

PROJECT NUMBER: 1001206
 APPLICATION NUMBER: 04-00213

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineer, Transportation Division	4-16-04 Date
<i>Roger A. Khan</i> Utilities Development	3/10/04 Date
<i>Christina Sandoval</i> Parks & Recreation Department	3/10/04 Date
<i>Bruce S. Bitt</i> City Engineer	3/10/04 Date
<i>N/A</i> Environmental Health Department (conditional)	Date
<i>Michael Holton</i> Solid Waste Management	4-14-04 Date
<i>Alexander Watson</i> DRB Chairperson, Planning Department	3/10/04 Date

N.W.

VALLEY VIEW PLACE

VALLEY VIEW DRIVE N.W.

BOULEVARD
(N.M.S.R. 448)
756' ROW

COORS

TRACT 2-A-1
WENDY'S WINNERS CONVERIENCE STORE
CASE # EPC 02 EPC 1-01345 (APPROVED)

TRACT 3G-1-A

TRACT 3F-1-A

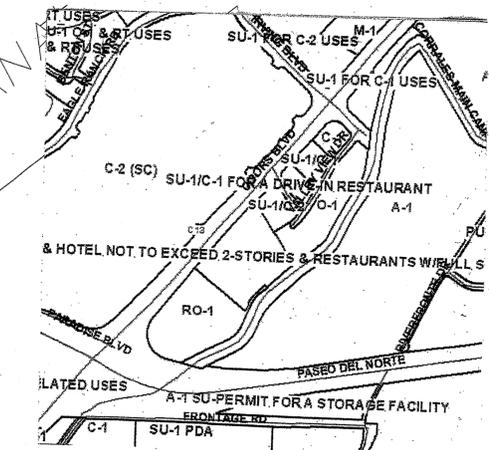
TRACT 2-A-2(A)
GRANDMAS
CASE # 03 EPC 00510 (PENDING)

TRACT 2-A-3

ENTERPRISE SITE

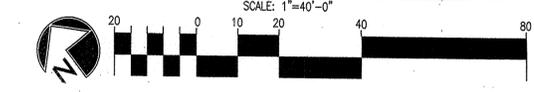
Temporary Drainage Easement for Tract 2, Tract 3 and N.M.S.H. & T.D. to be vacated upon construction of final drainage pond by A.M.A.F.C.A.

