



SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: BILL WADE, MOUNTAIN WEST DEVELOPMENT PHONE: 899-8849
 ADDRESS: PO BX 66449 FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87193 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: MARI MAC PART.
 AGENT (if any): _____ PHONE: _____
 ADDRESS: SAME FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST: 9 FT. RETAINING WALL NECESSARY FOR PROPOSED SITE ELEVATION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. PROJECT # 1002176 Block: _____ Unit: _____
 Subdiv. / Adn. COVERED WAGON
 Current Zoning: SU-1 RESIDENTIAL Proposed zoning: SAME
 Zone Atlas page(s): L-23-Z No. of existing lots: _____ No. of proposed lots: 53
 Total area of site (acres): 6.5508 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____
 UPC No. _____ MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: NM STATE HWY 333 (I-40 FRONTAGE RD)
 Between: FOUR HILLS BLVD. and WATERFALL DR. SE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team . Date of review: _____

SIGNATURE BILL WADE DATE _____
 (Print) _____ Applicant _____ Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>05 AA - 00393</u>	<u>AA</u>	<u>PL4</u>	<u>\$ 45.00</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 45.00</u>

Hearing date AA

3-8-05
 Planner signature / date

Project # 1002176

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE

- Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
- Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Solid Waste Management Department signature on Site Plan if relevant
- Blue-line copy of Site Plan with Fire Marshal's stamp
- Copy of the LUCC approval if the site is in an historic overlay zone
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION
 AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY

NOTE: The requirements specified below apply to the previous 3 plan types, unless otherwise noted.

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) 5 copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) 1 copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Notice of Decision (not required for WTF)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area

- Notifying letter & certified mail receipts addressed to owners of adjacent properties
- Office of Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

NOTE: Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in-addition to all those listed above:

- Co-location evidence as described in *Zoning Code* §14-16-3-17(A)(5)
- Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
- Registered Engineer's stamp on the Site Development Plans
- Office of Community & Neighborhood Coordination inquiry response as above based on ¼ mile radius

PLEASE NOTE: If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Debbie Stover at 924-3940 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Bill Wade 3/7/05
 Applicant name (print)
BILLWADE
 Applicant signature / date



Form revised June 04, October 2004

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
05DRB 00393

Bill Wade 3-8-05
 Planner signature / date
Project # 1002176

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME MOUNTAIN WEST
AGENT Same
ADDRESS _____
PROJECT & APP # 1002176/05AA 00393
PROJECT NAME _____

\$ _____ 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ 45⁰⁰ 441006/4971000 EPC/AALUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 45⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

3/8/2005 11:36AM LOC: ANNX
RECEIPT# 00037692 WSN 008 TRANSH 0039
Account 441006 Fund 0110
Activity 4971000 TRSDMM
Trans Act \$45.00
J24 Misc \$45.00
CK \$45.00
CHANGE \$0.00

Thank You

AA

APPLICATION NO. 05AA00393	PROJECT NO. 1002176
PROJECT NAME Covered wagon	
EPC APPLICATION NO.	
APPLICANT / AGENT Bill Wade	PHONE NO. 899-8849
ZONE ATLAS PAGE L-23	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR) (AA)	
ONE STOP COMMENT FORM LOG	

HYDROLOGY DEV (505) 924-3986			
PLANS DISAPPROVED	DATE	DATE	DATE
PLANS APPROVED <i>BLB</i>	DATE <i>3/10/05</i>		
COMMENTS:			

UTILITY DEV (505) 924-3989			
PLANS DISAPPROVED	DATE	DATE	DATE
PLANS APPROVED <i>AKL</i>	DATE <i>3/9/05</i>		
COMMENTS:			

TRANSPORTATION DEV (505) 924-3990			
PLANS DISAPPROVED	DATE	DATE	DATE
PLANS APPROVED <i>ISP</i>	DATE		
COMMENTS:			
<i>sight distance was checked and it appears there isn't any obstruction</i>			

