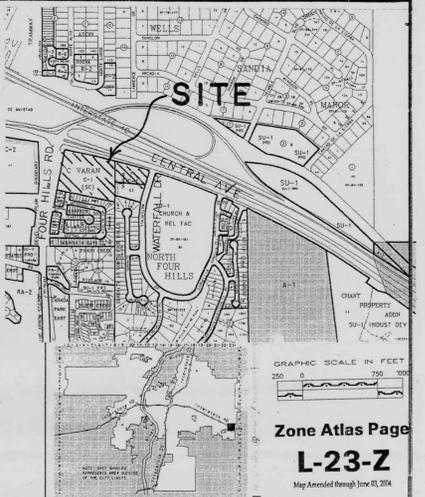


- NOTES:**
- A. EXISTING STANDARD CURB AND GUTTER
 - B. EXISTING ASPHALT SURFACED STREET
 - C. EXISTING MEDIAN CURB
 - D. EXISTING WHEELCHAIR RAMP
 - E. EXISTING PORTLAND CEMENT SIDEWALK
 - F. EXISTING ASPHALT SURFACED BICYCLE PATH
 - G. EXISTING ROLLOVER CURB
 - H. EXISTING STORM DRAIN INLET
 - I. EXISTING SUBSURFACE STORM DRAIN PIPE
 - J. EXISTING PORTLAND CEMENT CONCRETE LINED STORM DRAIN CHANNEL
 - K. EXISTING SWALE
 - L. EXISTING STORM DRAIN MANHOLE
 - M. EXISTING ELECTRIC POWER POLE, (WOOD)
 - N. EXISTING POLE ANCHOR
 - O. EXISTING STREET LIGHT POLE
 - P. EXISTING STREET LIGHT JUNCTION BOX
 - Q. EXISTING UNDERGROUND POWER CABLES
 - R. EXISTING TRAFFIC LIGHT POLE
 - S. EXISTING TRAFFIC LIGHT CONTROL BOX
 - T. EXISTING COMMUNICATIONS CONTROL BOX
 - U. EXISTING COMMUNICATIONS PEDESTAL
 - V. EXISTING UNDERGROUND COMMUNICATIONS CABLES
 - W. EXISTING UNDERGROUND GAS LINES
 - X. EXISTING GAS LINE CONTROL
 - Y. EXISTING SANITARY SEWER MAINS
 - Z. EXISTING SANITARY SEWER MANHOLE
 - AA. EXISTING WATER MAIN
 - AB. EXISTING GATE VALVE
 - AC. EXISTING FIRE HYDRANT
 - BA. NEW STANDARD CURB AND GUTTER
 - BB. NEW ROLLOVER CURB AND GUTTER
 - BC. NEW TRANSITION STANDARD TO ROLLOVER CURB
 - BD. NEW WHEELCHAIR RAMP
 - BE. NEW VALLEY GUTTER
 - BF. NEW DRIVEPAD
 - BF. NEW PORTLAND CEMENT SIDEWALK
 - BG. NEW ASPHALT SURFACED STREET
 - BH. NEW STORM DRAIN INLET
 - BI. NEW STORM DRAIN PIPE
 - BJ. NEW CMU BLOCK OR CAST PORTLAND CEMENT CONCRETE WALL. ALL WALLS WITH MORE THAN 18" DIFFERENCE IN ELEVATION BETWEEN THE SURFACES ON EITHER SIDE OF THE WALL WILL BE CONSTRUCTED AS ENGINEER DESIGNED RETAINING WALLS. GENERAL RETAINING WALL LOCATIONS ARE SHOWN ON THIS DRAWING. ADDITIONAL RETAINING WALLS MAY BE REQUIRED. WALL DESIGNS MUST BE CERTIFIED FOR THE SPECIFIC SOIL AT THAT LOCATION. SOIL CHARACTERISTIC MAY VARY THROUGHOUT THE SUBDIVISION. A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE RETAINING WALLS.

