

DESCRIPTION

A certain tract of land situated within the southwest 1/4 of Section 5, (as projected) T11N, R3E, N.M.P.M., within the Town of Alameda Grant, Bernalillo County, New Mexico and being a northerly portion of the 36.34 acre tract as described in Warranty Deed filed for record in the Office of the County Clerk of Bernalillo County, New Mexico on April 27, 1973 as document No. 48433 in Volume 0941, Folio 209 and 210, together with a portion of the Corrales Main Canal as described in Grant of Easement filed for record in the Office of the County Clerk of Bernalillo County, New Mexico on October 28, 1973 as Document No. 79720 in Volume Misc. 338, Folio 574-577 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

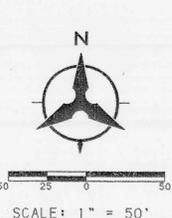
BEGINNING at the northeast corner of the tract herein described, whence the ACS monument "M449-112", a brass cap set in concrete (having New Mexico State Plane Grid Coordinates, Central Zone, X=381,108.54 and Y=1,528,910.94) bears S24°37'09"E, 1497.38 feet and from said point of beginning running thence along the easterly boundary of the tract herein described, S34°20'03"W, 462.19 feet to the southeast corner of the tract herein described; thence, N81°02'35"W, 623.19 feet to the southwest corner of the tract herein described, a point on the westerly boundary of said 36.34 acre tract, thence running along the westerly boundary of said 36.34 acre tract, N08°51'25"E, 540.24 feet to the northwest corner of the tract herein described, said corner also being the northwest corner of said 36.34 acre tract, thence running along the northerly boundary of said 36.34 acre tract, S81°09'55"E, 928.39 feet to a point, thence leaving the northerly boundary of said 36.34 acre tract and running thence along the northerly boundary of the tract herein described, S45°51'29"E, 65.97 feet to the point and place of beginning.

Tract contains 9.4842 acres, more or less.

Bohman-Huston, Inc.
7500 Jefferson Street NE
Court yard I
Albuquerque, NM 87109

X. Dean Weaver
N.M.P.L.S. No. 6544

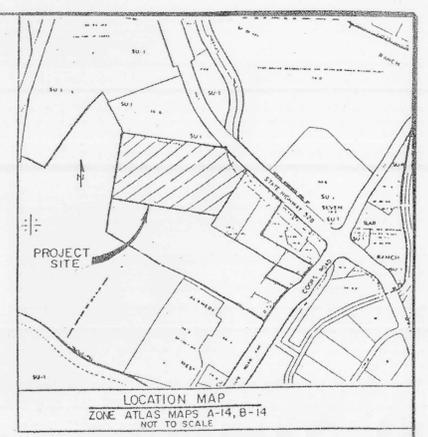
May 8, 1999
Job No. 88306.19



REQUEST FOR ADMINISTRATIVE AMENDMENT #2

REQUESTED REVISIONS TO SITE DEVELOPMENT PLAN:

- ▲ STRIPE EXISTING ASPHALT FOR 18 NEW PARKING SPACES.
- ▲ ADD CUSTOMER PICK-UP AREA.
- ▲ ADD MONUMENT AND BUILDING MOUNTED SIGNAGE
- ▲ REPLACE EXISTING, ADD NEW STOREFRONT AND AWNINGS.
- ▲ RELOCATE MONUMENT SIGN



LEGAL DESCRIPTION

LOT 1-A, RIVERWALK MARKETPLACE,
BERNALILLO COUNTY, NEW MEXICO.
CONTAINS 9.4484 AC

- NOTES:**
- UNLESS OTHERWISE NOTED, ALL CURB RADII SHALL BE 4.0 FEET.
 - ALL CURBS SHALL BE STANDARD 6" CURB AND GUTTER.
 - ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATERED UNTIL A HEALTHY STAMU OF GRASS IS OBTAINED.

PARKING PROVIDED
TOTAL SPACES = 602

PARKING RATIOS
BEFORE EXPANSION = 6.89 per 1000 SF
AFTER EXPANSION = 5.90 per 1000 SF

PAVING AREAS

- 2" PMBP W/ 4" BASE COURSE
- 3" PMBP W/ 6" BASE COURSE

ALL PLANT MIX BITUMINUS PAVEMENT (PMBP) SHALL BE TYPE I GRADE B. ALL BASE COURSE SHALL BE CLASS I-B NEW MEXICO STATE HIGHWAY & TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, 1994 EDITION.

PARKING RETAIL	87,355 N.S.F. @ 1:200 S.F.
TOTAL PARKING REQUIRED	431 SPACES
TOTAL PARKING PROVIDED	620 (602 EXISTING + 18 NEW) (INCLUDES 16 MC SPACES, 2 VAN ACCESSIBLE)
BICYCLE PARKING REQUIRED	1:20 AUTOS = 22
BICYCLE PARKING PROVIDED	24 (6 PER BIKE RACK)

100144 ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. AA-00847
APPROVED
PLANNING DIRECTOR

1001445

LEGEND
WARNING SIGN - SEE SHEET 9 of 9 FOR DETAIL

Proposed Sign Am.