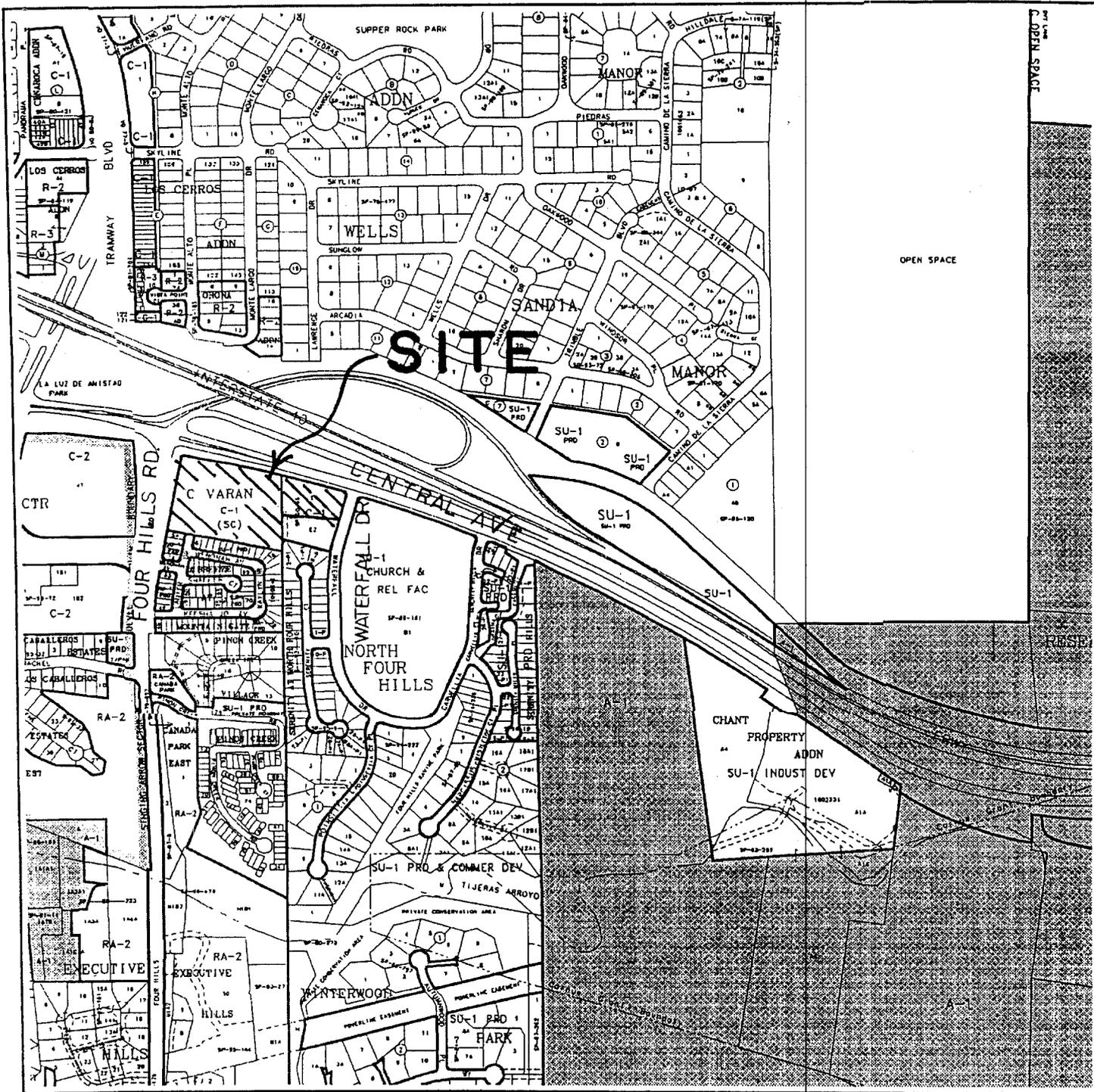
PARKS AND REC (505) 768-5328			
PLANS DISAPPROVED	DATE	DATE	DATE
PLANS APPROVED	DATE		
COMMENTS:			

PLANNING (505) 924-3858 <i>Rec. 3/11/05</i>			
PLANS DISAPPROVED	DATE	DATE	DATE
PLANS APPROVED	DATE		
COMMENTS:			
<ul style="list-style-type: none"> • Approved site plan has not been provided. • Total retention wall height is not indicated. • Wall along Row must meet city standards. 			
<i>4-15-05 8.0-9.0 Feet retention</i>			

