

AA

APPLICATION NO. 05 AA 01020	PROJECT NO. 1004221
PROJECT NAME ACADEMY PLACE	
EPC APPLICATION NO.	
APPLICANT / AGENT BOB HALL	PHONE NO (505) 243-3499
ZONE ATLAS PAGE F21	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
ONE STOP COMMENT FORM LOG	

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED BAB	DATE 7/18/05	DATE
COMMENTS:		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED RH	DATE 6/29/05	DATE
COMMENTS:		

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED NSE	DATE 6/15/05	DATE
COMMENTS:		
DISAPPROVED UNDER PLAT ACTION HAS BEEN APPROVED TO REMOVE PROPERTY LINE		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

PLANNING (505) 924-3858		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED BP	DATE 7/29/05	DATE
COMMENTS:		
called agent 6/27/05. asked to bring in a copy of approved site plan.		
called 7/29/05 to handle only site plan to include entire site & provide site plan to incoming.		

Revised 3/3/04

(Return form with plat / site plan)

1/2

1952

The following is a list of the
 names of the persons who
 were present at the meeting
 held on the 1st day of
 January, 1952, at the
 residence of Mr. J. H.

in a copy of the report of the
 committee on the activities of
 the Communist Party, U.S.A.,
 in the State of New York,

City of Albuquerque



DEVELOPMENT PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ... for Subdivision Purposes
- ... for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

Supplemental form

S

V

P

L

Supplemental form

ZONING

- Annexation & Zone Establishment
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Zone Change
- Text Amendment

Z

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal

A

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: George Garza

ADDRESS: 224 Glenarm St.

CITY: San Antonio

Proprietary interest in site: _____

AGENT (if any): Isaac Benton & Associates

ADDRESS: 624 Tijeras Ave. NW

CITY: Albuquerque

STATE TX

ZIP 78201

PHONE: 210-733-1822

FAX: 210-736-4003

E-MAIL: ggarza@hcr-manorcare.com

STATE NM

ZIP 87102

PHONE: 505-243-3499

FAX: 505-243-3583

E-MAIL: Bhall@swcp.com

DESCRIPTION OF REQUEST:

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. D3

Block: 0000

Unit: _____

Subdiv. / Addn. Academy Place

Current Zoning: SU-1

Proposed zoning: _____

Zone Atlas page(s): F21

No. of existing lots: _____

No. of proposed lots: _____

Total area of site (acres): 1.0842

Density if applicable: dwellings per gross acre: _____

dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.)

Within 1000FT of a landfill? _____

UPC No. 102106148734810204

MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Juan Tabo

Between: Spain

and Osuna

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): DRB 96-133, Z-18-88, Z-79-77

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 6/1/04

SIGNATURE

(Print) Bob Hall

DATE 6/14/05

Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

05AA - 01020

Action

AA

S.F.

Fees

\$ 45.00

\$ _____

\$ _____

\$ _____

\$ _____

\$ _____

Total

\$ 45.00

Hearing date N/A

Sandy Sandley 06/14/05
Planner signature / date

Project # 1004221

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE**
 - Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
 - Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) **6** copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Solid Waste Management Department signature on Site Plan if relevant
 - 2 copies of the Conceptual Utility Layout Plan if relevant (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Copy of the LUCC approval if the site is in an historic overlay zone
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application

- AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION**
- AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY**
 - Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) **5** copies
 - Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) **5** copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application

NOTE: The next three items are also required only if the original approval required a public hearing.

- Notifying letter and certified mail receipts addressed to owners of any adjacent residential properties
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts (Not required if amendment changes less than 2% of square footage.)
- Sign Posting Agreement (Not required if amendment changes less than 2% of square footage.)

NOTE: Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in addition to **all** those listed above:

- Collocation evidence as described in *Zoning Code* §14-16-3-17(A)(5)
- Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
- Registered Engineer's stamp on the Site Development Plans
- Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**

PLEASE NOTE: If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Cynthia Borrego-Archuleta at 924-3335 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

[Signature] Paul Hall
 Applicant name (print)
6/19/05
 Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
05AA- -01020

[Signature] Sandy Handley 06/14/05
 Planner signature / date
Project # 1004221

ISAAC BENTON & ASSOCIATES
624 Tijeras Ave. N.W.
Albuquerque, New Mexico 87102
(505) 243-3499 FAX 243-3583
iba@swcp.com

DATE: June 14, 2005

TO: City of Albuquerque
Planning Department
600 2nd Street NW, Room 400
Albuquerque, New Mexico 87102

RE: Manor Care Parking Lot Project
5123 Juan Tabo Blvd. NE
Albuquerque, New Mexico