BUBBLED LINE INDICATES LIMITS OF SITE PLAN FOR SUBDIVISION RE ZONING



4 ZONE ATLAS C-13
Scale: N.T.S.

SITE PLAN FOR SUBDIVISION

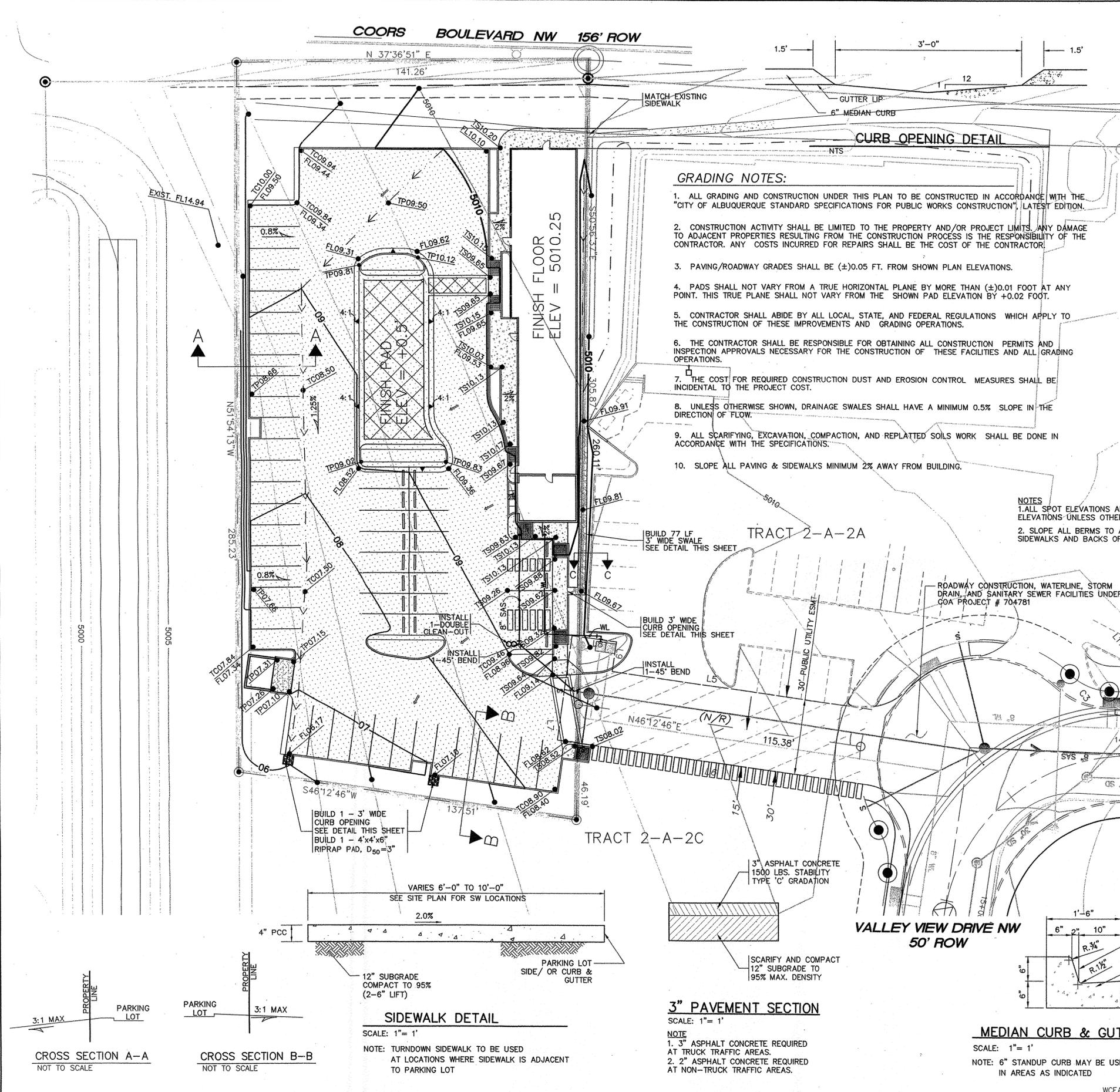


REV	DATE	BY	REVISION
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-5877

PROJECT TITLE: TRACT 2-A-2 ENTERPRISE
 BLACK RANCH ALBUQUERQUE NEW MEXICO
 PROJECT MANAGER: SD
 JOB NO.:
 DRAWN BY: SD
 SHEET TITLE: SITE PLAN FOR SUBDIVISION

DATE: 4/29/03
 SCALE: 1" = 40'
 sheet: A-2
 of: -



GRADING NOTES:

1. ALL GRADING AND CONSTRUCTION UNDER THIS PLAN TO BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", LATEST EDITION.
2. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
3. PAVING/ROADWAY GRADES SHALL BE (+/-)0.05 FT. FROM SHOWN PLAN ELEVATIONS.
4. PADS SHALL NOT VARY FROM A TRUE HORIZONTAL PLANE BY MORE THAN (+/-)0.01 FOOT AT ANY POINT. THIS TRUE PLANE SHALL NOT VARY FROM THE SHOWN PAD ELEVATION BY +0.02 FOOT.
5. CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS AND GRADING OPERATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS AND INSPECTION APPROVALS NECESSARY FOR THE CONSTRUCTION OF THESE FACILITIES AND ALL GRADING OPERATIONS.
7. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
8. UNLESS OTHERWISE SHOWN, DRAINAGE SWALES SHALL HAVE A MINIMUM 0.5% SLOPE IN THE DIRECTION OF FLOW.
9. ALL SCARIFYING, EXCAVATION, COMPACTION, AND REPLATTED SOILS WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
10. SLOPE ALL PAVING & SIDEWALKS MINIMUM 2% AWAY FROM BUILDING.

NOTES
 1. ALL SPOT ELEVATIONS ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTE.
 2. SLOPE ALL BERMS TO ADJACENT SIDEWALKS AND BACKS OF CURB.

EXISTING CONDITIONS

THE PROJECT SITE IS WITHIN THE APPROVED DRAINAGE MASTER PLAN FOR BLACK RANCH, TRACTS 2 & 3 DATED DECEMBER 2002. THE PROJECT SITE CONSISTS OF APPROXIMATELY 0.94 ACRES, WHICH IS UNDEVELOPED (2-A-2 (B)). TRACT 2A PRIMARILY DRAINS TO THE SOUTHWEST INTO TRACT 2B, AN AMAFCA TRACT SLATED TO BECOME A REGIONAL DETENTION FACILITY. RUNOFF GENERATED BY TRACT 2A AS WELL AS THOSE FLOWS CROSSING INTO TRACT 2B MENTIONED ABOVE ARE ROUTED THROUGH AN EXISTING DETENTION POND ALONG THE SOUTHERN BOUNDARY.

PROPOSED CONDITIONS

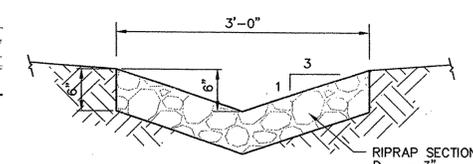
PROPOSED CONDITIONS INCLUDE THE CONSTRUCTION OF A ENTERPRISE RENT-A-CAR FACILITY. THE APPROVED DRAINAGE MASTER PLAN PROPOSED THAT RUNOFF GENERATED FROM TRACT 2-A-2 WOULD DRAIN SOUTH INTO A TEMPORARY DESILTING POND TO BE LOCATED ALONG THE NORTHERN BOUNDARY OF TRACT 2B VIA A DESILTING POND THAT DISCHARGE INTO THE EXISTING VALLEY VIEW STORM DRAIN. THE PROPOSED STORM DRAIN WILL THEN DISCHARGE INTO A PROPOSED DETENTION FACILITY NEAR THE NORTHERN BOUNDARY OF TRACT 2B.