Revised 3/3/04

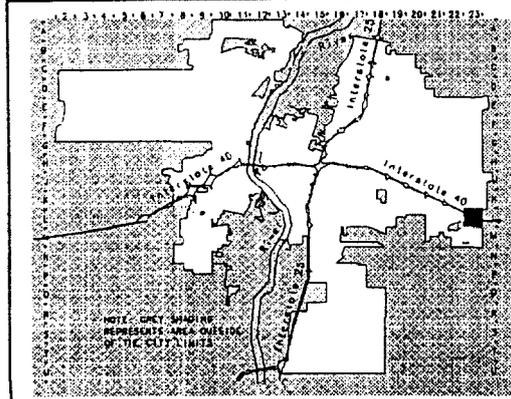
(Return form with plat / site plan)

Application withdraw: 4/19/05 Boklan



OPEN SPACE

OPEN SPACE



Advanced **G**eographic **I**nteraction **S**ystems
PLANNING DEPARTMENT
 © Copyright 2004



Zone Atlas Page
L-23-Z
 Map Amended through June 03, 2004

Marvin R Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
NMPE 6519
(505) 299-0774, M: 934-5786

April 18, 2005

City of Albuquerque
Planning Department
Attn: Bob Paulsen (924-3346)
Albuquerque, New Mexico 87102

.REFERENCE: Height of retaining and privacy walls at the Covered Wagon Subdivision, Site Development Plan, DRB Project #1002176.

Dear Bob:

This letter provides information concerning a request by Mr. Bill Wade for a wall permit for retaining and privacy walls within the referenced subdivision. As I am the design engineer for the subdivision, Mr. Wade asked that I provide the information to you.

The requirement for retaining walls and privacy walls greater than 8 feet in height is stated in the Site Development Plan that was approved by the EPC and DRB (DRB approval was on June 28, 2004). A copy of the approved Site Development Plan is attached to this letter. Also, please note that 3 copies of the Site Development Plan were submitted to the Planning Department on March 10, 2005 (see attached receipt).

The requirement for retaining walls of up to 6 ½ feet (see lots 36 and 51, which shows a 6 ½ feet difference in finished floor levels) with a 5 feet high privacy wall on top of the retaining wall (total wall height of 11.5 feet) is shown on the approved plan, sheet 5 of 12. Lot 16 shows a difference of 13 feet from the top of the retaining wall to the finished floor elevation of the adjacent lower portion of the property. These are typical examples of the wall heights that are shown on the plans approved through the EPC and DRB process. The retaining wall requirements are also shown on the cross sections on sheet 5 of 12. I believe that the existing approvals for exceeding the 8 feet wall height are sufficient without the need for additional public hearings and granting of a variance.

Also attached is a copy of the perimeter wall design as approved by the DRB on July 27, 2004.

If you have additional questions please call me.

Sincerely,


Marvin R Kortum

Cc: Bill Wade
Mountain West Development
P. O. Box 66449
Albuquerque, New Mexico 87193-6449
(505) 323-0250; 730-8849, FAX 323-0249

MOUNTAIN WEST DEVELOPMENT COMPANY, LLC
MWD

March 7, 2005

To Whom It May Concern:

Mari-Mac Partners II (Owner) and Mountain West Development (Contractor) request an administrative amendment to the site plan as approved, project #1002176. The elevation change between lots 44 thru 51 and lots 43 thru 36 is greater than 8 feet at certain points and will require a retaining wall. In addition a garden wall of 5 feet will be also attached to the retaining wall along the property line between the various lots.

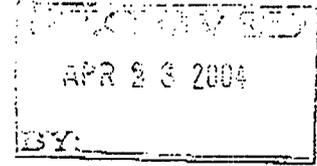
The retaining walls are required in order to comply with the approved grading and drainage. The walls will not restrict the sight line at the intersection of Lanier SE and Mountain West Court SE which was reviewed by Wilfred A. Gallegos, PE on 3-7-05.

Thank you.

