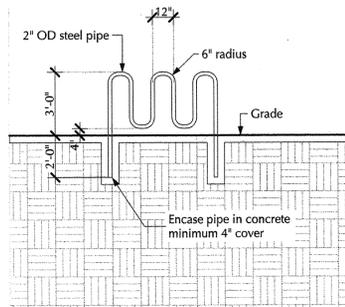


Grandma's Music & Sound

Tract 2-A-2 (A)

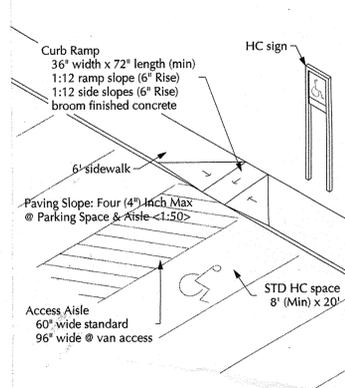
Coors Boulevard NW & Valley View Place NW
Albuquerque, New Mexico 87114



A Bike Rack

1/4"=1'-0"

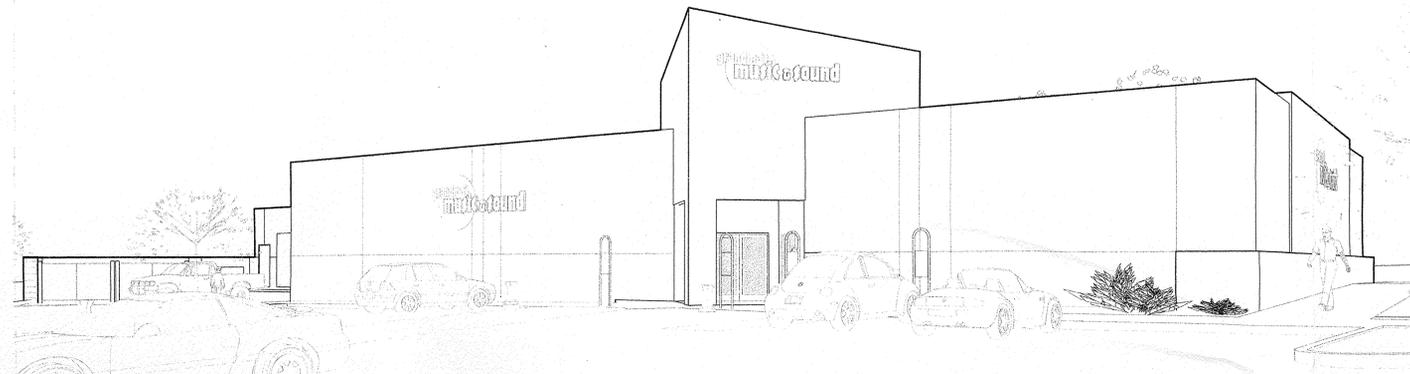
B Project Title



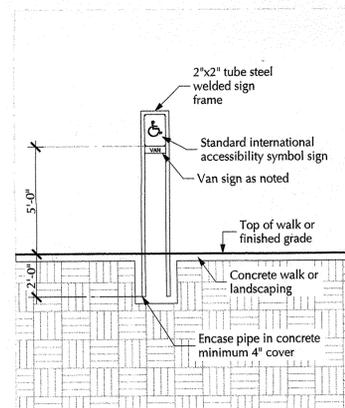
C HC Space

Not To Scale

D Detail Not Used



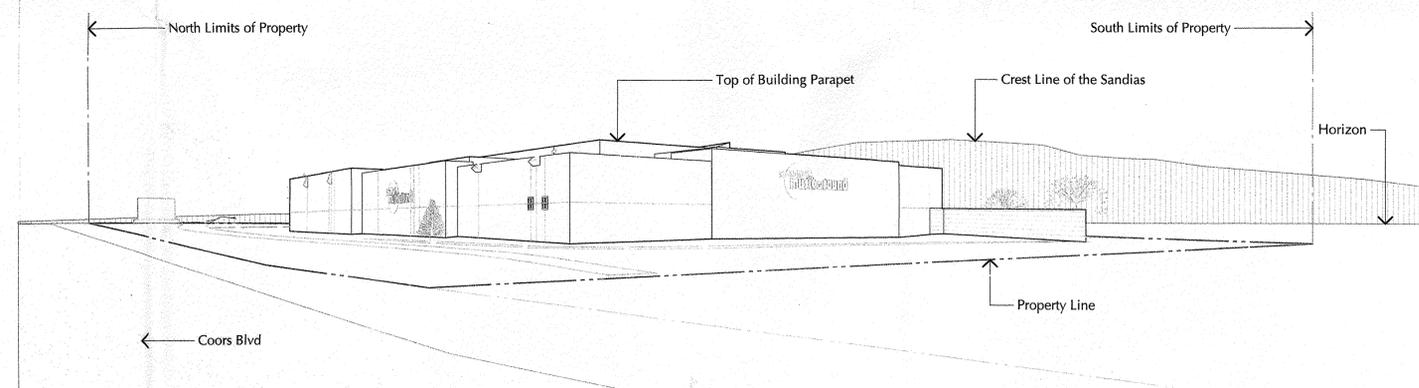
E Project View from Entry (East Side)



F HC Sign Detail

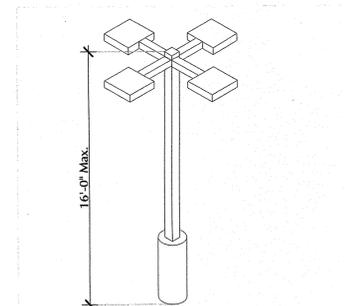
1/4"=1'-0"

G Coors Corridor View Plane Diagram



SDP-1	Cover Sheet
SDP-2	Site Plan
SDP-3	Landscape Plan
SDP-4	Grading Plan
SDP-5	Building Elevations

H Sheet Index



I Light Pole Detail

Not To Scale

J Detail Not Used

Site lighting fixtures at 16'-0" maximum w/ sharp cut-offs. See detail 'I' on sheet SDP-1.

Light levels shall be between 2 footcandles minimum and 16 footcandles maximum.

Building mounted signs shall be limited to 6% of the facade area.

Signage shall be individual channelized letters, metal letters or neon letters at a maximum height of 3'-0".

No pole mounted signage shall be allowed.

Building mounted signage facing residential properties shall not be internally illuminated.

All walls shall follow the City's design guidelines.

The engineer's certification required by the Hydrology section needs to include certification that this site was constructed in accordance with the Traffic Circulation Lay-out (TCL) before C.O. is released.

A blanket cross-access, path and parking easment shall be created on this lot.

K Notes

OWNER

Grandma's Music & Sound
800 S-T Juan Tabo Blvd. NE
Albuquerque, NM 87123
(505) 292-0341, Fax: (505) 293-6184
http://www.grandmas.com
Contact: Micky Patten

ARCHITECT

Schlegel Lewis Architects
1620 Central Ave. SE
Albuquerque, NM 87106
(505) 247-1529, Fax: (505) 243-6701
E-mail: gdi@mac.com
Contact: James Lewis

L Project Team

PLANNER

Consensus Planning
924 Park Avenue SW
Albuquerque, NM 87102
(505) 764-9801
E-mail: strozier@consensusplanning.com
Contact: Jim Strozier

CIVIL ENGINEER

Wilson & Company
2600 American Road, Suite 100
Rio Rancho, NM 87124
(505) 898-8021, Fax: (505) 898-8501
Contact: Sheldon Greer

M Legal Information

PROJECT NUMBER: DRB # 1001206
EPC APPLICATION NUMBER: 01128-00558

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Richard D. Dink 6-18-03
Traffic Engineer, TRANSPORTATION DEPT
Date

Christina Sandoral 6/18/03
PARKS & RECREATION DEPT
Date

Roger A. Haen 6/26/03
UTILITY DEVELOPMENT DEPT
Date

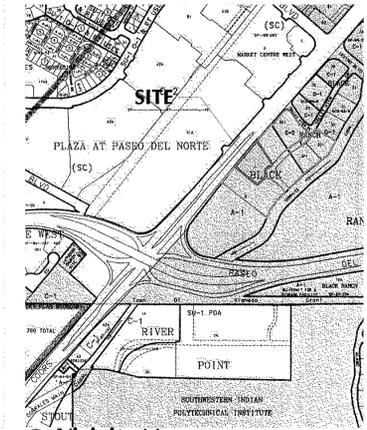
Bradley L. Bigham 6/18/03
City Engineer, ENGINEERING DIV/AMAFCA
Date

Michael Holten 6-20-03
SOLID WASTE DEPT. WILSON & COMPANY
Date

APPROVAL AND CONDITIONAL ACCEPTANCE: As specified by the Development Process Manual.

Sharon M. Nason 6/18/03
Planner
ALBUQUERQUE PLANNING DEPARTMENT

N Approvals



O Vicinity Map

PROJECT DESCRIPTION
A 15,620 SF retail building for musical instruments and live performance equipment

ADDRESS
Coors Blvd NW & Valley View Place NW
Albuquerque, NM 87114

LEGAL DESCRIPTION
TRACT: 2-A-2 (A)
SUBDIVISION: Black Ranch

LAND USE
SU-1 for C-2 and SU-1 for C-1 permissive uses and hotel not to exceed two stories

ZONE ATLAS PAGE
C-13-Z

PARKING

Required (15,208 net SF @ 1 space per 200 SF less 10% bus discount)	69 Spaces
Provided:	
Standard Spaces	65 Spaces
HC Space	4 Spaces
Total	69 Spaces

BICYCLE PARKING

Required (@ 1 space/20 parking spaces)	4 Spaces
Provided:	4 Spaces

LANDSCAPE CALCULATIONS
See Sheet SDP-3 for Landscape Calcs

SITE AREAS

Lot Area:	(1.53 Acres) 65,019 SF
Building Area (gross):	15,620 SF

EPC

AUD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
6-9-03
SHELDON G. GREER



ENGINEER

Schlegel Lewis Architects
1620 Central Ave. SE
Albuquerque, NM 87106
(505) 247-1529
FAX (505) 243-6701
gdi@mac.com

grandma's music & sound
Coors Blvd. & Paseo del Norte NW
Albuquerque New Mexico 87114

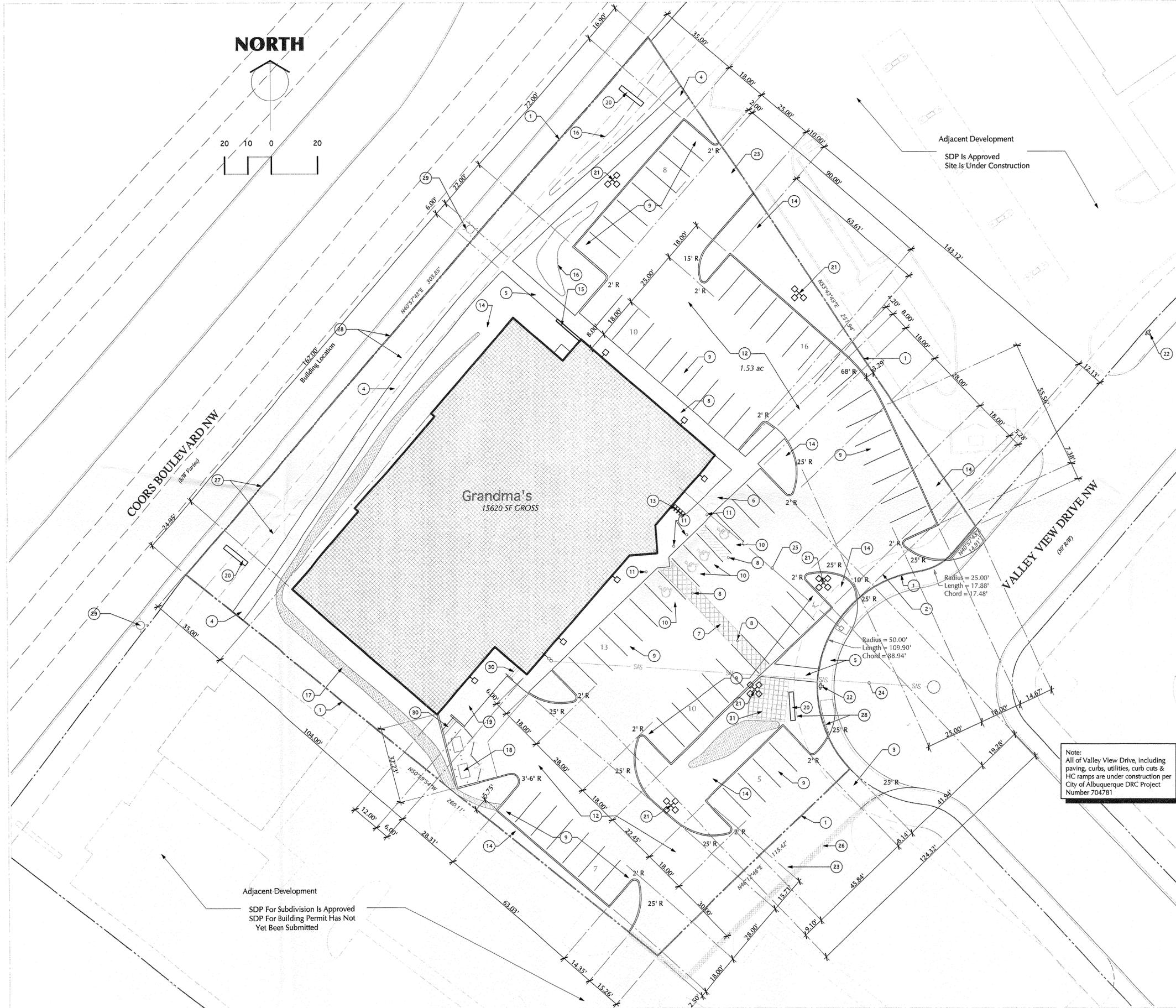
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26 MAR 03

REVISIONS:

