

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- \_\_\_ Major Subdivision action
- \_\_\_ Minor Subdivision action
- \_\_\_ Vacation
- \_\_\_ Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- \_\_\_ for Subdivision Purposes
- for Building Permit
- \_\_\_ IP Master Development Plan
- \_\_\_ Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- \_\_\_ Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- \_\_\_ Annexation
- \_\_\_ County Submittal
- V** \_\_\_ EPC Submittal
- \_\_\_ Zone Map Amendment (Establish or Change Zoning)
- P** \_\_\_ Sector Plan (Phase I, II, III)
- \_\_\_ Amendment to Sector, Area, Facility or Comprehensive Plan
- \_\_\_ Text Amendment (Zoning Code/Sub Regs)
- \_\_\_ Street Name Change (Local & Collector)
- L A** **APPEAL / PROTEST of...**
- D** \_\_\_ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Alfred Sanchez III PHONE: 505-385-6330  
 ADDRESS: 3809 Atrisco Drive NW, Suite A FAX: 505-833-4574  
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: onetripper@aol.com  
 Proprietary interest in site: owner List all owners: \_\_\_\_\_  
 AGENT (if any): Consensus Planning, Inc. PHONE: 505-764-9801  
 ADDRESS: 302 8th Street NW FAX: 505-842-5495  
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

**DESCRIPTION OF REQUEST:** Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? \_\_\_ Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 2A2C Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. Black Rancho  
 Current Zoning: SU-for C-1 permissive Proposed zoning: na  
 Zone Atlas page(s): C-13-Z No. of existing lots: 1 No. of proposed lots: 1  
 Total area of site (acres): 1.05 Density if applicable: dwellings per gross acre: na dwellings per net acre: na  
 Within city limits?  Yes. No \_\_\_ , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? \_\_\_\_\_  
 UPC No. 101306430628810404 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: Valley View Drive NW  
 Between: Paseo del Norte NW and Valley View Place NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.):  
Project # 1001206

Check-off if project was previously reviewed by Sketch Plat/Plan? \_\_\_ or Pre-application Review Team? \_\_\_ Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 3/1/07  
 (Print) James K. Storzler, AICP Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers  
07EPC 00246  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 Hearing date 4-19-07

Action	S.F.	Fees
<u>SBP</u>	<u>PI</u>	\$ <u>385.00</u>
<u>CMF</u>		\$ <u>50.00</u>
<u>ADV</u>		\$ <u>75.00</u>
		\$ _____
		\$ _____
		Total
		\$ <u>510.00</u>

Project # 1001206

[Signature]

**FORM P(1): SITE PLAN REVIEW – E.P.C. PUBLIC HEARING**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**IP MASTER DEVELOPMENT PLAN**

- \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.  
For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
- \_\_\_ Site plans and related drawings reduced to 8.5" x 11" format
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- \_\_\_ Completed Site Plan for Subdivision and/or Building Permit Checklist
- \_\_\_ Sign Posting Agreement
- \_\_\_ TIS/AQIA Traffic Impact Study form with required signature
- \_\_\_ Fee (see schedule)
- \_\_\_ Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **30** copies for EPC public hearings.
- Site plans and related drawings reduced to 8.5" x 11" format
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision and/or Building Permit Checklist
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

**NOTE:** For wireless telecom facilities (administrative reviews that have been referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:

- \_\_\_ Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
- \_\_\_ Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- \_\_\_ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- \_\_\_ Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- \_\_\_ Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
- \_\_\_ Registered Engineer's stamp on the Site Development Plans
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
- \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
- \_\_\_ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30** copies for EPC public hearings
- \_\_\_ Site plans and related drawings reduced to 8.5" x 11" format
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- \_\_\_ Sign Posting Agreement
- \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- \_\_\_ TIS/AQIA Traffic Impact Study form with required signature
- \_\_\_ Fee (see schedule)
- \_\_\_ Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strazier AICP  
Applicant name (print)  
[Signature]  
Applicant signature / date  
3/1/07



Form revised October 2004

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
07EPC - 00246

[Signature]  
Planner signature / date  
**Project # 1001206**

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from APRIL 4, 2007 to APRIL 19, 2007

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Juice Jones  
(Applicant or Agent)

3-1-07  
(Date)

I issued 2 signs for this application, 03/01/07 Sandy Handley  
(Date) (Staff Member)

DRB PROJECT NUMBER: 1601204

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Alfred Sanchez III DATE OF REQUEST: 2/27/07 ZONE ATLAS PAGE(S): C-13-2

**CURRENT:**

ZONING SU1 FOR C-1  
PARCEL SIZE (AC/SQ. FT.) 1 AC.

**LEGAL DESCRIPTION:**

LOT OR TRACT # 2A2C BLOCK # \_\_\_\_\_  
SUBDIVISION NAME Black Ranch

**REQUESTED CITY ACTION(S):**

- |                |                     |                         |                     |
|----------------|---------------------|-------------------------|---------------------|
| ANNEXATION [ ] | SECTOR PLAN [ ]     | SITE DEVELOPMENT PLAN:  |                     |
| COMP. PLAN [ ] | ZONE CHANGE [ ]     | A) SUBDIVISION [ ]      | BUILDING PERMIT [X] |
| AMENDMENT [ ]  | CONDITIONAL USE [ ] | B) BUILD'G PURPOSES [ ] | ACCESS PERMIT [ ]   |
|                |                     | C) AMENDMENT [ ]        | OTHER [ ]           |

**PROPOSED DEVELOPMENT:**

- NO CONSTRUCTION/DEVELOPMENT [ ]  
NEW CONSTRUCTION [X]  
EXPANSION OF EXISTING DEVELOPMENT [ ]

**GENERAL DESCRIPTION OF ACTION: <sup>1</sup>**

# OF UNITS: 1  
BUILDING SIZE: 11,000 (sq. ft.) OFFICE

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE [Signature] DATE 2/27/07  
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO [X] BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [X]  
Notes: BLACK TRACT 2 & 3 / WELLS FARLO (2003)

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature]  
TRAFFIC ENGINEER

2-27-07  
DATE

**Air Quality Impact Analysis (AQIA) May Be Required:**

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [ ] NO [X]

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

[Signature]  
APPLICANT

2/27/07  
DATE

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 1/1/2003  
-FINALIZED 1/1/

[Signature]  
TRAFFIC ENGINEER

2-27-07  
DATE

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

Chris Green 3-1-07  
Applicant or Agent Signature / Date

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

## Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 - SITE PLAN

### A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less      1" = 10'  
1.0 - 5.0 acres                1" = 20'  
Over 5 acres                    1" = 50'  
Over 20 acres                   1" = 100'                      [Other scales as approved by staff]
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

### 2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including handicapped spaces
  - 2. Calculations: spaces required: 61 provided: 49  
Handicapped spaces required: 4 provided: 4
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 3  
provided: 6
  - N/A 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
  - 3. Location and description of amenities, including patios, benches, tables, etc.

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

## 4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## 5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - NA A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system - Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- NA 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail NA 16. Street Tree Plan as defined in the Street Tree Ord.

## SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

## A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- N/A 7. Location of Retaining walls

## B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- N/A 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

## A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- N/A E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

## B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

*Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.*



City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: April 20, 2007

**OFFICIAL NOTIFICATION OF DECISION**

FILE: **Project # 1001206\***  
07EPC-00246 EPC Site Development Plan-  
Building Permit

Alfred Sanchez III  
3809 Atrisco Dr. NW, Suite A  
Albuq. NM 87120

LEGAL DESCRIPTION: for all or a portion of Tract 2A2C, **Black Ranch**, zoned SU-1 for C-1 Permissive, located east of COORS NW, between PASEO DEL NORTE NW and IRVING NW, containing approximately 2 acres. (C-13) Anna DiMambro, Staff Planner

On April 19, 2007 the Environmental Planning Commission voted to defer Project 1001206/ 07EPC-00246 EPC Site Development Plan-Building Permit to the Environmental Planning Commission Public Hearing on May 17, 2007.

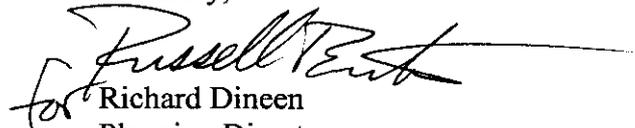
IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **MAY 4, 2007** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION  
APRIL 19, 2007  
PROJECT #1001206  
PAGE 2 OF 2

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,  
  
for Richard Dineen  
Planning Director

RD/AD/ac

cc: Consensus Planning, Inc., 302 8<sup>th</sup> St. NW, Albuquerque, NM 87102  
Janice Torrez, Riverfronte Estates NA, 16114 Travis Rd. NW, Albuquerque, NM 87114  
Mark McNeil, Riverfronte Estates NA, 1610 Lyria Rd. NW, Albuquerque, NM 87114

7. The requested zone change does not conflict with the Fourth Ward Historic Overlay Zone Design Guidelines, as it does not affect any existing structure in the overlay zone nor add a structure to it.
8. The applicant has adequately justified the request, as required by Resolution 270-1980, by responding to all sections of the resolution and demonstrating that neighborhood conditions have changed and that the proposed zoning will be more advantageous to the community.
9. The Board of the Downtown Neighborhood Association wrote a letter of support for the requested zone change.

**CONDITION:**

1. Replat of the subject site with the adjacent Tracts 345, 346-A and 346-B to create one cohesive lot with congruent zone boundary lines.

MOVED BY COMMISSIONER MOYE  
SECONDED BY COMMISSIONER KLEBESADEL

MOTION PASSED UNANIMOUSLY

**8. Project # 1001206\***  
07EPC-00246 EPC Site Development  
Plan-Building Permit

CONSENSUS PLANNING, INC. agents for ALFRED SANCHEZ III request the above action for all or a portion of Tract 2A2C, **Black Ranch**, zoned SU-1 for C-1 Permissive, located east of COORS NW, between PASEO DEL NORTE NW and IRVING NW, containing approximately 2 acres. (C-13) Anna DiMambro, Staff Planner (**DEFERRED TO MAY 17, 2007**)

**STAFF PRESENT:**

Anna DiMambro, Planning Department

**PERSONS PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:**

Jim Strozier, 302 8<sup>th</sup> St.  
John MacKenzie, Mark Goodwin & Assoc.  
Devin Canady, 332 Adams St. SE

**THERE WAS NO ONE PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:**

MS. DIMAMBRO: Reiterated comments made in the staff report in which approval was recommended for the site plan for building permit.

**FINAL ACTION TAKEN**

NOW, THEREFORE, BE IT RESOLVED THAT On April 19, 2007 the Environmental Planning Commission voted to defer Project 1001206/ 07EPC-00246 EPC Site Development Plan-Building Permit to the Environmental Planning Commission Public Hearing on May 17, 2007.

MOVED BY COMMISSIONER SIEGEL  
SECONDED BY COMMISSIONER KLEBESADEL

MOTION PASSED 5-3  
(COMMISSIONERS VALENZUELA,  
CHAVEZ, GROUT ALL VOTED NO)

**NOTE: COMMISSIONER GROUT HAS LEFT**

**9. Project # 1000363**  
07EPC-00245 EPC Site Development  
Plan-  
07EPC-00244 Master Development Plan  
Amendment

Bohannan Huston agents for CITY OF  
ALBUQUERQUE/DMD request the above action for all  
or a portion of Tract G-1, **Balloon Fiesta Park**, zoned  
SU-2 for Balloon Park & Museum & Related Uses,  
located on BALLOON MUSEUM DR. NE, between  
Jefferson St. NE and Alameda Blvd. NE, containing  
approximately 2 acres. (B-17) Carol Toffaleti, Staff  
Planner (**APPROVED WITH CONDITIONS**)

**STAFF PRESENT:**

Carol Toffaleti, Planning Department

**PERSONS PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:**

Colleen Frenz, DMD  
John Castillo, DMD  
Sandra Richardson, P.O. Box 91195  
Don Couchman, 6441 Concordia Rd. NE  
Tom Levine, 2821 Madeira Dr. NE  
Michael Anderson, 4920 Rio Grande Blvd. NW

**PERSONS PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:**

Larry Caudill, 4915 Watercress NE  
Steve Wentworth, 8919 Boe Lane NE



# ENVIRONMENTAL PLANNING COMMISSION

## A G E N D A

Thursday May 17, 2007  
8:30 a.m.

Plaza del Sol Hearing Room  
Lower Level  
600 2nd Street NW

### MEMBERS

Jeffery Jesionowski, Chairman  
Laurie Moye, Vice Chair

Jonathan Siegel  
Jim Grout  
Ishmael Valenzuela

Larry Chavez  
Virginia Klebesadel  
Judy Kowalski

\*\*\*\*\*  
\*\*\*\*\*

**NOTE: A LUNCH BREAK AND DINNER BREAK WILL BE ANNOUNCED AS NECESSARY**

Agenda items will be heard in the order specified unless changes are approved by the EPC at the beginning of the hearing; deferral and withdrawal requests (by applicants) are generally reviewed at this time (see item 1A and 1B below). Applications with no known opposition that are supported by the Planning Department are scheduled at the beginning of the agenda; these cases are noted with an asterisk (\*). Applications deferred from a previous hearing are normally scheduled at the end of the agenda.

There is no set time for cases to be heard. However, interested parties can monitor the progress of the hearing by calling the Planning Department at 924-3860. All parties wishing to address the Commission must sign-in with the Commission Secretary at the front table prior to the case being heard. Please be prepared to provide brief and concise testimony to the Commission if you intend to speak. **In the interest of time, presentation times are limited as follows, unless otherwise granted by the Commission Chair: Staff - 5 minutes; Applicant - 10 minutes; Public speakers - 2 minutes each. An authorized representative of a recognized neighborhood association or other organization may be granted additional time if requested.**

All written materials - including petitions, legal analysis and other documents - should be submitted at least 10 days prior to the public hearing, ensuring presentation at the EPC Study Session. The EPC strongly discourages submission of written material at the public hearing. Except in extraordinary circumstances, the EPC will not consider written materials submitted at the hearing. In the event the EPC believes that newly submitted material may influence its final decision, the application may be deferred to a subsequent hearing.

**NOTE: ANY AGENDA ITEMS NOT HEARD BY 8:30 P.M. MAY BE DEFERRED TO ANOTHER HEARING DATE AS DETERMINED BY THE PLANNING COMMISSION.**

1. **Call to Order.**

- A. Announcement of Changes and/or Additions to the Agenda
- B. Approval of the Amended Agenda

2. **Project # 1001620\***

07EPC-00201 Text Amendment to the Zone Code

**Project # 1004831**

07EPC-00202 Text Amendment to the Subdivision Ordinance

COA/PLANNING DEPARTMENT agent for COA/CITY COUNCIL request the above action(s) for Amending Section 14-16-1-5, ROA 1994, a portion of the Comprehensive Zoning Code and Section 14-14-3-4, ROA 1994, a portion of the Subdivision Ordinance associated with a proposed Albuquerque Archeological Ordinance (O-07-72). Catalina Lehner, Staff Planner **(DEFERRED FROM APRIL 19, 2007)**

3. **Project # 1005482\***

07EPC-00430 EPC Site Development Plan-Building Permit

DESIGN PLUS LLC agents for STONEBRIDGE INVESTMENT GROUP request the above action for all or a portion of Tracts 2 & 3, **Mira Mesa Estates**, zoned C-2 (SC), located on HANOVER NW, between 64TH ST. NW and 68TH ST. NW, containing approximately 5 acres. (J-10) Anna DiMambro, Staff Planner

4. **Project # 1000300\***

07EPC-00438 EPC Site Development Plan-Subdivision  
07EPC-00439 EPC Site Development Plan-Amendment to Building Permit

07EPC-00437 EPC Site Development Plan- Building Permit

DAC ENTERPRISES, INC. agents for JOHN TRIANDAFILIDIS, request the above actions for all or a portion of Tract A-2-C and Tract A-2-D, **Montgomery Crossing Addition**, zoned SU-1 for C-1 and O-1 uses, located on MONTGOMERY BLVD NE, between General Chennault St and Moon St. NE, containing approximately 2 acres. (G-20) Catalina Lehner, Staff Planner

5. **Project # 1000762\***

07EPC-00446 EPC Site Development Plan-Subdivision  
07EPC-00447 Zone Map Amendment

CONSENSUS PLANNING agents for FOUNTAIN HILLS PLAZA LLC request the above actions for all or a portion of Tracts 2B, 3B, B-1-A, C-1-A, D-1-A, 6-A-1A, 10-A-1, 10-2-A, Albuquerque West Unit 1 and Tract B, Richland Hills, Unit 1, zoned SU-1 PDA to Include C-3 Uses and Su-1 in IP Uses with Exceptions, located on Paseo del Norte NW between Eagle Ranch Road NW and Educations Place NW, containing approximately 31 acres. (C-12) Stephanie Shumsky, Staff Planner

**6. Project # 1004731\***  
07EPC-00448 EPC Site  
Development Plan-Building Permit

BERENT GROTH, ARCHITECT agents for PAUL & GENE CHAVEZ request the above actions for all or a portion of Lots 19, 20-24, **Romero Addition**, zoned SU-2 for SU-1 for Residential and/or Law Office, Court Reporter, Accountant, Architects, Engineer, Doctor Office, located on Fifth St. NW, between Summer NW and Rosemont NW, containing approximately 1 acre. (J-14) Catalina Lehner, Staff Planner

**7. Project # 1000771\***  
07EPC-00445 EPC Amendment to  
Site Development Plan for  
Subdivision  
07EPC-00444 EPC Site  
Development Plan-Building Permit

DEKKER/PERICH/SABATINI agents for H.R. RENTAL PROPERTIES INC. request the above actions for all or a portion of Tracts C, **Cottonwood Pointe Subdivision**, zoned SU-1 for R-2, C-2 and IP, located on EAGLE RANCH ROAD NW, between EAGLE RANCH ROAD NW and IRVING BLVD. NW, containing approximately 7 acres. (B-13) Carol Toffaleti, Staff Planner

**8. Project # 1004735\***  
07EPC-00441 EPC Site  
Development Plan-Subdivision  
07EPC-00443 EPC Site  
Development Plan-Building Permit

DORMAN & BREEN ARCHITECTS, agents for TRAMWAY COMMUNITY CHURCH, request the above actions for all or a portion of Lot 1-A, **Tramway Ridge**, zoned SU-1 for Office-institutional-commercial including 2 restaurants with full service liquor, located on TRAMWAY RIDGE NE, between MONTGOMERY BLVD. NE and MANITOBA NE, containing approximately 4 acres. (F-22) Catalina Lehner, Staff Planner

**9. Project # 1005484**  
07EPC-00433 EPC Site  
Development Plan-Building Permit

MULLEN HELLER ARCHITECTS agents for CAT STEVENS LLC request the above action for all or a portion of Tract H-6A6A2A1, **Riverview Parcels**, zoned SU-1 for IP Uses and SU-1 for Uses Permissive in IP with Exceptions, located on GOLF COURSE RD. NW, between PASEO DEL NORTE NW and SHELLY ROSE NW, containing approximately 1 acre. (C-12) Carol Toffaleti, Staff Planner

**10. Project # 1005183**  
07EPC-00416 EPC Site  
Development Plan-Building Permit

JOHN MARTINEZ, MARLENE RANDALL and VERONICA GIBILARO request the above action for all or a portion of Tract 10A, **Zapf Van Addition No. 10**, zoned SU-1 for O-1, located on MONTANO RD. NW, between 4TH ST. NW and GUADALUPE TRAIL NW, containing approximately 1 acre. (F-14) Stephanie Shumsky, Staff Planner

**11. Project # 1005487**  
07EPC-00436 Zone Map  
Amendment

GARCIA/KRAEMER & ASSOCIATES agents for ELLEN MATHUES request the above action for all or a portion of Lot 34A, **Hoffmantown Addition**, a zone map amendment from R-1 to O-1, located on GARCIA ST. NE, between CANDELARIA NE and CLAREMONT NE, containing approximately 1 acre. (H-20) Carol Toffaleti, Staff Planner

**12. Project # 1005233**  
07EPC-00442 EPC Site  
Development Plan-Building Permit

DEKKER PERICH SABATINI agents for PRESBYTERIAN HEALTHCARE SOURCES request the above action for all or a portion of Lot 5, Block 5, **Sundt's Industrial Center**, zoned M-2, located on MONTBEL LOOP NE, between ALEXANDER NE and JOAN HILL NE, containing approximately 6 acres. (F-15) Anna Dimambro, Staff Planner

**13. Project # 1004000**  
07EPC-00450 EPC Site  
Development Plan-Building Permit

NCA ARCHITECTS agents for North Valley Seventh Day Adventist Church request the above actions for Tract A-1, Eagle Ranch Subdivision, zoned SU-1 PDA to Include C-3 Uses, located on Paradise Blvd. NW between Coors Blvd. NW and Eagle Ranch Rd. NW, and containing approximately 3. acres. Stephanie Shumsky, Staff Planner

**14. Project # 1005353**  
07EPC-00103 Zone Map  
Amendment

MARK PAGE agent for AL HEATING request the above action for all or a portion of Lots 8 & 9, Block 1, **Buena Tierra Addition**, a zone map amendment from R-1 to C-3, located on 3RD ST. NW, between CLAREMONT NW and PHOENIX NW, containing approximately 1 acre. (H-14) Anna DiMambro, Staff Planner **(DEFERRED FROM APRIL 19, 2007)**

**15. Project # 1004178**  
06EPC-01796 Zone Map  
Amendment

GARCIA/KRAEMER & ASSOC. agents for NM ONE CALL C/O GARY SLOMAN request the above actions for all or a portion of Tracts G1 and G2, Block 27, **Mesa Village**, a zone map amendment from O-1 to C-1, located on EUBANK NE, between LOMAS NE and WALKER NE, containing approximately 2.5 acres. (J-20) Stephanie Shumsky, Staff Planner **(DEFERRED FROM FEBRUARY 15, 2007)**

**16 Project # 1000696**  
07EPC-00111 Zone Map  
Amendment

DAVID CAMPBELL agent for RAYLEE VANTAGE HOMES request the above action for all or a portion of Tract C OF PLAT Intercidental & Consulting Inc., of **Tracts A, B, C, Lee's Bosque Subd.**, a zone map amendment from RD to SU-1 for C-1 Purposes, located on COORS BLVD. NW, between BOSQUE MEADOWS NW and the CORRALES CANAL, containing approximately 7 acres. (D-13) Catalina Lehner, Staff Planner **(DEFERRED FROM APRIL 19, 2007)**

**17. Project # 1001206**  
07EPC-00246 EPC Site  
Development Plan-Building Permit

CONSENSUS PLANNING, INC. agents for ALFRED SANCHEZ III request the above action for all or a portion of Tract 2A2C, **Black Ranch**, zoned SU-1 for C-1 Permissive, located east of COORS NW, between PASEO DEL NORTE NW and IRVING NW, containing approximately 2 acres. (C-13) Anna DiMambro, Staff Planner **(DEFERRED FROM APRIL 19, 2007)**

**18. Project # 1001620**  
07EPC-00170 Text Amendment to  
the  
Zoning Code

CITY OF ALBUQUERQUE, PLANNING DEPARTMENT agent(s) for  
CITY OF ALBUQUERQUE, CITY COUNCIL requests the above  
action for Amending a portion of Section 14-16-4-2 ROA 1994 to  
change the requirements for approval of a variance. City Wide.  
Stephanie Shumsky, Staff Planner **(DEFERRED FROM APRIL 19,  
2007)**

**19. Project # 1000570**  
06EPC-00141 EPC Sector  
Development Plan  
06EPC-00139 Zone Map  
Amendment

Moule & Polysoides Arch. agents for Sun Cal New Mexico request the  
above actions for Parcels C, D, E, F, G, H, **Westland North Bulk Land  
Plat**, a zone map amendment from SU-2 for R-LT, R-2, O-1, OS and  
PDA for Town Center to SU-2 for RL-T, R-2, O-1, OS and PDA for T  
own Center, located on ARROYO VISTA BLVD. NW, between HIGH  
MESA DRIVE NW, 98TH ST. NW and I-40, containing approximately  
506 acres. (J-7) Stephanie Shumsky, Staff Planner **(DEFERRED  
FROM FEBRUARY 15, 2007)**

**20. Project # 1001620**  
06EPC-00958 Text Amendment

Text Amendment to Section 14-16-3-5 General Sign Regulations and to  
Sections 14-16-1-5 through 14-16-2-26, 14-16-3-2 through 14-16-3-12  
to create comprehensive signage regulations that restrict height, area and  
numbers of free-standing signs per permissive based on use, zoning  
category and building size. Russell Brito, Staff Planner **(DEFERRED  
FROM MARCH 15, 2007)**

**21. Project # 1000965**  
06EPC-01314 EPC Site  
Development Plan-Building Permit  
06EPC-01315 EPC Site  
Development Plan-Amendment to  
Subdivision

CONSENSUS PLANNING agent for ASW REALTY  
PARTNERS/ANADALUÇIA DEVEL. CORP. request the above actions  
for all or a portion of Tracts A & B, **Andalucia at La Luz**, zoned SU-  
1/PRD 5 du/acre, located on COORS BLVD. and SEVILLA AVE. NW,  
containing approximately 15 acres. (F-11) Carmen Marrone, Staff  
Planner **(DEFERRED FROM MARCH 15, 2007)**

22. Other Matters



City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: May 18, 2007

**OFFICIAL NOTIFICATION OF DECISION**

FILE: **Project # 1001206**  
07EPC-00246 EPC Site Development Plan-  
Building Permit

Alfred Sanchez III  
3809 Atrisco Dr. NW, Suite A  
Albuq. NM 87120

**LEGAL DESCRIPTION:** for all or a portion of Tract 2A2C, **Black Ranch**, zoned SU-1 for C-1 Permissive, located east of COORS NW, between PASEO DEL NORTE NW and IRVING NW, containing approximately 2 acres. (C-13) Anna DiMambro, Staff Planner

On May 17, 2007 the Environmental Planning Commission voted to approve Project 1001206/ 07EPC 00246, a request for approval of a Site Development Plan for Building Permit, for Lot 2A2C, Black Ranch, zoned SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-Service Liquor, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, an approximately 1 acre site located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The applicant proposes to construct a two-story 16,000 square foot office building
2. The subject site is located in the area designated Developing Urban by the Comprehensive plan and within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site (01EPC 00558).
3. The request furthers the following Comprehensive Plan policies:
  - a. Policy 2.B.5.d: The location, intensity, and design of the proposed development respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.
  - b. Policy 2.B.5.e: The subject site is contiguous to existing urban facilities. Site plan review will ensure that the integrity of existing neighborhoods can be ensured.

- c. Policy 2.B.5.g: This site contains no significant topographical features. It is adjacent to the Corrales Main Canal.
  - d. Policy 2.B.5.i: The proposed office building will be located convenient to residential areas. Site plan review will ensure that adverse effects of noise, lighting, pollution, and traffic on residential environments are minimized.
  - e. Policy 2.B.5.l: The high-quality, innovative office building proposed in this submittal is appropriate to the Plan area and complies with the site plan for subdivision design standards.
  - f. Policy 2.B.5.m: Site plan review and regulations of the Coors Corridor Plan will ensure that unique vistas are maintained and that the quality of the visual environment is enhanced.
  - g. Policies 2.C.8.a and e: Site plan review and regulations of the Coors Corridor Plan will ensure that the natural and visual environments are respected.
4. The request partially furthers the following Comprehensive Plan Transportation and Transit policies:
- a. Policy 2.D.4.a: Floor area ratio complies with all applicable policies and regulations, but the applicant has not provided pedestrian connections between adjacent developments.
  - b. Policy 2.D.4.g: The applicant has provided a sidewalk that will encourage pedestrian opportunities within the site but has not provided pedestrian connections to adjacent sites.
5. The request generally furthers West Side Strategic Plan Policy 4.6, which specifies design guidelines.
6. This request furthers the following Coors Corridor Plan policies:
- a. Issue 3, Policy 5: The intensity of the proposed development is in accord with roadway function, existing zoning, environmental concerns, and design guidelines.
  - b. Issue 3, Policy 7: The submittal is part of an overall site development plan for subdivision, which could have encouraged cluster development.
  - c. Issue 4, A, Policy 1: The proposed office building is well designed and landscaped and contributes to appropriate and pleasing visual impressions within the Coors corridor.
  - d. Issue 4, A, Policy 3: The proposed office building is designed to be compatible with the natural landscape and the built environment in accordance with the design regulations and guidelines.
  - e. Issue 4, B, Policy 1: Natural site amenities have been incorporated into the site design. The site plan shows a pedestrian connection to the Corrales Main Canal.
  - f. Issue 4, B, Policy 4: Landscape design and improvements are complementary to the individual site and to the overall appearance of the Coors corridor.
  - g. Issue 4, B, Policy 7: Separate pedestrian and vehicular access is provided.
  - h. Issue 4, B, Policy 9: Site area lighting, including parking area lighting, is carefully designed and located to minimize glare on public right-of-way and adjacent premises.
  - i. Issue 4, B, Policy 10: Architectural design contributes to the enhancement and overall visual environment of the Coors Corridor.
  - j. Issue 4, D: Signage complements the appearance and function of the roadway and the corridor while protecting the unique views beyond the corridor.

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PROJECT #1001206

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7. This request is in justifiable conflict with the following Coors Corridor Plan policies:
  - a. Issue 4, A, Policy 2: The applicant has submitted a view analysis that shows that the proposed building's maximum height will interfere with views. The applicant has demonstrated that a hardship exists that allows a variance from the view plane height restrictions.
  - b. Issue 4, B, Policy 2: The building is not located to provide a pleasing and functional relationship to the roadway and to adjacent or related buildings and structures. However, the building does have a pleasing relationship to the Corrales Main Canal. The applicant has also shown that locating the building to further this policy would increase the conflict with Coors Corridor Plan policies for view preservation.
  - c. Issue 4, B, Policy 5: Off-street parking facilities are not located to the rear of this site. Street frontage is not devoted to building architecture and landscaping. The applicant has shown that locating the parking to further this policy would increase the conflict with Coors Corridor Plan policies for view preservation.
  - d. Issue 4, B, Policy 6: This commercial site has not been designed so that a portion of the building is located near the street perimeter. The applicant has shown that locating the building to further this policy would increase the conflict with Coors Corridor Plan policies for view preservation.
  - e. Issue 4, C, Policy 1: The applicant has submitted a view analysis that shows conflict with Coors Corridor view plane building height requirements. The applicant has demonstrated hardship to obtain a variance from this requirement, and has submitted a letter justifying this hardship.
  
8. The applicant has justified conflicts with the governing site development plan for subdivision's design standards:
  - a. Design standards require a 6' wall along the eastern edge of the site with the intent of protecting the residences east of the Corrales Main Canal. The applicant has demonstrated that a 3' parking screening wall is adequate for protection of the residential area and that the building and patio area do not require screening.
  - b. Design standards require a 10' landscape buffer along the eastern edge of the site. The applicant has demonstrated that a 6' landscape buffer adjacent to the parking area is adequate for protection of the residential area due to the approximately 100' wide canal separating the residences from the subject site and the proposed 3' parking screen wall.
  - c. The Riverfronte Estates Neighborhood Association has submitted a letter stating that they are not opposed to the requested noncompliance with the wall standards of the site development plan for subdivision.
  
9. The applicant has demonstrated that hardship exists because the governing site development plan for subdivision for the subject site was approved by the Environmental Planning Commission and identified the subject site as appropriate for a two-story hotel. Topographic and engineering/infrastructure constraints affect the subject property. Therefore, it is appropriate to grant a variance to the View Plane and Building Height regulation of the Coors Corridor Plan based upon these constraints.

10. Since the April 19, 2007 Environmental Planning Commission hearing, the applicant has reduced the proposed building's size and has lowered the site 2.35' to reduce intrusion into the view plane as described by the Coors Corridor Plan.
11. There is no known opposition to this request.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered.
4. The applicant shall demonstrate how the Energy Management Goal, Section II.D.3 of the Comprehensive Plan, is furthered.
5. City Engineer conditions:
  - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
  - d. Site plan shall comply and be designed per DPM Standards.
6. The applicant shall list the colors to be used for the dumpster enclosure on the site plan.

OFFICIAL NOTICE OF DECISION  
MAY 17, 2007  
PROJECT #1001206  
PAGE 5 OF 6

7. Landscaping:
  - a. Scotch Broom shall be replaced with Lena's Broom or Burkwoodii Broom.
  - b. Threadgrass shall be replaced with Indian Rice Grass or Deergrass.
  - c. Plant beds shall achieve 80% live ground cover.
  - d. Add note to tree planting diagram stating: Prior to backfilling tree, all wire, rope, and synthetic materials shall be removed from the tree and the planting pit. All burlap shall be cup away except from bottom of rootball.
8. The applicant shall revise wall design to comply with Zoning Code wall design regulations in Section 14-16-3-19.
9. The applicant shall provide security lighting for the front of the building and the patio.
10. Signage:
  - a. East-facing signage shall not be lit.
  - b. Monument signs shall comply with site development plan for subdivision standards, which limit the subject site to two freestanding signs.
11. Building height including towers and other elements not necessary to screen mechanical equipment shall be limited to 26 feet.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **JUNE 1, 2007** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

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PROJECT #1001206  
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YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

  
*for* Richard Dineen  
Planning Director

RD/AD/ac

cc: Consensus Planning, Inc., 302 8<sup>th</sup> St. NW, Albuquerque, NM 87102  
Janice Torrez, Riverfronte Estates NA, 16114 Travis Rd. NW, Albuquerque, NM 87114  
Mark McNeil, Riverfronte Estates NA, 1610 Lyria Rd. NW, Albuquerque, NM 87114

February 27, 2007

Mr. Jeffrey Jesionowski, Chairman  
Environmental Planning Commission  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87102

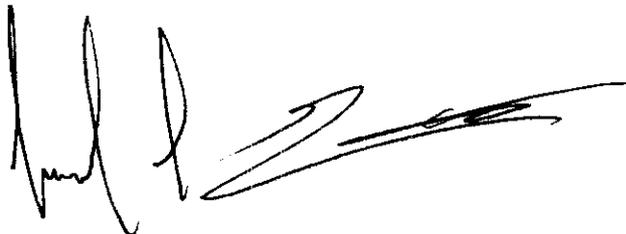
**RE: Site Development Plan for Building Permit for an Office Building  
UPC# 101306430628810404  
Project # 1001206**

Dear Mr. Jesionowski:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as our agent on this request for Site Development Plan for Building Permit for  $\pm$  1.05 acre parcel in northwest Albuquerque. The property is located on Valley View Drive NW between Paseo del Norte and Valley View Place NW.

The subject property is legally described as: **Black Ranch, Tract 2A2C.**

Sincerely,

A handwritten signature in black ink, appearing to read 'Alfred Sanchez III', written over a horizontal line.

Alfred Sanchez III



February 27, 2007

Mr. Jeffrey Jesionowski, Chairman  
Environmental Planning Commission  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87102

Landscape Architect  
Civil Engineer  
Planning Services

**RE: Site Plan for Building Permit  
Tract 2A2C, Black Ranch  
UPC# 101306430628810404  
Project # 1001206**

101306430628810404  
1001206  
101306430628810404  
1001206

Dear Mr. Jesionowski:

The purpose of this letter is to describe the attached submittal for a Site Plan for Building Permit for Tract 2A2C, Black Ranch located on Valley View Drive, between Paseo del Norte and Valley View Place NW. This request includes approximately 1.05 acres of land zoned SU-1 for C-1 permissive uses and hotel not to exceed two-stories and restaurant with full service liquor.

The applicant proposes to construct a 16,000 square foot two-story office building. The Site Development Plan for Building Permit includes a conceptual Landscape Plan, Grading and Drainage Plan, Utility Plan, and Architectural Elevations. The property is located within an approved Site Development for Subdivision and requirements as set forth in this document. This request will add additional development to this vacant infill property that is fully served by existing infrastructure.

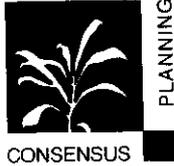
We look forward to presenting this project to you and the Commission at your April 19<sup>th</sup> public hearing.

Sincerely,

James K. Strozier, AICP  
Principal

101306430628810404  
1001206  
101306430628810404  
1001206

101306430628810404  
1001206



## Memorandum

**To:** Anna DiMambro, City of Albuquerque Development Review

**From:** Joyce Jordan, Planning Assistant

**Date:** April 3, 2007

**Re:** Project # 1001206 (ADS Office Complex)

This letter is in response to your memorandum dated March 21, 2007. Please don't hesitate to contact me should you have any questions regarding this response.

### Substantive

- **Demonstrate building and landscaping compliance with Coors Corridor Plan view corridor regulations.**  
*View diagram showing compliance with view corridor regulations provided by Devin Cannady, Architect, was submitted for your review on March 28, 2007.*
- Show groundcover calculations.  
*Groundcover calculations have been added to Sheet L1.*
- Graphic scale is incorrect (on almost all pages)  
*Graphic scale has been corrected on Sheet AS.01 and AS.03.*
- Scale of drawings is slightly off. Measurements do not come out right (on almost all pages).  
*Scale has been corrected on Sheet AS.01 and AS.03.*
- Provide minimum of three motorcycle parking spaces  
*Parking spaces have been provided and are shown on Sheet AS.01.*
- Provide color reductions for commissioners  
*Color reductions of the site plan have been provided on 11x17 sheets.*
- Most plants are not on the recommended plant list in the site plan for subdivision. Change or explain why.  
*The plant palette in the Site Plan for Subdivision is merely "suggested". We have deviated from the list to provide a better variety in terms of plant texture, color, growth characteristics, etc.*

- 6' minimum width required for landscaping strips. The eastern strip is not wide enough. Making that row of parking compact could accommodate the necessary landscaping width.  
*Six foot minimum width required for landscaping strips has been provided, and is shown on Sheet AS.01.*

#### Non-substantive

- List number of bubblers per tree (minimum of three one-gallon bubblers per tree).  
*There will be a drip irrigation system vs. a bubbler system; so the list is not necessary.*
- Landscaping plan: in statement of water waste, it references the ADA Office Complex. Should it be ADS?  
*Text has been changed to reflect ADS, instead of ADA.*
- Spelling error on grading plan in bottom left corner.  
*Spelling error "maintained" will be corrected on the grading plan, Sheet C1, prior to DRB submittal.*
- Spelling error on landscaping plan (Autumn Joy).  
*Spelling error "Autumn Joy" has been corrected on Sheet L1.*
- Re-label sheet AS.01 Site Plan for Building Permit.  
*Sheet AS.01 has been re-labeled as "Site Plan for Building Permit".*
- Remove reference to Rio Rancho in keyed note #14.  
*Corrected; reference to Rio Rancho has been removed.*
- Spelling error in keyed note #23.  
*Spelling error "maintained" has been corrected on Sheet AS.01, #23.*
- Spelling error in "not for construction" note on all pages.  
*"Not for construction" has been deleted on all sheets.*
- North arrow on grading plan is incorrect.  
*The north arrow on the grading plan is correct.*

Devin Cannady  
Architect Studio  
www.dcarchitectstudio.com



March 27, 2007

Mr. Jeffery Jesionowski, Chairman  
Environmental Planning Commission  
600 Second Street NW  
Albuquerque, NM 87102

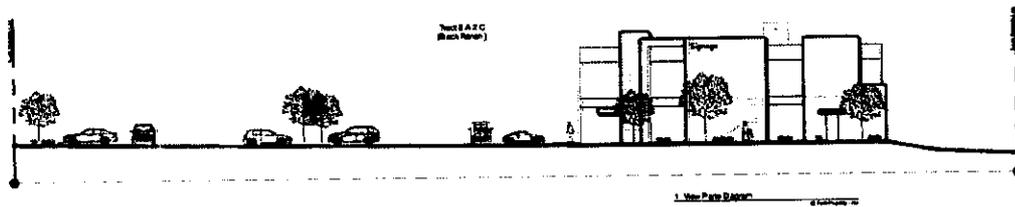
Re: ADS Office Complex (Project #1001206)

Dear Chairman Jesionowski:

The purpose of this letter is to provide justification and demonstrate compliance with the Coors Corridor Plan view corridor regulations.

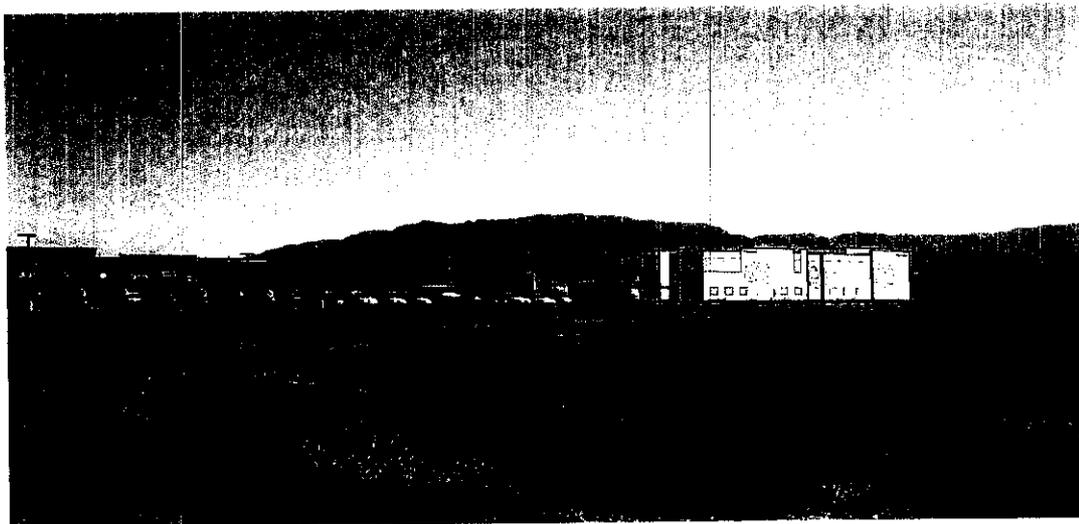
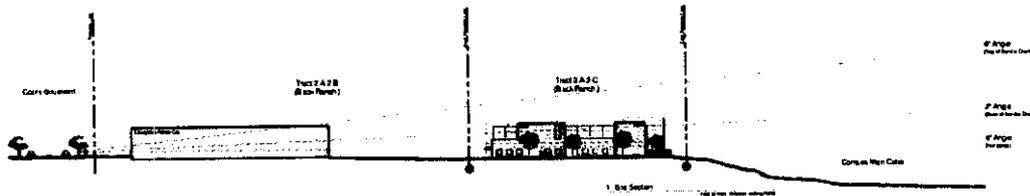
Policy 1 – Views within the Corridor

'Appropriate and pleasing visual impressions within the corridor should be established and preserved.'



Policy 2 – Views beyond the Corridor

'Significant views beyond the corridor, including the volcanoes, the escarpment, the arroyos, the bosque, the Rio Grande Valley, and the Sandia Mountains as viewed from Coors Boulevard should be preserved and enhanced.'