Respectfully,



Bill Wade
Mountain West Development
Mari-Mac Partners II

Covered by [unclear]

City of Albuquerque
 Planning Department
 Development Services Division
 P.O. Box 1293
 Albuquerque, New Mexico 87103

Date: April 16, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1002176
 04EPC-00161 EPC Site Development Plan-
 Building Permit
 04EPC-00162 EPC Site Development Plan-
 Subdivision
 04EPC-00163 Zone Map Amendment

Bill Wade, Mari-Macii LLP
 P.O. Box 66449
 Albuq NM 87123

LEGAL DESCRIPTION: for all or a portion of
 Tracts E-1, **North Four Hills**, zoned C-1 to SU-1
 Single Family Residential, located on SE QUAD
 OF FOUR HILLS ROAD SE, between
 CENTRAL AVE. SE and WATERFALL Drive
 SE, containing approximately 7 acres. (L-23)
 Deborah Stover, Staff Planner

On April 15, 2004 the Environmental Planning Commission voted to approve Project 1002176/04EPC 00163, a request for a zone map amendment from C-1 to SU-1 for Single Family Residential, for Tract E-1, North Four Hills, based on the following Findings:

FINDINGS:

1. This is a request for a zone map amendment from C-1 to SU-1 Single Family Residential for a for a 1.37-acre site parcel known as Tract E-1, North Four Hills, located on the southeast corner of Central Avenue and Waterfall Drive SE.
2. The development of Interstate-40, the re-classification of Central Avenue as a collector street, the creation of an Activity Center to the west of the subject site and recent zone changes to residential uses in the area constitute changed neighborhood and community conditions that have occurred in the area that justify this request.
3. The existing C-1 zoning on this site allows the applicant to build single-family homes, townhouses or apartments as a conditional use.

OFFICIAL NOTICE OF DECISION
PROJECT #1002176
APRIL 15, 2004
PAGE 2 OF 6

4. The location, intensity and design of this new development respects existing neighborhood values, because it proposes densities and is laid out in the same fashion as other development in the area (*Comp. Plan*, Policy 5d). This request would constitute new growth, which is to be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured (*Comp. Plan*, Policy 5e).
5. Higher density housing is most appropriate in areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available (*Comprehensive Plan*, Policy 5h). This application concerns a site that meets this policy, as surrounding zoning includes SU-1 PRD, C-2, C-1 and some scattered RA-2, which qualifies as a mixed density pattern.
6. The zone change request is consistent with the health, safety, morals and general welfare of the City, as a residential development would bring additional housing to an area that has been consistently growing over the past several years. The residential use may be preferable to some of the uses allowed in the current C-1 zoning on the subject site (Resolution 270-1980, Section 1, paragraph A).
7. The zone change request contributes to providing stability of land use by assuring a stable residential environment without conjecture as to the future commercial possibilities for the site with the current C-1 zoning (Resolution 270-1980, Section 1, paragraph B).
8. The request also complies with Resolution 270-1989, Section 1, paragraph C, by not proposing a change that would be in significant conflict with the *Comprehensive Plan* or other master plans.
9. The zone change will be consistent with the SU-1 for Single Family Residential zoning to the west of the subject site.
10. There is no known opposition to this request.

On April 15, 2004 the Environmental Planning Commission voted to approve Project 1002176/04EPC 00162, a request for Site Development Plan for Subdivision, for Tract C-Varan and Tract E-1, North Four Hills, based on the following Findings and subject to the following Conditions:

OFFICIAL NOTICE OF DECISION
PROJECT #1002176
APRIL 15, 2004
PAGE 3 OF 6

FINDINGS:

1. This is a request for a site development plan for subdivision to divide the 6.5-acre subject site into 53 individual lots, located on the southeast corner of Central Avenue between Four Hills Road SE and Waterfall Drive SE.
2. The proposed pattern of land development is not unusual or different than other existing developments in the area.
3. The location, intensity and design of this new development respects existing neighborhood values, because it proposes densities and is laid out in the same fashion as other development in the area (*Comp. Plan, Policy 5d*). This request would constitute new growth, which is to be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured (*Comp. Plan, Policy 5e*).
4. Higher density housing is most appropriate in areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available (*Comprehensive Plan, Policy 5h*).
5. There is no known opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The maximum height and the building setbacks shall be listed on the site plan for subdivision.
3. Waterfall Drive shall be shown and listed on the site plan, along with the ROW width, sidewalk width, curb and gutter and other appropriate details.

