require a work order through the DRC process.
6. Clarify interception of curb return, HC sidewalk ramp and crosswalk at west entrance - is the interception ADA accessible?
7. The applicant is proposing 24-foot wide curb cuts which are narrower than required by the DPM. The DRB shall consider approval of a variance to the DPM to allow the proposed 24-foot width.
8. Clearly show the largest anticipated vehicles turning template through the site.
9. Per discussion, if existing fire hydrant on Central sidewalk reduces clearance less to than 3 feet, an additional sidewalk will be provide around the obstruction, per COA Std. Dwg #2431.
10. Refuse gate swings into drive aisle presenting a hazard.
11. The layout of "compact" parking stalls and designated HC parking stalls is inconsistent between sheets 1 & 4 of 7.
12. HC parking stalls must meet ADA/DPM minimum lengths.
13. Proposed Permeable Pavers at tree wells are located within the required pedestrian pathways. Demonstrate that minimum sidewalk widths maintain ADA accessibility around or over pavers.
14. The landscaping median on the south end of the site needs to be contained with an asphalt header curb where it interfaces with parking areas and pedestrian paths. The end parking aisle needs a label to indicate what is proposed, and HC parking requires a designated 6 ft. ADA path to the nearest building entrance.
15. Required parking shall be consistent with the C-1 Zone parking requirements.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **OCTOBER 25, 2013**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

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For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; Rather a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

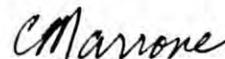
You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,



Suzanne Lubar
Acting Director, Planning Department

SL/CG/mc

- cc: Reba Eagles, 1500 Lomas Blvd. NW Suite B, Albuquerque NM 87104
Susan Brych, 509 11th St. NW, Albuquerque, NM 87102
Winthrop Quigley, 1520 Los Alamos SW, Albuquerque, NM 87104
Harvey Buchalter, 1615 Kit Carson SW, Albuquerque, NM 87104
Kyle Silber, 4465 Juniper St. NW, Albuquerque, NM 87107

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David Wood, 158 Pleasant NW, Albuquerque, NM 87107

Joyce Neimanas, 1713 Chacoma Pl SW, Albuquerque, NM 87104

Cara Potter, 1705 Chacoma Pl SW, Albuquerque, NM 87104



ZONING

Please refer to the Comprehensive Zoning Code and the Huning Castle Reynolds Addition Sector Development Plan for detail regarding the zoning .

5. Setback. Setback shall be as provided in the C-1 zone.
6. Density. Density of residential development shall be as provided in the R-3 zone.
7. Off-street Parking. Off-street parking spaces shall be as provided in Section 40.A of the Comprehensive City Zoning Code.
8. Usable Open Space. Usable open space shall be provided on-site as required in the R-3 zone.

CLD Commercial/Low Density Apartment Zone. This zone provides suitable sites for houses, townhouses, low density apartments, and commercial uses.

1. Permissive uses.
 - a. Uses permissive in the R-2 Zone of the Comprehensive City Zoning Code.
 - b. Commercial uses as follows:

Appliance store; art gallery; art supply store, auto supply store; bakery goods or confectionery shop; bank; bar; barber shop; beauty shop; book or stationery store (not an adult book store); catering; medical clinic; clothing store; club, lodge, or fraternal organization; church or other place of worship, including incidental educational and recreational facilities; day care center; dog obedience training school; dressmaking and tailoring; drug store; dry cleaning or clothes pressing establishment; drygoods store; florist shop; furniture store; garage for automotive repair, as long as repairs are done within a completely enclosed building at least 20 feet from any residential zone; grocery, fruit, vegetable, meat or fish market; delicatessen or super market; hardware store; commercial health gymnasium; insurance agency; interior decorating shop; jewelry store; library; medical or dental laboratory; museum; mortuary; motel; musical instrument shop; newstand; nursing or rest home; office machines equipment sales and repair; office; package liquor store (not a drive-through); paint store; parking lot or structure (as a separate business); pawn shop; pet shop, provided there is no outside pen; picture framing shop; pharmacy; photocopy shop; photo equipment shop; physiotherapy office; prosthetic or corrective devices shop; public utility structure or use; radio or television studio or station, provided there is no helipad; real estate office; record shop; religious articles supply store; restaurant or cafe (not a drive-in or drive-through); savings and loan association; service station; school, including a private school which serves to provide basic education to children as is provided in public schools in grades K through 12 and excluding all other private schools; shoe store; shoeshine stand or shoe repair store; smoker's shop; sporting goods shop; temporary storage structure or yard for equipment material, or activity incidental to a specific construction project; studio for the instruction of music or dance; taxidermy shop.
2. Height. Structure height up to 26 feet shall be permitted at any location which is no closer than 50 feet from an adjacent R-1 zone. The height of any structure over 26 feet tall shall fall within a 25 degree angle plane from the

horizontal at the mean grade along each boundary abutting an R-1 zone. Otherwise, height shall be as provided in the R-1 zone, except that height should not exceed 46 feet.

3. Setback.
 - a. There shall be a setback from Central Avenue of not less than 5 feet, a setback from Laguna Boulevard, 15th Street, and San Pasquale Avenue of not less than 10 feet, and a setback of 11 feet from the junction of a driveway or alley and a public sidewalk or planned public sidewalk location.
 - b. No part of any swimming pool, refuse bin, or building shall be closer than 50 feet from an R-1 zone or 15 feet from any other lot line.
4. Density. A floor area ratio of .61 shall be the maximum permitted for residential development.
5. Landscaping.
 - a. Extensive buffer landscaping between new development and adjacent homes shall be provided to minimize the impact of commercial and multi-family development on adjacent single family homes. The requirements of Section 40.J of the Comprehensive City Zoning Code shall be considered the minimum acceptable buffer.
 - b. Front yard landscaping for residential development shall include street trees and a sight buffer from Central Avenue.
 - c. Landscaping shall be used to break up large parking areas and muffle noise from Central Avenue.
6. Off-Street Parking. Off-street parking shall be as provided in Section 40.A of the Comprehensive City Zoning Code.
7. Usable Open Space. Usable open space for residential development shall be as provided in the R-2 Residential Zone in the Comprehensive City Zoning Code.
8. Signs. At a maximum, signs shall be regulated the same as in the C-1 Neighborhood Commercial Zone. However, the number, height, size, design, and location of these signs shall be subject to review with the Site Development Plan, and these restrictions may be amended if necessary to meet the intent of this plan.
9. Site Development Plan Review and Approval Procedures. (Same as SU-1 Procedures).
 - a. A Site Development Plan and preliminary Landscaping Plan shall be submitted for approval by the Planning Commission for new development on any site in this zone. The Planning Commission may delegate approval of the above plans to the City Planner. A final Landscaping Plan shall be approved by the City Planner prior to the issuance of a building permit.
 - b. In approving a Site Development Plan, the Planning Commission may impose requirements as may be necessary to implement the purpose of this ordinance.

- c. A certified copy of the Site Development Plan shall be kept in the Planning Division records so that it may be reviewed against an application for a building permit for any part of all of new development on a site in this zone.
- d. The Planning Commission shall review the plan and progress of development at least every four years until it is fully implemented to determine if the plan should be amended.
- e. The City Planner may approve minor changes to an approved Site Development Plan or Landscaping Plan if they are consistent with the use and other written requirements approved by the Planning Commission, if the buildings are of the same general size, the vehicular circulation is similar in its effect on adjacent property and streets, and the approving official finds that neither the City nor any person will be substantially aggrieved by the altered plan.

NC Neighborhood Commercial. Same as the C-1 Neighborhood Commercial Zone in the Comprehensive City Zoning Code and subject to the same regulations as that zone.

APPLICATION INFORMATION



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- D L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Mullen Heller Architecture, P.C. PHONE: 505-268-4144
 ADDRESS: 1718 Central Ave SW Suite D FAX: 505-268-4244
 CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: doug@mullenheller.com

APPLICANT: Country Club Partners, LLC PHONE: 505-453-7164
 ADDRESS: 1718 Central Avenue SW, Suite A FAX: 505-717-2092
 CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Obtain Environmental Planning Commission (EPC) Approval
See attached letter of explanation

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 5 Block: n/a Unit: n/a
 Subdiv/Addn/TBKA: Country Club Plaza Subdivision
 Existing Zoning: SU-2 for CLD Proposed zoning: same MRGCD Map No. N/A
 Zone Atlas page(s): J-13-Z UPC Code: 101305823211430905

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z, V, S, etc.): 1004677
13EPC-40139; 14AA-10034; 14AA-10092; 15AA-10061; 17AA-10057

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.63 acres
 LOCATION OF PROPERTY BY STREETS: On or Near: Located on SWC of Central Avenue S.W. & Laguna Blvd
 Between: Central Avenue SW and Chacoma Pl SW
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 5/16/2017 3/22/2016 1/10/2017

SIGNATURE [Signature] DATE 6/29/17
 (Print) Douglas Heller Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>17EPC - 40027</u>	<u>SBP</u>		<u>\$ 385.00</u>
<input type="checkbox"/> All fees have been collected		<u>ADY</u>		<u>\$ 75.00</u>
<input type="checkbox"/> All case #s are assigned		<u>CMF</u>		<u>\$ 50.00</u>
<input type="checkbox"/> AGIS copy has been sent				\$
<input type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 510.00</u>

Hearing date August 10, 2017

Vaf 6-29-17 Project # 1004677
 Planner signature / date

FORM P(1): SITE DEVELOPMENT PLAN REVIEW – E.P.C. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC16) Maximum Size: 24" x 36"**
- IP MASTER DEVELOPMENT PLAN (EPC11)**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies**.
 - ___ For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
 - ___ Site plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Completed Site Plan for Subdivision and/or Building Permit Checklist
 - ___ Sign Posting Agreement
 - ___ Traffic Impact Study (TIS) form with required signature
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC15) Maximum Size: 24" x 36"**
- SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY (WTF) (EPC17)**

- N/A 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies**.
- N/A Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **20 copies**
- Site Plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision and/or Building Permit Checklist
- Traffic Impact Study (TIS) form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

NOTE: For wireless telecom facilities, requests for waivers of requirements, the following materials are required in addition to those listed above for application submittal:

- ___ Collocation evidence as described in Zoning Code §14-16-3-17(A)(6)
- ___ Notarized statement declaring number of antennas accommodated. Refer to §14-16-3-17(A)(13)(d)(2)
- ___ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(13)(e)
- ___ Affidavit explaining factual basis of engineering requirements. Refer to §14-16-3-17(A)(13)(d)(3)
- ___ Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower §14-16-3-17(A)(17)
- ___ Registered engineer or architect's stamp on the Site Development Plans
- ___ Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**

EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC01) Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC02)**

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **20 copies**
- ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **20 copies**
- ___ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **20 copies**
- ___ Site plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- ___ Traffic Impact Study (TIS) form with required signature
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Douglas Heller Applicant name (print)
[Signature] Applicant signature / date 6/29/17



<input type="checkbox"/> Checklists complete	Application case numbers	Form revised November 2010
<input type="checkbox"/> Fees collected	<u>17EPC</u> - <u>40027</u>	<u>Vah</u> <u>6-29-17</u>
<input type="checkbox"/> Case #s assigned	_____	Planner signature / date
<input type="checkbox"/> Related #s listed	_____	Project #: <u>1004677</u>

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Rembe Urban Design+Development DATE OF REQUEST: 06/26/17 ZONE ATLAS PAGE(S): J-13-Z
c/o Mullen Heller Architecture

CURRENT: SU-2/CLD (HUNING CASTLE & RAYNOLDS) LEGAL DESCRIPTION:
ZONING ADDITION NEIGHBORHOOD SDP LOT OR TRACT # LOT 5 BLOCK # _____
PARCEL SIZE (AC/SQ. FT.) 1.63 AC. SUBDIVISION NAME COUNTRY CLUB PLAZA

REQUESTED CITY ACTION(S):

ANNEXATION [] SITE DEVELOPMENT PLAN:
ZONE CHANGE []: From _____ To _____ SUBDIVISION* [] AMENDMENT []
SECTOR, AREA, FAC, COMP PLAN [] BUILDING PERMIT [X] ACCESS PERMIT []
AMENDMENT (Map/Text) [] BUILDING PURPOSES [] OTHER []
*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION [X]
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 57
BUILDING SIZE: 49,814 SF. (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature] DATE 6/25/17
(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

THRESHOLDS MET? YES [] NO [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature] 6/26/17
TRAFFIC ENGINEER DATE

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

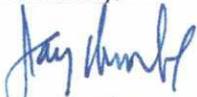
TIS -SUBMITTED / / _____ DATE _____
-FINALIZED / / TRAFFIC ENGINEER

March 7, 2013

To Whom It May Concern:

This letter serves as authorization that Mullen Heller Architecture is the agent for Jay Rembe, owner of the property being "TRACTS 1 THRU 4 OF COUNTRY CLUB PLAZA SUBDIVISION FORMERLY OF TRACT "A" AND "B" LANDS OF H.B HORN AND CALVIN HORN, MRGCD TRACT 129-B-1-A, MAP 38 LAGUNA/HUNING CASTLE & REMAINING PORTION OF TRACT B AMENDED HUNING CASTLE ADDITION" in all matters for the City of Albuquerque's Site Development Process.

Sincerely,



Jay Rembe

August 2, 2017

Ms. Karen Hudson, Chair
Environmental Planning Commission
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

**RE: Site Development Plan for Building Permit
Lot 5 Country Club Plaza Subdivision**
Associated Submittal: 13EPC-40139, Project Number 1004677
Zone Atlas Page J-13-Z

Dear Ms. Hudson:

Mullen Heller Architecture, on behalf of Country Club Partners, LLC, requests approval of a Site Development Plan for Building Permit for the final phase of the Country Club Plaza development of the 1.63 acre Lot 5 along Central Avenue, west of Laguna Blvd. SW. The current zoning of the property is "SU-2/CLD" and is part of the Huning Castle and Reynolds Addition Neighborhood Sector Development Plan.

This site is part of a larger Site Development Plan for Building Permit that was previously approved by the Environmental Planning Commission in 2013. That project was an innovative multi-use development which included the adapted reuse and renovation of three existing buildings and the construction of two new buildings for commercial, office and residential uses on Lots 1 through 4 of the nearly four acre site. Lot 5, the subject of this submittal, was included as a future phase of development.

For this project, the site plan and design intent of the development follows the ideals set forth in the original submittal approved in 2013, for the majority of the development work is complete and is to remain. The project on Lot 5 includes the construction of Proposed Building 3 (a 3-story mixed-use building of office and residential functions, with a small below-grade basement for residential storage); as well as additional off-street parking and landscaped areas.

Project Description

Country Club Plaza is a dynamic infill mixed-use development that aims to generate an environment conducive to robust pedestrian, bicyclist, and vehicular activity. The development has been carefully designed to provide ample opportunities for interactions between an array of uses; including retail shops and services, restaurants, offices, and residences through the diverse interplay of landscaped walkways and courtyards with various architectural buildings and manicured plazas.

The development's design intent is to reactivate Central Avenue and reestablish the street façade along this stretch of the historic Route 66 corridor. The project will continue the rejuvenation efforts of its predecessors on Lots 1 through 4 of the site, by constructing the third and final new building on the remaining Lot 5. This new building, exterior patio, additional parking, and associated landscaping will complete the Country Club Plaza development and further revitalize the historic Route 66 identity, beautify Central Avenue, and introduce additional economic prospects to the area.



The goal of the Country Club Plaza is to become a new model for mixed-use development with an emphasis on place making. Upon completion of Lot 5, there will be consistent interaction between all facets of the development which will facilitate a lively environment with a wonderful assortment of mixed uses. Patrons and residents alike will be able to enjoy beautiful civic areas and quaint courtyards all the same.

This project follows the site planning and design standards set forth in the approved EPC package. The proposed project includes 49,814sf of office and multi-family residential uses, with 58 new residential units. The proposed building will primarily house residential functions, but includes ±4,800sf on the first floor dedicated to commercial office functions, including those that may be applicable as amenities for the residents of the building. These new common spaces and amenities will be programmed to stimulate and encourage community.

Please note that as a condition from the original EPC approval, "R-2 Community Residential Programs" and "Drive-Thru Service Windows," are prohibited. Also included in the list of prohibited uses are wireless telecommunication facilities.