HYDROLOGY NOTES:

PRECIPITATION ZONE 1
 BASIN 1
 TOTAL TRACT AREA = 0.94 AC
 LAND TREATMENT AREAS WITHIN TRACT CONTRIBUTING RETENTION POND
 15% LAND TREATMENT B = 0.14 AC
 85% LAND TREATMENT D = 0.80 AC
 $PEAK\ DISCHARGE\ Q_{p100} - 6\ Hr = (AREA_B)(Q_B) + (AREA_D)(Q_D) = (0.14\ Ac)(2.03\ cfs/acre) + (0.80\ Ac)(4.37\ cfs/acre) = 3.78\ cfs$
 NOTE: OFFSITE FLOW ENTER THE SITE FROM TRACT 2-A-2A AT A PEAK DISCHARGE RATE OF 4.34 CFS.

LEGEND

- EXIST INTERMEDIATE CONTOUR
- EXIST INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- ← FLOW DIRECTION ARROW
- 5023.0 SPOT ELEVATION
- WL WATER LINE
- SAS SANITARY SEWER
- Water Block WATER BLOCK
- RIPRAP RIPRAP
- SWALE SWALE
- PROPOSED FIRE HYDRANT
- ∞ DOUBLE CLEANOUT
- PROPOSED CONCRETE
- BASIN BOUNDARY
- PROPOSED ASPHALT



SECTION C-C RIP-RAP SWALE DETAIL
 SCALE: 1" = 1'

3" PAVEMENT SECTION
 SCALE: 1" = 1'

NOTE
 1. 3" ASPHALT CONCRETE REQUIRED AT TRUCK TRAFFIC AREAS.
 2. 2" ASPHALT CONCRETE REQUIRED AT NON-TRUCK TRAFFIC AREAS.

MEDIAN CURB & GUTTER DETAIL
 SCALE: 1" = 1'

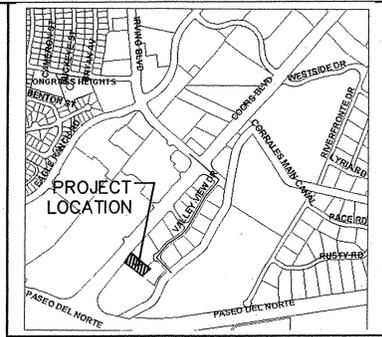
NOTE: 6" STANDUP CURB MAY BE USED IN AREAS AS INDICATED

SIDEWALK DETAIL
 SCALE: 1" = 1'

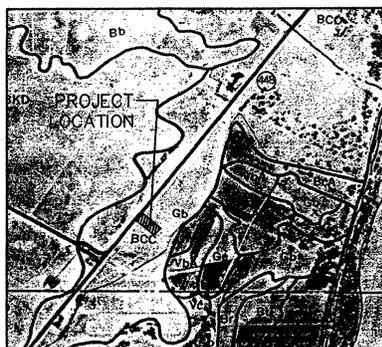
NOTE: TURNDOWN SIDEWALK TO BE USED AT LOCATIONS WHERE SIDEWALK IS ADJACENT TO PARKING LOT

CROSS SECTION A-A
 NOT TO SCALE

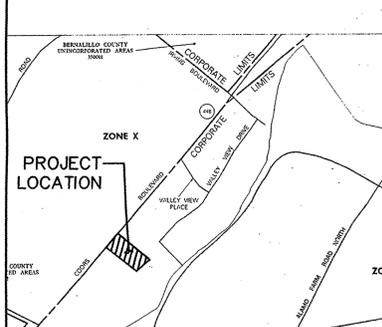
CROSS SECTION B-B
 NOT TO SCALE



LOCATION MAP
 ZONE ATLAS MAP NO. C-13-Z



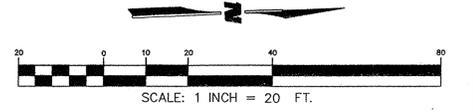
SOILS MAP
 REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 10