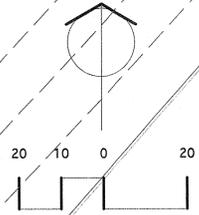
Cover Sheet

PROJECT SHEET
03105 SDP-1
OF 5

1001206/01128-00558



NORTH



COORS BOULEVARD NW
(60' R/W)

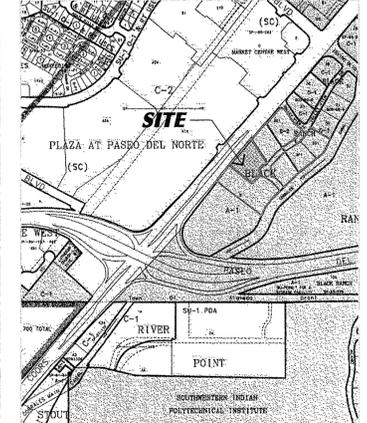
VALLEY VIEW DRIVE NW
(60' R/W)

Grandma's
15620 SF GROSS

Adjacent Development
SDP Is Approved
Site Is Under Construction

Adjacent Development
SDP For Subdivision Is Approved
SDP For Building Permit Has Not
Yet Been Submitted

Note:
All of Valley View Drive, including
paving, curbs, utilities, curb cuts &
HC ramps are under construction per
City of Albuquerque DRC Project
Number 704781



Vicinity Map

- 1 Property Line
- 2 25' Curb Cut
- 3 30' Curb Cut
- 4 6' Meandering Sidewalk
- 5 6' Sidewalk
- 6 8' Sidewalk
- 7 6' Colored & Textured Concrete Path
- 8 Bollards
- 9 Typical Parking Space 9'x20' (18' + 2' Overhang)
- 10 Typical HC Space 8'x20' (18' + 2' Overhang)
- 11 HC Parking Signs with bollard- See Detail 'N' On Sheet SDP-1
- 12 Asphalt Paving
- 13 Bike Rack - See Detail 'A' On Sheet SDP-1
- 14 Landscaping area, see sheet SDP-3
- 15 2' Retaining / 5' Screen Wall
- 16 Landscape Berm - See Detail 'S' On Sheet SDP-3
- 17 Cobbles in Drainage Swale
- 18 Trash Enclosure
- 19 24" High Loading Dock
- 20 Monument Sign, See Detail 'N' on sheet SDP-3
- 21 Light Standard - See Detail 'T' On Sheet SDP- 1
- 22 Fire Hydrant
- 23 Blanket Cross Access Easement
- 24 Sewer Lateral - connect to manhole
- 25 Water Lateral - connect to water main
- 26 Limits of Asphalt
- 27 Drainage and Utility Easement
- 28 10' PUE
- 29 Existing Street Light Pole
- 30 Stairs
- 31 Patio With Required Shading and Seating - 256 SF



ENGINEER

Schlegel Lewis Architects
1620 Central Ave SE
Albuquerque NM 87106
(505) 247-5599
FAX (505) 248-5701
grdmac.com

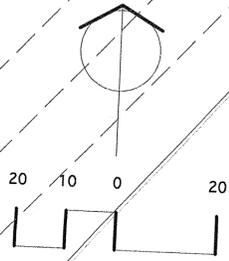
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Grandma's Music & Sound
Coors Blvd. & Paseo del Norte NW
Albuquerque New Mexico 87114

ISSUE DATE:
26 MAR 03
REVISIONS:
03 JUN 03

Site Plan
PROJECT 03.05 SHEET SDP-2 OF 5

NORTH



COORS BOULEVARD NW

VALLEY VIEW DRIVE

Grandma's
15620 SF GROSS

Landscape Berm

Landscape Berm

5376 SF

1414 SF

5713 SF

1.53 ac

2198 SF

74 SF

220 SF

219 SF

523 SF

152 SF

2047 SF

Drainage Swale

PLANT

Symbol

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Ground Cover

- Cr
- Sa
- Sa

Legend

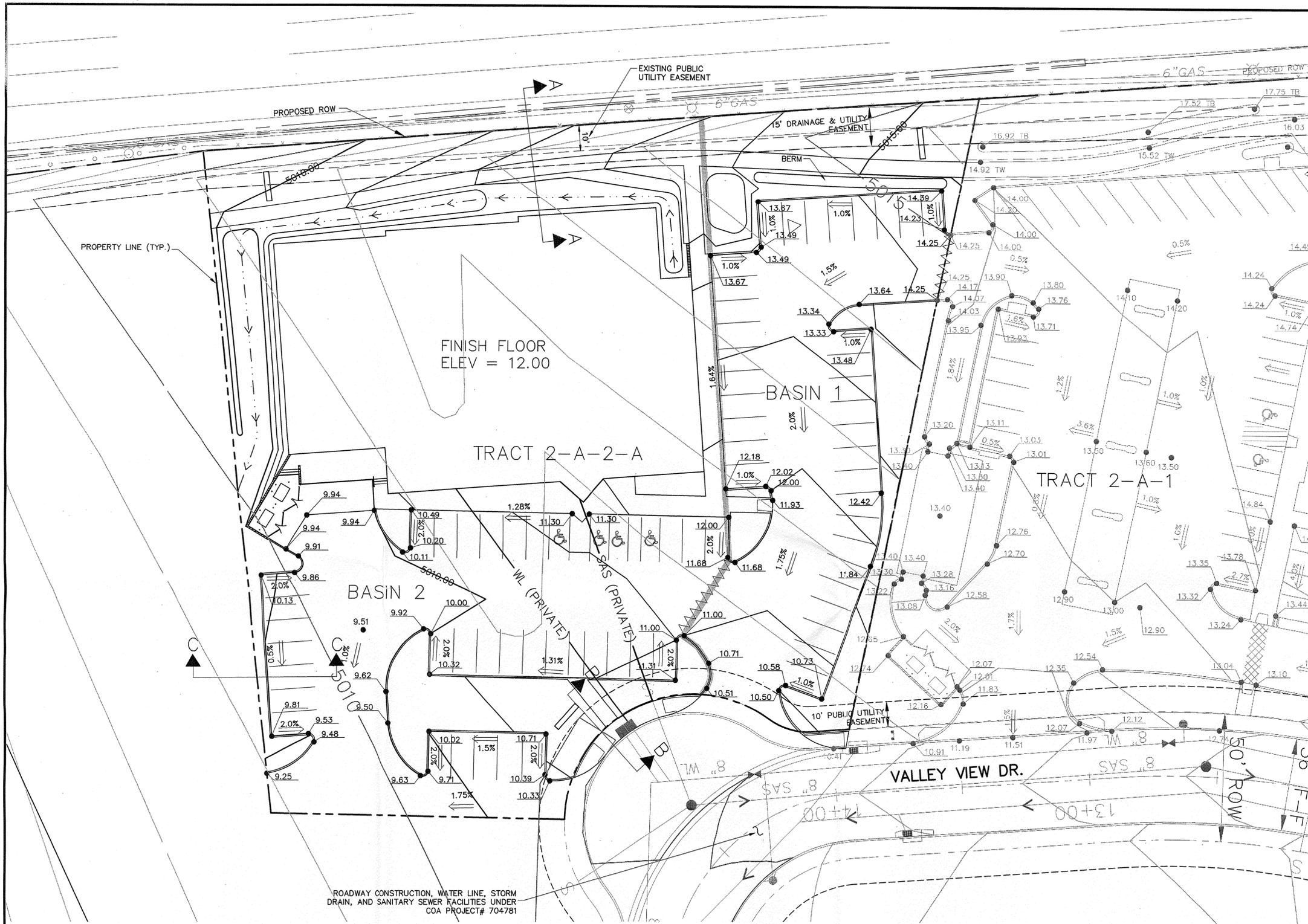


(S) Berm @ Parking

(T) Landscape Plan

(Y) Detail Not Used

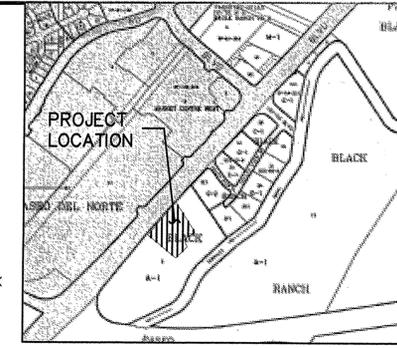
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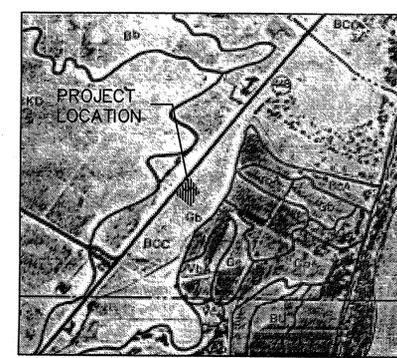
LEGEND

- ← FLOW DIRECTION ARROW
- 5023.0 SPOT ELEVATION
- WL WATER LINE
- SAS SANITARY SEWER
- TW TOP OF SIDEWALK
- SWALE
- WATER BLOCK
- EXISTING FIRE HYDRANT

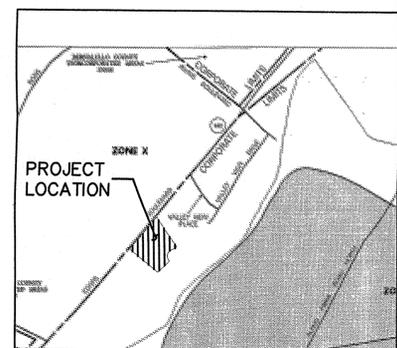
NOTE
 ALL SPOT ELEVATIONS ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTE.
 SLOPE ALL BERMS TO ADJACENT SIDEWALKS AND BACKS OF CURB.



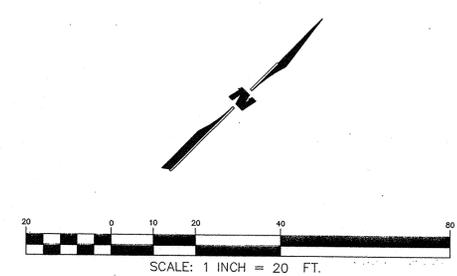
LOCATION MAP
 ZONE ATLAS MAP NO. C-13-Z



SOILS MAP
 REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 10



FLOOD INSURANCE MAP
 REFERENCE: FLOOD INSURANCE STUDY PANEL 116



HYDROLOGY NOTES:

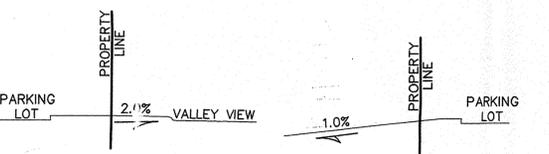
PRECIPITATION ZONE 1

BASIN 1
 TOTAL TRACT AREA = 0.44 AC
 LAND TREATMENT AREAS WITHIN TRACT CONTRIBUTING TO VALLEY VIEW DRIVE N.W.
 15% LAND TREATMENT B = 0.15 AC
 85% LAND TREATMENT D = 0.44 AC
 PEAK DISCHARGE $Q_{p100} - 6 \text{ Hr} = (AREA_B)(Q_B) + (AREA_D)(Q_D) = (0.15 \text{ Ac})(2.03 \text{ cfs/acre}) + (0.44 \text{ Ac})(4.37 \text{ cfs/acre}) = 2.23 \text{ cfs}$

PRECIPITATION ZONE 1

BASIN 2
 TOTAL TRACT AREA = 1.08 AC
 LAND TREATMENT AREAS WITHIN TRACT CONTRIBUTING TO VALLEY VIEW DRIVE N.W.
 15% LAND TREATMENT B = 0.27 AC
 85% LAND TREATMENT D = 1.08 AC
 PEAK DISCHARGE $Q_{p100} - 6 \text{ Hr} = (AREA_B)(Q_B) + (AREA_D)(Q_D) = (0.27 \text{ Ac})(2.03 \text{ cfs/acre}) + (1.08 \text{ Ac})(4.37 \text{ cfs/acre}) = 5.27 \text{ cfs}$

CROSS SECTION A-A
 NOT TO SCALE



CROSS SECTION B-B
 NOT TO SCALE

CROSS SECTION C-C
 NOT TO SCALE

ROADWAY CONSTRUCTION, WATER LINE, STORM DRAIN, AND SANITARY SEWER FACILITIES UNDER COA PROJECT# 704781

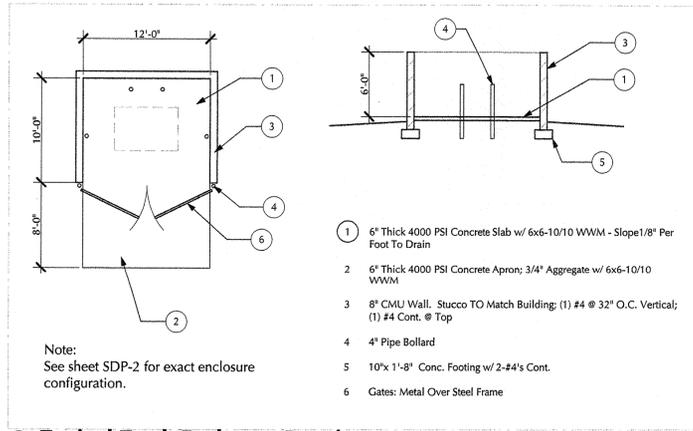
T:\PROJECTS\X3218016\W\SHEETS\GD.DWG

WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-8021

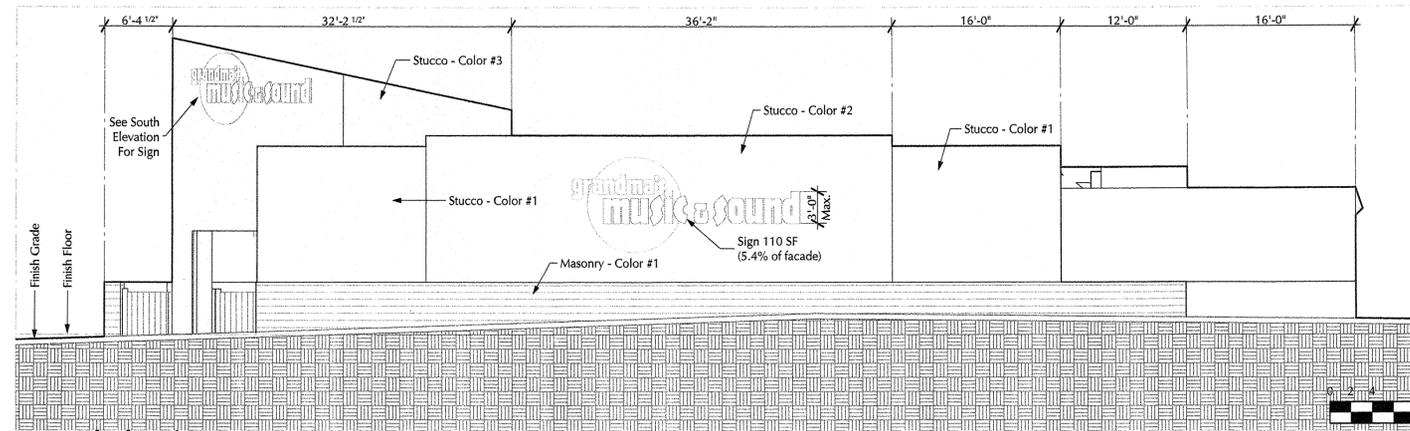
GRANDMA'S
GRADING, DRAINAGE & UTILITY PLAN