Albuquerque/Bernalillo County Comprehensive Plan

With this project being the final phase of Country Club Plaza, the completed development fits perfectly within the recently adopted Albuquerque/Bernalillo County Comprehensive Plan. One of the visions noted in the Comprehensive Plan is that "neighborhoods will be safer and easier places to walk through and between. The positive characteristics that contribute to their unique identities will be protected and enhanced."

Country Club Plaza, with its diverse mix of residential, offices, and retail uses, is the type of *Activity Centers* that successfully "incorporate a mix of residential and convenient services at a neighborhood scale, serving neighborhoods within a 20-minute walk or short bike ride," and will be an example for future small-scale mixed used developments.

Request for Site Development Plan for Building Permit

This submittal requests approval of the remaining 1.63 acre, Lot 5 of the previously approved 3.37 acre site plan. Lot 5 includes a new building, exterior patio, landscaped areas, and additional off-street parking to compliment the previously developed five buildings and related site work on existing Lots 1 through 4.

Elevations, site sections, and site details of the proposed building are included in the Site Development Plan for Building Permit package, and the remaining building will be subject to the Design Standards which are part of the previously approved Site Development Plan for Subdivision.

The project will reference the Huning Castle and Reynolds Addition Neighborhood Sector Development Plan for project justification:

Zoning:

The current zoning of the property is SU-2 for CLD Uses and no change in zoning is anticipated. The proposed uses on the site are in line with the current zoning.

Additionally, the design team met with the City of Albuquerque Planning Review Team on three occasions, from March of 2016 through May of 2017, to review the project intent and requirements. As identified by the City Zoning Department, Lot B-1 of Laguna/Huning Castle Subdivision (the residential lot to the south of the proposed project) has two zoning classifications within its property boundary: R-1 on the southern portion and SU-2 on the northern portion that abuts the Country Club Plaza Development. This zoning boundary and related building setbacks were clarified on the original Site Development Plan for Subdivision via an approved Administrative Amendment. The current zoning boundary and setback from the adjacent R-1 zones are correctly indicated on this submittal.

Setback:

Per the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan, CLD Commercial/Low Density Apartment Zone section 3.B.; "No part of any swimming pool, refuse bin, or building shall be closer than 50 feet from an R-1 zone or 15' from any other lot line, whichever is greater."

As such, the proposed building setback is taken from the R-1 zone boundary line (not the property line) at all locations, including Lot B-1 of Laguna/Huning Castle Subdivision as mentioned above. (Please note that in most cases of this submittal, the zoning boundary line and property line are the same).

Building Height:

Per the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan, CLD Commercial/Low Density Apartment Zone Section 2; "Structure height up to 26 feet shall be permitted at any location which is no closer than 50 feet from an adjacent R-1 zone. The height of any structure over 26 feet tall shall fall within a 25 degree angle plane from the horizontal at the mean grade along each boundary abutting an R-1 zone. Otherwise, height shall be as provided in the R-1 zone, except that height should not exceed 46 feet."

As such, the point of origin of the angle plane is taken from the mean grade along each R-1 zone line, which is not necessarily the property line. Please note that in most cases of this submittal, the zoning boundary line and property line are the same.

The team carefully articulated the variance in parapet heights per the 25 degree angle plane restriction on height. As illustrated in the provided project site sections, the proposed building height is 46'-0" maximum, and varies along the façade with a minimum parapet height of 31'-2" at the east side community roof deck given the proximity to the R-1 boundary of Tract A-1-A.

Maximum Total Dwelling Units:

Per the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan, there is no maximum number of dwelling units, rather the limitation of dwelling units is based on the Floor Area Ratio (FAR) on the approved Site Development Plan for Subdivision.

The FAR can be calculated using the entire 3.37 acre development, as it is under one ownership. The allowable area for residential uses is 89,654sf. The total proposed area of residential uses on Lot 5 is 45,047sf, coupled with the existing 16,395sf of the previously approved residential uses, the total proposed residential uses for Lots 1-5 is 61,442sf, which is well below that which is allowed.

Design Character

Three design styles are prominent within the Huning Castle & Raynolds Addition Neighborhoods; Moderne, Mediterranean Revival, and Craftsman. The main artery that flows through the Old Town area is Central Avenue, whose historic past as part of Route 66 and America's infatuation with the automobile heavily influences the architecture of the surrounding neighborhood. Many of the buildings around the Country Club area were constructed during the popular Moderne style following the Art Deco design movement and truly embraced this legacy. The prominent features of this era included neon lights and simple massing. Country Club Plaza pays homage to the Moderne style. The aesthetic goal of the development of Lot 5 will be respectful of its heritage and historical context by designing the proposed building in the Moderne style while updating it to a more contemporary aesthetic.

Several key design characteristics of the Moderne movement will be integrated into the proposed building elevations; including a simple massing composed of asymmetrical, well-defined projecting forms, large overhangs and canopies, and enclosed soffits. Recessed entry porches and balconies of varying sizes and configurations will further help to articulate the facades. Exterior walls will primarily be finished with earth-tone colored stucco and accented with contemporary materials and vibrant colors to add diversity to the façade.

Phasing

The proposed project will be built in one phase.

Grading and Drainage

The grading and drainage for Lots 1 through 4 shall remain as existing.

The concept for the grading and drainage plan for the proposed Lot 5 includes sloping the new drive aisles, parking areas, and the proposed building's roof and balcony surfaces to allow for the majority of the storm water to drain across the site to the rear parking area and to carefully designed landscape features. The landscape features include a long, shallow retention area at the south property line (that can still be used as an enclosed resident park area) and a deeper retention pond with decorative guardrail fence at the southeast property line. Excess water retained on-site within both of these landscape areas will be pumped via an existing drainage easement on Tract A-1-A to an existing storm drain inlet on Laguna Boulevard.

Landscaping

The landscaping on Lots 1 through 4 shall remain as existing.

The landscaping concept for this development follows the original submittal's design standards, by using a variety of plant materials and organizing it in a more formal manner. This is enforced on the Landscape Plan by the placement of trees which line the perimeter of the site, particularly along the boundary of the single family homes, and vehicular drives, and by shrubs that create visual interest throughout the development.

The main entry of the proposed building will align with and tie into the existing central courtyard of the development (located on Lots 2 & 3) and will continue the landscape design across the existing looped access drive. Careful attention will also be paid to the landscaping of the prominent features of the proposed building, including the ground level community patio on the east side and the community roof deck on the second level.

The proposed project meets all Zoning Code landscaping requirements.

Usable Open Space

The usable open space on Lots 1 through 4 shall remain as existing.

The usable open space for Lot 5 meets all Zoning Code and Sector Development Plan requirements, providing ample usable open space for the residential uses through manicured landscaped areas, walkways, a ground level community patio, a roof top community terrace, and private upper level balconies. Given the 58 proposed residential studio efficiency/1 bedroom units, 23,300sf of usable open space is required and 26,589sf of open space is provided.

Pedestrian Circulation & Traffic Impact

Vehicular access to the development and the two existing main vehicular access points off of Central Avenue (on Lots 1 and 3 respectively), shall remain as existing. No new curbs cuts off of Central Avenue are proposed. A new vehicular drive, which ties into the existing loop drive, wraps around the proposed building for residents and emergency vehicle access. This allows for ease of vehicle access throughout the site, ease of access to the two proposed building entrances and various ground-level residential stoops.

The existing pedestrian circulation through the site is simple and connects the front of each existing building to the others. The proposed building will follow suit with its primary connection to existing Lots 1 through 4 by a stamped concrete crosswalk connecting the main entry of the building to the central courtyard. A new continuous pedestrian sidewalk wraps the proposed building perimeter, giving pedestrians a safe place to walk that is segregated from vehicular traffic. Raised ground level residential stoops on the north and south facades of the proposed building will further engage pedestrian activity. Where new pedestrian paths cross a drive aisle, the paths are delineated with scored, colored concrete. Ample bicycle racks are located throughout the site, with racks located near the two main entries of the proposed building.

As approved on the original EPC submittal and as recorded on the approved Amended Site Development Plan for Subdivision, required parking for the development shall be consistent with the C-1 Zone parking requirements. Also, this project takes advantage of the Shared Parking Provision, consistent with the original EPC submittal, as found in the Comprehensive Zoning Code, C-1 Zone and Appendix J. A matrix of anticipated uses coupled with peak parking requirements is shown on the Site Development Plan for Building Permit. Parking calculations for the anticipated commercial tenant uses are shown on the Site Development Plan for Building Permit and will be subject to review by Code Enforcement when submitted for future building permits.

Signage

The existing pole signs as previously developed on Lots 1 through 4 are to remain as existing.

Per the approved Design Standards, building mounted signage shall be limited to 9% of the façade to which it is applied. Calculations noting the area of the façade and the percentages allowed are indicated on the proposed building elevations. Building mounted signage will also be limited to individually illuminated channel letters, for a more refined, polished aesthetic. Due to proximity to adjacent R-1 zones, the proposed building limits illuminated signage to the north façade only, with all other façades receiving non-illuminated directional signage where indicated.

Lighting

Existing pole lights, building-mounted lights, and string lights strung from building to building on Lots 1 through 4 shall remain as existing.

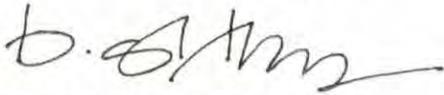
The proposed development will incorporate site lighting techniques which will comply with the New Mexico Night Sky Protection Act. New pole lights will be located along the perimeter of the proposed off-street parking area and shall match existing. The proposed building will be outfitted with wall-mounted decorative lights, recessed soffit lights, and emergency wall packs to match existing. All fixtures will be fully shielded.

Summary

This proposed infill project will complete the much needed development of a property along Central Avenue in an area that has undergone revitalization in the past several years. The uses provided in this development will enhance this developing area and provide a much needed connection of services and housing that will bridge this area between Downtown and Old Town. The design team and owner have taken great care in designing a community development that is sensitive to the site and existing neighborhood context.

Sincerely yours,

Mullen Heller Architecture PC



Douglas Heller, AIA, LEED AP

NOTIFICATION & NEIGHBORHOOD INFORMATION



City of Albuquerque

***PLEASE NOTE:** The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office.

June 21, 2017

Douglas Heller
Mullen Heller Architecture PC
1718 Central Ave SW, Suite D
Albuquerque, NM 87104
(505) 268-4144
danielle@mullenheller.com

Dear Douglas:

Thank you for your inquiry requesting the names of ALL Neighborhood and/or Homeowner Associations who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed **[EPC Submittal]** project recorded as **[Lot 5 Country Club Plaza Subdivision]** located on **[Central Ave between San Pasquale Ave SW and Laguna Blvd. SW]** zone map **[J-13]**.

This correspondence serves as your "Notification Inquiry Letter" from the Office of Neighborhood Coordination, and must be included as part of your application. Please see "ATTACHMENT A" for a list of NA's / HOA's that must be contacted regarding this submittal.

Please note that according to Section §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify **both** of these contact persons by **certified mail, return receipt requested**, before the Planning Department will accept your application. Please see Page 2 of this letter for additional requirements. If you have any questions about the information provided please contact our office at (505) 768-3334 or ONC@cabq.gov

Sincerely,

Office of Neighborhood Coordination
Council Services Department

Neighborhood Notification Letters Must Include the Following:

Prior to filing an application with the Planning Department, all applicants requesting approvals through the Environmental Planning Commission (EPC), Development Review Board (DRB), Landmarks & Urban Conservation Commission (LUCC), or approval of a Wireless Telecommunication Facility (WTF) are required to notify any affected neighborhood and/or homeowner associations via certified mail.

1. The street address for the subject property;
2. The currently recorded legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision;
3. A physical description of the location, referenced to streets and existing land uses;
4. A complete and detailed description of the action(s) being requested;
5. ***** NEW*** Facilitated Meeting Information** – All notification letters must include the following text:
Affected Neighborhood Associations and Homeowner Associations may request a Facilitated Meeting regarding this project by contacting the Office of Neighborhood Coordination (ONC) by email at ONC@cabq.gov or by phone at (505) 768-3334.
A facilitated meeting request must be received by ONC by: **Monday July 10, 2017.**

Neighborhood Notification Checklist

The following information must be included for **each** application packet submitted to the City of Albuquerque Planning Department.

1. ONC's "Notification Inquiry Letter" outlining any affected Neighborhood and/or Homeowner Associations.

*Note: If your ONC letter is more than 30 days old, you must contact ONC to ensure that the contact information is still current.
2. Copies of Letters sent to any affected Neighborhood and/or Homeowner Associations.
3. Copies of certified receipts mailed to any affected Neighborhood and/or Homeowner Associations.

Any questions, please feel free to contact our office at (505) 768-3334 or ONC@cabq.gov.

Thank you for your cooperation on this matter.

.....
(ONC use only)

Date Processed: **06/21/17** ONC Staff Initials: **VMQ**

ATTACHMENT A

HUNING CASTLE N.A. (HCS) "R"

***Harvey Buchalter** *e-mail:* hcbuchalter@gmail.com

1615 Kit Carson SW/87104 247-2602 (h)

Deborah Allen *e-mail:* debzallen@ymail.com

206 Laguna Blvd. SW/87104 250-3669 (h)

Website: www.huningcastle.com **NA E-mail:** hcnaalert@gmail.com

Council District: 2

County District: 2

Police Beat: 223/VA

Zone Map #: J-K-12-13

DOWNTOWN N.A. (DNA) "R"

***Holly Siebert** *e-mail:* holly.siebert@gmail.com

408 11th NW/87102 321-6883 (h)

David McCain *e-mail:* dmccain47@comcast.net

1424½ Lomas Blvd. NW/87104 250-8757 (h)

Website: www.abqdna.com

Council District: 2

County District: 1

Police Beat: 223,225,232,233/VA

Zone Map #: J-K-13-14



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 1/28/2016

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-13-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

Feet
0 750 1,500

Typical

June 28, 2017

Huning Castle N.A. (HCS)
Harvey Buchalter
1615 Kit Carson SW
Albuquerque, NM 87104

Dear Mr. Buchalter:

We are writing to you and your neighborhood association as the agent for Country Club Partners, LLC who is developing the property at 1716 Central Avenue SW, within the Country Club Plaza development. The legal description of the property being developed is Lot 5 of the Country Club Plaza Subdivision.

The proposed project is a ±50,000sf multi-family building on the 1.63 acre parcel that is the final project phase in the County Club Plaza development.

This project seeks to obtain Site Development Plan for Building Permit approval from the City's Environmental Planning Commission.

Affected Neighborhood Associations and Homeowner Associations may request a Facilitated Meeting regarding this project by contacting the Office of Neighborhood Coordination (ONC) by email at ONC@cabq.gov or by phone at (505) 924-3914.

A facilitated meeting request must be received by ONC by: Monday, July 10, 2017.

Attached is a site plan of the proposed project for your review. As always, feel free to contact the owner, Jay Rembe, or me directly to review the scope of the project. We are happy to provide additional details if you wish.

Sincerely yours,

Mullen Heller Architecture PC



Douglas Heller, AIA, LEED AP

Attachment: Site Development Plan for Building Permit, dated 6/29/17

Mullen Heller Architecture PC

1718 Central Avenue SW Suite D
Albuquerque New Mexico 87104
505 268 4144 [p] 505 268 4244 [f]



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Total Postage and Fees \$6.59

Sent To

Huning Castle N.A.
 Ann. Harley Buchalter
 Street and Apt. No., or PO Box No.
 1615 Kit Carson SW

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 Albuquerque, NM 87104

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 Deborah Allen
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 206 Laguna Blvd SW

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 408 11th NW

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 David McCain
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 1424 1/2 Lomas Blvd NW

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Danielle Welch

From: Delgado, Geraldine C. <gdelgado@cabq.gov>
Sent: Tuesday, June 27, 2017 2:19 PM
To: Doug Heller
Cc: Danielle Welch; Vos, Michael J.
Subject: RE: Buffer Map request
Attachments: Doug Heller - 1716 Central Ave. SW, 87104 - 8.5x11 Landscape.pdf; Doug Heller - 1716 Central Ave. SW, 87104 - Labels II.pdf

Hi Doug & Danielle,

Here is the buffer map and the property owner labels you requested. If you have any questions feel free to call Michael Vos.