View Looking at Sandia Peak

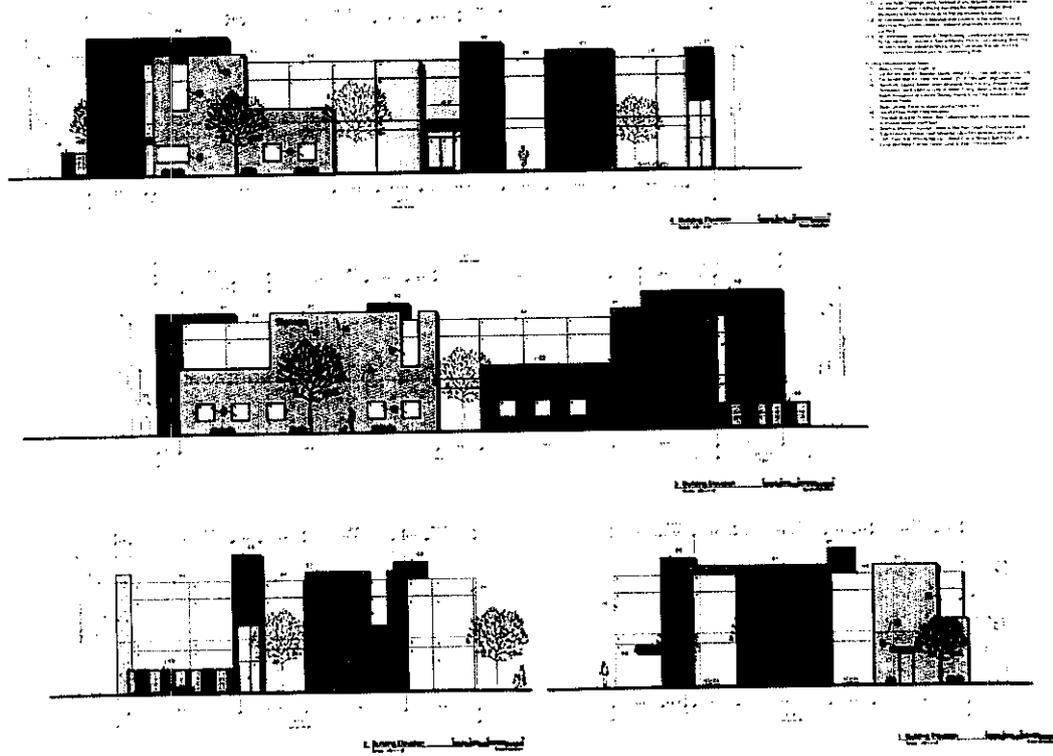
332 Adams Street SE | Albuquerque, NM 87108 | 505.299.1111 Phone | 505.349.4167 Fax



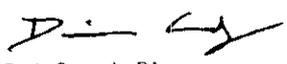
Site Plan

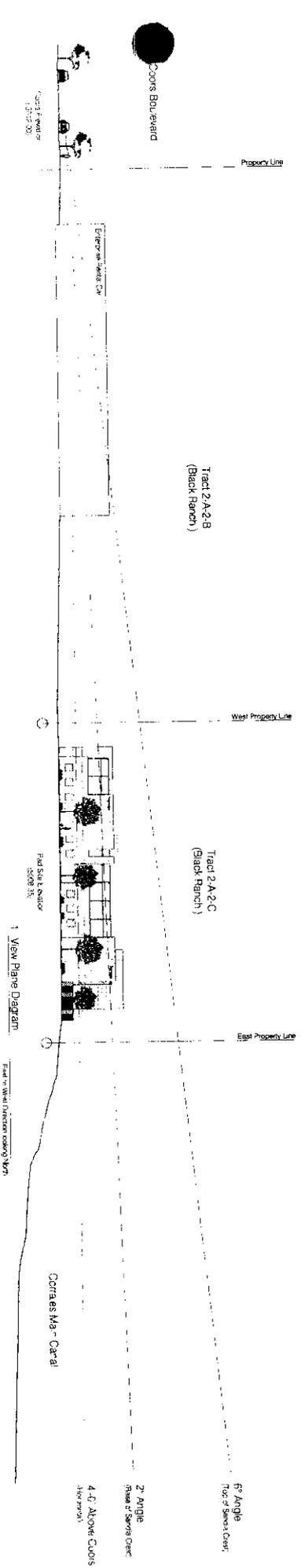
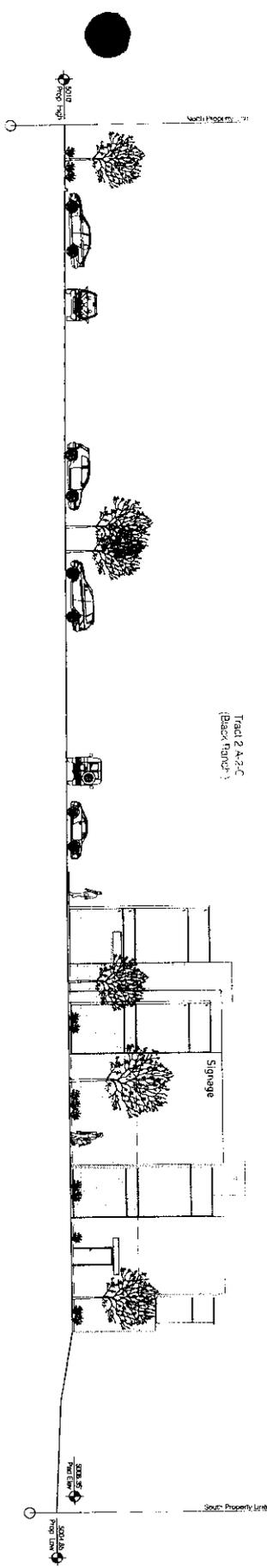
The proposed building location is at the Southern most end of the subject site. Drainage occurs from North to South, thus sighting the building at the lowest elevation on site. This provides parking to the street and building to the rear of the site. As seen in the view towards Sandia Peak above the selected location minimizes the visual effect of Sandia Peak. The building location allows full visibility of the peak and the majority of the face of the Sandia Mountains. The location also allows for a visual break between the existing building and the proposed building rather than a continuous barrier which provides a more pleasing visual expression.

The approved Site Development Plan for Subdivision dated March 25<sup>th</sup>, 2002 allows a maximum building height of 32 feet while adhering to the Coors Corridor View Regulations. The proposed maximum building height is 32 feet at minimal locations. The majority of the building parapets are between 26 & 28 feet, the intent is to provide a building adequate for reasonable mechanical screening as well as to provide comfortable floor to floor heights at its interior.

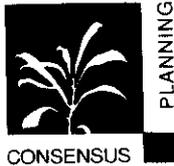


We respectfully request that the EPC review and approve our proposed building heights & location. These parameters should be acceptable as we are meeting all Zoning & Building Code requirements as well as the Coors Corridor View Regulations with this proposal. We believe the proposed project exceeds expectations and will be a positive addition to Albuquerque's Westside.

Sincerely,  
  
 Devin Cannady, RA  
 Principal, DC Architect Studio

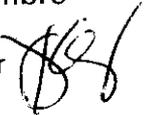


Design Courtesy:  
 Architeda Studio  
 www.architeda.com



## Memorandum

To: Anna DiMambro

From: Jim Strozier 

Date: April 11, 2007

Re: Project # 1001206

The purpose of this memo is to respond to the view preservation regulations as identified in the Coors Corridor Plan.

The property is covered by the Coors Corridor Plan (currently being updated) and an EPC approved Site Plan for Subdivision which identified the property as appropriate for commercial, office, or a 2-story hotel. The rationale originally used to support the two story buildings being located in the back row was that they are behind the retail buildings located adjacent to Coors. The entire infrastructure required for the parcels (roadway, water, sewer, and storm drainage) was constructed, an overall grading and drainage plan was approved, and the property was platted consistent with the approved Site Plan for Subdivision.

This portion of Coors is very flat since there is an upper bench that is created between Coors Boulevard and the Corrales Main Canal. The grade change occurs east of the Canal and provides an excellent separation between the businesses above and the large lot residential below. Restrictions in the Site Plan for Subdivision were developed in response to concerns from Riverfronte Estates and dealt with issues of lighting, landscaping, noise and the wall treatment along the east edge of the project. When contacted concerning the proposed office building, there were no concerns expressed by the neighborhood.

The Coors Corridor Plan, Section C – View Preservation for Corridor Segments 3 and 4 apply to this property. Several issues are raised in application of these requirements to the subject property.

View Plane: this is defined as a horizontal line 4 feet above the grade of the east driving lane of Coors Boulevard and extending 90 degrees from Coors Boulevard. For a portion of the property the view plane intersects and is terminated by the existing Enterprise Rental Car facility and just south of the Enterprise building the view plane passes adjacent to the building. All of the existing buildings adjacent to Coors Boulevard penetrate the View Plane in this

area. This includes Enterprise, Grandma's Music, Wendy's, etc. These projects were reviewed by the EPC as part of the SU-1 Site Plan for Building Permit process.

Sighting Lines: These lines are defined as a 45 degree angle to Coors Boulevard's alignment.

View Area: The View Area is defined as a series of rectangular windows created where the north and south property lines intersect the sighting lines. The subject property is located 250 feet east of Coors Boulevard (the proposed building is 263 feet east of Coors). The view to the subject property is across AMAFCA's property which is between Coors Boulevard and the subject property at a 45 degree angle.

The attached drawings provide a graphic explanation of our compliance with the view regulations for this property. In conclusion, the proposed project is in compliance with the View Area portion of the regulation and because it blocks less than 50 percent of the View Area and does not extend above the crest of the Sandia Mountains. For the purposes of this analysis, the 263 foot setback from Coors Boulevard mitigates the appearance of the proposed building within the view window.

The proposed building projects above the View Plane. Once again, this is mitigated by the fact that the View Plane, as defined in the Coors Corridor Plan, is terminated prior to reaching the subject property by the Enterprise building as a result of it penetrating the View Plane between the subject property and Coors Boulevard. It is assumed, although not expressly stated in the decision, that the City's approval of the Site Plans for Building Permits for the buildings south of Valley View Place and north of Paseo del Norte constituted the granting of an exception to the view regulations as allowed on page 111 of the Coors Corridor Plan.

As stated above, due to the existing conditions, prior approvals, and engineering constraints, the building does penetrate the View Plane if it were extended through and past the existing Enterprise building. In order to address these constraints, we would request findings be provided that state:

*Proposed Finding 1: The proposed building is located east of the existing Enterprise Rent-a-Car building, which was approved by the Environmental Planning Commission and granted an exception to the View Plane and Building Height regulations due to a hardship created by the topographic and engineering/infrastructure constraints on the property.*

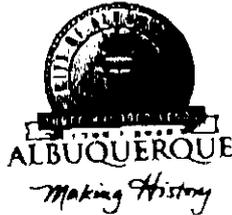
*Proposed Finding 2: Topographic and engineering/infrastructure constraints affect the subject property therefore, it is appropriate to grant an exception to the View Plane and Building Height regulation based upon a hardship created by these constraints. This exception is mitigated by the fact that the building is behind the existing Enterprise Rent-a-Car building, which was granted a similar exception.*

*Proposed Finding 3: The subject property is covered by an EPC approved Site Plan for Subdivision, which identified the subject property as appropriate for a two-story building. Site infrastructure, grading, and plats were prepared, approved, and constructed in conformance with the approved Site Plan for Subdivision.*

Thank you for your consideration of this request. Please contact me if you have any questions or require any additional information.

c: Alfred Sanchez III  
Project Team

Attachments: View Cross Section  
View Area Diagram



# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: February 27, 07

TO CONTACT NAME: Soyce Jordan  
 COMPANY/AGENCY: Consensus Planning  
 ADDRESS/ZIP: 302 8th St NW - 87102  
 PHONE/FAX #: 764-9801 (Fax-842-5495)

Thank you for your inquiry of 2-27-07 (date) requesting the names of **Recognized**

**Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at Black Ranch Tract 2A2C located on Valley View Dr - between Paseo del Norte and Valley View Place zone map page(s) C-13

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Riverfronte Estates NA.

**Neighborhood Association**

Contact: Soyce Jordan  
1614 Travis Rd NW / 87114  
877-208241  
Mark McNeil  
1610 Lydia Rd NW / 87114  
899-4971 (W) 797-4400 (W)

**Neighborhood Association**

Contact: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**See reverse side for additional Neighborhood Association Information: YES { } NO {X}**

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL. RETURN RECEIPT REQUESTED. BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Valaine S. Carmena  
 OFFICE OF NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.

7004 1350 0000 0962 9367

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 ALBUQUERQUE NM 87101

Sent To  
 Mark McNeil  
 Street, Apt. No.,  
 or PO Box No. 1610 Lydia Rd NW  
 City, State, ZIP+4  
 Albuquerque, NM 87104

PS Form 3800, June 2002 See Reverse for Instructions

7004 1350 0000 0962 9350

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<b>Total Postage &amp; Fees</b>	<b>\$ 5.32</b>

Postmark Here  
 ALBUQUERQUE NM 87101

Sent To  
 Janice Torrez  
 Street, Apt. No.,  
 or PO Box No. 1614 Travis Rd NW  
 City, State, ZIP+4  
 Albuquerque, NM 87114

PS Form 3800, June 2002 See Reverse for Instructions



February 27, 2007

Landscape Architecture  
Urban Design  
Planning Services

Janice Torrez  
1614 Travis Road NW  
Albuquerque, NM 87114

Mark McNeil  
1610 Lyria Road NW  
Albuquerque, NM 87114

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 542-5495

cp@consensusplanning.com  
www.consensusplanning.com

Dear Ms. Torrez and Mr. McNeil:

The purpose of this letter is to inform you and the members of Riverfront Estates Neighborhood Association that Consensus Planning has submitted a Site Plan for Building Permit to the City of Albuquerque for Tracts 2A2C, Black Ranch. The property is located on Valley View Drive, north of Paseo del Norte and south of Valley View Place (see Zone Atlas sheet with property indicated).

The applicant proposes the construction of a two-story 16,000 square foot office building. The proposed development is consistent with the intent of the Coors Corridor Plan, the West Side Strategic Plan, and the Site Plan for Subdivision's previously approved Tract 2 Design Guidelines.

The hearing will be April 19, 2007. Please feel free to call me at 764-9801 if you desire additional information or have any questions or would like to meet regarding this application.

Sincerely,

James K. Strozier, AICP  
Principal

Attachments: Zone Atlas Page C-13-Z  
8 1/2 x 11 Site Plan Package

PRINCIPALS

Karen R. Marcotte, AICP  
James K. Strozier, AICP  
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fidanam, AICP

## NON-MEETING LAND-USE CASE REPORT

**Issue:** 07-EPC-00246 EPC Site Development Plan – Building Permit

**Project** #1001206

**Case Planner:** Anna DiMambro

**Faciliator:** Diane Grover

**Stakeholders:** Developer/Applicant: Alfred Sanchez III  
Agent: Consensus Planning, Jim Strozier  
NA: Riverfronte Estates NA, Inc. (RFE)

**Report date:** March 13, 2007

### **Summary:**

On March 13, 2007, Janice Torrez of RFE advised that she has polled the RFE board members and that no facilitated meeting was required in connection with this project. She stated that she is not aware of any major concerns of RFE members in connection with this project.



1. General Notes

1.1. All work shall be in accordance with the latest edition of the Ontario Building Code (OBC) and the National Building Code of Canada (NBC).

1.2. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

1.3. All materials and workmanship shall be subject to inspection and approval by the Architect.

1.4. The contractor shall maintain access to all existing services and structures at all times.

1.5. The contractor shall be responsible for the protection and preservation of all existing structures and services.

1.6. The contractor shall be responsible for the removal and disposal of all waste materials in accordance with applicable regulations.

1.7. The contractor shall be responsible for the safety of all workers and the public at all times.

1.8. The contractor shall be responsible for the completion of all work within the specified time frame.

1.9. The contractor shall be responsible for the maintenance of all records and documents related to the project.

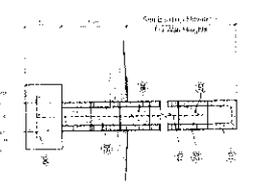
1.10. The contractor shall be responsible for the payment of all taxes and fees associated with the project.

2. Schedule of Work

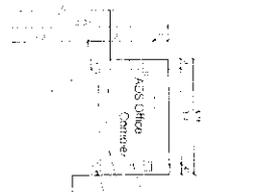
The schedule of work shall be as follows:

- 2.1. Mobilization: 1 week
- 2.2. Foundation: 4 weeks
- 2.3. Framing: 8 weeks
- 2.4. Mechanical, Electrical, and Plumbing (MEP): 6 weeks
- 2.5. Interior Finishes: 8 weeks
- 2.6. Exterior Finishes: 4 weeks
- 2.7. Commissioning: 2 weeks
- 2.8. Total Duration: 43 weeks

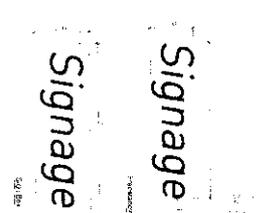
**OC STUDIO**  
**ARCHITECT**  
 DEVIN CANNADY  
 ARCHITECT STUDIO  
 332 ADAM STREET SE  
 AARHUS ON N7R 0R8  
 505-289-1111  
 505-349-4167  
 devin@ocstudio.ca



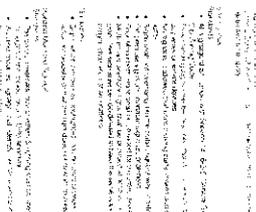
8. Window Detail



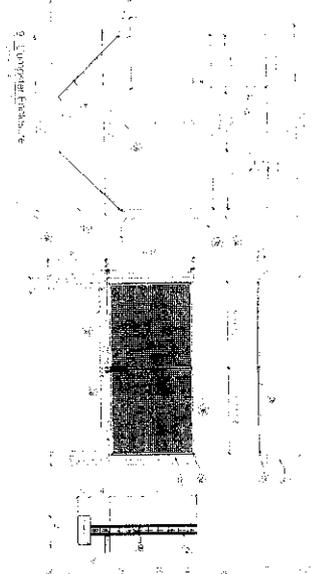
11. ACS Office Centre



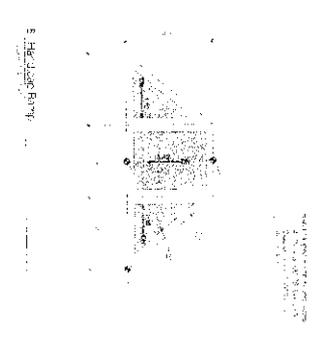
10. Building Signage



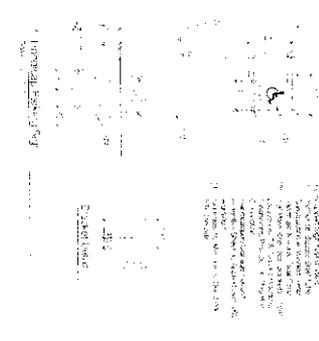
12. Floor Slab



9. Vertical Shaft



13. Floor Slab



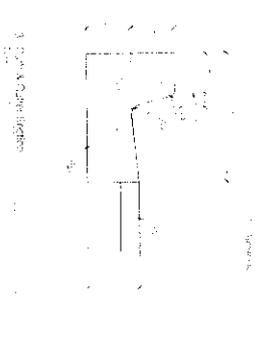
14. Floor Slab



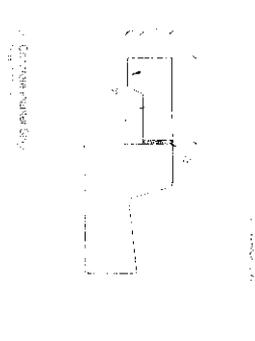
15. Floor Slab



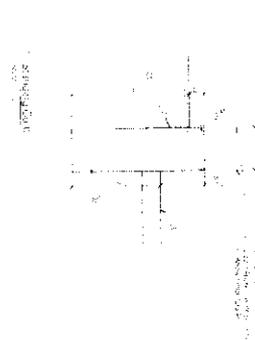
16. Floor Slab



17. Floor Slab



18. Floor Slab

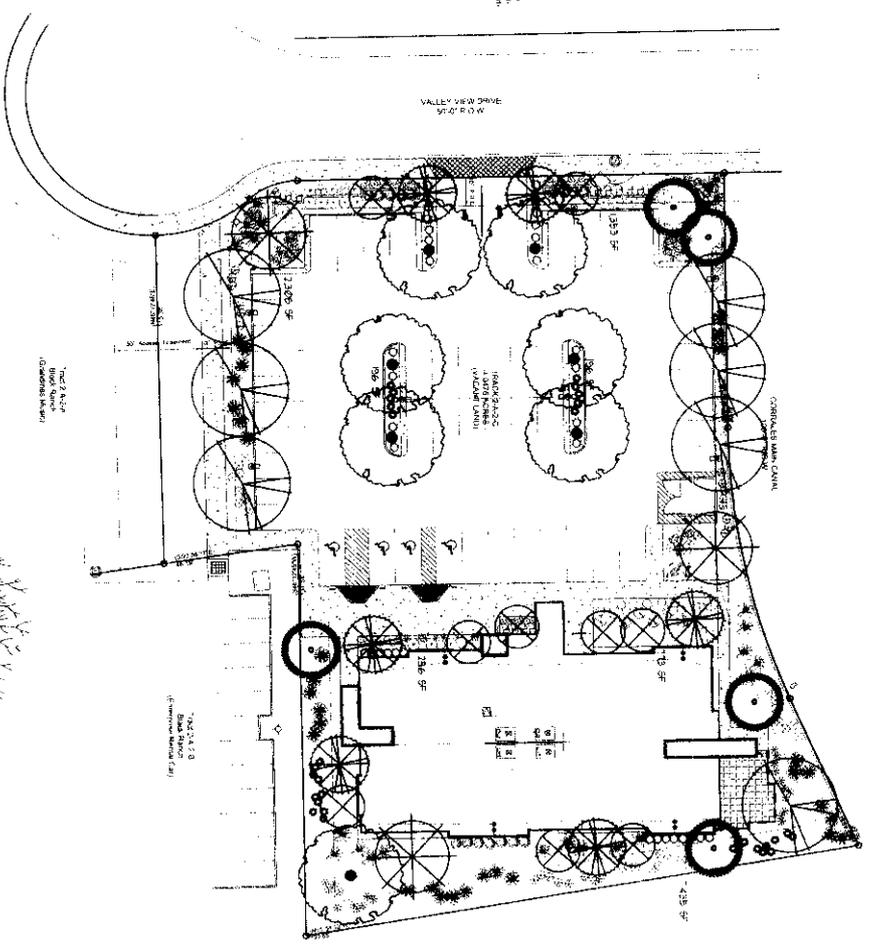
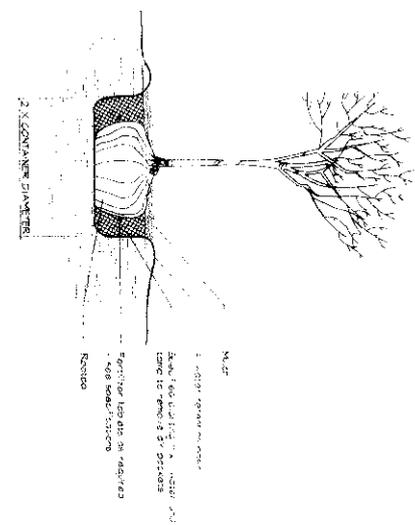
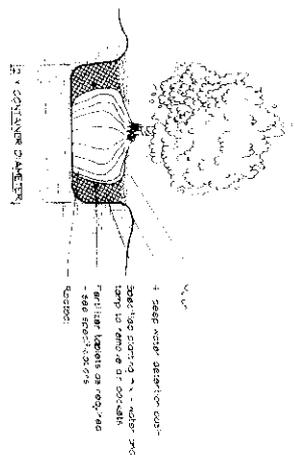


19. Floor Slab

**AS-02**  
 SHEET AS  
 ARCHITECTURAL SERVICES







**PLANT LEGEND**

Qty	Symbol	Scientific Name	Common Name	Size	Height	Notes
1	1	Parrot Periwinkle		5'0"	4'11" - 5'2"	100%
2	2	Redwood		2'0"	1'11" - 2'6"	100%
3	3	Redwood		2'0"	1'11" - 2'6"	100%
4	4	Redwood		2'0"	1'11" - 2'6"	100%
5	5	Redwood		2'0"	1'11" - 2'6"	100%
6	6	Redwood		2'0"	1'11" - 2'6"	100%
7	7	Redwood		2'0"	1'11" - 2'6"	100%
8	8	Redwood		2'0"	1'11" - 2'6"	100%
9	9	Redwood		2'0"	1'11" - 2'6"	100%
10	10	Redwood		2'0"	1'11" - 2'6"	100%
11	11	Redwood		2'0"	1'11" - 2'6"	100%
12	12	Redwood		2'0"	1'11" - 2'6"	100%
13	13	Redwood		2'0"	1'11" - 2'6"	100%
14	14	Redwood		2'0"	1'11" - 2'6"	100%
15	15	Redwood		2'0"	1'11" - 2'6"	100%
16	16	Redwood		2'0"	1'11" - 2'6"	100%
17	17	Redwood		2'0"	1'11" - 2'6"	100%
18	18	Redwood		2'0"	1'11" - 2'6"	100%
19	19	Redwood		2'0"	1'11" - 2'6"	100%
20	20	Redwood		2'0"	1'11" - 2'6"	100%
21	21	Redwood		2'0"	1'11" - 2'6"	100%
22	22	Redwood		2'0"	1'11" - 2'6"	100%
23	23	Redwood		2'0"	1'11" - 2'6"	100%
24	24	Redwood		2'0"	1'11" - 2'6"	100%
25	25	Redwood		2'0"	1'11" - 2'6"	100%
26	26	Redwood		2'0"	1'11" - 2'6"	100%
27	27	Redwood		2'0"	1'11" - 2'6"	100%
28	28	Redwood		2'0"	1'11" - 2'6"	100%
29	29	Redwood		2'0"	1'11" - 2'6"	100%
30	30	Redwood		2'0"	1'11" - 2'6"	100%

**GENERAL AND SPECIAL NOTES**

1. All plants shall be installed in accordance with the specifications and drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

2. The contractor shall be responsible for the maintenance and care of the plants during the construction period.

3. The contractor shall be responsible for the removal and disposal of any plants that are damaged or removed during the construction period.

4. The contractor shall be responsible for the protection of any existing plants and trees on the site.

5. The contractor shall be responsible for the installation of any irrigation systems and other plant care equipment.

6. The contractor shall be responsible for the selection and procurement of all plants and materials.

7. The contractor shall be responsible for the scheduling and timing of the plant installation.

8. The contractor shall be responsible for the coordination of the plant installation with other site work.

9. The contractor shall be responsible for the documentation of the plant installation.

10. The contractor shall be responsible for the final inspection and approval of the plant installation.

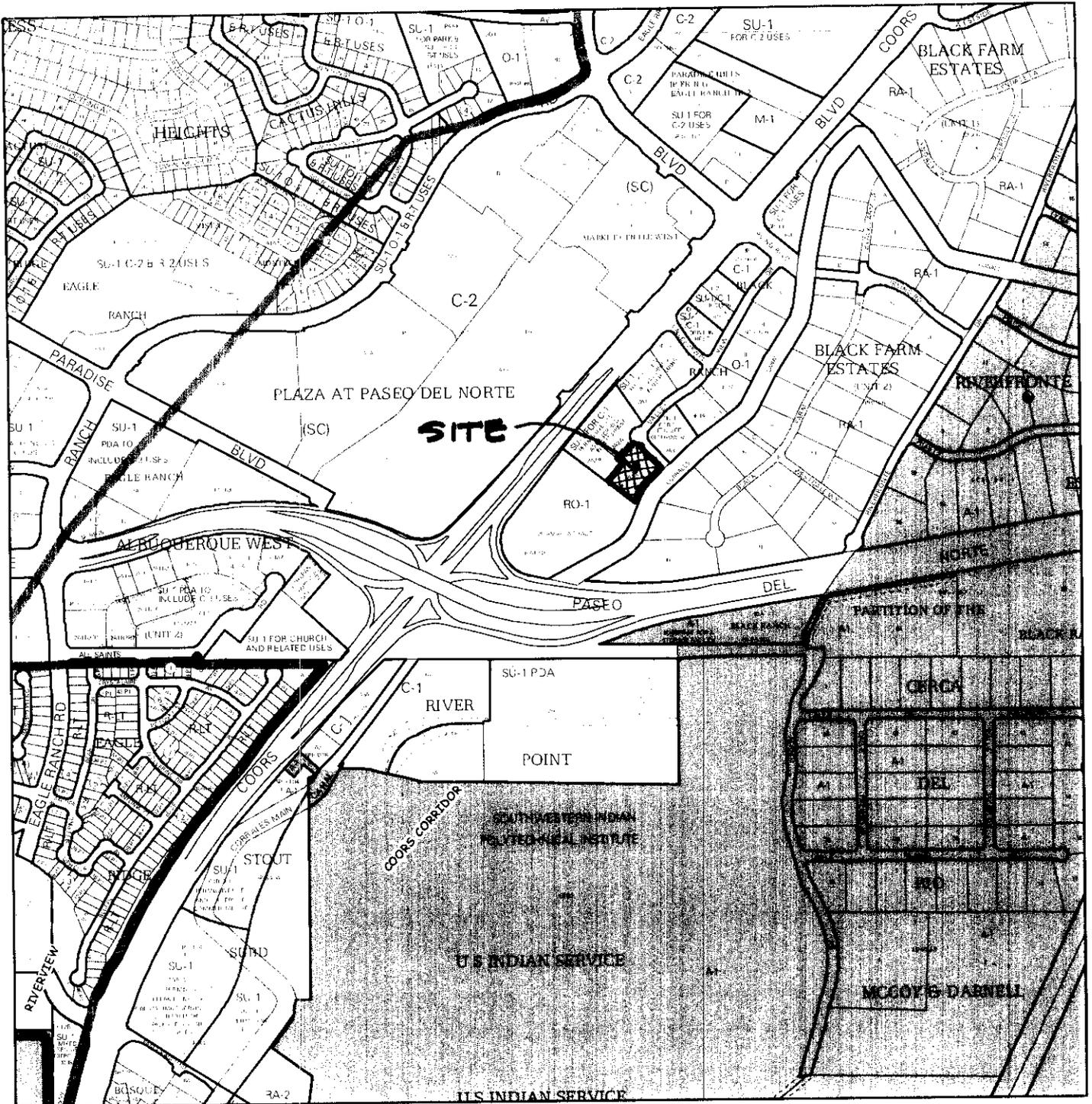
**CONSOLIDATED PLANNING, INC.**  
 405 S. 1st Street  
 Suite 200  
 Minneapolis, MN 55401  
 Phone: 612.338.1111  
 Fax: 612.338.1112  
 Website: www.consolidatedplanning.com

**ARCHITECT**  
 DAVID CANNADY  
 ARCHITECT STUDIO  
 332 Adams Street SE  
 Atlanta, GA 30303  
 Phone: 404.525.1111  
 Fax: 404.525.1112  
 Website: www.davidcannady.com

**LANDSCAPE ARCHITECT**  
 ERIC SUMMERS  
 1000 Peachtree Street NE  
 Atlanta, GA 30309  
 Phone: 404.525.1111  
 Fax: 404.525.1112  
 Website: www.ericsummers.com







For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/18/2007

Zone Atlas Page:  
**C-13-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME Alfred Sanchez  
AGENT Consensus Planning Inc  
ADDRESS 302 8th st NW  
PROJECT & APP # 1001206/07EPC00246  
PROJECT NAME \_\_\_\_\_

\$ 50.00 441032/3424000 Conflict Management Fee  
\$ \_\_\_\_\_ 441006/4983000 DRB Actions  
\$ 385.00 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$ 75.00 441018/4971000 Public Notification  
\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study  
\$ 510.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

Alfred D. Sanchez  
6301 Coors Blvd NW  
Albuquerque, NM 87120  
505-250-6641

95-7004/3070 B1  
2/28/07 Date

Pay to the Order of City of Albuquerque \$ 510.00  
Five hundred ten & 00/100

Alfred Sanchez SIGNATURE

For COMM

Sandia Area  
P.O. Box 18044  
Albuquerque  
NM 87183-0044  
www.sandia.org

Counterreceipt.

307070047 038169513 0503

MOVED BY COMMISSIONER KLEBESADEL  
SECONDED BY COMMISSIONER SIEGEL

MOTION PASSED UNANIMOUSLY  
(COMMISSIONER CHAVEZ HAS  
LEFT)

**12. Project # 1001206**  
07EPC-00246 EPC Site  
Development Plan-Building  
Permit

CONSENSUS PLANNING, INC. agents for ALFRED  
SANCHEZ III request the above action for all or a portion of  
Tract 2A2C, **Black Ranch**, zoned SU-1 for C-1 Permissive,  
located east of COORS NW, between PASEO DEL NORTE  
NW and IRVING NW, containing approximately 2 acres. (C-  
13) Anna DiMambro, Staff Planner (**APPROVED WITH  
CONDITIONS**)

**STAFF PRESENT:**

Anna DiMambro, Planning Department

**PERSONS PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:**

Jim Strozier, 302 8<sup>th</sup> St. NW

**THERE WAS NO ONE PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:**

MS. DiMAMBRO: Reiterated comments made in the staff report in which approval was recommended for the site plan for building permit with findings and conditions.

**FINAL ACTION TAKEN**

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to approve Project 1001206/ 07EPC 00246, a request for approval of a Site Development Plan for Building Permit, for Lot 2A2C, Black Ranch, zoned SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-Service Liquor, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, an approximately 1 acre site located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The applicant proposes to construct a two-story 16,000 square foot office building
2. The subject site is located in the area designated Developing Urban by the Comprehensive plan and within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site (01EPC 00558).
3. The request furthers the following Comprehensive Plan policies:
  - a. Policy 2.B.5.d: The location, intensity, and design of the proposed development respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.
  - b. Policy 2.B.5.e: The subject site is contiguous to existing urban facilities. Site plan review will ensure that the integrity of existing neighborhoods can be ensured.
  - c. Policy 2.B.5.g: This site contains no significant topographical features. It is adjacent to the Corrales Main Canal.
  - d. Policy 2.B.5.i: The proposed office building will be located convenient to residential areas. Site plan review will ensure that adverse effects of noise, lighting, pollution, and traffic on residential environments are minimized.
  - e. Policy 2.B.5.l: The high-quality, innovative office building proposed in this submittal is appropriate to the Plan area and complies with the site plan for subdivision design standards.
  - f. Policy 2.B.5.m: Site plan review and regulations of the Coors Corridor Plan will ensure that unique vistas are maintained and that the quality of the visual environment is enhanced.
  - g. Policies 2.C.8.a and e: Site plan review and regulations of the Coors Corridor Plan will ensure that the natural and visual environments are respected.
4. The request partially furthers the following Comprehensive Plan Transportation and Transit policies:
  - a. Policy 2.D.4.a: Floor area ratio complies with all applicable policies and regulations, but the applicant has not provided pedestrian connections between adjacent developments.
  - b. Policy 2.D.4.g: The applicant has provided a sidewalk that will encourage pedestrian opportunities within the site but has not provided pedestrian connections to adjacent sites.
5. The request generally furthers West Side Strategic Plan Policy 4.6, which specifies design guidelines.

6. This request furthers the following Coors Corridor Plan policies:
  - a. Issue 3, Policy 5: The intensity of the proposed development is in accord with roadway function, existing zoning, environmental concerns, and design guidelines.
  - b. Issue 3, Policy 7: The submittal is part of an overall site development plan for subdivision, which could have encouraged cluster development.
  - c. Issue 4, A, Policy 1: The proposed office building is well designed and landscaped and contributes to appropriate and pleasing visual impressions within the Coors corridor.
  - d. Issue 4, A, Policy 3: The proposed office building is designed to be compatible with the natural landscape and the built environment in accordance with the design regulations and guidelines.
  - e. Issue 4, B, Policy 1: Natural site amenities have been incorporated into the site design. The site plan shows a pedestrian connection to the Corrales Main Canal.
  - f. Issue 4, B, Policy 4: Landscape design and improvements are complementary to the individual site and to the overall appearance of the Coors corridor.
  - g. Issue 4, B, Policy 7: Separate pedestrian and vehicular access is provided.
  - h. Issue 4, B, Policy 9: Site area lighting, including parking area lighting, is carefully designed and located to minimize glare on public right-of-way and adjacent premises.
  - i. Issue 4, B, Policy 10: Architectural design contributes to the enhancement and overall visual environment of the Coors Corridor.
  - j. Issue 4, D: Signage complements the appearance and function of the roadway and the corridor while protecting the unique views beyond the corridor.
  
7. This request is in justifiable conflict with the following Coors Corridor Plan policies:
  - a. Issue 4, A, Policy 2: The applicant has submitted a view analysis that shows that the proposed building's maximum height will interfere with views. The applicant has demonstrated that a hardship exists that allows a variance from the view plane height restrictions.
  - b. Issue 4, B, Policy 2: The building is not located to provide a pleasing and functional relationship to the roadway and to adjacent or related buildings and structures. However, the building does have a pleasing relationship to the Corrales Main Canal. The applicant has also shown that locating the building to further this policy would increase the conflict with Coors Corridor Plan policies for view preservation.
  - c. Issue 4, B, Policy 5: Off-street parking facilities are not located to the rear of this site. Street frontage is not devoted to building architecture and landscaping. The applicant has shown that locating the parking to further this policy would increase the conflict with Coors Corridor Plan policies for view preservation.

- d. Issue 4, B, Policy 6: This commercial site has not been designed so that a portion of the building is located near the street perimeter. The applicant has shown that locating the building to further this policy would increase the conflict with Coors Corridor Plan policies for view preservation.
  - e. Issue 4, C, Policy 1: The applicant has submitted a view analysis that shows conflict with Coors Corridor view plane building height requirements. The applicant has demonstrated hardship to obtain a variance from this requirement, and has submitted a letter justifying this hardship.
8. The applicant has justified conflicts with the governing site development plan for subdivision's design standards:
- a. Design standards require a 6' wall along the eastern edge of the site with the intent of protecting the residences east of the Corrales Main Canal. The applicant has demonstrated that a 3' parking screening wall is adequate for protection of the residential area and that the building and patio area do not require screening.
  - b. Design standards require a 10' landscape buffer along the eastern edge of the site. The applicant has demonstrated that a 6' landscape buffer adjacent to the parking area is adequate for protection of the residential area due to the approximately 100' wide canal separating the residences from the subject site and the proposed 3' parking screen wall.
  - c. The Riverfronte Estates Neighborhood Association has submitted a letter stating that they are not opposed to the requested noncompliance with the wall standards of the site development plan for subdivision.
9. The applicant has demonstrated that hardship exists because the governing site development plan for subdivision for the subject site was approved by the Environmental Planning Commission and identified the subject site as appropriate for a two-story hotel. Topographic and engineering/infrastructure constraints affect the subject property. Therefore, it is appropriate to grant a variance to the View Plane and Building Height regulation of the Coors Corridor Plan based upon these constraints.
10. Since the April 19, 2007 Environmental Planning Commission hearing, the applicant has reduced the proposed building's size and has lowered the site 2.35' to reduce intrusion into the view plane as described by the Coors Corridor Plan.
11. There is no known opposition to this request.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered.
4. The applicant shall demonstrate how the Energy Management Goal, Section II.D.3 of the Comprehensive Plan, is furthered.
5. City Engineer conditions:
  - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
  - d. Site plan shall comply and be designed per DPM Standards.
6. The applicant shall list the colors to be used for the dumpster enclosure on the site plan.
7. Landscaping:
  - a. Scotch Broom shall be replaced with Lena's Broom or Burkwoodii Broom.
  - b. Threadgrass shall be replaced with Indian Rice Grass or Deergrass.
  - c. Plant beds shall achieve 80% live ground cover.

- d. Add note to tree planting diagram stating: Prior to backfilling tree, all wire, rope, and synthetic materials shall be removed from the tree and the planting pit. All burlap shall be cup away except from bottom of rootball.
8. The applicant shall revise wall design to comply with Zoning Code wall design regulations in Section 14-16-3-19.
9. The applicant shall provide security lighting for the front of the building and the patio.
10. Signage:
  - a. East-facing signage shall not be lit.
  - b. Monument signs shall comply with site development plan for subdivision standards, which limit the subject site to two freestanding signs.
11. Building height including towers and other elements not necessary to screen mechanical equipment shall be limited to 26 feet.

MOVED BY COMMISSIONER MOYE  
SECONDED BY COMMISSIONER KLEBESADEL

MOTION PASSED 4-2  
(COMMISSIONERS SIEGEL  
AND CHAIRMAN  
JESIONOWSKI VOTE NO)  
(COMMISSIONER CHAVEZ  
HAS LEFT)

**13. Project # 1001620**  
07EPC-00170 Text Amendment  
to the  
Zoning Code

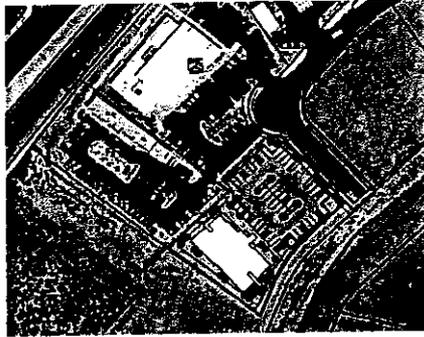
CITY OF ALBUQUERQUE, PLANNING DEPARTMENT  
agent(s) for CITY OF ALBUQUERQUE, CITY COUNCIL  
requests the above action for Amending a portion of Section  
14-16-4-2 ROA 1994 to change the requirements for approval  
of a variance. City Wide. Stephanie Shumsky, Staff Planner  
**(DEFERRED TO JUNE 21, 2007)**

**STAFF PRESENT:**

Stephanie Shumsky, Planning Department  
Bruce Thompson, City Council

**PERSONS PRESENT TO SPEAK:**

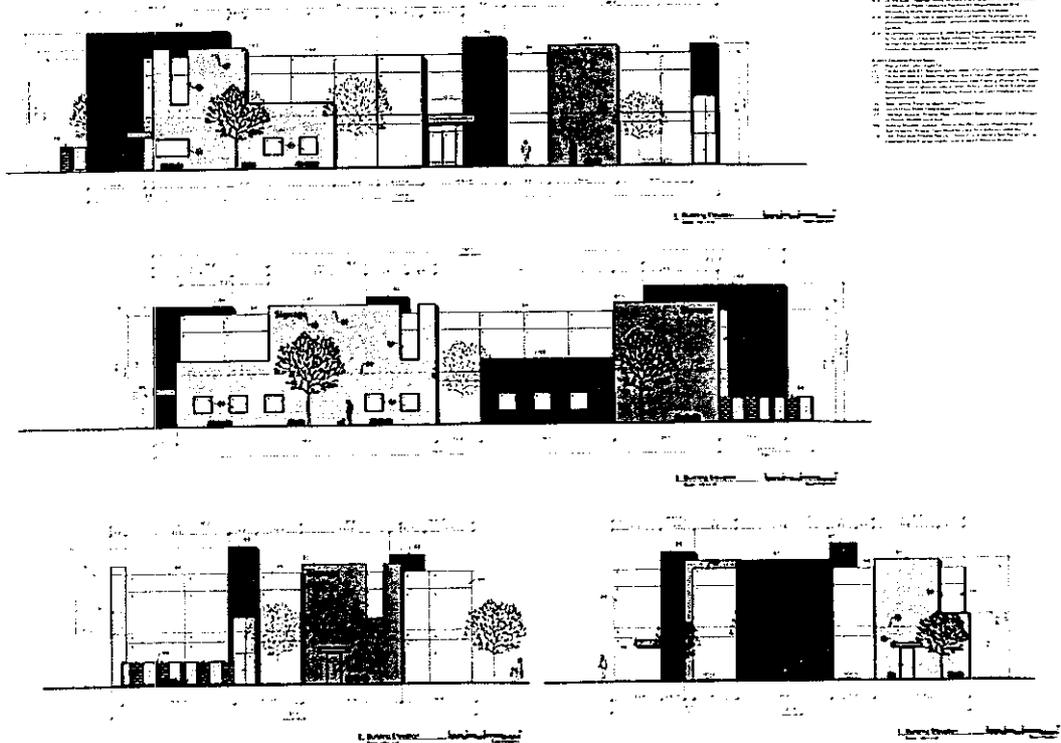
Joe Szklarz, 1310 Las Lomas Rd. NE



Site Plan

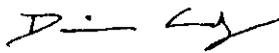
The proposed building location is at the Southern most end of the subject site. Drainage occurs from North to South, thus sighting the building at the lowest elevation on site. This provides parking to the street and building to the rear of the site. As seen in the view towards Sandia Peak above the selected location minimizes the visual effect of Sandia Peak. The building location allows full visibility of the peak and the majority of the face of the Sandia Mountains. The location also allows for a visual break between the existing building and the proposed building rather than a continuous barrier which provides a more pleasing visual expression.

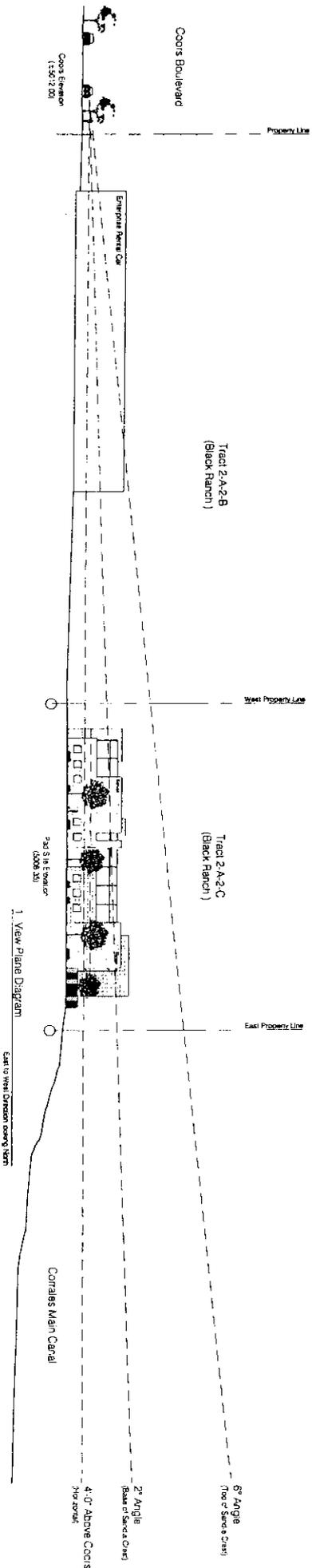
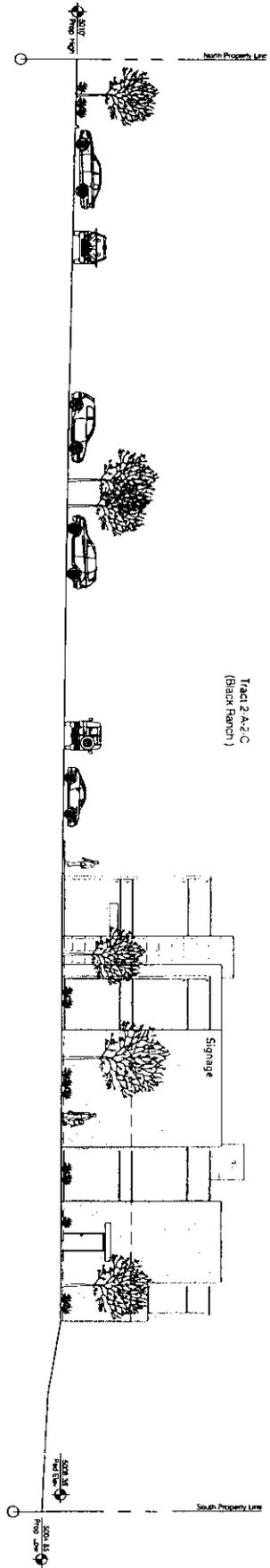
The approved Site Development Plan for Subdivision dated March 25<sup>th</sup>, 2002 allows a maximum building height of 32 feet while adhering to the Coors Corridor View Regulations. The proposed maximum building height is 32 feet at minimal locations. The majority of the building parapets are between 26 & 28 feet, the intent is to provide a building adequate for reasonable mechanical screening as well as to provide comfortable floor to floor heights at its interior.



