

AA

APPLICATION NO. 07AA-10063	PROJECT NO. 1004474
PROJECT NAME Lands of Menaul School	
EPC APPLICATION NO. _____	
APPLICANT / AGENT Community Sciences	PHONE NO. 397-0000
ZONE ATLAS PAGE H-15	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
ONE STOP COMMENT FORM LOG	

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>BBB</i>	DATE <i>8/31/07</i>	DATE
COMMENTS:		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>BBB</i>	DATE <i>9/6/07</i>	DATE
COMMENTS:		

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>NSF</i>	DATE <i>8/28/07</i>	DATE
COMMENTS:		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

PLANNING (505) 924-3858		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>PSS</i>	DATE <i>11 Sept '07</i>	DATE
COMMENTS:		
<i>Revised landscaping. Revised phasing and elevations. Revised street dimensions. Revised lighting details. PSS</i>		

Revised 3/3/04

(Return form with plat / site plan)

10

1000

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Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): Cliff A. Sprick AICP, Community Sciences Corp PHONE: 505 897 0000
 ADDRESS: P.O. Box 1328 FAX: 505 898 5195
 CITY: Corrales STATE NM ZIP 87048 E-MAIL: casprick@communitysciences.com

APPLICANT: KB Home NM Inc. PHONE: 505 353 5300
 ADDRESS: Attn: Mr. Marc Kempf 6330 Riverside Plaza NW FAX: 897-4479
 CITY: Al STATE ZIP 87120 E-MAIL:

Proprietary interest in site: owner/developer List all owners:

DESCRIPTION OF REQUEST: Amends site plan for building permit to reflect changes during construction. Adds rear patios, reflects prior amendments.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Parcel B1 44.95 Ac Block: Unit:
 Subdiv/Addn/TBKA: Levels of Manual School
 Existing Zoning: SC PRD EPC 12/15/05 Proposed zoning:
 Zone Atlas page(s): H-15-2 UPC Code: MRGCD Map No

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 05-EPC-1568, 1569 Project 100 4474

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill?
 No. of existing lots: 6 No. of proposed lots: 9 Total area of site (acres):
 LOCATION OF PROPERTY BY STREETS: On or Near: Manual Blvd N.E., Broadway to Broadbent
 Between: Broadway to Broadbent and Manual to Clarendon
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review:

SIGNATURE [Signature] DATE 8/28/07
 (Print) Cliff A. Sprick (Agent) Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> INTERNAL ROUTING	<u>07AA</u>	<u>AA</u>	<u>PL4</u>	<u>\$ 45.00</u>
<input checked="" type="checkbox"/> All checklists are complete	<u>10063</u>	<u></u>	<u></u>	<u>\$</u>
<input checked="" type="checkbox"/> All fees have been collected	<u></u>	<u></u>	<u></u>	<u>\$</u>
<input checked="" type="checkbox"/> All case #s are assigned	<u></u>	<u></u>	<u></u>	<u>\$</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	<u></u>	<u></u>	<u></u>	<u>\$</u>
<input checked="" type="checkbox"/> Case history #s are listed	<u></u>	<u></u>	<u></u>	<u>\$</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	<u></u>	<u></u>	<u></u>	<u>\$</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus	<u></u>	<u></u>	<u></u>	<u>\$</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	<u></u>	<u></u>	<u></u>	<u>\$</u>
	Hearing date <u></u>			Total <u>\$ 45.00</u>

Andrew Garcia 8/28/07
 Planner signature / date

Project # 1004474

P. O. Box 1328
Corrales, NM 87048

August 24, 2007

Mr. Russel Brito for David Stallworth, Case Planner and
Ms. Sheran Matson, Chair, Development Review Board
City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Re: Case #05-EPC-1568, 1569 – Project # 1004474
Delegated Site Plans to DRB, Atlas H-15

Subject: Submittal of DRB signature set (Administrative Amendments),
Site Plan for Building Permit, The Villas at Menaul (Menaul
School Condominiums), Applicant KB Home NM Inc.

Dear Ms. Matson:

Community Sciences Corporation, agents for KB Homes of New Mexico, is
submitting the Attached Sheets AMD13 thru AMD 20 as amendments to the
Site Plan for Building Permit informally discussed in your office on 08/10/07.

We have also prepared a revised Sheet C1 (cover page) should you wish to
use it for the files.

These Amendments revise the Site Plan Civil Drawings C1-12, Architectural
A1-A8 and the Clubhouse Architecture as previously approved:

- Sheet AMD13: Re-Publishes an amendment secured by Advanced
Engineering from Mr. Brito on March 20, 2007
(consolidates the amendment into this file for this
project).
- Sheet AMD14-16: Replaced the Hilltop Landscaping sheets C7-9 with those
prepared by Consensus Planning, ASLA for the
construction phase.
- Sheet AMD17: Revises the Phasing Plan (sheet C4) and publishes
specific locations for Type F-2 wall pilasters. This
amendment also copies the Garage Door and Color
Palette desired by the EPC (SP Subd. Approvals) to
ensure correct doors and colors.

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

SITE DEVELOPMENT PLAN - BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE (AA01)

- Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
- Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Solid Waste Management Department signature on Site Plan if relevant
- Blue-line copy of Site Plan with Fire Marshal's stamp
- Copy of the LUCC approval if the site is in an historic overlay zone
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

- AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (AA02)**
- AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION (AA03)**
- CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY (AA04)**

NOTE: The requirements specified below apply to the previous 3 plan types, unless otherwise noted.

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) 5 copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) 1 copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Notice of Decision (not required for WTF)
- 45.00 Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area

- Notifying letter & certified mail receipts addressed to owners of adjacent properties
- Office of Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

NOTE: Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in addition to all those listed above:

- Co-location evidence as described in Zoning Code §14-16-3-17(A)(5)
- Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
- Registered Engineer's stamp on the Site Development Plans
- Office of Community & Neighborhood Coordination inquiry response as above based on ¼ mile radius

PLEASE NOTE: If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Debbie Stover at 924-3940 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

CLIFF A. SPIROCK Applicant name (print)
[Signature] Applicant signature / date



Form revised June 04, October 2004

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
07023 - 10063
- -
- -

[Signature] 8/28/07
 Planner signature / date
Project # 1004474



community
sciences
corporation

Facsimile Cover Sheet

Number of pages: _____
including cover page

Date: _____

PO Box 1328, Corrales, New Mexico 87048
Phone - (505) 897-0000, Fax - (505) 898-5195

To: ANDREW Company: CITY OF ABQ Department: _____

Fax number: 924-38604

From: ELIFF Job Name / Number: _____

ATWALL SCHOOL

Confidentiality:

The information in this facsimile message may be privileged and confidential information intended only for the use of the individual or entity named above. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution or copy of this transmittal is strictly prohibited. If you have received this transmittal in error, please immediately notify us by telephone and return the original message to us at the address above via mail.

Initials of sender: _____ Time: _____

Faxed Copy May Not Be To Scale



October 6, 2005

To Whom It May Concern:

This letter is to inform the reader that Community Sciences Corporation is authorized to act on behalf of KB Home New Mexico Division with regard to matters pertaining to the Menaul School project. This authority extends to land use, engineering and related representation. Please direct any questions to:

Robert H. Coleman, Ph.D.
Director, Land
KB Home New Mexico Division
6330 Riverside Plaza Drive NW, Suite 200
Albuquerque, NM 87107
Telephone: (505) 353-5258
Facsimile: (505) 897-4479

Best regards,

A handwritten signature in black ink, appearing to read "R. Coleman", written over a large, faint circular watermark or stamp.