Thank You,

Geraldine Delgado
Senior Office Assistant
Planning Department
600 2nd St NW
Albuquerque, NM 87102
505-924-3860
gdelgado@cabq.gov

From: Doug Heller [mailto:Doug@mullenheller.com]
Sent: Tuesday, June 27, 2017 10:38 AM
To: Delgado, Geraldine C.
Cc: Danielle Welch
Subject: Buffer Map request

Hello Geraldine, we are requesting a buffer map for the property located at 1716 Central Ave SW, 87104. We are anticipating submitting to EPC on Thursday 6/29/17. Thanks for your help.

Douglas Heller, AIA LEED AP

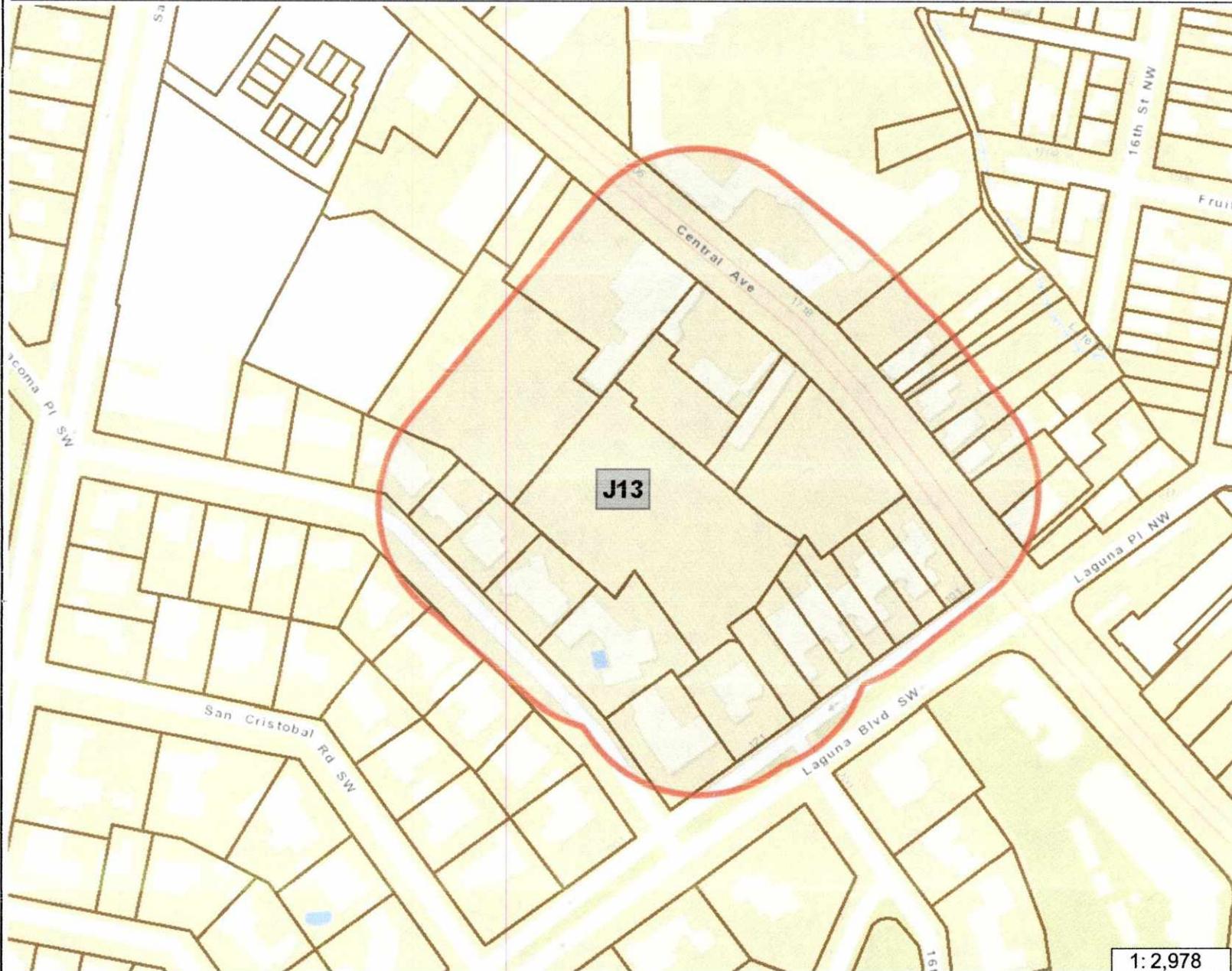


Mullen Heller
Architecture P.C.
1718 Central Ave SW Suite D / Albuquerque, NM 87104
www.mullenheller.com / Phone: 505.268.4144

=====
This message has been analyzed by Deep Discovery Email Inspector.



1716 Central Ave. SW, 87104



Legend

- Bernalillo County Parcels
- Zone Grid
- Municipal Limits**
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
- World Street Map

Notes

Buffer: 183ft.
 ROW: Central Ave. 83ft.

1:2,978

0.1 0 0.05 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
 6/27/2017 © City of Albuquerque

This map is a user generated static output from www.cabq.gov/gis and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

GARCIA FLORAJAYNE
103 LAGUNA BLVD SW
ALBUQUERQUE NM 87104-1157

NEIMANAS JOYCE
40 THE HIGHLANDS PL SW
ROCHESTER NY 14622

LEVENSON SHANA
869 SILVER AVE SW
ALBUQUERQUE NM 87102-3020

SILVERMAN ADAM & NICOLE B
1701 CHACOMA PL SW
ALBUQUERQUE NM 87104-1108

CHAPMAN BEVERLY W
101 LAGUNA BLVD SW
ALBUQUERQUE NM 87104

TRUDEAU CYNTHIA L
9915 SAND VERBENA TRL NE
ALBUQUERQUE NM 87122

ALVERSON DALE C & JENNIFER BEAN & SITTERLY
REBECCA
312 LAGUNA BLVD SW
ALBUQUERQUE NM 87104-1113

RICE CONNOR DRUMMOND & WERENKO
ELEANOR C
1712 CHACOMA PL SW
ALBUQUERQUE NM 87104-1109

MANZANO DAY SCHOOL
1801 CENTRAL AVE NW
ALBUQUERQUE NM 87104-1143

ZUNIGA ROBERT E
125 LAGUNA BLVD SW
ALBUQUERQUE NM 87104

HATFIELD MARTIN E
105 LAGUNA BLVD SW
ALBUQUERQUE NM 87104-1157

POTTER ALBERT F & CARA GORDON
1705 CHACOMA PL SW
ALBUQUERQUE NM 87104

COUNTRY CLUB PLAZA PARTNERS LLC ATTN: MR
JAY REMBE
1718 CENTRAL AVE SW SUITE A
ALBUQUERQUE NM 87104

AG & FIVE LLC
1113 4TH ST NW
ALBUQUERQUE NM 87102

BRONSTEIN PAUL
1719 CHACOMA PL SW
ALBUQUERQUE NM 87104

*duplicate
removed per E. Delgado*

ADOLPH COLLEEN K
1717 CHACOMA PL SW
ALBUQUERQUE NM 87104

LARA ROBERT & ANDERSON ERIKA E
PO BOX 27511
ALBUQUERQUE NM 87125

RAMIREZ PALOMA
1701 CENTRAL AVE NW
ALBUQUERQUE NM 87104-1141

BLYTHE WILLIAM E & HORTENSIA S
6901 GEORGETOWN AVE NW
ALBUQUERQUE NM 87120

GARCIA WILFRED
24322 DEL PRADO
DANA POINT CA 92629-2713

GARCIA VITA A
1617 CENTRAL AVE NW
ALBUQUERQUE NM 87104-1139

VIGIL DOLORES PATRICIA
8626 PLYMOUTH ROCK RD NE
ALBUQUERQUE NM 87109-5074

ISC HOLDINGS LLC C/O GEORGE COOK
P O BOX 7308
ALBUQUERQUE NM 87194-7308

FERNANDEZ JOSHUA & JENNIFER E
REGENSBERG
1114 TOMAS ST SW
ALBUQUERQUE NM 87121-8064

AG & FIVE LLC
1113 4TH ST NW
ALBUQUERQUE NM 87102

NIETO PETE A & HELEN F
416 61ST ST SW
ALBUQUERQUE NM 87121

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REBECCA
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JAY REMBE
City, State, Zip+4® 1718 CENTRAL AVE SW SUITE A
ALBUQUERQUE NM 87104

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City, State ALBUQUERQUE NM 87109-5074

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40 THE HIGHLANDS PL SW
City, State ROCHESTER NY 14622

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<input type="checkbox"/> Return Receipt (electronic)	\$ 0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ 0.00
<input type="checkbox"/> Adult Signature Required	\$ 0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ 0.00

0104
01

Postmark
Here

Postage	\$ 0.49
Total Postage and Fees	\$ 6.59

06/28/2017

Sent To
Street and / CHAPMAN BEVERLY W
101 LAGUNA BLVD SW
City, State ALBUQUERQUE NM 87104

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 0750 0000 8621 4207

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ALBUQUERQUE, NM 87104

Certified Mail Fee	\$ 3.35
Extra Services & Fees (check box, add fee as appropriate)	\$ 2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$ 0.00
<input type="checkbox"/> Return Receipt (electronic)	\$ 0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ 0.00
<input type="checkbox"/> Adult Signature Required	\$ 0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ 0.00

0104
01

Postmark
Here

Postage	\$ 0.49
Total Postage and Fees	\$ 6.59

06/28/2017

Sent To
Street and / RICE CONNOR DRUMMOND & WERENKO
ELEANOR C
1712 CHACOMA PL SW
City, State ALBUQUERQUE NM 87104-1109

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 0750 0000 8621 4214

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ALBUQUERQUE NM 87104

Certified Mail Fee	\$3.35	0104 01
Extra Services & Fees (check box, add fee as appropriate)	\$2.75	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	06/28/2017
Total Postage and Fees	\$6.59	

Sent To
Street and Apt. HATFIELD MARTIN E
105 LAGUNA BLVD SW
City, State, ZIP ALBUQUERQUE NM 87104-1157

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 0750 0000 8621 4238

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ALBUQUERQUE NM 87125

Certified Mail Fee	\$3.35	0104 01
Extra Services & Fees (check box, add fee as appropriate)	\$2.75	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	06/28/2017
Total Postage and Fees	\$6.59	

Sent To
Street and Apt. LARA ROBERT & ANDERSON ERIKA E
PO BOX 27511
City, State, ZIP ALBUQUERQUE NM 87125

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 0750 0000 8621 4245

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DANA POINT CA 92629

Certified Mail Fee	\$3.35	0104 01
Extra Services & Fees (check box, add fee as appropriate)	\$2.75	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	06/28/2017
Total Postage and Fees	\$6.59	

Sent To
Street and Apt. GARCIA WILFRED
24322 DEL PRADO
City, State, ZIP DANA POINT CA 92629-2713

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 0750 0000 8621 4252

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ALBUQUERQUE NM 87194

Certified Mail Fee	\$3.35	0104 01
Extra Services & Fees (check box, add fee as appropriate)	\$2.75	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	06/28/2017
Total Postage and Fees	\$6.59	

Sent To
Street and Apt. ISC HOLDINGS LLC C/O GEORGE COOK
P O BOX 7308
City, State, ZIP ALBUQUERQUE NM 87194-7308

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 0750 0000 8621 4269

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ALBUQUERQUE NM 87121

Certified Mail Fee	\$3.35	0104 01
Extra Services & Fees (check box, add fee as appropriate)	\$2.75	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	06/28/2017
Total Postage and Fees	\$6.59	

Sent To
Street and Apt. NIETO PETE A & HELEN F
416 61ST ST SW
City, State, ZIP ALBUQUERQUE NM 87121

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 0750 0000 8621 4276

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

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ALBUQUERQUE NM 87102

Certified Mail Fee	\$3.35	0104 01
Extra Services & Fees (check box, add fee as appropriate)	\$2.75	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	06/28/2017
Total Postage and Fees	\$6.59	

Sent To
Street and Apt. LEVENSON SHANA
869 SILVER AVE SW
City, State, ZIP ALBUQUERQUE NM 87102-3020

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 0750 0000 8621 4283

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Certified Mail Fee	\$	3.35
Extra Services & Fees (check box, add fee as appropriate)		\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00

01
01

Postmark
Here

Postage	\$	\$0.49
Total Postage and Fees	\$	\$6.59

06/28/2017

Sent To
 TRUDEAU CYNTHIA L
 Street and Apt. 9915 SAND VERBENA TRL NE
 City, State, ZIP+4 ALBUQUERQUE NM 87122

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 0750 0000 8621 4306

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OFFICIAL USE

Certified Mail Fee	\$	3.35
Extra Services & Fees (check box, add fee as appropriate)		\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00

0104
01

Postmark
Here

Postage	\$	\$0.49
Total Postage and Fees	\$	\$6.59

06/28/2017

Sent To
 POTTER ALBERT F & CARA GORDON
 Street and Apt. 1705 CHACOMA PL SW
 City, State, ZIP+4 ALBUQUERQUE NM 87104

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 0750 0000 8621 4146

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OFFICIAL USE

Certified Mail Fee	\$	3.35
Extra Services & Fees (check box, add fee as appropriate)		\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00

0104
01

Postmark
Here

Postage	\$	\$0.49
Total Postage and Fees	\$	\$6.59

06/28/2017

Sent To
 RAMIREZ PALOMA
 Street and Apt. 1701 CENTRAL AVE NW
 City, State, ZIP+4 ALBUQUERQUE NM 87104-1141

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 0750 0000 8621 4290

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OFFICIAL USE

Certified Mail Fee	\$	3.35
Extra Services & Fees (check box, add fee as appropriate)		\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00

0104
01

Postmark
Here

Postage	\$	\$0.70
Total Postage and Fees	\$	\$6.80

06/28/2017

Sent To
 MANZANO DAY SCHOOL
 Street and Apt. 1801 CENTRAL AVE NW
 City, State, ZIP+4 ALBUQUERQUE NM 87104-1143

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 0750 0000 8621 4316

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Certified Mail Fee	\$	3.35
Extra Services & Fees (check box, add fee as appropriate)		\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00

0104
01

Postmark
Here

Postage	\$	\$0.49
Total Postage and Fees	\$	\$6.59

06/28/2017

Sent To
 BRONSTEIN PAUL
 Street and Apt. 1719 CHACOMA PL SW
 City, State, ZIP+4 ALBUQUERQUE NM 87104

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 0750 0000 8621 4320

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Certified Mail Fee	\$	3.35
Extra Services & Fees (check box, add fee as appropriate)		\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00

0104
01

Postmark
Here

Postage	\$	\$0.49
Total Postage and Fees	\$	\$6.59

06/28/2017

Sent To
 GARCIA VITA A
 Street and Apt. 1617 CENTRAL AVE NW
 City, State, ZIP+4 ALBUQUERQUE NM 87104-1139

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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ALBUQUERQUE, NM 87121

OFFICIAL USE

Certified Mail Fee	\$3.35
Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0104
01

Postmark
Here

Postage	\$0.49
Total Postage and Fees	\$6.59

06/28/2017

Sent To FERNANDEZ JOSHUA & JENNIFER E
 Street and Apt REGENSBERG
 City, State, Zip 1114 TOMAS ST SW
 ALBUQUERQUE NM 87121-8064

PS Form 3800, April 2013 PSN 7530-02-000-9047 See reverse for instructions

7016 0750 0000 8621 4337

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Hearing Date: Thursday, August 10, 2017 1004677

Zone Atlas Page: J-13

Notification Radius: Neighborhood Associations
100ft plus r.o.w

Cross Reference and Location: Located on SWC of Central Ave. SW & Laguna Blvd.
between Central Ave. and Chacoma Pl. SW Ave.