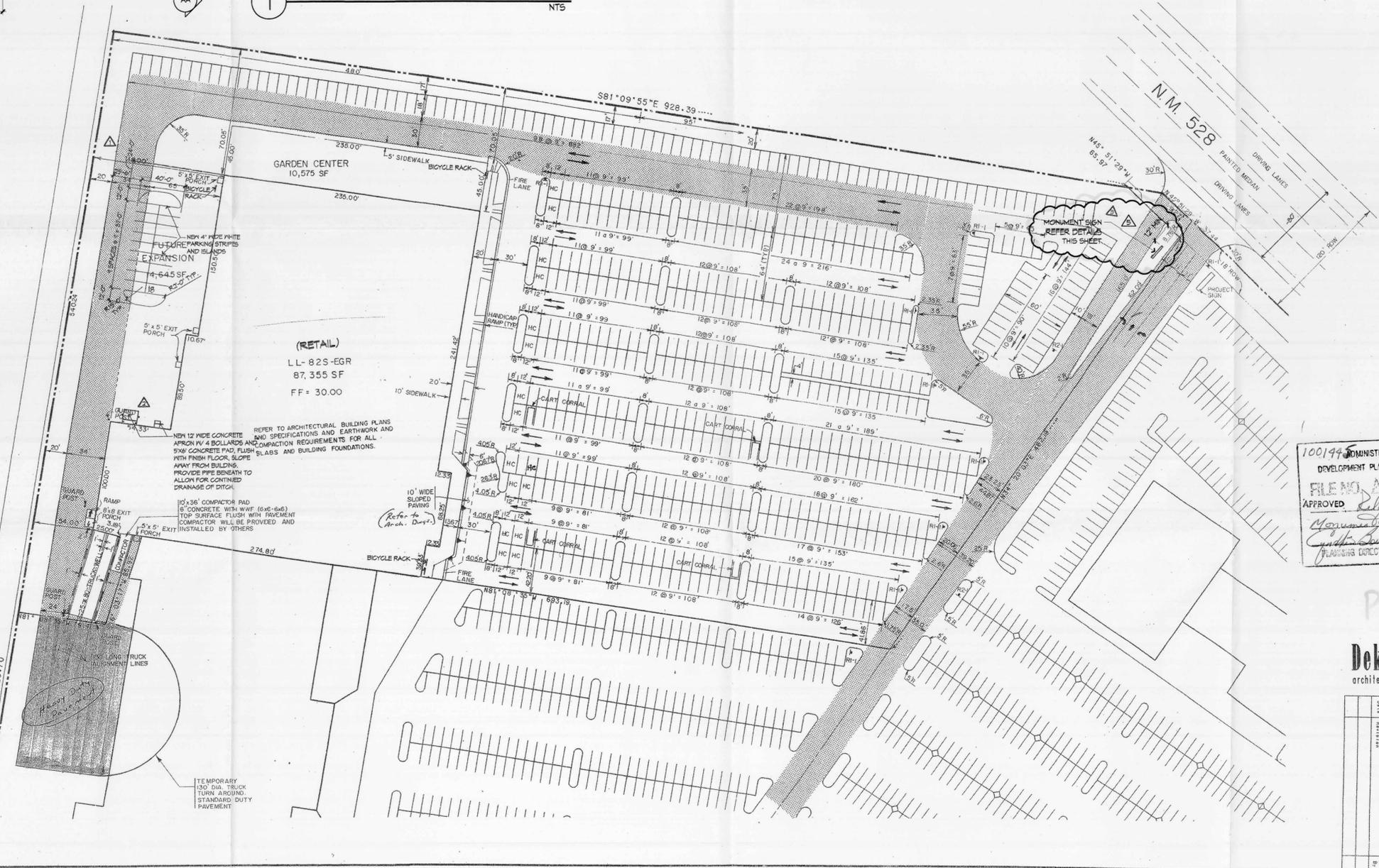
Dekker/Perich/Sabatini 05/22/03
architecture • interiors • planning • engineering

WAL-MART TAX PLAT
ALBUQUERQUE, NEW MEXICO (NW)

Project No. _____

SITE PLAN

Job No. 88306.14 Sheet 1 of 5
Drawn By: LAD Date: 3-89
Checked By: DBT Scale: 1"=50'



DESCRIPTION

A certain tract of land situate within the southwest 1/4 of Section 5, (as projected) T11N, R3E, N.M.P.M., within the Town of Alameda Grant, Bernalillo County, New Mexico and being a northerly portion of the 36.34 acre tract as described in Warranty Deed filed for record in the Office of the County Clerk of Bernalillo County, New Mexico on April 27, 1973 as document No. 48823 in Volume 0941, Folio 209 and 210, together with a portion of the Corrales Main Canal as described in Grant of Easement filed for record in the Office of the County Clerk of Bernalillo County, New Mexico on October 29, 1973 as Document No. 79720 in Volume Misc. 338, Folio 574-577 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

BEGINNING at the northeast corner of the tract herein described, whence the ACS monument "M446-N12", a brass cap set in concrete (having New Mexico State Plane Grid Coordinates, Central Zone, X=981,100.54 and Y=122,910.94) bears S24°37'09"E, 1497.38 feet and from said point of beginning running thence along the easterly boundary of the tract herein described, S34°20'03"W, 462.19 feet to the southeast corner of the tract herein described; thence, N81°08'35"W, 693.19 feet to a point; thence, S18°03'17"E, 85.92 feet to a point; thence, N81°08'35"W, 79.47 feet to the southwest corner of the tract herein described, a point on the westerly boundary of said 36.34 acre tract, thence running along the westerly boundary of said 36.34 acre tract, N08°51'25"E, 540.24 feet to the northwest corner of the tract herein described, said corner also being the northwest corner of said 36.34 acre tract, thence running along the northerly boundary of said 36.34 acre tract, S81°09'55"E, 928.39 feet to a point, thence leaving the northerly boundary of said 36.34 acre tract and running thence along the northerly boundary of the tract herein described, S45°51'25"E, 65.07 feet to the point and place of beginning.

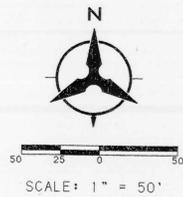
Tract contains 9.4542 acres, more or less.

Behanman-Huston, Inc.
7500 Jefferson Street NE
Courtyard I
Albuquerque, NM 87109

May 8, 1989
Job No. 88306.19

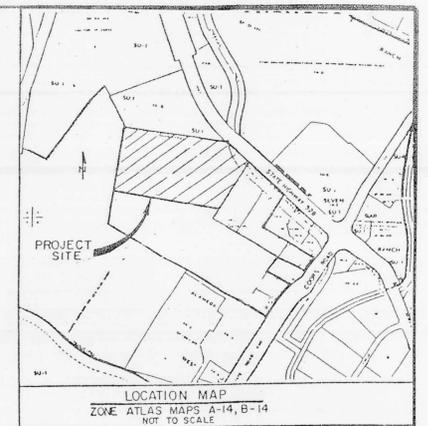
S81°09'55"E 928.39.....

A. D. Dekker
A. D. Dekker
N.M.P.L.S. No. 6544



REQUEST for ADMINISTRATIVE AMENDMENT #1

- REQUESTED REVISIONS TO SITE DEVELOPMENT PLAN:
- ▲ STRIPE EXISTING ASPHALT FOR 18 NEW PARKING SPACES.
 - ▲ ADD CUSTOMER PICK-UP AREA.
 - ▲ ADD MONUMENT AND BUILDING MOUNTED SIGNAGE
 - ▲ REPLACE EXISTING, ADD NEW STOREFRONT AND AWNING.



LEGAL DESCRIPTION

LOT 1-A, RIVERWALK MARKETPLACE, BERNALILLO COUNTY, NEW MEXICO. CONTAINS 9.4484 AC

NOTES:

1. UNLESS OTHERWISE NOTED, ALL CURB RADI SHALL BE 40 FEET.
2. ALL CURBS SHALL BE STANDARD 6" CURB AND GUTTER.
3. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

PARKING PROVIDED
TOTAL SPACES = 602

PARKING RATIOS
BEFORE EXPANSION = 6.89 per 1000 SF
AFTER EXPANSION = 5.90 per 1000 SF

PAVING AREAS

- 2" PMBP w/ 4" BASE COURSE
- 3" PMBP w/ 6" BASE COURSE

ALL PLANT MIX BITUMINUS PAVEMENT (PMBP) SHALL BE TYPE I GRADE B.
ALL BASE COURSE SHALL BE CLASS I-B NEW MEXICO STATE HIGHWAY & TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, 1984 EDITION.

