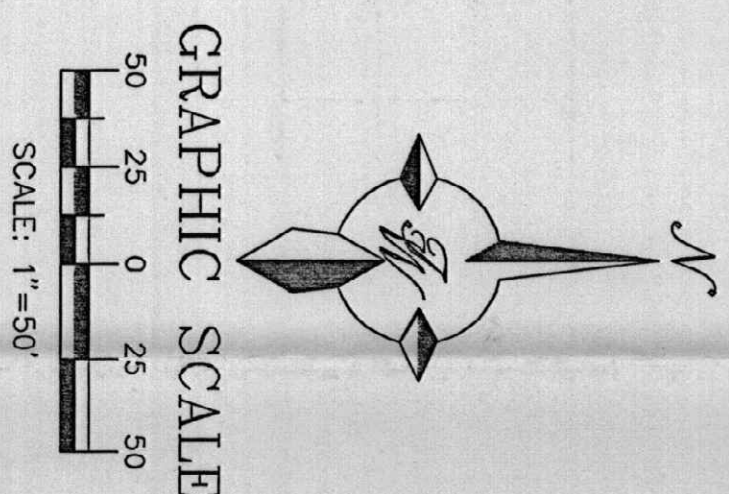
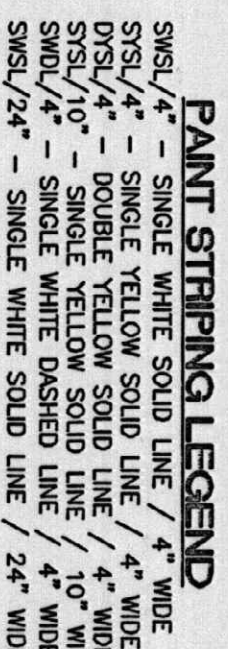
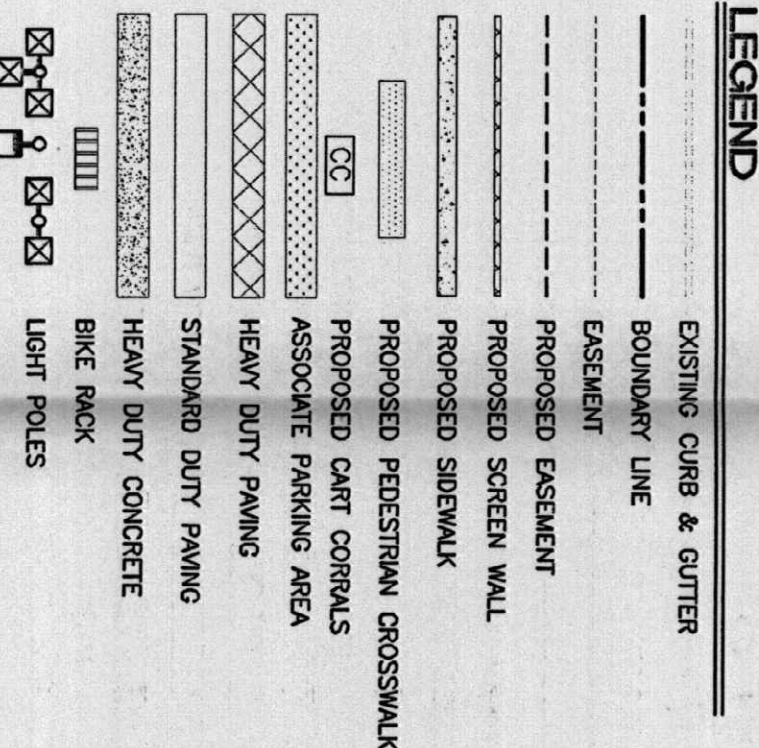