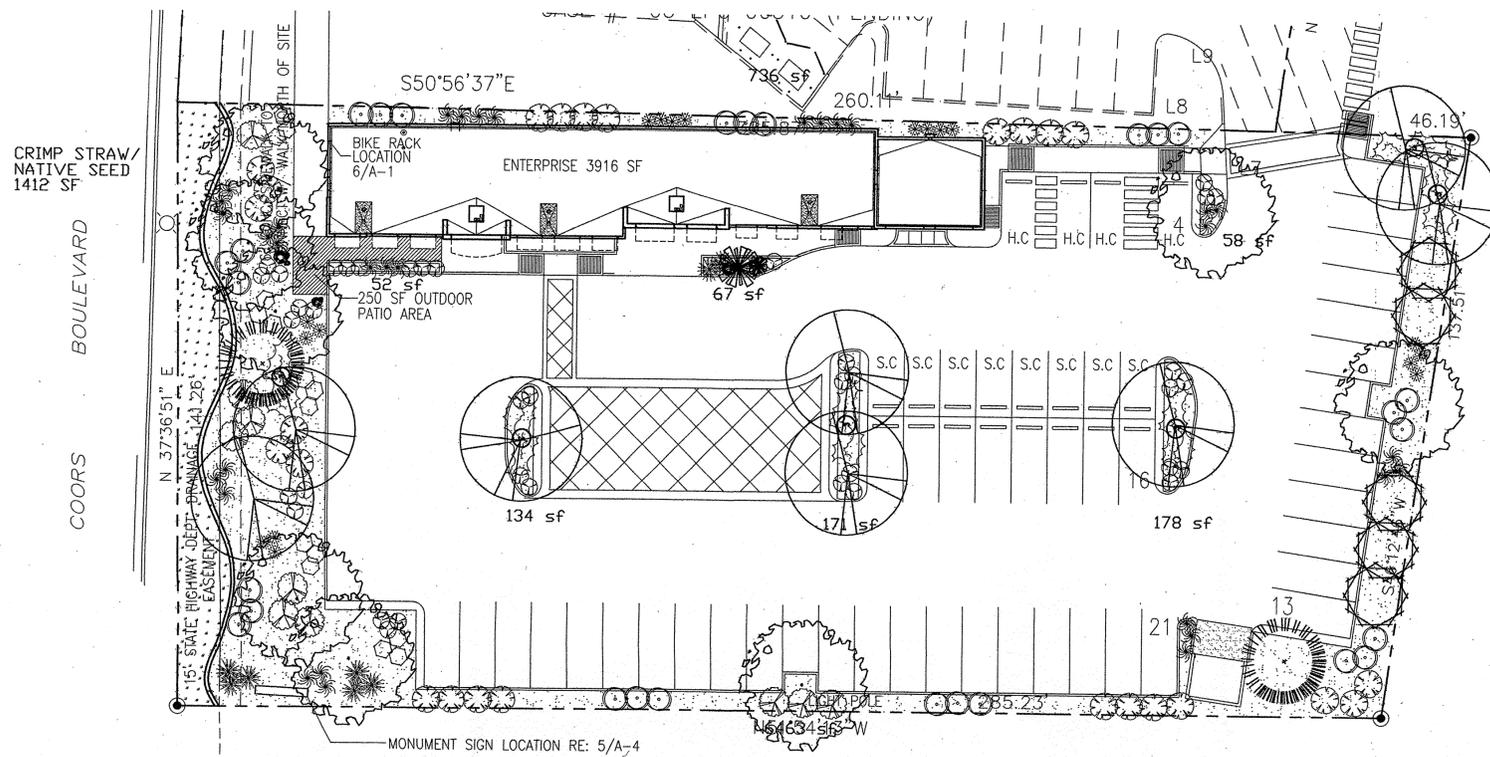
FLOOD INSURANCE MAP
 REFERENCE: FLOOD INSURANCE STUDY PANEL 116

ADDRESS
 NO ADDRESS HAS BEEN ASSIGNED AT THIS TIME

BENCHMARK
 VERTICAL DATUM IS BASED UPON THE NEW MEXICO STATE HIGHWAY COMMISSION MONUMENT "NM448-N10" ELEVATION = 5045.51 (NAVD 1929).



WILSON & COMPANY 2600 THE AMERICAN ROAD S.E. SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
	TRACT 2-A-2 (B) GRADING/DRAINAGE & UTILITY PLAN	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet Of
C-13-Z	C-13-Z	C1 1



TRACT 2-B
BLACK RANCH

PLANT LEGEND

- ASH (H) OR HONEY LOCUST (H) 8
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- AUSTRIAN PINE (H) 2
Pinus nigra
6'-8'
- DESERT WILLOW (L) 5
Chilopsis linearis
15 Gal.
- RED YUCCA (L) 8
Hesperaloe parviflora
5 Gal.
- MAIDENGRASS (M) 32
Miscanthus sinensis
5 Gal. 16sf
- RUSSIAN SAGE (M) 27
Perovskia atriplicifolia
5 Gal.
- BLUE MIST SPIREA (M) 18
Caryopteris clandonensis
5 Gal.
- COMMERCIAL GRADE
STEEL EDGING
- SANTE FE BROWN GRAVEL
WITH FILTER FABRIC
- CRIMP STRAW/NATIVE SEED
- CHINESE PISTACHE (M) 8
Pistachia chinensis
2" Cal.
- PALM YUCCA (L) 2
- AUTUMN SAGE (M) 15
Salvia greggii
2 Gal. 9sf
- HONEYSUCKLE (M) 10
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
- CHAMISA (L) 25
Chrysothamnus nauseosus
1 Gal. 25sf
- WILDFLOWER 40
1 Gal. 4sf
- TAM JUNIPER (M) 18
Juniperus sabinia
5 Gal. 225sf
Symbol indicates 3 plants
- 4 BOULDERS

NATIVE SEED

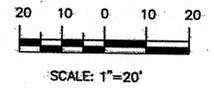
COMMON NAME	GENUS SPECIES
"Paloma" Indian rice grass	<i>Oryzopsis hymenoides</i>
"Viva" Galleta grass	<i>Hilaria jamesii</i>
"Niner" Sideoats grama	<i>Bouteloua curti pendula</i>
"Hatchita" Blue grama	<i>Bouteloua gracilis</i>
Sand dropseed	<i>Sporobolus cryptandrus</i>
Four-wing saltbush	<i>Atriplex canescens</i>

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA		
TOTAL LOT AREA	41012	square feet
TOTAL BUILDINGS AREA	3916	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	37096	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	5564	square feet
TOTAL LANDSCAPE PROVIDED	9271	square feet
TOTAL BED PROVIDED	7859	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	1412	square feet



GRAPHIC SCALE



LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Sante Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

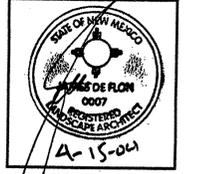
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.