Applicant: Country Club Partners
1718 Central Ave. SW, Suite A
ABQ, NM 87104

Agent: Mullen Heller Architecture, PC
1718 Central Ave. SW, Suite D
ABQ, NM 87104

Special Instructions:

**Notice must be mailed from the
City 15 days prior to the meeting.**

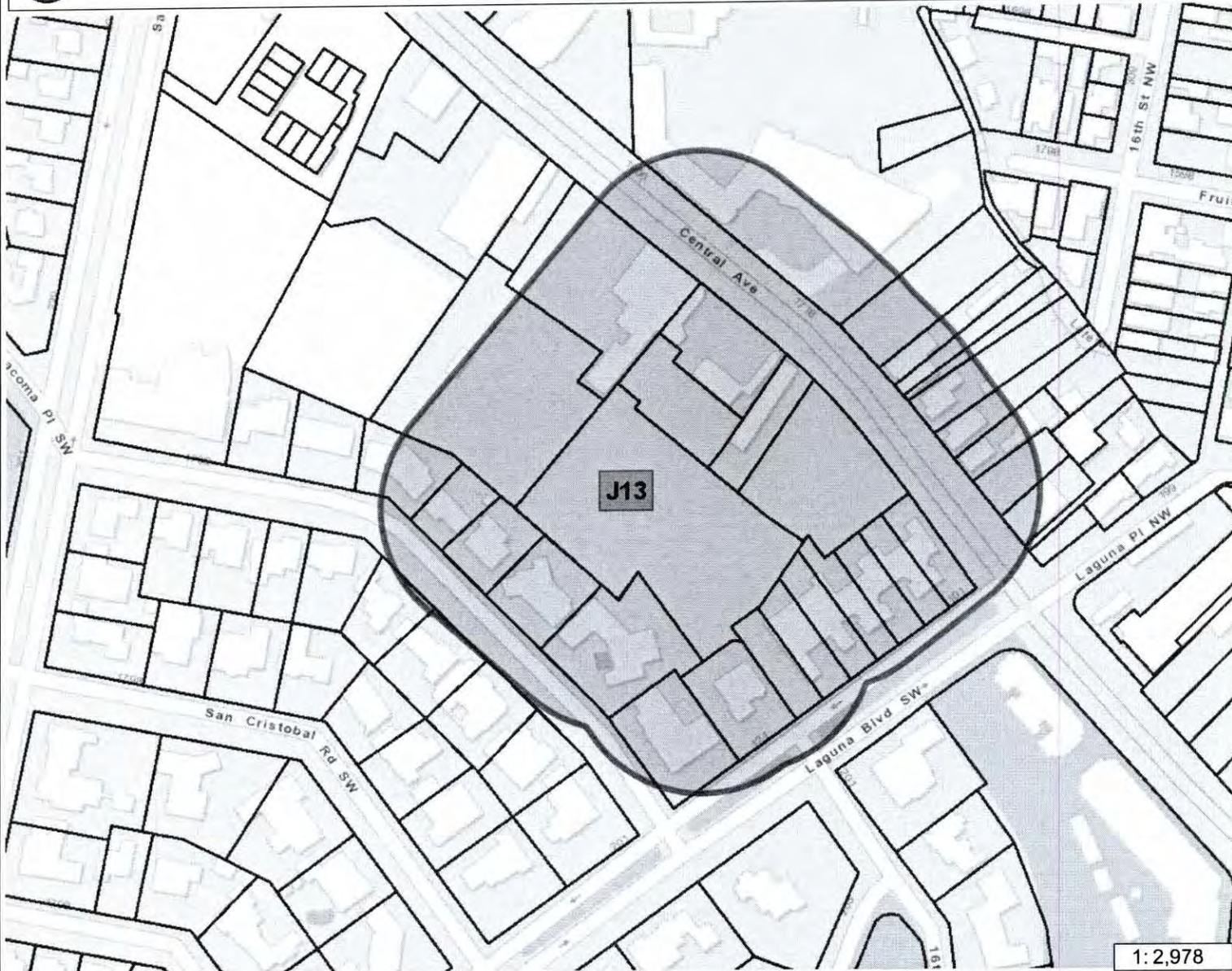
- PLN Certified mail outs**
 Applicant Certified mail outs

Date Mailed: 07/19/17

Signature: 

1004677

1716 Central Ave. SW, 87104



Legend

- Bernalillo County Parcels
- Zone Grid
- Municipal Limits**
- Corrales
- Edgewood
- Los Ranchos
- Rio Rancho
- Tijeras
- UNINCORPORATED
- World Street Map

Notes

Buffer: 183ft.
ROW: Central Ave. 83ft.

1:2,978

0.1 0 0.05 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
6/27/2017 © City of Albuquerque

This map is a user generated static output from www.cabq.gov/gis and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

GARCIA FLORAJAYNE
103 LAGUNA BLVD SW
ALBUQUERQUE NM 87104-1157

NEIMANAS JOYCE
40 THE HIGHLANDS PL SW
ROCHESTER NY 14622

LEVENSON SHANA
869 SILVER AVE SW
ALBUQUERQUE NM 87102-3020

SILVERMAN ADAM & NICOLE B
1701 CHACOMA PL SW
ALBUQUERQUE NM 87104-1108

CHAPMAN BEVERLY W
101 LAGUNA BLVD SW
ALBUQUERQUE NM 87104

TRUDEAU CYNTHIA L
9915 SAND VERBENA TRL NE
ALBUQUERQUE NM 87122

ALVERSON DALE C & JENNIFER BEAN & SITTERLY
REBECCA
312 LAGUNA BLVD SW
ALBUQUERQUE NM 87104-1113

RICE CONNOR DRUMMOND & WERENKO
ELEANOR C
1712 CHACOMA PL SW
ALBUQUERQUE NM 87104-1109

MANZANO DAY SCHOOL
1801 CENTRAL AVE NW
ALBUQUERQUE NM 87104-1143

ZUNIGA ROBERT E
125 LAGUNA BLVD SW
ALBUQUERQUE NM 87104

HATFIELD MARTIN E
105 LAGUNA BLVD SW
ALBUQUERQUE NM 87104-1157

POTTER ALBERT F & CARA GORDON
1705 CHACOMA PL SW
ALBUQUERQUE NM 87104

COUNTRY CLUB PLAZA PARTNERS LLC ATTN: MR
JAY REMBE
1718 CENTRAL AVE SW SUITE A
ALBUQUERQUE NM 87104

AG & FIVE LLC
1113 4TH ST NW
ALBUQUERQUE NM 87102

BRONSTEIN PAUL
1719 CHACOMA PL SW
ALBUQUERQUE NM 87104

ADOLPH COLLEEN K
1717 CHACOMA PL SW
ALBUQUERQUE NM 87104

LARA ROBERT & ANDERSON ERIKA E
PO BOX 27511
ALBUQUERQUE NM 87125

RAMIREZ PALOMA
1701 CENTRAL AVE NW
ALBUQUERQUE NM 87104-1141

BLYTHE WILLIAM E & HORTENSIA S
6901 GEORGETOWN AVE NW
ALBUQUERQUE NM 87120

GARCIA WILFRED
24322 DEL PRADO
DANA POINT CA 92629-2713

GARCIA VITA A
1617 CENTRAL AVE NW
ALBUQUERQUE NM 87104-1139

VIGIL DOLORES PATRICIA
8626 PLYMOUTH ROCK RD NE
ALBUQUERQUE NM 87109-5074

ISC HOLDINGS LLC C/O GEORGE COOK
P O BOX 7308
ALBUQUERQUE NM 87194-7308

FERNANDEZ JOSHUA & JENNIFER E
REGENSBERG
1114 TOMAS ST SW
ALBUQUERQUE NM 87121-8064

NIETO PETE A & HELEN F
416 61ST ST SW
ALBUQUERQUE NM 87121

1004677

7012 1010 0002 6709 1832

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Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent: ALVERSON DALE C & JENNIFER BEAN & SITTERLY
 Street or PO: REBECCA
 City, St: 312 LAGUNA BLVD SW
 ALBUQUERQUE NM 87104-1113

PS Form 3800, August 2006 See Reverse for Instructions

7012 1010 0002 6709 1849

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Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent: RICE CONNOR DRUMMOND & WERENKO
 Street or PO: ELEANOR C
 City, St: 1712 CHACOMA PL SW
 ALBUQUERQUE NM 87104-1109

PS Form 3800, August 2006 See Reverse for Instructions

7012 1010 0002 6709 1856

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Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent: MANZANO DAY SCHOOL
 Street or PO: 1801 CENTRAL AVE NW
 City, St: ALBUQUERQUE NM 87104-1143

PS Form 3800, August 2006 See Reverse for Instructions

7012 1010 0002 6709 1863

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Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent: ZUNIGA ROBERT E
 Street or PO: 125 LAGUNA BLVD SW
 City, St: ALBUQUERQUE NM 87104

PS Form 3800, August 2006 See Reverse for Instructions

7012 1010 0002 6709 1870

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Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent: HATFIELD MARTIN E
 Street or PO: 105 LAGUNA BLVD SW
 City, St: ALBUQUERQUE NM 87104-1157

PS Form 3800, August 2006 See Reverse for Instructions

7012 1010 0002 6709 1887

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Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent: POTTER ALBERT F & CARA GORDON
 Street or PO: 1705 CHACOMA PL SW
 City, St: ALBUQUERQUE NM 87104

PS Form 3800, August 2006 See Reverse for Instructions

1004677

7012 1010 0002 6709 1900

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OFFICIAL USE

Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To
 COUNTRY CLUB PLAZA PARTNERS LLC ATTN: MR
 JAY REMBE
 1718 CENTRAL AVE SW SUITE A
 ALBUQUERQUE NM 87104

PS Form 3800, August 2008 See Reverse for Instructions

7012 1010 0002 6709 1917

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Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To
 AG & FIVE LLC
 1113 4TH ST NW
 ALBUQUERQUE NM 87102

PS Form 3800, August 2008 See Reverse for Instructions

7012 1010 0002 6709 1924

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OFFICIAL USE

Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To
 BRONSTEIN PAUL
 1719 CHACOMA PL SW
 ALBUQUERQUE NM 87104

PS Form 3800, August 2008 See Reverse for Instructions

7012 1010 0002 6709 1931

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Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To
 ADOLPH COLLEEN K
 1717 CHACOMA PL SW
 ALBUQUERQUE NM 87104

PS Form 3800, August 2008 See Reverse for Instructions

7012 1010 0002 6709 1948

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OFFICIAL USE

Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To
 LARA ROBERT & ANDERSON ERIKA E
 PO BOX 27511
 ALBUQUERQUE NM 87125

PS Form 3800, August 2008 See Reverse for Instructions

7012 1010 0002 6709 1955

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OFFICIAL USE

Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To
 RAMIREZ PALOMA
 1701 CENTRAL AVE NW
 ALBUQUERQUE NM 87104-1141

PS Form 3800, August 2008 See Reverse for Instructions

1004677

7012 1010 0002 6709 1771

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OFFICIAL USE

Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Ser GARCIA FLORAJAYNE
 Str or F 103 LAGUNA BLVD SW
 City ALBUQUERQUE NM 87104-1157

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 Str or F 869 SILVER AVE SW
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Ser SILVERMAN ADAM & NICOLE B
 Str or F 1701 CHACOMA PL SW
 City ALBUQUERQUE NM 87104-1108

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Ser CHAPMAN BEVERLY W
 Str or F 101 LAGUNA BLVD SW
 City ALBUQUERQUE NM 87104

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Ser TRUDEAU CYNTHIA L
 Str or F 9915 SAND VERBENA TRL NE
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<i>Street, # or PO B</i>	416 61ST ST SW
<i>City, Sta</i>	ALBUQUERQUE NM 87121

PS Form 3800, August 2006

See Reverse for Instructions

1004677

1004677

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 6901 GEORGETOWN AVE NW
 City, Sta
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 24322 DEL PRADO
 City, Sta
 DANA POINT CA 92629-2713

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 GARCIA VITA A
 Street, / or PO B
 1617 CENTRAL AVE NW
 City, Sta
 ALBUQUERQUE NM 87104-1139

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 VIGIL DOLORES PATRICIA
 Street, / or PO E
 8626 PLYMOUTH ROCK RD NE
 City, Sta
 ALBUQUERQUE NM 87109-5074

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Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

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 ISC HOLDINGS LLC C/O GEORGE COOK
 Street, / or PO B
 P O BOX 7308
 City, Sta
 ALBUQUERQUE NM 87194-7308

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 FERNANDEZ JOSHUA & JENNIFER E
 Street, / or PO
 REGENSBURG
 City, Sta
 1114 TOMAS ST SW
 ALBUQUERQUE NM 87121-8064

July 25, 2017

1705 Chacoma Pl SW
Albuquerque, NM 87104

Mr. Jay Rembe
rembe urban design + development
1718 Central SW, Suite A
Albuquerque, NM 87104

Dear Jay,

Thank you for keeping me up-to-date on your planning, throughout the process. I appreciate the efforts you have made to accommodate us, most specifically limiting the building to 3 stories and creating a more interesting façade. You have also offered to include us in the landscaping plans which I appreciate, my concern being to avoid trees that tower so high they cut off light to my backyard, and secondly to maintain my view of the mountains.

Best Regards,

Cara

Cara Gordon Potter

SITE PLAN REDUCTIONS

PROPERTY LINE RADIUS INFORMATION:

LINE	ARC LENGTH	RADIUS	BEGIN ANGLE	DEGREE BEARING	END LENGTH
C1	22.87	841.50	153°26'	N 48°14'05" W	22.87
C2	51.32	841.50	37°09'30"	N 47°50'37" W	51.31
C3	193.25	841.50	17°05'49"	N 47°14'21" W	193.84
C4	118.17	841.50	17°05'49"	N 47°14'21" W	118.00

SITE DEVELOPMENT PLAN FOR SUBDIVISION
 THE SITE IS APPROXIMATELY 3.37 ACRES AND IS LOCATED ALONG CENTRAL AVENUE BETWEEN LAGUNA BLVD. SW AND SAN PRODRAL AVENUE SW.

PROPOSED LEGAL DESCRIPTION:
 LOTS 1 THRU 5 OF COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A LAGUNA SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

LAND AREA:
 3.37 ACRES (146,969 SQ. FT.)

ZONE CLASS MFP:
 R-11-Z

CURRENT ZONING:
 THE CURRENT ZONING FOR LOTS 1 THRU 5 IS R-11-Z FOR CLD. THE CURRENT ZONING FOR TRACT A-1-A PROPERTY IS R-11.

APPLICABLE PLANS:
 HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN
 CENTRAL AVENUE STREETSCAPE URBAN MASTERPLAN

PROPOSED DESIGN STANDARDS:
 THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL COVER ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.

PEDESTRIAN AND VEHICULAR ACCESS AND EGRESS:
VEHICULAR ACCESS AND CIRCULATION
 THE MAIN ACCESS POINT INTO THE SITE IS FROM TWO NEW CURB CUTS OFF OF CENTRAL AVENUE. A SECONDARY ACCESS POINT TO THE SITE IS FROM LAGUNA BOULEVARD. BOTH OF THE MAIN ACCESS POINTS ARE FULL ACCESS.

NEIGHBORHOOD PARKING, ACCESS, EGRESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A LAGUNA SUBDIVISION, AND EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. THIS SHALL BE GRANTED WITH REPEAL OF ALL LOTS.

AS APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC):
 REQUIRED PARKING SHALL BE CONSISTENT WITH THE R-11 ZONE PARKING REQUIREMENTS.

PEDESTRIAN ACCESS AND CIRCULATION
 PEDESTRIAN ACCESS IS PROVIDED OFF OF CENTRAL AVENUE, SIDEWALKS AND DESIGNATED CROSSINGS CONNECT THE FRONTS OF ALL BUILDINGS THROUGH THE SITE.

PROPOSED USES
THE PROPOSED USES FOR LOT 1 ARE:
 ALL USES PERMITTED IN THE CLD ZONE.
THE PROPOSED USES FOR LOT 2 ARE:
 ALL USES PERMITTED IN THE CLD ZONE.
THE PROPOSED USES FOR LOT 3 ARE:
 ALL USES PERMITTED IN THE CLD ZONE. THE MAXIMUM TOTAL DWELLING UNITS IS 25 UNITS.
THE PROPOSED USES FOR LOT 4 ARE:
 ALL USES PERMITTED IN THE CLD ZONE.
THE PROPOSED USES FOR LOT 5 ARE:
 ALL USES PERMITTED IN THE CLD ZONE.
THE PROPOSED USES FOR TRACT A-1-A ARE:
 ALL USES PERMITTED IN THE R-11 ZONE.

BUILDING HEIGHT AND SETBACKS
 SEE THE DESIGN STANDARDS AS PART OF THIS SUBMITTAL.

NOTE 1: SETBACKS
 FOR THE HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN, CLD COMMERCIAL/LOW DENSITY APARTMENT ZONE SECTION 2.8.1, NO PART OF ANY SWIMMING POOL, RETIREE BALL OR BUILDING SHALL BE CLOSER THAN 50 FEET FROM AN R-11 ZONE OR 15' FROM ANY OTHER LOT LINE, WHICHEVER IS GREATER.