Robert H. Coleman, Ph.D.
Director, Land



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: December 15, 2005

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1004474
05EPC-01568 Zone Map Amendment
05EPC-01569 EPC Site Development Plan-
Subdivision

KB Homes, New Mexico
6330 Riverside Plaza Ln. NW
Albuq. NM 87120

RECEIVED
DEC 20 2005

LEGAL DESCRIPTION: for all or a portion of **Tracts F1, 3, 1A1B, 3A, 1C, 1B and 1A1A2, MRGCD, Map 36,** and abandoned portions of the **Alameda Lateral**, a zone map amendment from SU-1/Schools and Incidental Facilities and M-1 to SU-1/PRD, located on the north side of **MENAU BLVD., NE,** between **BROADBENT AVE., NE** and **BROADWAY BLVD., NE,** containing approximately 17 acres. (H-15) David Stallworth, Staff Planner

On December 15, 2005 the Environmental Planning Commission voted to approve Project 1004474/ 05EPC 01568, a zone map amendment from SU-1/Private School with Incidental Facilities and M-1 to SU-1/PRD, for a +/-17-acre portion of Tracts F1, 3, 1A1B, BA, 1C, 1B and 1A1A2, MRGCD Map 36, to include abandoned portions of the Alameda Lateral and Edith Boulevard street right-of-way, based on the following Findings:

FINDINGS:

1. This is a request for consideration and approval of a zone map amendment for a +/-17-acre portion of **Tracts F1, 3, 1A1B, BA, 1C, 1B and 1A1A2, MRGCD Map 36,** to include abandoned portions of the **Alameda Lateral** and **Edith Boulevard** street right-of-way from SU-1/Private School with Incidental Facilities and M-1 to SU-1/PRD.
2. This request is for the construction of a 213-unit residential condominium development.

CAS
CFS
JTS

OFFICIAL NOTICE OF DECISION
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PROJECT #1004474
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3. The zone change request satisfies several key land use policies of the *City/County Comprehensive Plan*, most notably:
 - a. *Policies II.B.5.d, II.B.5.k, II.B.5.l, II.B.5.m and II.B.5.o* – The site plan review process plays a crucial role in maintaining area values, ensuring a safe, visually amenable and integral development, promoting economic development, stimulating neighborhood redevelopment, and maintaining or complementing the overall historic character of the Menaul School.
 - b. *Policy II.B.5.e* – The applicant shall be responsible for all necessary public improvements and utility extensions related to this project.
 - c. *Policy II.B.5.f* – The site plan review process will help to ensure that any new development facilitated with this zone change complements or extends the unique communal and architectural characteristics identified with the Menaul School.
 - d. *Policy II.B.5.g* – The applicant will install a 10-foot-wide multi-purpose trail along the north side of Menaul between the project site and the east side of Broadway pursuant to new residential development.
 - e. *Policy II.B.5.h* – Residential development at a final density of at least twelve dwelling units per acre will be located near two designated principal arterials and will be similar to nearby residential developments with historically mixed-use patterns. The site plan review process will provide for ample mitigation from those intense uses to the east and allow for some degree of peaceful co-existence between diverse land uses.
 - f. *Policy II.B.7.p* – The zone change will provide the opportunity for private investment to stimulate area revitalization through infill development.
4. The zone change request satisfies several key policies of the *North Valley Area Plan (NVAP)*, most notably *Policy 2.2.d* (adequate buffer landscaping and mitigation measures within newer development), *Policy 8.1* (urban site design) and *Policy 9.7* (clustering of residences and provision of adequate open spaces).
5. There is no evidence that the public health, safety and welfare will be compromised with the change in zoning; the request does not conflict with subsection 1.A of Resolution 270-1980.
6. The NVAP recognizes that “Lands now zoned for non-residential uses...represent a significant resource for future housing.” The preferred land use scenarios for the Edith Corridor, as called out in the NVAP, is to rezone lands at the bottom of the identified “mesa” to accommodate new housing.
7. The zone change request furthers several key policies of both the *City/County Comprehensive Plan* and the *North Valley Area Plan*; the project does not conflict with subsections 1.C and 1.D.3 of Resolution 270-1980 and is therefore advantageous to both the community and the City.
8. There is no evidence that the zone change request is in significant conflict with subsections 1.E through 1.H of Resolution 270-1980.

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9. The zone change request does not constitute a "spot" or a "strip" zone; as outlined in subsections 1.I and 1.J of Resolution 270-1980, respectively.
 10. There is no public opposition to this request.
 11. The approval of this zone change request should not be construed as a precedent by the City to gradually develop the remaining portion of the Menaul School site outside of its present use. Any subsequent development requests relative to the remaining portion of the school site will be appropriately handled on a case-by-case basis and judged on their merits.
-

On December 15, 2005 the Environmental Planning Commission voted to approve Project 1004474/05EPC-01569, a site development plan for subdivision a +/-17-acre portion of Tracts F1, 3, 1A1B, BA, 1C, 1B and 1A1A2, MRGCD Map 36, to include abandoned portions of the Alameda Lateral and Edith Boulevard street right-of-way, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for consideration and approval of a site development plan for subdivision a +/-17-acre portion of Tracts F1, 3, 1A1B, BA, 1C, 1B and 1A1A2, MRGCD Map 36, to include abandoned portions of the Alameda Lateral and Edith Boulevard street right-of-way to accommodate the construction of a 213-unit residential condominium development.
2. The request is predicated upon the approval of a zone map amendment of the subject area from SU-1/Private School with Incidental Facilities and M-1 to SU-1/PRD.
3. The subject area is located within an overall site that has been designated as a historic district by both the State Historic Preservation Office and the National Register of Historic Places. Four residential cottages within the subject area have been identified as contributing buildings. One of the cottages was built in 1909 as the school's first hospital, and the remaining three cottages were built between the late 1940's and early 1950's.
4. The City's Historic Preservation Planner has written that the demolition of buildings east of the former Edith Boulevard may compromise the integrity of the historic district and lessen the number of historic resources that help to increase our understanding of this area. These demolitions, however, will most likely not result in a rescinding of the historic district designation.

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5. The City's Historic Preservation Planner asserts that any demolition of buildings east of the former Edith Boulevard could be in possible conflict with *Historic Resources Policy II.C.5* of the *City/County Comprehensive Plan*, which seeks to protect buildings pre-1940 buildings from demolition due to their relative scarcity.
6. The City's Historic Preservation Planner points out that Edith Boulevard is a recognized segment of the old El Camino Real de Tierra Adentro road network. Any excavations should be monitored or pre-tested for any possible discovery of significant archeological resources.
7. The City's Historic Preservation Planner believes that the site plan review process should help to maintain the integrity of the historic district and the character of Edith as a neighborhood street by requiring new design to complement and accentuate the Menaul School campus and identifying opportunities for the possible integration of historic structures through rehabilitation and adaptive re-use.
8. The City Historic Preservation Planner strongly recommends that the most historically significant of the four contributing cottages, the Ross Cottage, be relocated to a site within the primary campus west of the former Edith Boulevard and undergo extensive rehabilitation for the purpose of adaptive re-use. Demolition of any of its flat-roofed additions prior to such a move is suggested. This office also recommends that the applicant make provisions for the recording and archiving of the remaining contributing cottages to mitigate their demolition.
9. The approval of this site development plan request should not be construed as a precedent by the City to gradually develop the remaining portion of the Menaul School site outside of its present use. Any subsequent development requests relative to the remaining portion of the school site will be appropriately handled on a case-by-case basis and judged on their merits.
10. The site development plan for subdivision, as presented to the Environmental Planning Commission, satisfies several key land use policies of the *City/County Comprehensive Plan*, most notably:
 - a. *Policies II.B.5.d, II.B.5.f, II.B.5.l, II.B.5.m and II.B.5.o* – The site plan process has encouraged the applicant to employ a combination of several alternative elements to mimic the building clustering found on the primary campus, including the mixing of building sizes, various building front orientations that make the garage openings less conspicuous, the staggering of front setbacks, the undulation of internal drive aisles and the concealment of prominent garage doors through the use of a alternative door designing, creative exteriorizing and less reliance upon conventional garage door design and color.
 - b. *Policy II.B.5.h* – The subject area abuts at least two major arterials, has ready access to City services, and is less than 2/10 of a mile from existing residential development to the north and south, part of which already contains significant mixed-use patterns that have peacefully co-existed since the 1950's. The proposed site plan also employs adequate buffering and safeguards along the boundaries abutting existing M-1 uses to the east of the subject area that will mitigate impacts as a result of unforeseen land use intensifications and ensure a similar level of peaceful co-existence.