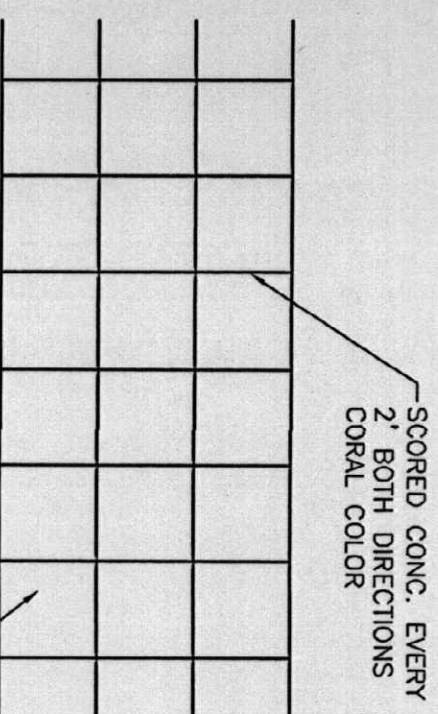
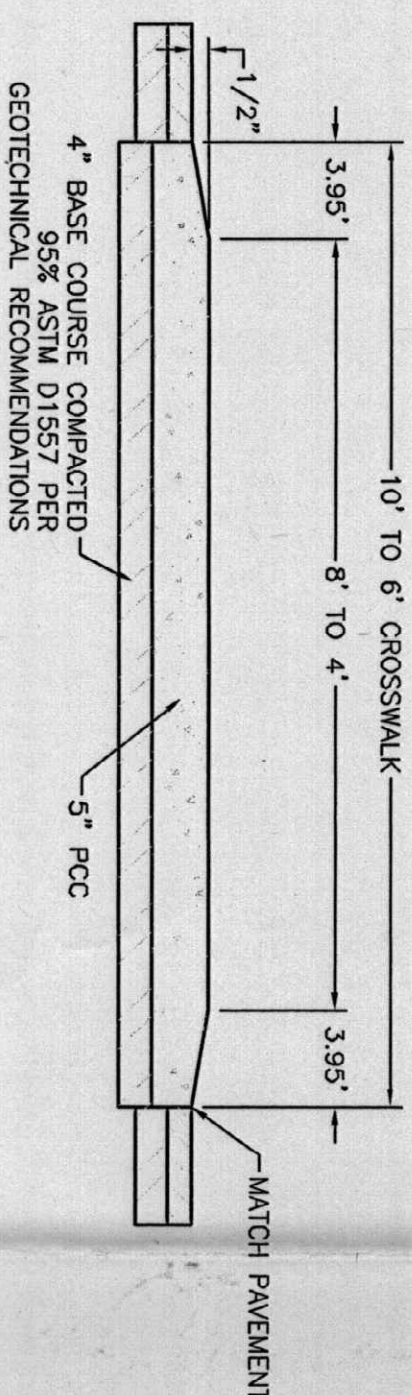
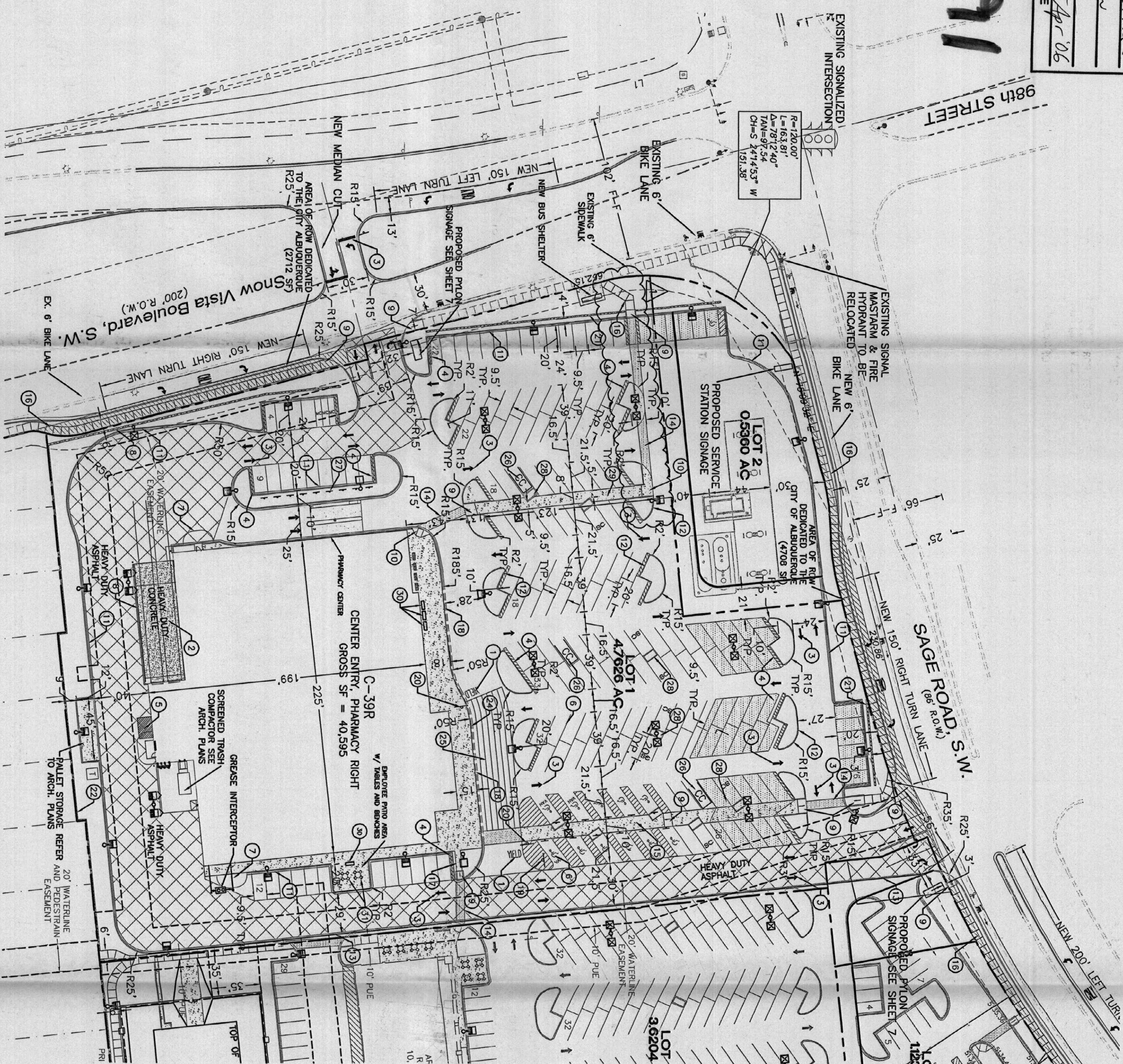