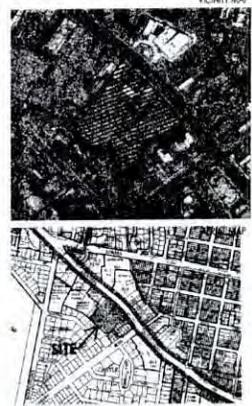
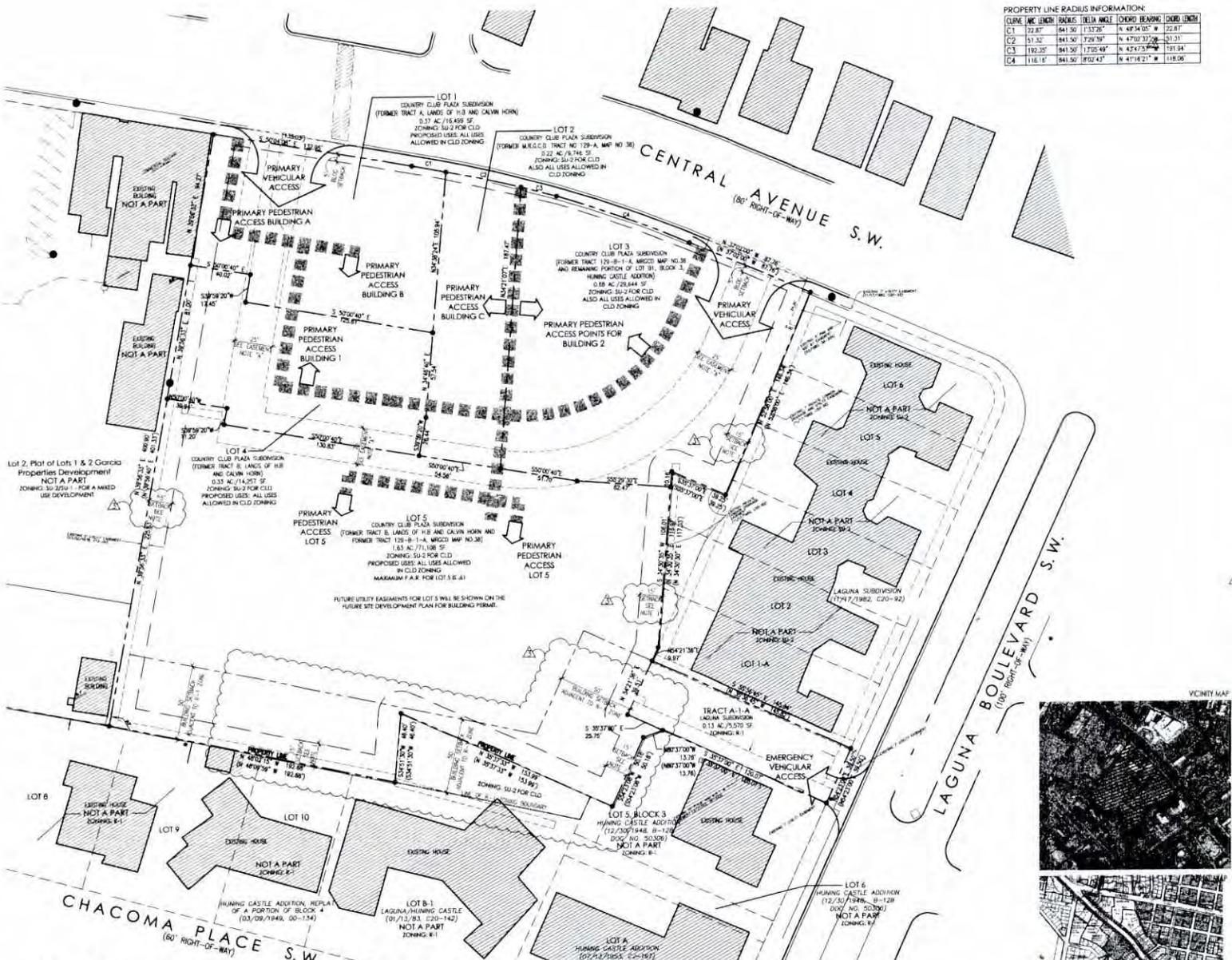
NOTE 2: HEIGHTS
 FOR THE HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN, CLD COMMERCIAL/LOW DENSITY APARTMENT ZONE SECTION 2.2, STRUCTURE HEIGHT UP TO 20 FEET SHALL BE PERMITTED AT ANY LOCATION WHICH IS NO CLOSER THAN 50 FEET FROM AN RESIDENTIAL R-11 ZONE. THE HEIGHT OF ANY STRUCTURE OVER 20 FEET TALL SHALL FALL WITHIN A 25 DEGREE ANGLE PLANE FROM THE HORIZONTAL AT THE NEAR CORNER ALONG EACH BOUNDARY ADJACENT AN R-11 ZONE. OTHERWISE, HEIGHT SHALL BE AS PROVIDED IN THE R-11 ZONE, EXCEPT THAT HEIGHT SHOULD NOT EXCEED 40 FEET.

MAXIMUM TOTAL DWELLING UNITS
 FOR THE HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN, THERE IS NO MAXIMUM NUMBER OF DWELLING UNITS, HOWEVER THE DENSITY OF DWELLING UNITS IS BASED ON THE FLOOR AREA RATIO NOTED BELOW.

FLOOR AREA RATIO
 THE MAXIMUM F.A.R. FOR RESIDENTIAL USES IS, AS STATED IN THE HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN, CONSISTENT WITH THE SECTOR DEVELOPMENT PLAN AND THE PREVIOUS SUBMITTAL, THERE IS NO MAXIMUM F.A.R. FOR COMMERCIAL USES.

LANDSCAPE PLAN
 THE LANDSCAPING FOR THIS SITE IS PART OF THE SITE DEVELOPMENT PLAN FOR FINISHING PERMIT AND IS SUBJECT TO THE DESIGN STANDARDS.

EASEMENT NOTE "A"
 25' FRONT ACCESS AND DRAINAGE EASEMENT TOGETHER WITH 25' PUBLIC UTILITY, PUBLIC WATERLINE, PUBLIC SANITARY SEWER EASEMENT, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. TO BE GRANTED WITH REPEAL OF ALL LOTS.



ADMINISTRATIVE AMENDMENT
 FILE # 1007 PROJECT # 1004677
 AMEND TO CLARIFY THE 50' BUILDING SETBACK APPLICABLE TO R-11 ZONE ON LOT B-1 AND ADD NOTE TO FORM # 1007
 APPROVED BY: [Signature] DATE: 8-21-2017

Amended Site Development Plan for Subdivision
 Scale: 1"=30' 0"

Project No: 1007
 Date: 8/21/2017
 City: Albuquerque, NM 87102
 State: NM
 County: Bernalillo
 Project Name: Country Club Plaza
 Address: SW of Central Avenue and Laguna Boulevard
 City: Albuquerque, New Mexico 87102

Mullen Heller Architecture P.C.
 924 Park Avenue SW
 Suite B
 Albuquerque, NM 87102
 505.268.4144 (F)
 505.268.4244 (T)

Project Title: Amended Site Dev't Plan for Subdivision
 Date: 8/21/2017

Country Club Plaza Design Standards

Central Avenue, SW, Albuquerque, New Mexico

Introduction

The following Design Standards apply to the renovation of the three existing buildings on Lot 1 & 2, and to the future building on Lot 3 of Country Club Plaza development to be built on the 1700 block of Central Avenue SW, on lots between Laguna Blvd SW and San Pasquale Avenue SW.

Procedurally, this project shall submit a Site Development Plan for Building Permit which will be reviewed by the City of Albuquerque Planning Department's Development Review Board (DRB). The intent of these Design Standards is to provide guidance for the DRB when reviewing future development.

Additionally, the regulations and standards in the City of Albuquerque Zoning Code, the Hunting Castle and Reynolds Addition neighborhood Sector Development Plan, and the Central Avenue Streetscape Urban Design Master Plan shall apply to all buildings.

Design Theme/Lead Use Concept/ Project Background

The Country Club Plaza development fills a major hole in its neighborhood with a design theme of a small Route 66 neighborhood center. The project uses the walkable, urban scale of Old Town and it is intended that there will be a uniform style throughout the development that relates to the existing context.

The land use concept proposes creation of a vibrant neighborhood center with a full menu of uses: retail, office, and residential. The mix of uses is arranged in a walkable, neighborhood-scaled area of shops, restaurants, offices, and residential uses. The site's proximity to the City's main mass transportation route will encourage ride-sharing and reduce traffic, and the arrangement of building types will help protect residential areas to the south. Parking and vehicular circulation are arranged such that the existing buildings shield parking from the street and flows easily from the front of the site to the rear. Wide walks and landscape frame the parking areas to create a highly connective system of pedestrian circulation within the site and to the surrounding streets.

A. Architectural Character and Architectural Design Elements

The building on Lot 3 of the Country Club Plaza development requires architectural design which respects and creatively blends with the image of the three renovated buildings on the site as well as the new buildings, which is the Route 66-inspired Moderne style and Mediterranean Revival Style. Generic, franchise architecture is prohibited.

The General Building and Site Design Regulations for Non-Residential Uses (14-16-3-18) as found in the City of Albuquerque Comprehensive Zoning Code will apply to all development.

Mediterranean Revival Style

The Mediterranean Revival style uses low sloping primary roofs, typically covered by ceramic tiles, though flat roofs may be used. Walls are typically stucco with a thick and solid appearance, and arches in main-floor windows, doors and arcades. Houses inspired by the Mediterranean Revival style will have a generous roof overhang with closed soffits and supporting brackets. Facade compositions are usually asymmetrical with well-defined projecting forms, enhancing the play of light and shadow. Entry porches are often recessed. Classical details are applied to window and door surrounds, columns, and pediments.

Moderne Style

The Moderne style originates with the earliest and purest modernism, which was then tempered by the stylistic Art Deco movement. The movement's focus on the machine age and streamlined design. Many examples are found on Central Ave., or Route 66, which co-opted the style to express America's passion with car travel.

Principal characteristics of the Moderne style include simple massing, stepped massing of towers and/or parapets, vertical or nonvertical flow lines and zigzag patterns, rounded corners or windows, cantilevered overhangs and pylons, and flat roofs. Facades are composed rhythmically, alternating mass and opening in a logical manner which belies the building's structural system. Openings accentuate the massing by being punched, or recessed, and doors and windows are large when looking on public ways. They are detailed in spare, clean details. Entry elements are often the prominent architectural feature on the building.

Massing

A building mass is defined as a volume of space that usually appears as a rectangular form, consisting of a roof and at least three walls. Massing for this building shall be well proportioned and consistent with the architectural character of the renovated building style. Particular consideration shall be taken to preserve natural view corridors at the site, as well as terminating major vistas within the site.

Interpretations of the Moderne style include: asymmetry, horizontally proportioned, corner towers (round, square, or octagonal stepped form), and signage incorporated building signage into its massing. Entry elements are often the prominent architectural feature on the building.

Interpretations of the Mediterranean Revival style include: asymmetry, typically multiple stories, well-defined, projecting forms, and recessed entries, balconies, and windows.

Roofs

Main roofs of structures in the Moderne style shall follow these standards: flat roofs with parapets that are simple, stepped or streamlined, and may incorporate stylized building signage into its parapet or roof form.

Mediterranean Revival-inspired roofs use low to moderate hip or gable roofs (5:12 to 9:12), dormers are not generally used and eaves are boxed with closed soffits with exposed rafter extensions.

Windows & Doors

Windows and doors of Moderne structures shall follow these standards: facades are composed rhythmically, alternating mass and opening in a logical manner which belies the building's structural system. Openings complement and accentuate the massing by being punched, or recessed, and doors and windows are large when looking on public ways. They are detailed in spare, clean details, and incorporate large expanses of glass, metal window and metal storefront frames, especially of public access. Glass block may be used as accents.

Windows and doors of Mediterranean Revival structures will follow these standards: windows and doors are deeply recessed to give the appearance of thick walls, casement windows are typically used, often with divided lights, but double-hung and awning windows are also possible, round-top arched windows and doors are typically used on lower floors, and all windows and doors are classically detailed.

Shading & Entries

Shading and entries of Moderne structures shall follow these standards: typically have overhangs or canopies or openings. One may incorporate a tower or styled mass of overhang or entries. Balconies may also provide shading.

Shading and entries of Mediterranean Revival structures shall follow these standards: typically do not incorporate front porches, but side and rear covered porches, generally use front doors with embellished surrounds and/or are recessed, and designs will usually incorporate side and rear outdoor rooms and courtyards.

Building Details

Moderne building details shall follow these standards: details may include wall relief moldings, pilasters, articulated bases to walls, and detailed parapets. Other detailing would include the shading devices mentioned above placed at openings and entryways or used to distinguish volume or massing elements. Designs may incorporate stylized elements of signage or lighting into their detailing.

Mediterranean Revival-inspired detailing and ornament shall appear primarily at openings.

Building Materials & Colors

Building materials and colors for buildings on Lots 1 thru 3 of the Country Club Plaza development shall be consistent with the architectural character of the three renovated buildings on the site. Quality materials, architectural features, and craftsmanship shall be employed in the execution of each building. Building material approved, but not limited to, shall include stucco, brick, stone (used horizontally in load-bearing fashion), concrete, split-faced concrete masonry unit, glass, glass block, ceramic tile, decorative tile, clay tile, wood, colored metal panels, and neon lighting).

Generous amounts of exposed metal and glass may be incorporated into the wall design, or on awnings, canopies, and towers. Designs may incorporate stylized elements of metal signage or lighting. Colors include cream, off-white, or warm earth-toned saturated color for walls, and saturated colors for accents.

B. Building Density and Height

Building Density

Rear Area Ratio (F.A.R.) is the ratio of the rected gross floor area of structures to the total premises. It is measured from outside surface of outside walls including multiple stories, in square feet. The maximum F.A.R. for Lots 1 thru 3 and tract A-1, A-2, A-3 for residential uses, as stated in the Hunting Castle and Reynolds Addition Neighborhood Sector Development Plan. Consistent with the Sector Development Plan and the previous submitted F.A.R. for commercial uses.

Building Heights

Maximum building height for buildings on Lots 1 thru 3 shall be 46', per the Hunting Castle and Reynolds Addition Neighborhood Sector Development Plan.

Building Setbacks

Setbacks apply to the exterior edges of the property (Lots 1-3). The front of lot is of the northern edge facing Central Ave.

Front yard setback: 5'
 Sideyard setback: 15' min, except 0' of internal lot lines and on Lot 3 where the setback shall be 30' min, where abutting R-1 zone
 Rear yard setback: 0', except on Lot 3 where the setback shall be 30' min, where abutting R-1 zone

C. Landscaping

Landscaping for this development shall comply with the Landscape Regulations (14-16-3-10) in the City of Albuquerque Comprehensive Zoning Code, and the City of Albuquerque requirements in the Water Conservation Landscaping and Waste Water Ordinance, and the Public Drainage, Future Landscaping in conjunction with the development of the building on Lot 3 shall be in accordance with the Landscape Plan in the Site Development Plan for Building Permit submitted.

For residential uses (useable Open Space shall be provided as required in the R-2 Residential Zone (14-16-2-11) in the City of Albuquerque Comprehensive Zoning Code.

D. Walls and Fences

Walls and fences shall be compatible with the nearby buildings and architectural themes in terms of color, materials and style. To that end, all perimeter walls shall be concrete masonry unit (CMU) with stucco finish (or CMU w/stone or stucco) with wood or metal fence infill, or metal fence. Chain link and/or barbed wire fences are prohibited. Walls and fences shall conform with the City of Albuquerque Comprehensive Zoning Code General Height and Design Regulations for Walls, Fences and Retaining Walls (14-16-3-19).

E. Site Lighting

Site lighting shall conform with the City of Albuquerque Comprehensive Zoning Code Area Lighting Regulations (14-16-3-9).

Lighting design shall complement the architectural styles, and not overwhelm them. Lighting shall be scaled appropriately to the purpose it is serving - taller heights for more coverage for safety such as parking lots, lower and concentrated for pedestrians. Walkways within the site shall be lit with pole fixtures, bollards, or lighting in the portales, downlighting, sconces, or pendants. Building-mounted lighting shall enhance the architecture of each building, and shall include sconces, shielded accent lights, and arm-mounted lights aimed towards project building walls.

Pedestrian scale lighting: 1.) Not higher than 4 feet at key pedestrian gathering areas. 2.) 16 feet maximum along internal streets measured from finished grade to the top of the pole.