ADDITIONAL NOTES ON FOLLOWING PAGES



BENCHMARK IS ACS MONUMENT 8-L22. ELEVATION: 5665.44. (VERTICAL DATUM 1929). STATION IS LOCATED AT THE INTERSECTION OF CENTRAL AVENUE AND TRAMWAY BOULEVARD, ON THE WEST END OF THE EAST MEDIAN ON CENTRAL AVENUE. A TEMPORARY BENCHMARK IS A CROSS MARKED ON THE TRAFFIC ISLAND AT THE SOUTHWEST CORNER OF THE INTERSECTION OF CENTRAL AVENUE AND FOUR HILLS ROAD. ELEVATION: 5682.63



50 30 10 0 50
20 25
SCALE: 1" = 40'
PROJECT NO. 0403PB16
DRAWN BY PGB
ZONE ATLAS: L-23-Z
.CR5

REVISION ELEV. 36-51
GRADING DETAILS ADDED MRK JUNE 30, 2004
PRELIMINARY MRK JUNE 17, 2004
APPROVALS REVISIONS BY DATE

MARVIN R. KORTUM
NEW MEXICO
6519
REGISTERED PROFESSIONAL ENGINEER

MARVIN R. KORTUM, P.E.
Civil Engineering
NM PE 6519
1605 Speakman Drive, S.E.
Albuquerque, New Mexico 87123
(505) 299-0774

COVERED WAGON SUBDIVISION
GRADING AND DRAINAGE PLAN
SITE LAYOUT

HYDROLOGY PROJECT NO. MAP NO. SHEET OF
L-23 1 6

WORK ORDER PROJECT NO. SHEET OF

PLAT OF
COVERED WAGON SUBDIVISION
SECTION 26, T. 10 N., R. 4 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2004
SHEET 1 OF 2

LEGAL DESCRIPTION
A certain tract of unplatted land situated within the Southwest quarter (SW/4) of the Northwest quarter (NW/4) of Section 26, Township 10 North, Range 4 East, N.M.P.M. Bernalillo County, New Mexico TOGETHER WITH Tract lettered E-1 NORTH FOUR HILLS SUBDIVISION, as the same is shown and designated on said plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on March 19, 1990 in Volume 90C, Folio 78 and being more particularly described as follows:
BEGINNING at the Northwest corner of said tract, being the point of intersection of the Southerly right-of-way of New Mexico State Highway 333 (I-40 Frontage Road) and the East right-of-way of Four Hills Road S.E. whence the ACS Control Station 8-L22 bears N 69° 44' 29" W, 810.45 feet distant; thence from said point of beginning running along the South right-of-way of New Mexico State Highway 333 along a curve to the right having a central angle of 6° 31' 45" with a radius of 7465.00 feet, a distance of 850.67 feet (chord bearing S 77° 14' 33" E, 850.21 feet) to a point of compound curvature to the right having a central angle of 90° 46' 43", with a radius of 25.00 feet, a distance of 39.61 feet (chord bearing S 28° 35' 19" E, 35.59 feet) to the intersection of the right-of-way of Waterfall Drive S.E., thence S 16° 48' 02" W, along said West right-of-way 134.06 feet; thence leaving said right-of-way N 82° 55' 21" W, 304.04 feet; thence S 0° 00' 10" W, 204.82 feet to the Southeast corner, thence N 78° 19' 12" W, 594.19 feet to the Southeast corner, being a point on the East right-of-way of Four Hills Road S.E.; thence N 10° 55' 19" E, along said East right-of-way 401.88 feet to the point of beginning and containing 6.5508 acres, more or less.

FREE CONSENT
THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT, SAID OWNER WARRANTS THAT THE(S) HOLDS COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED, DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

OWNER(S) SIGNATURE _____ DATE _____
OWNER(S) PRINT NAME _____ TRACT _____
ADDRESS _____
ACKNOWLEDGMENT
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2004
BY _____
MY COMMISSION EXPIRES: _____
NOTARY PUBLIC

PUBLIC UTILITY EASEMENTS
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES OF SAID EASEMENTS, NO BUILDING SIGN, POLE (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO, WITHIN, OR NEAR EASEMENTS SHOWN ON THIS PLAT.