1003991



- 1 "YELLOW" PAINTED YELLOW ON SIDEWALK TYPICAL.
- 2 PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- 3 PAINTED DIRECTIONAL ARROW TYPICAL.
- 4 "LOADING ZONE" AT ALL CARGO PAVING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PAVING SPACE TYPICAL.
- 5 10' X 15' STRIPED AREA, PAINTED STRS/4" AT 45° @ 2'-0" O.C. AT JOB CRANE LOCATION. SEE ARCH. PLANS
- 6 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL. ("VAN"-INDICATES VAN ACCESSIBLE SPACE).
- 7 RAISED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0K MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
- 8 RETAINING / SCREEN SPILT-FACE TAN CMU WALL
- 9 UNIDIRECTIONAL HC RAMP.
- 10 PROPOSED HC RAMP.
- 11 6" CONCRETE CURB AND GUTTER TYPICAL.
- 12 6" CONCRETE HEADER CURB TYPICAL.
- 13 6" TEMPORARY ASPHALT CURB TYPICAL.
- 14 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. (SHT 8)
- 15 10' WIDE RAISED CONCRETE SIDEWALK TYPICAL.
- 16 6" CONCRETE SIDEWALK TYPICAL.
- 17 4" CONCRETE SIDEWALK TYPICAL.
- 18 PAINTED 6" RED STRIPE W./ 4" WHITE LETTERS "NO PARKING FIRE ZONE"
- 19 "STOP" SIGN. SEE PLAN FOR LOCATION.
- 20 PEDESTRIAN CROSSING SIGN W/IN-2 AND W/IN-2B TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- 21 3' HIGH SCREEN SPILT-FACE TAN CMU WALL.
- 22 6' HIGH SCREEN SPILT-FACE TAN CMU WALL.
- 23 (4) 5 SPACE BIKE RACK TYPICAL.
- 24 ZERO CURB PER ARCH. SECTIONS
- 25 PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO CURB @ 2'-0" O.C. UNLESS NOTED OTHERWISE.
SEE SITE PLAN FOR WIDTH.
- 26 CURB CORNERS TYPICAL.
- 27 PHARMACY PARKING ONLY SIGN TYPICAL
- 28 TREE PLANTER TYPICAL.
- 29 8" WIDE RAISED CONCRETE SIDEWALK.
- 30 BENCH 6" WIDE BY 15" HIGH.
- 31 PAID CHAIRS 24" WIDE BY 15" HIGH.