PARKING	81,955 N.S.F. @ 1:200 S.F.
RETAIL	457 SPACES
TOTAL PARKING REQUIRED	620 (602 EXISTING 18 NEW)
TOTAL PARKING PROVIDED	(INCLUDES 16 HC SPACES 2 VAN ACCESSIBLE)
BICYCLE PARKING REQUIRED	120 AUTOS = 22
BICYCLE PARKING PROVIDED	24 (6 PER BIKE RACK)

1001995 ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
03A10
FILE NO. AA-00351
*Refer to bldg. & landscape plan
parking per letter 3/13/03 Dekker
C. Dekker 3/19/03*
PLANNING DIRECTOR FOR DATE

LEGEND
WARNING SIGN - SEE SHEET 9 of 9 FOR DETAIL

Approved Amendment
Dekker/Perich/Sabatini
architecture • interiors • planning • engineering 02/28/03

WAL-MART TAX PLAT ALBUQUERQUE, NEW MEXICO (NW)	
Project No.	SITE PLAN
Sheet	1 of 5
Job No. 88306.14	Date: 3-89
Drawn By: LAD	Checked By: DBT
Scale: 1" = 50'	

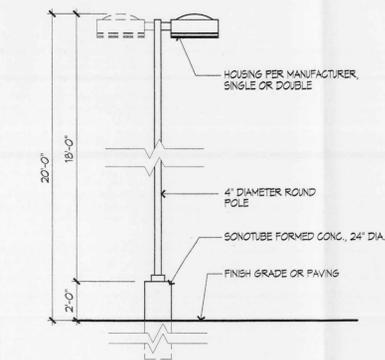


WGDH



Project

1	□	Type CV, D, E, G
2	□	Type BV, E, J
3A	□	Type J, AMCO
3B	□	Type IV
4	□	Type III, IV, AMCO

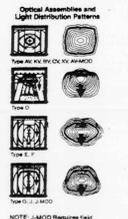


Scale: 1"=50'-0"

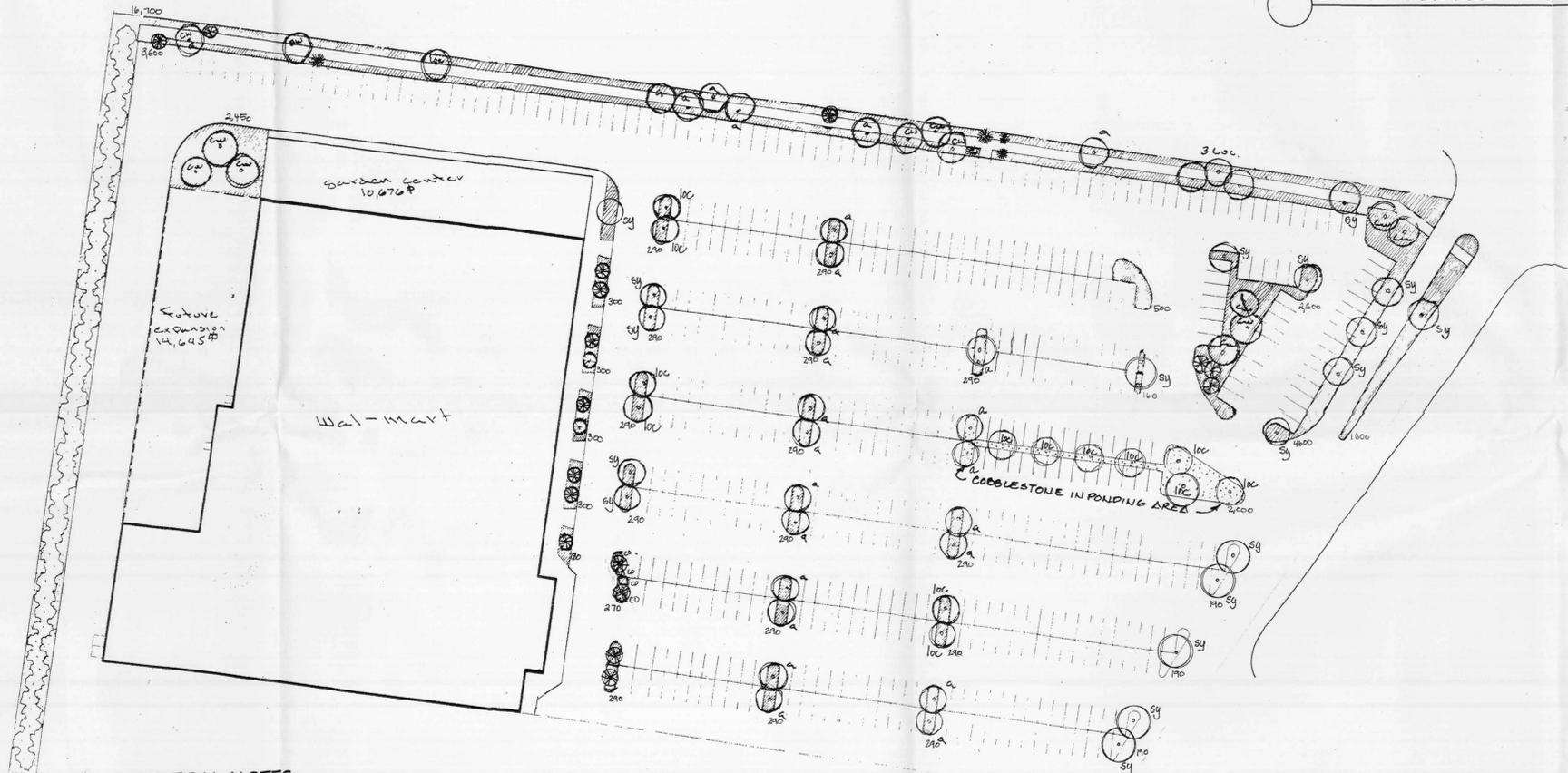
LIGHT POLE ELEVATION 1/4" = 1'-0"