We would like to consolidate the 2 properties that belong to Manor Care by removing the Property line that divides them. The owner would like to construct a new parking lot for the existing facility. We are submitting for an Administrative Amendment as recommended by the DRB. (See attached)

Thank You,
Isaac Benton & Associates

**DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet**

DRB-1004221

Item No. 19

Zone Atlas F-21

DATE ON AGENDA 6-1-05

INFRASTRUCTURE REQUIRED (X)YES ()NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- (X) SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- () SITE PLAN FOR BUILDING PERMIT

<u>No.</u>	<u>Comment</u>
------------	----------------

- 1) Is the property going to be replatted? Why is a parking lot occupying the entire lot?
- 2) Parking calculations?
- 3) Does the south entrance exist? What queuing distance is required for this entrance?
- 4) The aisles, and stalls need to be dimensioned per DPM criteria.
- 5) Radii will need to be provided.
- 6) Is there a pedestrian path or sidewalk being provided from Juan Tabo?

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
June 1, 2005 DRB Comments**

ITEM # 19

PROJECT # 1004221

APPLICATION # 05-00879

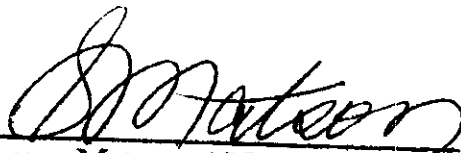
Re: Tract 3, Academy Place/sketch

Is the parking lot mentioned in the explanation letter existing now?

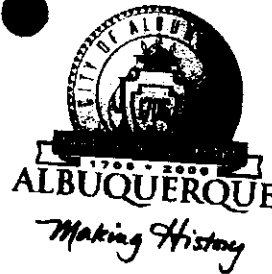
Normally, the required parking for commercial, institutional, retail, etc uses must be on the same lot as the use for which it is intended.

Recommended replat.

*AA needed to make 1 lot from
2 lots.*



Sheran Matson, AICP
924-3880 fax 924-3864
smatson@cabq.gov



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004221

AGENDA ITEM NO: 19

SUBJECT:

Sketch Plat/Plan

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage plan is required for Site Plan approval.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED *discussed* X; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: May 31, 2005



FRONT COUNTER ROUTING
FAX FORM

TO: Anna

FAX NUMBER: _____

SENT BY: Chase
Initial

DATE: 6/3/05

PROJECT NO: _____ APPLICATION NO: _____

Gallegos at 924-3991. Meeting notes:

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

City Of Albuquerque
Treasury Division

6/14/2005 4:00PM
RECEIPT# 00041651 WS# 008 TRASN# 0056
ACCOUNT 441006 Fund 0110
ACTIVITY 4971000 TRSCCS \$45.00
ITEMS AMT \$45.00
J2: MISC \$45.00
DK \$45.00
CHANGE \$45.00

APPLICANT NAME GEORGE GAREZ
AGENT ISAAC BENTON & ASSOC.
ADDRESS 624 TIJERAS AVE NW
PROJECT & APP # 1004221/05AA 010200
PROJECT NAME ACADEMY PL.

- \$ _____ 441032/3424000 Conflict Management Fee
- \$ _____ 441006/4983000 DRB Actions
- \$ 45.00 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ _____ 441018/4971000 Public Notification
- \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study

\$ 45.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

THIS DOCUMENT HAS A COLORED BACKGROUND AND MICROPRINTING. THE REVERSE SIDE INCLUDES AN ARTIFICIAL WATERMARK.

Isaac Benton & Associates
624 Tijeras Ave. NW
Albuquerque, NM 87102
505-243-3499

New Mexico Educators Federal Credit Union
P.O. Box 8530
Albuquerque, NM 87102
1-800-556-3178
95-8966 / 3070