On April 15, 2004 the Environmental Planning Commission voted to approve Project 1002176/04EPC 00161, a request for Site Development Plan for Building Permit, for Tract C-Varan and Tract E-1, North Four Hills, based on the following Findings and subject to the following Conditions:

OFFICIAL NOTICE OF DECISION
PROJECT #1002176
APRIL 15, 2004
PAGE 4 OF 6

FINDINGS:

1. This is a request for a site development plan for building permit for to divide the 6.5-acre subject site located on Central Avenue between Four Hills Road SE and Waterfall Drive SE.
2. The proposed pattern of land development is not unusual or different than other existing developments in the area.
3. The location, intensity and design of this new development respects existing neighborhood values, because it proposes densities and is laid out in the same fashion as other development in the area (*Comp. Plan, Policy 5d*). This request would constitute new growth, which is to be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured (*Comp. Plan, Policy 5e*).
4. Higher density housing is most appropriate in areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available (*Comprehensive Plan, Policy 5h*).
5. There is no known opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Waterfall Drive shall be shown and listed on the site plan, along with the ROW width, sidewalk width, curb and gutter and other appropriate details.
3. The 5-foot wide concrete pathway shall be shown in both locations (along Four Hills Road and Central Avenue) on all site plans related to this proposal.
4. A 5-foot wide concrete pedestrian path shall be provided through this area to clearly connect with the pathway along Four Hills Road.

OFFICIAL NOTICE OF DECISION
PROJECT #1002176
APRIL 15, 2004
PAGE 5 OF 6

5. The trees and shrubs shall be removed from the general landscape plan. The typical lot landscape is sufficient to show what is intended.
6. The shrubs shown along the pathways parallel to Fours Hills Road and Central Avenue that are not on the subject property shall be removed unless a homeowner's association is planned to provide maintenance for these plants.
7. The gravel for backyards shown on the typical lot landscape shall be removed to allow each homeowner to create their own preferred backyard landscape.
8. The scale on the landscape plan shall be shown as 1"=50' and shall be consistent on the landscape sheet.
9. Garage setbacks shall be varied by at least five-feet every third house.
10. City Engineer, Municipal Development, Public Works and NMDOT conditions:
 - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (standard drawing 2430), driveways (standard drawing 2425), private entrances (standard drawing 2426) and wheel chair ramps (standard drawing 2441).
 - c. Site plan shall comply and be designed per DPM Standards.
 - d. Locate the median (entrance feature) on Covered Wagon Dr. at Waterfall Dr. such that it separates entering traffic from exiting traffic.
 - e. Platting should be a concurrent DRB action.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 30, 2004 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

OFFICIAL NOTICE OF DECISION
PROJECT #1002176
APRIL 15, 2004
PAGE 6 OF 6

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


Richard Dineen
Planning Director

RD/DS/ac

cc: John Griego, Griego & Assoc., 2917 Carlisle NE, STE 207, Albuquerque, NM 87110
Tom Conley, North Four Hills, 13705 Poinsetta Ct. SE, Albuquerque, NM 87123
Nancy Caress, North Four Hills, 421 Narcissus SE, Albuquerque, NM 87123
Marilyn Floro, Singing Arrow, 528 Eugene SE, Albuquerque, NM 87123
Rachel Klynolf, Singing Arrow, P.O. Box 50162, Albuquerque, NM 87181
Jack Harris, Supper Rock, 712 Supper Rock NE, Albuquerque, NM 87123
Carol O'Keefe, Supper Rock, 600 Vista Abajo NE, Albuquerque, NM 87123
Roger Mickelson, 1432 Catron Ave. SE, Albuquerque, NM 87123