- 1. The building height shall not exceed 32 feet at any point.
- 2. The building height shall not exceed 28 feet at the majority of the building parapets.
- 3. The building height shall not exceed 26 feet at the majority of the building parapets.
- 4. The building height shall not exceed 24 feet at the majority of the building parapets.
- 5. The building height shall not exceed 22 feet at the majority of the building parapets.
- 6. The building height shall not exceed 20 feet at the majority of the building parapets.
- 7. The building height shall not exceed 18 feet at the majority of the building parapets.
- 8. The building height shall not exceed 16 feet at the majority of the building parapets.
- 9. The building height shall not exceed 14 feet at the majority of the building parapets.
- 10. The building height shall not exceed 12 feet at the majority of the building parapets.
- 11. The building height shall not exceed 10 feet at the majority of the building parapets.
- 12. The building height shall not exceed 8 feet at the majority of the building parapets.
- 13. The building height shall not exceed 6 feet at the majority of the building parapets.
- 14. The building height shall not exceed 4 feet at the majority of the building parapets.
- 15. The building height shall not exceed 2 feet at the majority of the building parapets.

We respectfully request that the EPC review and approve our proposed building heights & location. These parameters should be acceptable as we are meeting all Zoning & Building Code requirements as well as the Coors Corridor View Regulations with this proposal. We believe the proposed project exceeds expectations and will be a positive addition to Albuquerque's Westside.

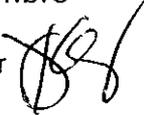
Sincerely,  
  
 Devin Cannady, RA  
 Principal, DC Architect Studio



Devin Canady  
Architect Studio



## Memorandum

To: Anna DiMambro  
From: Jim Strozier   
Date: April 11, 2007  
Re: Project # 1001206

The purpose of this memo is to respond to the view preservation regulations as identified in the Coors Corridor Plan.

The property is covered by the Coors Corridor Plan (currently being updated) and an EPC approved Site Plan for Subdivision which identified the property as appropriate for commercial, office, or a 2-story hotel. The rationale originally used to support the two story buildings being located in the back row was that they are behind the retail buildings located adjacent to Coors. The entire infrastructure required for the parcels (roadway, water, sewer, and storm drainage) was constructed, an overall grading and drainage plan was approved, and the property was platted consistent with the approved Site Plan for Subdivision.

This portion of Coors is very flat since there is an upper bench that is created between Coors Boulevard and the Corrales Main Canal. The grade change occurs east of the Canal and provides an excellent separation between the businesses above and the large lot residential below. Restrictions in the Site Plan for Subdivision were developed in response to concerns from Riverfronte Estates and dealt with issues of lighting, landscaping, noise and the wall treatment along the east edge of the project. When contacted concerning the proposed office building, there were no concerns expressed by the neighborhood.

The Coors Corridor Plan, Section C – View Preservation for Corridor Segments 3 and 4 apply to this property. Several issues are raised in application of these requirements to the subject property.

View Plane: this is defined as a horizontal line 4 feet above the grade of the east driving lane of Coors Boulevard and extending 90 degrees from Coors Boulevard. For a portion of the property the view plane intersects and is terminated by the existing Enterprise Rental Car facility and just south of the Enterprise building the view plane passes adjacent to the building. All of the existing buildings adjacent to Coors Boulevard penetrate the View Plane in this

area. This includes Enterprise, Grandma's Music, Wendy's, etc. These projects were reviewed by the EPC as part of the SU-1 Site Plan for Building Permit process.

Sighting Lines: These lines are defined as a 45 degree angle to Coors Boulevard's alignment.

View Area: The View Area is defined as a series of rectangular windows created where the north and south property lines intersect the sighting lines. The subject property is located 250 feet east of Coors Boulevard (the proposed building is 263 feet east of Coors). The view to the subject property is across AMAFCA's property which is between Coors Boulevard and the subject property at a 45 degree angle.

The attached drawings provide a graphic explanation of our compliance with the view regulations for this property. In conclusion, the proposed project is in compliance with the View Area portion of the regulation and because it blocks less than 50 percent of the View Area and does not extend above the crest of the Sandia Mountains. For the purposes of this analysis, the 263 foot setback from Coors Boulevard mitigates the appearance of the proposed building within the view window.

The proposed building projects above the View Plane. Once again, this is mitigated by the fact that the View Plane, as defined in the Coors Corridor Plan, is terminated prior to reaching the subject property by the Enterprise building as a result of it penetrating the View Plane between the subject property and Coors Boulevard. It is assumed, although not expressly stated in the decision, that the City's approval of the Site Plans for Building Permits for the buildings south of Valley View Place and north of Paseo del Norte constituted the granting of an exception to the view regulations as allowed on page 111 of the Coors Corridor Plan.

As stated above, due to the existing conditions, prior approvals, and engineering constraints, the building does penetrate the View Plane if it were extended through and past the existing Enterprise building. In order to address these constraints, we would request findings be provided that state:

*Proposed Finding 1: The proposed building is located east of the existing Enterprise Rent-a-Car building, which was approved by the Environmental Planning Commission and granted an exception to the View Plane and Building Height regulations due to a hardship created by the topographic and engineering/infrastructure constraints on the property.*

*Proposed Finding 2: Topographic and engineering/infrastructure constraints affect the subject property therefore, it is appropriate to grant an exception to the View Plane and Building Height regulation based upon a hardship created by these constraints. ~~This exception is mitigated by the fact that the building is behind the existing Enterprise Rent-a-Car building, which was granted a similar exception.~~*

*Proposed Finding 3: The subject property is covered by an EPC approved Site Plan for Subdivision, which identified the subject property as appropriate for a two-story building. Site infrastructure, grading, and plats were prepared, approved, and constructed in conformance with the approved Site Plan for Subdivision.*

Thank you for your consideration of this request. Please contact me if you have any questions or require any additional information.

c: Alfred Sanchez III  
Project Team

Attachments: View Cross Section  
View Area Diagram



# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: February 27, 07

TO CONTACT NAME: Soyce Jordan  
 COMPANY/AGENCY: CONSENSUS Planning  
 ADDRESS/ZIP: 302 8th St. NW - 87102  
 PHONE/FAX #: 764-9801 (Fax-842-5495)

Thank you for your inquiry of 2-27-07 (date) requesting the names of **Recognized**

**Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at Black Ranch Tract 2A 2C located on Valley View Dr - between Paseo del Norte and Valley View Place zone map page(s) C-13

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Riverfronte Estates NA  
 Neighborhood Association

Neighborhood Association

Contact: Soyce Tater  
1614 Travis Rd NW / 87114  
877-2082hl  
Mark McNeil  
1610 Lucia Rd NW / 87114  
899-4971 / 797-4400 (w)

Contact: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**See reverse side for additional Neighborhood Association Information: YES { } NO {X}**

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL. RETURN RECEIPT REQUESTED. BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaine S. Carmona  
 OFFICE OF NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.

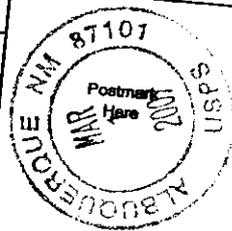
7004 1350 0000 0962 9367

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Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 5.32</b>



Sent To  
 Mark McNeil  
 Street, Apt. No.,  
 or PO Box No. 1610 Lybia Rd NW  
 City, State, ZIP+4 Albuquerque, NM 87104

PS Form 3800, June 2002 See Reverse for Instructions

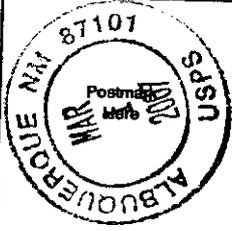
7004 1350 0000 0962 9350

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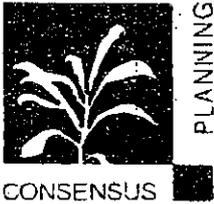
**OFFICIAL USE**

Postage	\$ 87
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 5.32</b>



Sent To  
 Janice Torrez  
 Street, Apt. No.,  
 or PO Box No. 1614 Travis Rd NW  
 City, State, ZIP+4 Albuquerque, NM 87114

PS Form 3800, June 2002 See Reverse for Instructions



February 27, 2007

Landscape Architecture  
Urban Design  
Planning Services

Janice Torrez  
1614 Travis Road NW  
Albuquerque, NM 87114

Mark McNeil  
1610 Lyria Road NW  
Albuquerque, NM 87114

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495

cp@consensusplanning.com  
www.consensusplanning.com

Dear Ms. Torrez and Mr. McNeil:

The purpose of this letter is to inform you and the members of Riverfront Estates Neighborhood Association that Consensus Planning has submitted a Site Plan for Building Permit to the City of Albuquerque for Tracts 2A2C, Black Ranch. The property is located on Valley View Drive, north of Paseo del Norte and south of Valley View Place (see Zone Atlas sheet with property indicated).

The applicant proposes the construction of a two-story 16,000 square foot office building. The proposed development is consistent with the intent of the Coors Corridor Plan, the West Side Strategic Plan, and the Site Plan for Subdivision's previously approved Tract 2 Design Guidelines.

The hearing will be April 19, 2007. Please feel free to call me at 764-9801 if you desire additional information or have any questions or would like to meet regarding this application.

Sincerely,



James K. Strozier, AICP  
Principal

Attachments: Zone Atlas Page C-13-Z  
8 1/2 x 11 Site Plan Package

PRINCIPALS

Karen R. Marcotte, AICP  
James K. Strozier, AICP  
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Edman, AICP

## NON-MEETING LAND-USE CASE REPORT

**Issue:** 07-EPC-00246 EPC Site Development Plan – Building Permit

**Project** #1001206

**Case Planner:** Anna DiMambro

**Faciliator:** Diane Grover

**Stakeholders:** Developer/Applicant: Alfred Sanchez III  
Agent: Consensus Planning, Jim Strozier  
NA: Riverfronte Estates NA, Inc. (RFE)

**Report date:** March 13, 2007

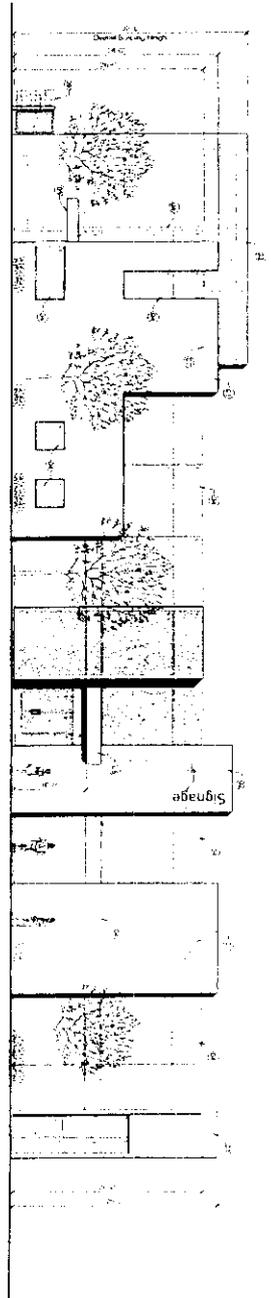
### **Summary:**

On March 13, 2007, Janice Torrez of RFE advised that she has polled the RFE board members and that no facilitated meeting was required in connection with this project. She stated that she is not aware of any major concerns of RFE members in connection with this project.

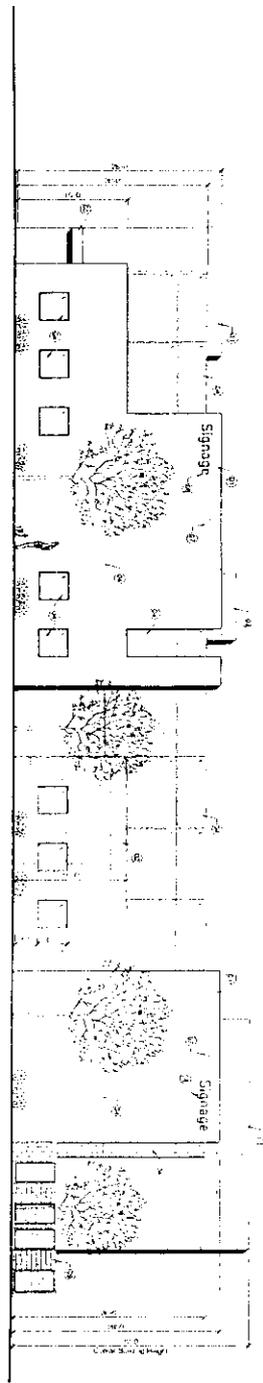








1. Building Elevation



2. Building Elevation



3. Building Elevation

1. The building is a long, low profile structure with a flat roof. The facade is primarily composed of large glass windows and doors, with a central entrance area. The building is surrounded by landscaping, including trees and shrubs. The drawing shows the building from a perspective view, highlighting its horizontal orientation and the placement of the entrance and signage.

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## Environmental Planning Commission

Agenda Number: 17  
Project Number: 1001206  
Case #: 07EPC 00246  
May 17, 2007

### Supplemental Staff Report

<b>Agent</b>	Consensus Planning, Inc.
<b>Applicant</b>	Alfred Sanchez III
<b>Request(s)</b>	<b>Site Development Plan for Building Permit</b>
<b>Legal Description</b>	Lot 2A2C, Black Ranch
<b>Location</b>	Valley View Drive NW, between Paseo del Norte NW and Valley View Place NW
<b>Size</b>	Approximately 1 acre
<b>Existing Zoning</b>	SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-service Liquor
<b>Proposed Zoning</b>	Same

### Staff Recommendation

**APPROVAL** of 07EPC 00246, based on the findings on pages 3-6, and subject to the conditions of approval on pages 7-8.

**Staff Planner**

**Anna DiMambro, Planner**

### Summary of Analysis

This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The applicant proposes to construct a 2-story 16,000 square foot office building. The site is approximately 1 acre and is zoned SU-1 for C-1 Permissive Uses.... It is located in the Developing Urban area within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site.

This is an addendum to the original staff report, which is attached. This case was deferred by the EPC from the April 19, 2007 hearing to allow the applicant time to explore alternatives to reduce the building's intrusion into the view plane. The applicant has been able to lower the building and reduce its size.

The request meets the intent of most policies of the Comprehensive Plan, the West Side Strategic Plan, and the Coors Corridor Plan, and complies with most regulations of the Coors Corridor Plan and the Zoning Code.

Staff recommendation is for approval with conditions.



City Departments and other interested agencies reviewed this application from 3/5/2007 to 3/16/2007. Agency comments were used in the preparation of this report and begin on page 18 of the April staff report.

***New Information***

This is an addendum to the original staff report of April 19, 2007, which is attached. The EPC voted to defer this case for 30 days to the May 17, 2007 hearing to allow the applicant time to address several outstanding issues that were conditions of approval in the original staff report. The EPC also strongly desired more information from the applicant demonstrating a hardship that would allow a variance from Coors Corridor view plane height restrictions.

The applicant has provided a revised site development plan addressing many of the conditions of approval that were recommended in the April staff report. The applicant has also reduced the square footage of the building and has been able to lower the grade of the site by 2.35 feet in an attempt to reduce intrusion into the view plane.

The applicant has requested that he not be required to bring the building closer to Valley View Drive and locate a portion of the parking area to the rear of the building. The reason is that the building's current location is the lowest point on the site. Relocating the building closer to Valley View Drive will further exacerbate the building's intrusion into the view plane. Staff is in agreement with the applicant's argument.

The applicant is also requesting not to comply with wall requirements of the governing site plan for subdivision, which requires a minimum 6' wall along the eastern edge of the site. The applicant would like to reduce the wall adjacent to the parking area to 3' and would like to entirely eliminate the wall adjacent to the building. The applicant has provided the reasoning that the intent of the wall is to protect the residences located on the other side of the Corrales Main Canal. Those residences are at a much lower grade than the subject site, and the applicant maintains that a 6' wall as viewed from those residential properties would appear extremely high and that a 3' wall would provide adequate parking screening. The applicant also asserts that the wall located adjacent to the building would screen the residences only from the building's wall and the patio. Staff finds that the building is well designed and adequately landscaped and would provide a more aesthetic view from the residences than a 6' CMU wall.

The applicant has contacted the Riverfronte Estates Neighborhood Association at staff's request. The Association stated that they are not opposed to the request to lower the parking screen wall and eliminate the wall adjacent to the building. Staff has also contacted the Neighborhood Association to request a letter stating that there is no objection to the wall changes. The representative has stated that she will submit a letter. Since the Neighborhood Association has no objection, staff finds that this is a reasonable request.

In addition, the applicant would like to provide a 6' landscaping buffer adjacent to the parking area along the east edge of the site. This is contrary to the site plan for subdivision, which requires a 10' landscaping buffer along the east edge of the site. The required buffer area is provided adjacent to the building. The applicant states that an additional 4' of landscaping is not necessary in this case. He asserts that the intent of the landscape buffer is to protect the residences east of the Corrales Main Canal, and that the 100' wide canal along with the proposed parking screen wall are adequate to protect the residences.

An outstanding issue regarding this proposal is free-standing signage. A discussion of this issue is presented on page 10 of the April 19, 2007 staff report. The original submittal showed a small monument sign mounted to the parking screen wall. The most recent submittal shows four concrete tenant signs integrated into the structure of the wall. Staff recommends that these signs be limited to two, as the site development plan for subdivision requires.

There is no known opposition to this request.

Staff recommendation is for approval with conditions.

***FINDINGS – 07EPC 00246, May 17, 2007 – Site Development Plan for Building Permit***

1. This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, an approximately 1 acre site located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The applicant proposes to construct a two-story 16,000 square foot office building
  
2. The subject site is located in the area designated Developing Urban by the Comprehensive plan and within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site (01EPC 00558).
  
3. The request furthers the following Comprehensive Plan policies:
  - a. Policy 2.B.5.d: The location, intensity, and design of the proposed development respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.
  
  - b. Policy 2.B.5.e: The subject site is contiguous to existing urban facilities. Site plan review will ensure that the integrity of existing neighborhoods can be ensured.
  
  - c. Policy 2.B.5.g: This site contains no significant topographical features. It is adjacent to the Corrales Main Canal.
  
  - d. Policy 2.B.5.i: The proposed office building will be located convenient to residential areas. Site plan review will ensure that adverse effects of noise, lighting, pollution, and traffic on residential environments are minimized.
  
  - e. Policy 2.B.5.l: The high-quality, innovative office building proposed in this submittal is appropriate to the Plan area and complies with the site plan for subdivision design standards.
  
  - f. Policy 2.B.5.m: Site plan review and regulations of the Coors Corridor Plan will ensure that unique vistas are maintained and that the quality of the visual environment is enhanced.



- g. Issue 4, B, Policy 7: Separate pedestrian and vehicular access is provided.
- h. Issue 4, B, Policy 9: Site area lighting, including parking area lighting, is carefully designed and located to minimize glare on public right-of-way and adjacent premises.
- i. Issue 4, B, Policy 10: Architectural design contributes to the enhancement and overall visual environment of the Coors Corridor.
- j. Issue 4, D: Signage complements the appearance and function of the roadway and the corridor while protecting the unique views beyond the corridor.

7. This request is in justifiable conflict with the following Coors Corridor Plan policies:

- a. Issue 4, A, Policy 2: The applicant has submitted a view analysis that shows that the proposed building's maximum height will interfere with views. The applicant has demonstrated that a hardship exists that allows a variance from the view plane height restrictions.
- b. Issue 4, B, Policy 2: The building is not located to provide a pleasing and functional relationship to the roadway and to adjacent or related buildings and structures. However, the building does have a pleasing relationship to the Corrales Main Canal. The applicant has also shown that locating the building to further this policy would increase the conflict with Coors Corridor Plan policies for view preservation.
- c. Issue 4, B, Policy 5: Off-street parking facilities are not located to the rear of this site. Street frontage is not devoted to building architecture and landscaping. The applicant has shown that locating the parking to further this policy would increase the conflict with Coors Corridor Plan policies for view preservation.
- d. Issue 4, B, Policy 6: This commercial site has not been designed so that a portion of the building is located near the street perimeter. The applicant has shown that locating the building to further this policy would increase the conflict with Coors Corridor Plan policies for view preservation.
- e. Issue 4, C, Policy 1: The applicant has submitted a view analysis that shows conflict with Coors Corridor view plane building height requirements. The applicant has demonstrated

hardship to obtain a variance from this requirement, and has submitted a letter justifying this hardship.

8. The applicant has justified conflicts with the governing site development plan for subdivision's design standards:
  - a. Design standards require a 6' wall along the eastern edge of the site with the intent of protecting the residences east of the Corrales Main Canal. The applicant has demonstrated that a 3' parking screening wall is adequate for protection of the residential area and that the building and patio area do not require screening.
  - b. Design standards require a 10' landscape buffer along the eastern edge of the site. The applicant has demonstrated that a 6' landscape buffer adjacent to the parking area is adequate for protection of the residential area due to the approximately 100' wide canal separating the residences from the subject site and the proposed 3' parking screen wall.
  - c. The Riverfronte Estates Neighborhood Association has submitted a letter stating that they are not opposed to the requested noncompliance with the wall standards of the site development plan for subdivision.
9. The applicant has demonstrated that hardship exists because the governing site development plan for subdivision for the subject site was approved by the Environmental Planning Commission and identified the subject site as appropriate for a two-story hotel. Topographic and engineering/infrastructure constraints affect the subject property. Therefore, it is appropriate to grant a variance to the View Plane and Building Height regulation of the Coors Corridor Plan based upon these constraints.
10. Since the April 19, 2007 Environmental Planning Commission hearing, the applicant has reduced the proposed building's size and has lowered the site 2.35' to reduce intrusion into the view plane as described by the Coors Corridor Plan.
11. There is no known opposition to this request.

***RECOMMENDATION - 07EPC 00246, May 17, 2007 – Site Development Plan for Building Permit***

**APPROVAL of 07EPC 00246, a request for approval of a Site Development Plan for Building Permit, for Lot 2A2C, Black Ranch, zoned SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-Service Liquor, based on the preceding Findings and subject to the following Conditions of Approval.**

***CONDITIONS OF APPROVAL - 07EPC 00246, May 17, 2007 – Site Development Plan for Building Permit***

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered.
4. The applicant shall demonstrate how the Energy Management Goal, Section II.D.3 of the Comprehensive Plan, is furthered.
5. City Engineer conditions:
  - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards.

Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).

- c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
  - d. Site plan shall comply and be designed per DPM Standards.
6. The applicant shall list the colors to be used for the dumpster enclosure on the site plan.
7. Landscaping:
- a. Scotch Broom shall be replaced with Lena's Broom or Burkwoodii Broom.
  - b. Threadgrass shall be replaced with Indian Rice Grass or Deergrass.
  - c. Plant beds shall achieve 80% live ground cover.
  - d. Add note to tree planting diagram stating: Prior to backfilling tree, all wire, rope, and synthetic materials shall be removed from the tree and the planting pit. All burlap shall be cup away except from bottom of rootball.
8. The applicant shall revise wall design to comply with Zoning Code wall design regulations in Section 14-16-3-19.
9. The applicant shall provide security lighting for the front of the building and the patio.
10. Signage:
- a. East-facing signage shall not be lit.

- 
- b. Monument signs shall comply with site development plan for subdivision standards, which limit the subject site to two freestanding signs.
- 

*Anna DiMambro*

**Anna DiMambro  
Planner**

cc: Alfred Sanchez III, 3809 Atrisco Dr. NW, Suite A, Albuquerque, NM 87120  
Consensus Planning, Inc., 302 8<sup>th</sup> St. NW, Albuquerque, NM 87102  
Janice Torrez, Riverfronte Estates NA, 16114 Travis Rd. NW, Albuquerque, NM 87114  
Mark McNeil, Riverfronte Estates NA, 1610 Lyria Rd. NW, Albuquerque, NM 87114

***Attachments***

# ADS Office Complex

Tract 2-A-2-C, Black Ranch Subdivision  
Albuquerque, New Mexico

- 1. 1/4" = 1' SCALE
- 2. 1/8" = 1' SCALE
- 3. 1/16" = 1' SCALE
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**CONCEPTUAL GRADING PLAN**

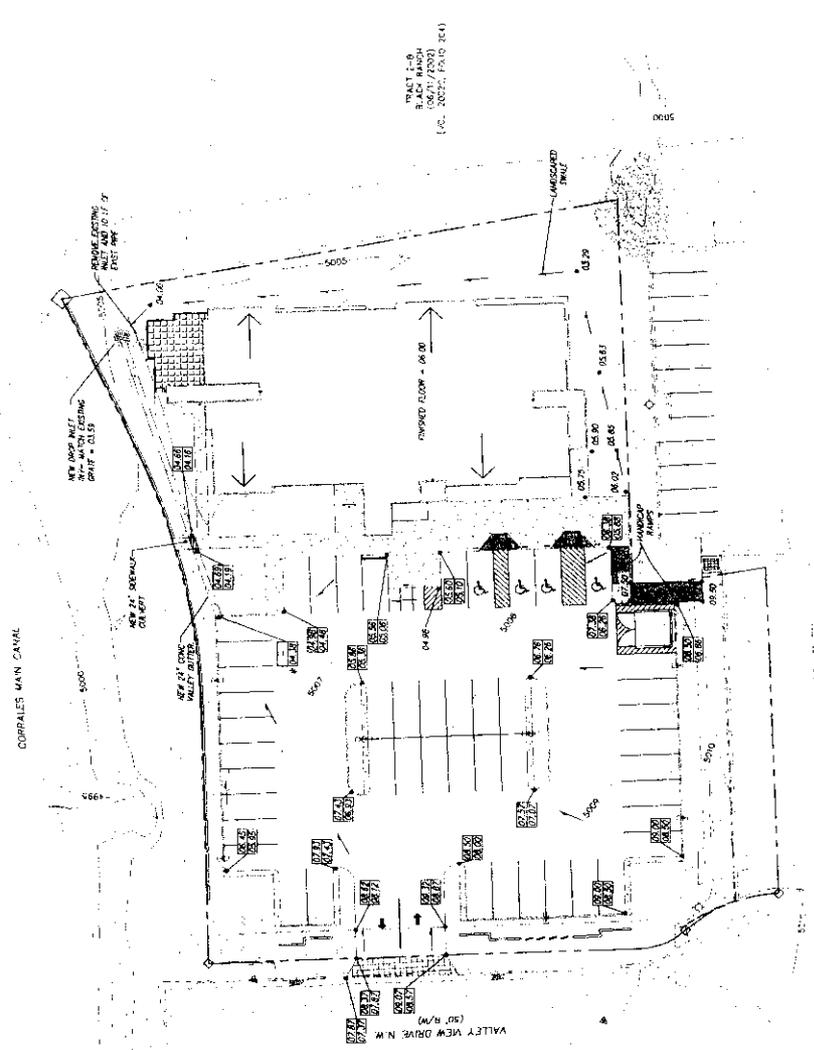
**PROJECT DESCRIPTION**

The purpose of this conceptual grading plan is to provide a visual representation of the proposed site grading and drainage system for the proposed development. The proposed development consists of a 1.0-acre site located at the intersection of Adams Street and Adams Street SE, Atlanta, Georgia. The site is currently vacant and is zoned for residential use. The proposed development consists of a 1.0-acre site located at the intersection of Adams Street and Adams Street SE, Atlanta, Georgia. The site is currently vacant and is zoned for residential use. The proposed development consists of a 1.0-acre site located at the intersection of Adams Street and Adams Street SE, Atlanta, Georgia. The site is currently vacant and is zoned for residential use.

- TRANSFORMER
- FOUND (MONUMENT STAMPED U.S. 8120)
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- CONCRETE AREA
- DROP INLET
- TELEPHONE PEDIESTAL
- LIGHT POLE
- CABLE PEDIESTAL
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- PROPOSED WATER BREAK
- BASEN BOUNDARY
- PROPOSED SPOT ELEVATION (W/ 2' CURB OPENING)
- PROPOSED CONCRETE SIDEWALK
- FLOW ARROW
- PROPOSED SWALE
- PROPOSED SIDEWALK DELIVERY
- PROPOSED RETAINING WALL



*Devin Cannady*  
 05-04-07



TRACT 2-0-0  
 BLACK HANCOCK  
 (06/24/2003)  
 (CO. 2033C, T050, 18F)

TRACT 2-0-0  
 BLACK HANCOCK  
 (06/24/2003)  
 (CO. 2033C, T050, 18F)



**Environmental  
Planning  
Commission**

**Agenda Number: 8  
Project Number: 1001206  
Case #: 07EPC 00246  
April 19, 2007**

**Staff Report**

<b>Agent</b>	Consensus Planning, Inc.
<b>Applicant</b>	Alfred Sanchez III
<b>Request(s)</b>	Site Development Plan for Building Permit
<b>Legal Description</b>	Lot 2A2C, Black Ranch
<b>Location</b>	Valley View Drive NW, between Paseo del Norte NW and Valley View Place NW
<b>Size</b>	Approximately 1 acre
<b>Existing Zoning</b>	SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-service Liquor
<b>Proposed Zoning</b>	Same

**Staff Recommendation**

**APPROVAL of 07EPC 00246, based on the findings on page 12-15, and subject to the conditions of approval on page 15-17.**

**Staff Planner**

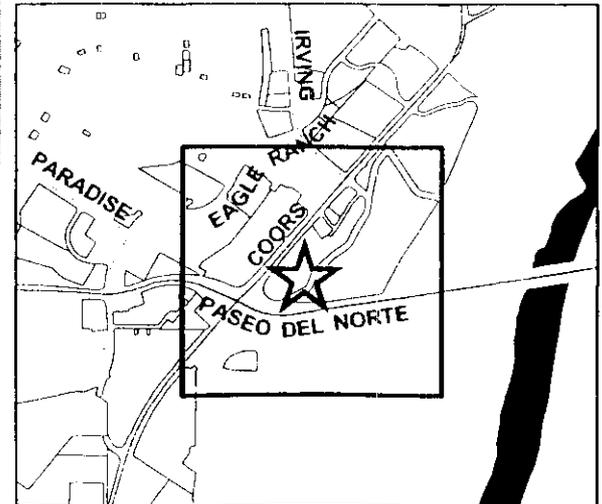
**Anna DiMambro, Planner**

**Summary of Analysis**

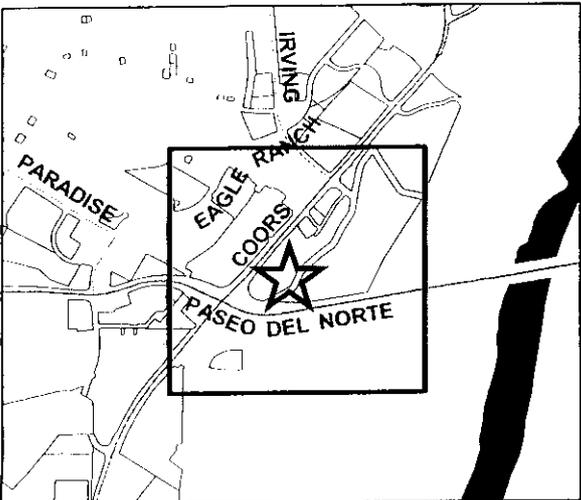
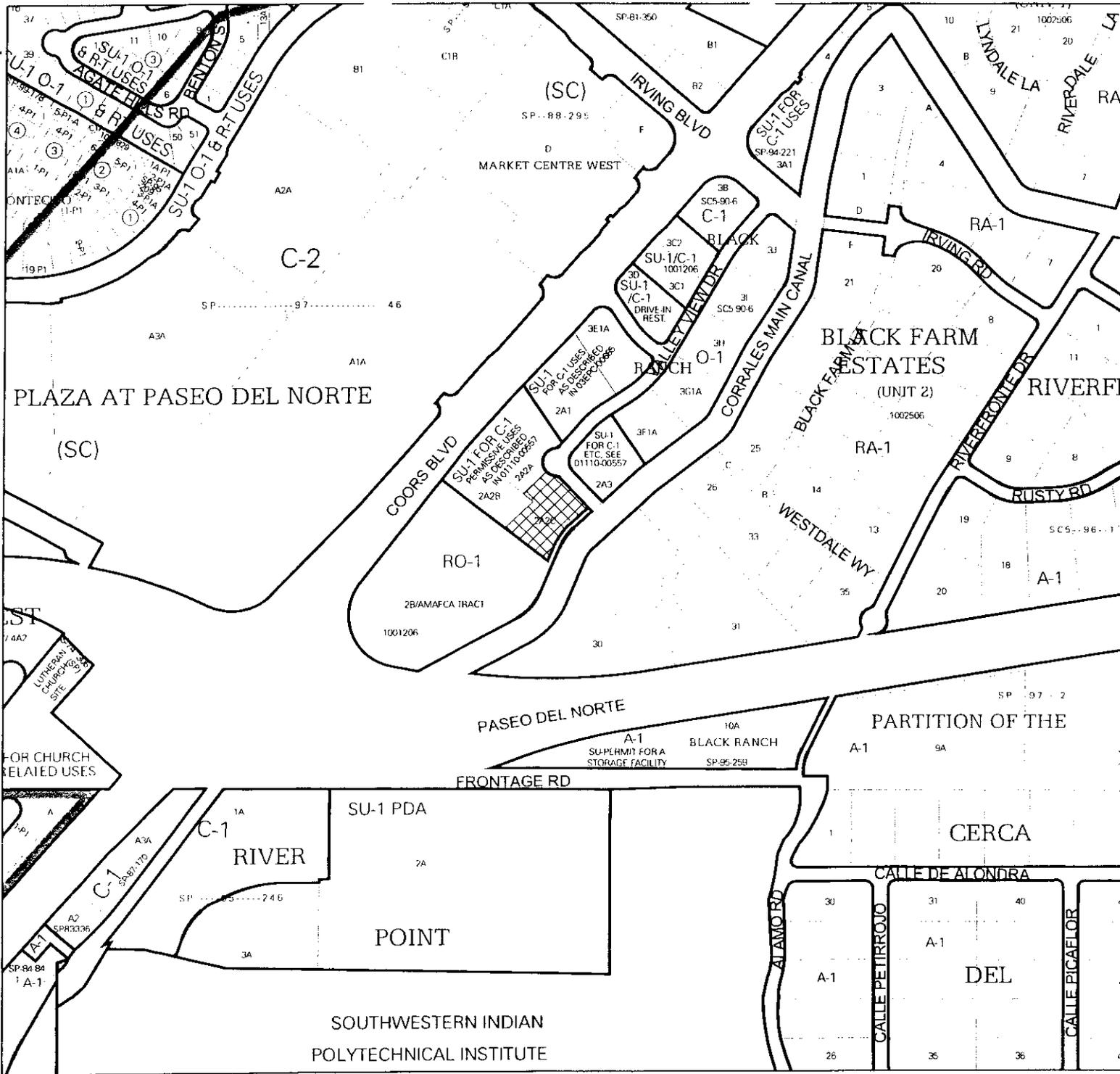
This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The applicant proposes to construct a 2-story 16,000 square foot office building. The site is approximately 1 acre and is zoned SU-1 for C-1 Permissive Uses. It is located in the Developing Urban area within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site.

The request meets the intent of most policies of the Comprehensive Plan, the West Side Strategic Plan, and the Coors Corridor Plan, and complies with most regulations of the Coors Corridor Plan and the Zoning Code. Outstanding issues are building height and signage.

Staff recommendation is for approval with conditions that will help bring the plan into compliance with applicable policies and regulations.



City Departments and other interested agencies reviewed this application from 3/5/2007 to 3/16/2007. Agency comments were used in the preparation of this report and begin on page 18.

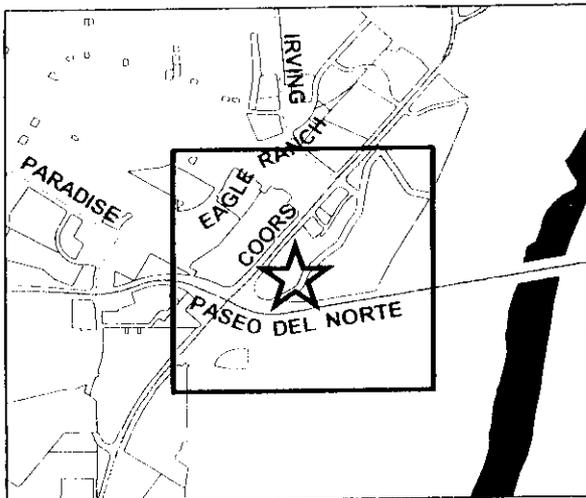
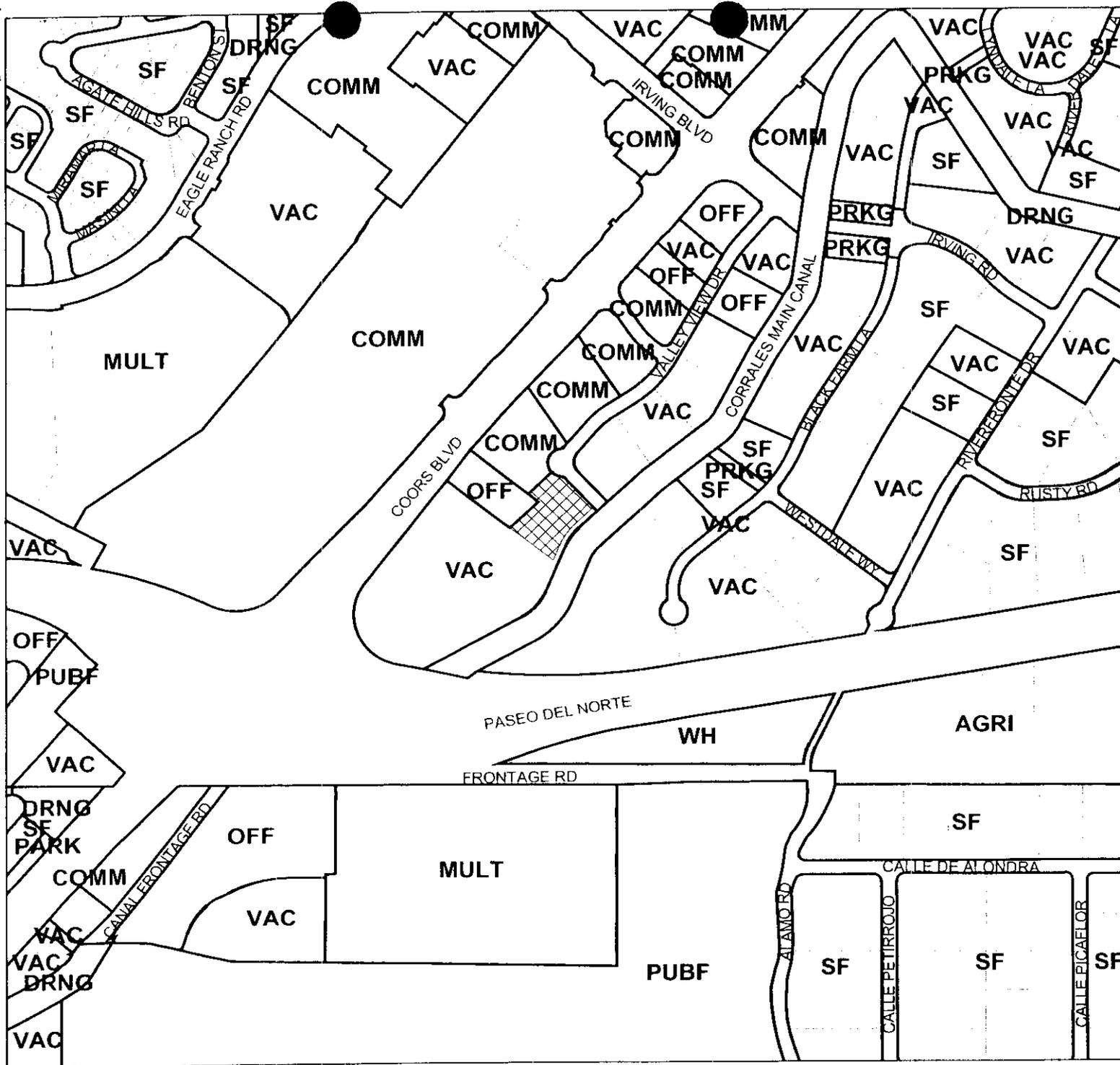


# ZONING MAP

Note: Grey shading indicates County.



1 inch equals 500 feet  
 Project Number: 1001206  
 Hearing Date: 4/19/2007  
 Zone Map Page: C-13  
 Additional Case Numbers: 07EPC-00246



## LAND USE MAP

Note: Grey shading indicates County.

### KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial - Retail
- DRNG Drainage
- MFG Manufacturing or Mining
- MULT Multi-Family or Group Home
- OFF Office
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



1 inch equals 500 feet

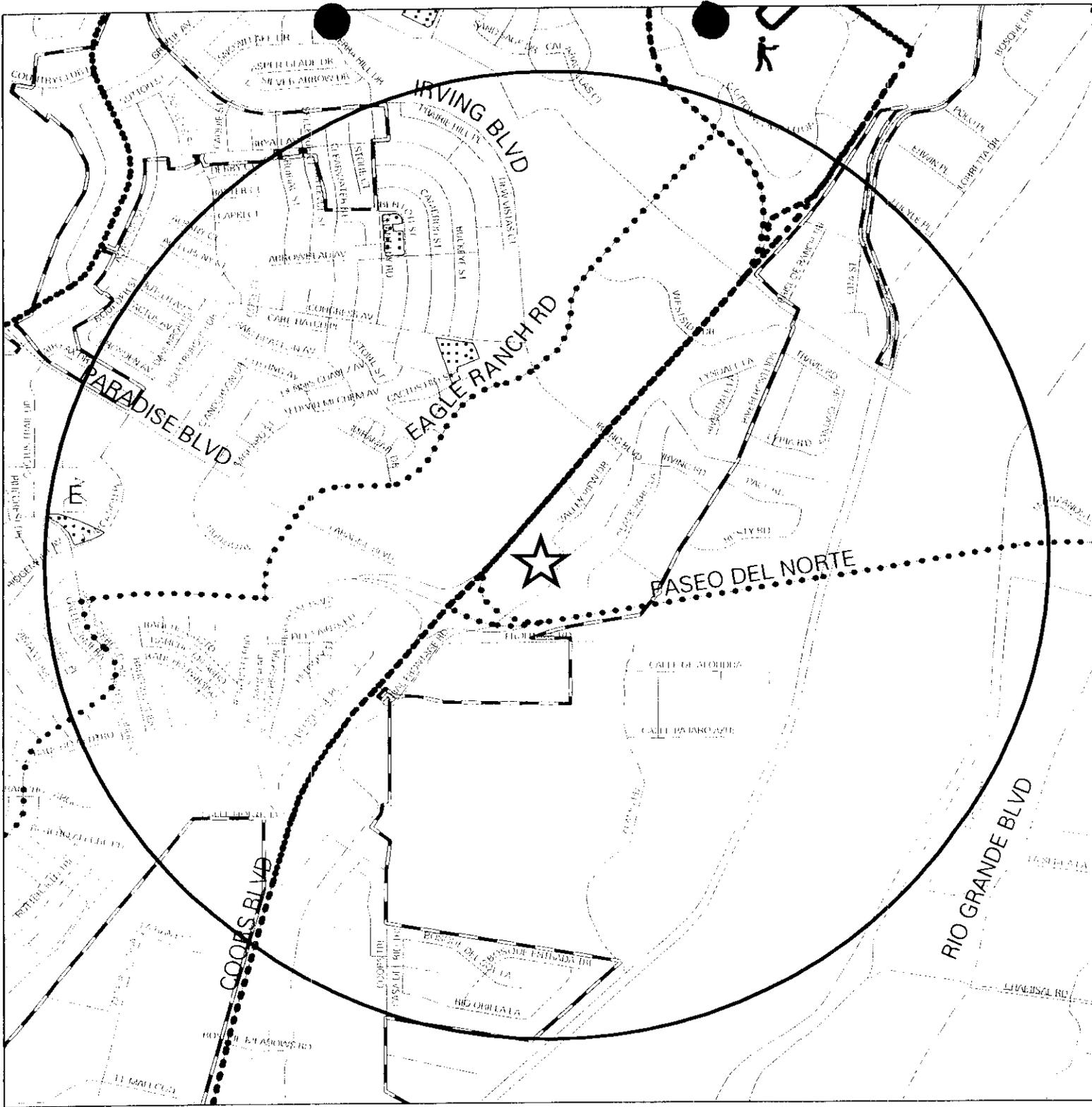
Project Number:  
1001206

Hearing Date:  
4/19/2007

Zone Map Page:  
C-13

Additional Case Numbers:  
07EPC-00246



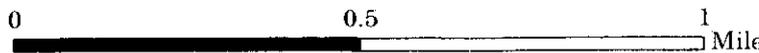


## Public Facilities Map with One-Mile Site Buffer

- |                      |                             |                             |                         |
|----------------------|-----------------------------|-----------------------------|-------------------------|
| COMMUNITY CENTER     | FIRE                        | APS Schools                 | Developed County Park   |
| MULTI-SERVICE CENTER | POLICE                      | ABQ Ride Routes             | Undeveloped County Park |
| SENIOR CENTER        | SHERIFF                     | AGIS Jurisdiction           | Developed City Park     |
| LIBRARY              | SOLID WASTE                 | Landfill Buffer (1000 feet) | Undeveloped City Park   |
| MUSEUM               | Landfills designated by EHD |                             |                         |



Project Number: 1001206



**AREA CHARACTERISTICS AND ZONING HISTORY**

*Surrounding zoning, plan designations, and land uses:*

	<b>Zoning</b>	<b>Comprehensive Plan Area; Applicable Rank II &amp; III Plans</b>	<b>Land Use</b>
<b>Site</b>	SU-1 for C-1 Permissive	Developing Urban; West Side Strategic Plan, Coors Corridor Plan	Vacant
<b>North</b>	SU-1 for C-1, etc.	Developing Urban; West Side Strategic Plan, Coors Corridor Plan	Vacant
<b>South</b>	RO-1	Developing Urban; West Side Strategic Plan, Coors Corridor Plan	Vacant
<b>East</b>	RA-1	Rural; West Side Strategic Plan, Coors Corridor Plan	Corrales Main Canal, Vacant
<b>West</b>	SU-1 for C-1 Permissive	Developing Urban; West Side Strategic Plan, Coors Corridor Plan	Office, Commercial

**Background, History, and Context**

This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, located northeast of the intersection of Paseo del Norte and Coors Boulevard NW. The site is approximately 1 acre and is zoned SU-1 for C-1 Permissive Uses. It is located in the Developing Urban area within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. The applicant proposes to construct a 2-story 16,000 square foot office building.