Lighting shall be fully shielded and high-pressure sodium lighting and unshielded uplighting shall be prohibited.

Site lighting type, color, and materials shall complement the character of the project and not contrast or stand out from the designs of the buildings. The lighting design shall enhance both the pedestrian scale and the automobile portions of the site.

F. Signs & Signage

On premise signage will comply with City of Albuquerque Comprehensive Zoning Code requirements for the C-1 zone as well as the General Sign Regulations (14-16-3-5) with the following exceptions:

- Maximum height shall be 18 feet and maximum sign area shall be 100 square feet.
- Buildings on Lots 1 thru 4 shall be allowed one projecting sign each.
- The area of the total building-mounted signage shall be limited to 9% of the facade to which it is applied.
- There is no limit on the number of building-mounted signs except there shall be no signs facing the proposed residential development on Lot 3.
- All building-mounted signage shall be individual illuminated channel letters.

revision
 by
 date



924 Park Avenue SW
 Suite 8
 Albuquerque, NM 87102
 505 248 4144 (cell)
 505 248 4244 (off)



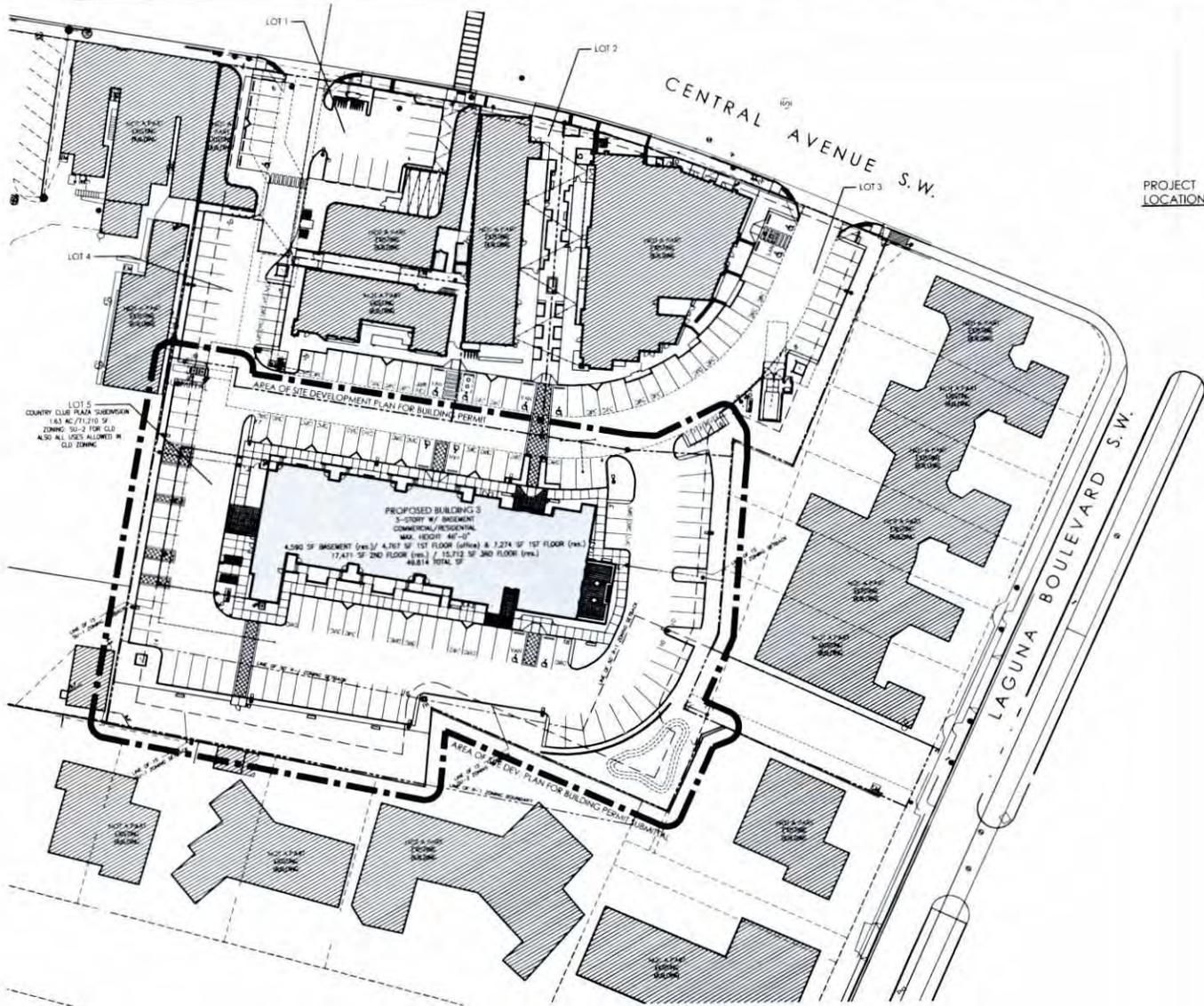
PROJECT FILE	12-1
CITY NUMBER	14-16-3-5
APPROVED BY	LA. WALK, A.A.
DRAWN BY	LA. WALK, A.A.
DATE	07/26/2013

PROJECT FILE
Country Club Plaza
 SW of Central Avenue and Laguna Boulevard
 Albuquerque, New Mexico 87102
 SHEET NO.
Amended Site Dev't Plan for Subdivision Design Standards

COUNTRY CLUB PLAZA

SWC of Central Avenue SW and Laguna Boulevard SW | Albuquerque New Mexico 87104

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
Updated EPC Submittal-Issued August 2, 2017



SUBMITTAL INFORMATION

THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT SUBMITTAL IS FOR LOT 3, ONLY, OF COUNTRY CLUB SUBDIVISION.

LOTS 1 THRU 4 OF COUNTRY CLUB SUBDIVISION AND TRACT A-1-A OF LAGUNA SUBDIVISION ARE TO REMAIN AS EXISTING.

VICINITY AERIAL MAP



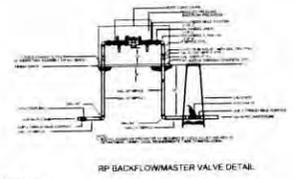
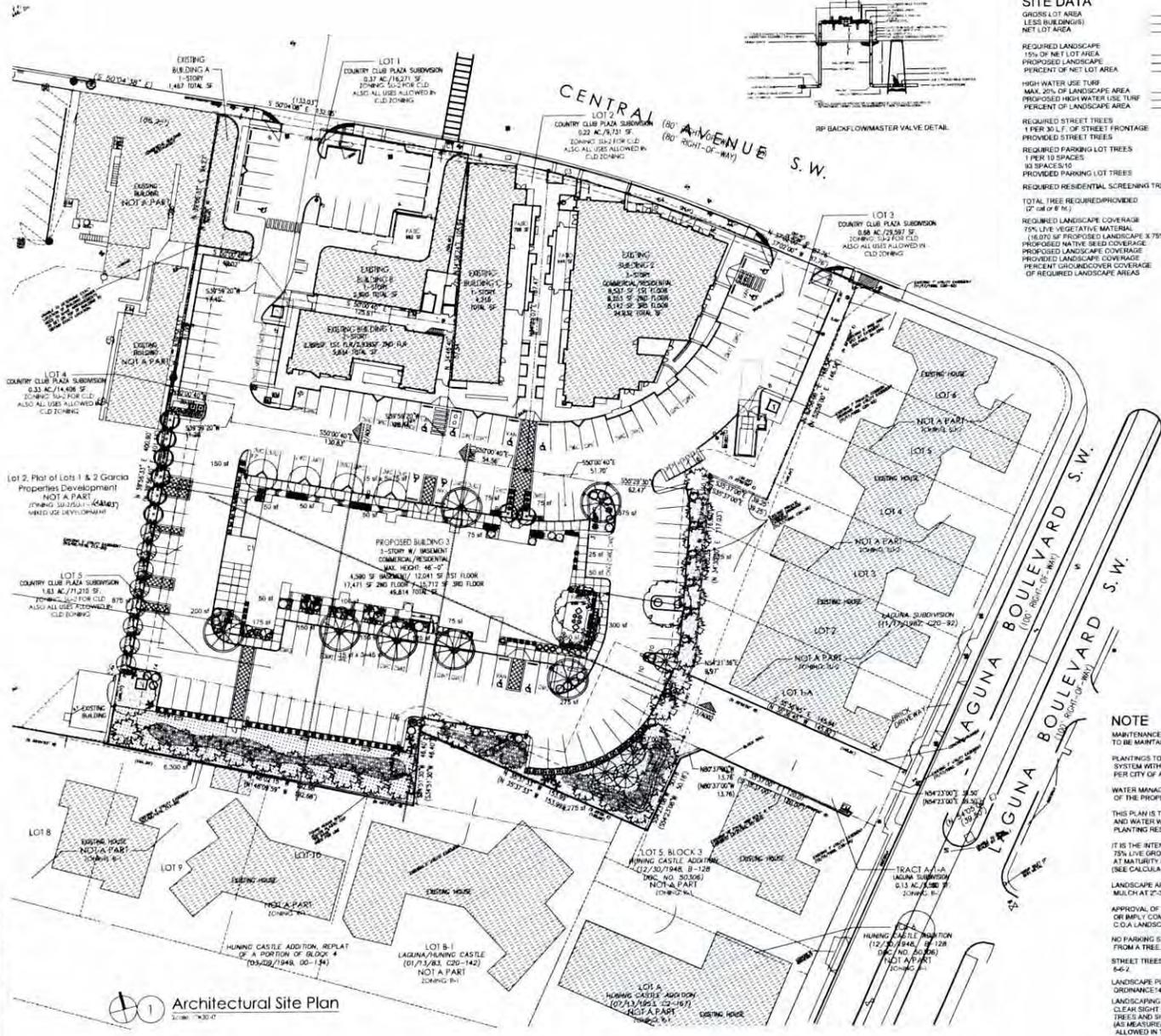
PROJECT LOCATION

ZONE MAP

J-13-Z



PROJECT NO.	16-56
DATE	08/02/17
BY	DRG
CHECKED BY	DRG
DATE	08/02/17
PROJECT NAME	COUNTRY CLUB PLAZA
ADDRESS	SWC OF CENTRAL AVENUE SW AND LAGUNA BLVD SW, ALBUQUERQUE, NM 87104
PROJECT TYPE	COMMERCIAL/RESIDENTIAL
DESIGNER	MULLEN HELLER ARCHITECTURE P.C.
DATE	08/02/17
PROJECT NO.	16-56
DATE	08/02/17
BY	DRG
CHECKED BY	DRG
DATE	08/02/17
PROJECT NAME	COUNTRY CLUB PLAZA
ADDRESS	SWC OF CENTRAL AVENUE SW AND LAGUNA BLVD SW, ALBUQUERQUE, NM 87104
PROJECT TYPE	COMMERCIAL/RESIDENTIAL
DESIGNER	MULLEN HELLER ARCHITECTURE P.C.
DATE	08/02/17



SITE DATA

GROSS LOT AREA	71,210 SF
LESS BUILDINGS	12,041 SF
NET LOT AREA	59,169 SF
REQUIRED LANDSCAPE	8,875 SF
PROPOSED LANDSCAPE	18,070 SF
PERCENT OF NET LOT AREA	30.5%
HIGH WATER USE TURF	0 SF
MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0%
REQUIRED STREET TREES	NA
1 PER 30' L.F. OF STREET FRONTAGE	
PROVIDED STREET TREES	10
REQUIRED PARKING LOT TREES	10
1 PER 10 SPACES	
PROVIDED PARKING LOT TREES	10
REQUIRED RESIDENTIAL SCREENING TREES	31
1 PER 100 SF OF LOT AREA	
TOTAL TREE REQUIRED/PROVIDED	41/42
REQUIRED LANDSCAPE COVERAGE	75%
75% LIVE VEGETATIVE MATERIAL	
(18,070 SF PROPOSED LANDSCAPE X 75%)	13,552 SF MIN.
PROPOSED NATIVE SEED COVERAGE	3,750 SF
PROPOSED LANDSCAPE COVERAGE	8,315 SF
PROVIDED LANDSCAPE COVERAGE	12,860 SF
PERCENT GROUND COVER COVERAGE	75%
OF REQUIRED LANDSCAPE AREAS	

EXISTING PLANT LEGEND

Symbol	Type	Quantity
○	Shade Tree	100 #H400 #
○	Yellows	
Total Landscape Coverage=400 SF		

PLANT LEGEND

City	Symbol	Scientific Name	Common Name	Height	Spread	Coverage	Water	Exp.
7	○	Zakaria	Zakaria	2'	6-8'	30' x 30'	Medium	6-2 gal
8	○	Foralises	NM Olive	15'-6'	20' x 15'	50' x 40'	Medium	H-2 gal
9	○	Vireo	Chinese Tree	15'-6'	20' x 15'	50' x 20'	Medium	H-2 gal
10	○	Chakpa	Desert Willow	15'-6'	20' x 15'	50' x 40'	Medium	H-2 gal
11	○	Thapa	Convolvulus	6' H.T.	30' x 20'	50' x 150'	Medium	6-2 gal
12	○	Arbores	Arbores	2'	6-8'	60' x 20'	Medium	H-2 gal
13	○	Pteris	Chinese Pleasche	2'	6-8'	60' x 20'	Medium	H-2 gal

Shrub/Grass/groundcover

1	○	Ruellia	Saville	1'-6"	6"	36" x 108"	Medium	3-2 gal
2	○	Budley	Budley	5'-6"	2'	36" x 118"	Low	2-2 gal
3	○	Daylily	Solid	5'-6"	3'	27" x 243"	Low	2-2 gal
4	○	Heavenly	Heavenly Bamboo	5'-6"	6"	20" x 200"	Medium	2-2 gal
5	○	Ruscus	Ruscus officinalis	6'-6"	6"	36" x 180"	Low	2-2 gal
6	○	Rose	Knockout Rose	6'-6"	3'	15" x 75"	Medium	2-2 gal
7	○	Lagerströmia	Crane Myrtle	5'-6"	15'	100" x 500"	Medium	2-2 gal
8	○	Saville	May Night Saville	1'-6"	12"	9" x 180"	Low	2-1 gal
9	○	Hesperaloe	Indie Hesperaloe	5'-6"	3'	15" x 175"	Medium	3-2 gal
10	○	Box	Barford Holly	5'-6"	6"	20" x 80"	Medium	2-2 gal
11	○	Lavandula	Lavender	1'-6"	3'	12" x 168"	Medium	2-2 gal
12	○	Eleagnus	Eleagnus argentea	5'-6"	3'	25" x 25"	Low	2-1 gal
13	○	Hesperaloe	parviflora	3'-6"	3'	30" x 60"	Low	2-2 gal
14	○	Flax	Flax	1'-6"	3'	12" x 144"	Medium	2-2 gal
15	○	Calamagrostis	Calamagrostis	5'-6"	3'	10" x 50"	Medium	2-2 gal
Total Landscape Coverage=8,315 SF								

MATERIALS LEGEND

○	3/4" - 1" AMARANTH TO GRAVEL
○	NATIVE SEED
○	2'-4" COBBLESTONE

NOTE

MAINTENANCE OF LANDSCAPE (ON-SITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRAIN IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 8-11 PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-15-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH OR EXEMPTION FROM THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 8-11.

NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 8-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 8-16-3-10.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 2' AND 8' FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ACCURATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES.