REVISIONS	NO.	DATE	REMARKS	BY

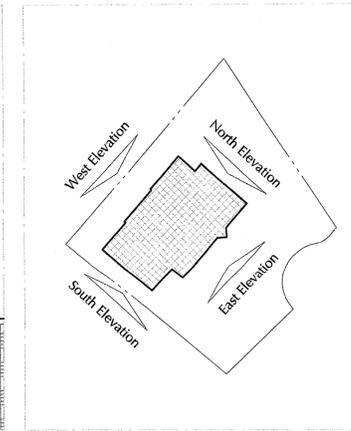
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DRAWN	JDV	PROJECT NO.	N/A	SHEET NO.	1 OF 1
CHECK	xxx				



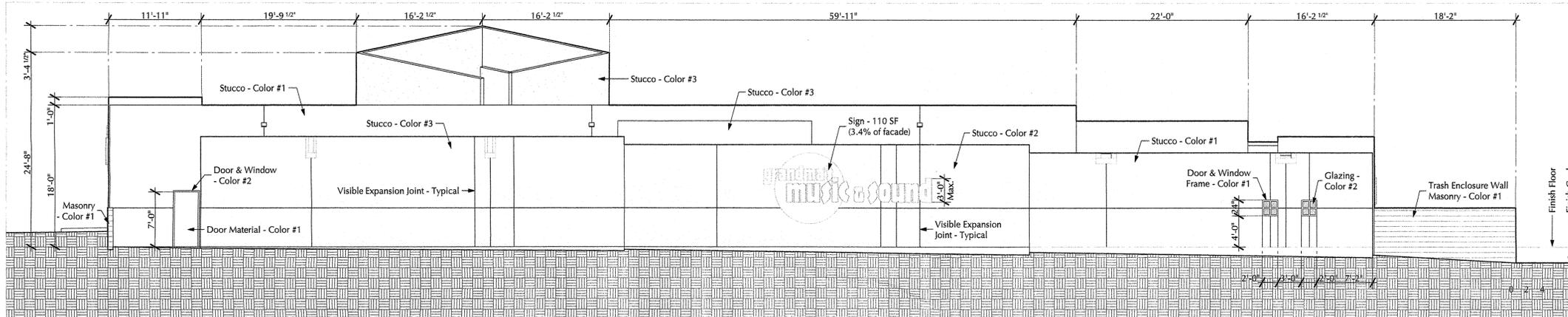
A Typical Trash Enclosure Requirements



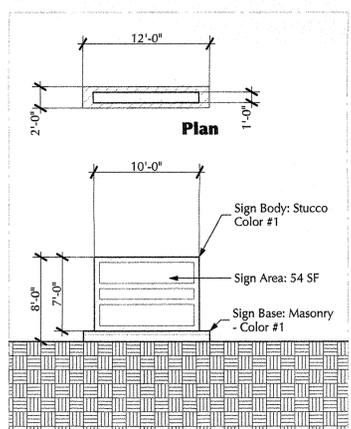
C North Elevation



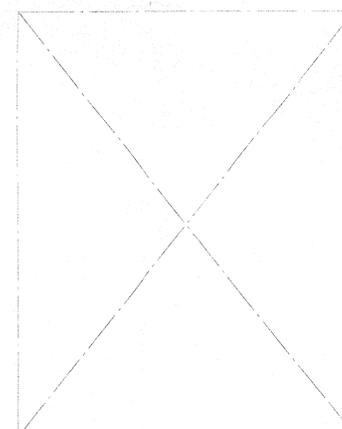
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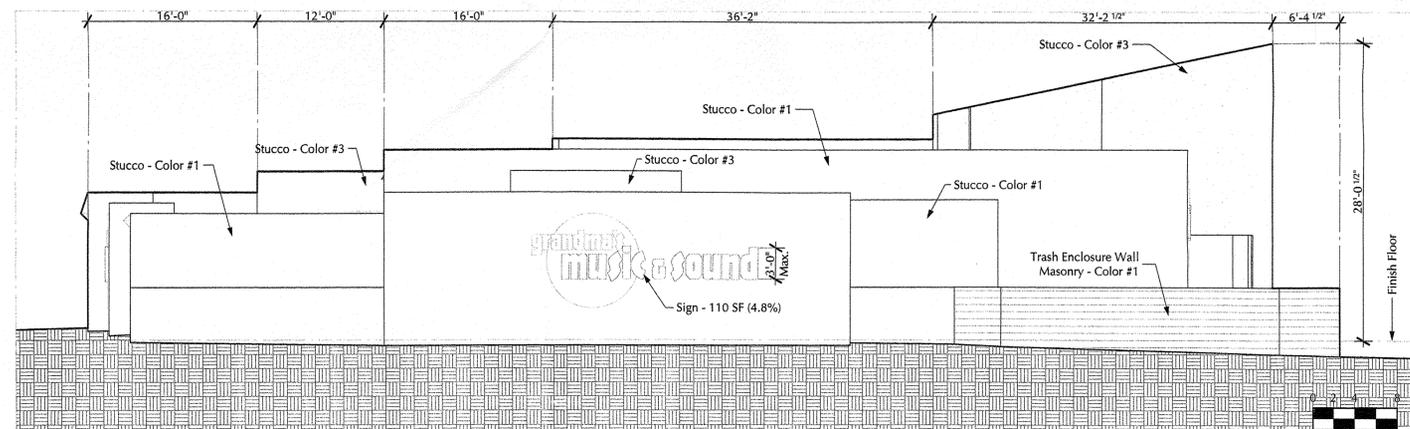
G West Elevation



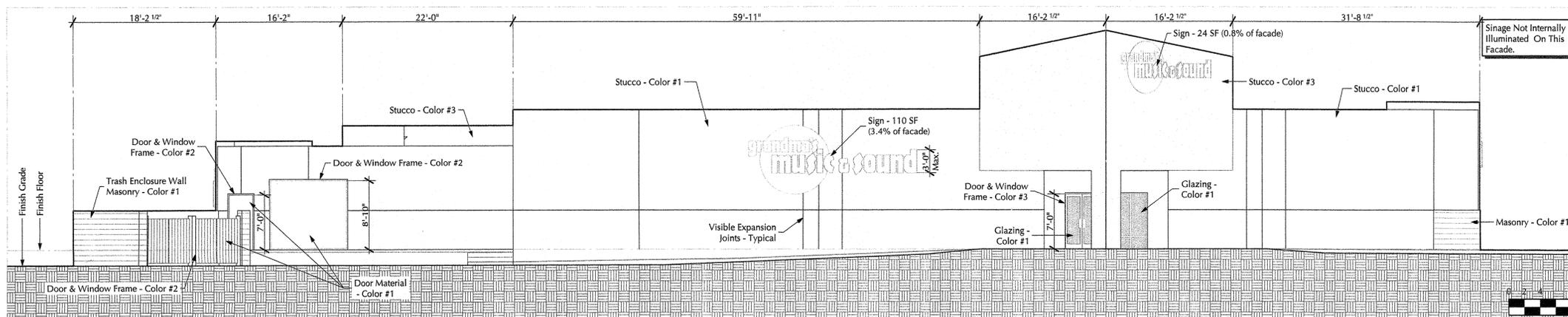
N Monument Sign Elevation



O Detail Not Used



P South Elevation



T East Elevation

STUCCO

- Color 1 Light Beige
- Color 2 Medium Tan
- Color 3 Coral

PAINTED TRIM

- Color 1 Aqua
- Color 2 Red
- Color 3 White

MASONRY

- Color 1 Tan Block

DOOR & WINDOW FRAME

- Color 1 Bronze
- Color 2 Dark Green
- Color 3 Clear Aluminum

DOOR MATERIAL

- Color 1 Light Gray Galvalume
- Color 2 White
- Color 3 Clear Aluminum

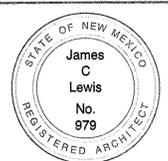
GLAZING

- Color 1 Clear
- Color 2 Tinted

SIGNAGE

- Typical Illuminated Plastic Channel Letters

Z Colors & Finishes



ENGINEER



Schigel Lewis Architects, Inc.
 1620 Central Ave SE
 Albuquerque NM 87106
 (505) 247-5299
 FAX (505) 243-6701
 gifa@mac.com

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grandma's music & sound
 Coors Blvd. & Paseo del Norte NW
 Albuquerque New Mexico 87114

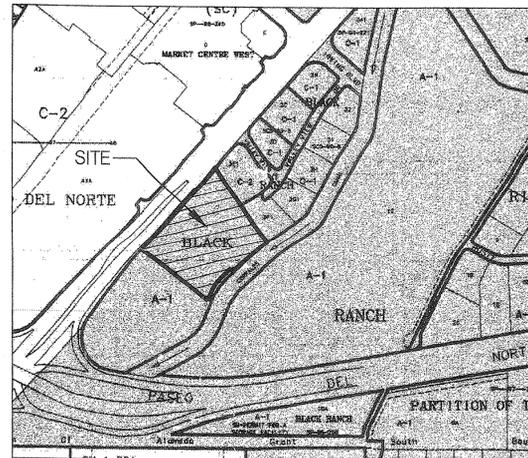
ISSUE DATE:
26 MAR 03

REVISIONS:

Elevations

PROJECT 03.05 SHEET SDP-5 OF 5

SITE VICINITY



ZONE ALTAS C-13-Z

1 Site Plan for Subdivision Amendment

Project # 1001206
EPC #
DRB #

Sharon Matson	6/27/03
Planning Department	Date
Richard Dault	6-18-03
Transportation Development	Date
Buddy L. Bigham	6/18/03
City Engineer	Date
Roger A. Green	6/26/03
Utility Development	Date
Christine Sandoval	6/18/03
Parks and Recreation Department	Date

COORS BOULEVARD N.W. (NEW MEXICO STATE HIGHWAY NO. 448)
(150' R-O-W)

AMAFCA TRACT (NOT A PART)

TRACT 2-B
6.8009 Ac.
ZONED: RO-1

EXISTING ACCESS EASEMENT TO BE VACATED (SEE PLAT)

PASEO DEL NORTE N.W.

CORRALES MAIN CANAL (100' R-O-W)

APPROVALS

Project #1001206	
EPC Application #02EPC-01341	
DRB Application #03DRB-00085	
Sharon Matson	1/29/03
Planning Department	Date
Richard Dault	6-18-03
Transportation Development	Date
Buddy L. Bigham	1/29/03
City Engineer	Date
Roger A. Green	1/29/03
Utility Development	Date
Christine Sandoval	1/29/03
Parks & Recreation Department	Date

EXISTING OFF-PREMISE SIGN TO REMAIN

ZONED: SU-1/C-2
TRACT 3E-1
1.3735 Ac.

TRACT 2A
1.52 Ac.

50' PUBLIC ROADWAY, SANITARY SEWER AND WATER EASEMENT, GRANTED BY BULK LAND PLAT FOR TRACTS 2-A AND 2-B

TRACT 3F-1
0.9660 Ac.
ZONED: O-1

TRACT 2-A-2 (A)
1.53 Ac.

TRACT 2C
1.01 Ac.

TRACT 2-A-2 (B)
.94 Ac.

TRACT 2-A-2 (C)
1.1 Ac.

3/27/03 Amendment creates three separate tracts from Tract 2-A-2.

ZONED: SU-1 FOR C-1 PERMISSIVE USES AND HOTEL NOT TO EXCEED 2-STORIES, AND RESTAURANTS WITH FULL SERVICE LIQUOR.

Note "A"
Existing Ingress/Egress Easement granted to A.M.A.F.C.A. by plat filed April 30, 2003 Book 2003C, page 115. Maintenance of said easement to be the responsibility of A.M.A.F.C.A. (cross hatched area)

TRACT 12
BLACK RANCH
EXISTING ZONING: COUNTY A-1

SITE DEVELOPMENT PLAN FOR SUBDIVISION: REQUIRED INFORMATION

THE SITE: The site now consists of 1 existing lot containing approximately 6.3519 acres.

PROPOSED USE: The zoning for the tract is SU-1 for C-1 Permissible Uses and Hotel not to exceed 2-Stories, and Restaurants w/Full Service Liquor. C-1 zones provide suitable sites for office, service, institutional, and limited commercial uses to satisfy the day-to-day needs of residential areas. SU-1 zones provide suitable sites for uses which are special because of infrequent occurrence, effect on surrounding property, safety, hazard, or other reasons, and in which the appropriateness of the use to a specific location is partly or entirely dependent on the character of the site design.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: Pedestrian and vehicular ingress and egress shall be on Valley View drive and the future connection to Tract 12 to the east. No direct vehicular access shall be permitted from Coors Boulevard pursuant to the Coors Corridor Plan. Pedestrian connection to Coors Boulevard and the new sidewalk on Valley View Drive shall be determined in accordance with these Design Guidelines (Sheet 2) and with the individual Site Plans for Building Permit. A pedestrian/bicycle access to the Corrales Main Canal shall be provided from Tract 2C.