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- c. *Policy II.B.5.k* – With recommended conditions, the site plan should adequately provide for safe and efficient vehicle traffic management internal to the development and onto the surrounding public street grid.
11. The applicant shall be responsible for all necessary public improvements and utility extensions related to this project, thus satisfying *Policy II.B.5.e* of the *City/County Comprehensive Plan*.
 12. The applicant shall be required to install a 10-foot-wide multi-purpose trail along the north side of Menaul from the project site to the east side of Broadway, thus satisfying *Policy II.B.5.g* of the *City/County Comprehensive Plan*.
 13. The applicant proposes two-story buildings with desert tan stucco exteriors, concrete tile gabled roofs with autumn brown color, and various window accents. While the buildings offer more articulation and external elements than what is found on the school's older structures, the proposed building designs appear to somewhat complement the overall area. With recommended conditions, the project will further *Policy II.B.5.m* of the *City/County Comprehensive Plan*.
 14. The site development plan for subdivision, as presented to the Environmental Planning Commission, satisfies several key policies of the *North Valley Area Plan (NVAP)*, most notably *Policy 2.2.d* (adequate buffer landscaping and mitigation measures within newer development), *Policy 8.1* (urban site design and interconnectivity) and *Policy 9.7* (clustering of residences and provision of adequate open spaces).
 15. Any site buffering will most likely utilize an existing 5- to 10-foot grade differential identified in the NVAP as the "mesa," that effectively distinguishes the adjacent business park to the east from new residential development within the project site, thus satisfying *Policy 9.1* of the NVAP.
 16. The NVAP recognizes that "Lands now zoned for non-residential uses...represent a significant resource for future housing." The preferred land use scenarios for the Edith Corridor calls for the rezoning of lands situated at the bottom of the "mesa" to accommodate new housing. In light of this, the proposed site development plan for subdivision furthers *Policy 7.2* of the NVAP.
 17. There is no known public opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

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2. Prior to DRB sign off, the applicant shall meet with the staff planner to ensure that any conditions of approval are adequately addressed.
3. All format-related deficiencies that were brought to the applicant's attention shall be satisfactorily addressed on the final site plan for subdivision. Correct legal descriptions for all new divisions of land within the project area shall be reflected on the final site plan for subdivision. All design guidelines relative to this site plan shall be assembled onto one sheet, two sheets if necessary, and must be clearly discernable. Only one version of a landscape plan shall be submitted with the final site plan.
4. For the purposes of clarity, the final site plan for subdivision shall include original survey information as derived from the relative previous plats for all relative tracts, a title caption such as "Area Being Replatted," a spatial diagram of the existing platted area that is affected under the proposed replat, and a reason for the replat.
5. With respect to engineering considerations, the following conditions shall apply:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. Rename "Traffic Impact Study" to "Queuing Analysis."
 - c. Per Transportation Development Staff, completion of required improvements as identified in the queuing analysis is required (i.e. 100' right and/or 100' left turn lanes and gate placements).
 - d. Provide site distance analysis (per AASHTO requirements) at the intersections of Menaul and Edith and Claremont and Broadway.
 - e. Platting must be a concurrent DRB action.
 - f. Site plan shall comply and be designed per DPM Standards.
 - g. Construction of a 10-foot wide multi-purpose trail along the north side of Menaul Boulevard between Edith Boulevard (referenced on the site plan as an unnamed public street) and Broadway Boulevard as designated on Long Range Bikeways System.
6. With respect to site plan layout and configuration, the following conditions shall apply:
 - a. The final site plan shall include more staggering of front building setbacks for buildings 15 through 17, 19, 21 and 23.
 - b. The final site plan shall provide for additional driveway lengths for buildings 35 and 44.
 - c. The applicant shall reorient buildings 35 through 38 in order to provide more common recreational space on the final site plan. The applicant shall also develop the identified landscape area south of the PNM property and west of building four (4) for small-scale recreational space.

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- d. The final site plan shall call out all areas designated for common open and recreational space. The applicant shall provide, at a minimum, tables, benches, barbecue pits and at least one "tot lot;" details on these amenities shall be provided on the final site plan.
 - e. To preserve the established irrigation rights of the Stronghurst Neighborhood Association, the applicant shall either impose a 20' by 100' "no-build area" and access easement between building 2, the west right-of-way line of Claremont Avenue and the west boundary of the adjacent PNM property for the benefit of the Association or provide for reasonable and suitable alternative accommodations for said Association. Either a signature on the site plan by an authorized agent of the Association or a written endorsement from the Association accompanying the final site plan submittal shall constitute fulfillment of this condition.
 - f. On-street parking accommodations shall be provided along the former Edith Boulevard, where practical.
 - g. A minimum 20-foot landscape buffer shall be maintained along the portion of the eastern project boundary that abuts the Broadbent Business Park. Landscaping shall include a 60-40 mix of coniferous to deciduous trees that will achieve a minimum height of 25 feet. Groundcover shall be predominantly all-seasonal.
 - h. Prior to final site plan submittal, the applicant shall furnish a feasibility study, with executive summary, on the adaptive reuse of the Ross Cottage. This report is to be certified by an architect experienced in historic preservation that is registered by the State of New Mexico.
 - i. If determined to be salvageable, the Ross Cottage shall be relocated to a suitable alternative location within the Menaul School campus, preferably the west side of the former Edith Boulevard in a position that reinforces the edge of the school campus along this street.
 - j. The applicant shall make provisions for the recording and archiving of the remaining contributing cottages to mitigate their demolition.
 - k. Any on-site excavations shall be monitored or pre-tested for any possible discovery of significant archeological resources.
7. With respect to considerations regarding vehicular access, parking and circulation, the following conditions shall apply:
- a. The applicant shall install reasonable measures prohibiting on-street parking outside of the former Edith Boulevard subject to Fire Department approval.
 - b. The final site plan shall include minimum guidelines on pedestrian crossings. Pedestrian walkways through vehicular areas shall be clearly demarcated through such paving materials as colored concrete, brick or concrete pavers. Clear and distinct separation between pedestrian walkways and vehicular travel or parking areas shall be maintained. Strong pedestrian connections between the school and residential components shall be encouraged.
 - c. Potential vehicular cut-through access in front of buildings 15 and 16 shall be eliminated.
 - d. A minimum of two (2) disability parking spaces and parking accommodations for four (4) bicycles shall be provided for the clubhouse.
8. With respect to considerations regarding lighting, security, walls and fences, the following conditions shall apply:

OFFICIAL NOTICE OF DECISION
DECEMBER 15, 2005
PROJECT #1004474
PAGE 8 OF 10

- a. The applicant shall ensure that any on-site lighting throughout the overall development is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution.
 - b. All pedestrian walkways and common areas shall be adequately illuminated. Light standards for street illumination shall not exceed sixteen feet (16') in height, and walkway illumination shall not exceed twelve feet (12') in height. The final site plan shall clearly demonstrate the type and placement of adequate site lighting within the development.
 - c. The final site plan shall include additional language prohibiting common refuse enclosures from being prominently placed between any public or private street and any building facade. Details on refuse accommodations shall be provided on the final site plan.
 - d. Any proposed perimeter wall or fence along the former Edith Boulevard or along an abutting major thoroughfare shall contain full wrought-iron view fencing with masonry pilasters. No solid walls along the private Edith Street shall be permitted. Standards, materials and diagrams for all development-related walls shall be demonstrated on the final site plan.
9. With respect to considerations regarding architecture and signage, the following conditions shall apply:
- a. The site plan shall impose a maximum building height not to exceed 28.75 feet.
 - b. Garage door design or any alternate design or building orientation that relegates the garage door opening to a less predominant feature is required. Overhead garage doors with architectural windows coupled with carriage doors with windows as shown in the colored presentation is acceptable.
 - c. All roofing shall consist of concrete tiles. No asphalt shingle roofing shall be allowed.
 - d. The buildings shall employ exterior color schemes that are complementary to, and do not dominate, the older primary buildings within the Menaul School campus. The use of pastels, contrasting trims, two-tone exteriors, lightened recesses and/or alternating building colors shall be encouraged. Overall color schemes solely reliant upon earth tones, a single color or a variation of a single color shall not be allowed. A color palette shall be provided on the final site plan.
 - e. The final site plan shall include details on sign design and illumination for all entrance signs pertaining to the residential development. Entrance signs shall be limited to monument signs only. Such signage shall be consistent with, or complementary to, any signage that is used by the Menaul School.
10. With respect to considerations regarding landscaping, the following conditions shall apply:
- a. The final landscape plan shall include associative icons with the proposed plant palette. The final landscape plan shall also be formatted in accordance with section 14.16.3.10.C of the Zoning Code.
 - b. The final landscape plan shall include revised language requiring all street tree plantings to be in accordance with Article Six of the Municipal Code. Random or clustered streetscape shall not be permitted.
 - c. The final landscape plan shall provide for substantial vegetative shading of all common areas and open spaces. A minimum basis shall be one (1) shade tree per 400 square feet of open area and one (1) shade tree per every thirty (30) linear feet of pedestrian walkway.