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

COVERED WAGON SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department, and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Enst Engineer
		24' WIDE	ASPHALT SURFACE LOCAL RESIDENTIAL	LANIER DRIVE	SOUTH BOUNDARY OF SUBDIVISION	INTERSECTION W/ COUGAR WAGON AVE	/	/	/
		24' WIDE	ASPHALT SURFACE LOCAL RESIDENTIAL	COUGAR WAGON ALLEVE	LANIER DRIVE	WATERFALL DRIVE	/	/	/
		24' WIDE	ASPHALT SURFACE LOCAL RESIDENTIAL	S. COURT	LANIER DRIVE	EAST END TOWN NEARND	/	/	/
			STANDARD CURB CUTTER OR ROLL CURB, AS REQUIRED BY ENGINEER DESIGN FOR RAINOFF PLAN	ALONG BOTH SIDES OF LANIER DRIVE	SOUTH BOUNDARY OF SUBDIVISION	WATERFALL DR	/	/	/
		4' WIDE	PORTLAND CEMENT SIDEWALK	S. COURT			/	/	/
		5' WIDE	PORTLAND CEMENT SIDEWALK	ALONG BOTH SIDES OF LANIER DRIVE	SOUTH BOUNDARY OF SUBDIVISION	WATERFALL DR	/	/	/
		5' WIDE	PORTLAND CEMENT SIDEWALK	ALONG DEARBORN GATEWAY AT WEST SIDE OF LANIER DRIVE	LANIER DRIVE	FOUR HILLS ROAD	/	/	/
		5' WIDE	PORTLAND CEMENT SIDEWALK	PORTLAND CEMENT SIDEWALK IN FOUR HILLS ROAD R.O.W.	WEST FRONTAGE OF SUBDIVISION		/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Enst Engineer
		5' WIDE	PORTLAND CONCRETE SIDEWALK	IN CENTRAL AVE R.D.W.	FOUR HILLS ROAD NORTH FRANKS OF COURET WAGON SUBDIVISION	WATERFALL DRIVE	/	/	/
		5' WIDE	PORTLAND CONCRETE SIDEWALK	IN WATERFALL DRIVE R.D.W.	CENTRAL AVE WATERFALL DRIVE FRANKS	SOUTH P.L.	/	/	/
		10"	WATER MAIN	LANIER DRIVE AND COURET WAGON AVE	S. BOUNDARY OF COURET WAGON SUBDIVISION	WATERFALL DRIVE	/	/	/
		8"	WATER MAIN	S. COURET AND GASEMENT ACROSS LOTS 36 & 51	LANIER DRIVE COURET WAGON AVE	COURET WAGON AVE	/	/	/
		10"	PRESSURE RELIEF VALVE	COURET WAGON AVE	NEAR WATERFALL DRIVE		/	/	/
		8"	SEWITNEY SEWER	LANIER DRIVE	COURET WAGON	SAS MANTHOLE IN FOUR HILLS ROAD R.D.W.	/	/	/
		8"	SEWITNEY SEWER	COURET WAGON AVE	NEAR WATERFALL LANIER DRIVE		/	/	/
		8"	SEWITNEY SEWER	S. COURET	EAST END	LANIER DRIVE	/	/	/
			SIDEWALK IMPROVE	ALL 4' SIDEWALKS COURET WAGON AVE, AND S COURET	ALONG LANIER DRIVE		/	/	/
			GRADING AND DRAINAGE PLAN CERTIFICATION				/	/	/
		6' HIGH	PERIMETER WALL FOR DB	ADDITIONAL PERIMETER WALL DESIGN			/	/	/
			PERIMETER WALL CERTIFICATION	FROM REGISTERED ENGINEER			/	/	/
		24"	STORM DRAIN	FOUR HILLS ROAD	WEST END OF DRAINAGE CANAL	EXISTING SD. IN FOUR HILLS RD	/	/	/
							/	/	/

Private Inspector	City Inspector	City Crst Engineer
/	/	/
/	/	/
/	/	/
/	/	/

Size	Type of Improvement	Location	From	To

SIA Sequence #	COA DRC Project #

NOTES

- 1 _____
- 2 _____
- 3 _____

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

AGENT / OWNER: BILL WADE NAME (print): _____ PARKS & GENERAL SERVICES - date _____

Mountain West Development DRB CHAIR - date _____

FIRM: Pat Wink 6/15/04 TRANSPORTATION DEVELOPMENT - date _____ AMAFCA - date _____