The subject site was annexed in December 2001 and was assigned the current zoning as part of a request to annex approximately 19 acres located on Coors between Paseo del Norte and Irving NW. A site development plan for subdivision containing design standards and guidelines was also approved by the EPC as part of this request in June 2001 (01EPC 00558). A series of additional subdivisions were approved that resulted in the current lot configuration.

The site is bordered by Grandma's Music and office uses to the west, vacant lots to the north and south, and the Corrales Main Canal to the east. Across the Corrales Main Canal are vacant residential lots. The subject site is currently vacant.

### *Long Range Roadway System*

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The Long Range Roadway System designates Coors Boulevard NW as a Limited-Access Principal arterial, with a right-of-way of 156'.

The Long Range Roadway System designates Paseo del Norte NW as a Freeway.

### *Public Facilities/Community Services*

The subject site is located within one mile of several developed city parks and an elementary school. Bus service is offered on Paseo del Norte, Coors, and Eagle Ranch Road.

Coors Boulevard is an Enhanced Transit Corridor.

## **ANALYSIS OF APPLICABLE ORDINANCES, PLANS AND POLICIES**

Policy Citations are in Regular Text; *Staff Analysis is in Bold Italics*

### **Albuquerque Comprehensive Zoning Code**

*The proposed office use is permissive in the subject site's zoning category, SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-Service Liquor.*

### **Albuquerque / Bernalillo County Comprehensive Plan**

The subject site is located in the area designated Developing Urban by the *Comprehensive Plan* with a Goal to "create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment." Applicable policies include:

#### *Developing and Established Urban Areas*

Policy 2.B.5.d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

*This request furthers this policy. The location, intensity, and design of the proposed development are in line with neighborhood values. The proposed office use is much lower in intensity than other uses permitted under the site's current zoning, and the site is separated*

*from residential uses by the Corrales Main Canal. There is no known neighborhood opposition to this request. Site plan review will ensure that neighborhood values are respected.*

Policy 2.B.5.e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

*The subject site is contiguous to existing urban facilities. Site plan review will ensure that the integrity of existing neighborhoods is maintained. This request furthers this policy.*

Policy 2.B.5.g: Development shall be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.

*This site contains no significant topographical features. It is located adjacent to the Corrales Main Canal. A pedestrian/bicycle access is provided to the canal from Tract 2C to the north of the subject site. This request furthers this policy.*

Policy 2.B.5.i: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

*The proposed office building will be located convenient to residential areas. Site plan review will ensure that adverse effects of noise, lighting, pollution, and traffic on residential environments are minimized. The Corrales Main Canal separates this development from neighboring residential areas, and the proposed use is lower in intensity than other uses permissive under the current zoning. This request furthers this policy.*

Policy 2.B.5.l: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the Plan area.

*The proposed office building is innovatively designed and appears to make use of quality materials. This proposal is appropriate to the Plan area. This request furthers this policy and with the recommended conditions of approval with comply with design standards of the site plan for subdivision.*

Policy 2.B.5.m: Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

*Site plan review and regulations of the Coors Corridor Plan will ensure that unique vistas are maintained and that the quality of the visual environment is enhanced. This request complies with most requirements of the Coors Corridor Plan. It is not in compliance with the view plane height restrictions for Segment 3, which state that only one-third of the building's height may penetrate the view plan. The applicant has justified this conflict as a hardship. This request furthers this policy.*

*Developed Landscape*

Goal: To maintain and improve the natural and the developed landscape's quality.

Policy 2.C.8.a: The natural and visual environment, particularly features unique to Albuquerque, shall be respected as a significant determinant in development decisions.

***Site plan review and regulations of the Coors Corridor plan will ensure that the natural and visual environments are respected. This request furthers this policy.***

Policy 2.C.8.e: In highly scenic areas, development design and materials shall be in harmony with the landscape. Building siting shall minimize alteration of existing vegetation and topography and minimize visibility of structures in scenic vista areas.

***The building's siting minimizes its visibility as much as possible. The applicant has justified the building's penetration into the view plane per the Coors Corridor Plan. The site currently contains little vegetation and relatively flat topography. This request furthers this policy.***

*Transportation and Transit*

Goal: To develop corridors, both streets and adjacent land uses, that provide a balanced circulation system through efficient placement of employment and services, and encouragement of bicycling, walking, and use of transit/paratransit as alternatives to automobile travel, while providing sufficient roadway capacity to meet mobility and access needs.

Policy 2.D.4.a:

- Maximize pedestrian connections to transit stops and between adjacent developments.
- Floor area ratio of 0.5-1.5

***This request partially furthers this policy. Floor area ratio complies with all applicable policies and regulations. However, the applicant has not provided pedestrian connections between adjacent developments.***

Policy 2.D.4.g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

***The applicant has provided a sidewalk that will encourage pedestrian opportunities within the subject site. However, no pedestrian connection has been provided to adjacent sites. This request partially furthers this policy.***

**Water Conservation/Green Principles**

***The applicant has not proposed any specific water conservation methods or green principles for this project. The plant palette consists of mostly low water use plants.***

### West Side Strategic Plan (Rank 2)

The West Side Strategic Plan was first adopted in 1997 and revised in 2005. The West Side Strategic Plan identifies 13 communities, each with a unique identity and comprised of smaller neighborhood clusters. The subject site is located in the Paradise Community, which consists of the area within the following boundaries: the Calabacillas Arroyo to the north, the Town of Alameda Grant line to the south, the river to the east, and the Rainbow Boulevard corridor to the west. Specific boundaries are shown on page 54 in the Plan. Policies for the Paradise Community pertain to Community and Neighborhood Centers, transportation planning, and the Calabacillas and Piedras Marcadas arroyos. These policies are not applicable to this request.

Visual quality is a primary focus of the West Side Strategic Plan. Policy 4.6 (p. 164) states that design guidelines sections shall become policies with adoption of the Plan. Views east of Coors Boulevard, height, landscaping, and fences and walls all have guidelines applicable to this submittal.

*The proposed office building generally furthers this policy. Coors Corridor Plan policies, regulations, and guidelines along with standards and guidelines provided in the site development plan for subdivision are more restrictive than those in the West Side Strategic Plan. Analysis for this request will be based upon the more restrictive policies and regulations.*

### Coors Corridor Plan (Rank 3)

This plan was adopted in 1984 and revised in 1989. It provides detailed design guidelines for the development of Coors Boulevard and adjacent properties from Central Avenue north to State Road 528 (Alameda Boulevard). The plan also puts emphasis on Coors Boulevard as a transit and pedestrian corridor. The subject property is in Segment 3 of the Coors Corridor Plan, which extends from Western Trail on the south to the Calabacillas Arroyo on the north. There are policies applicable to this request, including:

#### *Issue 3: Land Use and Intensity of Development*

Policy 5 – Development Intensity: Intensity of development shall be compatible with the roadway function, existing zoning or recommended land use, environmental concerns, and design guidelines.

*This request furthers this policy. The intensity of the proposed development is in accord with roadway function, existing zoning, environmental concerns, and design guidelines.*

Policy 7 – Cluster Design: Cluster design for development of residential, commercial, and industrial structures shall be encouraged.

*This submittal is part of an overall site development plan for subdivision that promotes a walkable environment, thereby furthering this policy.*

*Issue 4: Visual Impressions and Urban Design Overlay Zone*

*A: General Policies*

Policy 1 -- Views within the Corridor: Appropriate and pleasing visual impressions within the corridor should be established and preserved.

***This submittal is in conflict with this policy. The proposed office building penetrates the view plane beyond the allowable limit.***

Policy 2 -- Views beyond the Corridor: Significant views beyond the corridor, including the volcanoes, the escarpment, the arroyos, the bosque, the Rio Grande valley, and the Sandia Mountains as viewed from Coors Boulevard should be preserved and enhanced.

***The applicant has submitted a view analysis showing that the submittal is in conflict with this policy. The proposed building's maximum height will interfere with the views specified in this policy.***

Policy 3 -- New development: New development in the Coors Corridor should be designed to be compatible with the natural landscape and the built environment in accordance with the design regulations and guidelines.

***The proposed office building is designed in accordance with design regulations and guidelines.***

*B: Site Planning and Architecture*

Policy 1 -- Site design: Natural site amenities should be incorporated into the site design.

***This request is in conflict with this policy. The east edge of the subject site borders the Corrales Main Canal. The applicant has not provided access to the canal through the screen wall. According to the site plan for subdivision, access to the canal will be provided from the lot to the north of the subject site.***

Policy 2 -- Building setback, height, and bulk: Buildings should be located and designed to provide a pleasing and functional relationship to the roadway, the site, and to adjacent or related buildings and structures.

***The submitted landscape plan is in conflict with this policy. The proposed office building is not located on the site to provide a relationship to the roadway or to any adjacent buildings, including any buildings that may be constructed in the future on adjacent properties. A condition of approval is recommended to bring a portion of the building to the roadway.***

Policy 4 -- Site landscaping: Landscape design and improvements should be complementary to the individual site and to the overall appearance of the corridor in accordance with the design regulations and guidelines.

*The submitted site plan shows complementary landscaping. With the recommended conditions of approval, the landscaping also complies with design standards of the site plan for subdivision. This request furthers this policy.*

Policy 5 – Off-street parking: Generally, off-street parking facilities should be located to the rear of sites. Street frontages should be devoted to building architecture and landscaping.

*This request is in conflict with this policy. Parking is located adjacent to the street frontage. A recommended condition of approval will bring the site into compliance with this policy.*

Policy 6 – Commercial sites: Commercial sites, such as shopping centers, should be designed so that a portion of the building or buildings is located near the street perimeter and relates to the streetscape area along Coors Boulevard.

*This request is in conflict with this policy as the building is located at the rear of the site. The site is not located adjacent to Coors Boulevard, and the building's location on the site will not impact the Coors streetscape. However, the proposed location of the building on the site will preclude a relationship to any future buildings to be constructed on the site to the north.*

Policy 7 – Access: Separate pedestrian and vehicular access should be provided. Pedestrian access to structures shall not utilize driveways as walkways. Pedestrian connections between uses in commercial developments shall be emphasized.

*The applicant has provided separate pedestrian and vehicular access to the site, but has not provided connections to neighboring businesses. This request partially furthers this policy.*

Policy 9 – Site lighting: Site area lighting, including parking area lighting, should be carefully designed and located so as to minimize glare on any public right-of-way or any adjacent premises.

*The submitted site plan shows lighting in conformance with this policy.*

Policy 10 – Architectural design: Architectural design should contribute to the enhancement of the overall visual environment of the Coors Corridor.

*Architectural design for this submittal contributes to the overall visual environment of the Coors Corridor. This request furthers this policy.*

*C: View Preservation for Corridor Segments 3 and 4*

Policy 1 – View Preservation: Unique views within and beyond the Coors Corridor area in Segments 3 and 4 east of Coors Boulevard should be protected and enhanced in accordance with additional design guidelines for this portion of the corridor.

*This request is in conflict with this policy. Because the elevation of the subject site is only four feet below the elevation of Coors Boulevard in this location, only one-third of any multiple-story building may penetrate the view plane. Approximately two-thirds of the*

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*proposed building's height penetrates the view plane. The applicant has provided justification for hardship, and the Planning Commission will need to determine whether the applicant has been able to adequately demonstrate that a hardship exists that will exempt this proposal from the requirement.*

*D: Signage*

Policy 1: Signs should complement the appearance and function of the roadway and the corridor while protecting the unique views beyond the corridor.

*The submitted site plan shows signage in conflict with this policy. The proposed monument sign is in conflict with Coors Corridor Plan regulations, and the proposed building-mounted sign on the east elevation is in conflict with site plan for subdivision standards. These conflicts are discussed below.*

## **ANALYSIS OF SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

### ***Site Plan Layout / Configuration***

The proposed site development plan for building permit is compatible with existing development. The applicant is proposing to develop a two-story 16,000 square foot office building. The overall area of the subject site has developed in an auto-oriented style, and the proposed office building fits in nicely with its surroundings.

The office building is situated on the south end of the subject site with the main entrance at the north end of the building. Parking is located in one large mass on the north end of the site. This is in conflict with Coors Corridor Plan policies that encourage locating parking to the rear of sites.

The proposed building reaches a height of 32', which is in compliance with all applicable plans. Setbacks and floor area ratio also meet all applicable requirements. Open space is provided in the form of a walled patio at the southeast corner of the building.

The dumpster is located near the northeast corner of the building. This is in conflict with standards of the site plan for subdivision, which states that no refuse collection areas shall be allowed between any street and building front.

### ***Walls/Fences***

CMU screen walls are proposed for the north and east sides of the site. The north screen wall is a required parking screen, and the east screen wall is required by the site plan for subdivision to screen the office use from the residential area. Keyed notes 16 and 17 on the Site Plan for Building Permit indicate minimum heights of 2'6" and 4'. The detail drawing shows a minimum height of 4'8" and a maximum height of 6'. Minimum heights should be made to match on all sheets. The wall along the east edge of the site is required by the site plan for subdivision to be a minimum of 6' high.

The proposed walls meet height requirements of the Zoning Code. However, they conflict with wall design regulations of the Zoning Code in Section 14-16-3-19. The detail drawing shows some variety in texture, but the variation does not appear to be occurring on at least 20% of the wall façade surface. A condition of approval has been recommended to bring the walls into compliance with this requirement.

#### ***Vehicular Access, Circulation and Parking***

Vehicular access is from Valley View Drive on the north end of the subject site. Circulation through the parking lot appears to be adequate. The submitted site plan shows a shortage of 6 parking spaces if the site were zoned straight C-1. However, the site's SU-1 zoning gives the EPC authority over parking requirements. No motorcycle parking is shown. 3 motorcycle spaces are required per Zoning Code regulations.

The site plan for subdivision for the subject site states that parking areas shall be broken up through the use of convenient and logical pedestrian connections. The parking shown in the submitted site plan is in conflict with this standard. However, the parking lot is not large, and a convenient pedestrian connection is provided on the west edge of the site.

#### ***Pedestrian and Bicycle Access and Circulation, Transit Access***

Pedestrian and bicycle access is from Valley View drive on the north end of the subject site. A 7' concrete sidewalk is provided linking Valley View drive to the office building along the west edge of the site. The applicant is required to provide textured paving material for this pedestrian connection per the site plan for subdivision. The applicant is also required to provide a difference in paving material, color, or pattern at the entry drive crosswalk. Painted asphalt is not acceptable. The site plan for subdivision also requires a minimum of an 8' sidewalk where parking overhangs the sidewalk on one side. A small section of the sidewalk at the east end of the building's front elevation does not meet this requirement.

Adequate bicycle parking is provided near the building's main entrance.

The nearest bus stop is located on Coors Boulevard north of Irving. Transit access to this stop from the subject site is via existing pedestrian facilities.

#### ***Lighting and Security***

Site lighting meets all requirements of the Zoning Code and the site plan for subdivision. Light poles are proposed to be 12' high. No building-mounted lighting is proposed on any side of the building, including the patio. This could pose a security problem, as no parking lot lighting is located near the front of the building.

#### ***Landscaping***

The proposed landscape plan complies with all regulations of the Zoning Code. It does not, however, comply with all standards of the site plan for subdivision. A minimum 10' landscape buffer is required on the east side of the site adjacent to the residential zoning. The landscape plan also does not indicate which plantings are evergreens. Landscape buffers are required to be

primarily evergreen species. Trees are planted slightly farther apart than the maximum 25' along the east and west edges of the site. Landscape areas are also required to be a minimum of 6' wide. A landscape area along the front edge of the building does not meet this requirement. Also, 16 out of the 24 plants listed on the plant legend of the landscape plan do not appear in the list of suggested plants located in the site plan for subdivision.

### ***Public Outdoor Space***

A walled patio with a pedestrian access gate is provided at the southeast corner of the office building. The site plan does not state how many square feet the patio contains. The patio is partially shaded by a tree.

### ***Grading, Drainage, Utility Plans***

The applicant has provided grading, drainage, and utility plans. The site is relatively flat.

### ***Architecture***

Building architecture is a contemporary style, and stylistic elements are used on all four sides of the building. The site plan for subdivision does not dictate an architectural style to be used, but does contain some standards. The proposal is in compliance with all site plan for subdivision architectural standards.

### ***Signage***

Five internally lit building mounted signs are proposed in addition to a freestanding sign mounted to the parking screen wall. The building mounted signs are in conformance with all applicable regulations except the sign on the east elevation. The site plan for subdivision states, "No lighted signs shall be placed on east-facing buildings or in a location that is visible from residential areas east of this development." To comply with this standard, the sign must be removed or must be unlit.

There is some question as to whether the freestanding sign is allowed.

- The Zoning Code allows the Planning Commission to regulate signs.
- R-457, which amended the Coors Corridor plan in 1989, states, "Where freestanding signs are allowed, maximum sign size shall be 75 square feet. Where there are over 12 acres in a development (meaning a premises or an area controlled by a shopping center plan of site development plan – whichever is larger if more than one applies) a second freestanding sign is permitted on any street frontage longer than 1500 lineal feet." According to this regulation, one freestanding sign is allowed for the entire site plan for subdivision area. Grandma's Music and Enterprise each have an approved monument sign.
- The site development plan for subdivision would allow two freestanding two sided signs for this property, which has over 100 feet of street frontage.

This is an outstanding issue that will need to be discussed by the Planning Commission.

**CONCERNS OF REVIEWING AGENCIES / PRE-HEARING DISCUSSION**

No adverse comments have been received.

**NEIGHBORHOOD/PUBLIC CONCERNS**

A facilitated meeting was recommended, but the affected neighborhood decided that it was not necessary. Staff has not received any neighborhood comments to date, either in support or in opposition of this proposal. There is no known opposition.

**CONCLUSIONS**

This is a request for approval of a site development plan for building permit to develop a two-story 16,000 square foot office building on Tract 2A2C, Black Ranch, located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The site is approximately 1 acre and is zoned SU-1 for C-1 Permissive Uses. It is located in the Developing Urban area within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site.

The request meets the intent of most policies of the Comprehensive Plan, the West Side Strategic Plan, and the Coors Corridor Plan, and complies with most regulations of the Coors Corridor Plan and the Zoning Code.

Staff recommendation is for approval with conditions that will help bring the plan into compliance with all applicable policies and regulations.

***FINDINGS – 07EPC 00246, April 19, 2007 – Site Development Plan for Building Permit***

1. This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, an approximately 1 acre site located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The applicant proposes to construct a two-story 16,000 square foot office building
  
2. The subject site is located in the area designated Developing Urban by the Comprehensive plan and within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site (01EPC 00558).
  
3. The request furthers the following Comprehensive Plan policies:
  - a. Policy 2.B.5.d: The location, intensity, and design of the proposed development respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.
  
  - b. Policy 2.B.5.e: The subject site is contiguous to existing urban facilities. Site plan review will ensure that the integrity of existing neighborhoods can be ensured.
  
  - c. Policy 2.B.5.g: This site contains no significant topographical features. It is adjacent to the Corrales Main Canal.
  
  - d. Policy 2.B.5.i: The proposed office building will be located convenient to residential areas. Site plan review will ensure that adverse effects of noise, lighting, pollution, and traffic on residential environments are minimized.
  
  - e. Policy 2.B.5.l: The high-quality, innovative office building proposed in this submittal is appropriate to the Plan area and complies with the site plan for subdivision design standards.
  
  - f. Policy 2.B.5.m: Site plan review and regulations of the Coors Corridor Plan will ensure that unique vistas are maintained and that the quality of the visual environment is enhanced.



- g. Issue 4, B, Policy 10: Architectural design contributes to the enhancement and overall visual environment of the Coors Corridor.
- h. Issue 4, D: Signage complements the appearance and function of the roadway and the corridor while protecting the unique views beyond the corridor.

X This request partially furthers Coors Corridor Plan

7 §. This request is in conflict with the following Coors Corridor Plan policies:

- ↑ a. Issue 4, A, Policy 1: The proposed office building does not contribute to appropriate and pleasing visual impressions within the Coors corridor.
- b. Issue 4, A, Policy 2: The applicant has submitted a view analysis that shows that the proposed building's maximum height will interfere with views.
- c. Issue 4, B, Policy 1: Natural site amenities have not been incorporated into the site design. The site plan does not show a relationship to the Corrales Main Canal.
- d. Issue 4, B, Policy 2: The building is not located to provide a pleasing and functional relationship to the roadway and to adjacent or related buildings and structures.
- e. Issue 4, B, Policy 5: Off-street parking facilities are not located to the rear of this site. Street frontage is not devoted to building architecture and landscaping.
- f. Issue 4, B, Policy 6: This commercial site has not been designed so that a portion of the building is located near the street perimeter.
- ↳ g. Issue 4, C, Policy 1: The applicant has submitted a view analysis that shows conflict with Coors Corridor view plane building height requirements. The applicant must demonstrate hardship or exceptional design to obtain a variance from this requirement, and has submitted a letter justifying this hardship.

8 A. Proposed Finding 2

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- ~~10.9.~~ The proposal is in compliance with most standards of the regulating site plan for subdivision. Conditions of approval have been recommended to bring the submittal into compliance with all standards.
- ~~10.~~ There is no known opposition to this request.

***RECOMMENDATION - 07EPC 00246, April 19, 2007 – Site Development Plan for Building Permit***

**APPROVAL of 07EPC 00246, a request for approval of a Site Development Plan for Building Permit, for Lot 2A2C, Black Ranch, zoned SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-Service Liquor, based on the preceding Findings and subject to the following Conditions of Approval.**

***CONDITIONS OF APPROVAL - 07EPC 00246, April 19, 2007 – Site Development Plan for Building Permit***

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered.
4. The applicant shall demonstrate how the Energy Management Goal, Section II.D.3 of the Comprehensive Plan, is furthered.
5. Site Layout:
  - ~~a.~~ The applicant shall locate a portion of the building closer to the street.

- b. The applicant shall relocate the dumpster to comply with site development plan for subdivision standards, which state that no refuse collection areas shall be allowed between any street and building front.
- c. The applicant shall list the colors to be used for the dumpster enclosure on the site plan.
- d. The applicant shall show patio square footage on the site plan.

6. Walls:

- a. The applicant shall revise the submittal so that minimum wall heights are consistent on all pages.
- b. The screen wall on the eastern edge of the site shall be a minimum of 6' high to comply with site development plan for subdivision standards.
- c. The applicant shall revise wall design to comply with Zoning Code wall design regulations in Section 14-16-3-19.

7. Pedestrian Amenities:

- a. The applicant must remove the sign from the east-facing wall or change it to an unlit sign.
- b. The applicant shall provide at least one pedestrian access point to the Corrales Main Canal.
- c. The applicant shall provide textured paving material for pedestrian connections per site development plan for subdivision standards.
- d. The applicant shall provide a difference in paving material, color, or pattern at the entry drive crosswalk.

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- e. The applicant shall provide an additional 2' of sidewalk or parking bumpers at the east end of the front façade of the proposed building to allow for a 6' clear sidewalk.
  - f. The applicant shall provide security lighting for the front of the building and the patio.

8. Landscaping:

- a. The applicant shall provide a minimum 10' landscape buffer on the east side of the site adjacent to the residential zoning.
- b. The landscape plan shall indicate which plant species are evergreen.
- c. Trees shall be placed a maximum of 25' apart long the east and west edges of the site.
- d. Landscape areas shall be a minimum of 6' wide.

e.  
f.  
g.  
h.

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*Anna DiMambro*  
**Anna DiMambro  
Planner**

cc: Alfred Sanchez III, 3809 Atrisco Dr. NW, Suite A, Albuquerque, NM 87120  
Consensus Planning, Inc., 302 8<sup>th</sup> St. NW, Albuquerque, NM 87102  
Janice Torrez, Riverfronte Estates NA, 16114 Travis Rd. NW, Albuquerque, NM 87114  
Mark McNeil, Riverfronte Estates NA, 1610 Lyria Rd. NW, Albuquerque, NM 87114

**Attachments**

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## ***CITY OF ALBUQUERQUE AGENCY COMMENTS***

### ***PLANNING DEPARTMENT***

#### ***Zoning Code Services***

#### ***Office of Neighborhood Coordination***

**Riverfronte Estates NA (R)**

**3/5/07 – Recommended for facilitation –siw**

**3/6/07 – Assigned to Diane Grover.**

#### ***Advanced Planning***

The subject site is within the Coors Corridor Plan, which is currently in the process of being revised. The revisions will focus on the View Preservation policies that exist within the current plan and to adopt more design standards for the entire corridor.

The subject site is within Segment 3 of the plan, which is required to comply with the view preservation regulations. The submittal does not contain design standards that are consistent with the current Coors Corridor Plan, in relation to building height and signs. Changes to the design standards are strongly recommended in order to allow for compliance with this Plan.

### ***PUBLIC WORKS DEPARTMENT***

#### **Transportation Development (City Engineer/Planning Department):**

- All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- A Traffic Impact Study (TIS) has been submitted and reviewed by Transportation Staff.
- Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- The Traffic Impact Study is available for review by any interested party, in the office of the Traffic Engineer.
- Site plan shall comply and be designed per DPM Standards.

**Hydrology Development (City Engineer/Planning Department):**

- The Hydrology Section has no adverse comments regarding the Site Development Plan – Building Permit request.

**Transportation Planning (Department of Municipal Development):**

- Reviewed, and no comments regarding on-street bikeways, off-street trails or roadway system facilities.

**Traffic Engineering Operations (Department of Municipal Development):**

- No comments received.

**Street Maintenance (Department of Municipal Development):**

- No comments received.

**Utility Development (Water Authority):**

- No comments received.

**Water Resources, Water Utilities and Wastewater Utilities (Water Authority):**

- No comments received.

**New Mexico Department of Transportation (NMDOT):**

- No comments received.

**RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT,  
WATER AUTHORITY and NMDOT:**

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- d. Site plan shall comply and be designed per DPM Standards.

**ENVIRONMENTAL HEALTH DEPARTMENT**

**Air Quality Division**

**Environmental Services Division**

**City Forester**

**PARKS AND RECREATION**

**Planning and Design**

Reviewed, no objection. Request does not affect our facilities.

**Open Space Division**

Open Space has no adverse comments

**POLICE DEPARTMENT/Planning**

No comment.

**SOLID WASTE MANAGEMENT DEPARTMENT**

**Refuse Division**

**FIRE DEPARTMENT/Planning**

**TRANSIT DEPARTMENT**

**COMMENTS FROM OTHER AGENCIES**

**BERNALILLO COUNTY**

**ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY**

1. No objection to EPC site development plan.
2. Approval of Grading and Drainage Plan for building permit will be required from AMAFCA.

3. Stormwater discharge to the southwest corner of the site will require a permanent outfall structure to the AMAFCA pond.

***ALBUQUERQUE PUBLIC SCHOOLS***

The proposed two-story office building on Tract 2A2C, **Black Ranch** (Paseo del Norte NW and Coors Blvd NW) will have no adverse impacts to the APS district.

***MID-REGION COUNCIL OF GOVERNMENTS***

***MIDDLE RIO GRANDE CONSERVANCY DISTRICT***

***PUBLIC SERVICE COMPANY OF NEW MEXICO***

No comment based on the information provided to date. It is the applicant's obligation to determine if utility easements cross the property and to abide by any conditions or terms of those easements.

City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: June 22, 2001

**OFFICIAL NOTIFICATION OF DECISION**

John Black  
3613 NM State Road 528 NW  
Suite H  
Albuq. NM 87114

FILE: 01114 00556/01110 00557/01128 00558  
LEGAL DESCRIPTION: for Tract 2A, 2B, 2C,  
2D, 3F1, 3G1, 3H, 3I, 3J, 3B, 3C, Black Ranch,  
located on Coors Boulevard NW between Paseo  
del Norte and Irving Boulevard, containing  
approximately 18.0356. (C-13) Deborah Stover,  
Staff Planner

On June 21, 2001, the Environmental Planning Commission voted to recommend approval to the City Council of 01114 00556, a request for annexation, for Tracts 2, 3F1, 3C1, 3H, 3I, 3J and 3B, 3C, Black Ranch, based on the following Findings:

**FINDINGS:**

1. This is a request for annexation of approximately 18 acres located on Coors Boulevard NW between Paseo del Norte and Irving Boulevard and described as Tracts 2, 3F1, 3C1, 3H, 3I, 3J and 3B, 3C, Black Ranch.
2. The subject request meets the requirements for annexation into the city because it is contiguous to City boundaries, accessible to service providers, and has convenient street access to the City.
3. The annexation request furthers the applicable Goals and policies of the *Albuquerque/Bernalillo County Comprehensive Plan* by allowing for an urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in housing, transportation, work areas and life styles.
4. The area is suitable for urban intensity as defined by its designation of Developing Urban in the *Albuquerque/Bernalillo County Comprehensive Plan*.
5. The annexation request furthers the applicable Goals and policies of the *West Side Strategic Plan* by proposing annexation that will allow for urban style services that are appropriate in the community.

6. The annexation request furthers Policy 4 of the land use and intensity of development section of the *Coors Corridor Plan* which states that "properties under county jurisdiction, which are now surrounded by City jurisdiction, should be annexed as soon as possible.

On June 21, 2001, the Environmental Planning Commission voted to recommend approval to the City Council of 01110 00557, a request for establishment of zoning for Tracts 3F1, 3C1, 3H, 3I, 3J, 3B, 3C, Black Ranch SU-1 for C-1 Permissive Uses and Hotel not to exceed 2 stories in height, and Restaurants with Full-Service Liquor is requested for Tracts 2A, 2B and 2C, a zoning designation of RO-1 for Tract 2D, C-1 for Tract 3B, C-1 for Tract 3B, and SU-1 for C-1 for Tract 3C and O-1 for Tracts 3F1, 3G1, 3H, 3I and 3J, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for establishment of zoning for approximately 18 acres located on Coors Boulevard NW between Paseo del Norte and Irving Boulevard and described as Tracts 2, 3F1, 3C1, 3H, 3I, 3J and 3B, 3C, Black Ranch.
2. Zoning for parcels created by the accompanying site plan for subdivision is requested. SU-1 for C-1 Permissive Uses and Hotel not to exceed 2 stories in height and Restaurants with Full-Service Liquor is requested for Tracts 2A, 2B and 2C. A zoning designation of RO-1 is requested for Tract 2D. C-1 is requested for Tract 3B. O-1 is requested for Tracts 3F1, 3G1, 3H, 3I and 3J. SU-1 C-1 for Tract 3C.
3. A plat showing clear and distinct boundaries of the newly created tracts should be submitted at DRB.
4. The subject site meets the requirements of 270-1980 under the changed community conditions finding. The West Side Strategic Plan and the Paseo del Norte bridge crossing present changed conditions in the area.
5. The requested zoning meets the goals in the *Albuquerque/Bernalillo County Comprehensive Plan* by placing employment and service uses that are located to complement residential uses and sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.
6. The *Coors Corridor Plan* states that "the intensity of development shall be compatible with the roadway function, existing zoning or recommended land use, environmental concerns, and design guidelines." The proposed zoning categories are compatible with existing conditions in the area.

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01114 00556/01110 00557/01128 00558  
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**CONDITIONS:**

1. The site shall be replatted to show clear and distinct boundaries of the newly created tracts.

On June 21, 2001, the Environmental Planning Commission voted to recommend approval to the City Council of 01128 00558, a request for site development plan for subdivision, for Tract 2, Black Ranch based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for approval of a site development plan for subdivision for approximately 12.5 acres located on Coors Boulevard NW between Paseo del Norte and Irving Boulevard and described as Tract 2, Black Ranch.
2. A site plan for subdivision is required for approval of SU-1 zoning.
3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating a framework for a quality urban environment that offers a choice in transportation, work areas and life styles.
4. The site development plan meets all of the requirements of the Zoning Code by specifying all of the elements of a site development plan for subdivision.
5. Design guidelines are incorporated into the site including an overall theme and land use concept, landscape design requirements, signage design requirements, and lighting design requirements.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines.

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3. Design guidelines shall include off-street parking requirements and design (automobiles and bicycles), street design, transit facilities (benches, shelters, pedestrian connections), architectural design requirements (façade elements, massing, colors, materials), and pedestrian amenities (walkways, plazas, shade structures) that are consistent with EPC directives and intents.
4. Lighting:
  - a. The height of lighting fixtures is maximum height of 16 feet.
  - b. 12 feet maximum height for any security language remains on after 11:00 p.m. and it be directed towards the building and no to the neighborhood.
  - c. All lighting on the site shall be fully shielded, cutoff lighting (shoebox) to minimize fugitive lighting and the bulbs shall not extend past the housing.
5. The maximum sign area on each monument sign shall be 50 square feet on each face.
6. No outdoor loud speakers and paging systems are allowed.
7. All parking surfaces facing streets shall be screened with a minimum a 30 inch wall or landscape berm so that parking grills and headlights are shielded from the right-of-way.
8. There shall be a minimum 6-foot high, solid wall along the eastern edge of the subject site.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY **JULY 6, 2001** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

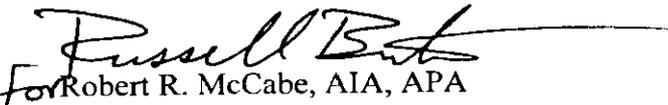
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION  
JUNE 21, 2001  
01114 00556/01110 00557/01128 00558  
PAGE 5

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,

  
For Robert R. McCabe, AIA, APA  
Planning Director

RM//ac

cc: Consensus Planning Ave. SW, Albuquerque, NM 87102  
Audre Bonadea, Paradise Hills Civic Assoc., 10137 Furman NW, Albuquerque, NM 87114  
Meredith Hughes, Paradise Hills Civic Assoc., 9908 La Paz NW, Albuquerque, NM 87114  
Marlo Peters, Riverfronte Estates NA, Inc., 9506 Kandace Dr. NW, Albuquerque, NM 87114  
Gary Plante, Riverfronte Estates NA, Inc., 1692 Pace Rd. NW, Albuquerque, NM 87114  
Rick Lackey, Taylor Ranch NA, 2001 Carlisle NE, Albuquerque, NM 87110  
Jerry Beck, Taylor Ranch NA, 8201 Golf Course Rd. NW, Suite D-3, Albuquerque, NM 87120  
Mrs. Ginger Carman, 7201 Central Ave. NW, Albuquerque, NM 87121  
Sylvain Segal, 6201 Uptown Blvd. NE, Albuquerque, NM 87110  
Ginger Carman, 1728 Rusty Rd. NW, Albuquerque, NM 87114  
Susan Fox, P.O. Box 1888, Albuquerque, NM 87102  
John Marach, 3613 NM State Highway 528, Albuquerque, NM 87114

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Alfred Sanchez III PHONE: 505-385-6330  
 ADDRESS: 3809 Atrisco Drive NW, Suite A FAX: 505-833-4574  
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: onetripper@aol.com  
 Proprietary interest in site: owner List all owners:  
 AGENT (if any): Consensus Planning, Inc. PHONE: 505-764-9801  
 ADDRESS: 302 8th Street NW FAX: 505-842-5495  
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

DESCRIPTION OF REQUEST: Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 2A2C Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. Black Rancho  
 Current Zoning: SU-for C-1 permissive Proposed zoning: na  
 Zone Atlas page(s): C-13-Z No. of existing lots: 1 No. of proposed lots: 1  
 Total area of site (acres): 1.05 Density if applicable: dwellings per gross acre: na dwellings per net acre: na  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? \_\_\_\_\_  
 UPC No. 101306430628810404 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: Valley View Drive NW  
 Between: Paseo del Norte NW and Valley View Place NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): \_\_\_\_\_

Project # 1001206

Check-off if project was previously reviewed by Sketch Plat/Plan? or Pre-application Review Team? Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 3/1/07  
 (Print) James K. Strazier, AICP Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07EPC</u> <u>00246</u>	<u>SBP</u>	<u>81</u>	\$ <u>385.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>50.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>ADU</u>		\$ <u>75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>4-14-07</u>			Total \$ <u>510.00</u>

[Signature]

Project # 1001206

FORM P(1): SITE PLAN REVIEW – E.P.C. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION
- IP MASTER DEVELOPMENT PLAN

- \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
  - \_\_\_ For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
  - \_\_\_ Site plans and related drawings reduced to 8.5" x 11" format
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Completed Site Plan for Subdivision and/or Building Permit Checklist
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ TIS/AQIA Traffic Impact Study form with required signature
  - \_\_\_ Fee (see schedule)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
- SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **30** copies for EPC public hearings.
- Site plans and related drawings reduced to 8.5" x 11" format
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision and/or Building Permit Checklist
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

**NOTE:** For wireless telecom facilities (administrative reviews that have been referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:

- \_\_\_ Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
  - \_\_\_ Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
  - \_\_\_ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
  - \_\_\_ Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
  - \_\_\_ Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
  - \_\_\_ Registered Engineer's stamp on the Site Development Plans
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION
- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
  - \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
  - \_\_\_ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30** copies for EPC public hearings
  - \_\_\_ Site plans and related drawings reduced to 8.5" x 11" format
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - \_\_\_ TIS/AQIA Traffic Impact Study form with required signature
  - \_\_\_ Fee (see schedule)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozio AICP  
Applicant name (print)

[Signature] 3/1/07  
Applicant signature / date



Form revised October 2004

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
07EPC - 00246

[Signature]  
Planner signature / date  
**Project # 1001206**

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from APRIL 4, 2007 to APRIL 19, 2007

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Jorge J. J. J.  
Applicant or Agent

3-1-07  
(Date)

I issued 2 signs for this application,

03/01/07  
(Date)

Sandy Handley  
(Staff Member)

DRB PROJECT NUMBER: 1601206

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Alfred Sanchez III DATE OF REQUEST: 2/27/07 ZONE ATLAS PAGE(S): C-13-2

**CURRENT:**

ZONING SU-1 FOR C-1

PARCEL SIZE (AC/SQ. FT.) 1 AC.

**LEGAL DESCRIPTION:**

LOT OR TRACT # 2A2C BLOCK # \_\_\_\_\_

SUBDIVISION NAME Black Ranch

**REQUESTED CITY ACTION(S):**

- |                |                     |                         |                     |
|----------------|---------------------|-------------------------|---------------------|
| ANNEXATION [ ] | SECTOR PLAN [ ]     | SITE DEVELOPMENT PLAN:  |                     |
| COMP. PLAN [ ] | ZONE CHANGE [ ]     | A) SUBDIVISION [ ]      | BUILDING PERMIT [X] |
| AMENDMENT [ ]  | CONDITIONAL USE [ ] | B) BUILD'G PURPOSES [ ] | ACCESS PERMIT [ ]   |
|                |                     | C) AMENDMENT [ ]        | OTHER [ ]           |

**PROPOSED DEVELOPMENT:**

- NO CONSTRUCTION/DEVELOPMENT [ ]
- NEW CONSTRUCTION
- EXPANSION OF EXISTING DEVELOPMENT [ ]

**GENERAL DESCRIPTION OF ACTION:**

# OF UNITS: 1  
BUILDING SIZE: 14,000 (sq. ft.) OFFICE

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE [Signature] DATE 2/27/07  
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO  BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO  MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:   
Notes: BLACK TRACT 2 & 3 / WELLS FARLO (2003)

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature] DATE 2-27-07  
TRAFFIC ENGINEER

**Air Quality Impact Analysis (AQIA) May Be Required:**

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [ ] NO

Contact an Air Quality Planner at 768-2860 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

[Signature] DATE 2/27/07  
APPLICANT

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 1/1/2003 [Signature] DATE 2-27-07  
-FINALIZED 1/1/ TRAFFIC ENGINEER

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

*Chris Green* 3-1-07

**Applicant or Agent Signature / Date**

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

## Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 - SITE PLAN

### A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less      1" = 10'  
1.0 - 5.0 acres                1" = 20'  
Over 5 acres                    1" = 50'  
Over 20 acres                  1" = 100'                    *[Other scales as approved by staff]*
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

### 2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including handicapped spaces
  - 2. Calculations: spaces required: 61 provided: 49  
Handicapped spaces required: 4 provided: 4
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 3  
provided: 6
  - N/A 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
  - 3. Location and description of amenities, including patios, benches, tables, etc.

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

## 4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## 5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - NA A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- NA 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail  NA 16. Street Tree Plan as defined in the Street Tree Ord.

## SHEET #3 –PRELIMINARY GRADING PLAN –

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

## A. General Information

1. Scale - must be same as Sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements
6. Building footprints
7. Location of Retaining walls

## B. Grading Information

1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
3. Identify ponding areas, erosion and sediment control facilities.
4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

## SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  1. Identify facade orientation
  2. Dimensions of facade elements, including overall height and width
  3. Location, material and colors of windows, doors and framing
  4. Materials and colors of all building elements and structures
  5. For EPC and DRB submittals only – Color renderings or similar illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

### B. Signage

1. Site location(s)
2. Sign elevations to scale
3. Dimensions, including height and width
4. Sign face area - dimensions and square footage clearly indicated
5. Lighting
6. Materials and colors for sign face and structural elements.

*Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.*

February 27, 2007

Mr. Jeffrey Jesionowski, Chairman  
Environmental Planning Commission  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87102

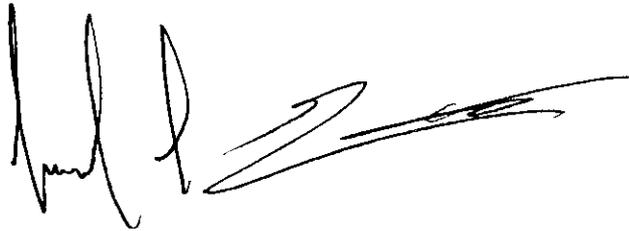
**RE: Site Development Plan for Building Permit for an Office Building  
UPC# 101306430628810404  
Project # 1001206**

Dear Mr. Jesionowski:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as our agent on this request for Site Development Plan for Building Permit for  $\pm$  1.05 acre parcel in northwest Albuquerque. The property is located on Valley View Drive NW between Paseo del Norte and Valley View Place NW.

The subject property is legally described as: **Black Ranch, Tract 2A2C.**

Sincerely,

A handwritten signature in black ink, appearing to read 'Alfred Sanchez III', with a long horizontal flourish extending to the right.