OFFICIAL NOTICE OF DECISION
DECEMBER 15, 2005
PROJECT #1004474
PAGE 9 OF 10

- d. Proposed landscaping that is visible from any vantage and point along Menaul should, at a minimum, contain a similar amount of lush vegetation that is found at the front of the Menaul School campus. Proposed streetscape and median landscaping shall not compromise clear sight distance for traffic emerging from the development onto Menaul.
- e. The applicant shall reduce the amounts of impervious cover near buildings 23 and 24 and near buildings 1 and 2 through the use of landscape islands, roundabouts or other similar treatments.

11. The project will comply with all SWMD ordinances and requirements.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **DECEMBER 30, 2005** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

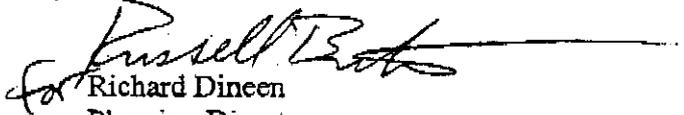
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

OFFICIAL NOTICE OF DECISION
DECEMBER 15, 2005
PROJECT #1004474
PAGE 10 OF 10

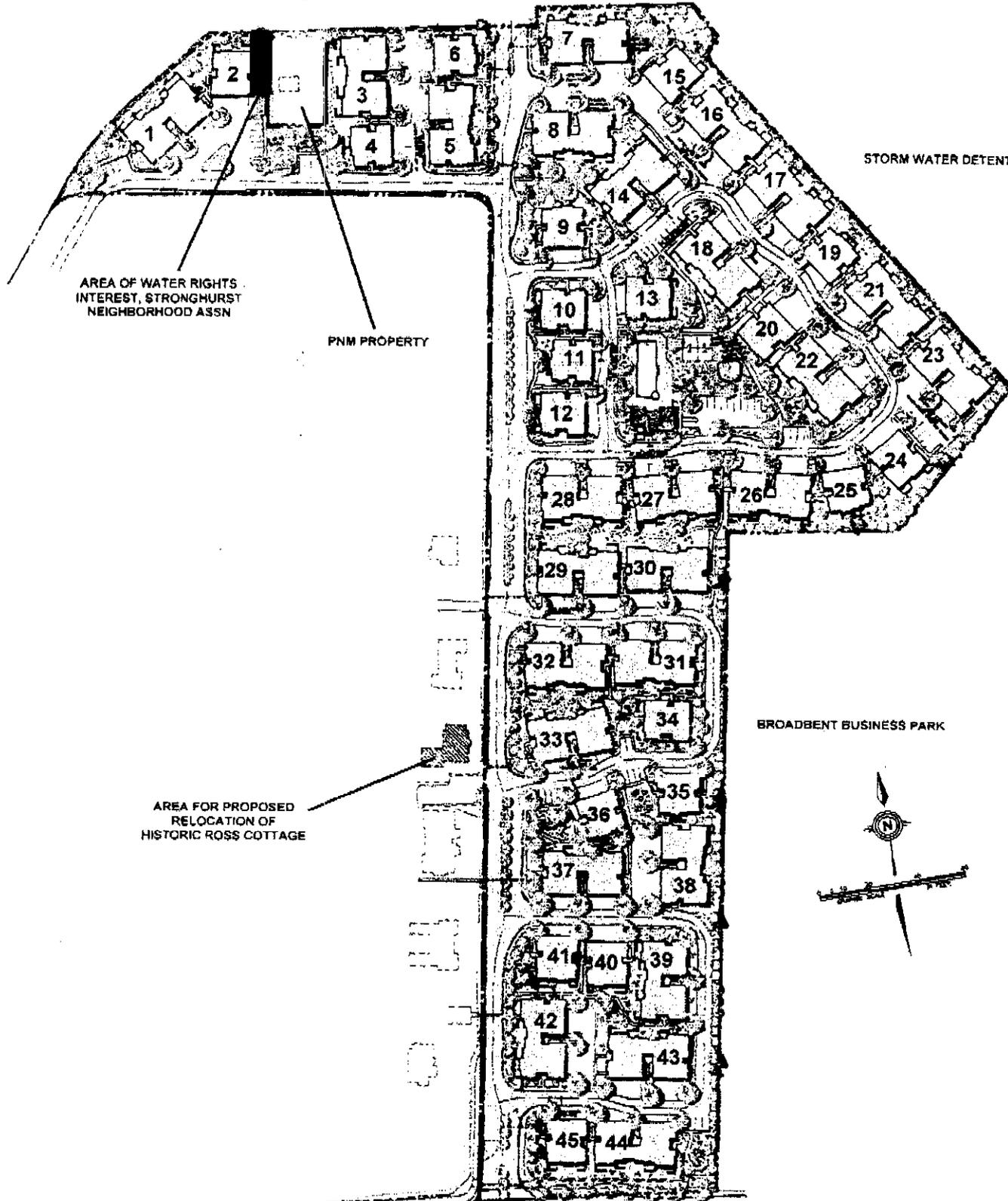
Sincerely,


Richard Dineen
Planning Director

RD/DS/ac

cc: Community Sciences Corp., P.O. Box 1328, Albuquerque, NM 87048
Robert Sanchez, Santa Barbara-Martineztown Assoc., 508 Aspen NE, Albuquerque, NM 87102
Christina Chavez-Apodaca, Santa Barbara-Martineztown Assoc., 517 Marble NE, City, 87102
Beth Brownell, Stronghurst Improvement Assoc., 2921 Arno NE, Albuquerque, NM 87107
Pam Ashley, Stronghurst Improvement Assoc., 217 Claremont NE, Albuquerque, NM 87107
Gloria Mallory, 301 Menaul Blvd. NE, Albuquerque, NM 87107
Terry Johnson, 215 Third St. NW, Albuquerque, NM 87102
Dan Nunez, 709 Fairway Rd. NW, Albuquerque, NM 87107
Edward Kaal, 3004 Franciscan NE, Albuquerque, NM 87107

CLAREMONT AVE.



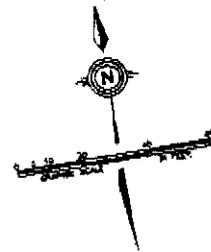
STORM WATER DETENTION BASIN

AREA OF WATER RIGHTS INTEREST, STRONGHURST NEIGHBORHOOD ASSN

PNM PROPERTY

AREA FOR PROPOSED RELOCATION OF HISTORIC ROSS COTTAGE

BROADBENT BUSINESS PARK



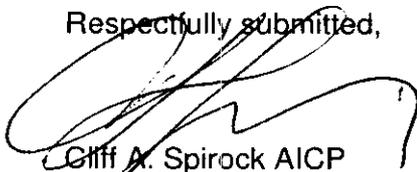
MENAU BLVD. NE

Sheet AMD18-19: Re-Publishes the Plan of streets and geometry (sheets C1-4 and base geometry) to show as-built conditions, and revised dimensions. This drawing also indicates the patio wall revisions at the rear of the units discussed with you.