5840

6/14/2005

PAY TO THE ORDER OF City of Albuquerque

\$45.00

Forty-Five and 00/100

City of Albuquerque


AUTHORIZED SIGNATURE

MEMO

⑆307083665⑆ 0018400815⑆ 5840

SCALE IN FEET



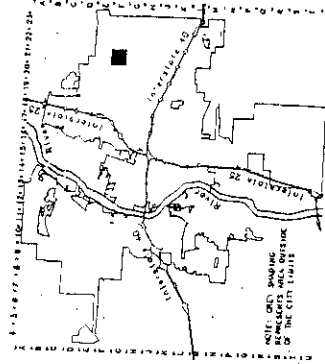
PHOTOCOPY - NOT TO SCALE



A **G** **I** **S**

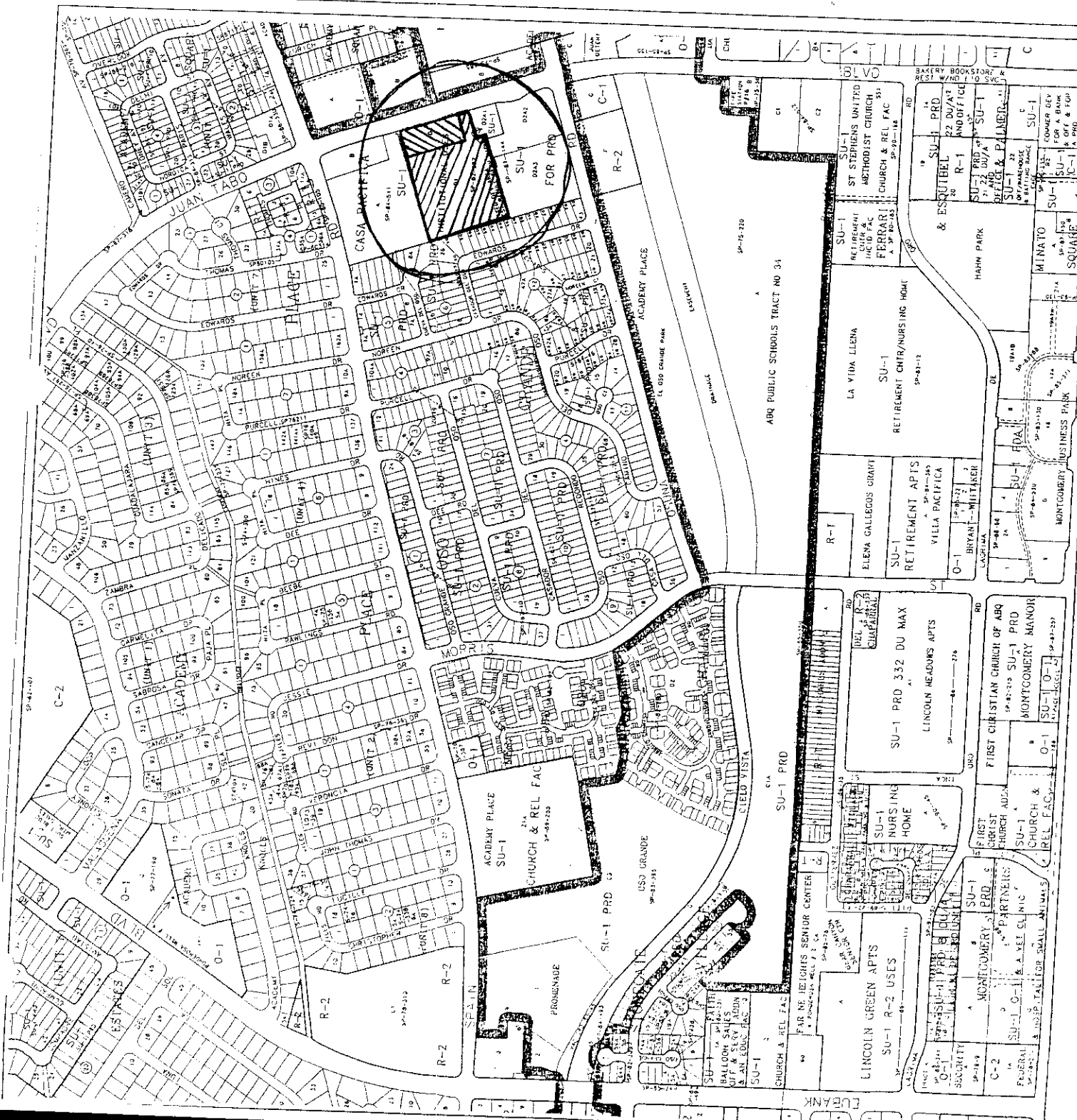
Planning Department

Map Amended through May 18, 1994



LEGAL DESCRIPTION
T11N
R4E
BEC 32
UNIFORM PROPERTY CODE
1.021-001

F-21-Z



City of Albuquerque
Planning Department
Planning Division
P.O. Box 1293, Albuquerque, New Mexico 87103

Date: February 19, 1988

Manor HealthCare Corporation
1515 East Division Street
Arlington, Texas 76011

NOTIFICATION OF DECISION

File: Z-79-77-2
Location: Tract 0-1, Academy Place Addition, zoned
SU-1 for Institutional Uses, located west of Juan Tabo
Boulevard, NE, between Spain and Osuna, zoned SU-1 for
Institutional Uses, and containing approximately 4.5
acres (F-21)

On February 18, 1988, the Environmental Planning Commission voted to approve Z-79-77-2, a site development plan amendment, based on the following Findings and subject to the following Conditions:

Findings:

1. The proposed building addition is compatible with the existing development, and will not create undesirable off-site impacts.
2. The plan as submitted is acceptable, with minor clarifications to proposed colors, materials, and signage.