INTERNAL CIRCULATION REQUIREMENTS: Internal circulation shall be developed in accordance with the existing and proposed rights-of-way or access easements. Internal parking, drive aisle, and pedestrian facilities shall be in accordance with these Design Guidelines (Sheet 2) and pursuant to an approved Site Development Plan for Building Permit. A cross access agreement shall be provided.

BUILDING HEIGHTS AND SETBACKS: Pursuant to the Design Guidelines (Sheet 2).

MAXIMUM F.A.R.: Maximum F.A.R. shall be .35.

LANDSCAPE PLAN: A Conceptual Landscape Plan shall be developed in accordance with the Site Plan for Building Permit and consistent with the landscaping and screening requirements included in the Design Guidelines (Sheet 2).

PROJECT # 1001206 DRB 02400-00420
EPC 01128-00558

APPROVALS

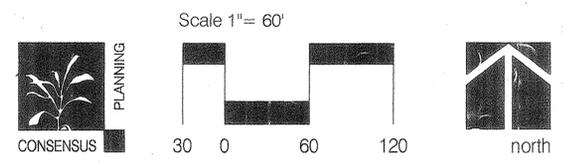
Janet 35	6/11/02	6-11-02
Planning Director	Date	
Mike S. [Signature]	6/7/02	
Transportation Development	Date	
Buddy L. Bigham	4/3/02	
City Engineer/AMAFCA	Date	
Roger A. Green	6/11/02	
Utility Development	Date	
Deanne E. [Signature]	4/2/02	
Parks and Recreation Department	Date	

Amended
Site Plan for Subdivision
Tract 2A

BLACK RANCH

Prepared for:
Black Development Two, LLC
3813 NM State Road 528 NW
Albuquerque, NM 87114

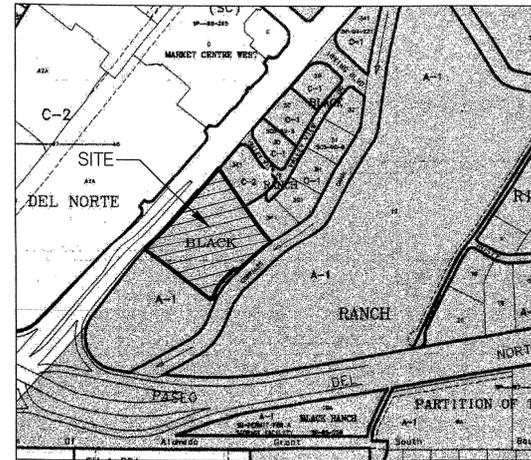
Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102



March 25, 2002 / Revised June 3, 2002

Sheet 1 of 2
Amendment June 5, 2003

SITE VICINITY



ZONE ALTAS C-13-Z

THE PLAZA AT PASEO DEL NORTE

COORS BOULEVARD N.W. (NEW MEXICO STATE HIGHWAY NO. 448)

(150' R-O-W)

AMAFCA TRACT (NOT A PART)

TRACT 2-B
6.8009 Ac.
ZONED: R0-1

EXISTING ACCESS EASEMENT TO BE VACATED (SEE PLAT)

PASEO DEL NORTE N.W.

CORRALES MAIN CANAL (100' R-O-W)

TRACT 12
BLACK RANCH
EXISTING ZONING: COUNTY A-1

APPROVALS

Project #1001206	
EPC Application #02EPC-01341	
DRB Application #03DRB-00085	
<i>Sheran Matson</i>	1/29/03
Planning Department	Date
<i>Richard D. Dault</i>	1-29-03
Transportation Development	Date
<i>Bruce L. Bigham</i>	1/29/03
City Engineer	Date
<i>Roger A. Green</i>	1/29/03
Utility Development	Date
<i>Christina Sandoval</i>	1/29/03
Parks & Recreation Department	Date

SITE DEVELOPMENT PLAN FOR SUBDIVISION:
REQUIRED INFORMATION

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PROPOSED USE: The zoning for the tract is SU-1 for C-1 Permissible Uses and Hotel not to exceed 2-Stories, and Restaurants w/Full Service Liquor. C-1 zones provide suitable sites for office, service, institutional, and limited commercial uses to satisfy the day-to-day needs of residential areas. SU-1 zones provide suitable sites for uses which are special because of infrequent occurrence, effect on surrounding property, safety, hazard, or other reasons, and in which the appropriateness of the use to a specific location is partly or entirely dependent on the character of the site design.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: Pedestrian and vehicular ingress and egress shall be on Valley View drive and the future connection to Tract 12 to the east. No direct vehicular access shall be permitted from Coors Boulevard pursuant to the Coors Corridor Plan. Pedestrian connection to Coors Boulevard and the new sidewalk on Valley View Drive shall be determined in accordance with these Design Guidelines (Sheet 2) and with the individual Site Plans for Building Permit. A pedestrian/bicycle access to the Corrales Main Canal shall be provided from Tract 2C.

INTERNAL CIRCULATION REQUIREMENTS: Internal circulation shall be developed in accordance with the existing and proposed rights-of-way or access easements. Internal parking, drive aisle, and pedestrian facilities shall be in accordance with these Design Guidelines (Sheet 2) and pursuant to an approved Site Development Plan for Building Permit. A cross access agreement shall be provided.

BUILDING HEIGHTS AND SETBACKS: Pursuant to the Design Guidelines (Sheet 2).

MAXIMUM F.A.R.: Maximum F.A.R. shall be .35.

LANDSCAPE PLAN: A Conceptual Landscape Plan shall be developed in accordance with the Site Plan for Building Permit and consistent with the landscaping and screening requirements included in the Design Guidelines (Sheet 2).

PROJECT # 1001206 DRB 02500-0042D
EPC 01128-00558

APPROVALS

<i>Jan 25</i>	6/11/02	6-11-02
Planning Director	Date	
<i>Mike S. [Signature]</i>	6/7/02	
Transportation Development	Date	
<i>Bruce L. Bigham</i>	4/3/02	
City Engineer/AMAFCA	Date	
<i>Roger A. Green</i>	6/11/02	
Utility Development	Date	
<i>Deanne E. [Signature]</i>	4/2/02	
Parks and Recreation Department	Date	

Amended
Site Plan for Subdivision
Tract 2A

BLACK RANCH

Prepared for:
Black Development Two, LLC
3813 NM State Road 528 NW
Albuquerque, NM 87114

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

Scale 1" = 60'

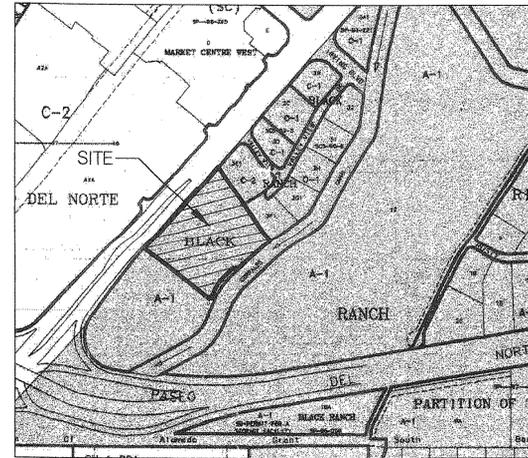


March 25, 2002 / Revised June 3, 2002

Sheet 1 of 2

Amendment August 28, 2002

SITE VICINITY



ZONE ALTAS C-13-Z

1 Site Plan for Subdivision Amendment

Project # 1001206
EPC #
DRB #

Planning Department	Date
Transportation Development	Date
City Engineer	Date
Utility Development	Date
Parks and Recreation Department	Date

COORS BOULEVARD N.W. (NEW MEXICO STATE HIGHWAY NO. 448)
(150' R-O-W)

PASEO DEL NORTE N.W.

AMAFCA TRACT (NOT A PART)

TRACT 2-B
6.8009 Ac.
ZONED: R0-1

EXISTING ACCESS EASEMENT TO BE VACATED (SEE PLAT)

EXISTING 10' PUBLIC UTILITY EASEMENT TO BE VACATED (SEE PLAT)

Amendment creates three separate tracts from Tract 3/27/03 2B.

ZONED: SU-1 FOR PERMISSIVE USES, AND HOTEL AND RESTAURANTS EXCEED 2-STORIES, AND RESTAURANTS WITH FULL SERVICE LIQUOR.

TRACT 2-A-2 (B)
.80 Ac.

TRACT 2-A-2 (A)
1.53 Ac.

TRACT 2-A-2 (C)
1.21 Ac.

10' PUBLIC UTILITY EASEMENT GRANTED 11/30/00 IN BOOK A-12, PAGE 8738

50' PUBLIC ROADWAY, SANITARY SEWER AND WATER EASEMENT, GRANTED BY BULK LAND PLAT FOR TRACTS 2-A AND 2-B

TRACT 2A
1.52 Ac.

EXISTING OFF-PREMISE SIGN TO REMAIN

TRACT 3E-1
1.3735 Ac.

ZONED: SU-1/C-2

50' PERMANENT EASEMENT FOR PUBLIC ROADWAY, SANITARY SEWER AND WATERLINES FILED MAY 2, 2002 IN BOOK A35, PAGE 7258

TRACT 3F-1
0.9660 Ac.

50' PUBLIC SANITARY SEWER AND WATER EASEMENT FILED APRIL 16, 2002 IN BOOK A34, PAGE 8282

ZONED: O-1

TRACT 2C
1.01 Ac.

10' PUBLIC UTILITY EASEMENT GRANTED BY BULK LAND PLAT FOR TRACTS 2-A AND 2-B

TRACT 12
BLACK RANCH

EXISTING ZONING: COUNTY A-1

APPROVALS

Project #1001206	
EPC Application #02EPC-01341	
DRB Application #03DRB-00085	
<i>Sheran Matson</i>	1/29/03
Planning Department	Date
<i>Rhobert Dard</i>	1-29-03
Transportation Development	Date
<i>Bradley L. Bigham</i>	1/29/03
City Engineer	Date
<i>Roger A. Green</i>	1/29/03
Utility Development	Date
<i>Christina Sandoval</i>	1/29/03
Parks & Recreation Department	Date

SITE DEVELOPMENT PLAN FOR SUBDIVISION:
REQUIRED INFORMATION

THE SITE: The site now consists of 1 existing lot containing approximately 6.3519 acres.

PROPOSED USE: The zoning for the tract is SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-Stories, and Restaurants w/Full Service Liquor. C-1 zones provide suitable sites for office, service, institutional, and limited commercial uses to satisfy the day-to-day needs of residential areas. SU-1 zones provide suitable sites for uses which are special because of infrequent occurrence, effect on surrounding property, safety, hazard, or other reasons, and in which the appropriateness of the use to a specific location is partly or entirely dependent on the character of the site design.

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INTERNAL CIRCULATION REQUIREMENTS: Internal circulation shall be developed in accordance with the existing and proposed rights-of-way or access easements. Internal parking, drive aisle, and pedestrian facilities shall be in accordance with these Design Guidelines (Sheet 2) and pursuant to an approved Site Development Plan for Building Permit. A cross access agreement shall be provided.

BUILDING HEIGHTS AND SETBACKS: Pursuant to the Design Guidelines (Sheet 2).

MAXIMUM F.A.R.: Maximum F.A.R. shall be .35.

LANDSCAPE PLAN: A Conceptual Landscape Plan shall be developed in accordance with the Site Plan for Building Permit and consistent with the landscaping and screening requirements included in the Design Guidelines (Sheet 2).

PROJECT # 1001206 DRB 02500-0042D
EPC 01128-00558

APPROVALS

<i>Jan 35</i>	6/11/02	6-11-02
Planning Director	Date	
<i>Miguel M. Lopez</i>	6/7/02	
Transportation Development	Date	
<i>Bradley L. Bigham</i>	4/3/02	
City Engineer/AMAFCA	Date	
<i>Roger A. Green</i>	6/11/02	
Utility Development	Date	
<i>Adriana E. Cardenas</i>	4/2/02	
Parks and Recreation Department	Date	

Amended
Site Plan for Subdivision
Tract 2A

BLACK RANCH

Prepared for:
Black Development Two, LLC
3813 NM State Road 528 NW
Albuquerque, NM 87114

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

Scale 1" = 60'



March 25, 2002 / Revised June 3, 2002

Sheet 1 of 2

Amendment March 27, 2003

DESIGN GUIDELINES

INTRODUCTION

The purpose of these Design Guidelines is to provide a framework to assist developers and designers in understanding the developers' goals and objectives for high quality development within Tracts 2A, 2B, and 2C. Where there is conflict between these guidelines and City regulations, the more restrictive shall apply.

The design guidelines include the following elements:

- STREETScape
- LANDSCAPE
- SETBACKS
- SITE PLANNING/ARCHITECTURE
- SIGNAGE
- LIGHTING

These design guidelines are organized into two separate categories:

1) standards (those which are required); and 2) guidelines (those which are encouraged but not required).

STREETScape

The intent of these guidelines is to create a visually attractive and inviting streetscape for residents and visitors to the area. The effective use of screening devices at service functions such as parking lots, loading areas, refuse collection, and delivery/storage areas is essential in order to limit their adverse visual impact on surrounding developments and to create a pleasing streetscape environment. The guidelines established in the landscape and setback sections will provide the primary means to screening objectionable views and activities.

Standards

- Pedestrian links between parking areas and buildings shall be clearly visible and highlighted with signage and contrasting textured paving material.

- A difference in paving material, color, or pattern shall be provided at entry drive crosswalks to bring both visual and tactile attention to crosswalks for improved pedestrian safety (painted asphalt crosswalks are prohibited).