Sheet AMD20: Publishes the lighting consultant's revisions to electrical pull boxes and area lighting standards (manufacturer's models and locations).

Please call me or Cliff F. Spirock at (505) 250-1227 or 897-0000 if there any questions. Our client is anticipating occupancy in September and we would like the City's record of the Site Plan for Building Permit brought current.

Respectfully submitted,



Cliff A. Spirock AICP
COB Community Sciences Corporation

cc: KB Home NM Inc, Mr. Marc Kempf, Contract Project Manager
Mr. Andrew Trietley
Mr. Rob Izer
Mr. Richard Marek

Mr. C.F. Spirock, President CSC

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

08/28/2007 Issued By: PLNABG

Permit Number: 2007 010 063

Category Code 940

Application Number: 07AA-10063, Amndt Site Development Plan - Eld Prmt

Address:

Location Description: MENAUL BLVD NE AND BROADWAY NE AND CLAREMONT NE

Project Number: 1004474

Applicant

Kb Home Nm Inc
 Marc Kempf
 6330 Riverside Plaza Nw
 Albuquerque, NM 87120
 353-5300

Agent / Contact

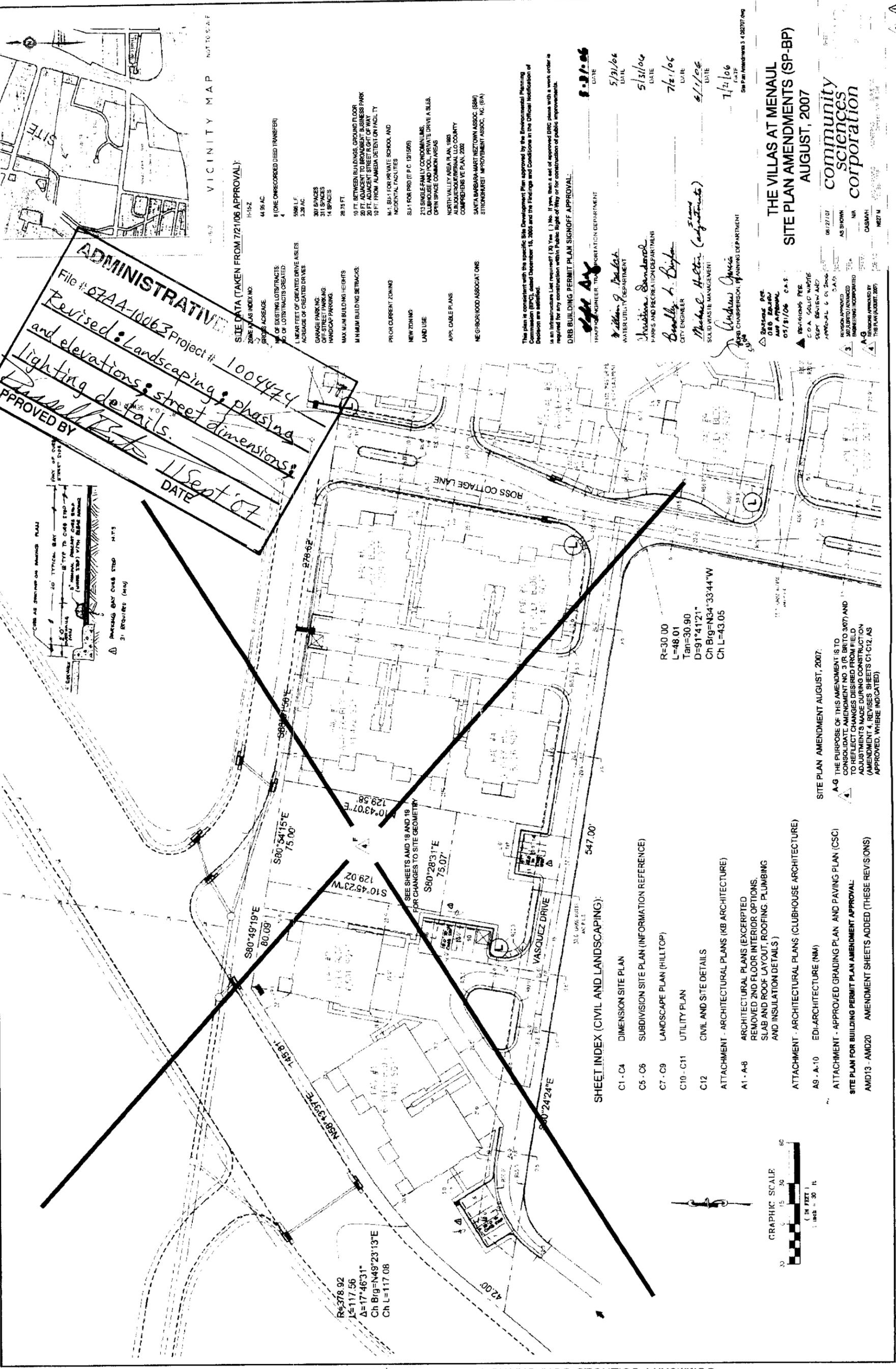
Community Science Corp
 Cliff Spirock Aicp
 P.O. Box 1328
 Corrales, NM 87048
 897-0000

Application Fees

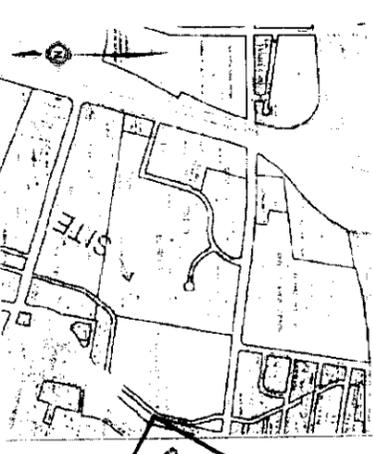
441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4971000	AA Actions	\$45.00
TOTAL:		\$45.00

City of Albuquerque
 Treasury Division

3/28/2007 10144AN 1004474
 4971000 18705M 0018
 RECEIVED 0000/1005-0008/2005
 PERMIT# 2007010063 1004474
 TRANS AMT \$45.00
 AA ACTIONS \$45.00
 TOTAL \$45.00



ADMINISTRATIVE
 File # 07AA-10063 Project # 1004474
 Revised: Landscaping, street phasing
 and elevations, landscaping, phasing
 lighting details, street dimensions,
 driveway details.
 APPROVED BY *[Signature]*
 DATE 11 Sept '07



- SITE DATA (TAKEN FROM 7/21/06 APPROVAL)**
- 14.85 AC
 - 4.00 AC (ONE UNRECORDED USED TRANSFER)
 - 5966 LF
 - 3.28 AC
 - 307 SPACES
 - 311 SPACES
 - 14 SPACES
 - 2875 FT
 - 10 FT BETWEEN BUILDINGS, GROUND FLOOR
 - 20 FT ADJACENT TO BROADBENT BUSINESS PARK
 - 20 FT ADJACENT STREET RIGHT OF WAY
 - 10 FT FROM ALAMEDA DETENT ON FACILITY
 - M.I. SIX FOUR PRIVATE SCHOOL AND MEDICAL FACILITIES
 - S.U.I. FOUR PRO P.C. (12/5/95)
 - 210 SINGLE FAMILY HOMES, COMMUNITARIANS
 - 210 SINGLE FAMILY HOMES, PRIVATE DRIVE A SLEES
 - OPEN SPACE COMMON AREAS
 - NORTH VALLEY AREA PLAN, 1985
 - ALBUQUERQUE METROPOLITAN PLANNING COMMISSION
 - COMPRIERS VE PLAN, 2002
 - SANTA BARBARA-MARTINEZ TOWN ASSOC. (SBM)
 - STRENGTHENMENT IMPROVEMENT ASSOC. NC (SIA)

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 15, 2005 and the Findings and Conditions in the Official Notification of Decision are satisfied.

It is an Infrastructure List required? (Yes) (No) If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right of Way or for construction of public improvements.