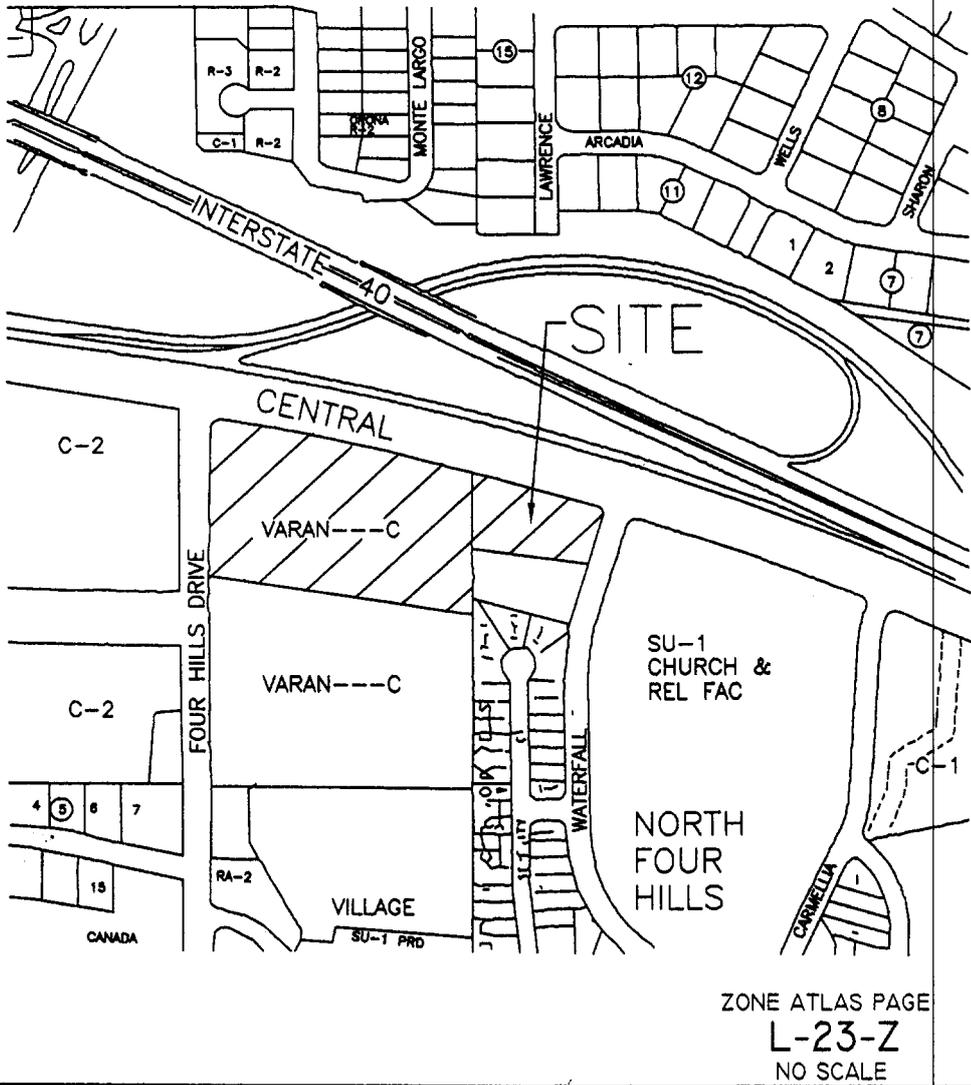
SIGNATURE - date _____ UTILITY DEVELOPMENT - date _____

CITY ENGINEER - date _____

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: 3 YEARS

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



ZONE ATLAS PAGE
 L-23-Z
 NO SCALE

NOTICE TO CONTRACTORS

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR

25, 2006

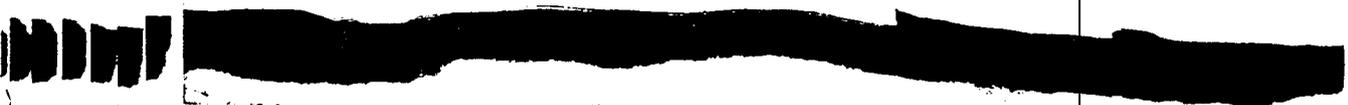
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NOTICE TO CONTRACTORS

ZONE ATLAS PAGE
L-23-Z
NO SCALE



25, 2005



Marvin R. Kortum
1603 Speakman Drive, SE
Albuquerque, New Mexico 87123
N. M. P. E. 6519
(505) 299-0774; FAX 299-9405

March 11, 2005

City of Albuquerque
Planning Department
Development and Building Services Division
ATTN: Sheran Matson, Chairperson, DRB
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: Site Development Plan for the Covered Wagon Subdivision, located south of Central Avenue, between Four Hills Road, SE and Waterfall Drive, SE. (EPC #1002176, Zone atlas L-23).

Dear Sheran:

Attached are three (3) copies of the Site Development Plan for Project 1002176, approved on July 28, 2004.

The copies are as required by the DRB Action Log for the Site Plan Subd. and Site Plan B. P.

The plat is to be submitted by Surveys Southwest within a few days.

Sincerely,

Marvin R. Kortum

Cc: Bill Wade
SSW