- Pedestrian pathways shall be provided to connect buildings on-site and to the adjacent streets. Trees shall be provided along pathways at an average spacing of 30 feet on center in 5-foot x 5-foot planters.

- Pedestrian pathways, at a minimum, shall be 10-feet wide where there is overlapping parking (2' overhang) on two sides; 8-feet wide where there is overlapping parking on one side; and 6-feet wide where there is no adjacent overlapping parking.

- All pedestrian pathways (sidewalks and trails) shall be designed to be accessible to the handicapped (see Americans with Disabilities Act criteria for barrier free design).

Guidelines

- Parking provided adjacent to Coors Boulevard and Valley View Drive shall be screened by short walls (approximately 3-feet high) or buildings.

LANDSCAPE

The landscape guidelines are intended to assist property owners in the development of an attractive streetscape and to help buffer non-residential uses from future residential uses. The landscape concept should provide a strong unifying element for the area. The plant materials selected should primarily be water conservative species. Landscape plans should employ xeriscape design principles. These guidelines are to be used as a supplement to the requirements in the City Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

Standards

Landscape Buffers

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between commercial and the residential uses to the east. A minimum 10-foot landscaped buffer is required adjacent to the residential zoning. This buffer shall be accommodated on the commercial site.

- Landscape buffers shall consist primarily of evergreen trees (to maintain its screening ability on a year-round basis) that must be at least 8 feet tall when planted and be capable of reaching a mature height of 25 feet. Trees shall be spaced at a maximum of 25 feet on center.

Frequency of Plantings, Installation, and Size

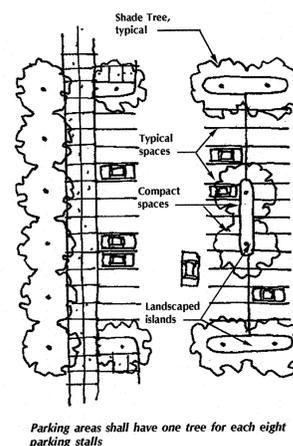
- Street trees in accordance with Albuquerque City Code section 6-6-2-5 shall be provided along Coors Boulevard.

- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each eight parking stalls with no stall being more than 70 feet from a tree trunk. A minimum of 75 percent of the required parking area trees shall be deciduous and have a mature canopy of at least 25 feet.

- A minimum of 15 percent of the site area (excluding the building square footage) shall be devoted to landscape materials, with an emphasis placed on streetside exposure.

- High water use turf grass areas shall not comprise greater than 20 percent of the landscape area. Turf grass shall not be planted on slopes greater than 4:1 to prevent water waste.

- No turf shall be planted within 8 feet from the curb within the public right-of-way in order to avoid overspraying into the street. Turf areas within parking lots shall be a minimum of 15 feet in any dimension.



- Landscape areas shall be a minimum of 36 square feet and a minimum width of 6 feet.
- Seventy-five percent of the required landscape area shall be covered with living vegetative materials. The calculation to determine the landscaped area shall be based on the mature canopy size of all plant materials.
- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, or similar material that extends completely under the plant material.
- Disturbed or man-made slopes shall receive erosion control by use of plant material, revegetative seed mix, or similar landscape treatment which prevents soil erosion.
- An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers should be 6" x 6" concrete, brick, or steel construction, or other material compatible with the landscape concept.

Suggested Plant Palette

The suggested plant materials for this project were selected based on qualities such as cold hardiness, fast growth rate, minimal maintenance requirements, water conservation, and aesthetic appeal.

Street Trees

Fraxinus spp.	Ash varieties
Pinus nigra	Austrian Pine
Pistachia chinensis	Chinese Pistache
Prunus spp.	Flowering Plum varieties

General Use Plant Materials

Trees

Chilopsis linearis	Desert Willow
Chitalpa tashkentensis	Chitalpa
Cupressocyparis leylandii	Leyland Cypress
Forestiera neomexicana	New Mexico Olive
Fraxinus spp.	Ash varieties
Gleditsia spp.	Honey Locust varieties
Koeleruteria paniculata	Goldenrain Tree
Pinus edulis	Pinon Pine
Pinus nigra	Austrian Pine
Platanus acerifolia	London Planetree
Pyrus calleryana	Ornamental Pear
Vitex agnus - castus	Chaste Tree

Shrubs, Groundcovers, Flowers, and Vines

Artemisia filifolia	Sand Sage
Artemisia tridentata	Big Leaf Sage
Baccharis pilularis	Dwarf Coyotebush
Berberis thunbergii	Japanese Barberry
Caesalpinia gilliesii	Bird of Paradise
Caryopteris clandonensis	Blue Mist
Chrysothamnus nauseosus	Chamisa
Clematis ligusticifolia	Western Virginsbower
Cotoneaster spp.	Cotoneaster varieties
Dalea spp.	Dalea varieties
Hesperaloe parviflora	Red Yucca
Juniperus chinensis spp.	Juniper varieties
Juniperus horizontalis spp.	Juniper varieties
Juniperus sabinia spp.	Juniper varieties
Lonicera japonica 'Halliana'	Hall's Honeysuckle
Parthenocissus inserta	Virginia Creeper
Perovskia atriplicifolia	Russian Sage
Photinia fraseri	Photinia
Potentilla fruticosa	Shrubby Cinquefoil
Raphiolepis indica	India Hawthorn
Rhus trilobata	Threeleaf Sumac
Rosmarinus officinalis	Rosemary
Salvia greggii	Cherry Sage

Ornamental Grasses

Miscanthus sinensis	Maiden Grass
Muhlenbergia spp.	Muhly Grass
Pennisetum spp.	Fountain Grass
Stipa tenuissima	Threadgrass

Lawn Grasses

Buchloe dactyloides	Buffalo Grass
Bouteloua gracilis	Blue Grama
Festuca spp.	Tall Fescue varieties
Poa spp.	Kentucky Bluegrass varieties

SETBACKS

The use of building and parking area setbacks provides space for the creation of visually attractive streetscapes and will help ensure the project's aesthetic appeal. Areas within these setbacks shall include pedestrian walkways, screening elements, and landscaping.

Standards

Building setbacks

- 10-feet from the right-of-way line of roadways
- 10-feet from the property line of an adjacent commercial or office zone

Parking Area Setbacks

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 10-feet from the right-of-way line of roadways
- All parking surfaces facing streets shall be screened with a minimum of a 30-inch wall or landscape berm so that parking grills and headlights are shielded from the right-of-way.

SITE PLANNING/ARCHITECTURE

Site Planning

In order to encourage a pedestrian-friendly environment within the development, special attention should be paid to the relationship between buildings and streets. Pedestrian activity is encouraged where pedestrian connections between the structures and the street are clearly identified and inviting.

Standards

- Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to pedestrian pathways.

- Sidewalks along the entry facade of all buildings shall be 15 feet wide with a minimum 6 foot wide clear path. Walkways shall be covered with portals, canopies and/or shade trees (25 foot average spacing in 5 foot by 5 foot planters).

- The maximum number of parking spaces shall be the minimum number required by the Zoning Code plus 10 percent.

- Parking areas shall be broken up through the use of convenient and logical pedestrian connections.

- Entryways shall be clearly defined and linked to the pedestrian pathways.

- Drive-thru facilities shall be designed so that they do not interfere with main pedestrianways or create conflicts between pedestrians and vehicles.

- No refuse collection areas shall be allowed between any street and building front. All refuse containers shall be screened within a minimum of a 6 foot tall enclosure that is large enough to contain all refuse generated between collections. The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.

- Parking areas shall be screened from adjacent streets and properties by providing a landscape strip between parking lots and public rights-of-way. The landscape strip shall be a minimum of 10 feet in width and shall be designed with a combination of plant materials, walls or fences, and/or earthen berming. Such screening shall have a minimum height of 3 feet.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or plant materials when viewed from the public right-of-way. Screening materials shall not limit access for maintenance purposes by utility companies.

- The heated enclosure for above-ground back flow prevention devices shall be constructed of materials compatible with the architectural materials used for the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or plant materials.

- There shall be a minimum 6-foot high, solid wall along the eastern edge of the subject site.

Architectural

Specific architectural style shall not be dictated. The design should demonstrate a high quality aesthetic character throughout the site. Architectural design should respond to local climate, views, solar access, and aesthetic considerations.

Standards

- The following uses are prohibited: adult amusement establishments, night clubs, outdoor equipment and/or maintenance yards.

- Buildings and structures shall comply with all City Zoning and Building Codes.

- The maximum building height for commercial and office uses shall be 32-feet, however, building heights shall be in accordance with the Coors Corridor Plan view corridor restrictions.

- Building design and construction should be used to create a structure that is attractive on all sides, rather than placing all emphasis on the front elevation of the structure. Finished building materials shall be applied to all exterior sides of buildings and structures.

- Businesses with drive-thru facilities shall provide canopies which are architecturally tied to the building.

- Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of compatible design and materials.

- All rooftop equipment shall be screened from the public view by materials of the same nature as the basic materials of the building. The building parapet shall be the same height or taller than all rooftop equipment.

- Pre-engineered metal buildings with masonry or equivalent skin applied to facades are prohibited.

- Design elements that are undesirable and prohibited include:

- Highly reflective surfaces
- Exposed, untreated precision block walls
- Chain link fencing, barbed wire, or concertina wire
- Attached mansard roofs on small portions of the roofline
- Corrugated metal (metal roofs are exempt)
- Plastic/vinyl facias or awnings
- Plastic/vinyl fencing

- Streetside facades shall have varied setbacks with wall planes not running in one continuous direction for more than 100-feet without a change in architectural treatment. The staggering of planes is important to create pockets of light and shadow, and to provide relief from monotonous expanses of building facade. The staggering of planes shall be a minimum of 6-feet.

- Any cellular communication towers/facilities proposed for the site shall be architecturally integrated into the site.

- No outdoor loudspeakers and paging systems are allowed.

SIGNAGE

These signage standards were developed to regulate the size, location, type, and quality of sign elements within the development. They are to be used in conjunction with the City Comprehensive Zoning Ordinance, and the Coors Corridor Plan. Where there is conflict between these guidelines and City regulations, the more restrictive shall apply.

A properly implemented signage program will serve several important functions:

- Direct and inform visitors
- Provide circulation requirements and restrictions
- Provide for public safety and minimize confusion of traffic control
- Complement the visual character of the area

Standards

- No sign shall overhang the public right-of-way or extend above the building roof line.

- One free-standing, two-sided sign is allowed for any one premise with street frontage of 100-feet or less. No more than two free-standing, two-sided signs are allowed for any one premise with street frontage of 100-feet or more. Free-standing signs are limited to a maximum sign face of 50 square feet and shall not

exceed 8-feet above adjacent finished grade.

- Facade mounted signs shall not exceed 6 percent of the facade area to which it is attached. Sign letters shall be channelized, neon, or painted. Backlit illuminated panels are not allowed, except for company/business logos. The maximum height for individual letters is 3-feet.

- No additional off-premise signs are allowed except for traffic safety signs, street signs, or location markers or directory maps. There is one existing off-premise sign located at the northwest corner of proposed Tract 2A.

- All signage shall be designed to be consistent with and complement the materials, color, and the architectural style of the building or site location.

- Free-standing signs shall be placed at the back of the public right-of-way line and outside of the safety vision triangle at all entries and intersections.

- No signage is allowed that uses flashing, oscillating, occultating, revolving, blinking, or audible devices. No banners, pennants, ribbons, or streamers are allowed except for thematic special events and with prior approval by City of Albuquerque Zoning Department.

- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices. Pole-mounted signs are not allowed.

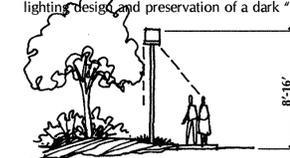
- No lighted signs shall be placed on east-facing buildings or in a location that is visible from residential areas east of this development.

Guidelines

- Free-standing monument style signs are encouraged, particularly for multi-tenant commercial/office development.

LIGHTING

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to lighting design and preservation of a dark "night sky".



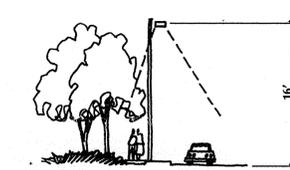
Pedestrian Scale Lighting

Standards

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements.

- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

- Search lights, spotlights, and floodlights are prohibited.



Outdoor Light Poles

- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky" (additional shielding shall be provided on the east side of those fixtures on the eastern edge of the property) and equipped with automatic timing devices. Cobra and sodium lights are prohibited at this site.

- All outdoor light fixtures within commercial or office zones shall remain off between 11:00 p.m. and sunrise except for security purposes (limited to 12-feet in height) or to illuminate walkways, driveways, equipment yards, and parking lots.

- Outdoor light poles shall not exceed 16 feet in height. Public streetlight poles are exempt from this height requirement.

- All lighting on the site shall be fully shielded, cut-off lighting (shoebox) to minimize fugitive lighting and the bulbs shall not extend past the housing.



Bollard Lights

Guidelines

- Area lighting is encouraged to highlight public spaces and walkways. The use of pedestrian scale lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.



Wall Pocket Lights

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to lighting design.