Ordering Information

TYPE	QTY	CATALOG NUMBER	DESCRIPTION/LAMP
AV		WGDH-1815-480-400M-1815	4.8WV T8E 400-BLU
AV/AMCO		WGDH-1815-480-400M-1815-AMCO	4.8WV T8E 400-BLU (1.5E 400-BLU)
BV		WGDH-1815-480-400M-1815	3.8WV T8E 400-BLU
BV		WGDH-1815-480-400M-1815	2.8WV T8E 400-BLU
CV		WGDH-1815-480-400M-1815	1.8WV T8E 400-BLU
D		WGDH-1815-480-400M-1815	1.8WV T8E 400-BLU
E		WGDH-1815-480-400M-1815	2.8WV T8E 400-HCR
F		WGDH-1815-480-400M-1815	1.8WV T8E 400-HCR
G		WGDH-1815-480-400M-1815	1.8WV T8E 400-HCR
J		WGDH-1815-480-400M-1815	2.8WV T8E 400-HCR
J/AMCO		WGDH-1815-480-400M-1815	2.8WV T8E 400-HCR
IV		WGDH-1815-480-400M-1815	4.8WV T8E 400-BLU
IV		WGDH-1815-480-400M-1815	1.7' POLE STEEL
			GALLON BRONZE
			MS-400-HCR
			MS-400-BLU
			STEEL POLE TOP FITTER



NOTE: J, AMCO Requires THIS NUMBER OF COPIES BEING MADE. OTHER COPIES SHOULD BE MADE BY OTHER MEANS FOR OFFICE USE ONLY.



GENERAL NOTES

- A. ALL EXISTING ALIVE TREES OR SHRUBS TO REMAIN. ALL REPLACED TREES TO BE 2" CAL. MINIMUM. ALL REPLACED SHRUBS TO BE 5 GAL. MINIMUM.
- B. ALL PLANTING AREAS, EXCEPT FOR NATIVE AREAS, SHALL BE COVERED WITH BARK MULCH, UNLESS OTHERWISE NOTED ON THE PLANS.
- C. TURF: NO TURF INCLUDED IN PLAN.

D. LANDSCAPE CALCULATIONS:
 TOTAL SITE AREA: 9.4484 ACRES = 411,572.3 SF
 BUILDING AREA: 49,191 SF
 SITE AREA = TOTAL AREA-BUILDING AREA= 318,375.3 SF
 REQUIRED LANDSCAPE AREA= 15% OF SITE AREA
 (15 X 318,375.3 SF) = 47,756.3 SF
 PROVIDED LANDSCAPE AREA: 41,075 SF (19.1%)
 PROVIDED HIGH WATER USE LANDSCAPING AREA: 0 SF

PLANT SCHEDULE/LEGEND

Symbol	Abbrev.	Common Name
Trees		
○	cw	Cottonwood
○	sy	Sycamore
○	loc	Locust
○	a	Ash
○		Purple Plum
Shrubs		
○	co	Cottonaster
○		Native shrubs, Sage

Handwritten notes:
 Us plan approved
 3-21-2003
 [Signature]

MAINTENANCE
 THE OWNER AGREES TO MAINTAIN ALL THE LANDSCAPING SHOWN ON THE PLAN.

- IRRIGATION GENERAL NOTES**
- ALL PLANTING AND LAWN AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM/RAINBIRD CONTROLLER.
- EXACT FIELD CONDITIONS MAY REQUIRE MINOR ADJUSTMENTS IN HEAD, VALVE AND MAIN LOCATION.
 - ALL MAIN LINES SHALL HAVE A MINIMUM DEPTH OF 30 INCHES AND SCHEDULE 40 PVC PIPE.
 - ALL CLASS 200 PVC DISTRIBUTION LINES SHALL BE BURIED 18 INCHES.
 - ALL POP-UP HEADS SHALL BE MOUNTED FLUSH WITH ALL WALKS AND CURBS AND ONE INCH ABOVE FINISH GRADE ELSEWHERE.
 - ALL VALVES ARE TO HAVE VALVE BOXES.

- PLANTING AND GENERAL NOTES**
- ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR.
 - ALL SOD AREAS SHALL BE FERTILIZED WITH SOILTEX BRAND FERTILIZER AT THE RATE OF 1 1/2 POUNDS PER 100 SQUARE FEET.
 - SITE GRADING BY OTHERS SHALL BE +/- .10 FEET PRIOR TO INSTALLATION.