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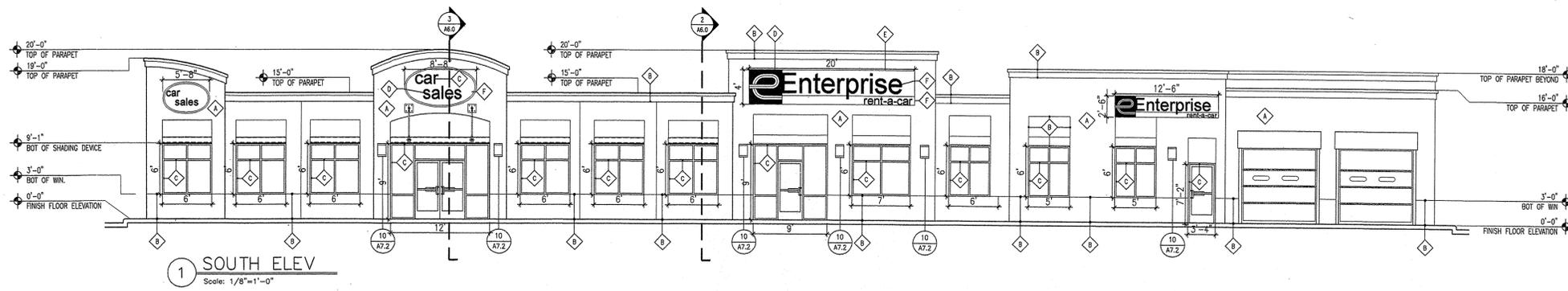
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
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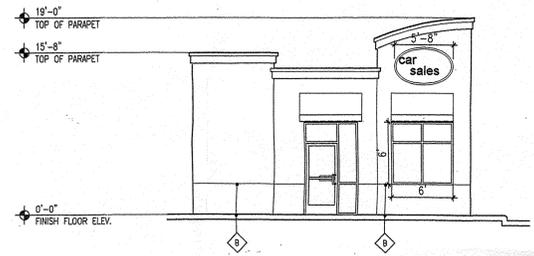
PROJECT TITLE: TRACT 2-A-2
BLACK RANCH-ENTERPRISE-
ALBUQUERQUE NEW MEXICO
PROJECT MANAGER: [Name]
JOB NO.: [Number]
DRAWN BY: [Name]

LANDSCAPE ARCHITECTS & CONTRACTORS
The Hilltop
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com

DATE: 04/23/03	sheet- 1
SCALE: 1" = 20'	of- 1



1 SOUTH ELEV
Scale: 1/8"=1'-0"

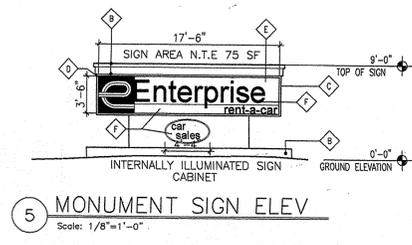


2 WEST ELEV
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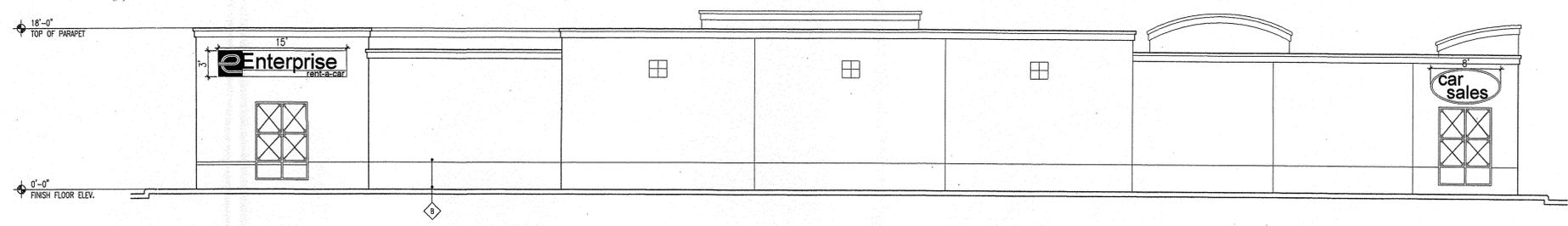


3 EAST ELEV
Scale: 1/8"=1'-0"

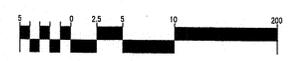
Keyed Color / Material Schedule	
A	STUCCO ENTERPRISE LIGHT GRAY A82W51
B	STUCCO ENTERPRISE DARK GRAY SW-B66213
C	MISC. METAL ENTERPRISE GREEN SW-B551104
D	8" X 8" CERAMIC TILE COLOR TO MATCH ENTERPRISE GREEN SW-B551104
E	MISC. METAL/SIGN ENTERPRISE BLACK SW 6258 TRICORN BLACK
F	MISC. METAL/SIGN ENTERPRISE WHITE