- DRB BUILDING PERMIT PLAN SIGNOFF APPROVAL**
- DATE 5/31/06
 - DATE 5/31/06
 - DATE 7/21/06
 - DATE 6/11/06
 - DATE 1/21/06
- TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT
 WATER UTILITY DEPARTMENT
 PARKS AND RECREATION DEPARTMENT
 CITY ENGINEER
 SOLID WASTE MANAGEMENT
 CHIEF ENGINEER, PLANNING DEPARTMENT



- SHEET INDEX (CIVIL AND LANDSCAPING)**
- C1 - C4 DIMENSION SITE PLAN
 - C5 - C6 SUBDIVISION SITE PLAN (INFORMATION REFERENCE)
 - C7 - C9 LANDSCAPE PLAN (HILLTOP)
 - C10 - C11 UTILITY PLAN
 - C12 CIVIL AND SITE DETAILS
 - ATTACHMENT - ARCHITECTURAL PLANS (KB ARCHITECTURE)
 - A1 - A8 ARCHITECTURAL PLANS (EXCEPTED REMOVED 2ND FLOOR INTERIOR OPTIONS, SLAB AND ROOF LAYOUT, ROOFING, PLUMBING AND INSULATION DETAILS)
 - ATTACHMENT - ARCHITECTURAL PLANS (CLUBHOUSE ARCHITECTURE)
 - A9 - A10 EDI-ARCHITECTURE (NM)
 - ATTACHMENT - APPROVED GRADING PLAN AND PAVING PLAN (CSC)

SITE PLAN FOR BUILDING PERMIT AMENDMENT APPROVAL

AMD13 - AMD20 AMENDMENT SHEETS ADDED (THESE REVISIONS)

SITE PLAN AMENDMENT AUGUST, 2007.

A-G THE PURPOSE OF THIS AMENDMENT IS TO CONSOLIDATE AMENDMENT NO. 3 (R. BRITO 3007) AND TO REFLECT CHANGES DESIRED FROM FIELD ADJUSTMENTS MADE DURING CONSTRUCTION (AMENDMENT 4, REVISES SHEETS C1-C12, AS APPROVED, WHERE INDICATED)

Revisions Per:
 E.D.A. SOLID WASTE
 EPC REVIEW AND
 APPROVAL 6/11/06
 REVISION APPROVED
 AND ALBERTO ADVANCED
 ENGINEERING INCORPORATED
 REVISION APPROVED BY
 THE PLAN (SUBMIT 2007)

THE VILLAS AT MENAUL
SITE PLAN AMENDMENTS (SP-BP)
AUGUST, 2007

community sciences corporation

08/27/07
 AS SHOWN
 N/A
 CASUAL
 WEST N

SITE DATA (TAKEN FROM 7/21/06 APPROVAL):

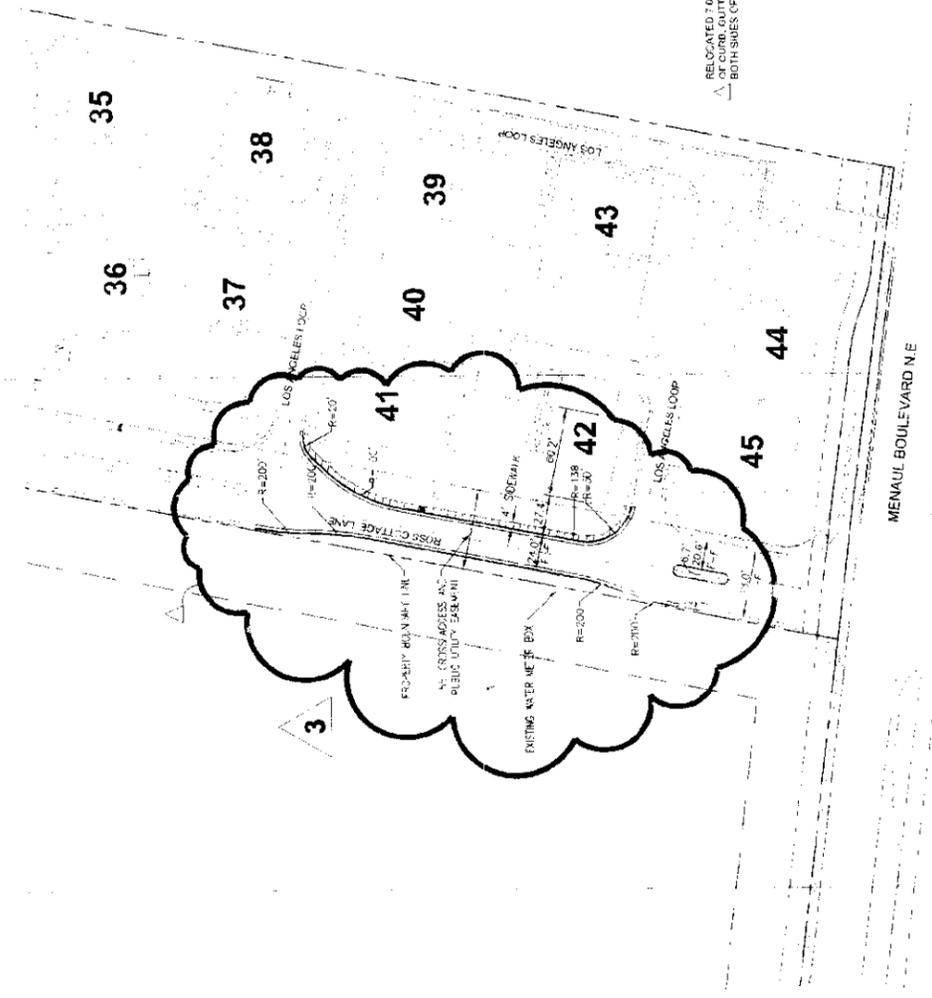
ZONE/UTAS INDEX NO. 14-12
 GROSS ACRES 44.86 AC
 NO. OF EXISTING LOTS/TRACTS 6 (ONE UNRECORDED DEAD HANDBY)
 NO. OF LOTS/TRACTS CREATED 4
 LINEAR FEET OF CREATED DRIVE/ALLEYS 5586 LF
 AREA OF CREATED DRIVE/ALLEYS 3.29 AC
 GARAGE SPACES 307 SPACES
 HANDICAP SPACES 311 SPACES
 HANDICAP PARKING 14 SPACES
 MAXIMUM BUILDING HEIGHTS 28.75 FT.
 MINIMUM BUILDING SETBACKS 10 FT. BETWEEN BLDGS. GROUND FLOOR
 20 FT. ADJACENT TO BROADBENT BUSINESS PARK
 20 FT. ADJACENT STREET RIGHT OF WAY
 10 FT. FROM ALAMEDA DETENTION FACILITY
 PRIOR CURRENT ZONING M-1 SUI FOR PRIVATE SCHOOL AND
 AGENCIAL FACILITIES
 NEW ZONING SUI FOR PRO (E.P.C. 12/19/06)
 LAND USE 213 SINGLE FAMILY COMPOUND LOTS
 OPEN SPACE COMMON AREAS
 APPLICABLE PLANS NORTH VALLEY AREA PLAN, 1983
 ALBUQUERQUE/BERNALILLO COUNTY
 COMPREHENSIVE PLAN 2002
 NE BENEVOLENT ASSOCIATIONS SANTA BARBARA WART NEZTOWN ASSOC. (SBA)
 STRONGHURST IMPROVEMENT ASSOC. INC. (SIA)
 PROJECT NUMBER 1504474

APPLICATION NUMBER 99-EPC-1046, 1999
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning
 Commission (EPC), dated December 18, 2003 and the Findings and Conditions in the Official Notification of
 Decision are satisfied.
 In an information list required by (30) N.M.S. 1-11, the applicant has set of approved DRB plans with a work order to
 be prepared for any construction within Public Right-of-Way or for construction of public improvements.