IRRIGATION NOTE

DROP SYSTEM RUN CYCLES: ESTABLISHMENT AND SUMMER: 1 HOUR 3 DAYS A WEEK SPRING: 1 HOUR 3 DAYS A WEEK FALL: 1 HOUR 3 DAYS A WEEK WINTER: 1 HOUR 2 DAYS PER MONTH



Architectural Site Plan

Project File: **Country Club Plaza - Building 3**
 1716 Central Avenue SW
 Albuquerque, New Mexico 87104

Client: **Mullen Heller Architecture P.C.**
 1718 Central Avenue SW
 Suite D
 Albuquerque 87104
 505 268 4144
 505 268 4244 (f)

Drawn by: **Diogo Miller AM**
 Date: **REVISED SET 04/20/21**

Scale: **1/8" = 1'-0"**

Project No: **1001**

Project Name: **Country Club Plaza - Building 3**

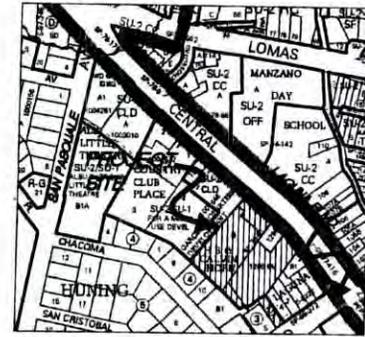
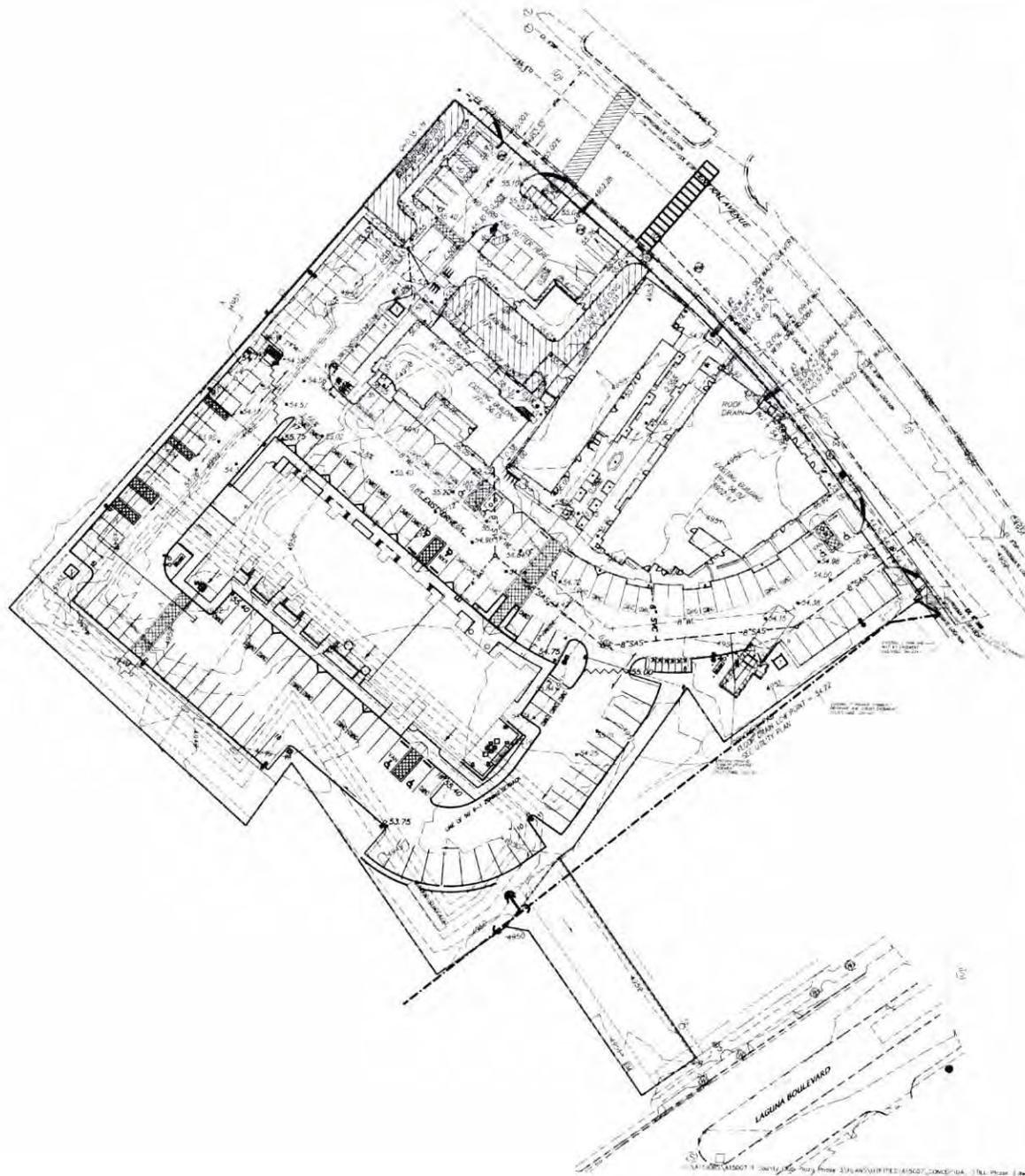
Project Address: **1716 Central Avenue SW Albuquerque, New Mexico 87104**

Project File: **1001**

Project Name: **Country Club Plaza - Building 3**

Project Address: **1716 Central Avenue SW Albuquerque, New Mexico 87104**

Project File: **1001**



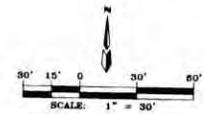
VICINITY MAP ZONE AREAS 1-15-2

BENCHMARK

ACS: CENTRAL STATION "77-JH"
 N= 1488666.762
 E= 1219146.317
 Z= 4057.404
 NEW MEXICO STATE PLANE, CENTRAL ZONE
 GCS= G1800833011
 DELTA-ALPHA= -001.359° 00'
 NAD 1983/NAVD 1988

LEGEND

- ① EXISTING SPOT ELEVATION
- ② EXISTING CONTOUR
- ③ EXISTING WATER WELL
- ④ EXISTING WELLDRAW
- ⑤ EXISTING CUI WIRE
- ⑥ EXISTING GAS METER
- ⑦ EXISTING TELEPHONE PEDESTAL
- ⑧ NEW SPOT ELEVATION
- ⑨ SWALE
- ⑩ NEW CONTOUR ELEVATION
- ⑪ EXISTING SEWER MANHOLE
- ⑫ EXISTING GAS METER
- ⑬ EXISTING WATER VALVE
- ⑭ EXISTING CLEANOUT
- ⑮ EXISTING UTILITY POLE
- ⑯ EXISTING MONITORING WELL
- ⑰ EXISTING WATER METER
- ⑱ EXISTING CURB
- ⑲ NEW WATER METER
- ⑳ NEW RETAINING WALL
- ㉑ BASIN A
- ㉒ BASIN B
- ㉓ BASIN BOUNDARY
- ㉔ TOP OF CURB
- ㉕ BOTTOM OF CURB
- ①② NEW FLOW LINE, SPOT ELEVATION
- ①③ NEW SWALE
- ①④ 52.00' = EXISTING ELEVATION
- ①⑤ 51.60' = EXISTING ELEVATION
- ①⑥ EXISTING DRIVEWAY CUT



dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 3000
 ALBUQUERQUE, NEW MEXICO 87104
 OFFICE (505) 828-2200, FAX (505) 757-9039

revision
 by
 date

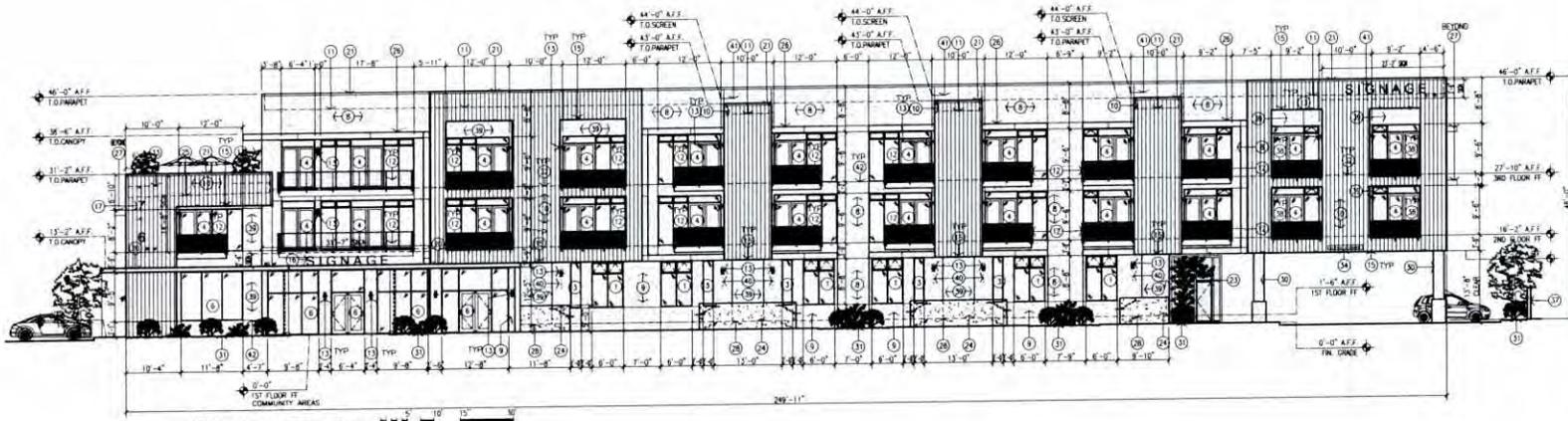


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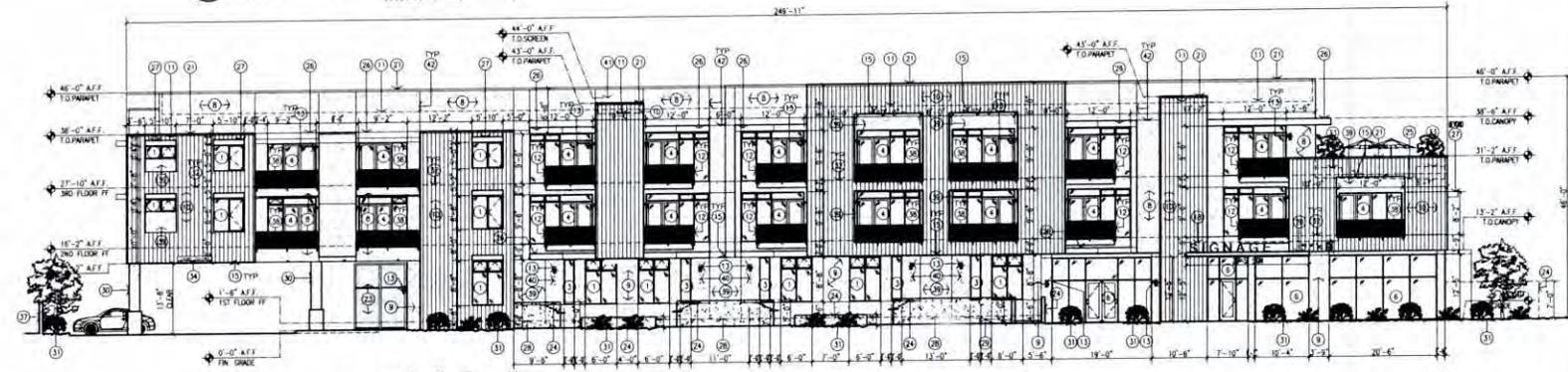


1526
 M. Goodwin
 511 W. 11th St. N.E.
 Albuquerque, NM 87102
 Project No: 2017-001
 Date: 07/15/17

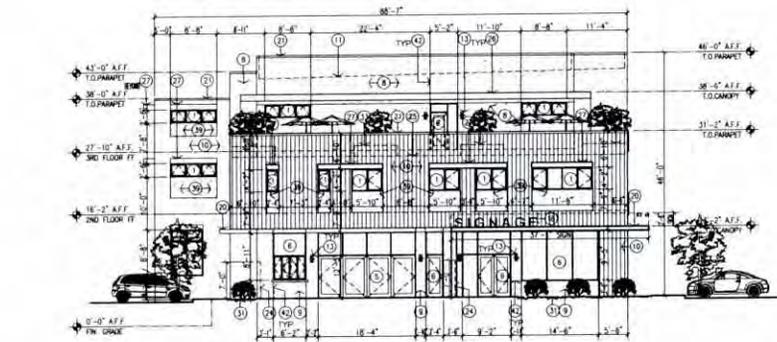
PROJECT: **Country Club Plaza - Building 3**
 SMC of Central Avenue and Laguna Blvd SW
 Albuquerque, New Mexico 87104
 sheet title: **CONCEPTUAL UTILITY PLAN**



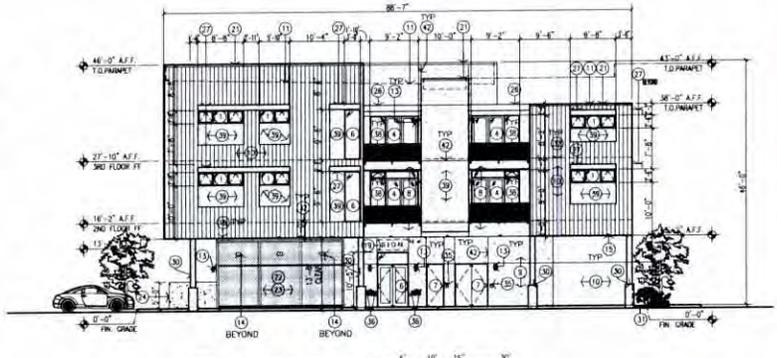
1 North Elevation
Scale: 1/32"=1'-0"



2 South Elevation
Scale: 1/32"=1'-0"



3 East Elevation
Scale: 1/32"=1'-0"



4 West Elevation
Scale: 1/32"=1'-0"

- KEYED NOTES:**
- ALUMINUM STOREFRONT/PREFINISHED METAL OPERABLE WINDOW SYSTEM
 - ALUMINUM STOREFRONT/PREFINISHED METAL 8'-FOLD WINDOW SYSTEM
 - ALUMINUM STOREFRONT/PREFINISHED METAL FIXED WINDOW SYSTEM
 - ALUMINUM STOREFRONT/PREFINISHED METAL SLIDER DOOR SYSTEM
 - ALUMINUM STOREFRONT/PREFINISHED METAL 8'-FOLD DOOR SYSTEM
 - ALUMINUM STOREFRONT/PREFINISHED METAL ELASTOMERIC FINISH COAT COLOR: OFF WHITE
 - PAINTED HOLLOW METAL DOOR, COLOR TO MATCH ADJACENT WALL FINISH
 - 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT COLOR: LIGHT BEIGE
 - 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT COLOR: OFF WHITE
 - PREFINISHED METAL PANEL SYSTEM OR 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT COLOR: CHARCOAL
 - LINE OF 1ST FLOOR BEYOND
 - PAINTED TUBE STEEL BALCONY AND FIBERGLASS GRATE RAIL PANELS WITH TUBE STEEL AND WELDED WIRE MESH GUARDRAIL, COLOR: WHITE
 - DECORATIVE WALL MOUNTED LED LIGHT FIXTURE
 - EXTERIOR LED WALL PACK LIGHT FIXTURE
 - RECESSED LED CAN LIGHT FEATURE AT SOFFIT
 - AREA OF INTERNALLY ILLUMINATED SIGNAGE & RACEWAY ALONG CANOPY ON BUILDING FACADE, CHARACTER SIZE: 24" HIGH
 - AREA OF NON-ILLUMINATED SIGNAGE & RACEWAY ALONG CANOPY, CHARACTER SIZE: 24" HIGH
 - AREA OF INTERNALLY ILLUMINATED ADDRESS NUMBER SIGNAGE & RACEWAY ON BUILDING FACADE, CHARACTER SIZE: 24" HIGH
 - AREA OF NON-ILLUMINATED SIGNAGE & RACEWAY ON BUILDING FACADE, CHARACTER SIZE: 24" HIGH
 - PAINTED STEEL CANOPY WITH FIBERGLASS GRATING RAIL PANELS, COLOR: WHITE TRIM WITH ORANGE FIBERGLASS
 - PAINTED STEEL CANOPY WITH METAL PANELS CAP TO MATCH WALL FINISH
 - WALL-MOUNTED STANDED GAS METERS BEHIND PAINT METERS TO MATCH STUCCO
 - WALL-MOUNTED STANDED ELECTRICAL METERS AND EQUIPMENT BEHIND NON-TUBE STEEL WELDED WIRE MESH FABRIC FENCE AND GATE AT
 - SOING-FORMED CAST-IN-PLACE CONCRETE TAPERED HEIGHT AS DIMENSIONED
 - LINE OF COMMUNITY ROOF DECK BEYOND
 - PREFINISHED METAL-CLAD DECORATIVE TRIM, COLOR: WHITE FASCIA WITH ORANGE METAL
 - PREFINISHED METAL-CLAD CANOPY, COLOR: WHITE FASCIA WITH ORANGE METAL
 - RESIDENTIAL CONCRETE STAIR WITH STAIR AND HANDRAILS
 - CONCRETE RAMP AT 1:12 SLOPE MAXIMUM WITH HANDRAILS
 - STUCCO FINISHED CONCRETE COLUMN AND BASE, COLOR: OFF WHITE
 - LANDSCAPE AREA REFER TO LANDSCAPE PLAN OF SHEET 2 OF 7
 - LINE OF FINISH FLOOR BEYOND
 - LINE OF ROOFTOP PLANTER BEYOND
 - BUILDING MOUNTED REFLECTIVE CLEARANCE SIGN TO READ "13'-6" MAXIMUM HEIGHT CLEARANCE," TYPICAL OF (2) LOCATIONS, 6" SF EACH
 - BUILDING MOUNTED ROOM SIGNAGE
 - DECORATIVE LANDSCAPE PLANTER BY OWNER
 - EXISTING TANK WALL ALONG PROPERTY LINE TO REMAIN
 - TUBE STEEL AND WELDED WIRE MESH GUARDRAIL, COLOR: WHITE TRIM WITH ORANGE FIBERGLASS
 - 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: GRAY
 - 5" HIGH NON-ILLUMINATED ALUMINUM CHANNEL UNIT, NUMBER: 2" SF EACH TYPICAL
 - AREA OF INTERNALLY ILLUMINATED SIGNAGE & RACEWAY ON BUILDING FACADE, CHARACTER SIZE: 24" HIGH
 - STUCCO CONTROL JOINT

BUILDING 3
BUILDING MOUNTED SIGNAGE CALCULATIONS
SIGNAGE SHALL COMPLY WITH THE APPROVED SITE DEVELOPMENT PLAN FOR SUBMISSION.
ANY SIGNAGE IN ADDITION TO THOSE SHOWN SHALL BE SUBMITTED AND APPROVED VIA ANNOTATIVE AMENDMENT. FUTURE SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBMISSION AND ALL APPLICABLE CORNING AND SECTOR DEVELOPMENT PLAN REQUIREMENTS.