Alfred Sanchez III



PLANNING

CONSENSUS

February 27, 2007

Landscape Architecture  
Urban Design  
Planning Services

Mr. Jeffrey Jesionowski, Chairman  
Environmental Planning Commission  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87102

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

**RE: Site Plan for Building Permit  
Tract 2A2C, Black Ranch  
UPC# 101306430628810404  
Project # 1001206**

Dear Mr. Jesionowski:

The purpose of this letter is to describe the attached submittal for a Site Plan for Building Permit for Tract 2A2C, Black Ranch located on Valley View Drive, between Paseo del Norte and Valley View Place NW. This request includes approximately 1.05 acres of land zoned SU-1 for C-1 permissive uses and hotel not to exceed two-stories and restaurant with full service liquor.

The applicant proposes to construct a 16,000 square foot two-story office building. The Site Development Plan for Building Permit includes a conceptual Landscape Plan, Grading and Drainage Plan, Utility Plan, and Architectural Elevations. The property is located within an approved Site Development for Subdivision and requirements as set forth in this document. This request will add additional development to this vacant infill property that is fully served by existing infrastructure.

We look forward to presenting this project to you and the Commission at your April 19<sup>th</sup> public hearing.

Sincerely,

James K. Strozier, AICP  
Principal

PRINCIPALS

Karen R. Marcotte, AICP  
James K. Strozier, AICP  
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP



## Memorandum

**To:** Anna DiMambro, City of Albuquerque Development Review

**From:** Joyce Jordan, Planning Assistant

**Date:** April 3, 2007

**Re:** Project # 1001206 (ADS Office Complex)

This letter is in response to your memorandum dated March 21, 2007. Please don't hesitate to contact me should you have any questions regarding this response.

### Substantive

- **Demonstrate building and landscaping compliance with Coors Corridor Plan view corridor regulations.**  
*View diagram showing compliance with view corridor regulations provided by Devin Cannady, Architect, was submitted for your review on March 28, 2007.*
- Show groundcover calculations.  
*Groundcover calculations have been added to Sheet L1.*
- Graphic scale is incorrect (on almost all pages)  
*Graphic scale has been corrected on Sheet AS.01 and AS.03.*
- Scale of drawings is slightly off. Measurements do not come out right (on almost all pages).  
*Scale has been corrected on Sheet AS.01 and AS.03.*
- Provide minimum of three motorcycle parking spaces  
*Parking spaces have been provided and are shown on Sheet AS.01.*
- Provide color reductions for commissioners  
*Color reductions of the site plan have been provided on 11x17 sheets.*
- Most plants are not on the recommended plant list in the site plan for subdivision. Change or explain why.  
*The plant palette in the Site Plan for Subdivision is merely "suggested". We have deviated from the list to provide a better variety in terms of plant texture, color, growth characteristics, etc.*

- 6' minimum width required for landscaping strips. The eastern strip is not wide enough. Making that row of parking compact could accommodate the necessary landscaping width.  
*Six foot minimum width required for landscaping strips has been provided, and is shown on Sheet AS.01.*

Non-substantive

- List number of bubblers per tree (minimum of three one-gallon bubblers per tree).  
*There will be a drip irrigation system vs. a bubbler system; so the list is not necessary.*
- Landscaping plan: in statement of water waste, it references the ADA Office Complex. Should it be ADS?  
*Text has been changed to reflect ADS, instead of ADA.*
- Spelling error on grading plan in bottom left corner.  
*Spelling error "maintained" will be corrected on the grading plan, Sheet C1, prior to DRB submittal.*
- Spelling error on landscaping plan (Autumn Joy).  
*Spelling error "Autumn Joy" has been corrected on Sheet L1.*
- Re-label sheet AS.01 Site Plan for Building Permit.  
*Sheet AS.01 has been re-labeled as "Site Plan for Building Permit".*
- Remove reference to Rio Rancho in keyed note #14.  
*Corrected; reference to Rio Rancho has been removed.*
- Spelling error in keyed note #23.  
*Spelling error "maintained" has been corrected on Sheet AS.01, #23.*
- Spelling error in "not for construction" note on all pages.  
*"Not for construction" has been deleted on all sheets.*
- North arrow on grading plan is incorrect.  
*The north arrow on the grading plan is correct.*

March 27, 2007

Mr. Jeffery Jesionowski, Chairman  
Environmental Planning Commission  
600 Second Street NW  
Albuquerque, NM 87102

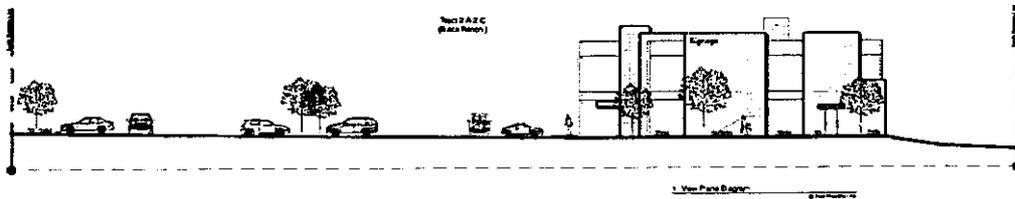
Re: ADS Office Complex (Project #1001206)

Dear Chairman Jesionowski:

The purpose of this letter is to provide justification and demonstrate compliance with the Coors Corridor Plan view corridor regulations.

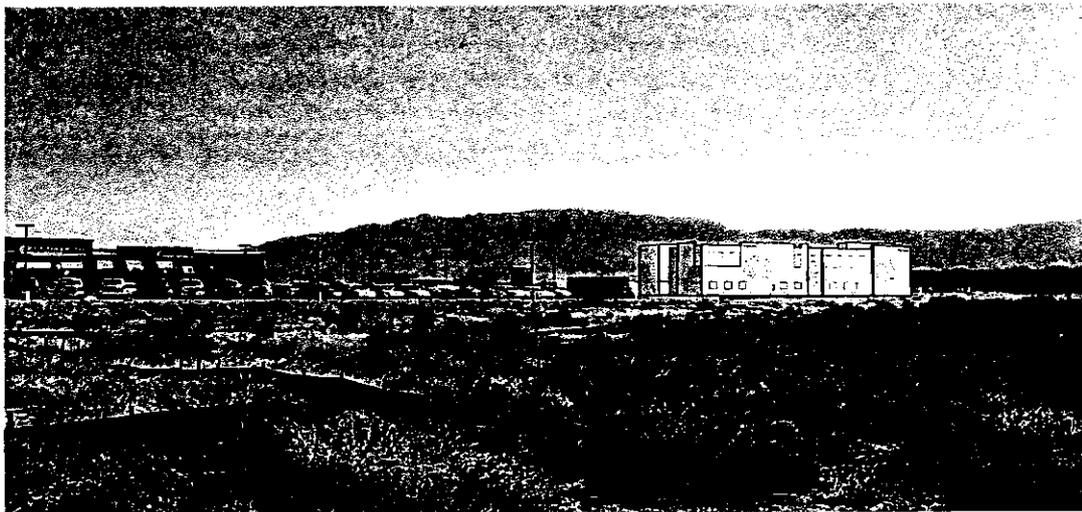
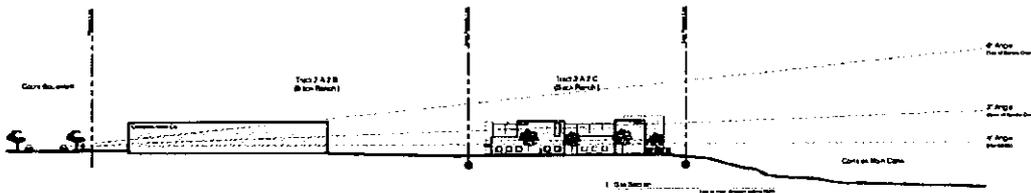
Policy 1 – Views within the Corridor

'Appropriate and pleasing visual impressions within the corridor should be established and preserved.'



Policy 2 – Views beyond the Corridor

'Significant views beyond the corridor, including the volcanoes, the escarpment, the arroyos, the bosque, the Rio Grande Valley, and the Sandia Mountains as viewed from Coors Boulevard should be preserved and enhanced.'



View Looking at Sandia Peak



**Environmental  
Planning  
Commission**

**Agenda Number: 8  
Project Number: 1001206  
Case #: 07EPC 00246  
April 19, 2007**

**Staff Report**

<b>Agent</b>	Consensus Planning, Inc.
<b>Applicant</b>	Alfred Sanchez III
<b>Request(s)</b>	<b>Site Development Plan for Building Permit</b>
<b>Legal Description</b>	Lot 2A2C, Black Ranch
<b>Location</b>	Valley View Drive NW, between Paseo del Norte NW and Valley View Place NW
<b>Size</b>	Approximately 1 acre
<b>Existing Zoning</b>	SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-service Liquor
<b>Proposed Zoning</b>	Same

**Staff Recommendation**

**APPROVAL of 07EPC 00246, based on the findings on page 12-15, and subject to the conditions of approval on page 15-17.**

**Staff Planner**

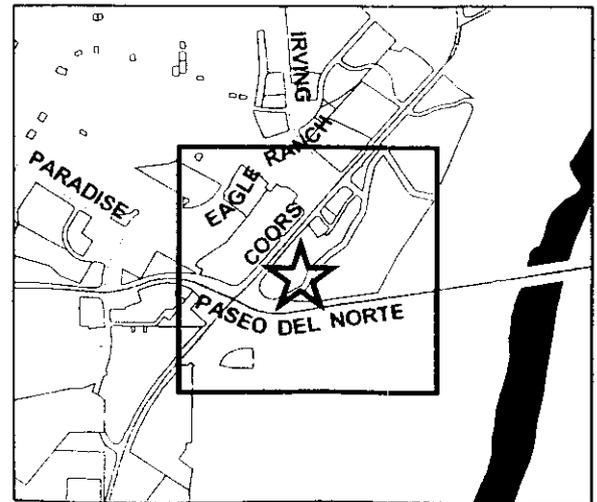
**Anna DiMambro, Planner**

**Summary of Analysis**

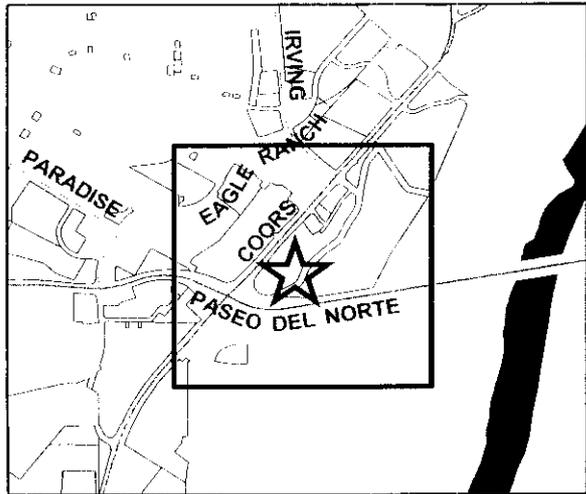
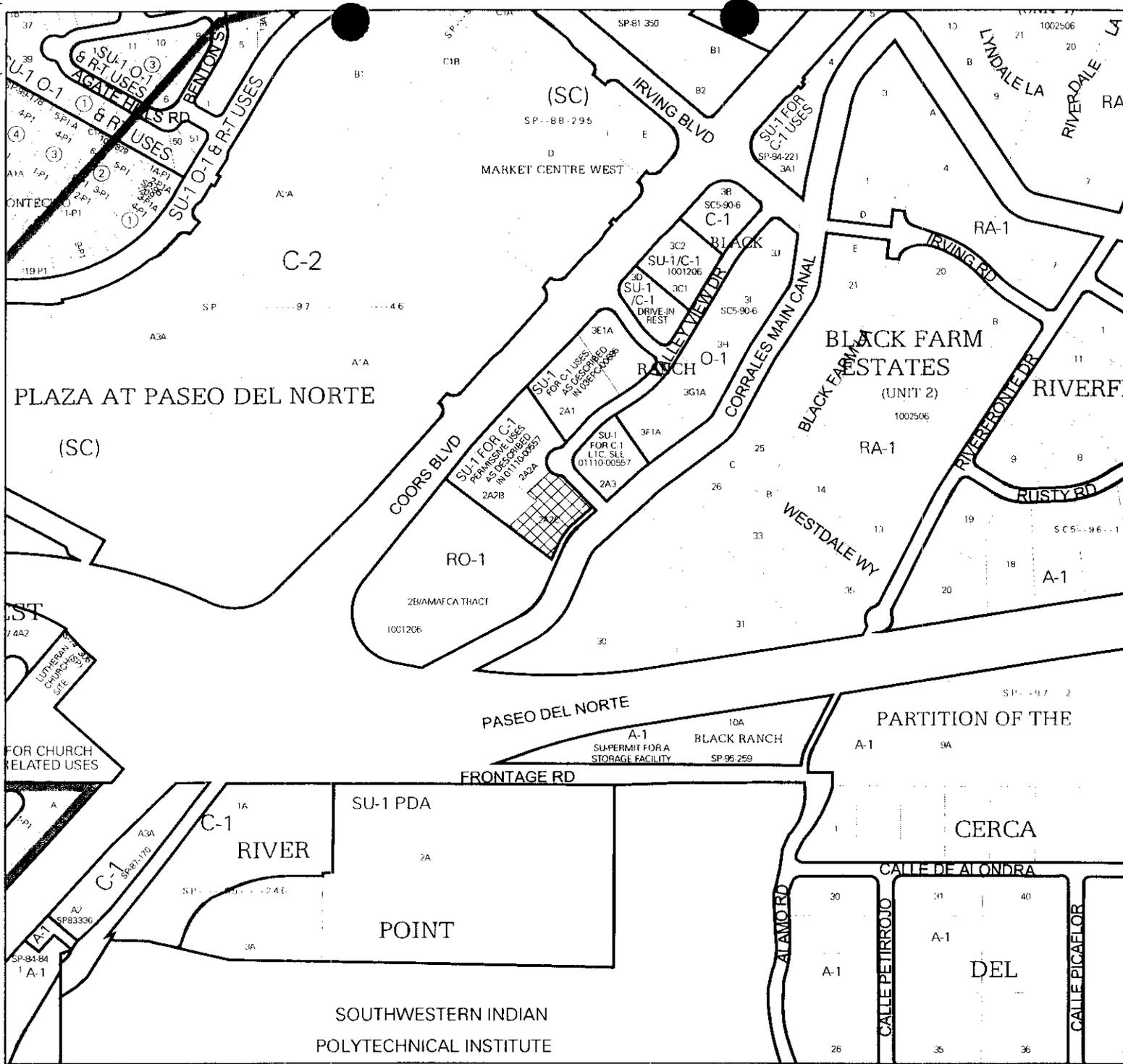
This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The applicant proposes to construct a 2-story 16,000 square foot office building. The site is approximately 1 acre and is zoned SU-1 for C-1 Permissive Uses. It is located in the Developing Urban area within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site.

The request meets the intent of most policies of the Comprehensive Plan, the West Side Strategic Plan, and the Coors Corridor Plan, and complies with most regulations of the Coors Corridor Plan and the Zoning Code. Outstanding issues are building height and signage.

Staff recommendation is for approval with conditions that will help bring the plan into compliance with applicable policies and regulations.



City Departments and other interested agencies reviewed this application from 3/5/2007 to 3/16/2007. Agency comments were used in the preparation of this report and begin on page 18.



# ZONING MAP

Note: Grey shading indicates County.



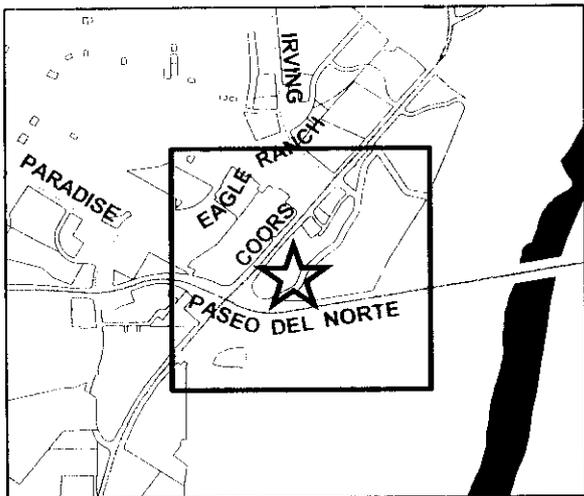
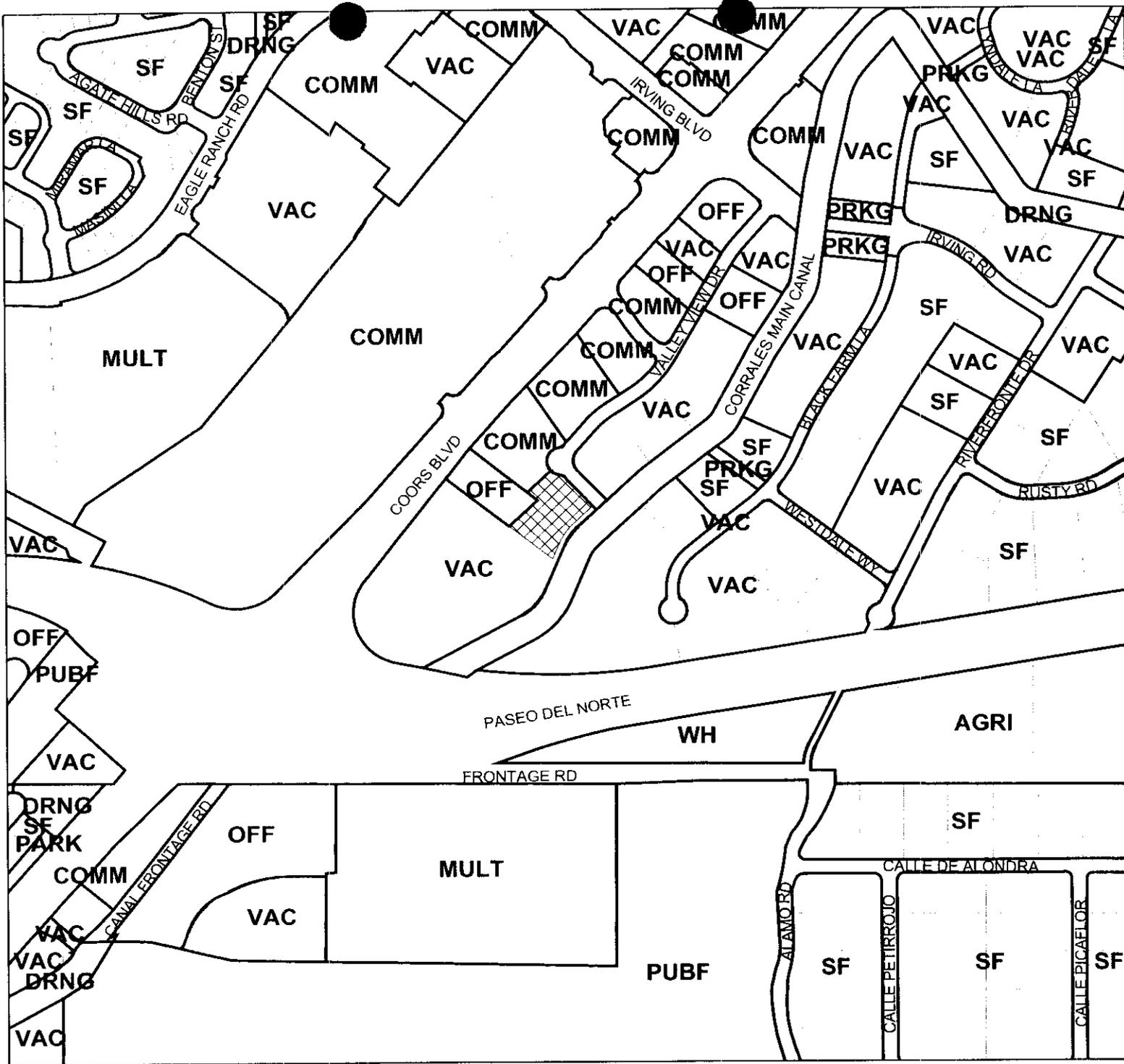
1 inch equals 500 feet

Project Number:  
1001206

Hearing Date:  
4/19/2007

Zone Map Page:  
C-13

Additional Case Numbers:  
07EPC-00246



# LAND USE MAP

Note: Grey shading indicates County.

## KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial - Retail
- DRNG Drainage
- MFG Manufacturing or Mining
- MULT Multi-Family or Group Home
- OFF Office
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



1 inch equals 500 feet

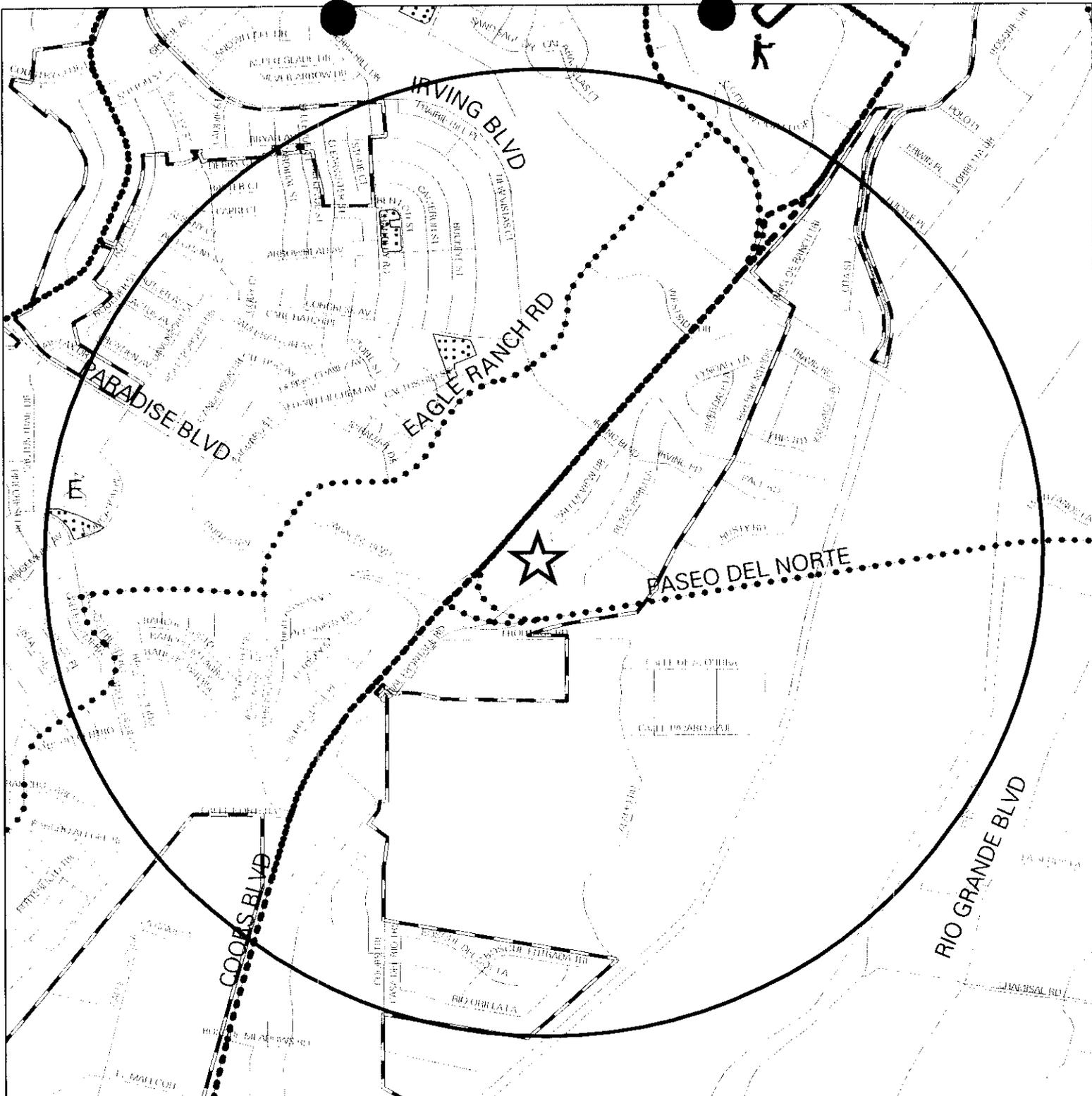
Project Number:  
1001206

Hearing Date:  
4/19/2007

Zone Map Page:  
C-13

Additional Case Numbers:  
07EPC-00246



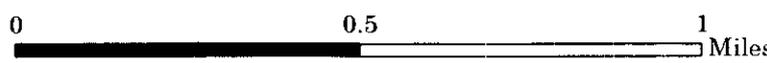


## Public Facilities Map with One-Mile Site Buffer

- |                      |                             |                             |                         |
|----------------------|-----------------------------|-----------------------------|-------------------------|
| COMMUNITY CENTER     | FIRE                        | APS Schools                 | Developed County Park   |
| MULTI-SERVICE CENTER | POLICE                      | ABQ Ride Routes             | Undeveloped County Park |
| SENIOR CENTER        | SHERIFF                     | AGIS Jurisdiction           | Developed City Park     |
| LIBRARY              | SOLID WASTE                 | Landfill Buffer (1000 feet) | Undeveloped City Park   |
| MUSEUM               | Landfills designated by EHD |                             |                         |



Project Number: 1001206



**AREA CHARACTERISTICS AND ZONING HISTORY**

*Surrounding zoning, plan designations, and land uses:*

	<b>Zoning</b>	<b>Comprehensive Plan Area; Applicable Rank II &amp; III Plans</b>	<b>Land Use</b>
<b>Site</b>	SU-1 for C-1 Permissive	Developing Urban; West Side Strategic Plan, Coors Corridor Plan	Vacant
<b>North</b>	SU-1 for C-1, etc.	Developing Urban; West Side Strategic Plan, Coors Corridor Plan	Vacant
<b>South</b>	RO-1	Developing Urban; West Side Strategic Plan, Coors Corridor Plan	Vacant
<b>East</b>	RA-1	Rural; West Side Strategic Plan, Coors Corridor Plan	Corrales Main Canal, Vacant
<b>West</b>	SU-1 for C-1 Permissive	Developing Urban; West Side Strategic Plan, Coors Corridor Plan	Office, Commercial

**Background, History, and Context**

This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, located northeast of the intersection of Paseo del Norte and Coors Boulevard NW. The site is approximately 1 acre and is zoned SU-1 for C-1 Permissive Uses. It is located in the Developing Urban area within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. The applicant proposes to construct a 2-story 16,000 square foot office building.

The subject site was annexed in December 2001 and was assigned the current zoning as part of a request to annex approximately 19 acres located on Coors between Paseo del Norte and Irving NW. A site development plan for subdivision containing design standards and guidelines was also approved by the EPC as part of this request in June 2001 (01EPC 00558). A series of additional subdivisions were approved that resulted in the current lot configuration.

The site is bordered by Grandma's Music and office uses to the west, vacant lots to the north and south, and the Corrales Main Canal to the east. Across the Corrales Main Canal are vacant residential lots. The subject site is currently vacant.

### ***Long Range Roadway System***

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The Long Range Roadway System designates Coors Boulevard NW as a Limited-Access Principal arterial, with a right-of-way of 156'.

The Long Range Roadway System designates Paseo del Norte NW as a Freeway.

### ***Public Facilities/Community Services***

The subject site is located within one mile of several developed city parks and an elementary school. Bus service is offered on Paseo del Norte, Coors, and Eagle Ranch Road.

Coors Boulevard is an Enhanced Transit Corridor.

## ***ANALYSIS OF APPLICABLE ORDINANCES, PLANS AND POLICIES***

Policy Citations are in Regular Text; ***Staff Analysis is in Bold Italics***

### ***Albuquerque Comprehensive Zoning Code***

***The proposed office use is permissive in the subject site's zoning category, SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-Service Liquor.***

### ***Albuquerque / Bernalillo County Comprehensive Plan***

The subject site is located in the area designated Developing Urban by the *Comprehensive Plan* with a Goal to "create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment." Applicable policies include:

#### ***Developing and Established Urban Areas***

Policy 2.B.5.d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

***This request furthers this policy. The location, intensity, and design of the proposed development are in line with neighborhood values. The proposed office use is much lower in intensity than other uses permitted under the site's current zoning, and the site is separated***

*from residential uses by the Corrales Main Canal. There is no known neighborhood opposition to this request. Site plan review will ensure that neighborhood values are respected.*

Policy 2.B.5.e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

*The subject site is contiguous to existing urban facilities. Site plan review will ensure that the integrity of existing neighborhoods is maintained. This request furthers this policy.*

Policy 2.B.5.g: Development shall be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.

*This site contains no significant topographical features. It is located adjacent to the Corrales Main Canal. A pedestrian/bicycle access is provided to the canal from Tract 2C to the north of the subject site. This request furthers this policy.*

Policy 2.B.5.i: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

*The proposed office building will be located convenient to residential areas. Site plan review will ensure that adverse effects of noise, lighting, pollution, and traffic on residential environments are minimized. The Corrales Main Canal separates this development from neighboring residential areas, and the proposed use is lower in intensity than other uses permissive under the current zoning. This request furthers this policy.*

Policy 2.B.5.l: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the Plan area.

*The proposed office building is innovatively designed and appears to make use of quality materials. This proposal is appropriate to the Plan area. This request furthers this policy and with the recommended conditions of approval will comply with design standards of the site plan for subdivision.*

Policy 2.B.5.m: Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

*Site plan review and regulations of the Coors Corridor Plan will ensure that unique vistas are maintained and that the quality of the visual environment is enhanced. This request complies with most requirements of the Coors Corridor Plan. It is not in compliance with the view plane height restrictions for Segment 3, which state that only one-third of the building's height may penetrate the view plan. The applicant has justified this conflict as a hardship. This request furthers this policy.*

*Developed Landscape*

Goal: To maintain and improve the natural and the developed landscape's quality.

Policy 2.C.8.a: The natural and visual environment, particularly features unique to Albuquerque, shall be respected as a significant determinant in development decisions.

***Site plan review and regulations of the Coors Corridor plan will ensure that the natural and visual environments are respected. This request furthers this policy.***

Policy 2.C.8.e: In highly scenic areas, development design and materials shall be in harmony with the landscape. Building siting shall minimize alteration of existing vegetation and topography and minimize visibility of structures in scenic vista areas.

***The building's siting minimizes its visibility as much as possible. The applicant has justified the building's penetration into the view plane per the Coors Corridor Plan. The site currently contains little vegetation and relatively flat topography. This request furthers this policy.***

*Transportation and Transit*

Goal: To develop corridors, both streets and adjacent land uses, that provide a balanced circulation system through efficient placement of employment and services, and encouragement of bicycling, walking, and use of transit/paratransit as alternatives to automobile travel, while providing sufficient roadway capacity to meet mobility and access needs.

Policy 2.D.4.a:

- Maximize pedestrian connections to transit stops and between adjacent developments.
- Floor area ratio of 0.5-1.5

***This request partially furthers this policy. Floor area ratio complies with all applicable policies and regulations. However, the applicant has not provided pedestrian connections between adjacent developments.***

Policy 2.D.4.g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

***The applicant has provided a sidewalk that will encourage pedestrian opportunities within the subject site. However, no pedestrian connection has been provided to adjacent sites. This request partially furthers this policy.***

**Water Conservation/Green Principles**

***The applicant has not proposed any specific water conservation methods or green principles for this project. The plant palette consists of mostly low water use plants.***

### West Side Strategic Plan (Rank 2)

The West Side Strategic Plan was first adopted in 1997 and revised in 2005. The West Side Strategic Plan identifies 13 communities, each with a unique identity and comprised of smaller neighborhood clusters. The subject site is located in the Paradise Community, which consists of the area within the following boundaries: the Calabacillas Arroyo to the north, the Town of Alameda Grant line to the south, the river to the east, and the Rainbow Boulevard corridor to the west. Specific boundaries are shown on page 54 in the Plan. Policies for the Paradise Community pertain to Community and Neighborhood Centers, transportation planning, and the Calabacillas and Piedras Marcadas arroyos. These policies are not applicable to this request.

Visual quality is a primary focus of the West Side Strategic Plan. Policy 4.6 (p. 164) states that design guidelines sections shall become policies with adoption of the Plan. Views east of Coors Boulevard, height, landscaping, and fences and walls all have guidelines applicable to this submittal.

*The proposed office building generally furthers this policy. Coors Corridor Plan policies, regulations, and guidelines along with standards and guidelines provided in the site development plan for subdivision are more restrictive than those in the West Side Strategic Plan. Analysis for this request will be based upon the more restrictive policies and regulations.*

### Coors Corridor Plan (Rank 3)

This plan was adopted in 1984 and revised in 1989. It provides detailed design guidelines for the development of Coors Boulevard and adjacent properties from Central Avenue north to State Road 528 (Alameda Boulevard). The plan also puts emphasis on Coors Boulevard as a transit and pedestrian corridor. The subject property is in Segment 3 of the Coors Corridor Plan, which extends from Western Trail on the south to the Calabacillas Arroyo on the north. There are policies applicable to this request, including:

#### *Issue 3: Land Use and Intensity of Development*

Policy 5 – Development Intensity: Intensity of development shall be compatible with the roadway function, existing zoning or recommended land use, environmental concerns, and design guidelines.

*This request furthers this policy. The intensity of the proposed development is in accord with roadway function, existing zoning, environmental concerns, and design guidelines.*

Policy 7 – Cluster Design: Cluster design for development of residential, commercial, and industrial structures shall be encouraged.

*This submittal is part of an overall site development plan for subdivision that promotes a walkable environment, thereby furthering this policy.*

*Issue 4: Visual Impressions and Urban Design Overlay Zone*

*A: General Policies*

Policy 1 – Views within the Corridor: Appropriate and pleasing visual impressions within the corridor should be established and preserved.

***This submittal is in conflict with this policy. The proposed office building penetrates the view plane beyond the allowable limit.***

Policy 2 – Views beyond the Corridor: Significant views beyond the corridor, including the volcanoes, the escarpment, the arroyos, the bosque, the Rio Grande valley, and the Sandia Mountains as viewed from Coors Boulevard should be preserved and enhanced.

***The applicant has submitted a view analysis showing that the submittal is in conflict with this policy. The proposed building's maximum height will interfere with the views specified in this policy.***

Policy 3 – New development: New development in the Coors Corridor should be designed to be compatible with the natural landscape and the built environment in accordance with the design regulations and guidelines.

***The proposed office building is designed in accordance with design regulations and guidelines.***

*B: Site Planning and Architecture*

Policy 1 – Site design: Natural site amenities should be incorporated into the site design.

***This request is in conflict with this policy. The east edge of the subject site borders the Corrales Main Canal. The applicant has not provided access to the canal through the screen wall. According to the site plan for subdivision, access to the canal will be provided from the lot to the north of the subject site.***

Policy 2 – Building setback, height, and bulk: Buildings should be located and designed to provide a pleasing and functional relationship to the roadway, the site, and to adjacent or related buildings and structures.

***The submitted landscape plan is in conflict with this policy. The proposed office building is not located on the site to provide a relationship to the roadway or to any adjacent buildings, including any buildings that may be constructed in the future on adjacent properties. A condition of approval is recommended to bring a portion of the building to the roadway.***

Policy 4 – Site landscaping: Landscape design and improvements should be complementary to the individual site and to the overall appearance of the corridor in accordance with the design regulations and guidelines.

*The submitted site plan shows complementary landscaping. With the recommended conditions of approval, the landscaping also complies with design standards of the site plan for subdivision. This request furthers this policy.*

Policy 5 – Off-street parking: Generally, off-street parking facilities should be located to the rear of sites. Street frontages should be devoted to building architecture and landscaping.

*This request is in conflict with this policy. Parking is located adjacent to the street frontage. A recommended condition of approval will bring the site into compliance with this policy.*

Policy 6 – Commercial sites: Commercial sites, such as shopping centers, should be designed so that a portion of the building or buildings is located near the street perimeter and relates to the streetscape area along Coors Boulevard.

*This request is in conflict with this policy as the building is located at the rear of the site. The site is not located adjacent to Coors Boulevard, and the building's location on the site will not impact the Coors streetscape. However, the proposed location of the building on the site will preclude a relationship to any future buildings to be constructed on the site to the north.*

Policy 7 – Access: Separate pedestrian and vehicular access should be provided. Pedestrian access to structures shall not utilize driveways as walkways. Pedestrian connections between uses in commercial developments shall be emphasized.

*The applicant has provided separate pedestrian and vehicular access to the site, but has not provided connections to neighboring businesses. This request partially furthers this policy.*

Policy 9 - Site lighting: Site area lighting, including parking area lighting, should be carefully designed and located so as to minimize glare on any public right-of-way or any adjacent premises.

*The submitted site plan shows lighting in conformance with this policy.*

Policy 10 – Architectural design: Architectural design should contribute to the enhancement of the overall visual environment of the Coors Corridor.

*Architectural design for this submittal contributes to the overall visual environment of the Coors Corridor. This request furthers this policy.*

*C: View Preservation for Corridor Segments 3 and 4*

Policy 1 – View Preservation: Unique views within and beyond the Coors Corridor area in Segments 3 and 4 east of Coors Boulevard should be protected and enhanced in accordance with additional design guidelines for this portion of the corridor.

*This request is in conflict with this policy. Because the elevation of the subject site is only four feet below the elevation of Coors Boulevard in this location, only one-third of any multiple-story building may penetrate the view plane. Approximately two-thirds of the*

---

*proposed building's height penetrates the view plane. The applicant has provided justification for hardship, and the Planning Commission will need to determine whether the applicant has been able to adequately demonstrate that a hardship exists that will exempt this proposal from the requirement.*

*D: Signage*

Policy 1: Signs should complement the appearance and function of the roadway and the corridor while protecting the unique views beyond the corridor.

*The submitted site plan shows signage in conflict with this policy. The proposed monument sign is in conflict with Coors Corridor Plan regulations, and the proposed building-mounted sign on the east elevation is in conflict with site plan for subdivision standards. These conflicts are discussed below.*

## **ANALYSIS OF SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

### ***Site Plan Layout / Configuration***

The proposed site development plan for building permit is compatible with existing development. The applicant is proposing to develop a two-story 16,000 square foot office building. The overall area of the subject site has developed in an auto-oriented style, and the proposed office building fits in nicely with its surroundings.

The office building is situated on the south end of the subject site with the main entrance at the north end of the building. Parking is located in one large mass on the north end of the site. This is in conflict with Coors Corridor Plan policies that encourage locating parking to the rear of sites.

The proposed building reaches a height of 32', which is in compliance with all applicable plans. Setbacks and floor area ratio also meet all applicable requirements. Open space is provided in the form of a walled patio at the southeast corner of the building.

The dumpster is located near the northeast corner of the building. This is in conflict with standards of the site plan for subdivision, which states that no refuse collection areas shall be allowed between any street and building front.

### ***Walls/Fences***

CMU screen walls are proposed for the north and east sides of the site. The north screen wall is a required parking screen, and the east screen wall is required by the site plan for subdivision to screen the office use from the residential area. Keyed notes 16 and 17 on the Site Plan for Building Permit indicate minimum heights of 2'6" and 4'. The detail drawing shows a minimum height of 4'8" and a maximum height of 6'. Minimum heights should be made to match on all sheets. The wall along the east edge of the site is required by the site plan for subdivision to be a minimum of 6' high.

The proposed walls meet height requirements of the Zoning Code. However, they conflict with wall design regulations of the Zoning Code in Section 14-16-3-19. The detail drawing shows some variety in texture, but the variation does not appear to be occurring on at least 20% of the wall façade surface. A condition of approval has been recommended to bring the walls into compliance with this requirement.

***Vehicular Access, Circulation and Parking***

Vehicular access is from Valley View Drive on the north end of the subject site. Circulation through the parking lot appears to be adequate. The submitted site plan shows a shortage of 6 parking spaces if the site were zoned straight C-1. However, the site's SU-1 zoning gives the EPC authority over parking requirements. No motorcycle parking is shown. 3 motorcycle spaces are required per Zoning Code regulations.

The site plan for subdivision for the subject site states that parking areas shall be broken up through the use of convenient and logical pedestrian connections. The parking shown in the submitted site plan is in conflict with this standard. However, the parking lot is not large, and a convenient pedestrian connection is provided on the west edge of the site.

***Pedestrian and Bicycle Access and Circulation, Transit Access***

Pedestrian and bicycle access is from Valley View drive on the north end of the subject site. A 7' concrete sidewalk is provided linking Valley View drive to the office building along the west edge of the site. The applicant is required to provide textured paving material for this pedestrian connection per the site plan for subdivision. The applicant is also required to provide a difference in paving material, color, or pattern at the entry drive crosswalk. Painted asphalt is not acceptable. The site plan for subdivision also requires a minimum of an 8' sidewalk where parking overhangs the sidewalk on one side. A small section of the sidewalk at the east end of the building's front elevation does not meet this requirement.

Adequate bicycle parking is provided near the building's main entrance.

The nearest bus stop is located on Coors Boulevard north of Irving. Transit access to this stop from the subject site is via existing pedestrian facilities.

***Lighting and Security***

Site lighting meets all requirements of the Zoning Code and the site plan for subdivision. Light poles are proposed to be 12' high. No building-mounted lighting is proposed on any side of the building, including the patio. This could pose a security problem, as no parking lot lighting is located near the front of the building.

***Landscaping***

The proposed landscape plan complies with all regulations of the Zoning Code. It does not, however, comply with all standards of the site plan for subdivision. A minimum 10' landscape buffer is required on the east side of the site adjacent to the residential zoning. The landscape plan also does not indicate which plantings are evergreens. Landscape buffers are required to be

primarily evergreen species. Trees are planted slightly farther apart than the maximum 25' along the east and west edges of the site. Landscape areas are also required to be a minimum of 6' wide. A landscape area along the front edge of the building does not meet this requirement. Also, 16 out of the 24 plants listed on the plant legend of the landscape plan do not appear in the list of suggested plants located in the site plan for subdivision.

### ***Public Outdoor Space***

A walled patio with a pedestrian access gate is provided at the southeast corner of the office building. The site plan does not state how many square feet the patio contains. The patio is partially shaded by a tree.

### ***Grading, Drainage, Utility Plans***

The applicant has provided grading, drainage, and utility plans. The site is relatively flat.

### ***Architecture***

Building architecture is a contemporary style, and stylistic elements are used on all four sides of the building. The site plan for subdivision does not dictate an architectural style to be used, but does contain some standards. The proposal is in compliance with all site plan for subdivision architectural standards.

### ***Signage***

Five internally lit building mounted signs are proposed in addition to a freestanding sign mounted to the parking screen wall. The building mounted signs are in conformance with all applicable regulations except the sign on the east elevation. The site plan for subdivision states, "No lighted signs shall be placed on east-facing buildings or in a location that is visible from residential areas east of this development." To comply with this standard, the sign must be removed or must be unlit.

There is some question as to whether the freestanding sign is allowed.

- The Zoning Code allows the Planning Commission to regulate signs.
- R-457, which amended the Coors Corridor plan in 1989, states, "Where freestanding signs are allowed, maximum sign size shall be 75 square feet. Where there are over 12 acres in a development (meaning a premises or an area controlled by a shopping center plan of site development plan – whichever is larger if more than one applies) a second freestanding sign is permitted on any street frontage longer than 1500 lineal feet." According to this regulation, one freestanding sign is allowed for the entire site plan for subdivision area. Grandma's Music and Enterprise each have an approved monument sign.
- The site development plan for subdivision would allow two freestanding two sided signs for this property, which has over 100 feet of street frontage.

This is an outstanding issue that will need to be discussed by the Planning Commission.

***CONCERNS OF REVIEWING AGENCIES / PRE-HEARING DISCUSSION***

No adverse comments have been received.

***NEIGHBORHOOD/PUBLIC CONCERNS***

A facilitated meeting was recommended, but the affected neighborhood decided that it was not necessary. Staff has not received any neighborhood comments to date, either in support or in opposition of this proposal. There is no known opposition.

***CONCLUSIONS***

This is a request for approval of a site development plan for building permit to develop a two-story 16,000 square foot office building on Tract 2A2C, Black Ranch, located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The site is approximately 1 acre and is zoned SU-1 for C-1 Permissive Uses. It is located in the Developing Urban area within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site.

The request meets the intent of most policies of the Comprehensive Plan, the West Side Strategic Plan, and the Coors Corridor Plan, and complies with most regulations of the Coors Corridor Plan and the Zoning Code.

Staff recommendation is for approval with conditions that will help bring the plan into compliance with all applicable policies and regulations.

***FINDINGS – 07EPC 00246, April 19, 2007 – Site Development Plan for Building Permit***

1. This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, an approximately 1 acre site located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The applicant proposes to construct a two-story 16,000 square foot office building
  
2. The subject site is located in the area designated Developing Urban by the Comprehensive plan and within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site (01EPC 00558).
  
3. The request furthers the following Comprehensive Plan policies:
  - a. Policy 2.B.5.d: The location, intensity, and design of the proposed development respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.
  