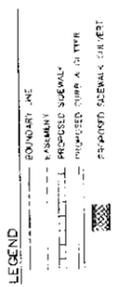
DRB BUILDING PERMIT PLAN AMENDMENT APPROVAL:

SHEET INDEX (CIVIL AND LANDSCAPING):

- C1 - C4 DIMENSION SITE PLAN
- C5 - C6 SUBDIVISION SITE PLAN (INFORMATION REFERENCE)
- C7 - C9 LANDSCAPE PLAN (HILLTOP)
- C10 - C11 UTILITY PLAN
- C12 CIVIL AND SITE DETAILS
- ATTACHMENT - ARCHITECTURAL PLANS (KB ARCHITECTURE)
- A1 - A-8 ARCHITECTURAL PLANS (EXCERPTED
REMOVED 2ND FLOOR INTERIOR OPTIONS,
SLAB AND ROOF LAYOUT, ROOFING, PLUMBING
AND INSULATION DETAILS)
- ATTACHMENT - ARCHITECTURAL PLANS (CLUBHOUSE ARCHITECTURE)
- AB - A-10 EDI-ARCHITECTURE (NM)
- ATTACHMENT - APPROVED GRADING PLAN AND PAVING PLAN (CSC)
- AMD13 - AMD20 AMENDMENT SHEETS ADDED (THESE REVISIONS)



RELOCATED TO BE EAST APPROXIMATELY 100 FT.
 OF CURB LINE AND 10 FT. FROM THE CENTERLINE
 BOTH SIDES OF CROSS-COTTAGE LANE

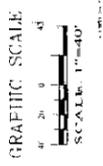


ADMINISTRATIVE AMENDMENT
 The ZIAA shall be amended to reflect the
 changes to the site plan as shown on this
 sheet. The changes are as follows:
 1. Change the lot numbers from 35 to 45.
 2. Change the street names from Los Arboles Loop
 to Los Angeles Loop and Los Arboles Loop.
 3. Change the utility lines to reflect the
 proposed changes.
 4. Change the site boundary to reflect the
 proposed changes.
 5. Change the site area to reflect the
 proposed changes.
 6. Change the site area to reflect the
 proposed changes.
 7. Change the site area to reflect the
 proposed changes.
 8. Change the site area to reflect the
 proposed changes.
 9. Change the site area to reflect the
 proposed changes.
 10. Change the site area to reflect the
 proposed changes.



**ADVANCED
ENGINEERING
and CONSULTING, LLC**
 REGISTERED PROFESSIONAL ENGINEERS
 STATE OF NEW MEXICO
 LICENSE NO. 10000

PROJECT: VILLAS AT MENAUL
 AMENDMENT TO SITE PLAN FOR BUILDING PERMIT
 SHEET: 1 OF 1



3 SITE PLAN AMENDMENT AUGUST, 2007.

THE PURPOSE OF THIS AMENDMENT IS TO REFLECT AN INDEPENDENT AMENDMENT
 SECURED BY THE CONSTRUCTION ENGINEER UPON MODIFYING A PORTION OF THE
 PAVING FOR ROSS COTTAGE LANE, AS APPROVED BY MR. RUSSELL BRITO, MARCH
 20, 2007.

**THE VILLAS AT MENAUL
SITE PLAN AMENDMENTS (SP-BP)
AUGUST, 2007**



08/27/07
 AS SHOWN
 CASAPAL
 WEST M

THE VILLAS AT MENAUL
SITE PLAN AMENDMENTS (SP-BP)
AUGUST, 2007

4 SITE PLAN AMENDMENT AUGUST, 2007.

THE PURPOSE OF THIS AMENDMENT IS TO REPLACE THE LANDSCAPING PLAN SHEET
OF PREPARED BY THE HILLTOP LANDSCAPING WITH THOSE BY CONSENSUS
PLANNING INC., THE ASLA OF CONSTRUCTION. THE PLAN IS MODIFIED BY THE
ADDITION OF REAR UNIT PATIOS AND WALLS AND SOME REPLACEMENT PLANT
MATERIALS.

community
sciences
corporation

DATE: 08/21/07
AS SHOWN: N/A
CASH: N/A
MEET: N/A

ANTHONY J. ATENT
100-400 27
100-400 28
100-400 29
100-400 30
100-400 31
100-400 32
100-400 33
100-400 34
100-400 35
100-400 36
100-400 37
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100-400 41
100-400 42
100-400 43
100-400 44
100-400 45

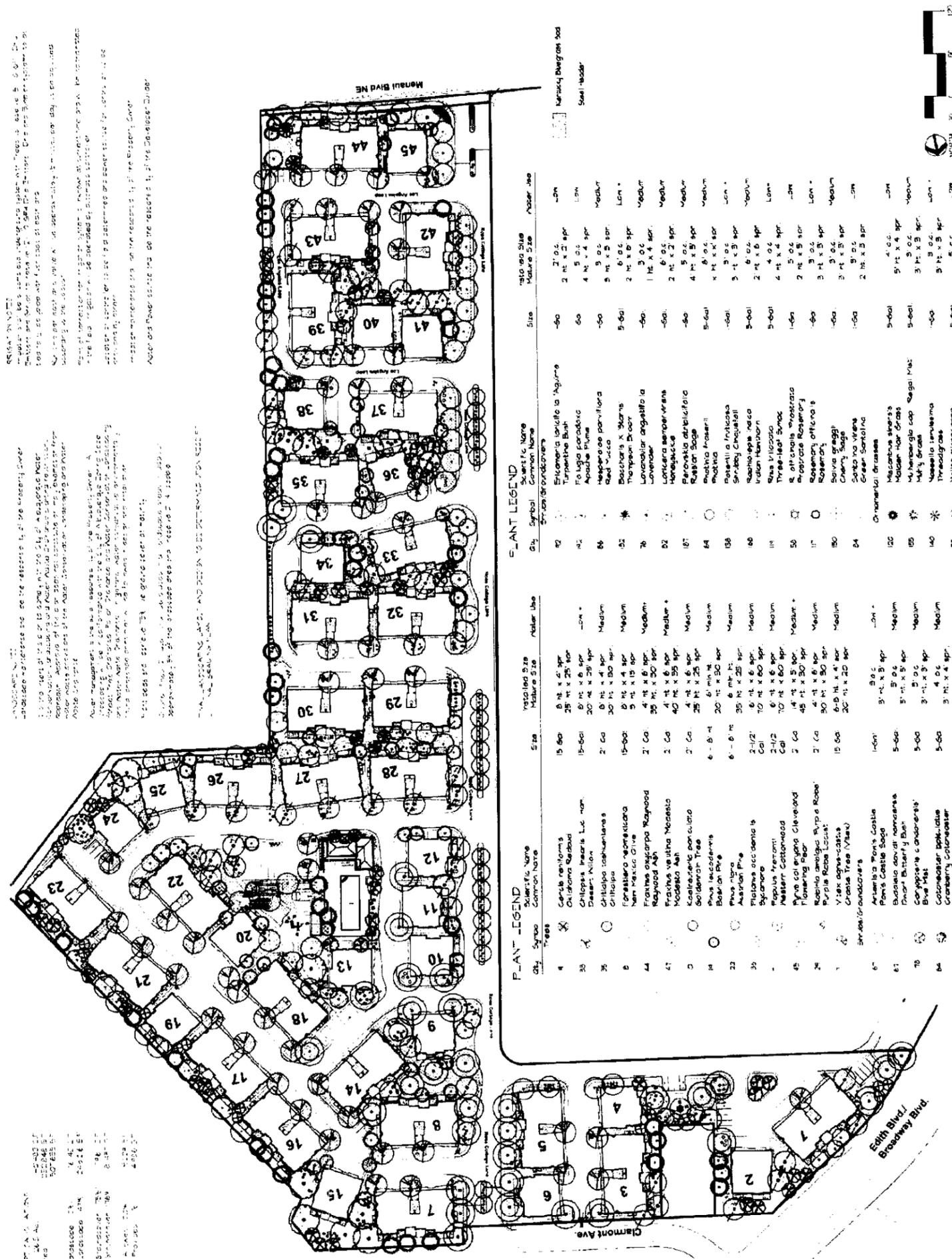
REVISION NOTES
1. Update site plan to reflect changes to the existing site plan.
2. Update site plan to reflect changes to the existing site plan.
3. Update site plan to reflect changes to the existing site plan.
4. Update site plan to reflect changes to the existing site plan.
5. Update site plan to reflect changes to the existing site plan.
6. Update site plan to reflect changes to the existing site plan.
7. Update site plan to reflect changes to the existing site plan.
8. Update site plan to reflect changes to the existing site plan.
9. Update site plan to reflect changes to the existing site plan.
10. Update site plan to reflect changes to the existing site plan.