Tract 2-A Black Ranch

Prepared for:
Black Development Two, LLC
3613 NM State Road 528 NW, Suite H
Albuquerque, NM 87114

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

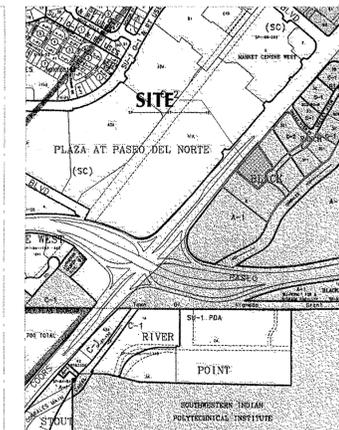


March 25, 2002

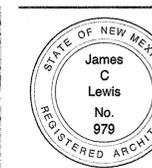
Grandma's Music & Sound

Tract 2-A-2 (A)

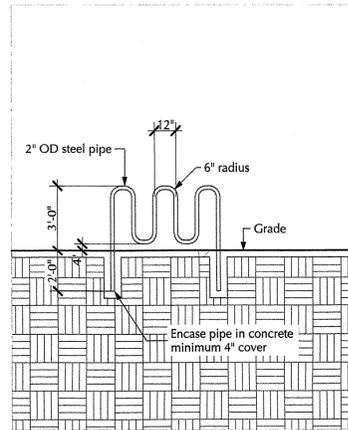
Coors Boulevard NW & Valley View Place NW
Albuquerque, New Mexico 87114



Vicinity Map



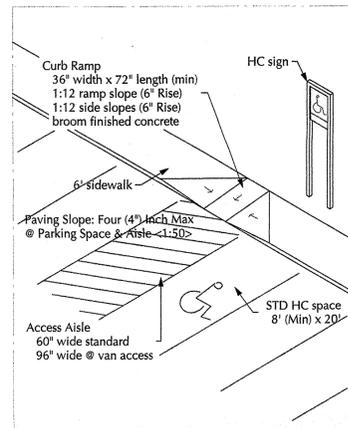
ENGINEER



Bike Rack

1/4"=1'-0"

Project Title



HC Space

Not To Scale

Detail Not Used



Project View from Entry (East Side)

PROJECT DESCRIPTION
A 15,620 SF retail building for musical instruments and live performance equipment

ADDRESS
Coors Blvd NW & Valley View Place NW
Albuquerque, NM 87114

LEGAL DESCRIPTION
TRACT: 2-A-2 (A)
SUBDIVISION: Black Ranch

LAND USE
SU-1 for C-2 and SU-1 for C-1 permissive uses and hotel not to exceed two stories

ZONE ATLAS PAGE
C-13-Z

PARKING
Required (15,208 net SF @ 1 space per 200 SF less 10% bus discount) 69 Spaces
Provided: Standard Spaces 65 Spaces
HC Space 4 Spaces
Total 69 Spaces

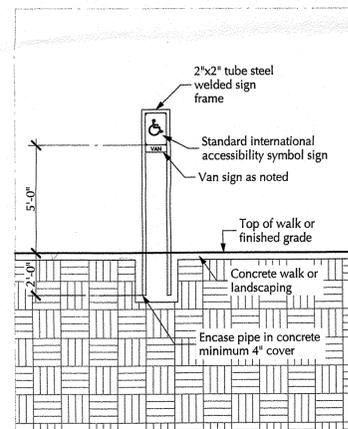
BICYCLE PARKING
Required (@ 1 space/20 parking spaces) 4 Spaces
Provided: 4 Spaces

LANDSCAPE CALCULATIONS
See Sheet SDP-3 for Landscape Calcs

SITE AREAS
Lot Area: (1.53 Acres) 65,019 SF
Building Area (gross): 15,620 SF



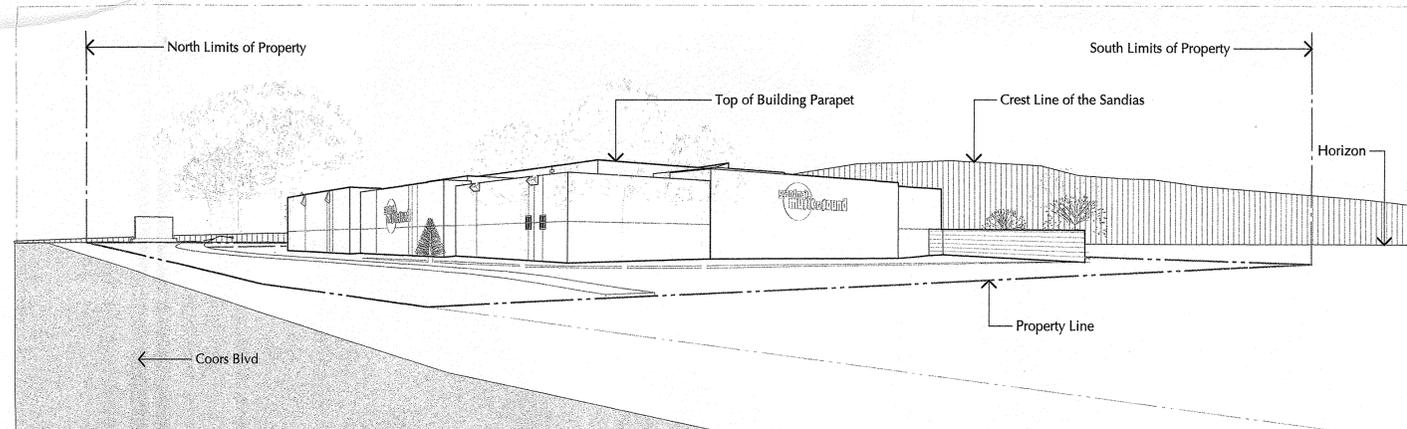
These drawings are an "Instrument of Service", and shall not be reproduced, copied, or published without the written permission of the Architect.



HC Sign Detail

1/4"=1'-0"

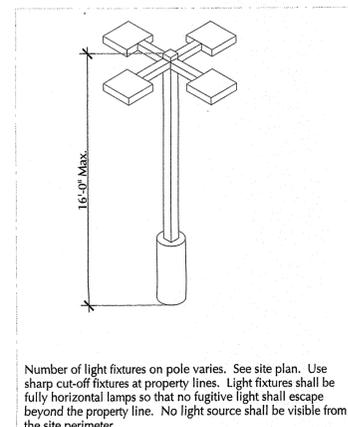
Coors Corridor View Plane Diagram



SDP-1	Cover Sheet
SDP-2	Site Plan
SDP-3	Landscape Plan
SDP-4	Grading Plan
SDP-5	Building Elevations

Sheet Index

Legal Information



Light Pole Detail

Not To Scale

Detail Not Used

Site lighting fixtures at 16'-0" maximum w/ sharp cut-offs. See detail 'T' on sheet SDP-1.

Light levels shall be between 2 footcandles minimum and 16 footcandles maximum.

Building mounted signs shall be limited to 6% of the facade area.

Signage shall be individual channelized letters, metal letters or neon letters at a maximum height of 3'-0".

No pole mounted signage shall be allowed.

Building mounted signage facing residential properties shall not be internally illuminated.

All walls shall follow the City's design guidelines.

The engineer's certification required by the Hydrology section needs to include certification that this site was constructed in accordance with the Traffic Circulation Lay-out (TCL) before C.O. is released.

A blanket cross-access, path and parking easment shall be created on this lot.

Notes

OWNER

Grandma's Music & Sound
800 S-T Juan Tabo Blvd. NE
Albuquerque, NM 87123
(505) 292-0341, Fax: (505) 293-6184
<http://www.grandmas.com>
Contact: Micky Patten

ARCHITECT

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Albuquerque, NM 87106
(505) 247-1529, Fax: (505) 243-6701
E-mail: gdi@mac.com
Contact: James Lewis

Project Team

PLANNER

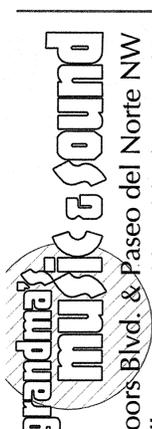
Consensus Planning
924 Park Avenue SW
Albuquerque, NM 87102
(505) 764-9801
E-mail: strozier@consensusplanning.com
Contact: Jim Strozier

CIVIL ENGINEER

Wilson & Company
2600 American Road, Suite 100
Rio Rancho, NM 87124
(505) 898-8021, Fax: (505) 898-8501
Contact: Sheldon Greer

PROJECT NUMBER: EPC APPLICATION NUMBER:	ISSUE DATE: 26 MAR 03
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT	REVISIONS:
Traffic Engineer, TRANSPORTATION DEPT _____ Date	
PARKS & RECREATION DEPT. _____ Date	
UTILITY DEVELOPMENT DEPT _____ Date	
City Engineer, ENGINEERING DIV/AMAFCA _____ Date	
SOLID WASTE DEPT. _____ Date	
APPROVAL AND CONDITIONAL ACCEPTANCE: As specified by the Development Process Manual.	
City Planner ALBUQUERQUE PLANNING DEPARTMENT _____ Date	

Approvals



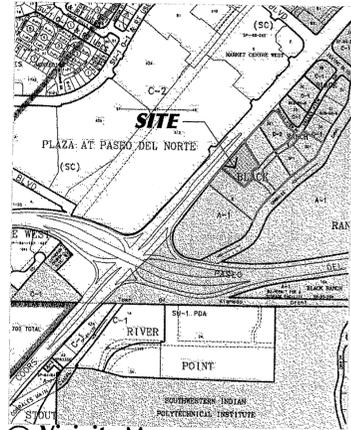
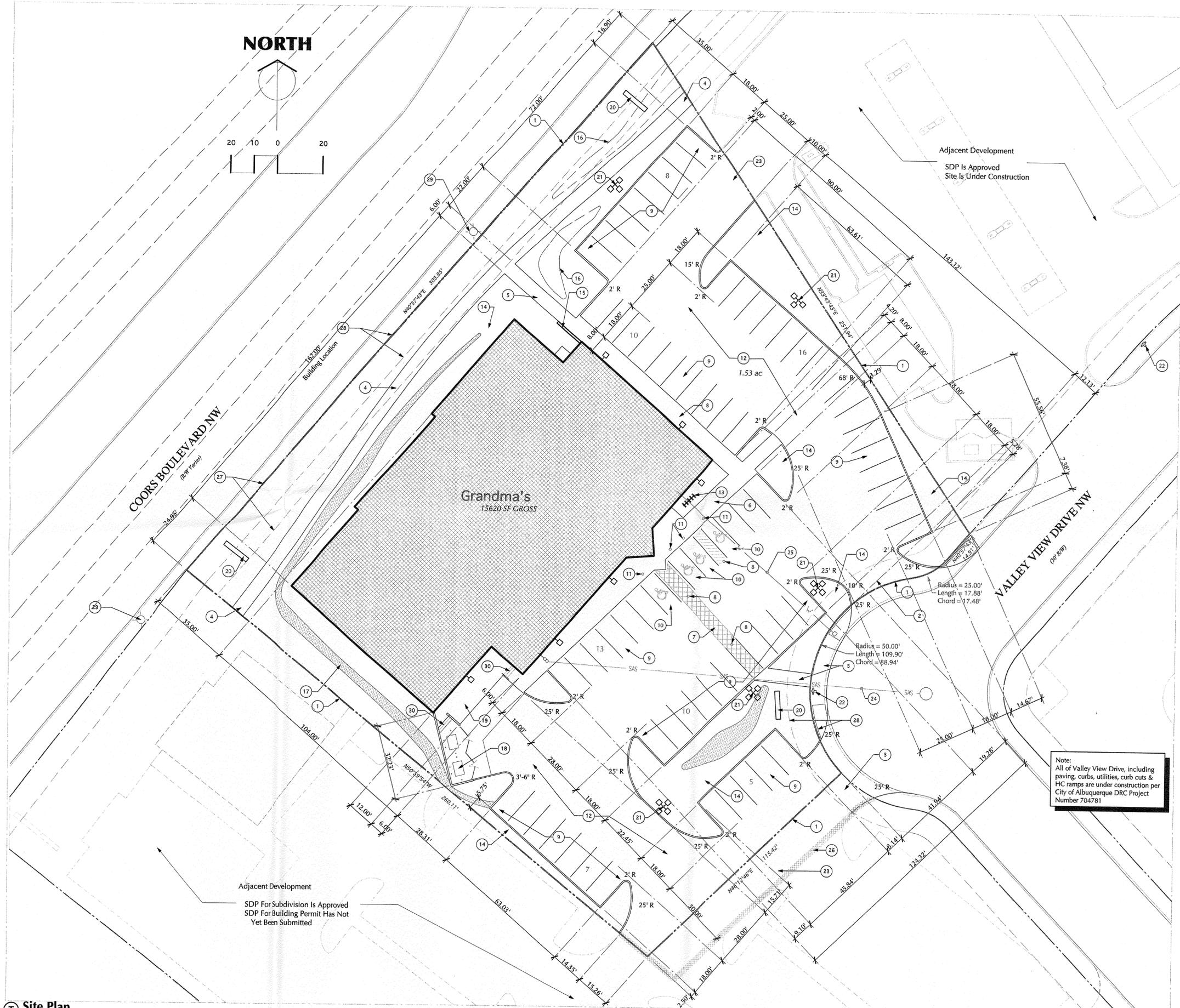
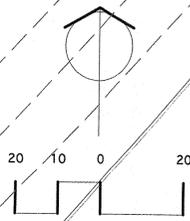
ISSUE DATE:
26 MAR 03

REVISIONS:

Cover Sheet

PROJECT SHEET
0305 SDP-1
OF 5

NORTH



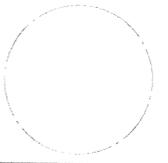
Vicinity Map

- 1 Property Line
- 2 25' Curb Cut
- 3 30' Curb Cut
- 4 6' Meandering Sidewalk
- 5 6' Sidewalk
- 6 8' Sidewalk
- 7 6' Colored & Textured Concrete Path
- 8 Bollards
- 9 Typical Parking Space 9'x20' (18' + 2' Overhang)
- 10 Typical HC Space 8'x20' (18' + 2' Overhang)
- 11 HC Parking Signs with bollard- See Detail 'N' On Sheet SDP-1
- 12 Asphalt Paving
- 13 Bike Rack - See Detail 'A' On Sheet SDP-1
- 14 Landscaping area, see sheet SDP-3
- 15 2' Retaining / 5' Screen Wall
- 16 Landscape Berm - See Detail 'S' On Sheet SDP-3
- 17 Cobbles in Drainage Swale
- 18 Trash Enclosure
- 19 24" High Loading Dock
- 20 Monument Sign, See Detail 'N' on sheet SDP-3
- 21 Light Standard - See Detail 'T' On Sheet SDP-1
- 22 Fire Hydrant
- 23 Blanket Cross Access Easement
- 24 Sewer Lateral - connect to manhole
- 25 Water Lateral - connect to water main
- 26 Limits of Asphalt
- 27 Drainage and Utility Easement
- 28 10' PLUE
- 29 Existing Street Light Pole
- 30 Stairs