PRINTED
 MAY 09 1989

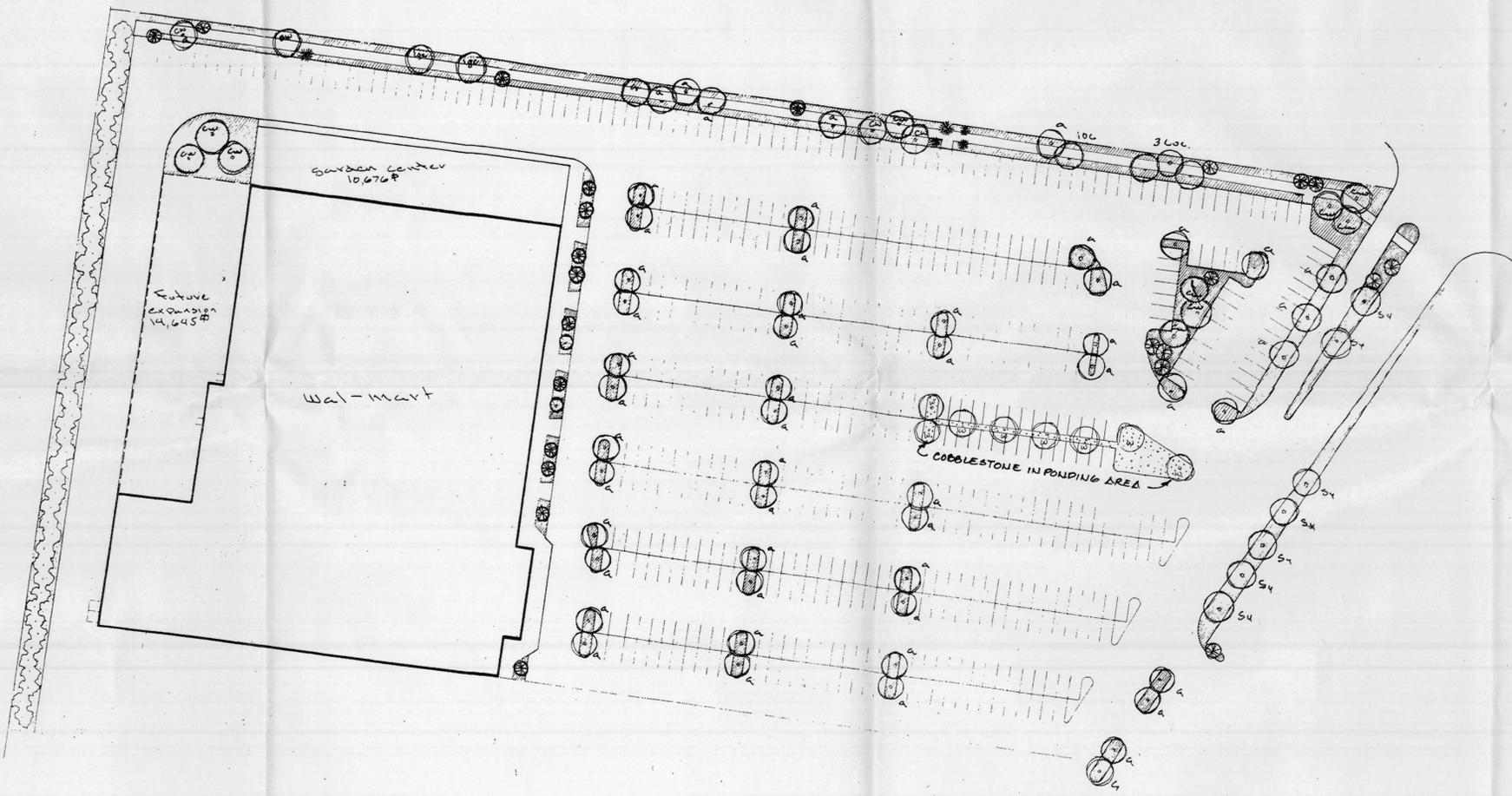
LANDSCAPING PLAN

The Hillier Group
 1665 DE PLOU
 13307
 LANDSCAPE ARCHITECTS



3-23-89 REVISED 17 APR 89

Scale: 1"=50'-0"



- 2" x 4" landscape plastic
- 12" x 12" shade trees
- 12" x 12" w-willow
- 12" x 12" cotton wood
- 12" x 12" sycamore
- 12" x 12" locust
- ★ 8 to 10' evergreen (pine or spruce)
- 12" x 12" purple plum
- 12" x 12" signal yucca

MAINTENANCE
THE OWNER AGREES TO MAINTAIN ALL THE LANDSCAPING SHOWN ON THE PLAN.

- IRRIGATION GENERAL NOTES**
- 1) EXACT FIELD CONDITIONS MAY REQUIRE MINOR ADJUSTMENTS IN HEAD, VALVE AND MAIN LOCATION.
 - 2) ALL MAIN LINES SHALL HAVE A MINIMUM DEPTH OF 30 INCHES AND SCHEDULE 40 PVC PIPE.
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- PLANTING AND GENERAL NOTES**
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 - 2) ALL SOD AREAS SHALL BE FERTILIZED WITH SOILTEX BRAND FERTILIZER AT THE RATE OF 1 1/2 POUNDS PER 100 SQUARE FEET.
 - 3) SITE GRADING BY OTHERS SHALL BE +/- .10 FEET PRIOR TO INSTALLATION.

LANDSCAPING TO BE REPLACED/ REFURBISHED TO MATCH EXISTING PLAN, BY LANDLORD

PRINTED
MAY 09 1989

LANDSCAPING PLAN

The Hillier Group
JAMES DE PLOON
LANDSCAPE ARCHITECT



3-23-89 REVISED 17 APR 89

FOUNDATION SUBSURFACE PREPARATION

WAL-MART

JOB #12501 - ALBUQUERQUE, N.M.

MARCH 20, 1989

E. BRYANT DAVIDSON, P.E., WALLACE ENGINEERING,
STRUCTURAL CONSULTANTS, INC.

FILL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS, AND COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) AT A MOISTURE CONTENT WITHIN 1 PERCENT BELOW TO 3 PERCENT ABOVE THE OPTIMUM. FILL MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS:

MAXIMUM SIZE: 6 INCHES
 PASSING 4" SIEVE: 75-100 PERCENT
 PASSING NO. 4 SIEVE: 50-100 PERCENT
 PASSING NO. 200 SIEVE: 60 PERCENT MAXIMUM
 EXPANSIVE POTENTIAL* 1.5 PERCENT MAXIMUM
 SOLUBLE SULFATES 0.1 PERCENT MAXIMUM

LOCATION WITH RESPECT TO FINAL GRADE OF BUILDING AREA
 BELOW UPPER 4 FEET UPPER 4 FEET

PLASTICITY INDEX	20 MAXIMUM	12 MAXIMUM
LIQUID LIMIT	50 MAXIMUM	40 MAXIMUM

* MEASURED ON A SAMPLE COMPACTED TO APPROXIMATELY 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) AT 3 PERCENT BELOW THE OPTIMUM MOISTURE CONTENT. THE SAMPLE IS CONFINED UNDER A 100 PSF SURCHARGE AND SUBMERGED.

THE FOUNDATION SYSTEM SHALL BE ISOLATED SPREAD FOOTINGS AT COLUMNS AND CONTINUOUS SPREAD FOOTINGS AT WALLS. FOUNDATION EXCAVATIONS SHALL BE EXTENDED BELOW FOUNDATION BEARING ELEVATIONS THE MINIMUM DISTANCES SHOWN BELOW. THE EXPOSED SURFACE SHALL THEN BE SCARIFIED TO MINIMUM DEPTH OF 8 INCHES AND RECOMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) AT A MOISTURE CONTENT WITHIN 1 PERCENT BELOW TO 3 PERCENT ABOVE THE OPTIMUM. EXCAVATIONS SHALL THEN BE BACK-FILLED UP TO THE PROPER FOUNDATION BEARING ELEVATIONS WITH ENGINEERED STRUCTURAL FILL PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS, AND COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) AT A MOISTURE CONTENT WITHIN 1 PERCENT BELOW TO 3 PERCENT ABOVE THE OPTIMUM.

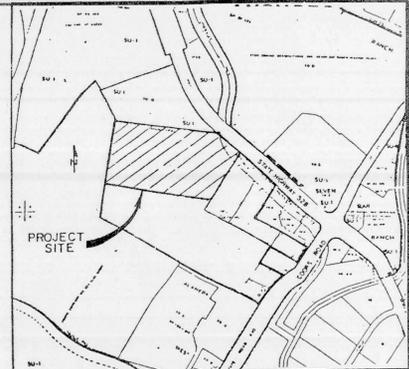
MINIMUM DISTANCE OF OVEREXCAVATION BELOW FOOTING BASE	MINIMUM WIDTH OF OVEREXCAVATION BEYOND FOOTING BASE
---	---

CONTINUOUS (WALL) FOOTINGS	1'-4"	2'-0"
RECTANGULAR (COLUMN) FOOTINGS	2'-4"	2'-0"
PROPERTY LINE FOOTING	3'-4"	2'-8"

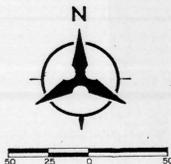
ALL FOUNDATION EXCAVATIONS SHALL BE INSPECTED BY WAL-MART'S GEOTECHNICAL ENGINEER PRIOR TO CONCRETE PLACEMENT TO VERIFY THAT THE EXPOSED SOILS ARE CAPABLE OF SUPPORTING THE DESIGNED FOUNDATION BEARING PRESSURE. IF ANY EXCAVATIONS REVEAL INADEQUATE SOILS, THEY SHALL BE UNDERCUT AND REPAIRED ACCORDING TO THE RECOMMENDATIONS OF WAL-MART'S GEOTECHNICAL ENGINEER.