PNM ELECTRIC AND GAS SERVICES EASEMENT RELEASE APPROVAL
PNM Electric and Gas Services does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, report or document) shown to be vacated on this plat.
PNM ELECTRIC AND GAS SERVICES
By: _____
STATE OF NEW MEXICO
COUNTY OF BERNALILLO)
The foregoing instrument was acknowledged before me this day of _____, 2004.
My commission expires: _____
Notary Public

DISCLOSURE STATEMENT
THE PURPOSE OF THIS PLAT IS TO DIVIDE TWO (2) EXISTING TRACTS INTO FIFTY-THREE (53) NEW LOTS, TO DEDICATE PUBLIC STREET RIGHTS-OF-WAY, TO GRANT ADDITIONAL EASEMENTS AND TO VACATE A P.U.E. AND PRIVATE DRAINAGE EASEMENTS AS SHOWN HEREON.

CITY APPROVALS: PROJECT NO.: 1002176 APPLICATION NO. _____

CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING _____ DATE _____

PARKS & RECREATION DEPARTMENT _____ DATE _____

UTILITIES DEVELOPMENT _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

UTILITY APPROVALS
P.N.M. GAS SERVICES/P.N.M. ELECTRIC SERVICES _____ DATE _____

QWEST TELECOMMUNICATIONS _____ DATE _____

COMCAST CABLE _____ DATE _____

SURVEYOR'S CERTIFICATION

I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Gary E. Gritsko
New Mexico Professional Surveyor, 8686

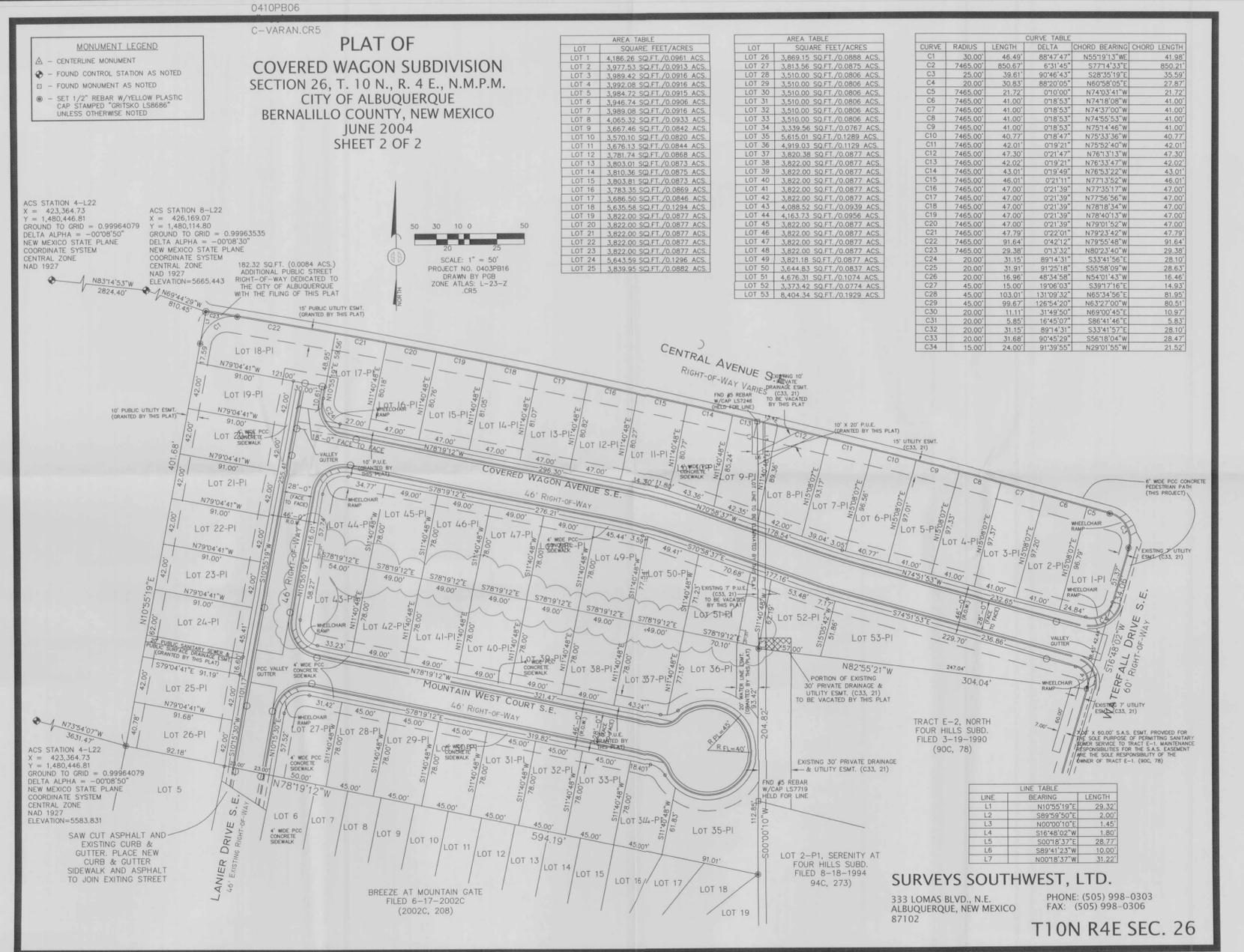
SURVEYS SOUTHWEST LTD.
333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 998-0303
FAX: (505) 998-0306