Conditions:

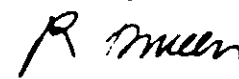
1. The building elevations must specify colors and materials as tan stucco with dark brown accents, to match the existing building.
2. A note must be added to the plan stating that the existing approved sign is to remain, and the location shall be noted on the plan.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY MARCH 4, 1988, IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Any person aggrieved with any determination of the Environmental Planning Commission acting under this ordinance may file an appeal to the City Council by submitting written application on the Planning Division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 60 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,


Phil Garcia
City Planner

PG/RDC/vb
(393)

cc: Jay Boynton, Graves Boynton, Williams & Assoc, 900 36th Avenue NW, Suite 100, Norman Oklahoma 73072

HCR-Manorcare, Inc.
333 N. Summit St.
Toledo, OH 43604-2617
(419)252-5500

May 23, 2005

City of Albuquerque
Planning Department
600 2ed Street NW, Room 400
Albuquerque, New Mexico 87102

RE: ManorCare Parking Lot Project
5123 Juan Tabo Blvd NE
Albuquerque, New Mexico
Site Sketch Plan Review

Dear City Planner:

This letter is written on behalf of Isaac Benton & Associates who is under contract to represent HCR ManorCare for the submittal of our proposed parking lot for DRB review. Isaac Benton & Associates has the authority to act on the owner's behalf during the DRB review process for our project.

Please contact me should you have any further questions at 210-269-3794 or by email at ggarza@hcr-manorcare.com.

Sincerely,



George Garza

HCR Manorcare
Manager of Plant Operations
Mid-States Division

ISAAC
BENTON &
ASSOCIATES AIA

June 28, 2005

City of Albuquerque
Planning Department
600 2nd Street NW, Room 400
Albuquerque, New Mexico 87102

ATTN: Sheran Matson
Planning Manager

RE: Manor Care – Site Plan
Parking Lot project / Property line removal

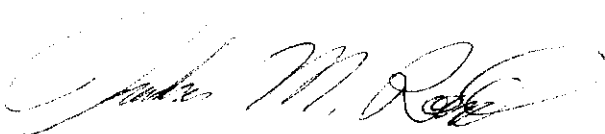
Dear Ms. Matson:

Per our meeting on June 28, 2005 at 10:30 am, this letter is to inform the City that the Approved Site Plan required for our Administrative Amendment submittal is nonexistent. Following an extensive search, we discovered the previous project was approved but not signed off by the Planning Department. There are no record drawings to be found in EPC either. Minutes from the DRB hearing are attached.

We will therefore be unable to provide the drawing required. As we discussed, the drawing submitted will serve as the site drawing.

Please call should you have any further questions we can assist with.

Sincerely,



Jordan Romero

2. EPC conditions No. 1 and 3 need to be met.
3. An approved Conceptual Grading and Drainage Plan is required for Site Development Plan sign-off.
4. Site Development Plan EPC final sign-off: .Remainder of site should be noted "Future Development." Street trees on Osuna must be 2" calc.
5. The above request was indefinitely deferred to comply with comments.

22. DRB-96-145 George Rainhart Architects and Associates, agents for G. Blake Chanslor, request Site Development Plan Approval for Lot 3, Riverview Subdivision, zoned SU-1 FOR C-1 (City) and located on the southwest corner of Paseo Del Norte NW and Golf Course Rd NW containing approximately 0.942 acres. [Z-88-50] (C-12) [DEFERRED FROM 3/19/96]

1. A water and Sanitary sewer availability statement is pending for the proposed development.
2. An infrastructure list, based on the statement, is required for preliminary plat approval.
3. An approved Conceptual Grading and Drainage Plan is required for Site Development Plan sign-off.
4. Remove the statement about the location/type of the sign being verified by field rep. Sign location is approved as shown and materials/colors must be listed on this plan. So how many price signs on canopy proposed?
5. Sign area on east/north elevation must be sized.
6. Commission is misspelled in signature block.
7. Landscape plan needs plant list/sizes and #s added.
8. The above request was deferred to comply with comments to March 26, 1996.

23. DRB-96-133 Mark Allard, agent for Four Seasons Nursing Centers Inc., request Site Development Plan Final Sign Off for Tract D-1 Academy Place Addition zoned SU- (City) and located on Juan Tabo NE between Spain NE and Osuna NE containing approximately 4.56 acres. [Z-79-77-2] (F-21)

1. As required--the building elevations sheet must specify the color/materials as tan stucco with dark brown accents (match existing building).
2. Make sure a note is added that states that the existing sign is to remain--location must be noted on the plan.
3. The Site Development Plan was approved and final sign off was delegated to Planning.