THE BASE OF TRUCK DOCK RETAINING WALLS SHALL BE DRAINED BY WEEP PIPES OR PERFORATED DRAIN LINES.

THIS FOUNDATION SUBSURFACE PREPARATION DOES NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. INFORMATION COVERED IN THIS PREPARATION SHALL GOVERN OVER THE WAL-MART SPECIFICATIONS. REFER TO THE SPECIFICATIONS FOR SPECIFIC INFORMATION NOT COVERED IN THIS PREPARATION.

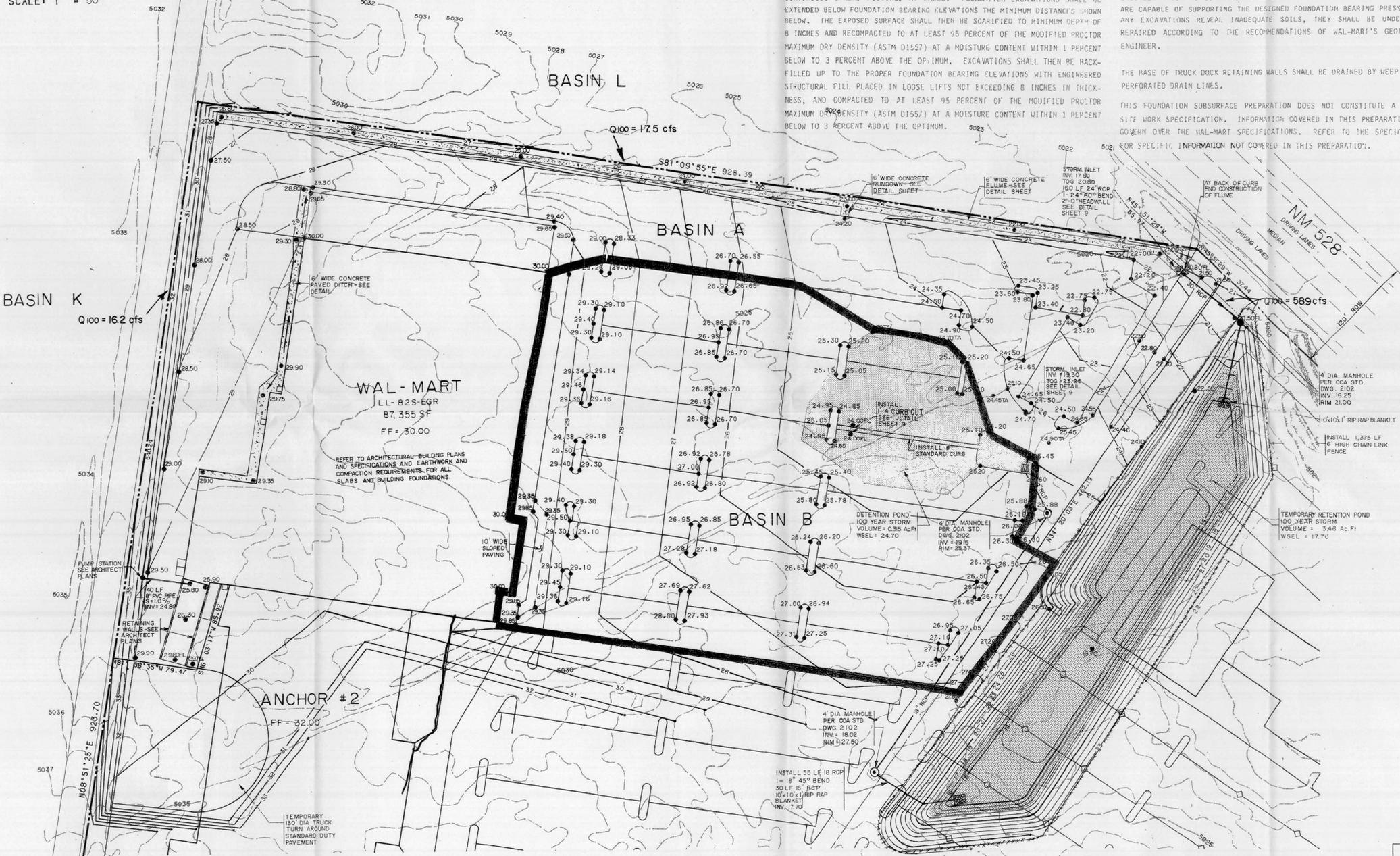


LOCATION MAP
 ZONE ATLAS MAPS A-14, B-14
 NOT TO SCALE



SCALE: 1" = 50'

CUT AND FILL REQUIRED TO PROVIDE INITIAL SUBGRADE ELEVATION VARIES FROM APPROXIMATELY 4 FEET OF CUT AT THE SOUTHWEST CORNER TO APPROXIMATELY 3 FEET OF FILL AT THE NORTHEAST CORNER OF THE BUILDING AREA. THE FINAL SUBGRADE ELEVATION SHALL BE ESTABLISHED AT 4 INCHES BELOW FINISHED FLOOR. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACCURATE MEASUREMENTS FOR ALL CUT AND FILL DEPTHS REQUIRED.



GRADING NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, AND SPECIFICATION FOR EARTHWORK CONTAINED IN THE GEOTECHNICAL INVESTIGATION REPORT FOR THE RIVERWALK MARKET PLACE.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES WITH POTENTIAL CONFLICTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- SUBGRADE TOLERANCES OF ALL BUILDING PADS, PARKING AREAS, ROADWAYS, DRAINAGE IMPROVEMENTS, ETC., SHALL BE ± 0.10 FEET.
- FINISHED TOP OF ASPHALT TOLERANCE FOR ALL AREAS WITH SLOPES LESS THAN 1% IS ± .02 FEET. FINISHED TOP OF ASPHALT TOLERANCE FOR ALL AREAS WITH SLOPES GREATER THAN 1% IS ± .10 FEET.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
- GRADING AND EARTHWORK OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH ALL CURRENT CITY, COUNTY, STATE AND FEDERAL DUST CONTROL REGULATIONS.
- DO NOT PUDDLE OR JET BACKFILL.
- ALL CURBS SHALL BE 6" CONCRETE CURB.
- ALL STORM SEWER PIPE SHALL BE CLASS III RCP.
- THE SITEWORK SPECIFICATIONS FOR THIS PROJECT SHALL MEET OR EXCEED THE WAL-MART STANDARD AND SITEWORK SPECIFICATIONS.