LEGAL DESCRIPTION	SITE DATA	ZONING:
Parcel "A-1" and Remaining Westerly Portion of Parcel "A", Town of Atisco Grant, Unit 7		SU-1 FOR C-1 PERMISSIVE

NOZONING:	SU-1 - FOR C-1 PERMISSIVE USES WITH DRIVE-THRU
LOT AREA:	PHARMACY
NEW WAL-MART TRACT	4.55 AC
LEASE LOT	0.54 AC
TOTAL:	5.09± AC.
BUILDING AREA:	
EXISTING MARKET:	36,690 SF
LEASE LOT:	201 SF
PARKING PROVIDED:	
NEIGHBORHOOD MARKET:	190 SPACES
SMALL CAR	6 SPACES
LEASE LOT:	5 SPACES
PARKING REQUIRED:	
NEIGHBORHOOD MARKET:	174 SPACES
LEASE LOT:	1 SPACE
HC PARKING PROVIDED:	
NEIGHBORHOOD MARKET:	11 SPACES
LEASE LOT:	1 SPACE
HC PARKING REQUIRED:	
NEIGHBORHOOD MARKET:	8 SPACES (3 VAN)
LEASE LOT:	1 SPACE
BIKE SPACES PROVIDED:	
BIKE SPACES REQUIRED:	20 SPACES
MOTORCYCLE SPACES:	3 SPACES
LANDSCAPING REQUIRED:	
LANDSCAPING PROVIDED:	27,304 SF
	27,931 SF
TOTAL AREA OF ROW DEDICATION =	7,420 SF

3: (ONLY APPLY TO LOTS 1-4)

1. COMBUSTIBLE STOCKS, GRAIN, PEDESTRIAN, CROSS PARKING, AND VEHICULAR ACCESS TO THE REAR OF NEW TRACTS IS GRANTED BY THIS SITE PLAN, AND WILL BE GRANTED ON THE SAME BASIS AS THE EXISTING TRACT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPE AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE DEVELOPER.
3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. LIGHT POLES SHALL BE A MAXIMUM OF 25 FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FLUORE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITH 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
6. THERE SHALL BE NO PAQUET, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
7. NO FREESTANDING SELL TOWERS OR ANTENNA SHALL BE PERMITTED, ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
8. SETBACKS: THERE SHALL BE A FRONT OR CORNER SIDE SETBACK OF NOT LESS THAN 10 FEET. THERE SHALL BE A REAR SETBACK OF NOT LESS THAN 10 FEET. THERE SHALL BE A REAR SETBACK OF NOT LESS THAN 10 FEET. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN FIVE FEET WHERE THE SITE ADJUTS THE SIDE OF A LOT IS A RESIDENTIAL ZONE. THERE SHALL BE A REAR SETBACK OF NOT LESS THAN FIVE FEET WHERE THE SITE ADJUTS THE REAR OF A LOT. THERE SHALL BE A REAR SETBACK OF NOT LESS THAN FIVE FEET WHERE THE SITE ADJUTS THE REAR OF A LOT.
9. BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE C-1 ZONE OF THE COMPREHENSIVE CITY ZONING CODE.
10. BUS ROUTE 54 RUNS DOWN 98TH AND PAST THE SITE.
11. THERE SHALL BE NO STORAGE OF ANY TYPE IN THE GAS CANOPY. ALL UNDER CANNOPY LIGHTS MUST BE FULLY RECESSED SO THAT NO LIGHT IS EMISSIONS FROM THE SURFACE OF THE UNDERSIDE CANOPY. SITE LIGHTING MUST MEET NIGHT SKY ORDINANCE.
12. FUTURE LEASE LOT TO BE KEPT FREE OF JOB TRAILERS OF STORAGE BY CONTRACTOR

NO.	DATE	REVISIONS	BY
<p>ENGINEER'S SEAL</p> <p>WAL-MART NEIGHBORHOOD CENTER NM: 3385</p> <p>ADMINISTRATIVE ADJUDICAMENT SITE PLAN FOR BUILDING PERMIT</p>			
		<p>TERRA WEST, LLC</p> <p>8500 JEFFERSON NE ALBUQUERQUE, NM 87113 (505)858-3100</p>	
DATE	BY	DATE	BY
04-23-06	DAWN BY CLM	M-2 Site Plan-1055.4sq	
SHEET #		JOB #	
1		25020	