5 MONUMENT SIGN ELEV
Scale: 1/8"=1'-0"



4 NORTH ELEV
Scale: 1/8"=1'-0"



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(B) GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
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PROJECT TITLE
ENTERPRISE RENTAL CAR TRACT 2-A-2

PROJECT TITLE
ELEVATIONS

PROJECT MANAGER
SD

JOB NO.
0303

DRAWN BY:
SD

DATE:
1/12/04

SCALE:
1/8"=1'-0"

sheet -
A4.0
of -

DESIGN GUIDELINES

INTRODUCTION

The purpose of these Design Guidelines is to provide a framework to assist developers and designers in understanding the developers' goals and objectives for high quality development within Tracts 2A, 2B, and 2C. Where there is conflict between these guidelines and City regulations, the more restrictive shall apply.

The design guidelines include the following elements:

- STREETScape
- LANDSCAPE
- SETBACKS
- SITE PLANNING/ARCHITECTURE
- SIGNAGE
- LIGHTING

These design guidelines are organized into two separate categories:

1) standards (those which are required); and 2) guidelines (those which are encouraged but not required).

STREETScape

The intent of these guidelines is to create a visually attractive and inviting streetscape for residents and visitors to the area. The effective use of screening devices at service functions such as parking lots, loading areas, refuse collection, and delivery/storage areas is essential in order to limit their adverse visual impact on surrounding developments and to create a pleasing streetscape environment. The guidelines established in the landscape and setback sections will provide the primary means to screening objectionable views and activities.

Standards

- Pedestrian links between parking areas and buildings shall be clearly visible and highlighted with signage and contrasting textured paving material.

- A difference in paving material, color, or pattern shall be provided at entry drive crosswalks to bring both visual and tactile attention to crosswalks for improved pedestrian safety (painted asphalt crosswalks are prohibited).

- Pedestrian pathways shall be provided to connect buildings on-site and to the adjacent streets. Trees shall be provided along pathways at an average spacing of 30 feet on center in 5-foot x 5-foot planters.

- Pedestrian pathways, at a minimum, shall be 10-feet wide where there is overlapping parking (2' overhang) on two sides; 8-feet wide where there is overlapping parking on one side; and 6-feet wide where there is no adjacent overlapping parking.

- All pedestrian pathways (sidewalks and trails) shall be designed to be accessible to the handicapped (see Americans with Disabilities Act criteria for barrier free design).

Guidelines

- Parking provided adjacent to Coors Boulevard and Valley View Drive shall be screened by short walls (approximately 3-feet high) or buildings.

LANDSCAPE

The landscape guidelines are intended to assist property owners in the development of an attractive streetscape and to help buffer non-residential uses from future residential uses. The landscape concept should provide a strong unifying element for the area. The plant materials selected should primarily be water conservative species. Landscape plans should employ xeriscape design principles. These guidelines are to be used as a supplement to the requirements in the City Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

Standards

Landscape Buffers

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between commercial and the residential uses to the east. A minimum 10-foot landscaped buffer is required adjacent to the residential zoning. This buffer shall be accommodated on the commercial site.

- Landscape buffers shall consist primarily of evergreen trees (to maintain its screening ability on a year-round basis) that must be at least 8 feet tall when planted and be capable of reaching a mature height of 25 feet. Trees shall be spaced at a maximum of 25 feet on center.

Frequency of Plantings, Installation, and Size

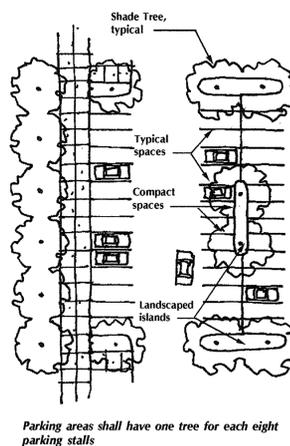
- Street trees in accordance with Albuquerque City Code section 6-6-2-5 shall be provided along Coors Boulevard.

- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each eight parking stalls with no stall being more than 70 feet from a tree trunk. A minimum of 75 percent of the required parking area trees shall be deciduous and have a mature canopy of at least 25 feet.

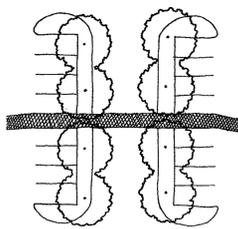
- A minimum of 15 percent of the site area (excluding the building square footage) shall be devoted to landscape materials, with an emphasis placed on streetside exposure.

- High water use turf grass areas shall not comprise greater than 20 percent of the landscape area. Turf grass shall not be planted on slopes greater than 4:1 to prevent water waste.

- No turf shall be planted within 8 feet from the curb within the public right-of-way in order to avoid overspraying into the street. Turf areas within parking lots shall be a minimum of 15 feet in any dimension.



Parking areas shall have one tree for each eight parking stalls



Enhanced paving materials linking parking lots to buildings are encouraged.