CONSENSUS
Landscape Architecture
Urban Design
Planning, 548-6655
302 F-GH ST NW
Albuquerque, NM 87102
Phone (505) 764-9801
Fax (505) 842-3855

MENAU VILLAS

KR Homes New Mexico, Inc
6310 Riverside Plaza Lane NW
Albuquerque, NM 87120

Project No.	8/21/07
Scale	1/8" = 1'-0"
Sheet No.	1804-07
Project Name	LANDSCAPE PLAN
Sheet No.	L OF 3



PLANT LEGEND

Qty	Symbol	Scientific Name	Common Name	Water Use	Size	Installed Size	Mature Size
1	☒	Cercis canadensis	Redbud	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
2	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
3	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
4	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
5	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
6	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
7	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
8	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
9	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
10	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
11	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
12	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
13	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
14	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
15	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
16	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
17	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
18	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
19	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
20	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
21	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
22	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
23	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
24	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
25	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
26	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
27	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
28	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
29	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
30	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
31	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
32	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
33	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
34	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
35	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
36	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
37	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
38	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
39	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
40	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
41	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
42	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
43	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
44	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
45	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W

PLANT LEGEND

Qty	Symbol	Scientific Name	Common Name	Water Use	Size	Installed Size	Mature Size
1	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
2	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
3	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
4	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
5	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
6	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
7	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
8	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
9	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
10	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
11	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
12	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
13	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
14	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
15	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
16	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
17	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
18	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
19	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
20	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
21	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
22	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
23	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
24	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
25	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
26	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
27	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
28	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
29	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
30	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
31	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
32	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
33	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
34	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
35	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
36	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
37	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
38	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
39	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
40	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
41	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
42	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
43	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
44	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W
45	☒	Chilopsis saligna	Chilopsis	Medium	15-20'	15-20' H x 4-6' W	20-25' H x 6-8' W



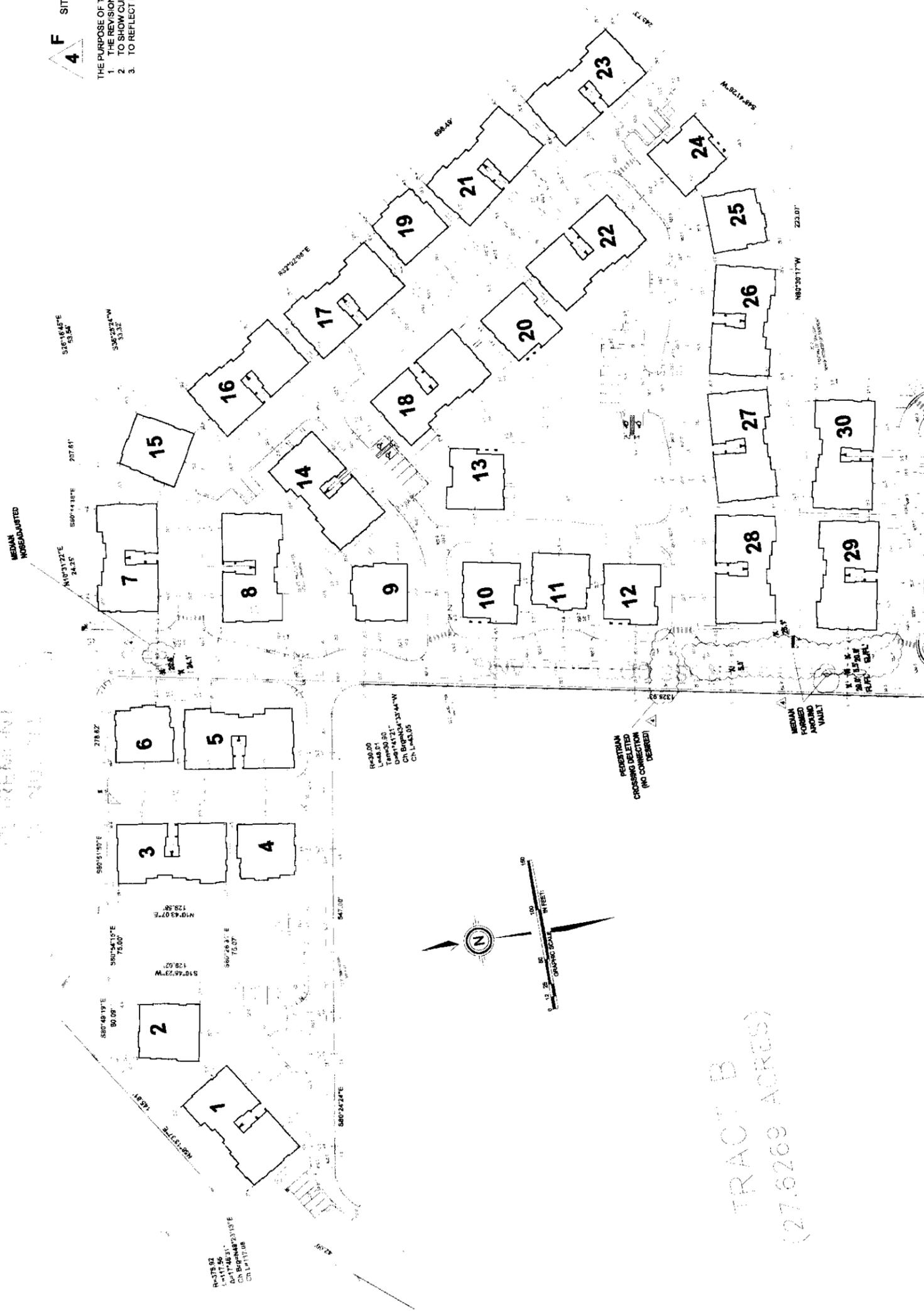


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4

SITE PLAN AMENDMENT AUGUST, 2007:

THE PURPOSE OF THIS AMENDMENT IS TO REFLECT GEOMETRIC CHANGES:

1. THE REVISIONS TO FULL PATIOS IN THE REAR OF THE UNITS
2. TO SHOW CURBING TAKEN FROM SURVEY AS-BUILTS; AND,
3. TO REFLECT FIELD REVISIONS TO CURBING AND DIMENSIONS WHERE SHOWN.



TRACT B
(27.6269 ACRES)

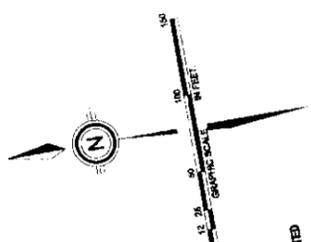
THE VILLAS AT MENAUL
SITE PLAN AMENDMENTS (SP-BP)
AUGUST, 2007

SEE SITE PLAN FOR SUBDIVISION AMENDMENT SHEET AMD19

DATE: 08/27/07
 AS SHOWN: []
 TITLE: []
 DRAWN BY: CASAMH
 CHECKED BY: []
 DESIGNED BY: []
 PROJECT NO: []
 SHEET NO: 1027 M

community sciences corporation





F
4 SITE PLAN AMENDMENT AUGUST, 2007:

THE PURPOSE OF THIS AMENDMENT IS TO REFLECT GEOMETRIC CHANGES
 1. THE REVISIONS TO FULL PATIOS IN THE REAR OF THE UNITS
 2. TO SHOW CURBING TAKEN FROM SURVEY AS BUILT, AND,
 3. TO REFLECT FIELD REVISIONS TO CURBING AND DIMENSIONS WHERE SHOWN

DATE: 08/27/07
 AS SHOWN: NA
 BY: CAS/MAH
 CHECKED: MZT/M

community sciences corporation

THE VILLAS AT MENAUL
 SITE PLAN AMENDMENTS (SP-BP)
 AUGUST, 2007