T10N R4E SEC. 26

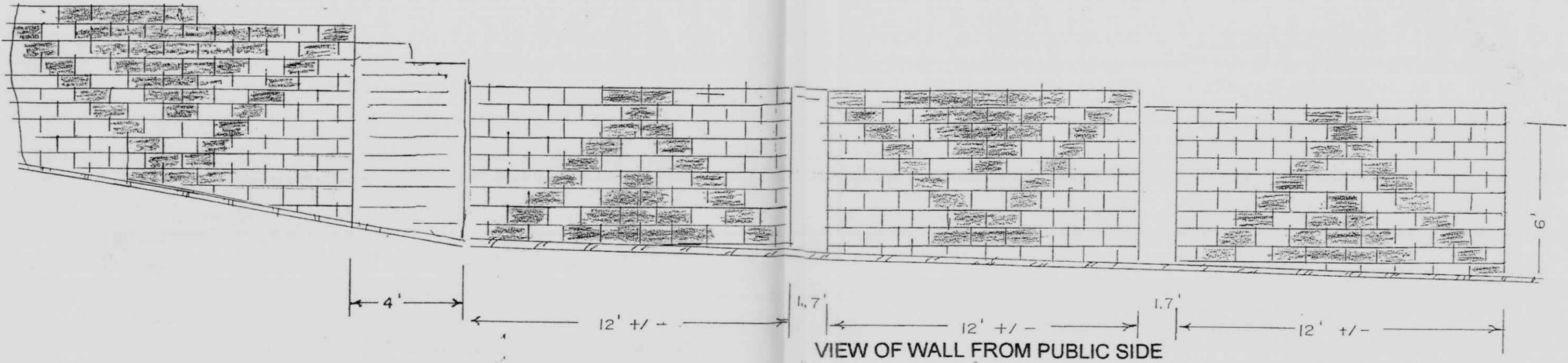
Vicinity Map

- SUBDIVISION DATA / NOTES
1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
 2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 4-L22 AND 8-L22, AS SHOWN HEREON.
 3. DISTANCES ARE GROUND DISTANCES.
 4. PLAT SHOWS ALL EASEMENTS OF RECORD.
 5. GROSS AREA: 6.5508 ACRES.
 6. NUMBER OF EXISTING TRACTS: 2
 7. NUMBER OF LOTS CREATED: 53
 8. 0.2778 MILES OF STREET RIGHT-OF-WAY CREATED BY THIS PLAT.
 9. PROPERTY IS ZONED SU-1 SINGLE FAMILY RESIDENTIAL.