  - b. Policy 2.B.5.e: The subject site is contiguous to existing urban facilities. Site plan review will ensure that the integrity of existing neighborhoods can be ensured.
  
  - c. Policy 2.B.5.g: This site contains no significant topographical features. It is adjacent to the Corrales Main Canal.
  
  - d. Policy 2.B.5.i: The proposed office building will be located convenient to residential areas. Site plan review will ensure that adverse effects of noise, lighting, pollution, and traffic on residential environments are minimized.
  
  - e. Policy 2.B.5.l: The high-quality, innovative office building proposed in this submittal is appropriate to the Plan area and complies with the site plan for subdivision design standards.
  
  - f. Policy 2.B.5.m: Site plan review and regulations of the Coors Corridor Plan will ensure that unique vistas are maintained and that the quality of the visual environment is enhanced.

- g. Policies 2.C.8.a and e: Site plan review and regulations of the Coors Corridor Plan will ensure that the natural and visual environments are respected.
4. The request partially furthers the following Comprehensive Plan Transportation and Transit policies:
- a. Policy 2.D.4.a: Floor area ratio complies with all applicable policies and regulations, but the applicant has not provided pedestrian connections between adjacent developments.
  - b. Policy 2.D.4.g: The applicant has provided a sidewalk that will encourage pedestrian opportunities within the site but has not provided pedestrian connections to adjacent sites.
5. The request generally furthers West Side Strategic Plan Policy 4.6, which specifies design guidelines.
6. This request furthers the following Coors Corridor Plan policies:
- a. Issue 3, Policy 5: The intensity of the proposed development is in accord with roadway function, existing zoning, environmental concerns, and design guidelines.
  - b. Issue 3, Policy 7: The submittal is part of an overall site development plan for subdivision, which could have encouraged cluster development.
  - c. Issue 4, A, Policy 3: The proposed office building is designed to be compatible with the natural landscape and the built environment in accordance with the design regulations and guidelines.
  - d. Issue 4, B, Policy 4: Landscape design and improvements are complementary to the individual site and to the overall appearance of the Coors corridor.
  - e. Issue 4, B, Policy 7: Separate pedestrian and vehicular access is provided.
  - f. Issue 4, B, Policy 9: Site area lighting, including parking area lighting, is carefully designed and located to minimize glare on public right-of-way and adjacent premises.

- g. Issue 4, B, Policy 10: Architectural design contributes to the enhancement and overall visual environment of the Coors Corridor.
  - h. Issue 4, D: Signage complements the appearance and function of the roadway and the corridor while protecting the unique views beyond the corridor.
7. This request partially furthers Coors Corridor Plan
8. This request is in conflict with the following Coors Corridor Plan policies:
- a. Issue 4, A, Policy 1: The proposed office building does not contribute to appropriate and pleasing visual impressions within the Coors corridor.
  - b. Issue 4, A, Policy 2: The applicant has submitted a view analysis that shows that the proposed building's maximum height will interfere with views.
  - c. Issue 4, B, Policy 1: Natural site amenities have not been incorporated into the site design. The site plan does not show a relationship to the Corrales Main Canal.
  - d. Issue 4, B, Policy 2: The building is not located to provide a pleasing and functional relationship to the roadway and to adjacent or related buildings and structures.
  - e. Issue 4, B, Policy 5: Off-street parking facilities are not located to the rear of this site. Street frontage is not devoted to building architecture and landscaping.
  - f. Issue 4, B, Policy 6: This commercial site has not been designed so that a portion of the building is located near the street perimeter.
  - g. Issue 4, C, Policy 1: The applicant has submitted a view analysis that shows conflict with Coors Corridor view plane building height requirements. The applicant must demonstrate hardship or exceptional design to obtain a variance from this requirement, and has submitted a letter justifying this hardship.

9. The proposal is in compliance with most standards of the regulating site plan for subdivision. Conditions of approval have been recommended to bring the submittal into compliance with all standards.
  
10. There is no known opposition to this request.

***RECOMMENDATION - 07EPC 00246, April 19, 2007 – Site Development Plan for Building Permit***

**APPROVAL of 07EPC 00246, a request for approval of a Site Development Plan for Building Permit, for Lot 2A2C, Black Ranch, zoned SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-Service Liquor, based on the preceding Findings and subject to the following Conditions of Approval.**

***CONDITIONS OF APPROVAL - 07EPC 00246, April 19, 2007 – Site Development Plan for Building Permit***

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
  
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
  
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered.
  
4. The applicant shall demonstrate how the Energy Management Goal, Section II.D.3 of the Comprehensive Plan, is furthered.
  
5. Site Layout:
  - a. The applicant shall locate a portion of the building closer to the street.

- b. The applicant shall relocate the dumpster to comply with site development plan for subdivision standards, which state that no refuse collection areas shall be allowed between any street and building front.
- c. The applicant shall list the colors to be used for the dumpster enclosure on the site plan.
- d. The applicant shall show patio square footage on the site plan.

6. Walls:

- a. The applicant shall revise the submittal so that minimum wall heights are consistent on all pages.
- b. The screen wall on the eastern edge of the site shall be a minimum of 6' high to comply with site development plan for subdivision standards.
- c. The applicant shall revise wall design to comply with Zoning Code wall design regulations in Section 14-16-3-19.

7. Pedestrian Amenities:

- a. The applicant must remove the sign from the east-facing wall or change it to an unlit sign.
- b. The applicant shall provide at least one pedestrian access point to the Corrales Main Canal.
- c. The applicant shall provide textured paving material for pedestrian connections per site development plan for subdivision standards.
- d. The applicant shall provide a difference in paving material, color, or pattern at the entry drive crosswalk.

- e. The applicant shall provide an additional 2' of sidewalk or parking bumpers at the east end of the front façade of the proposed building to allow for a 6' clear sidewalk.
- f. The applicant shall provide security lighting for the front of the building and the patio.

8. Landscaping:

- a. The applicant shall provide a minimum 10' landscape buffer on the east side of the site adjacent to the residential zoning.
  - b. The landscape plan shall indicate which plant species are evergreen.
  - c. Trees shall be placed a maximum of 25' apart long the east and west edges of the site.
  - d. Landscape areas shall be a minimum of 6' wide.
- 

*Anna DiMambro*

**Anna DiMambro  
Planner**

cc: Alfred Sanchez III, 3809 Atrisco Dr. NW, Suite A, Albuquerque, NM 87120  
Consensus Planning, Inc., 302 8<sup>th</sup> St. NW, Albuquerque, NM 87102  
Janice Torrez, Riverfronte Estates NA, 16114 Travis Rd. NW, Albuquerque, NM 87114  
Mark McNeil, Riverfronte Estates NA, 1610 Lyria Rd. NW, Albuquerque, NM 87114

**Attachments**

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## CITY OF ALBUQUERQUE AGENCY COMMENTS

### PLANNING DEPARTMENT

#### Zoning Code Services

#### Office of Neighborhood Coordination

Riverfronte Estates NA (R)

3/5/07 – Recommended for facilitation –siw

3/6/07 – Assigned to Diane Grover.

#### Advanced Planning

The subject site is within the Coors Corridor Plan, which is currently in the process of being revised. The revisions will focus on the View Preservation policies that exist within the current plan and to adopt more design standards for the entire corridor.

The subject site is within Segment 3 of the plan, which is required to comply with the view preservation regulations. The submittal does not contain design standards that are consistent with the current Coors Corridor Plan, in relation to building height and signs. Changes to the design standards are strongly recommended in order to allow for compliance with this Plan.

### PUBLIC WORKS DEPARTMENT

#### **Transportation Development (City Engineer/Planning Department):**

- All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- A Traffic Impact Study (TIS) has been submitted and reviewed by Transportation Staff.
- Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- The Traffic Impact Study is available for review by any interested party, in the office of the Traffic Engineer.
- Site plan shall comply and be designed per DPM Standards.

**Hydrology Development (City Engineer/Planning Department):**

- The Hydrology Section has no adverse comments regarding the Site Development Plan – Building Permit request.

**Transportation Planning (Department of Municipal Development):**

- Reviewed, and no comments regarding on-street bikeways, off-street trails or roadway system facilities.

**Traffic Engineering Operations (Department of Municipal Development):**

- No comments received.

**Street Maintenance (Department of Municipal Development):**

- No comments received.

**Utility Development (Water Authority):**

- No comments received.

**Water Resources, Water Utilities and Wastewater Utilities (Water Authority):**

- No comments received.

**New Mexico Department of Transportation (NMDOT):**

- No comments received.

**RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT,  
WATER AUTHORITY and NMDOT:**

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- d. Site plan shall comply and be designed per DPM Standards.

**ENVIRONMENTAL HEALTH DEPARTMENT**

**Air Quality Division**

**Environmental Services Division**

**City Forester**

**PARKS AND RECREATION**

**Planning and Design**

Reviewed, no objection. Request does not affect our facilities.

**Open Space Division**

Open Space has no adverse comments

**POLICE DEPARTMENT/Planning**

No comment.

**SOLID WASTE MANAGEMENT DEPARTMENT**

**Refuse Division**

**FIRE DEPARTMENT/Planning**

**TRANSIT DEPARTMENT**

**COMMENTS FROM OTHER AGENCIES**

**BERNALILLO COUNTY**

**ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY**

1. No objection to EPC site development plan.
2. Approval of Grading and Drainage Plan for building permit will be required from AMAFCA.

3. Stormwater discharge to the southwest corner of the site will require a permanent outfall structure to the AMAFCA pond.

***ALBUQUERQUE PUBLIC SCHOOLS***

The proposed two-story office building on Tract 2A2C, **Black Ranch** (Paseo del Norte NW and Coors Blvd NW) will have no adverse impacts to the APS district.

***MID-REGION COUNCIL OF GOVERNMENTS***

***MIDDLE RIO GRANDE CONSERVANCY DISTRICT***

***PUBLIC SERVICE COMPANY OF NEW MEXICO***

No comment based on the information provided to date. It is the applicant's obligation to determine if utility easements cross the property and to abide by any conditions or terms of those easements.

City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: June 22, 2001

**OFFICIAL NOTIFICATION OF DECISION**

John Black  
3613 NM State Road 528 NW  
Suite H  
Albuq. NM 87114

FILE: 01114 00556/01110 00557/01128 00558  
LEGAL DESCRIPTION: for Tract 2A, 2B, 2C,  
2D, 3F1, 3G1, 3H, 3I, 3J, 3B, 3C, Black Ranch,  
located on Coors Boulevard NW between Paseo  
del Norte and Irving Boulevard, containing  
approximately 18.0356. (C-13) Deborah Stover,  
Staff Planner

On June 21, 2001, the Environmental Planning Commission voted to recommend approval to the City Council of 01114 00556, a request for annexation, for Tracts 2, 3F1, 3C1, 3H, 3I, 3J and 3B, 3C, Black Ranch, based on the following Findings:

**FINDINGS:**

1. This is a request for annexation of approximately 18 acres located on Coors Boulevard NW between Paseo del Norte and Irving Boulevard and described as Tracts 2, 3F1, 3C1, 3H, 3I, 3J and 3B, 3C, Black Ranch.
2. The subject request meets the requirements for annexation into the city because it is contiguous to City boundaries, accessible to service providers, and has convenient street access to the City.
3. The annexation request furthers the applicable Goals and policies of the *Albuquerque/Bernalillo County Comprehensive Plan* by allowing for an urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in housing, transportation, work areas and life styles.
4. The area is suitable for urban intensity as defined by its designation of Developing Urban in the *Albuquerque/Bernalillo County Comprehensive Plan*.
5. The annexation request furthers the applicable Goals and policies of the *West Side Strategic Plan* by proposing annexation that will allow for urban style services that are appropriate in the community.

OFFICIAL NOTICE OF DECISION

JUNE 21, 2001

01114 00556/01110 00557/01128 00558

PAGE 2

6. The annexation request furthers Policy 4 of the land use and intensity of development section of the *Coors Corridor Plan* which states that "properties under county jurisdiction, which are now surrounded by City jurisdiction, should be annexed as soon as possible.

On June 21, 2001, the Environmental Planning Commission voted to recommend approval to the City Council of 01110 00557, a request for establishment of zoning for Tracts 3F1, 3C1, 3H, 3I, 3J, 3B, 3C, Black Ranch SU-1 for C-1 Permissive Uses and Hotel not to exceed 2 stories in height, and Restaurants with Full-Service Liquor is requested for Tracts 2A, 2B and 2C, a zoning designation of RO-1 for Tract 2D, C-1 for Tract 3B, C-1 for Tract 3B, and SU-1 for C-1 for Tract 3C and O-1 for Tracts 3F1, 3G1, 3H, 3I and 3J, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for establishment of zoning for approximately 18 acres located on Coors Boulevard NW between Paseo del Norte and Irving Boulevard and described as Tracts 2, 3F1, 3C1, 3H, 3I, 3J and 3B, 3C, Black Ranch.
2. Zoning for parcels created by the accompanying site plan for subdivision is requested. SU-1 for C-1 Permissive Uses and Hotel not to exceed 2 stories in height and Restaurants with Full-Service Liquor is requested for Tracts 2A, 2B and 2C. A zoning designation of RO-1 is requested for Tract 2D. C-1 is requested for Tract 3B. O-1 is requested for Tracts 3F1, 3G1, 3H, 3I and 3J. SU-1 C-1 for Tract 3C.
3. A plat showing clear and distinct boundaries of the newly created tracts should be submitted at DRB.
4. The subject site meets the requirements of 270-1980 under the changed community conditions finding. The West Side Strategic Plan and the Paseo del Norte bridge crossing present changed conditions in the area.
5. The requested zoning meets the goals in the *Albuquerque/Bernalillo County Comprehensive Plan* by placing employment and service uses that are located to complement residential uses and sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.
6. The *Coors Corridor Plan* states that "the intensity of development shall be compatible with the roadway function, existing zoning or recommended land use, environmental concerns, and design guidelines." The proposed zoning categories are compatible with existing conditions in the area.

**CONDITIONS:**

1. The site shall be replatted to show clear and distinct boundaries of the newly created tracts.

On June 21, 2001, the Environmental Planning Commission voted to recommend approval to the City Council of 01128 00558, a request for site development plan for subdivision, for Tract 2, Black Ranch based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for approval of a site development plan for subdivision for approximately 12.5 acres located on Coors Boulevard NW between Paseo del Norte and Irving Boulevard and described as Tract 2, Black Ranch.
2. A site plan for subdivision is required for approval of SU-1 zoning.
3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating a framework for a quality urban environment that offers a choice in transportation, work areas and life styles.
4. The site development plan meets all of the requirements of the Zoning Code by specifying all of the elements of a site development plan for subdivision.
5. Design guidelines are incorporated into the site including an overall theme and land use concept, landscape design requirements, signage design requirements, and lighting design requirements.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines.

3. Design guidelines shall include off-street parking requirements and design (automobiles and bicycles), street design, transit facilities (benches, shelters, pedestrian connections), architectural design requirements (façade elements, massing, colors, materials), and pedestrian amenities (walkways, plazas, shade structures) that are consistent with EPC directives and intents.
4. Lighting:
  - a. The height of lighting fixtures is maximum height of 16 feet.
  - b. 12 feet maximum height for any security language remains on after 11:00 p.m. and it be directed towards the building and no to the neighborhood.
  - c. All lighting on the site shall be fully shielded, cutoff lighting (shoebox) to minimize fugitive lighting and the bulbs shall not extend past the housing.
5. The maximum sign area on each monument sign shall be 50 square feet on each face.
6. No outdoor loud speakers and paging systems are allowed.
7. All parking surfaces facing streets shall be screened with a minimum a 30 inch wall or landscape berm so that parking grills and headlights are shielded from the right-of-way.
8. There shall be a minimum 6-foot high, solid wall along the eastern edge of the subject site.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY **JULY 6, 2001** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

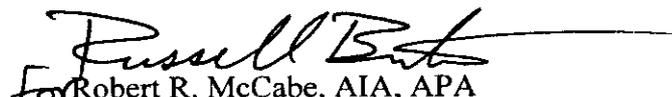
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

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JUNE 21, 2001  
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YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,

  
For Robert R. McCabe, AIA, APA  
Planning Director

RM//ac

cc: Consensus Planning Ave. SW, Albuquerque, NM 87102  
Audre Bonadea, Paradise Hills Civic Assoc., 10137 Furman NW, Albuquerque, NM 87114  
Meredith Hughes, Paradise Hills Civic Assoc., 9908 La Paz NW, Albuquerque, NM 87114  
Marlo Peters, Riverfronte Estates NA, Inc., 9506 Kandace Dr. NW, Albuquerque, NM 87114  
Gary Plante, Riverfronte Estates NA, Inc., 1692 Pace Rd. NW, Albuquerque, NM 87114  
Rick Lackey, Taylor Ranch NA, 2001 Carlisle NE, Albuquerque, NM 87110  
Jerry Beck, Taylor Ranch NA, 8201 Golf Course Rd. NW, Suite D-3, Albuquerque, NM 87120  
Mrs. Ginger Carman, 7201 Central Ave. NW, Albuquerque, NM 87121  
Sylvain Segal, 6201 Uptown Blvd. NE, Albuquerque, NM 87110  
Ginger Carman, 1728 Rusty Rd. NW, Albuquerque, NM 87114  
Susan Fox, P.O. Box 1888, Albuquerque, NM 87102  
John Marach, 3613 NM State Highway 528, Albuquerque, NM 87114

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

**SUBDIVISION**  
 \_\_\_ Major Subdivision action  
 \_\_\_ Minor Subdivision action  
 \_\_\_ Vacation  
 \_\_\_ Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**  
 \_\_\_ for Subdivision Purposes  
 for Building Permit  
 \_\_\_ IP Master Development Plan  
 \_\_\_ Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**  
 \_\_\_ Storm Drainage Cost Allocation Plan

Supplemental form

**S Z ZONING & PLANNING**  
 \_\_\_ Annexation  
 \_\_\_ County Submittal  
 \_\_\_ EPC Submittal  
**V** \_\_\_ Zone Map Amendment (Establish or Change Zoning)  
 \_\_\_ Sector Plan (Phase I, II, III)  
 \_\_\_ Amendment to Sector, Area, Facility or Comprehensive Plan  
 \_\_\_ Text Amendment (Zoning Code/Sub Regs)  
 \_\_\_ Street Name Change (Local & Collector)  
**L A APPEAL / PROTEST of..**  
**D** \_\_\_ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Alfred Sanchez III PHONE: 505-385-6330  
 ADDRESS: 3809 Atrisco Drive NW, Suite A FAX: 505-833-4574  
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: onetripper@aol.com  
 Proprietary interest in site: owner List all owners: \_\_\_\_\_  
 AGENT (if any): Consensus Planning, Inc. PHONE: 505-764-9801  
 ADDRESS: 302 8th Street NW FAX: 505-842-5495  
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

DESCRIPTION OF REQUEST: Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? \_\_\_ Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 2A2C Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. Black Rancho  
 Current Zoning: SU-for C-1 permissive Proposed zoning: na  
 Zone Atlas page(s): C-13-Z No. of existing lots: 1 No. of proposed lots: 1  
 Total area of site (acres) 1.05 Density if applicable: dwellings per gross acre na dwellings per net acre: na  
 Within city limits?  Yes. No \_\_\_ , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? \_\_\_\_\_  
 UPC No. 101306430628810404 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: Valley View Drive NW  
 Between: Paseo del Norte NW and Valley View Place NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z-, V-, S-, etc.): \_\_\_\_\_  
 Project # 1001206

Check-off if project was previously reviewed by Sketch Plan/Plan ? or Pre-application Review Team ? . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 3/1/07  
 (Print) James K. Storzler, RICP Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07EPC</u> <u>00246</u>	<u>SBP</u>	<u>81</u>	\$ <u>385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>50.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>APV</u>	_____	\$ <u>75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate:	Hearing date <u>4-14-07</u>	_____	_____	\$ <u>510.00</u>

[Signature]

Project # 1001206

**FORM P(1): SITE PLAN REVIEW – E.P.C. PUBLIC HEARING**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION**
- IP MASTER DEVELOPMENT PLAN**

- \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
  - \_\_\_ For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
  - \_\_\_ Site plans and related drawings reduced to 8.5" x 11" format
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Completed Site Plan for Subdivision and/or Building Permit Checklist
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ TIS/AQIA Traffic Impact Study form with required signature
  - \_\_\_ Fee (see schedule)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**
- SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **30** copies for EPC public hearings.
- Site plans and related drawings reduced to 8.5" x 11" format
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision and/or Building Permit Checklist
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

**NOTE:** For wireless telecom facilities (administrative reviews that have been referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:

- \_\_\_ Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
- \_\_\_ Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- \_\_\_ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- \_\_\_ Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- \_\_\_ Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
- \_\_\_ Registered Engineer's stamp on the Site Development Plans
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**
- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
  - \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
  - \_\_\_ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30** copies for EPC public hearings
  - \_\_\_ Site plans and related drawings reduced to 8.5" x 11" format
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - \_\_\_ TIS/AQIA Traffic Impact Study form with required signature
  - \_\_\_ Fee (see schedule)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozier AICP  
 Applicant name (print)  
[Signature] 3/1/07  
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
07EPC - 00246

Form revised October 2004  
[Signature]  
 Planner signature / date  
 Project # 1001206

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from APRIL 4, 2007 to APRIL 19, 2007

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Juice Jdan  
(Applicant or Agent)

3-1-07  
(Date)

I issued 2 signs for this application, 03/01/07 Sandy Handley  
(Date) (Staff Member)

DRB PROJECT NUMBER: 1601206

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Alfred Sanchez III DATE OF REQUEST: 2/27/07 ZONE ATLAS PAGE(S): C-13-2

**CURRENT:**

ZONING SU-1 For C-1  
PARCEL SIZE (AC/SQ. FT.) 1 AC.

**LEGAL DESCRIPTION:**

LOT OR TRACT # 2A2C BLOCK # \_\_\_\_\_  
SUBDIVISION NAME Black Ranch

**REQUESTED CITY ACTION(S):**

- |                |                     |                         |   |
|----------------|---------------------|-------------------------|---|
| ANNEXATION [ ] | SECTOR PLAN [ ]     | SITE DEVELOPMENT PLAN:  |   |
| COMP. PLAN [ ] | ZONE CHANGE [ ]     | A) SUBDIVISION [ ]      | BUILDING PERMIT <input checked="" type="checkbox"/> |
| AMENDMENT [ ]  | CONDITIONAL USE [ ] | B) BUILD'G PURPOSES [ ] | ACCESS PERMIT [ ]                                   |
|                |                     | C) AMENDMENT [ ]        | OTHER [ ]   |

**PROPOSED DEVELOPMENT:**

- NO CONSTRUCTION/DEVELOPMENT [ ]  
NEW CONSTRUCTION   
EXPANSION OF EXISTING DEVELOPMENT [ ]

**GENERAL DESCRIPTION OF ACTION: 1**

# OF UNITS: 1  
BUILDING SIZE: 14,000 (sq. ft.) OFFICE

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE [Signature] DATE 2/27/07  
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO  BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO  MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:   
Notes: BLACK TRACT 2 & 3 / WELLS FARLO (2003)

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

TRAFFIC ENGINEER [Signature] DATE 2-27-07

**Air Quality Impact Analysis (AQIA) May Be Required:**

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [ ] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

APPLICANT [Signature] DATE 2/27/07

Required TIS and/or AQIA **must be completed prior to applying to the EPC.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 1/1/2003 TRAFFIC ENGINEER [Signature] DATE 2-27-07  
-FINALIZED 1/1/

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

*Chris Green* 3-1-07

**Applicant or Agent Signature / Date**

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**Accompanying Material**

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 - SITE PLAN

### A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100' [Other scales as approved by staff]
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

### 2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including handicapped spaces
  - 2. Calculations: spaces required: 61 provided: 49  
Handicapped spaces required: 4 provided: 4
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 3  
provided: 6
  - N/A 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
  - 3. Location and description of amenities, including patios, benches, tables, etc.

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

## 4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## 5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - NA A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system - Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- NA 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail NA 16. Street Tree Plan as defined in the Street Tree Ord.

## SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

## A. General Information

1. Scale - must be same as Sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements
6. Building footprints
7. Location of Retaining walls

## B. Grading Information

1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
3. Identify ponding areas, erosion and sediment control facilities.
4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

## SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  1. Identify facade orientation
  2. Dimensions of facade elements, including overall height and width
  3. Location, material and colors of windows, doors and framing
  4. Materials and colors of all building elements and structures
  5. For EPC and DRB submittals only – Color renderings or similar illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

### B. Signage

1. Site location(s)
2. Sign elevations to scale
3. Dimensions, including height and width
4. Sign face area - dimensions and square footage clearly indicated
5. Lighting
6. Materials and colors for sign face and structural elements.

*Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.*

February 27, 2007

Mr. Jeffrey Jesionowski, Chairman  
Environmental Planning Commission  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87102

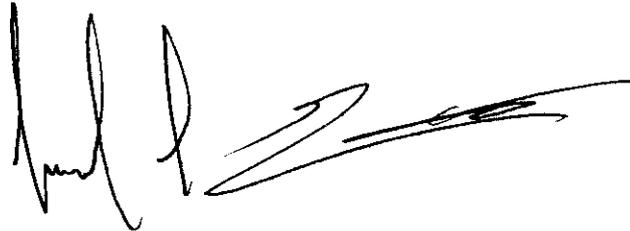
**RE: Site Development Plan for Building Permit for an Office Building  
UPC# 101306430628810404  
Project # 1001206**

Dear Mr. Jesionowski:

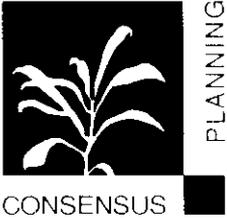
The purpose of this letter is to authorize Consensus Planning, Inc. to act as our agent on this request for Site Development Plan for Building Permit for  $\pm$  1.05 acre parcel in northwest Albuquerque. The property is located on Valley View Drive NW between Paseo del Norte and Valley View Place NW.

The subject property is legally described as: **Black Ranch, Tract 2A2C.**

Sincerely,

A handwritten signature in black ink, appearing to read 'Alfred Sanchez III', with a long horizontal flourish extending to the right.

Alfred Sanchez III



February 27, 2007

Landscape Architecture  
Urban Design  
Planning Services

Mr. Jeffrey Jesionowski, Chairman  
Environmental Planning Commission  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87102

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

**RE: Site Plan for Building Permit  
Tract 2A2C, Black Ranch  
UPC# 101306430628810404  
Project # 1001206**

Dear Mr. Jesionowski:

The purpose of this letter is to describe the attached submittal for a Site Plan for Building Permit for Tract 2A2C, Black Ranch located on Valley View Drive, between Paseo del Norte and Valley View Place NW. This request includes approximately 1.05 acres of land zoned SU-1 for C-1 permissive uses and hotel not to exceed two-stories and restaurant with full service liquor.

The applicant proposes to construct a 16,000 square foot two-story office building. The Site Development Plan for Building Permit includes a conceptual Landscape Plan, Grading and Drainage Plan, Utility Plan, and Architectural Elevations. The property is located within an approved Site Development for Subdivision and requirements as set forth in this document. This request will add additional development to this vacant infill property that is fully served by existing infrastructure.

We look forward to presenting this project to you and the Commission at your April 19<sup>th</sup> public hearing.

Sincerely,

James K. Strozier, AICP  
Principal

PRINCIPALS

Karen R. Marcotte, AICP  
James K. Strozier, AICP  
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP



## Memorandum

**To:** Anna DiMambro, City of Albuquerque Development Review  
**From:** Joyce Jordan, Planning Assistant  
**Date:** April 3, 2007  
**Re:** Project # 1001206 (ADS Office Complex)

This letter is in response to your memorandum dated March 21, 2007. Please don't hesitate to contact me should you have any questions regarding this response.

### Substantive

- **Demonstrate building and landscaping compliance with Coors Corridor Plan view corridor regulations.**  
*View diagram showing compliance with view corridor regulations provided by Devin Cannady, Architect, was submitted for your review on March 28, 2007.*
- Show groundcover calculations.  
*Groundcover calculations have been added to Sheet L1.*
- Graphic scale is incorrect (on almost all pages)  
*Graphic scale has been corrected on Sheet AS.01 and AS.03.*
- Scale of drawings is slightly off. Measurements do not come out right (on almost all pages).  
*Scale has been corrected on Sheet AS.01 and AS.03.*
- Provide minimum of three motorcycle parking spaces  
*Parking spaces have been provided and are shown on Sheet AS.01.*
- Provide color reductions for commissioners  
*Color reductions of the site plan have been provided on 11x17 sheets.*
- Most plants are not on the recommended plant list in the site plan for subdivision. Change or explain why.  
*The plant palette in the Site Plan for Subdivision is merely "suggested". We have deviated from the list to provide a better variety in terms of plant texture, color, growth characteristics, etc.*

- 6' minimum width required for landscaping strips. The eastern strip is not wide enough. Making that row of parking compact could accommodate the necessary landscaping width.  
*Six foot minimum width required for landscaping strips has been provided, and is shown on Sheet AS.01.*

Non-substantive

- List number of bubblers per tree (minimum of three one-gallon bubblers per tree).  
*There will be a drip irrigation system vs. a bubbler system; so the list is not necessary.*
- Landscaping plan: in statement of water waste, it references the ADA Office Complex. Should it be ADS?  
*Text has been changed to reflect ADS, instead of ADA.*
- Spelling error on grading plan in bottom left corner.  
*Spelling error "maintained" will be corrected on the grading plan, Sheet C1, prior to DRB submittal.*
- Spelling error on landscaping plan (Autumn Joy).  
*Spelling error "Autumn Joy" has been corrected on Sheet L1.*
- Re-label sheet AS.01 Site Plan for Building Permit.  
*Sheet AS.01 has been re-labeled as "Site Plan for Building Permit".*
- Remove reference to Rio Rancho in keyed note #14.  
*Corrected; reference to Rio Rancho has been removed.*
- Spelling error in keyed note #23.  
*Spelling error "maintained" has been corrected on Sheet AS.01, #23.*
- Spelling error in "not for construction" note on all pages.  
*"Not for construction" has been deleted on all sheets.*
- North arrow on grading plan is incorrect.  
*The north arrow on the grading plan is correct.*



March 27, 2007

Mr. Jeffery Jesionowski, Chairman  
Environmental Planning Commission  
600 Second Street NW  
Albuquerque, NM 87102

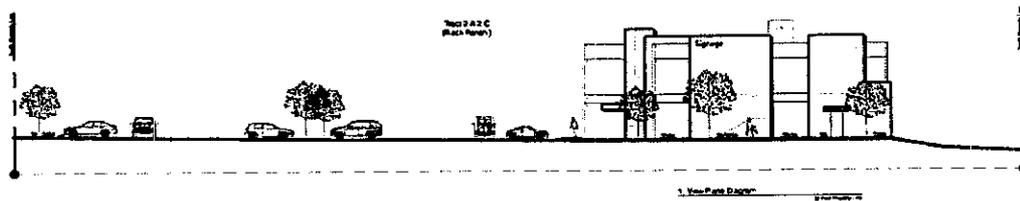
Re: ADS Office Complex (Project #1001206)

Dear Chairman Jesionowski:

The purpose of this letter is to provide justification and demonstrate compliance with the Coors Corridor Plan view corridor regulations.

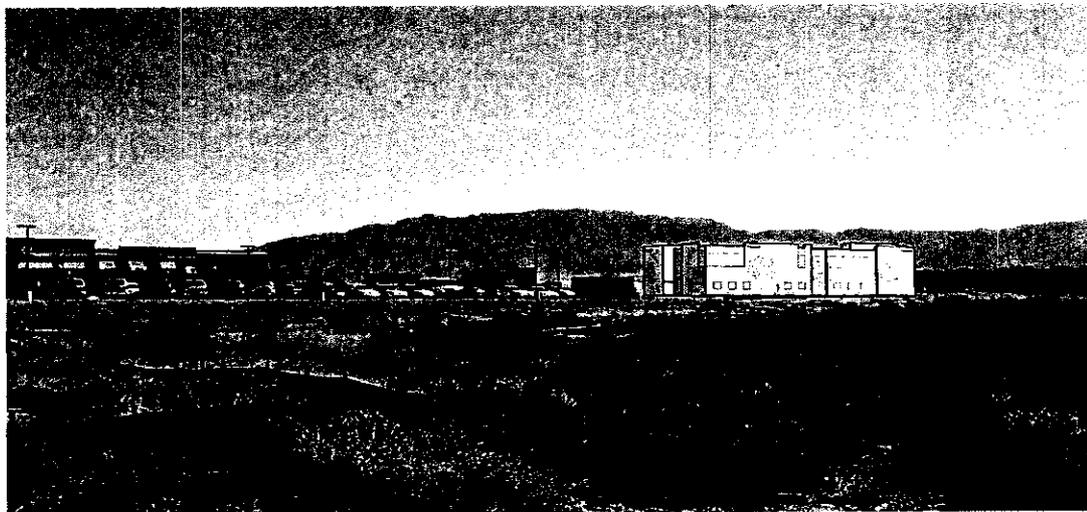
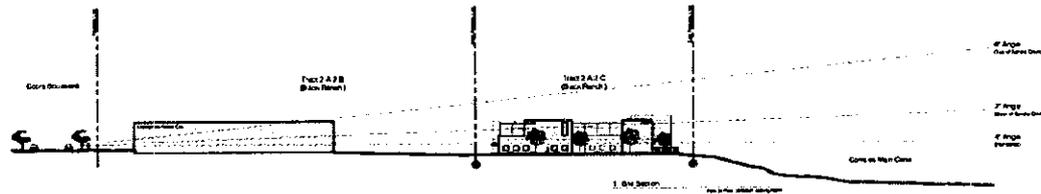
Policy 1 – Views within the Corridor

'Appropriate and pleasing visual impressions within the corridor should be established and preserved.'

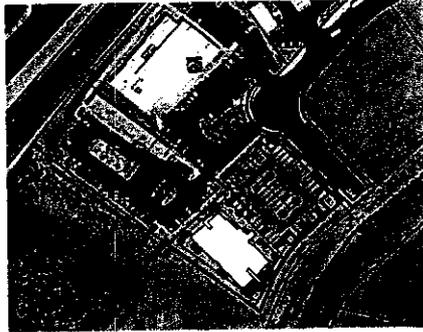


Policy 2 – Views beyond the Corridor

'Significant views beyond the corridor, including the volcanoes, the escarpment, the arroyos, the bosque, the Rio Grande Valley, and the Sandia Mountains as viewed from Coors Boulevard should be preserved and enhanced.'



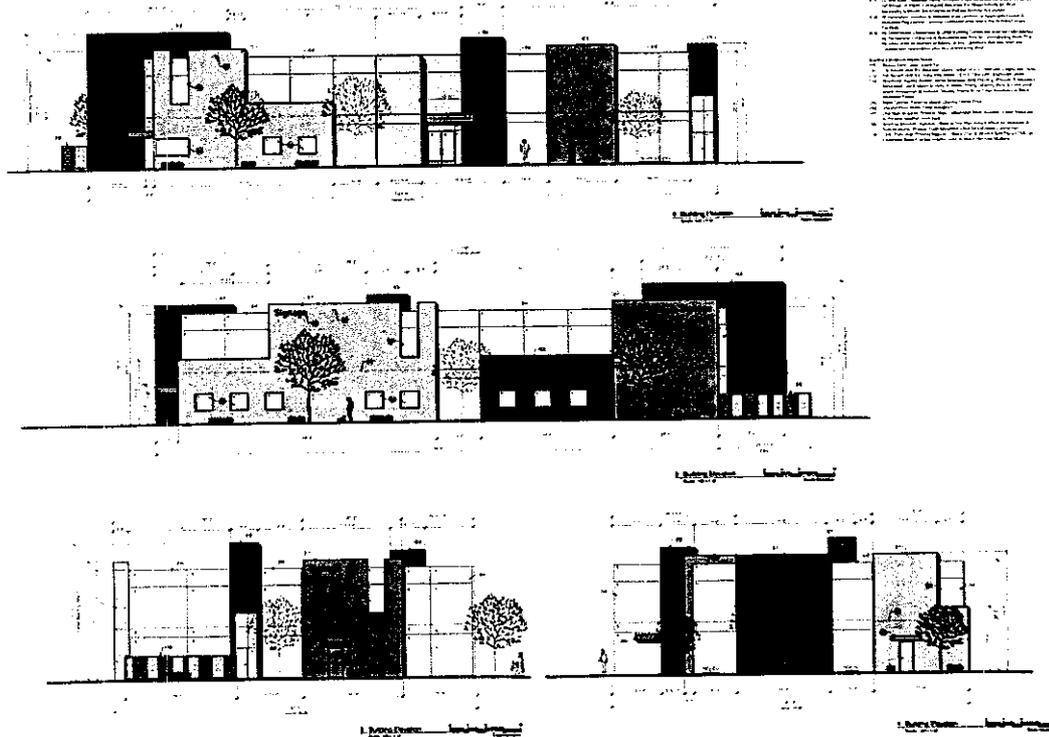
View Looking at Sandia Peak



Site Plan

The proposed building location is at the Southern most end of the subject site. Drainage occurs from North to South, thus sighting the building at the lowest elevation on site. This provides parking to the street and building to the rear of the site. As seen in the view towards Sandia Peak above the selected location minimizes the visual effect of Sandia Peak. The building location allows full visibility of the peak and the majority of the face of the Sandia Mountains. The location also allows for a visual break between the existing building and the proposed building rather than a continuous barrier which provides a more pleasing visual expression.

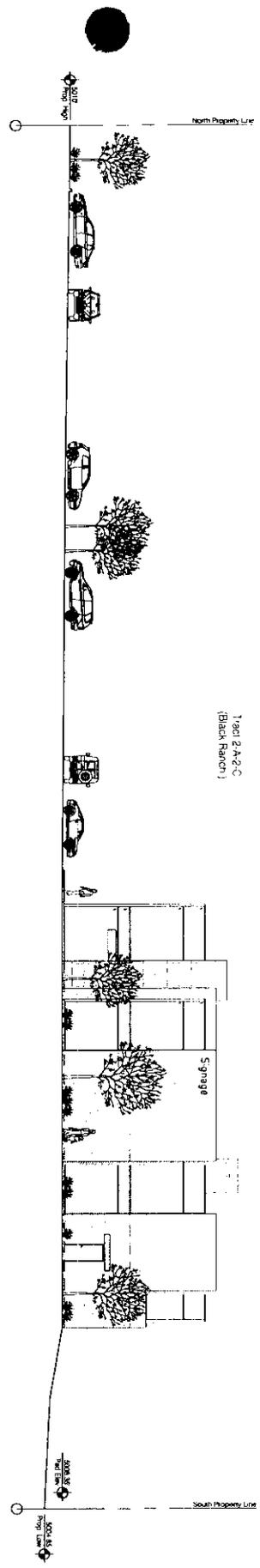
The approved Site Development Plan for Subdivision dated March 25<sup>th</sup>, 2002 allows a maximum building height of 32 feet while adhering to the Coors Corridor View Regulations. The proposed maximum building height is 32 feet at minimal locations. The majority of the building parapets are between 26 & 28 feet, the intent is to provide a building adequate for reasonable mechanical screening as well as to provide comfortable floor to floor heights at its interior.



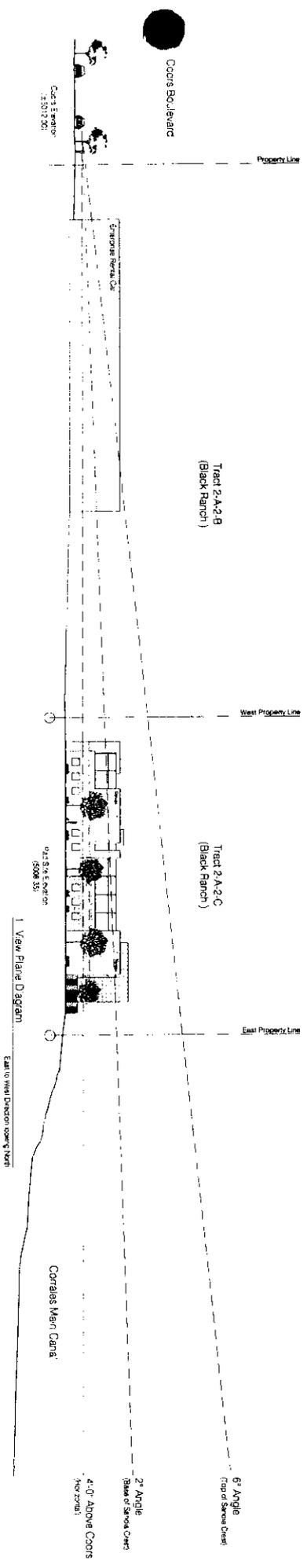
We respectfully request that the EPC review and approve our proposed building heights & location. These parameters should be acceptable as we are meeting all Zoning & Building Code requirements as well as the Coors Corridor View Regulations with this proposal. We believe the proposed project exceeds expectations and will be a positive addition to Albuquerque's Westside.

Sincerely,

Devin Cannady, RA  
Principal, DC Architect Studio



2. Site Section  
View to South Direction Looking East



1. View Plane Diagram  
East to West Direction Looking North

Devin Connolly  
Architect Studio





## Memorandum

To: Anna DiMambro  
From: Jim Strozier   
Date: April 11, 2007  
Re: Project # 1001206

The purpose of this memo is to respond to the view preservation regulations as identified in the Coors Corridor Plan.

The property is covered by the Coors Corridor Plan (currently being updated) and an EPC approved Site Plan for Subdivision which identified the property as appropriate for commercial, office, or a 2-story hotel. The rationale originally used to support the two story buildings being located in the back row was that they are behind the retail buildings located adjacent to Coors. The entire infrastructure required for the parcels (roadway, water, sewer, and storm drainage) was constructed, an overall grading and drainage plan was approved, and the property was platted consistent with the approved Site Plan for Subdivision.

This portion of Coors is very flat since there is an upper bench that is created between Coors Boulevard and the Corrales Main Canal. The grade change occurs east of the Canal and provides an excellent separation between the businesses above and the large lot residential below. Restrictions in the Site Plan for Subdivision were developed in response to concerns from Riverfronte Estates and dealt with issues of lighting, landscaping, noise and the wall treatment along the east edge of the project. When contacted concerning the proposed office building, there were no concerns expressed by the neighborhood.

The Coors Corridor Plan, Section C – View Preservation for Corridor Segments 3 and 4 apply to this property. Several issues are raised in application of these requirements to the subject property.

View Plane: this is defined as a horizontal line 4 feet above the grade of the east driving lane of Coors Boulevard and extending 90 degrees from Coors Boulevard. For a portion of the property the view plane intersects and is terminated by the existing Enterprise Rental Car facility and just south of the Enterprise building the view plane passes adjacent to the building. All of the existing buildings adjacent to Coors Boulevard penetrate the View Plane in this

area. This includes Enterprise, Grandma's Music, Wendy's, etc. These projects were reviewed by the EPC as part of the SU-1 Site Plan for Building Permit process.

Sighting Lines: These lines are defined as a 45 degree angle to Coors Boulevard's alignment.

View Area: The View Area is defined as a series of rectangular windows created where the north and south property lines intersect the sighting lines. The subject property is located 250 feet east of Coors Boulevard (the proposed building is 263 feet east of Coors). The view to the subject property is across AMAFCA's property which is between Coors Boulevard and the subject property at a 45 degree angle.

The attached drawings provide a graphic explanation of our compliance with the view regulations for this property. In conclusion, the proposed project is in compliance with the View Area portion of the regulation and because it blocks less than 50 percent of the View Area and does not extend above the crest of the Sandia Mountains. For the purposes of this analysis, the 263 foot setback from Coors Boulevard mitigates the appearance of the proposed building within the view window.

The proposed building projects above the View Plane. Once again, this is mitigated by the fact that the View Plane, as defined in the Coors Corridor Plan, is terminated prior to reaching the subject property by the Enterprise building as a result of it penetrating the View Plane between the subject property and Coors Boulevard. It is assumed, although not expressly stated in the decision, that the City's approval of the Site Plans for Building Permits for the buildings south of Valley View Place and north of Paseo del Norte constituted the granting of an exception to the view regulations as allowed on page 111 of the Coors Corridor Plan.

As stated above, due to the existing conditions, prior approvals, and engineering constraints, the building does penetrate the View Plane if it were extended through and past the existing Enterprise building. In order to address these constraints, we would request findings be provided that state:

*Proposed Finding 1: The proposed building is located east of the existing Enterprise Rent-a-Car building, which was approved by the Environmental Planning Commission and granted an exception to the View Plane and Building Height regulations due to a hardship created by the topographic and engineering/infrastructure constraints on the property.*

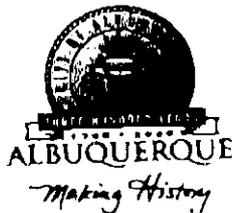
*Proposed Finding 2: Topographic and engineering/infrastructure constraints affect the subject property therefore, it is appropriate to grant an exception to the View Plane and Building Height regulation based upon a hardship created by these constraints. This exception is mitigated by the fact that the building is behind the existing Enterprise Rent-a-Car building, which was granted a similar exception.*

*Proposed Finding 3: The subject property is covered by an EPC approved Site Plan for Subdivision, which identified the subject property as appropriate for a two-story building. Site infrastructure, grading, and plats were prepared, approved, and constructed in conformance with the approved Site Plan for Subdivision.*

Thank you for your consideration of this request. Please contact me if you have any questions or require any additional information.

c: Alfred Sanchez III  
Project Team

Attachments: View Cross Section  
View Area Diagram



# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter -- you will need to get an updated letter from our office. It is your responsibility to provide current information -- outdated information may result in a deferral of your case.