NO CHANGES THIS SHEET

PRINTED
 MAY 09 1989

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEV. (TOP OF CURB)
- PROPOSED SPOT ELEV. (TOP OF ASPHALT)

WAL-MART TAX PLAT
 ALBUQUERQUE, NEW MEXICO (NW)

Project No. _____

GRADING PLAN

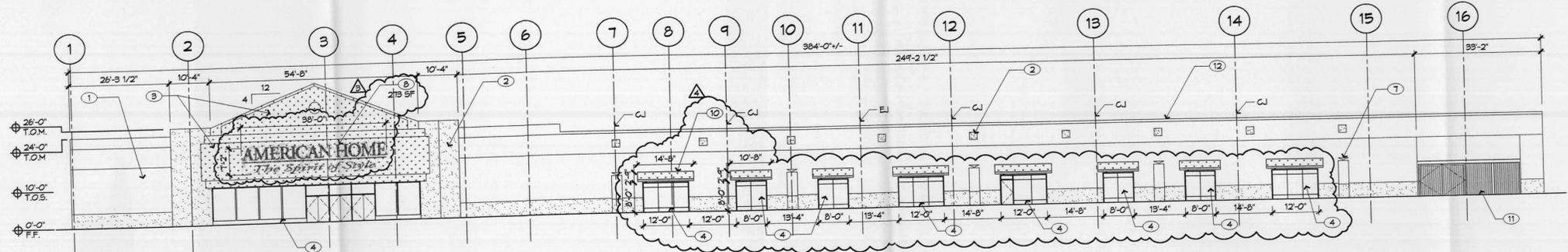
Job No. 88306.14 Sheet **5** of **5**

Drawn By: LAD Date: 3-89

Checked By: DBT Scale: 1" = 50'

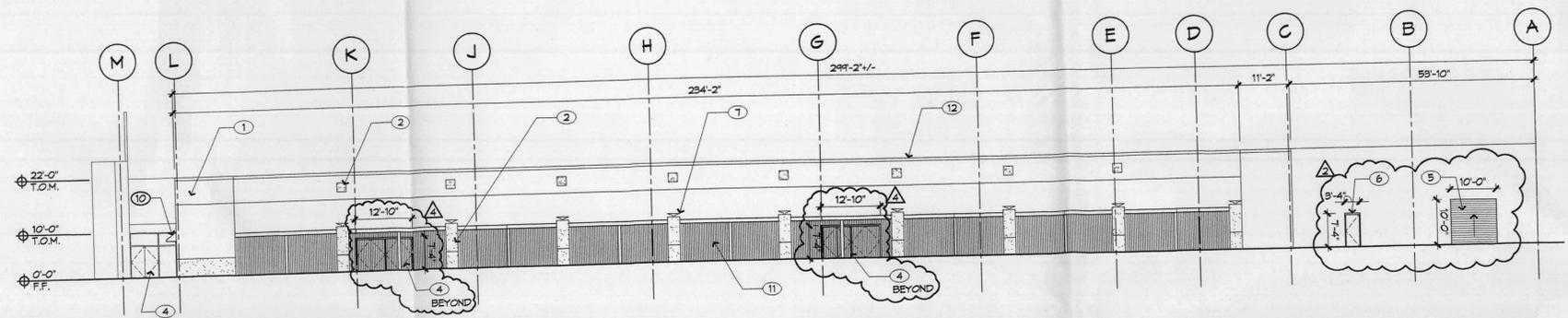
KEYED NOTES

1. PAINT MASONRY/EXTERIOR FINISH COAT SYSTEM, COLOR LIGHT OCHRE
2. PAINT MASONRY/EXTERIOR FINISH COAT SYSTEM, COLOR DARK OCHRE
3. PAINT MASONRY/EXTERIOR FINISH COAT SYSTEM, COLOR WHITE
4. NEW ALUMINUM STOREFRONT, WHITE
5. NEW OVERHEAD DOOR, PAINTED TO MATCH ADJACENT MALL COLOR
6. NEW HOLLOW METAL FRAME & DOOR PAINT TO MATCH ADJACENT MALL COLOR
7. REFRESH EXISTING FIXTURES
8. NEW ILLUMINATED PLASTIC SIGN INTERNALLY LIT, WHITE IV DARK BLUE TEXT
9. NEW PAINTED SIGN, DARK BLUE TEXT
10. NEW FABRIC AWNING COLOR: WHITE
11. PAINT MISC. STEEL (GATES, FENCE, CANOPY) WHITE AT OUTDOOR DISPLAY
12. PAINT METAL CAP FLASHING TO MATCH ADJACENT MALL COLOR
13. EXISTING DOOR & FRAME, PAINTED, COLOR TO MATCH ADJACENT MALL COLOR



A1 FRONT ELEVATION (EAST)
1/16" = 1'-0"

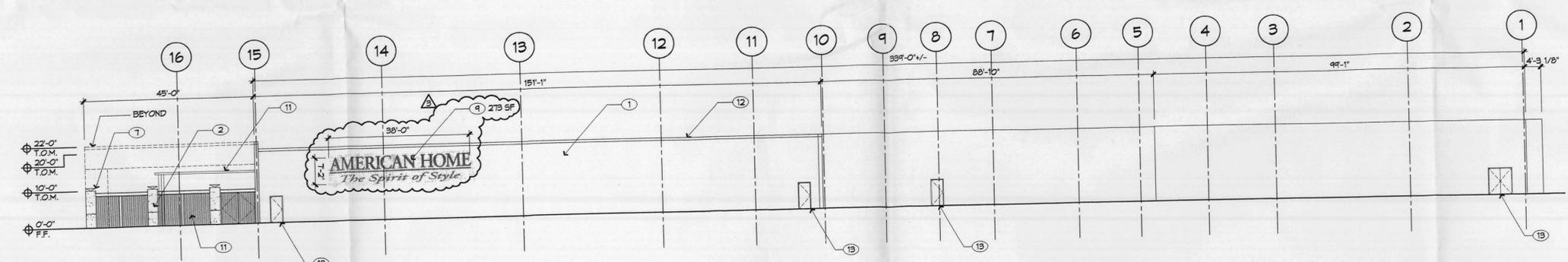
Wall signs shall comply with Sec. 14-1b-2-1b (A)(1)c of the city zoning ordinance