- Landscape areas shall be a minimum of 36 square feet and a minimum width of 6 feet.
- Seventy-five percent of the required landscape area shall be covered with living vegetative materials. The calculation to determine the landscaped area shall be based on the mature canopy size of all plant materials.
- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, or similar material that extends completely under the plant material.
- Disturbed or man-made slopes shall receive erosion control by use of plant material, revegetative seed mix, or similar landscape treatment which prevents soil erosion.
- An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers should be 6" x 6" concrete, brick, or steel construction, or other material compatible with the landscape concept.

Suggested Plant Palette

The suggested plant materials for this project were selected based on qualities such as cold hardiness, fast growth rate, minimal maintenance requirements, water conservation, and aesthetic appeal.

Street Trees

Fraxinus spp.	Ash varieties
Pinus nigra	Austrian Pine
Pistachia chinensis	Chinese Pistache
Prunus spp.	Flowering Plum varieties

General Use Plant Materials

Trees

Chilopsis linearis	Desert Willow
Chitalpa tashkentensis	Chitalpa
Cupressocyparis leylandii	Leyland Cypress
Forestiera neomexicana	New Mexico Olive
Fraxinus spp.	Ash varieties
Gleditsia spp.	Honey Locust varieties
Koeleruteria paniculata	Goldenrain Tree
Pinus edulis	Pinon Pine
Pinus nigra	Austrian Pine
Platanus acerifolia	London Planetree
Pyrus calleryana	Ornamental Pear
Vitex agnus - castus	Chaste Tree

Shrubs, Groundcovers, Flowers, and Vines

Artemisia filifolia	Sand Sage
Artemisia tridentata	Big Leaf Sage
Baccharis pilularis	Dwarf Coyotebush
Berberis thunbergii	Japanese Barberry
Caesalpinia gilliesii	Bird of Paradise
Caryopteris clandonensis	Blue Mist
Chrysothamnus nauseosus	Chamisa
Clematis ligusticifolia	Western Virginsbower
Cotoneaster spp.	Cotoneaster varieties
Dalea spp.	Dalea varieties
Hesperaloe parviflora	Red Yucca
Juniper chinensis spp.	Juniper varieties
Juniper horizontalis spp.	Juniper varieties
Juniperus sabina spp.	Juniper varieties
Lonicera japonica 'Halliana'	Hall's Honeysuckle
Parthenocissus inserta	Virginia Creeper
Perovskia atriplicifolia	Russian Sage
Photinia fraseri	Photinia
Potentilla fruticosa	Shrubby Cinquefoil
Raphiolepis indica	India Hawthorn
Rhus trilobata	Threeleaf Sumac
Rosmarinus officinalis	Rosemary
Salvia greggii	Cherry Sage

Ornamental Grasses

Miscanthus sinensis	Maiden Grass
Muhlenbergia spp.	Muhly Grass
Pennisetum spp.	Fountain Grass
Stipa tenuissima	Threadgrass

Lawn Grasses

Buchloe dactyloides	Buffalo Grass
Bouteloua gracilis	Blue Grama
Festuca spp.	Tall Fescue varieties
Poa spp.	Kentucky Bluegrass varieties

SETBACKS

The use of building and parking area setbacks provides space for the creation of visually attractive streetscapes and will help ensure the project's aesthetic appeal. Areas within these setbacks shall include pedestrian walkways, screening elements, and landscaping.

Standards

Building setbacks

- 10-feet from the right-of-way line of roadways
- 10-feet from the property line of an adjacent commercial or office zone

Parking Area Setbacks

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 10-feet from the right-of-way line of roadways
- All parking surfaces facing streets shall be screened with a minimum of a 30-inch wall or landscape berm so that parking grills and headlights are shielded from the right-of-way.

SITE PLANNING/ARCHITECTURE

Site Planning

In order to encourage a pedestrian-friendly environment within the development, special attention should be paid to the relationship between buildings and streets. Pedestrian activity is encouraged where pedestrian connections between the structures and the street are clearly identified and inviting.

Standards

- Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to pedestrian pathways.

- Sidewalks along the entry facade of all buildings shall be 15 feet wide with a minimum 6 foot wide clear path. Walkways shall be covered with portals, canopies and/or shade trees (25 foot average spacing in 5 foot by 5 foot planters).

- The maximum number of parking spaces shall be the minimum number required by the Zoning Code plus 10 percent.

- Parking areas shall be broken up through the use of convenient and logical pedestrian connections.

- Entryways shall be clearly defined and linked to the pedestrian pathways.

- Drive-thru facilities shall be designed so that they do not interfere with main pedestrianways or create conflicts between pedestrians and vehicles.

- No refuse collection areas shall be allowed between any street and building front. All refuse containers shall be screened within a minimum of a 6 foot tall enclosure that is large enough to contain all refuse generated between collections. The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.

- Parking areas shall be screened from adjacent streets and properties by providing a landscape strip between parking lots and public rights-of-way. The landscape strip shall be a minimum of 10 feet in width and shall be designed with a combination of plant materials, walls or fences, and/or earthen berming. Such screening shall have a minimum height of 3 feet.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or plant materials when viewed from the public right-of-way. Screening materials shall not limit access for maintenance purposes by utility companies.

- The heated enclosure for above-ground back flow prevention devices shall be constructed of materials compatible with the architectural materials used for the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or plant materials.

- There shall be a minimum 6-foot high, solid wall along the eastern edge of the subject site.