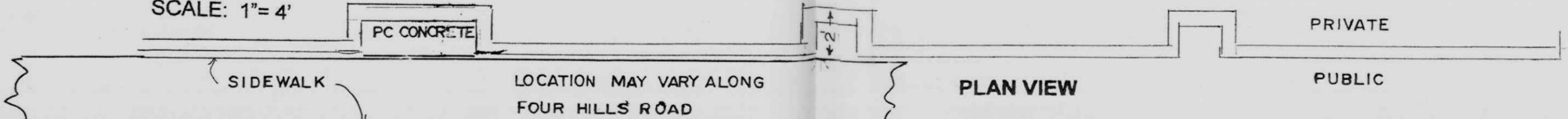
THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
UPC#:
PROPERTY OWNER OF RECORD:
BERNALILLO COUNTY TREASURER'S OFFICE:



City Project No. 750781
Zone Map No. L-23
SHEET 2 OF 24



SCALE: 1" = 4'



NOTES:

- A. WALL SHALL BE CONSTRUCTED OF CORAL COLORED CONCRETE MASONRY UNIT BLOCKS OF STANDARD SIZE (FACE DIMENSIONS NOMINAL 8" BY 16", WITH 8" BY 8" BLOCKS AT PILASTERS).
- B. WALL TOP SHALL BE SOLID BLOCKS OF THE SAME COLOR AS THE WALL BLOCKS.
- C. THE DESIGN INDICATED ON THE DRAWING SHALL BE SPLIT FACE BLOCKS OF THE SAME COLOR AS THE SMOOTH FACED BLOCKS WHICH ARE THE BASE BLOCK FOR THE WALL.
- D. INSETS SHALL BE SET AT 12 FEET INTERVALS, WITH A VARIATION IN LENGTH OF TWO BLOCK LENGTHS (32") LONGER OR SHORTER TO ACCOMMODATE ENDS AND CORNERS OF THE WALL. INSET BLOCKS SHALL BE OF THE SAME COLOR AS THE WALL BLOCKS. WIDTH OF INSETS SHALL VARY FROM 1' 8" TO ABOUT 4 FEET EVERY THIRD SETTING.
- E. THE NON-RETAINING WALLS MAY BE CONSTRUCTED OF 6" THICK BLOCKS. RETAINING WALLS WHERE REQUIRED MAY REQUIRE 8" OR LARGER BLOCKS, WITH PORTLAND CEMENT CONCRETE FILL AND REINFORCEMENT.
- F. THE WALLS SHALL BE SET ON A 16" WIDE BY 8" THICK 2500 PSI CONCRETE FOOTER UNLESS OTHERWISE SPECIFIED DUE TO SOIL CONDITIONS.
- G. BLOCKS SHALL BE PLACED HORIZONTALLY WITH 8" STEPS TO HAVE A FINISHED WALL TOP ELEVATION OF 6 FEET OR LESS ABOVE THE FINISHED ELEVATION OF THE SOIL SURFACE ALONG THE EXTERIOR OF THE WALL. WALL HEIGHT MAY VARY FROM 8" ABOVE TO 16" BELOW THE TARGET 6 FEET HIGH WALL TO AVOID TOP OF WALL STEPS CLOSER THAN 4 FEET.
- H. ALL BLOCKS SHALL BE SET IN MORTAR THAT IS THE SAME COLOR AS THE BLOCKS.

Perimeter Wall Approved

Watson

DRB Chair

7/27/04

Date

COVERED WAGON SUBDIVISION

PERIMETER WALL DESIGN:
FOR WALLS FACING FOUR HILLS ROAD SE,
CENTRAL AVENUE, AND WATERFALL DRIVE SE

ZONE ATLAS PAGE: L-23

**SUBDIVISION LOCATION: SOUTH SIDE OF CENTRAL AVENUE,
BETWEEN FOUR HILLS ROAD AND WATERFALL DRIVE.**

DEVELOPMENT REVIEW BOARD PROJECT NUMBER: 1002176

JULY 26, 2004

SHEET # 1 OF 2