Note:
All of Valley View Drive, including paving, curbs, utilities, curb cuts & HC ramps are under construction per City of Albuquerque DRC Project Number 704781



ENGINEER



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slaw@slaw.com

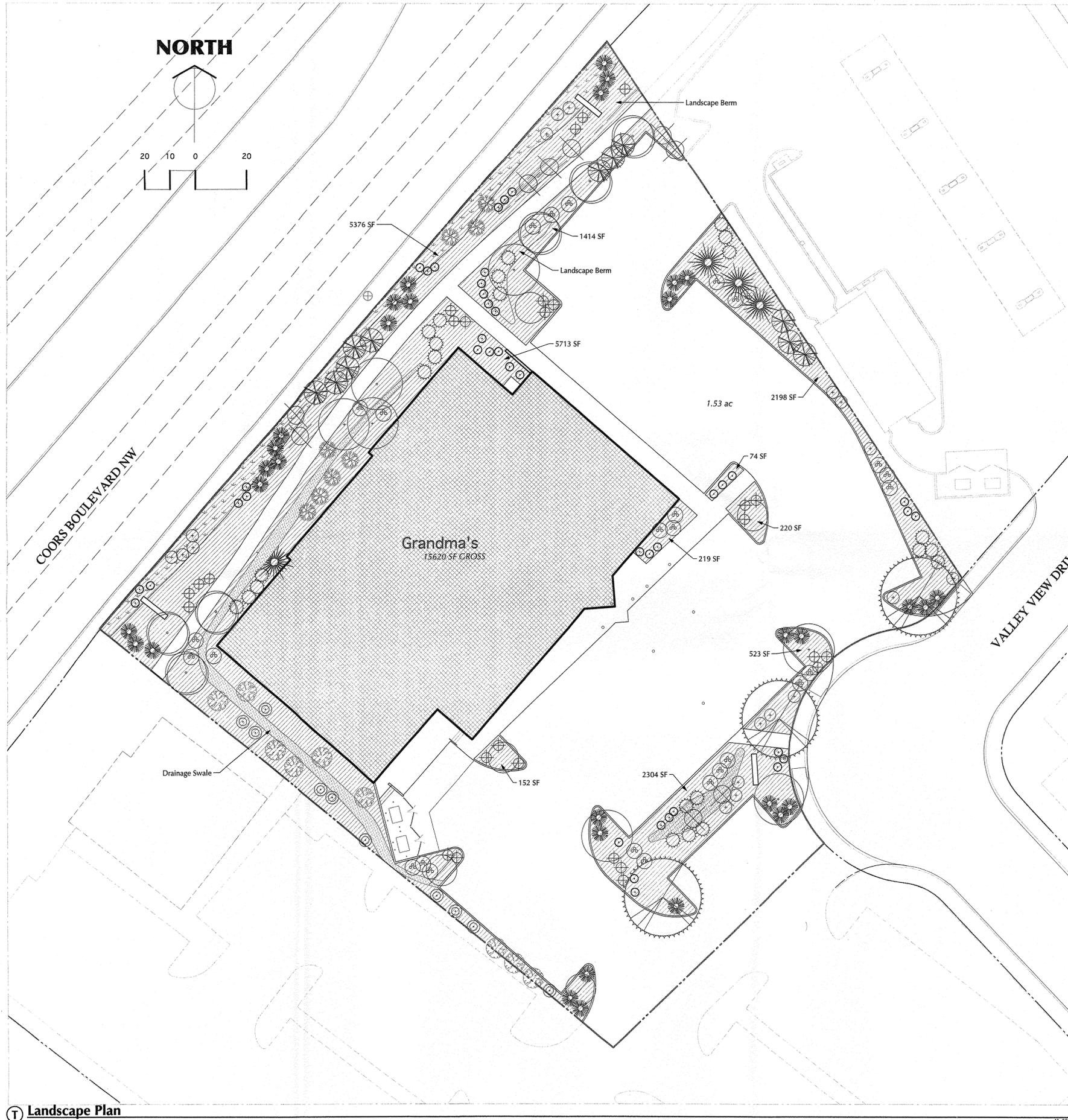
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Albuquerque New Mexico 87114

ISSUE DATE:
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REVISIONS:

Site Plan
PROJECT 03.05 SHEET **SDP-2** OF 5



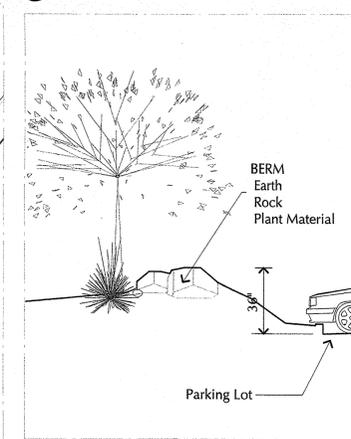
PLANT LEGEND

Symbol	Scientific Name Common Name	Size	Initial Size/Spacing	Ultimate Size	Water Use
	Fraxinus velutina 'Modesto' Modesto Ash (female)	2" B&B	16' ht. x 6' spr.	40' ht. x 30' spr.	High
	Gleditsia Honey Locust	2" B&B	16' ht. x 6' spr.	80' ht. x 40' spr.	High
	Pistachia chinensis Chinese Pistache	2" B&B	16' ht. x 6' spr.	60' ht. x 50' spr.	Medium
	Chilopsis linearis Desert Willow	15-Gal	25' ht. x 14' spr.		Low
	Crataegus laevigata English Hawthorn	15-Gal	20' ht. x 18' spr.		Medium
	Pinus nigra Austrian Pine	6' Ht.	35' ht. x 15' spr.		High
	Hesperaloe parviflora Red Yucca	5-Gal	3' ht. x 4' spr.		Medium
	Miscanthus sinensis Maiden Grass	5-Gal	5' ht. x 5' spr.		Low
	Perovskia atriplicifolia Russian Sage	5-Gal	5' ht. x 4' spr.		Medium
	Juniperus sabina Buffalo Juniper	5-Gal	varies x 6' spr.		Medium
	Caryopteris clandonensis Blue Mist	5-Gal	2' ht. x 2' spr.		Medium
	Salvia greggii Cherry Sage	1-Gal	3' ht. x 2.5' spr.		Medium
	Rosmarinus prestratus Creeping Rosemary	1-Gal	2' ht. x 6' spr.		Medium
	Perennial Wild Flower	1-Gal	varies x 3' spr.		Medium
	Elaeagnus pungens Silverberry	5-Gal	10' ht. x 5' spr.		Medium
	Buddleia davidii Butterfly Bush	5-Gal	8' ht. x 6' spr.		Medium
	Chrysothamnus nauseosus Chamisa	1-Gal	6' ht. x 4' spr.		Low

Ground Cover

- Crimp Straw/ Native Seed
- Santa Fe Brown Crusher Fines, 2"-4"
- Santa Ana Tan Cobbles (8" Depth)

L Legend



S Berm @ Parking Lot

The design and provision of landscape features for this site be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Required: 10 provided: 10

Trees within the parking area are required at a rate of (1) tree per (8) parking spaces.

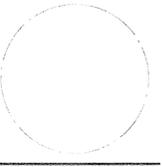
Required: 9 provided: 9

Irrigation system standards outlined in the water conservation landscaping and water waste ordinance shall be strictly adhered to. A fully automated drip irrigation system will be utilized to irrigate trees, shrub, and groundcover planting areas.

Maintenance of the landscaping and irrigation system, including that within the adjacent public right-of-way, shall be the responsibility of the owner.

ZONING CODE LANDSCAPE REQUIREMENTS

Total Site Area	66,419 SF
Gross Building Footprint	15,620 SF
Public R.O.W. Landscape	3,054 SF
Total Area	47,745 SF
Required Percentage	x 0.15
Landscape Area Required	7,162 SF
Landscape Area Provided	15,139 SF



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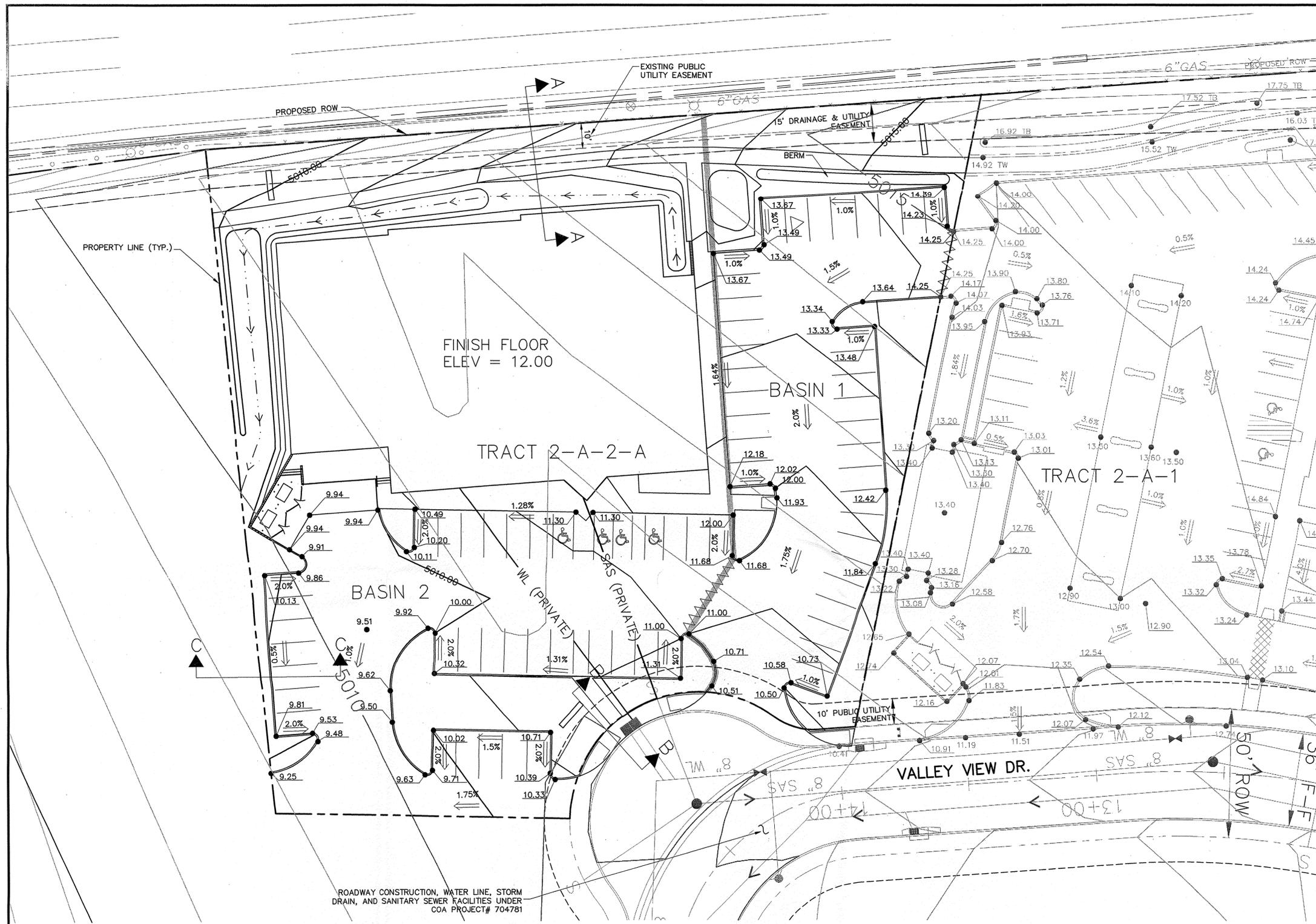
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ISSUE DATE:
26 MAR 03

REVISIONS:

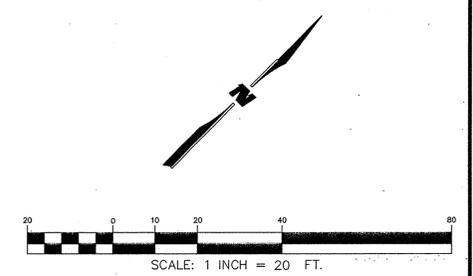
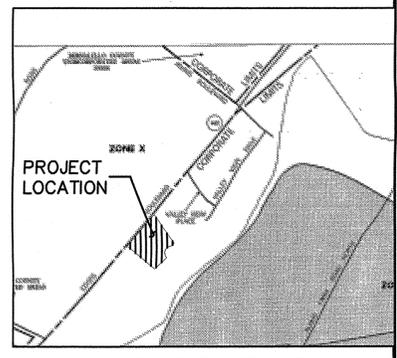
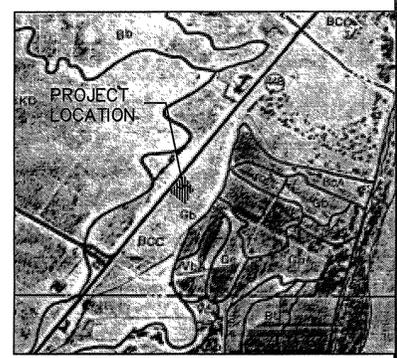
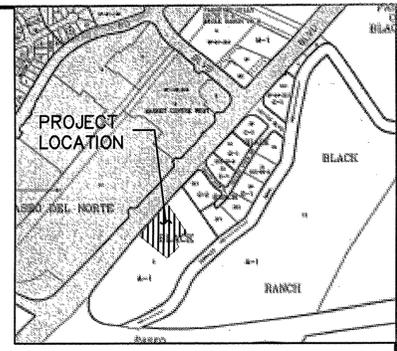
Landscape Plan

PROJECT 0305 SHEET **SDP-3**
OF 5



- LEGEND**
- ← FLOW DIRECTION ARROW
 - 5023.0 SPOT ELEVATION
 - WL WATER LINE
 - SAS SANITARY SEWER
 - TW TOP OF SIDEWALK
 - SWALE
 - ~ WATER BLOCK
 - EXISTING FIRE HYDRANT

NOTE
 ALL SPOT ELEVATIONS ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTE.
 SLOPE ALL BERMS TO ADJACENT SIDEWALKS AND BACKS OF CURB.