Architectural

Specific architectural style shall not be dictated. The design should demonstrate a high quality aesthetic character throughout the site. Architectural design should respond to local climate, views, solar access, and aesthetic considerations.

Standards

- The following uses are prohibited: adult amusement establishments, night clubs, outdoor equipment and/or maintenance yards.

- Buildings and structures shall comply with all City Zoning and Building Codes.

- The maximum building height for commercial and office uses shall be 32-feet, however, building heights shall be in accordance with the Coors Corridor Plan view corridor restrictions.

- Building design and construction should be used to create a structure that is attractive on all sides, rather than placing all emphasis on the front elevation of the structure. Finished building materials shall be applied to all exterior sides of buildings and structures.

- Businesses with drive-thru facilities shall provide canopies which are architecturally tied to the building.
- Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of compatible design and materials.

- All rooftop equipment shall be screened from the public view by materials of the same nature as the basic materials of the building. The building parapet shall be the same height or taller than all rooftop equipment.

- Pre-engineered metal buildings with masonry or equivalent skin applied to facades are prohibited.

- Design elements that are undesirable and prohibited include:

- Highly reflective surfaces
- Exposed, untreated precision block walls
- Chain link fencing, barbed wire, or concertina wire
- Attached mansard roofs on small portions of the roofline
- Corrugated metal (metal roofs are exempt)
- Plastic/vinyl facias or awnings
- Plastic/vinyl fencing

- Streetside facades shall have varied setbacks with wall planes not running in one continuous direction for more than 100-feet without a change in architectural treatment. The staggering of planes is important to create pockets of light and shadow, and to provide relief from monotonous expanses of building facade. The staggering of planes shall be a minimum of 6-feet.

- Any cellular communication towers/facilities proposed for the site shall be architecturally integrated into the site.

- No outdoor loudspeakers and paging systems are allowed.

SIGNAGE

These signage standards were developed to regulate the size, location, type, and quality of sign elements within the development. They are to be used in conjunction with the City Comprehensive Zoning Ordinance, and the Coors Corridor Plan. Where there is conflict between these guidelines and City regulations, the more restrictive shall apply.

A properly implemented signage program will serve several important functions:

- Direct and inform visitors
- Provide circulation requirements and restrictions
- Provide for public safety and minimize confusion of traffic control
- Complement the visual character of the area

Standards

- No sign shall overhang the public right-of-way or extend above the building roof line.

- One free-standing, two-sided sign is allowed for any one premise with street frontage of 100-feet or less. No more than two free-standing, two-sided signs are allowed for any one premise with street frontage of 100-feet or more. Free-standing signs are limited to a maximum sign face of 50 square feet and shall not

exceed 8-feet above adjacent finished grade.

- Facade mounted signs shall not exceed 6 percent of the façade area to which it is attached. Sign letters shall be channelized, neon, or painted. Backlit illuminated panels are not allowed, except for company/business logos. The maximum height for individual letters is 3-feet.

- No additional off-premise signs are allowed except for traffic safety signs, street signs, or location markers or directory maps. There is one existing off-premise sign located at the northwest corner of proposed Tract 2A.

- All signage shall be designed to be consistent with and complement the materials, color, and the architectural style of the building or site location.

- Free-standing signs shall be placed at the back of the public right-of-way line and outside of the safety vision triangle at all entries and intersections.

- No signage is allowed that uses flashing, oscillating, occultating, revolving, blinking, or audible devices. No banners, pennants, ribbons, or streamers are allowed except for thematic special events and with prior approval by City of Albuquerque Zoning Department.

- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices. Pole-mounted signs are not allowed.

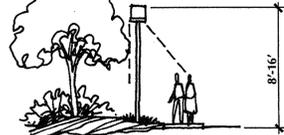
- No lighted signs shall be placed on east-facing buildings or in a location that is visible from residential areas east of this development.

Guidelines

- Free-standing monument style signs are encouraged, particularly for multi-tenant commercial/office development.

LIGHTING

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to lighting design and preservation of a dark "night sky".



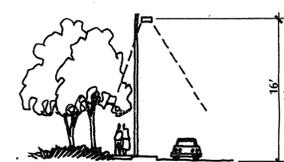
Pedestrian Scale Lighting

Standards

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements.

- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

- Search lights, spotlights, and floodlights are prohibited.



Outdoor Light Poles

- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky" (additional shielding shall be provided on the east side of those fixtures on the eastern edge of the property) and equipped with automatic timing devices. Cobra and sodium lights are prohibited at this site.

- All outdoor light fixtures within commercial or office zones shall remain off between 11:00 p.m. and sunrise except for security purposes (limited to 12-feet in height) or to illuminate walkways, driveways, equipment yards, and parking lots.

- Outdoor light poles shall not exceed 16 feet in height. Public streetlight poles are exempt from this height requirement.

- All lighting on the site shall be fully shielded, cut-off lighting (shoebox) to minimize fugitive lighting and the bulbs shall not extend past the housing.



Bollard Lights

Guidelines

- Area lighting is encouraged to highlight public spaces and walkways. The use of pedestrian scale lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.



Wall Pocket Lights

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to lighting design.

Tract 2-A Black Ranch

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March 25, 2002