SOUTH ELEVATION	10,418 SF ± 8% 937 SF ALLOWED
EAST ELEVATION	1,948 SF ± 8% 325 SF ALLOWED
WEST ELEVATION	1,740 SF ± 8% 336 SF ALLOWED
NORTH ELEVATION	10,418 SF ± 8% 937 SF ALLOWED

NON-ILLUMINATED SIGNAGE PROVIDED:
ENTRY SIGN @ 450' ± 80 SF
122 TOTAL SF OF NON-ILLUMINATED SIGNAGE

NON-ILLUMINATED SIGNAGE PROVIDED:
ENTRY SIGN @ 135' ± 120 SF
12 TOTAL SF OF NON-ILLUMINATED SIGNAGE

NON-ILLUMINATED SIGNAGE PROVIDED:
5 UNIT NO. SIGN @ 25' ± 120' CLEARANCE SIGN @ 85' ± 84' 18 TOTAL SF OF NON-ILLUMINATED SIGNAGE

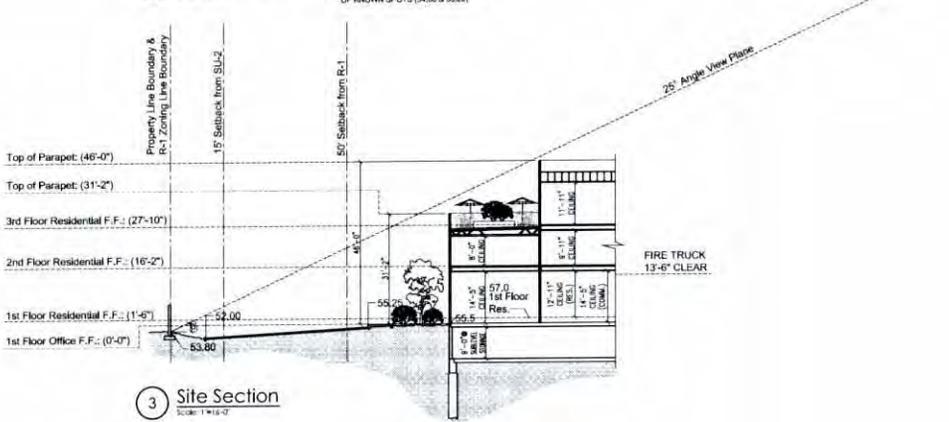
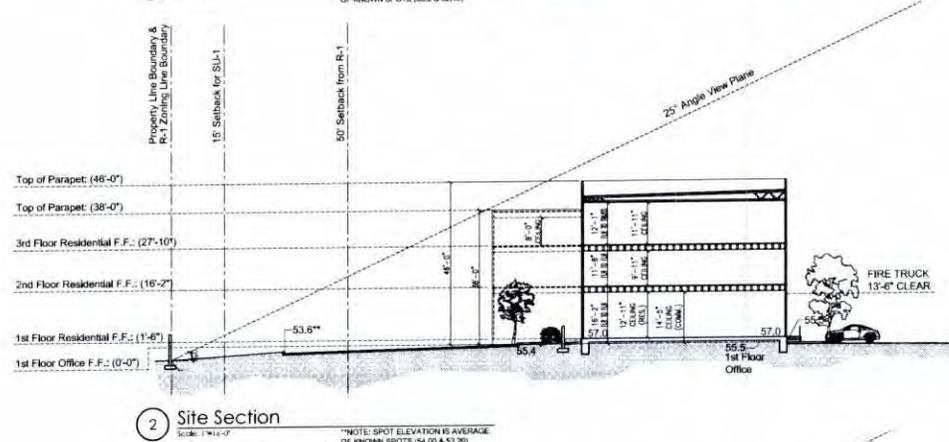
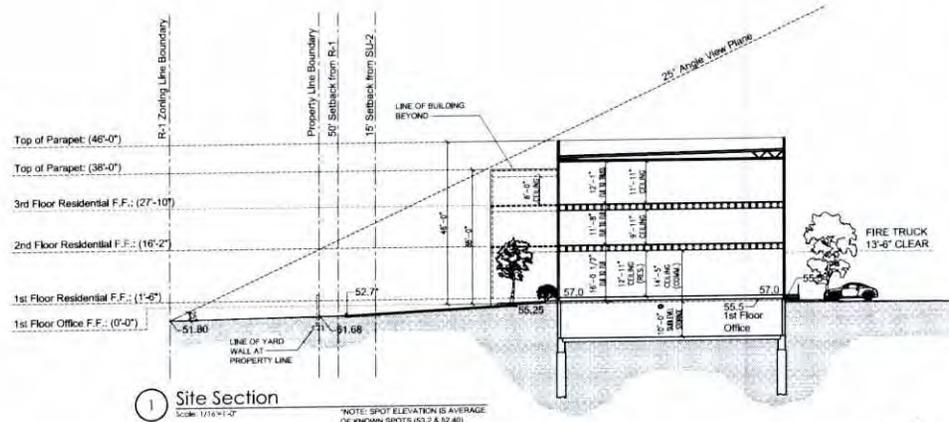
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DATE: 8-1-2017
SCALE: 1/32"=1'-0"

Project Name: Country Club Plaza
SVC of Central Avenue and Laguna Blvd SW
Albuquerque, New Mexico 87104
Project File: Exterior Elevations



GENERAL NOTES:

SECTION:
FOR THE FRAME CASES AND FRAMELESS CASES, REFER TO THE RESIDENTIAL SECTION DEVELOPMENT PLAN, CDD COMMERCIAL/LOW DENSITY APARTMENT ZONE SECTION 1.1. THE PART OF ANY FRAMELESS POOL, DECK, SPA, OR BALCONY SHALL BE CLEARER THAN TO FALL FROM AN R-1 ZONE OR 15' FROM ANY OTHER LOT LINE, WHICHEVER IS GREATER.

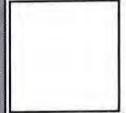
INTERIOR: THE BUILDING SETBACK IS TAKEN FROM THE R-1 ZONE BOUNDARY LINE (NOT THE PROPERTY LINE) AT ALL LOCATIONS, INCLUDING LOT 2-1 OF INDIAN HARBOR ISLAND SUBDIVISION. PLEASE NOTE THAT IN MOST CASES OF THIS SUBMITTAL, THE ZONING BOUNDARY LINE AND PROPERTY LINE ARE THE SAME.

BUILDING HEIGHT:
FOR THE FRAME CASES AND FRAMELESS CASES, REFER TO THE RESIDENTIAL SECTION DEVELOPMENT PLAN, CDD COMMERCIAL/LOW DENSITY APARTMENT ZONE SECTION 1.1. STRUCTURE HEIGHT UP TO 30 FEET SHALL BE PERMITTED IN ANY LOCATION, UNLESS THE STRUCTURE HEIGHT EXCEEDS THE MAXIMUM R-1 ZONE HEIGHT. THE HEIGHT OF ANY STRUCTURE SHALL BE MEASURED FROM THE FINISH FLOOR FINISH AT ITS BASE. HEIGHT MEASUREMENT SHALL BE TAKEN FROM THE HIGHEST POINT OF GRADE ALONG EACH BOUNDARY ADJACENT TO THE STRUCTURE. STRUCTURE HEIGHT SHALL BE AS MEASURED IN THE R-1 ZONE. EXCEPT WHERE SHOWN, HEIGHTS SHALL NOT EXCEED 40 FEET.

INTERIOR: THE POINT OF GRADE OF THE ANGLE PLANE IS TAKEN FROM THE NEW GRADE ALONG EACH R-1 BOUNDARY LINE (NOT THE PROPERTY LINE), INCLUDING LOT 2-1 OF INDIAN HARBOR ISLAND SUBDIVISION. PLEASE NOTE THAT IN MOST CASES OF THIS SUBMITTAL, THE ZONING BOUNDARY LINE AND PROPERTY LINE ARE THE SAME.

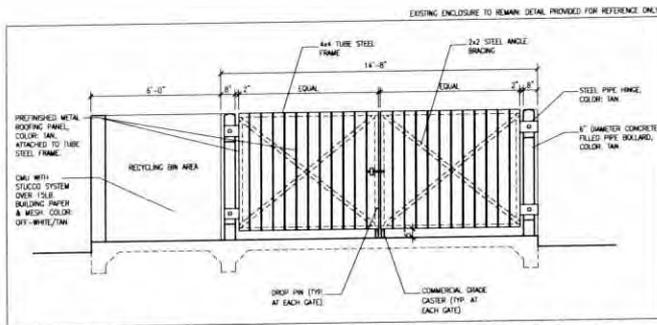
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date: 4-1-2017
BY: [signature]

MH
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505 268 4244 (f)

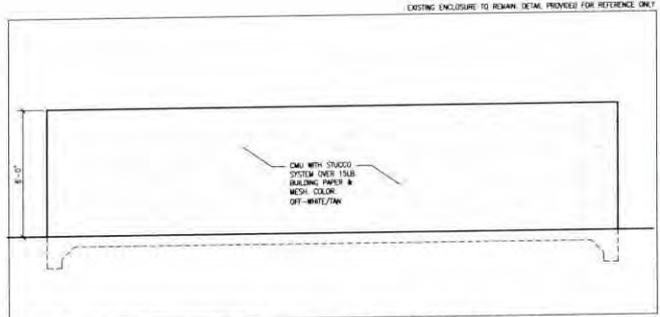


PROJECT NO: 15056
DATE: 3/27/17
PROJECT MANAGER: [signature]
CDD SUBMITTAL 02/20/17

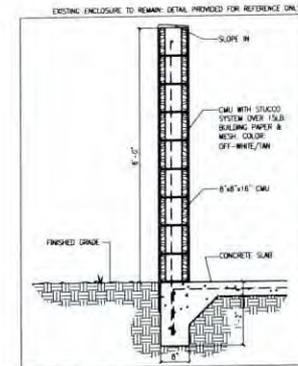
Project File:
Country Club Plaza
SW of Central Avenue and Logans Blvd SW
Albuquerque, New Mexico - 87104
owner file:
Site Sections



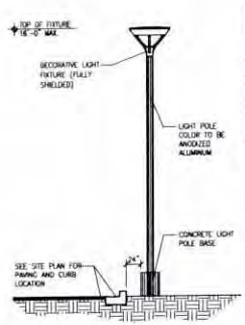
1 Refuse Enclosure Front Elevation-EXISTING TO REMAIN
Scale: 3/8" = 1'-0"



2 Refuse Enclosure Typ. Side Elevation-EXISTING TO REMAIN
Scale: 3/8" = 1'-0"



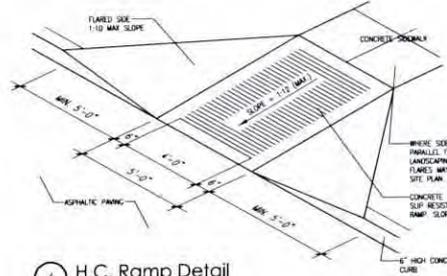
3 Refuse Enclosure Wall Section-ETR
Scale: 1/4" = 1'-0"



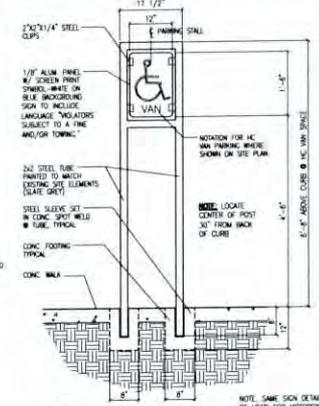
4 Site Lighting Elevation
Scale: Not to Scale



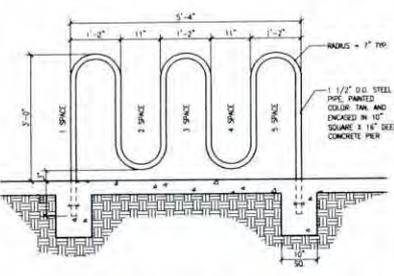
5 Typical Site Litter/Recycling Receptacle
Scale: Not to Scale



6 H.C. Ramp Detail
Scale: Not to Scale (Asymmetric)



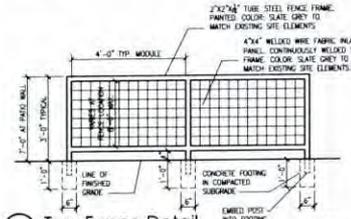
7 H.C. Sign Detail
Scale: Not to Scale (Asymmetric)



8 Typical Bicycle Rack Detail
Scale: 3/4" = 1'-0"

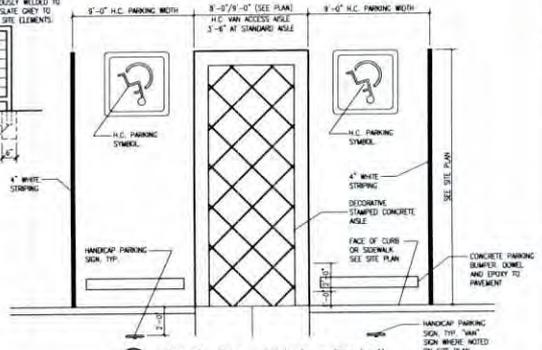


9 Bench Detail - 6' Long (min.)
Scale: Not to Scale



10 Typ. Fence Detail
Scale: 1/2" = 1'-0"

SECTION 14-16-3-18 (103) - FACADES GREATER THAN 100 FEET IN LENGTH: 1. SCALE PER 20 LINEAR FEET OF BUILDING FACADE.			
BUILDING C 137'-0" OF BUILDING FACADE / 25 = 6 SEATS REQUIRED (EACH SEAT SHALL BE A MINIMUM OF 24 INCHES IN WIDTH AND 15 INCHES IN HEIGHT.) TWO (2) - 6'-0" LONG BENCHES = 6 SEATS PROVIDED (SEE SHEET 1)	BUILDING A, B & 1 NOT APPLICABLE NO FACADES 100' OR LONGER	BUILDING 2 131'-0" OF BUILDING FACADE / 25 = 6 SEATS REQUIRED (EACH SEAT SHALL BE A MINIMUM OF 24 INCHES IN WIDTH AND 15 INCHES IN HEIGHT.) TWO (2) - 6'-0" LONG BENCHES = 6 SEATS PROVIDED (SEE SHEET 1)	BUILDING 3 246'-11" OF BUILDING FACADE / 25 = 10 SEATS REQUIRED (EACH SEAT SHALL BE A MINIMUM OF 24 INCHES IN WIDTH AND 15 INCHES IN HEIGHT.) FOUR (3) - 6'-0" LONG BENCHES = 12 SEATS PROVIDED (SEE SHEET 1)
		32 LF OF CONCRETE BENCH AT FOURMAN =	18 SEATS PROVIDED



11 H.C. Parking Striping Detail
Scale: 1/4" = 1'-0"