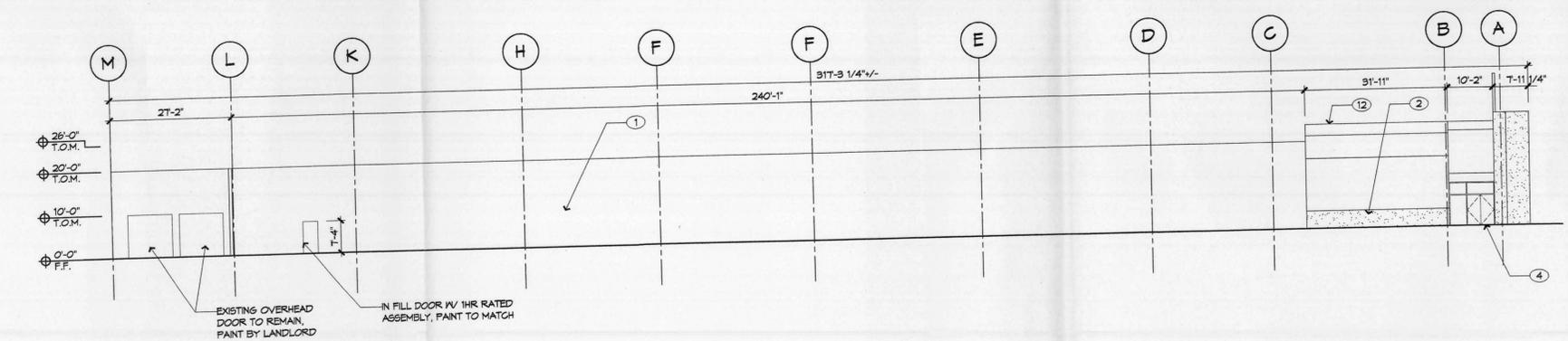
B1 RIGHT ELEVATION (NORTH)
1/16" = 1'-0"



B4 MONUMENT SIGN ELEVATION
1/2" = 1'-0"



C1 REAR ELEVATION (WEST)
1/16" = 1'-0"

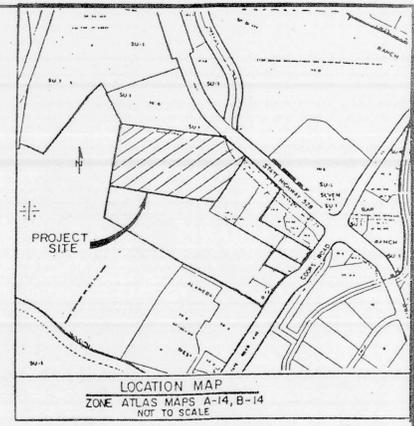
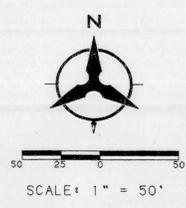


D1 LEFT ELEVATION (SOUTH)
1/16" = 1'-0"

EXISTING OVERHEAD DOOR TO REMAIN, PAINT BY LANDLORD
IN FILL DOOR W/ IRR RATED ASSEMBLY, PAINT TO MATCH

Dekker/Perich/Sabatini
architecture • interiors • planning • engineering

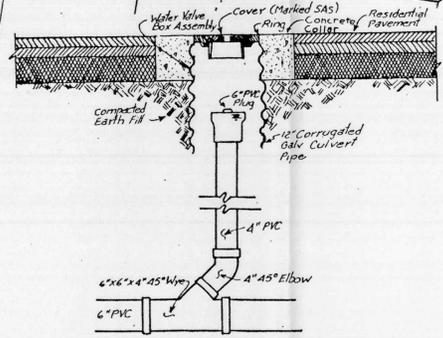
**BUILDING ELEVATIONS AND
MONUMENT SIGN ELEVATIONS**



WAL-MART
 LL-82S-EGR
 87,355 SF
 FF = 30.00

REFER TO ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS AND EARTHWORK AND COMPACTION REQUIREMENTS FOR ALL SLABS AND BUILDING FOUNDATIONS.

- UTILITY NOTES**
1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HERON, BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS PUBLIC WORKS CONSTRUCTION, 1986 EDITION.
 2. ALL LATERALS SHALL TERMINATE 5' FROM THE EXTERIOR OF THE BUILDINGS. FINAL CONNECTIONS SHALL BE MADE BY THE BUILDING CONTRACTOR.
 3. ALL PRIVATE WATERLINES SHALL BE INSTALLED 3' BELOW TOP OF PAVEMENT. WHERE SAS AND WATERLINES CONFLICT, THE WATERLINE SHALL PASS AT LEAST 1" CLEAR, BELOW THE SAS LINE.
 4. ALL WATERLINES AND SEWERLINES SHALL BE BUILT IN CONFORMANCE WITH THE UNIFORM PLUMBING CODE, 1985 EDITION.
 5. PLUMBING CONTRACTOR SHALL DOCUMENT CLEANOUT LOCATIONS PRIOR TO PLACEMENT OF PAVEMENT COURSE FOR USE BY THE PAVING CONTRACTOR.
 6. CLEANOUT BOXES SHALL BE INSTALLED BEFORE ASPHALT SURFACE COURSE. TOP OF BOXES SHALL BE FLUSH WITH THE ASPHALT SURFACE COURSE.
 7. WATER VALVE BOXES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD DRAWING 2325.
 8. SEE ARCHITECTURAL DRAWINGS FOR SPECIFIC LOCATION OF WATER AND SANITARY SEWER CONNECTION POINTS.
 9. ALL SANITARY SEWERLINES SHALL BE SDR 35 PVC.
 10. ALL 6" DIA. WATERLINES SHALL BE C900, CLASS 150 PVC. ALL 2" DIA. WATERLINES SHALL BE SDR 35 PVC.
 11. ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED IN 8" LIFTS TO 95% REL. DENSITY @ OPTIMUM MOISTURE CONTENT.
 12. ALL DIMENSIONS ARE TO CENTERLINE PIPE.
 13. ALL FIRE LINES SHALL BE BURIED 4' BELOW GROUND.
 14. FIRE HYDRANTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD DRAWING 2334.
 15. THE SITEWORK SPECIFICATIONS FOR THIS PROJECT SHALL MEET OR EXCEED THE "WAL-MART STANDARD SITEWORK SPECIFICATIONS".



TYPICAL CLEANOUT IN PAVEMENT
 NOT TO SCALE

NOTE TO SPRINKLER CONTRACTOR CONCERNING WAL-MART BUILDING
 THE WATER PRESSURE AND FLOW CALCULATED AT THE BASE OF THE RISER IS AS FOLLOWS:
 STATIC PRESSURE = 110 psi
 RESIDUAL PRESSURE = 82 psi
 AT 850 gpm FLOW
 THIS INFORMATION FURNISHED BY WAL-MART FOR BUILDING SPRINKLER DESIGN.

NO CHANGES THIS SHEET

PRINTED
 MAY 09 1989

WAL-MART TAX PLAT	
ALBUQUERQUE, NEW MEXICO (NW)	
UTILITY PLAN	
Project No.	
Drawn By:	LAD
Checked By:	DBT
Job No.	88306.14
Sheet	5 of 5
Date:	3-89
Scale:	1" = 50'