Date: February 27, 07

TO CONTACT NAME: Soyce Jordan  
 COMPANY/AGENCY: Consensus Planning  
 ADDRESS/ZIP: 302 8th St. NW - 87102  
 PHONE/FAX #: 764-9801 (Fax-842-5495)

Thank you for your inquiry of 2-27-07 (date) requesting the names of **Recognized**

**Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at Black Ranch Tract 2A 2C located on Valley View Dr. between Paseo del Norte and Valley View Place zone map page(s) C-13

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Riverfronte Estates NA

**Neighborhood Association**

Contact: Janice Torres  
1614 Travis Rd NW / 87114  
877-208241  
Mark McNeil  
1610 Lucia Rd NW / 87114  
899-4971 (h) 797-4400 (w)

**Neighborhood Association**

Contact: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**See reverse side for additional Neighborhood Association Information: YES { } NO (X)**

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL. RETURN RECEIPT REQUESTED. BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaine Carmone  
 OFFICE OF NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.

7004 1350 0000 0962 9367

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ALBUQUERQUE NM 87101  
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 JUN 20 2002

Sent To: Mark McNeil  
 Street, Apt. No., or PO Box No.: 1610 Lyria Rd NW  
 City, State, ZIP+4: Albuquerque, NM 87104

PS Form 3800, June 2002 See Reverse for Instructions

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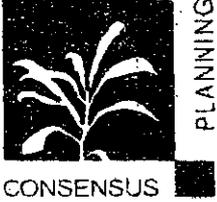
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<b>Total Postage &amp; Fees</b>	<b>\$ 5.32</b>

ALBUQUERQUE NM 87101  
 Postmark Here  
 JUN 20 2002

Sent To: Janice Torrez  
 Street, Apt. No., or PO Box No.: 1614 Travis Rd NW  
 City, State, ZIP+4: Albuquerque, NM 87114

PS Form 3800, June 2002 See Reverse for Instructions



February 27, 2007

Landscape Architecture  
Urban Design  
Planning Services

Janice Torrez  
1614 Travis Road NW  
Albuquerque, NM 87114

Mark McNeil  
1610 Lyria Road NW  
Albuquerque, NM 87114

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495

cp@consensusplanning.com  
www.consensusplanning.com

Dear Ms. Torrez and Mr. McNeil:

The purpose of this letter is to inform you and the members of Riverfront Estates Neighborhood Association that Consensus Planning has submitted a Site Plan for Building Permit to the City of Albuquerque for Tracts 2A2C; Black Ranch. The property is located on Valley View Drive, north of Paseo del Norte and south of Valley View Place (see Zone Atlas sheet with property indicated).

The applicant proposes the construction of a two-story 16,000 square foot office building. The proposed development is consistent with the intent of the Coors Corridor Plan, the West Side Strategic Plan, and the Site Plan for Subdivision's previously approved Tract 2 Design Guidelines.

The hearing will be April 19, 2007. Please feel free to call me at 764-9801 if you desire additional information or have any questions or would like to meet regarding this application.

Sincerely,

James K. Strozier, AICP  
Principal

Attachments: Zone Atlas Page C-13-Z  
8 1/2 x 11 Site Plan Package

PRINCIPALS

Karen R. Marcotte, AICP  
James K. Strozier, AICP  
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fidangan, AICP

## NON-MEETING LAND-USE CASE REPORT

**Issue:** 07-EPC-00246 EPC Site Development Plan – Building Permit

**Project** #1001206

**Case Planner:** Anna DiMambro

**Faciliator:** Diane Grover

**Stakeholders:** Developer/Applicant: Alfred Sanchez III  
Agent: Consensus Planning, Jim Strozier  
NA: Riverfronte Estates NA, Inc. (RFE)

**Report date:** March 13, 2007

**Summary:**

On March 13, 2007, Janice Torrez of RFE advised that she has polled the RFE board members and that no facilitated meeting was required in connection with this project. She stated that she is not aware of any major concerns of RFE members in connection with this project.



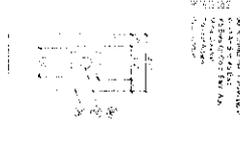
GENERAL NOTES:  
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.  
 2. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE AS SHOWN ON THE DRAWINGS.



14 Sectional Section

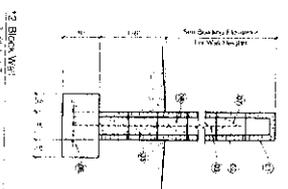


15 Sectional Section



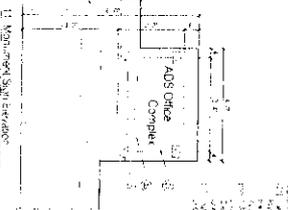
16 Sectional Section

17 Sectional Section  
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.  
 2. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE AS SHOWN ON THE DRAWINGS.  
 3. THE FINISHES SHOWN ON THE DRAWINGS ARE TO BE USED UNLESS OTHERWISE NOTED.  
 4. THE FINISHES SHOWN ON THE DRAWINGS ARE TO BE USED UNLESS OTHERWISE NOTED.  
 5. THE FINISHES SHOWN ON THE DRAWINGS ARE TO BE USED UNLESS OTHERWISE NOTED.



12 Brick Wall

12 Brick Wall  
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.  
 2. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE AS SHOWN ON THE DRAWINGS.  
 3. THE FINISHES SHOWN ON THE DRAWINGS ARE TO BE USED UNLESS OTHERWISE NOTED.



14 Sectional Section

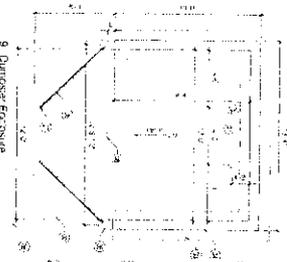
14 Sectional Section  
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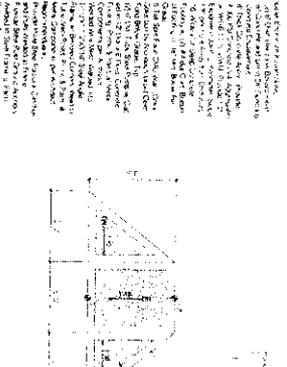
15 Sectional Section

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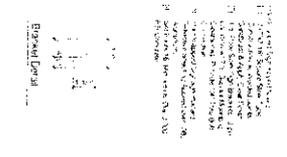
18 Floor Plan  
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.  
 2. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE AS SHOWN ON THE DRAWINGS.  
 3. THE FINISHES SHOWN ON THE DRAWINGS ARE TO BE USED UNLESS OTHERWISE NOTED.



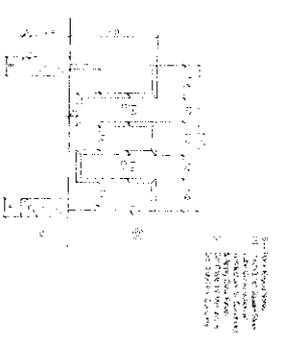
19 Floor Plan



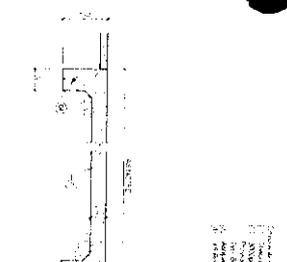
20 Floor Plan



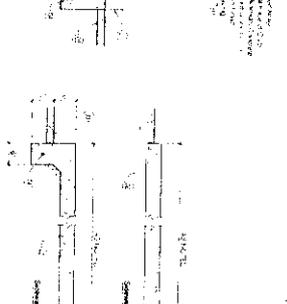
21 Floor Plan



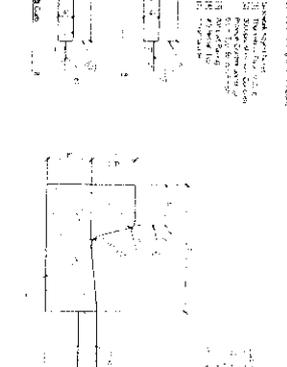
22 Floor Plan



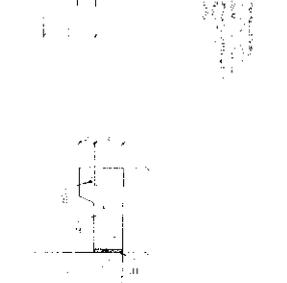
23 Sectional Section



24 Sectional Section



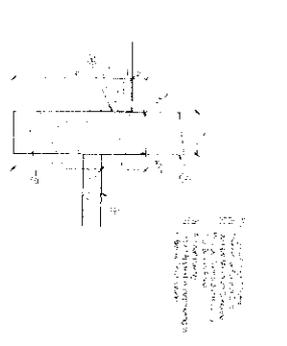
25 Sectional Section



26 Sectional Section



27 Sectional Section



28 Sectional Section

AS-02  
 SITE DETAILS



ARCHITECT  
 DAWN CANNABY  
 ARCHITECT STUDIO  
 133 ADAMS STREET, SE  
 ALABAMA BEACH, FL 32208  
 904.299.1111  
 904.349.4167











# ENVIRONMENTAL PLANNING COMMISSION

## A G E N D A

Thursday April 19, 2007  
8:30 a.m.

Plaza del Sol Hearing Room  
Lower Level  
600 2nd Street NW

### MEMBERS

Jeffery Jesionowski, Chairman  
Laurie Moye, Vice Chair

Jonathan Siegel  
Jim Grout  
Ishmael Valenzuela

Larry Chavez  
Virginia Klebesadel  
Judy Kowalski

\*\*\*\*\*  
\*\*\*\*\*

**NOTE: A LUNCH BREAK AND DINNER BREAK WILL BE ANNOUNCED AS NECESSARY**

Agenda items will be heard in the order specified unless changes are approved by the EPC at the beginning of the hearing; deferral and withdrawal requests (by applicants) are generally reviewed at this time (see item 1A and 1B below). Applications with no known opposition that are supported by the Planning Department are scheduled at the beginning of the agenda; these cases are noted with an asterisk (\*). Applications deferred from a previous hearing are normally scheduled at the end of the agenda.

There is no set time for cases to be heard. However, interested parties can monitor the progress of the hearing by calling the Planning Department at 924-3860. All parties wishing to address the Commission must sign-in with the Commission Secretary at the front table prior to the case being heard. Please be prepared to provide brief and concise testimony to the Commission if you intend to speak. **In the interest of time, presentation times are limited as follows, unless otherwise granted by the Commission Chair: Staff - 5 minutes; Applicant – 10 minutes; Public speakers – 2 minutes each. An authorized representative of a recognized neighborhood association or other organization may be granted additional time if requested.**

All written materials -- including petitions, legal analysis and other documents -- should be submitted at least 10 days prior to the public hearing, ensuring presentation at the EPC Study Session. The EPC strongly discourages submission of written material at the public hearing. Except in extraordinary circumstances, the EPC will not consider written materials submitted at the hearing. In the event the EPC believes that newly submitted material may influence its final decision, the application may be deferred to a subsequent hearing.

**NOTE: ANY AGENDA ITEMS NOT HEARD BY 8:30 P.M. MAY BE DEFERRED TO ANOTHER HEARING DATE AS DETERMINED BY THE PLANNING COMMISSION.**

EPC ACTION SHEET

APRIL 19, 2007

PAGE 2 OF 5

**1. Call to Order.**

- A. Announcement of Changes and/or Additions to the Agenda
- B. Approval of the Amended Agenda
- C. Approval of EPC Minutes for January 11, 2007, March 8, 2007 and March 15, 2007.
- D. Recognition of Klarissa Pena.

**2. Project # 1001620\***

07EPC-00201 Text Amendment to the Zone Code

**Project # 1004831**

07EPC-00202 Text Amendment to the Subdivision Ordinance

COA/PLANNING DEPARTMENT agent for COA/CITY COUNCIL request the above action(s) for Amending Section 14-16-1-5, ROA 1994, a portion of the Comprehensive Zoning Code and Section 14-14-3-4, ROA 1994, a portion of the Subdivision Ordinance associated with a proposed Albuquerque Archeological Ordinance (O-07-72). Catalina Lehner, Staff Planner

**3. Project # 1003190\***

07EPC-00221 EPC Sector Development Plan Map Amendment

CONSENSUS PLANNING, INC. agents for UNSER BOULEVARD INVESTORS PARTNERSHIP request the above action for a portion of Tracts 469 & 470, **Lands of Atrisco Grant**, a sector development plan map amendment from RD/R-1 to C-1, located on UNSER BLVD. SW, between SAGE ROAD SW and SAN YGNACIO RD. SW, containing approximately 5 acres. (L-10) Anna DiMambro, Staff Planner

**4. Project # 1005396\***

07EPC-00226 EPC Site Development Plan-Building Permit

ANISSA CONSTRUCTION, INC. agents for M& F AUTO request the above action for all or a portion of Tract A-26-B-1, **NE Unit, Town of Atrisco Grant**, zoned SU-1 for C-2 Uses, located on COORS BLVD. NW, between QUAIL RD. NW and PHEASANT AVENUE, containing approximately 3 acres. (G-11) Catalina Lehner, Staff Planner

**5. Project # 1000365\***

07EPC-00241 Zone Map Amendment  
07EPC 00284 Site Development Plan - Subdivision

MASTERWORKS ARCHITECTS INC. agents for TAN VAN HUYNH request the above actions for all of Lots 2-4 & 19-21, **Unity Addition**, a zone map amendment from SU-1/C-1 Vehicle Sales to R-LT, located on RHODE ISLAND ST. SE, between CENTRAL AVE. and ZUNI ROAD, containing approximately 1 acre. (K-19) Anna DiMambro, Staff Planner

**6. Project # 1000762\***  
07EPC-00255 Zone Map Amendment

GOLDEN ASSOCIATES LLC agents for FIRST BAPTIST CHURCH request the above action for all or a portion of Tracts B1A, C1A and B, **Richland Hills**, a zone map amendment from SU-1 PDA to include C-3 Uses to SU-1 IP Uses w/Exceptions, located on PASEO DEL NORTE NW, between RICHLAND HILLS ROAD NW and EAGLE RANCH ROAD NW, containing approximately 2.5 acres. (C-12) Stephanie Shumsky, Staff Planner

**7. Project # 1005408\***  
07EPC-00256 Sector Development Plan Map Amendment

JOSHUA SKARSGARD agents for CIBOLA ENERGY CORPORATION request the above action for all or a portion of Lots 19-21, **Perea Addition**, a Sector Development Plan Map amendment from SU-2 TH to SU-2 CC, located on CENTRAL NW, between 14TH ST. NW and LAGUNA BLVD. NW, containing approximately 1 acre. (J-13) Carol Toffaleti, Staff Planner

**8. Project # 1001206\***  
07EPC-00246 EPC Site Development Plan-Building Permit

CONSENSUS PLANNING, INC. agents for ALFRED SANCHEZ III request the above action for all or a portion of Tract 2A2C, **Black Ranch**, zoned SU-1 for C-1 Permissive, located east of COORS NW, between PASEO DEL NORTE NW and IRVING NW, containing approximately 2 acres. (C-13) Anna DiMambro, Staff Planner

**9. Project # 1001620**  
07EPC-00170 Text Amendment to the Zoning Code

CITY OF ALBUQUERQUE, PLANNING DEPARTMENT agent(s) for CITY OF ALBUQUERQUE, CITY COUNCIL requests the above action for Amending a portion of Section 14-16-4-2 ROA 1994 to change the requirements for approval of a variance. City Wide. Stephanie Shumsky, Staff Planner

**10. Project # 1000363**  
07EPC-00245 EPC Site Development Plan-Building Permit  
07EPC-00244 Master Development Plan Amendment

STUDIO SW ARCHITECT agents for CITY OF ALBUQUERQUE/DMD request the above action for all or a portion of Tract G-1, **Balloon Fiesta Park**, zoned SU-2 for Balloon Park & Museum & Related Uses, located on BALLOON MUSEUM DR. NE, between Jefferson St. NE and Alameda Blvd. NE, containing approximately 2 acres. (B-17) Carol Toffaleti, Staff Planner

**11. Project # 1000696**  
07EPC-00111 Zone Map  
Amendment

DAVID CAMPBELL agent for RAYLEE VANTAGE HOMES request the above action for all or a portion of Tract C OF PLAT Intercontinental & Consulting Inc., of **Tracts A, B, C, Lee's Bosque Subd.**, a zone map amendment from RD to SU-1 for C-1 Purposes, located on COORS BLVD. NW, between BOSQUE MEADOWS NW and the CORRALES CANAL, containing approximately 7 acres. (D-13) Catalina Lehner, Staff Planner **(DEFERRED FROM MARCH 15, 2007)**

**12. Project # 1001049**  
06EPC-01304 Zone Map  
Amendment

CONSENSUS PLANNING agents for HORIZON ROSE INTERESTS LLC request the above action for all or a portion of Tracts 1 & 4, **Lands of IHS Acquisition #120**, a zone map amendment from SU-2/Hospital & Medical to SU-2/ Hospital & Medical and O-1 Permissive Uses, located on ALAMEDA BLVD. NE, between BALLOON MUSEUM DR. NE and EDITH BLVD. NE, containing approximately 15 acres. (C-17) Stephanie Shumsky, Staff Planner **(DEFERRED FROM MARCH 15, 2007)**

**13. Project # 1003364**  
07EPC-00094 EPC Site  
Development Plan-Building Permit

TAFAZZUL HUSSAIN agents for PHILLIP LINDBORG request the above action for all or a portion of Lot 1-A-1-A1, Block 10, **North Albuquerque Acres**, zoned SU-2/Mixed Use, located on HOLLY NE, between LOUISIANA NE and WYOMING BLVD. NE, containing approximately 1 acres. (C-19) Anna DiMambro, Staff Planner **(DEFERRED FROM MARCH 15, 2007)**

**14. Project # 1003479**  
06EPC-00955 EPC Site  
Development Plan-Building Permit  
06EPC-00956 Zone Map  
Amendment

DAC ENTERPRISES, INC. agents for EDDIE & CHRISTINE LOPEZ request the above actions for all or a portion of Tract E, **St. Anthony's Orphanage Addition**, a zone map amendemtn from R-1 to SU-1 for C-1 permissive uses with exclusions, located on 12TH ST. NW, between INDIAN SCHOOL ROAD NW and I-40, containing approximately 2 acres. (H-13) Catalina Lehner, Staff Planner **(DEFERRED FROM MARCH 15, 2007)**

**15. Project # 1001150**  
06EPC-00624 EPC Site  
Development Plan- Building Permit  
06EPC-00625 EPC Site  
Development Plan-Subdivision

TIERRA WEST LLC agent for VISTA DEL NORTE DEVELOPMENT LLC requests the above actions for all or a portion of Lot M-1, **Vista del Norte Subdivision**, zoned SU-1 for C-2 Uses Except Alcoholic Drink Sales for Off -Premise Consumption within 600' of Residentially Zoned Property, Drive-Up or Drive-Thru Liquor Sales are Not Permitted, located on OSUNA RD NE, between the NORTH DIVERSION CHANNEL and VISTA DEL NORTE NE, containing approximately 22 acres. (E-16) Stephanie Shumsky, Staff Planner **(DEFERRED FROM MARCH 15, 2007)**

**16. Project # 1005353**  
07EPC-00103 Zone Map  
Amendment

MARK PAGE agent for AL HEATING request the above action for all or a portion of Lots 8 & 9, Block 1, **Buena Tierra Addition**, a zone map amendment from R-1 to C-3, located on 3RD ST. NW, between CLAREMONT NW and PHOENIX NW, containing approximately 1 acre. (H-14) Anna DiMambro, Staff Planner (**DEFERRED FROM MARCH 15, 2007**)

**17. Project # 1001620**  
06EPC-01144 Text Amendment

COA/PLANNING DEPARTMENT agent(s) for COA/CITY COUNCIL request the above action(s) for Amending Section 14-16-3-17 ROA 1994 of the Zoning Code regarding the concealment of wireless telecommunications facilities. City Wide. Stephanie Shumsky, Staff Planner (**DEFERRED FROM FEBRUARY 15, 2007**)

18. Other Matters



**Environmental  
Planning  
Commission**

**Agenda Number: 8  
Project Number: 1001206  
Case #: 07EPC 00246  
April 19, 2007**

**Staff Report**

<b>Agent</b>	Consensus Planning, Inc.
<b>Applicant</b>	Alfred Sanchez III
<b>Request(s)</b>	<b>Site Development Plan for Building Permit</b>
<b>Legal Description</b>	Lot 2A2C, Black Ranch
<b>Location</b>	Valley View Drive NW, between Paseo del Norte NW and Valley View Place NW
<b>Size</b>	Approximately 1 acre
<b>Existing Zoning</b>	SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-service Liquor
<b>Proposed Zoning</b>	Same

**Staff Recommendation**

**APPROVAL** of 07EPC 00246, based on the findings on page 12-15, and subject to the conditions of approval on page 15-17.

**Staff Planner**

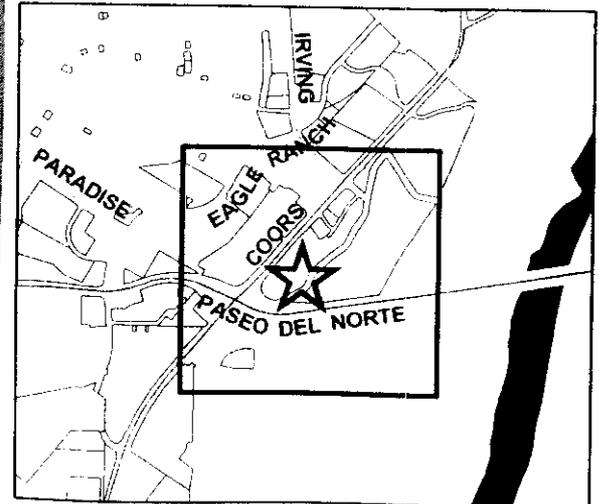
**Anna DiMambro, Planner**

**Summary of Analysis**

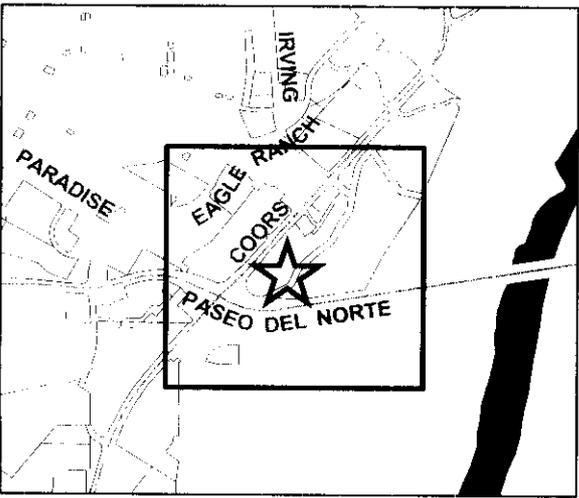
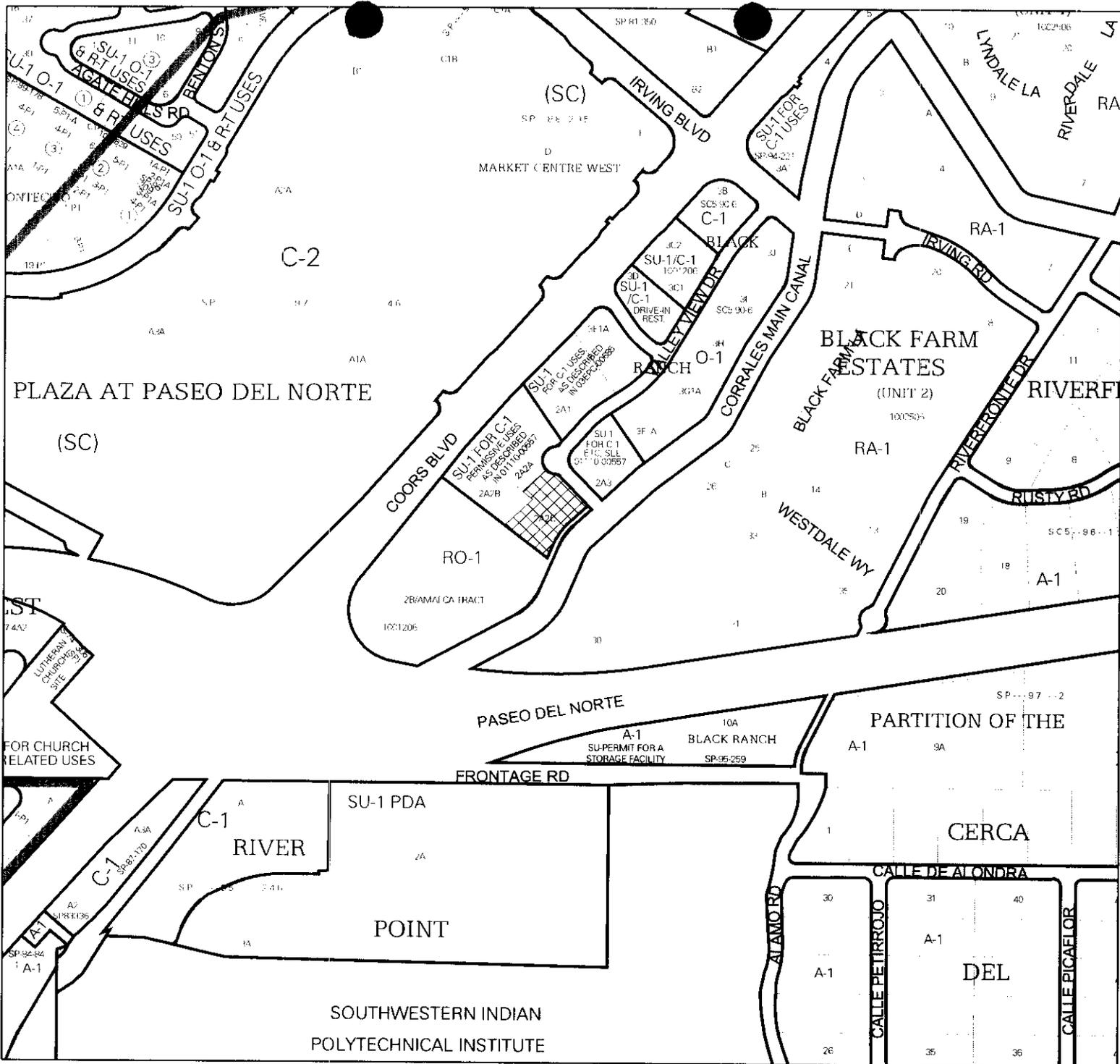
This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The applicant proposes to construct a 2-story 16,000 square foot office building. The site is approximately 1 acre and is zoned SU-1 for C-1 Permissive Uses. It is located in the Developing Urban area within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site.

The request meets the intent of most policies of the Comprehensive Plan, the West Side Strategic Plan, and the Coors Corridor Plan, and complies with most regulations of the Coors Corridor Plan and the Zoning Code. Outstanding issues are building height and signage.

Staff recommendation is for approval with conditions that will help bring the plan into compliance with applicable policies and regulations.



City Departments and other interested agencies reviewed this application from 3/5/2007 to 3/16/2007. Agency comments were used in the preparation of this report and begin on page 18.

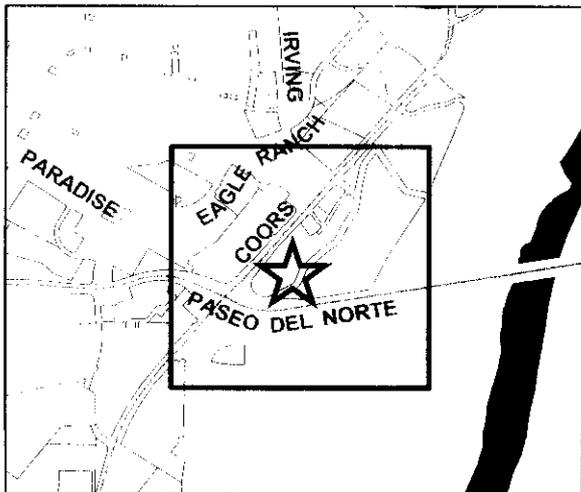
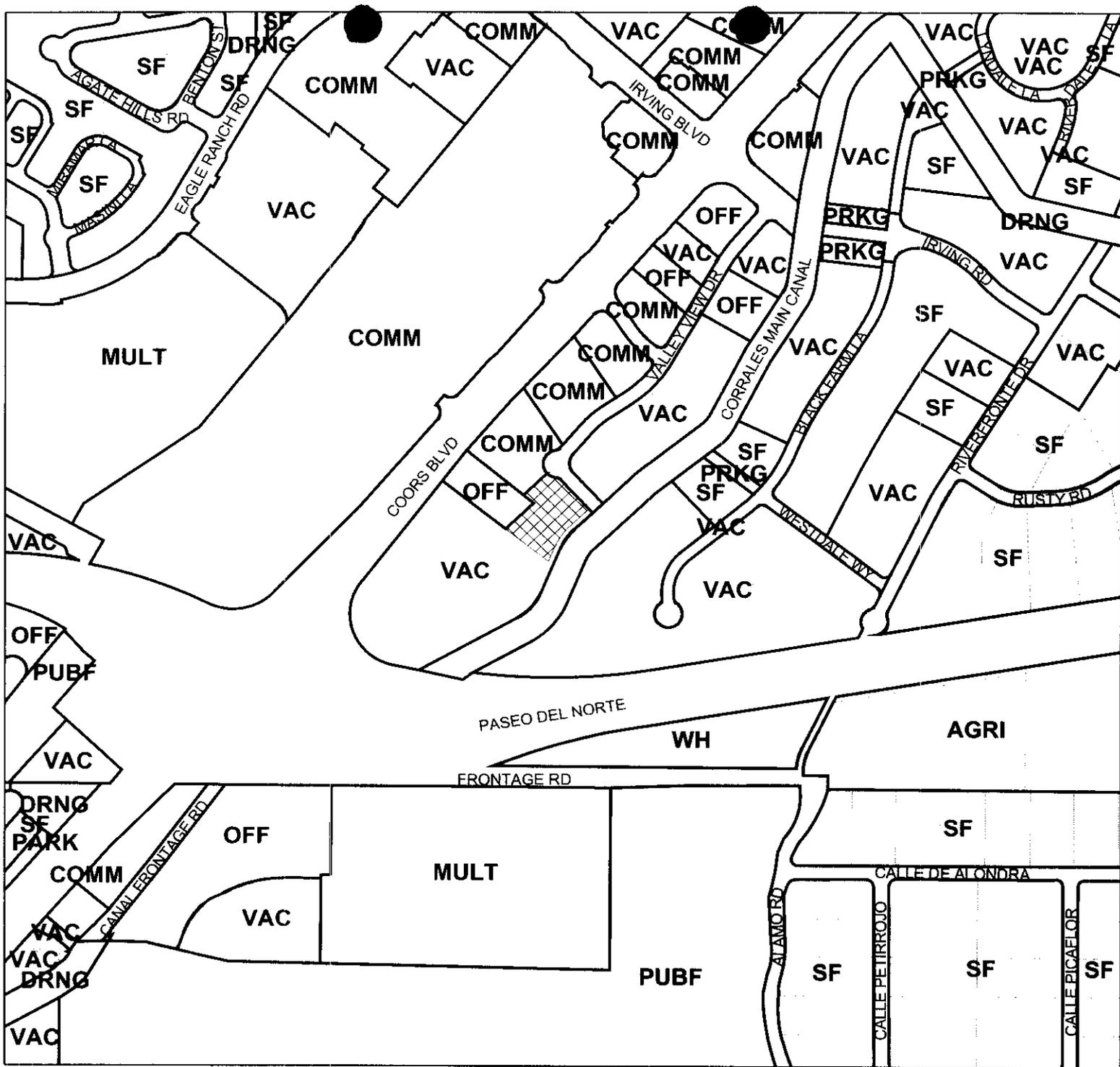


# ZONING MAP

Note: Grey shading indicates County.



1 inch equals 500 feet  
 Project Number:  
 1001206  
 Hearing Date:  
 4/19/2007  
 Zone Map Page:  
 C-13  
 Additional Case Numbers:  
 07EPC-00246



## LAND USE MAP

Note: Grey shading indicates County.

### KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial - Retail
- DRNG Drainage
- MFG Manufacturing or Mining
- MULT Multi-Family or Group Home
- OFF Office
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



1 inch equals 500 feet

Project Number:

1001206

Hearing Date:

4/19/2007

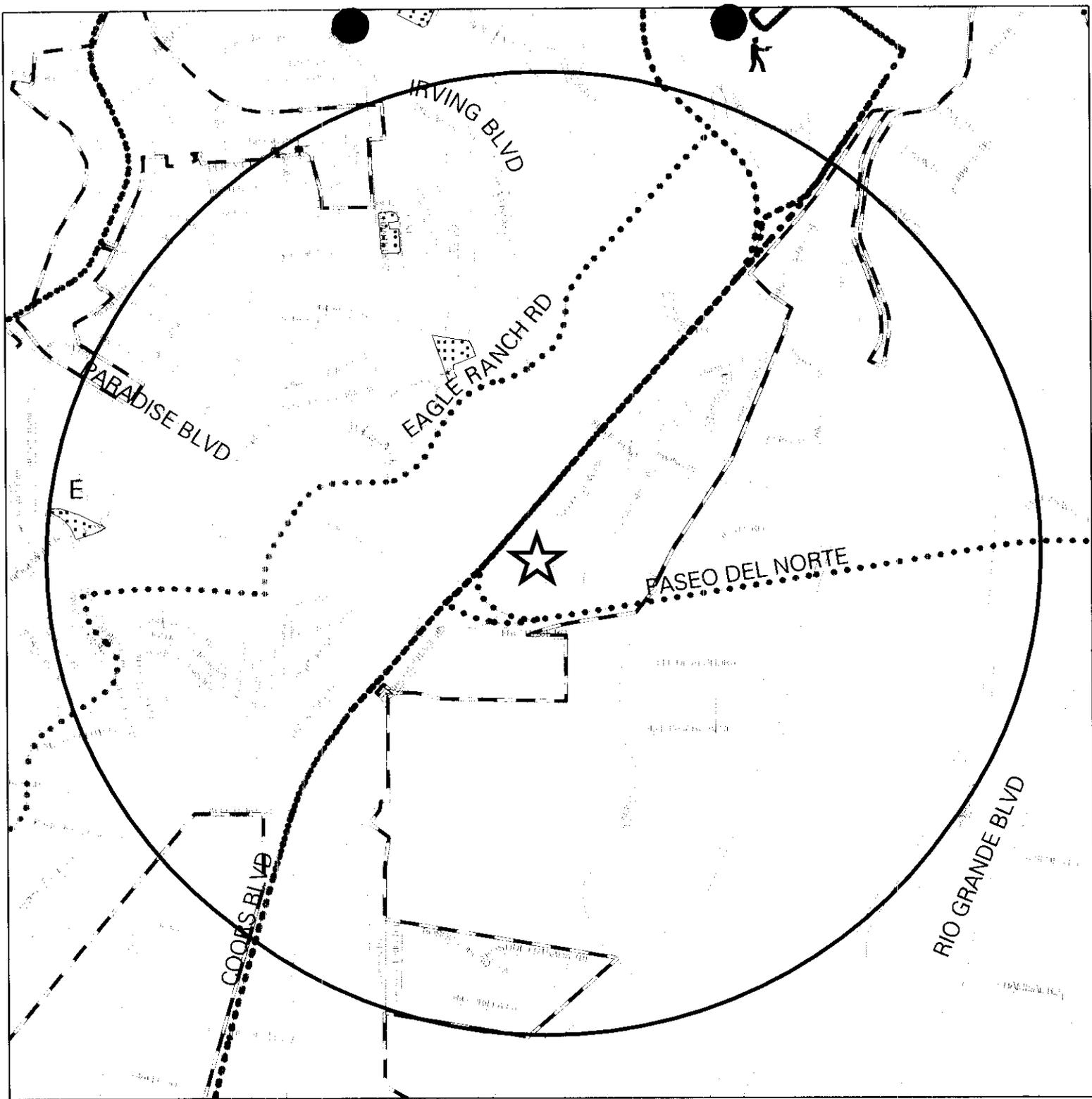
Zone Map Page:

C-13

Additional Case Numbers:

07EPC-00246





## Public Facilities Map with One-Mile Site Buffer

- |  |   |   |   |
|--|---|---|---|
|  COMMUNITY CENTER     |  FIRE        |  APS Schools                 |  Developed County Park   |
|  MULTI-SERVICE CENTER |  POLICE      |  ABQ Ride Routes             |  Undeveloped County Park |
|  SENIOR CENTER        |  SHERIFF     |  AGIS Jurisdiction           |  Developed City Park     |
|  LIBRARY              |  SOLID WASTE |  Landfill Buffer (1000 feet) |  Undeveloped City Park   |
|  MUSEUM               |   |  Landfills designated by EHD |   |

Project Number: 1001206

0 0.5 1 Miles

**AREA CHARACTERISTICS AND ZONING HISTORY**

*Surrounding zoning, plan designations, and land uses:*

	<i>Zoning</i>	<i>Comprehensive Plan Area; Applicable Rank II &amp; III Plans</i>	<i>Land Use</i>
<b>Site</b>	SU-1 for C-1 Permissive	Developing Urban; West Side Strategic Plan, Coors Corridor Plan	Vacant
<b>North</b>	SU-1 for C-1, etc.	Developing Urban; West Side Strategic Plan, Coors Corridor Plan	Vacant
<b>South</b>	RO-1	Developing Urban; West Side Strategic Plan, Coors Corridor Plan	Vacant
<b>East</b>	RA-1	Rural; West Side Strategic Plan, Coors Corridor Plan	Corrales Main Canal, Vacant
<b>West</b>	SU-1 for C-1 Permissive	Developing Urban; West Side Strategic Plan, Coors Corridor Plan	Office, Commercial

**Background, History, and Context**

This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, located northeast of the intersection of Paseo del Norte and Coors Boulevard NW. The site is approximately 1 acre and is zoned SU-1 for C-1 Permissive Uses. It is located in the Developing Urban area within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. The applicant proposes to construct a 2-story 16,000 square foot office building.

The subject site was annexed in December 2001 and was assigned the current zoning as part of a request to annex approximately 19 acres located on Coors between Paseo del Norte and Irving NW. A site development plan for subdivision containing design standards and guidelines was also approved by the EPC as part of this request in June 2001 (01EPC 00558). A series of additional subdivisions were approved that resulted in the current lot configuration.

The site is bordered by Grandma's Music and office uses to the west, vacant lots to the north and south, and the Corrales Main Canal to the east. Across the Corrales Main Canal are vacant residential lots. The subject site is currently vacant.

### *Long Range Roadway System*

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The Long Range Roadway System designates Coors Boulevard NW as a Limited-Access Principal arterial, with a right-of-way of 156'.

The Long Range Roadway System designates Paseo del Norte NW as a Freeway.

### *Public Facilities/Community Services*

The subject site is located within one mile of several developed city parks and an elementary school. Bus service is offered on Paseo del Norte, Coors, and Eagle Ranch Road.

Coors Boulevard is an Enhanced Transit Corridor.

## **ANALYSIS OF APPLICABLE ORDINANCES, PLANS AND POLICIES**

Policy Citations are in Regular Text; *Staff Analysis is in Bold Italics*

### **Albuquerque Comprehensive Zoning Code**

*The proposed office use is permissive in the subject site's zoning category, SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-Service Liquor.*

### **Albuquerque / Bernalillo County Comprehensive Plan**

The subject site is located in the area designated Developing Urban by the *Comprehensive Plan* with a Goal to "create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment." Applicable policies include:

#### *Developing and Established Urban Areas*

Policy 2.B.5.d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

*This request furthers this policy. The location, intensity, and design of the proposed development are in line with neighborhood values. The proposed office use is much lower in intensity than other uses permitted under the site's current zoning, and the site is separated*

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*from residential uses by the Corrales Main Canal. There is no known neighborhood opposition to this request. Site plan review will ensure that neighborhood values are respected.*

Policy 2.B.5.e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

*The subject site is contiguous to existing urban facilities. Site plan review will ensure that the integrity of existing neighborhoods is maintained. This request furthers this policy.*

Policy 2.B.5.g: Development shall be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.

*This site contains no significant topographical features. It is located adjacent to the Corrales Main Canal. A pedestrian/bicycle access is provided to the canal from Tract 2C to the north of the subject site. This request furthers this policy.*

Policy 2.B.5.i: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

*The proposed office building will be located convenient to residential areas. Site plan review will ensure that adverse effects of noise, lighting, pollution, and traffic on residential environments are minimized. The Corrales Main Canal separates this development from neighboring residential areas, and the proposed use is lower in intensity than other uses permissive under the current zoning. This request furthers this policy.*

Policy 2.B.5.l: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the Plan area.

*The proposed office building is innovatively designed and appears to make use of quality materials. This proposal is appropriate to the Plan area. This request furthers this policy and with the recommended conditions of approval with comply with design standards of the site plan for subdivision.*

Policy 2.B.5.m: Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

*Site plan review and regulations of the Coors Corridor Plan will ensure that unique vistas are maintained and that the quality of the visual environment is enhanced. This request complies with most requirements of the Coors Corridor Plan. It is not in compliance with the view plane height restrictions for Segment 3, which state that only one-third of the building's height may penetrate the view plan. The applicant has justified this conflict as a hardship. This request furthers this policy.*

*Developed Landscape*

Goal: To maintain and improve the natural and the developed landscape's quality.

Policy 2.C.8.a: The natural and visual environment, particularly features unique to Albuquerque, shall be respected as a significant determinant in development decisions.

***Site plan review and regulations of the Coors Corridor plan will ensure that the natural and visual environments are respected. This request furthers this policy.***

Policy 2.C.8.e: In highly scenic areas, development design and materials shall be in harmony with the landscape. Building siting shall minimize alteration of existing vegetation and topography and minimize visibility of structures in scenic vista areas.

***The building's siting minimizes its visibility as much as possible. The applicant has justified the building's penetration into the view plane per the Coors Corridor Plan. The site currently contains little vegetation and relatively flat topography. This request furthers this policy.***

*Transportation and Transit*

Goal: To develop corridors, both streets and adjacent land uses, that provide a balanced circulation system through efficient placement of employment and services, and encouragement of bicycling, walking, and use of transit/paratransit as alternatives to automobile travel, while providing sufficient roadway capacity to meet mobility and access needs.

Policy 2.D.4.a:

- Maximize pedestrian connections to transit stops and between adjacent developments.
- Floor area ratio of 0.5-1.5

***This request partially furthers this policy. Floor area ratio complies with all applicable policies and regulations. However, the applicant has not provided pedestrian connections between adjacent developments.***

Policy 2.D.4.g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

***The applicant has provided a sidewalk that will encourage pedestrian opportunities within the subject site. However, no pedestrian connection has been provided to adjacent sites. This request partially furthers this policy.***

**Water Conservation/Green Principles**

***The applicant has not proposed any specific water conservation methods or green principles for this project. The plant palette consists of mostly low water use plants.***

### **West Side Strategic Plan (Rank 2)**

The West Side Strategic Plan was first adopted in 1997 and revised in 2005. The West Side Strategic Plan identifies 13 communities, each with a unique identity and comprised of smaller neighborhood clusters. The subject site is located in the Paradise Community, which consists of the area within the following boundaries: the Calabacillas Arroyo to the north, the Town of Alameda Grant line to the south, the river to the east, and the Rainbow Boulevard corridor to the west. Specific boundaries are shown on page 54 in the Plan. Policies for the Paradise Community pertain to Community and Neighborhood Centers, transportation planning, and the Calabacillas and Piedras Marcadas arroyos. These policies are not applicable to this request.

Visual quality is a primary focus of the West Side Strategic Plan. Policy 4.6 (p. 164) states that design guidelines sections shall become policies with adoption of the Plan. Views east of Coors Boulevard, height, landscaping, and fences and walls all have guidelines applicable to this submittal.