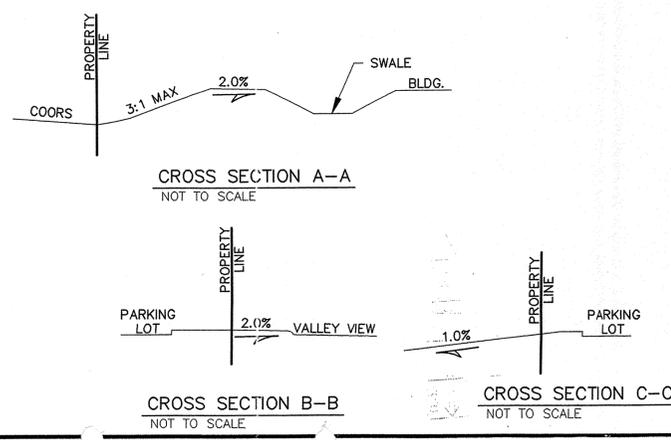


HYDROLOGY NOTES:

PRECIPITATION ZONE 1

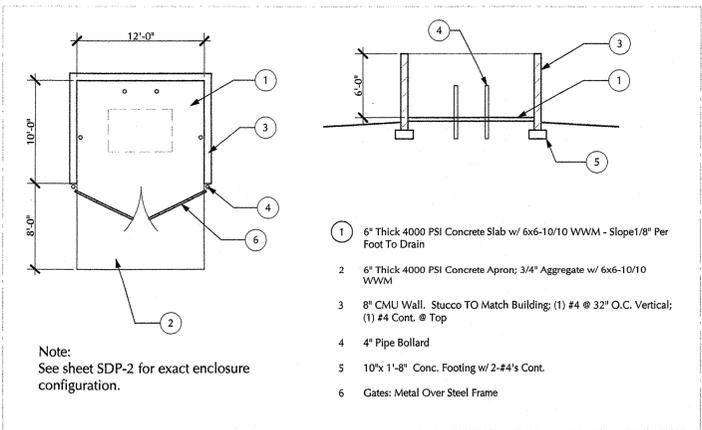
BASIN 1
 TOTAL TRACT AREA = 0.44 AC
 LAND TREATMENT AREAS WITHIN TRACT CONTRIBUTING TO VALLEY VIEW DRIVE N.W.
 15% LAND TREATMENT B = 0.15 AC
 85% LAND TREATMENT D = 0.44 AC
 PEAK DISCHARGE Qp100 - 6 Hr = (AREA_B) (Q_B) + (AREA_D) (Q_D) =
 = (0.15 Ac) (2.03 cfs/acre) + (0.44 Ac) (4.37 cfs/acre) = 2.23 cfs

BASIN 2
 TOTAL TRACT AREA = 1.08 AC
 LAND TREATMENT AREAS WITHIN TRACT CONTRIBUTING RETENTION POND
 15% LAND TREATMENT B = 0.27 AC
 85% LAND TREATMENT D = 1.08 AC
 PEAK DISCHARGE Qp100 - 6 Hr = (AREA_B) (Q_B) + (AREA_D) (Q_D) =
 = (0.27 Ac) (2.03 cfs/acre) + (1.08 Ac) (4.37 cfs/acre) = 5.27 cfs

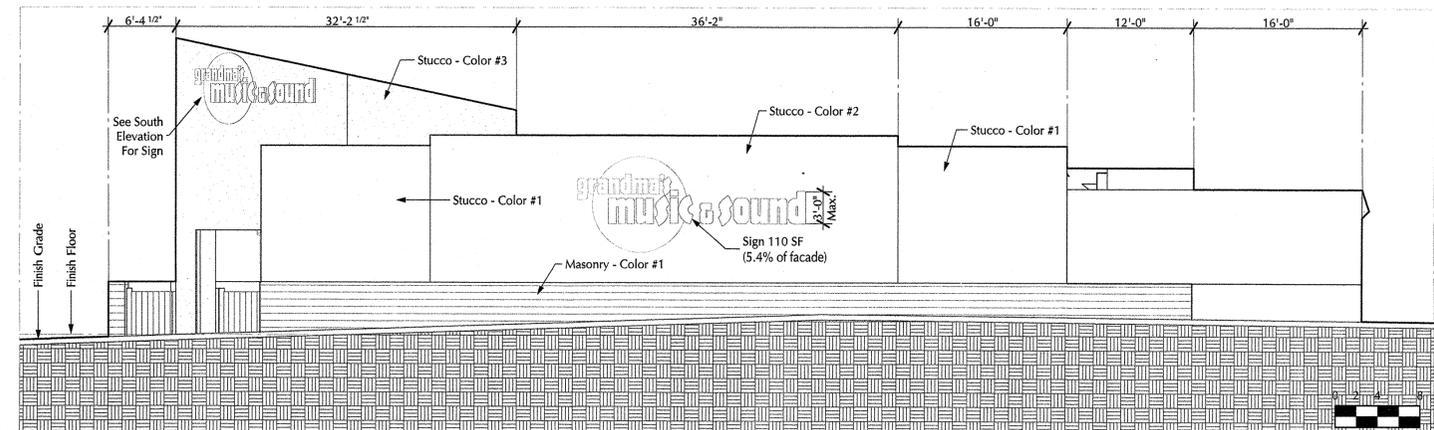


WILSON & COMPANY 2600 THE AMERICAN ROAD S.E. SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 899-8021		GRANDMA'S		
		GRADING, DRAINAGE & UTILITY PLAN		
REVISIONS	NO.	DATE	REMARKS	BY
DESIGN	JDV	WCEA NO. X3218016	DATE MARCH 2003	
DRAWN	JDV	PROJECT NO. N/A	SHEET NO. 1 OF 1	
CHECK	XXX			

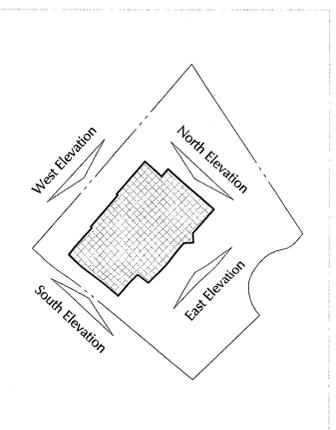
T:\PROJECTS\X3218016\VA\SHEETS\GD.DWG



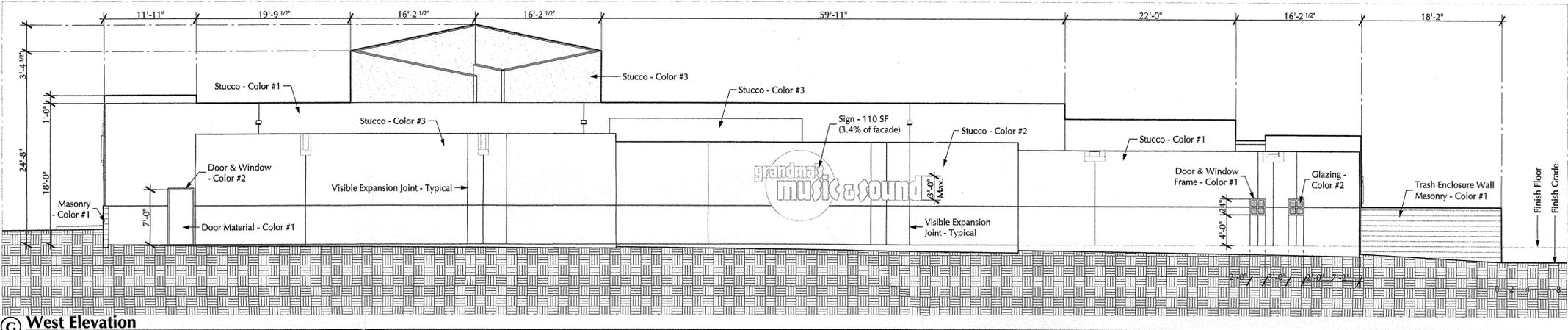
A Typical Trash Enclosure Requirements



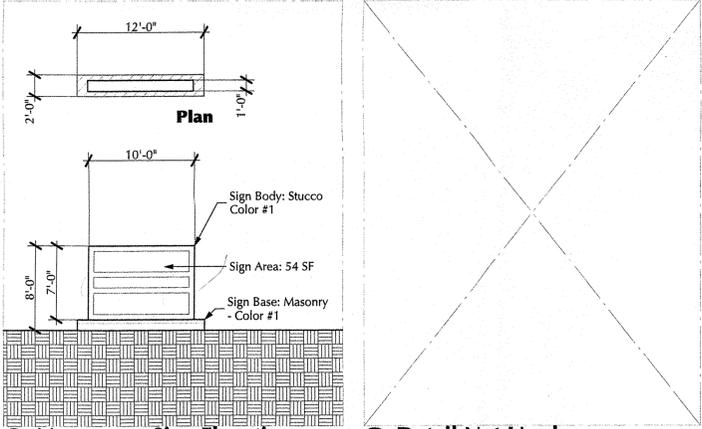
C North Elevation



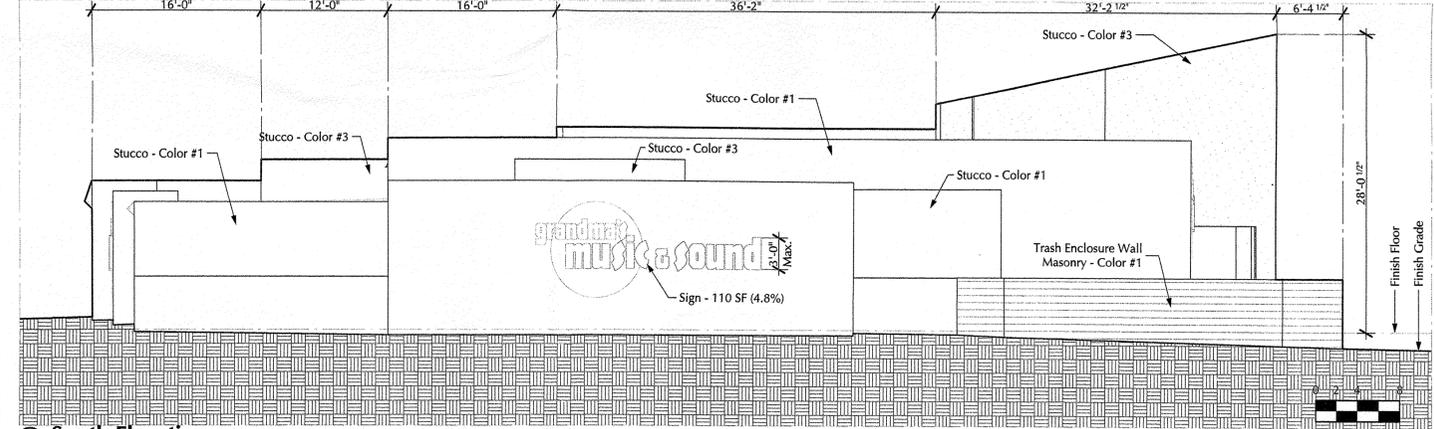
Key



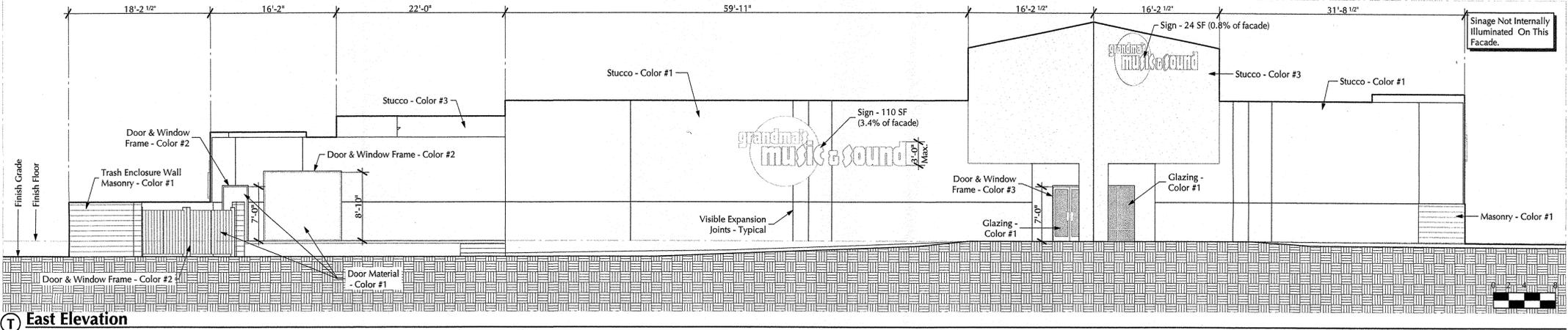
G West Elevation



N Monument Sign Elevation



P South Elevation



T East Elevation

STUCCO

Color 1 Light Beige
Color 2 Medium Tan
Color 3 Coral

PAINTED TRIM

Color 1 Aqua
Color 2 Red
Color 3 White

MASONRY

Color 1 Tan Block

DOOR & WINDOW FRAME

Color 1 Bronze
Color 2 Dark Green
Color 3 Clear Aluminum

DOOR MATERIAL

Color 1 Light Gray Galvalume
Color 2 White
Color 3 Clear Aluminum

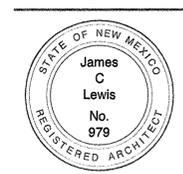
GLAZING

Color 1 Clear
Color 2 Tinted

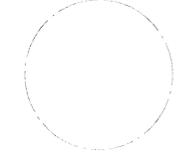
SIGNAGE

Typical Illuminated Plastic Channel Letters

Colors & Finishes



ENGINEER



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Elevations

PROJECT 0305 SHEET **SDP-5** OF 5

Z Colors & Finishes