*The proposed office building generally furthers this policy. Coors Corridor Plan policies, regulations, and guidelines along with standards and guidelines provided in the site development plan for subdivision are more restrictive than those in the West Side Strategic Plan. Analysis for this request will be based upon the more restrictive policies and regulations.*

### **Coors Corridor Plan (Rank 3)**

This plan was adopted in 1984 and revised in 1989. It provides detailed design guidelines for the development of Coors Boulevard and adjacent properties from Central Avenue north to State Road 528 (Alameda Boulevard). The plan also puts emphasis on Coors Boulevard as a transit and pedestrian corridor. The subject property is in Segment 3 of the Coors Corridor Plan, which extends from Western Trail on the south to the Calabacillas Arroyo on the north. There are policies applicable to this request, including:

#### *Issue 3: Land Use and Intensity of Development*

Policy 5 – Development Intensity: Intensity of development shall be compatible with the roadway function, existing zoning or recommended land use, environmental concerns, and design guidelines.

*This request furthers this policy. The intensity of the proposed development is in accord with roadway function, existing zoning, environmental concerns, and design guidelines.*

Policy 7 – Cluster Design: Cluster design for development of residential, commercial, and industrial structures shall be encouraged.

*This submittal is part of an overall site development plan for subdivision that promotes a walkable environment, thereby furthering this policy.*

*Issue 4: Visual Impressions and Urban Design Overlay Zone*

*A: General Policies*

Policy 1 – Views within the Corridor: Appropriate and pleasing visual impressions within the corridor should be established and preserved.

***This submittal is in conflict with this policy. The proposed office building penetrates the view plane beyond the allowable limit.***

Policy 2 – Views beyond the Corridor: Significant views beyond the corridor, including the volcanoes, the escarpment, the arroyos, the bosque, the Rio Grande valley, and the Sandia Mountains as viewed from Coors Boulevard should be preserved and enhanced.

***The applicant has submitted a view analysis showing that the submittal is in conflict with this policy. The proposed building's maximum height will interfere with the views specified in this policy.***

Policy 3 – New development: New development in the Coors Corridor should be designed to be compatible with the natural landscape and the built environment in accordance with the design regulations and guidelines.

***The proposed office building is designed in accordance with design regulations and guidelines.***

*B: Site Planning and Architecture*

Policy 1 – Site design: Natural site amenities should be incorporated into the site design.

***This request is in conflict with this policy. The east edge of the subject site borders the Corrales Main Canal. The applicant has not provided access to the canal through the screen wall. According to the site plan for subdivision, access to the canal will be provided from the lot to the north of the subject site.***

Policy 2 – Building setback, height, and bulk: Buildings should be located and designed to provide a pleasing and functional relationship to the roadway, the site, and to adjacent or related buildings and structures.

***The submitted landscape plan is in conflict with this policy. The proposed office building is not located on the site to provide a relationship to the roadway or to any adjacent buildings, including any buildings that may be constructed in the future on adjacent properties. A condition of approval is recommended to bring a portion of the building to the roadway.***

Policy 4 – Site landscaping: Landscape design and improvements should be complementary to the individual site and to the overall appearance of the corridor in accordance with the design regulations and guidelines.

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*The submitted site plan shows complementary landscaping. With the recommended conditions of approval, the landscaping also complies with design standards of the site plan for subdivision. This request furthers this policy.*

Policy 5 - Off-street parking: Generally, off-street parking facilities should be located to the rear of sites. Street frontages should be devoted to building architecture and landscaping.

*This request is in conflict with this policy. Parking is located adjacent to the street frontage. A recommended condition of approval will bring the site into compliance with this policy.*

Policy 6 - Commercial sites: Commercial sites, such as shopping centers, should be designed so that a portion of the building or buildings is located near the street perimeter and relates to the streetscape area along Coors Boulevard.

*This request is in conflict with this policy as the building is located at the rear of the site. The site is not located adjacent to Coors Boulevard, and the building's location on the site will not impact the Coors streetscape. However, the proposed location of the building on the site will preclude a relationship to any future buildings to be constructed on the site to the north.*

Policy 7 - Access: Separate pedestrian and vehicular access should be provided. Pedestrian access to structures shall not utilize driveways as walkways. Pedestrian connections between uses in commercial developments shall be emphasized.

*The applicant has provided separate pedestrian and vehicular access to the site, but has not provided connections to neighboring businesses. This request partially furthers this policy.*

Policy 9 - Site lighting: Site area lighting, including parking area lighting, should be carefully designed and located so as to minimize glare on any public right-of-way or any adjacent premises.

*The submitted site plan shows lighting in conformance with this policy.*

Policy 10 - Architectural design: Architectural design should contribute to the enhancement of the overall visual environment of the Coors Corridor.

*Architectural design for this submittal contributes to the overall visual environment of the Coors Corridor. This request furthers this policy.*

*C: View Preservation for Corridor Segments 3 and 4*

Policy 1 - View Preservation: Unique views within and beyond the Coors Corridor area in Segments 3 and 4 east of Coors Boulevard should be protected and enhanced in accordance with additional design guidelines for this portion of the corridor.

*This request is in conflict with this policy. Because the elevation of the subject site is only four feet below the elevation of Coors Boulevard in this location, only one-third of any multiple-story building may penetrate the view plane. Approximately two-thirds of the*

*proposed building's height penetrates the view plane. The applicant has provided justification for hardship, and the Planning Commission will need to determine whether the applicant has been able to adequately demonstrate that a hardship exists that will exempt this proposal from the requirement.*

*D: Signage*

Policy 1: Signs should complement the appearance and function of the roadway and the corridor while protecting the unique views beyond the corridor.

*The submitted site plan shows signage in conflict with this policy. The proposed monument sign is in conflict with Coors Corridor Plan regulations, and the proposed building-mounted sign on the east elevation is in conflict with site plan for subdivision standards. These conflicts are discussed below.*

## **ANALYSIS OF SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

### ***Site Plan Layout / Configuration***

The proposed site development plan for building permit is compatible with existing development. The applicant is proposing to develop a two-story 16,000 square foot office building. The overall area of the subject site has developed in an auto-oriented style, and the proposed office building fits in nicely with its surroundings.

The office building is situated on the south end of the subject site with the main entrance at the north end of the building. Parking is located in one large mass on the north end of the site. This is in conflict with Coors Corridor Plan policies that encourage locating parking to the rear of sites.

The proposed building reaches a height of 32', which is in compliance with all applicable plans. Setbacks and floor area ratio also meet all applicable requirements. Open space is provided in the form of a walled patio at the southeast corner of the building.

The dumpster is located near the northeast corner of the building. This is in conflict with standards of the site plan for subdivision, which states that no refuse collection areas shall be allowed between any street and building front.

### ***Walls/Fences***

CMU screen walls are proposed for the north and east sides of the site. The north screen wall is a required parking screen, and the east screen wall is required by the site plan for subdivision to screen the office use from the residential area. Keyed notes 16 and 17 on the Site Plan for Building Permit indicate minimum heights of 2'6" and 4'. The detail drawing shows a minimum height of 4'8" and a maximum height of 6'. Minimum heights should be made to match on all sheets. The wall along the east edge of the site is required by the site plan for subdivision to be a minimum of 6' high.

**April 19, 2007**

**Page 9**

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The proposed walls meet height requirements of the Zoning Code. However, they conflict with wall design regulations of the Zoning Code in Section 14-16-3-19. The detail drawing shows some variety in texture, but the variation does not appear to be occurring on at least 20% of the wall façade surface. A condition of approval has been recommended to bring the walls into compliance with this requirement.

#### ***Vehicular Access, Circulation and Parking***

Vehicular access is from Valley View Drive on the north end of the subject site. Circulation through the parking lot appears to be adequate. The submitted site plan shows a shortage of 6 parking spaces if the site were zoned straight C-1. However, the site's SU-1 zoning gives the EPC authority over parking requirements. No motorcycle parking is shown. 3 motorcycle spaces are required per Zoning Code regulations.

The site plan for subdivision for the subject site states that parking areas shall be broken up through the use of convenient and logical pedestrian connections. The parking shown in the submitted site plan is in conflict with this standard. However, the parking lot is not large, and a convenient pedestrian connection is provided on the west edge of the site.

#### ***Pedestrian and Bicycle Access and Circulation, Transit Access***

Pedestrian and bicycle access is from Valley View drive on the north end of the subject site. A 7' concrete sidewalk is provided linking Valley View drive to the office building along the west edge of the site. The applicant is required to provide textured paving material for this pedestrian connection per the site plan for subdivision. The applicant is also required to provide a difference in paving material, color, or pattern at the entry drive crosswalk. Painted asphalt is not acceptable. The site plan for subdivision also requires a minimum of an 8' sidewalk where parking overhangs the sidewalk on one side. A small section of the sidewalk at the east end of the building's front elevation does not meet this requirement.

Adequate bicycle parking is provided near the building's main entrance.

The nearest bus stop is located on Coors Boulevard north of Irving. Transit access to this stop from the subject site is via existing pedestrian facilities.

#### ***Lighting and Security***

Site lighting meets all requirements of the Zoning Code and the site plan for subdivision. Light poles are proposed to be 12' high. No building-mounted lighting is proposed on any side of the building, including the patio. This could pose a security problem, as no parking lot lighting is located near the front of the building.

#### ***Landscaping***

The proposed landscape plan complies with all regulations of the Zoning Code. It does not, however, comply with all standards of the site plan for subdivision. A minimum 10' landscape buffer is required on the east side of the site adjacent to the residential zoning. The landscape plan also does not indicate which plantings are evergreens. Landscape buffers are required to be

primarily evergreen species. Trees are planted slightly farther apart than the maximum 25' along the east and west edges of the site. Landscape areas are also required to be a minimum of 6' wide. A landscape area along the front edge of the building does not meet this requirement. Also, 16 out of the 24 plants listed on the plant legend of the landscape plan do not appear in the list of suggested plants located in the site plan for subdivision.

### ***Public Outdoor Space***

A walled patio with a pedestrian access gate is provided at the southeast corner of the office building. The site plan does not state how many square feet the patio contains. The patio is partially shaded by a tree.

### ***Grading, Drainage, Utility Plans***

The applicant has provided grading, drainage, and utility plans. The site is relatively flat.

### ***Architecture***

Building architecture is a contemporary style, and stylistic elements are used on all four sides of the building. The site plan for subdivision does not dictate an architectural style to be used, but does contain some standards. The proposal is in compliance with all site plan for subdivision architectural standards.

### ***Signage***

Five internally lit building mounted signs are proposed in addition to a freestanding sign mounted to the parking screen wall. The building mounted signs are in conformance with all applicable regulations except the sign on the east elevation. The site plan for subdivision states, "No lighted signs shall be placed on east-facing buildings or in a location that is visible from residential areas east of this development." To comply with this standard, the sign must be removed or must be unlit.

There is some question as to whether the freestanding sign is allowed.

- The Zoning Code allows the Planning Commission to regulate signs.
- R-457, which amended the Coors Corridor plan in 1989, states, "Where freestanding signs are allowed, maximum sign size shall be 75 square feet. Where there are over 12 acres in a development (meaning a premises or an area controlled by a shopping center plan of site development plan – whichever is larger if more than one applies) a second freestanding sign is permitted on any street frontage longer than 1500 lineal feet." According to this regulation, one freestanding sign is allowed for the entire site plan for subdivision area. Grandma's Music and Enterprise each have an approved monument sign.
- The site development plan for subdivision would allow two freestanding two sided signs for this property, which has over 100 feet of street frontage.

This is an outstanding issue that will need to be discussed by the Planning Commission.

**CONCERNS OF REVIEWING AGENCIES / PRE-HEARING DISCUSSION**

No adverse comments have been received.

**NEIGHBORHOOD/PUBLIC CONCERNS**

A facilitated meeting was recommended, but the affected neighborhood decided that it was not necessary. Staff has not received any neighborhood comments to date, either in support or in opposition of this proposal. There is no known opposition.

**CONCLUSIONS**

This is a request for approval of a site development plan for building permit to develop a two-story 16,000 square foot office building on Tract 2A2C, Black Ranch, located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The site is approximately 1 acre and is zoned SU-1 for C-1 Permissive Uses. It is located in the Developing Urban area within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site.

The request meets the intent of most policies of the Comprehensive Plan, the West Side Strategic Plan, and the Coors Corridor Plan, and complies with most regulations of the Coors Corridor Plan and the Zoning Code.

Staff recommendation is for approval with conditions that will help bring the plan into compliance with all applicable policies and regulations.

***FINDINGS – 07EPC 00246, April 19, 2007 – Site Development Plan for Building Permit***

1. This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, an approximately 1 acre site located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The applicant proposes to construct a two-story 16,000 square foot office building
  
2. The subject site is located in the area designated Developing Urban by the Comprehensive plan and within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site (01EPC 00558).
  
3. The request furthers the following Comprehensive Plan policies:
  - a. Policy 2.B.5.d: The location, intensity, and design of the proposed development respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.
  
  - b. Policy 2.B.5.e: The subject site is contiguous to existing urban facilities. Site plan review will ensure that the integrity of existing neighborhoods can be ensured.
  
  - c. Policy 2.B.5.g: This site contains no significant topographical features. It is adjacent to the Corrales Main Canal.
  
  - d. Policy 2.B.5.i: The proposed office building will be located convenient to residential areas. Site plan review will ensure that adverse effects of noise, lighting, pollution, and traffic on residential environments are minimized.
  
  - e. Policy 2.B.5.l: The high-quality, innovative office building proposed in this submittal is appropriate to the Plan area and complies with the site plan for subdivision design standards.
  
  - f. Policy 2.B.5.m: Site plan review and regulations of the Coors Corridor Plan will ensure that unique vistas are maintained and that the quality of the visual environment is enhanced.

- g. Policies 2.C.8.a and e: Site plan review and regulations of the Coors Corridor Plan will ensure that the natural and visual environments are respected.
4. The request partially furthers the following Comprehensive Plan Transportation and Transit policies:
- a. Policy 2.D.4.a: Floor area ratio complies with all applicable policies and regulations, but the applicant has not provided pedestrian connections between adjacent developments.
  - b. Policy 2.D.4.g: The applicant has provided a sidewalk that will encourage pedestrian opportunities within the site but has not provided pedestrian connections to adjacent sites.
5. The request generally furthers West Side Strategic Plan Policy 4.6, which specifies design guidelines.
6. This request furthers the following Coors Corridor Plan policies:
- a. Issue 3, Policy 5: The intensity of the proposed development is in accord with roadway function, existing zoning, environmental concerns, and design guidelines.
  - b. Issue 3, Policy 7: The submittal is part of an overall site development plan for subdivision, which could have encouraged cluster development.
  - c. Issue 4, A, Policy 3: The proposed office building is designed to be compatible with the natural landscape and the built environment in accordance with the design regulations and guidelines.
  - d. Issue 4, B, Policy 4: Landscape design and improvements are complementary to the individual site and to the overall appearance of the Coors corridor.
  - e. Issue 4, B, Policy 7: Separate pedestrian and vehicular access is provided.
  - f. Issue 4, B, Policy 9: Site area lighting, including parking area lighting, is carefully designed and located to minimize glare on public right-of-way and adjacent premises.

- g. Issue 4, B, Policy 10: Architectural design contributes to the enhancement and overall visual environment of the Coors Corridor.
  - h. Issue 4, D: Signage complements the appearance and function of the roadway and the corridor while protecting the unique views beyond the corridor.
7. This request partially furthers Coors Corridor Plan
8. This request is in conflict with the following Coors Corridor Plan policies:
- a. Issue 4, A, Policy 1: The proposed office building does not contribute to appropriate and pleasing visual impressions within the Coors corridor.
  - b. Issue 4, A, Policy 2: The applicant has submitted a view analysis that shows that the proposed building's maximum height will interfere with views.
  - c. Issue 4, B, Policy 1: Natural site amenities have not been incorporated into the site design. The site plan does not show a relationship to the Corrales Main Canal.
  - d. Issue 4, B, Policy 2: The building is not located to provide a pleasing and functional relationship to the roadway and to adjacent or related buildings and structures.
  - e. Issue 4, B, Policy 5: Off-street parking facilities are not located to the rear of this site. Street frontage is not devoted to building architecture and landscaping.
  - f. Issue 4, B, Policy 6: This commercial site has not been designed so that a portion of the building is located near the street perimeter.
  - g. Issue 4, C, Policy 1: The applicant has submitted a view analysis that shows conflict with Coors Corridor view plane building height requirements. The applicant must demonstrate hardship or exceptional design to obtain a variance from this requirement, and has submitted a letter justifying this hardship.

9. The proposal is in compliance with most standards of the regulating site plan for subdivision. Conditions of approval have been recommended to bring the submittal into compliance with all standards.
  
10. There is no known opposition to this request.

***RECOMMENDATION - 07EPC 00246, April 19, 2007 – Site Development Plan for Building Permit***

**APPROVAL of 07EPC 00246, a request for approval of a Site Development Plan for Building Permit, for Lot 2A2C, Black Ranch, zoned SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-Service Liquor, based on the preceding Findings and subject to the following Conditions of Approval.**

***CONDITIONS OF APPROVAL - 07EPC 00246, April 19, 2007 – Site Development Plan for Building Permit***

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
  
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
  
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered.
  
4. The applicant shall demonstrate how the Energy Management Goal, Section II.D.3 of the Comprehensive Plan, is furthered.
  
5. Site Layout:
  - a. The applicant shall locate a portion of the building closer to the street.

- b. The applicant shall relocate the dumpster to comply with site development plan for subdivision standards, which state that no refuse collection areas shall be allowed between any street and building front.
  - c. The applicant shall list the colors to be used for the dumpster enclosure on the site plan.
  - d. The applicant shall show patio square footage on the site plan.
6. Walls:
- a. The applicant shall revise the submittal so that minimum wall heights are consistent on all pages.
  - b. The screen wall on the eastern edge of the site shall be a minimum of 6' high to comply with site development plan for subdivision standards.
  - c. The applicant shall revise wall design to comply with Zoning Code wall design regulations in Section 14-16-3-19.
7. Pedestrian Amenities:
- a. The applicant must remove the sign from the east-facing wall or change it to an unlit sign.
  - b. The applicant shall provide at least one pedestrian access point to the Corrales Main Canal.
  - c. The applicant shall provide textured paving material for pedestrian connections per site development plan for subdivision standards.
  - d. The applicant shall provide a difference in paving material, color, or pattern at the entry drive crosswalk.

- e. The applicant shall provide an additional 2' of sidewalk or parking bumpers at the east end of the front façade of the proposed building to allow for a 6' clear sidewalk.
- f. The applicant shall provide security lighting for the front of the building and the patio.

8. Landscaping:

- a. The applicant shall provide a minimum 10' landscape buffer on the east side of the site adjacent to the residential zoning.
  - b. The landscape plan shall indicate which plant species are evergreen.
  - c. Trees shall be placed a maximum of 25' apart long the east and west edges of the site.
  - d. Landscape areas shall be a minimum of 6' wide.
- 

*Anna DiMambro*

**Anna DiMambro**  
**Planner**

cc: Alfred Sanchez III, 3809 Atrisco Dr. NW, Suite A, Albuquerque, NM 87120  
Consensus Planning, Inc., 302 8<sup>th</sup> St. NW, Albuquerque, NM 87102  
Janice Torrez, Riverfronte Estates NA, 16114 Travis Rd. NW, Albuquerque, NM 87114  
Mark McNeil, Riverfronte Estates NA, 1610 Lyria Rd. NW, Albuquerque, NM 87114

**Attachments**

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## ***CITY OF ALBUQUERQUE AGENCY COMMENTS***

### ***PLANNING DEPARTMENT***

#### ***Zoning Code Services***

#### ***Office of Neighborhood Coordination***

**Riverfronte Estates NA (R)**

**3/5/07 – Recommended for facilitation –siw**

**3/6/07 – Assigned to Diane Grover.**

#### ***Advanced Planning***

The subject site is within the Coors Corridor Plan, which is currently in the process of being revised. The revisions will focus on the View Preservation policies that exist within the current plan and to adopt more design standards for the entire corridor.

The subject site is within Segment 3 of the plan, which is required to comply with the view preservation regulations. The submittal does not contain design standards that are consistent with the current Coors Corridor Plan, in relation to building height and signs. Changes to the design standards are strongly recommended in order to allow for compliance with this Plan.

### ***PUBLIC WORKS DEPARTMENT***

#### **Transportation Development (City Engineer/Planning Department):**

- All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- A Traffic Impact Study (TIS) has been submitted and reviewed by Transportation Staff.
- Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- The Traffic Impact Study is available for review by any interested party, in the office of the Traffic Engineer.
- Site plan shall comply and be designed per DPM Standards.

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**Hydrology Development (City Engineer/Planning Department):**

- The Hydrology Section has no adverse comments regarding the Site Development Plan – Building Permit request.

**Transportation Planning (Department of Municipal Development):**

- Reviewed, and no comments regarding on-street bikeways, off-street trails or roadway system facilities.

**Traffic Engineering Operations (Department of Municipal Development):**

- No comments received.

**Street Maintenance (Department of Municipal Development):**

- No comments received.

**Utility Development (Water Authority):**

- No comments received.

**Water Resources, Water Utilities and Wastewater Utilities (Water Authority):**

- No comments received.

**New Mexico Department of Transportation (NMDOT):**

- No comments received.

**RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT,  
WATER AUTHORITY and NMDOT:**

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- d. Site plan shall comply and be designed per DPM Standards.

***ENVIRONMENTAL HEALTH DEPARTMENT***

***Air Quality Division***

***Environmental Services Division***

***City Forester***

***PARKS AND RECREATION***

***Planning and Design***

Reviewed. no objection. Request does not affect our facilities.

***Open Space Division***

Open Space has no adverse comments

***POLICE DEPARTMENT/Planning***

No comment.

***SOLID WASTE MANAGEMENT DEPARTMENT***

***Refuse Division***

***FIRE DEPARTMENT/Planning***

***TRANSIT DEPARTMENT***

***COMMENTS FROM OTHER AGENCIES***

***BERNALILLO COUNTY***

***ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY***

1. No objection to EPC site development plan.
2. Approval of Grading and Drainage Plan for building permit will be required from AMAFCA.

3. Stormwater discharge to the southwest corner of the site will require a permanent outfall structure to the AMAFCA pond.

***ALBUQUERQUE PUBLIC SCHOOLS***

The proposed two-story office building on Tract 2A2C, **Black Ranch** (Paseo del Norte NW and Coors Blvd NW) will have no adverse impacts to the APS district.

***MID-REGION COUNCIL OF GOVERNMENTS***

***MIDDLE RIO GRANDE CONSERVANCY DISTRICT***

***PUBLIC SERVICE COMPANY OF NEW MEXICO***

No comment based on the information provided to date. It is the applicant's obligation to determine if utility easements cross the property and to abide by any conditions or terms of those easements.

City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: June 22, 2001

**OFFICIAL NOTIFICATION OF DECISION**

John Black  
3613 NM State Road 528 NW  
Suite H  
Albuq. NM 87114

FILE: 01114 00556/01110 00557/01128 00558  
LEGAL DESCRIPTION: for Tract 2A, 2B, 2C,  
2D, 3F1, 3G1, 3H, 3I, 3J, 3B, 3C, Black Ranch,  
located on Coors Boulevard NW between Paseo  
del Norte and Irving Boulevard, containing  
approximately 18.0356. (C-13) Deborah Stover,  
Staff Planner

On June 21, 2001, the Environmental Planning Commission voted to recommend approval to the City Council of 01114 00556, a request for annexation, for Tracts 2, 3F1, 3C1, 3H, 3I, 3J and 3B, 3C, Black Ranch, based on the following Findings:

**FINDINGS:**

1. This is a request for annexation of approximately 18 acres located on Coors Boulevard NW between Paseo del Norte and Irving Boulevard and described as Tracts 2, 3F1, 3C1, 3H, 3I, 3J and 3B, 3C, Black Ranch.
2. The subject request meets the requirements for annexation into the city because it is contiguous to City boundaries, accessible to service providers, and has convenient street access to the City.
3. The annexation request furthers the applicable Goals and policies of the *Albuquerque/Bernalillo County Comprehensive Plan* by allowing for an urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in housing, transportation, work areas and life styles.
4. The area is suitable for urban intensity as defined by its designation of Developing Urban in the *Albuquerque/Bernalillo County Comprehensive Plan*.
5. The annexation request furthers the applicable Goals and policies of the *West Side Strategic Plan* by proposing annexation that will allow for urban style services that are appropriate in the community.

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01114 00556/01110 00557/01128 00558  
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6. The annexation request furthers Policy 4 of the land use and intensity of development section of the *Coors Corridor Plan* which states that "properties under county jurisdiction, which are now surrounded by City jurisdiction, should be annexed as soon as possible.

On June 21, 2001, the Environmental Planning Commission voted to recommend approval to the City Council of 01110 00557, a request for establishment of zoning for Tracts 3F1, 3C1, 3H, 3I, 3J, 3B, 3C, Black Ranch SU-1 for C-1 Permissive Uses and Hotel not to exceed 2 stories in height, and Restaurants with Full-Service Liquor is requested for Tracts 2A, 2B and 2C, a zoning designation of RO-1 for Tract 2D, C-1 for Tract 3B, C-1 for Tract 3B, and SU-1 for C-1 for Tract 3C and O-1 for Tracts 3F1, 3G1, 3H, 3I and 3J, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for establishment of zoning for approximately 18 acres located on Coors Boulevard NW between Paseo del Norte and Irving Boulevard and described as Tracts 2, 3F1, 3C1, 3H, 3I, 3J and 3B, 3C, Black Ranch.
2. Zoning for parcels created by the accompanying site plan for subdivision is requested. SU-1 for C-1 Permissive Uses and Hotel not to exceed 2 stories in height and Restaurants with Full-Service Liquor is requested for Tracts 2A, 2B and 2C. A zoning designation of RO-1 is requested for Tract 2D. C-1 is requested for Tract 3B. O-1 is requested for Tracts 3F1, 3G1, 3H, 3I and 3J. SU-1 C-1 for Tract 3C.
3. A plat showing clear and distinct boundaries of the newly created tracts should be submitted at DRB.
4. The subject site meets the requirements of 270-1980 under the changed community conditions finding. The West Side Strategic Plan and the Paseo del Norte bridge crossing present changed conditions in the area.
5. The requested zoning meets the goals in the *Albuquerque/Bernalillo County Comprehensive Plan* by placing employment and service uses that are located to complement residential uses and sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.
6. The *Coors Corridor Plan* states that "the intensity of development shall be compatible with the roadway function, existing zoning or recommended land use, environmental concerns, and design guidelines." The proposed zoning categories are compatible with existing conditions in the area.

**CONDITIONS:**

1. The site shall be replatted to show clear and distinct boundaries of the newly created tracts.

On June 21, 2001, the Environmental Planning Commission voted to recommend approval to the City Council of 01128 00558, a request for site development plan for subdivision, for Tract 2, Black Ranch based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for approval of a site development plan for subdivision for approximately 12.5 acres located on Coors Boulevard NW between Paseo del Norte and Irving Boulevard and described as Tract 2, Black Ranch.
2. A site plan for subdivision is required for approval of SU-1 zoning.
3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating a framework for a quality urban environment that offers a choice in transportation, work areas and life styles.
4. The site development plan meets all of the requirements of the Zoning Code by specifying all of the elements of a site development plan for subdivision.
5. Design guidelines are incorporated into the site including an overall theme and land use concept, landscape design requirements, signage design requirements, and lighting design requirements.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines.

3. Design guidelines shall include off-street parking requirements and design (automobiles and bicycles), street design, transit facilities (benches, shelters, pedestrian connections), architectural design requirements (façade elements, massing, colors, materials), and pedestrian amenities (walkways, plazas, shade structures) that are consistent with EPC directives and intents.
4. Lighting:
  - a. The height of lighting fixtures is maximum height of 16 feet.
  - b. 12 feet maximum height for any security language remains on after 11:00 p.m. and it be directed towards the building and no to the neighborhood.
  - c. All lighting on the site shall be fully shielded, cutoff lighting (shoebox) to minimize fugitive lighting and the bulbs shall not extend past the housing.
5. The maximum sign area on each monument sign shall be 50 square feet on each face.
6. No outdoor loud speakers and paging systems are allowed.
7. All parking surfaces facing streets shall be screened with a minimum a 30 inch wall or landscape berm so that parking grills and headlights are shielded from the right-of-way.
8. There shall be a minimum 6-foot high, solid wall along the eastern edge of the subject site.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY **JULY 6, 2001** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

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YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,

  
For Robert R. McCabe, AIA, APA  
Planning Director

RM//ac

cc: Consensus Planning Ave. SW, Albuquerque, NM 87102  
Audre Bonadea, Paradise Hills Civic Assoc., 10137 Furman NW, Albuquerque, NM 87114  
Meredith Hughes, Paradise Hills Civic Assoc., 9908 La Paz NW, Albuquerque, NM 87114  
Marlo Peters, Riverfronte Estates NA, Inc., 9506 Kandace Dr. NW, Albuquerque, NM 87114  
Gary Plante, Riverfronte Estates NA, Inc., 1692 Pace Rd. NW, Albuquerque, NM 87114  
Rick Lackey, Taylor Ranch NA, 2001 Carlisle NE, Albuquerque, NM 87110  
Jerry Beck, Taylor Ranch NA, 8201 Golf Course Rd. NW, Suite D-3, Albuquerque, NM 87120  
Mrs. Ginger Carman, 7201 Central Ave. NW, Albuquerque, NM 87121  
Sylvain Segal, 6201 Uptown Blvd. NE, Albuquerque, NM 87110  
Ginger Carman, 1728 Rusty Rd. NW, Albuquerque, NM 87114  
Susan Fox, P.O. Box 1888, Albuquerque, NM 87102  
John Marach, 3613 NM State Highway 528, Albuquerque, NM 87114

**Project # 1005396**  
07EPC-00226 EPC Site Development Plan-  
Building Permit

ANISSA CONSTRUCTION, INC. agents for M& F AUTO request the above action for all or a portion of Tract A-26-B-1, **Cacy Subdicion**, zoned SU-1 for C-2 Uses, located on COORS BLVD. NW, between QUAIL RD. NW and PHEASANT AVENUE , containing approximately 3 acres. (G-11) Catalina Lehner, Staff Planner

**Project # 1000365**  
07EPC-00241 Zone Map Amendment  
07EPC 00284 Site Development Plan -  
Subdivision

MASTERWORKS ARCHITECTS INC. agents for TAN VAN HUYNH request the above actions for all of Lots 2-4 & 19-21, **Unity Addition**, a zone map amendment from SU-1/C-1 Vehicle Sales to R-LT, located on RHODE ISLAND ST. SE, between CENTRAL AVE. and ZUNI ROAD, containing approximately 1 acre. (K-19) Anna DiMambro, Staff Planner

**Project # 1000363**  
07EPC-00244 EPC Site Development Plan-  
Building Permit

STUDIO SW ARCHITECT agents for CITY OF ALBUQUERQUE/DMD request the above action for all or a portion of Tract G-1, **Balloon Fiesta Park**, zoned SU-2 for Balloon Park & Museum & Related Uses, located on BALLOON MUSEUM DR. NE, between Jefferson St. NE and Alameda Blvd. NE, containing approximately 2 acres. (B-17) Carol Toffaleti, Staff Planner

**Project # 1001206**  
07EPC-00246 EPC Site Development Plan-  
Building Permit

CONSENSUS PLANNING, INC. agents for ALFRED SANCHEZ III request the above action for all or a portion of Tract 2A2C, **Black Ranch**, zoned SU-1 for C-1 Permissive, located east of COORS NW, between PASEO DEL NORTE NW and IRVING NW, containing approximately 2 acres. (C-13) Anna DiMambro, Staff Planner

**Project # 1000762**  
07EPC-00255 Zone Map Amendment

GOLDEN ASSOCIATES LLC agents for FIRST BAPTIST CHURCH request the above action for all or a portion of Tracts B1A, C1A and B, **Richland Hills**, a zone map amendment from SU-1 PDA to include C-3 Uses to SU-1 IP Uses w/Exceptions, located on PASEO DEL NORTE NW, between RICHLAND HILLS ROAD NW and EAGLE RANCH ROAD NW, containing approximately 2.5 acres. (C-12) Stephanie Shumsky, Staff Planner

**Project # 1005408**  
07EPC-00256 Sector Development Plan Map  
Amendment

JOSHUA SKARSGARD agents for CIBOLA ENERGY CORPORATION request the above action for all or a portion of Lots 19-21, **Perea Addition**, a Sector Development Plan Map amendment from SU-2 TH to SU-2 CC, located on CENTRAL NW, between 14TH ST. NW and LAGUNA BLVD. NW, containing approximately 1 acre. (J-13) Carol Toffaleti, Staff Planner

Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00 and between 2:00 and 4:00 p.m., Monday through Friday, or you may call April Candelaria at 924-3886. **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at the public hearing should contact April Candelaria 924-3886.

Jeff Jesionowski, Chairman  
Environmental Planning Commission

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL March 28, 2007.**

APPROVED



Carmen Marrone, Senior Planner  
Planning Department

**CITY OF PLANNING  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** APRIL 19,2007  
**Zone Atlas Page:** C-13  
**Notification Radius:** 100 Ft.

**Project# 1001206  
App#07EPC-00246**

**Cross Reference and Location: VALLEY VIEW DRIVE NW BETWEEN PASEO  
DEL NORTE NW AND VALLEY VIEW PLACE NW**

**Applicant:** ALFRED SANCHEZ III  
3809 ATRISCO DRIVE NW STE A  
ALBUQUERQUE, NM 87120

**Agent:** JOYCE JORDAN  
CONSENSUS PLANNING INC  
302 8<sup>TH</sup> ST NW  
ALBUQUERQUE, NM 87102

**Special Instructions:**

**Notice must be mailed from the  
City's 20 day's prior to the meeting.**

**Date Mailed:** MARCH 28, 2007  
**Signature:** ERIN TREMLIN

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

<b>SUBDIVISION</b>	<b>S Z ZONING &amp; PLANNING</b>
___ Major Subdivision action	___ Annexation
___ Minor Subdivision action	___ County Submittal
___ Vacation	<b>V</b> ___ EPC Submittal
___ Variance (Non-Zoning)	___ Zone Map Amendment (Establish or Change Zoning)
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b> ___ Sector Plan (Phase I, II, III)
___ for Subdivision Purposes	___ Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit	___ Text Amendment (Zoning Code/Sub Regs)
___ IP Master Development Plan	___ Street Name Change (Local & Collector)
___ Cert. of Appropriateness (LUCC)	<b>L A APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE</b>	<b>D</b> ___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
___ Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Alfred Sanchez III PHONE: 505-385-6330  
 ADDRESS: 3809 Atrisco Drive NW, Suite A FAX: 505-833-4574  
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: onetripper@aol.com  
 Proprietary interest in site: owner List all owners: \_\_\_\_\_  
 AGENT (if any): Consensus Planning, Inc. PHONE: 505-764-9801  
 ADDRESS: 302 8th Street NW FAX: 505-842-5495  
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

DESCRIPTION OF REQUEST: Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? \_\_\_ Yes  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 2A2C Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv / Addn. Black Rancho  
 Current Zoning: SU-for C-1 permissive Proposed zoning: na  
 Zone Atlas page(s): C-13-Z No. of existing lots: 1 No. of proposed lots: 1  
 Total area of site (acres): 1.05 Density if applicable: dwellings per gross acre: na dwellings per net acre: na  
 Within city limits?  Yes No \_\_\_ , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? \_\_\_\_\_  
 UPC No. 10 306430628810404 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: Valley View Drive NW  
 Between Paseo del Norte NW and Valley View Place NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX\_Z, V, S, etc.): \_\_\_\_\_

Project # 1001206

Check-off if project was previously reviewed by Sketch Plan/Plan? \_\_\_ or Pre-application Review Team? \_\_\_ Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 3/1/07  
 (Print) James K. Storz, MSCP Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07EP2</u> <u>00246</u>	<u>SBP</u>	<u>PL</u>	\$ <u>385.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>50.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>ADU</u>		\$ <u>75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft. of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>4-14-07</u>			\$ <u>510.00</u>

[Signature]

Project # 1001206

**FORM P(1): SITE PLAN REVIEW – E.P.C. PUBLIC HEARING**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**IP MASTER DEVELOPMENT PLAN**

- \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.  
For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
  - \_\_\_ Site plans and related drawings reduced to 8.5" x 11" format
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Completed Site Plan for Subdivision and/or Building Permit Checklist
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ TIS/AQIA Traffic Impact Study form with required signature
  - \_\_\_ Fee (see schedule)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **30** copies for EPC public hearings.
- Site plans and related drawings reduced to 8.5" x 11" format
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision and/or Building Permit Checklist
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

**NOTE:** For wireless telecom facilities (administrative reviews that have been referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:

- \_\_\_ Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
  - \_\_\_ Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
  - \_\_\_ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
  - \_\_\_ Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
  - \_\_\_ Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
  - \_\_\_ Registered Engineer's stamp on the Site Development Plans
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
  - \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
  - \_\_\_ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30** copies for EPC public hearings
  - \_\_\_ Site plans and related drawings reduced to 8.5" x 11" format
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - \_\_\_ TIS/AQIA Traffic Impact Study form with required signature
  - \_\_\_ Fee (see schedule)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozio, AICP  
Applicant name (print)

[Signature] 3/1/67  
Applicant signature / date



Form revised October 2004

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers	
07EPC	-00246
-	-
-	-

[Signature]  
Planner signature / date

**Project # 1001206**

REC	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP CODE	PROPERTY CLASS	TAX DISTRICT	LEGAL
1	101306 434132 110407	BLACK ALBERT J & MARY JANE RVT % ROLF BLACK CO-TRUSTEE RVT	10416 MORNING STAR NE	ALBUQUERQUE	NM	87111	V	A1A	TR 3F-1-A TRACTS 2-A-1, 2-A-2, 2-A-3, 3E-1-A, 3F-1-A & 3G-1-A BLACK RANCH BEING A REPLAT OF TRACTS 2-A, 3E-1, 3F-1 AND 3G-1 BLACK RANCH CONT 8834 AC
2	101306 431233 410416	WWB LLC	6121 INDIAN SCHOOL RD NE SUITE 215	ALBUQUERQUE	NM	87110	C	A1A	TR 2-A-1 PLAT OF TRACTS 2-A-1, 2-A-2, 2-A-3, 3E-1-A, 3F-1-A AND 3G-1-A BLACK RANCH BEING A REPLAT OF TRACTS 2-A, 3E-1, 3F-1 AND 3G-1 BLACK RANCH CONT 1.4565 AC
3	101306 432734 810415	WWB LLC	6121 INDIAN SCHOOL RD NE SUITE 215	ALBUQUERQUE	NM	87110	C	A1A	TR 3E-1-A TRACTS 2-A-1, 2-A-2, 2-A-3, 3E-1-A, 3F-1-A & 3G-1-A BLACK RANCH BEING A REPLAT OF TRACTS 2-A, 3E-1, 3F-1 AND 3G-1 BLACK RANCH CONT 1.0359 AC
4	101306 427526 810401	AMAFCA	2600 PROSPECT NE	ALBUQUERQUE	NM	87107	V	A1A	TR 2-B BULK LAND PLAT TRACTS 2-A & 2-B BLACK RANCH BEING A SUBDIVISION PLAT FOR UNPLATTED TRACT 2 BLACK RANCH CONT 6.8009 AC
5	101306 432224 210812	SCHOLLANDER KEITH D JR & MARTINEZ EDWARD M	956 CURFMAN	LOS UNAS	NM	87031	V	A1A	LT 30 PLAT OF BLACK FARM ESTATES UNIT 2 (BEING A REPLAT OF TRACT 12-A & 12-B PARTITION OF THE BLACK RANCH) CONT 2.6112 AC
6	101306 436924 810813	ALVARADO MESHACH & ALMA	5104 IRVING BLVD NW	ALBUQUERQUE	NM	87144 675	V	A1A	LT 31 PLAT OF BLACK FARM ESTATES UNIT 2 (BEING A REPLAT OF TRACT 12-A & 12-B PARTITION OF THE BLACK RANCH) CONT 1.8370 AC
7	101306 432926 210811	SCHOLLANDER KEITH D JR & MARTINEZ EDWARD M	956 CURFMAN SW	LOS UNAS	NM	87031	V	A1A	LT 29 PLAT OF BLACK FARM ESTATES UNIT 2 (BEING A REPLAT OF TRACT 12-A & 12-B PARTITION OF THE BLACK RANCH) CONT 1.2064 AC
8	101306 436226 510814	DEWALL EUGENE C & JUDITH D	530 GREEN ACRES LN	BOSQUE FARMS	NM	87068	V	A1A	LT 32 PLAT OF BLACK FARM ESTATES UNIT 2 (BEING A REPLAT OF TRACT 12-A & 12-B PARTITION OF THE BLACK RANCH) CONT 1.0671 AC
9	101306 432630 910405	BLACK A WADE & JOHN F BLACK CO-TRUSTEES ALBERT J & MARY J BLACK REVOCABLE TRUST	3613 ST HWY 528 SUITE H	ALBUQUERQUE	NM	87114	V	A1A	TR 2-A-3 TRACTS 2-A-1, 2-A-2, 2-A-3, 3E-1-A, 3F-1-A & 3G-1-A BLACK RANCH BEING A REPLAT OF TRACTS 2-A, 3E-1, 3F-1 AND 3G-1 BLACK RANCH CONT 1.0507 AC
10	101306 428429 710402	SPECTRUM ABQ LLC	27111 ALISO CREEK RD 196	ALISO VIEJO	CA	92656	C	A1A	TR 2-A-2-B PLAT OF TRACTS 2-A-2-A, 2-A-2-B & 2-A-2-C BLACK RANCH BEING A REPLAT OF TRACT 2-A-2 BLACK RANCH CONT 9415 AC
11	101306 429431 410403	PATTEN WEST LLC	9310 COORS BLVD NW	ALBUQUERQUE	NM	87114	C	A1A	TR 2-A-2-A PLAT OF TRACTS 2-A-2-A, 2-A-2-B & 2-A-2-C BLACK RANCH BEING A REPLAT OF TRACT 2-A-2 BLACK RANCH CONT 1.5249 AC
12	101306 430628 810404	SANCHEZ ALFRED D JR % ADS MORTG CORP	3809 ATRISCO DR NW SUITE C	ALBUQUERQUE	NM	87120	V	A1A	TR 2-A-2-C PLAT OF TRACTS 2-A-2-A, 2-A-2-B & 2-A-2-C BLACK RANCH BEING A REPLAT OF TRACT 2-A-2 BLACK RANCH CONT 1.0475 AC

1 3	101306 433727 810810	BLACK FARMS LLC	4902 ALAMED A BLVD NE	ALBU QUER QUE	N M	871 13	V	A1 A	LT 28 PLAT OF BLACK FARM ESTATES UNIT 2 (BEING A REPLAT OF TRACT 12- A & 12- B PARTITION OF THE BLACK RANCH) C ONT 1.0164 AC
1 4	101306 435028 910809	BROOKS BRANDON & AMBER & BROOKS M ARY C	9619 STONE NW	ALBU QUER QUE	N M	871 14	V	A1 A	LT 27 PLAT OF BLACK FARM ESTATES UNIT 2 (BEING A REPLAT OF TRACT 12- A & 12- B PARTITION OF THE BLACK RANCH) C ONT .8130 AC
1 5	101306 438229 710131	BLACK FARMS ESTAT ES HOMEOWNERS AS SOC	4902 ALAMED A BLVD NE	ALBU QUER QUE	N M	871 13	V	A1 AM	TR B PLAT OF BLACK FARM ESTATES UNIT 2 (BEING A REPLAT OF TRACT 12- A & 12- B PARTITION OF THE BLACK RANCH) C ONT 2.1511 AC

Or Current Resident  
AMAFCA  
2600 PROSPECT NE  
ALBUQUERQUE, NM 87107

Or Current Resident  
SANCHEZ ALFRED D JR  
ADS MORTG CORP  
3809 ATRISCO DR NW SUITE C  
ALBUQUERQUE, NM 87120

Project# 1001206  
JANICE TORREZ  
Riverfronte Estates N.A.  
1614 TRAVIS RD NW  
ALBUQUERQUE, NM 87114

Or Current Resident  
BLACK A WADE & JOHN F BLACK  
CO-TRUSTEES ALBERT J & MARY J  
BLACK REVOCABLE TRUST  
3613 ST HWY 528 SUITE H  
ALBUQUERQUE, NM 87114

Or Current Resident  
SPECTRUM ABQ LLC  
27111 ALISO CREEK RD 196  
ALISO VIEJO, CA 92656

Project# 1001206  
MARK MCNEIL  
Riverfronte Estates N.A.  
1610 LYRIA RD NW  
ALBUQUERQUE, NM 87114

Or Current Resident  
PATTEN WEST LLC  
9310 COORS BLVD NW  
ALBUQUERQUE, NM 87114

Project# 1001206  
JOYCE JORDAN  
Consensus Planning, Inc.  
302 8<sup>th</sup> ST NW  
ALBUQUERQUE, NM 87102

Or Current Resident  
ALVARADO MESHACH & ALMA  
5104 IRVING BLVD NW  
ALBUQUERQUE, NM 87114 4675

Or Current Resident  
BROOKS BRANDON & AMBER &  
BROOKS MARY C  
9619 STONE NW  
ALBUQUERQUE, NM 87114

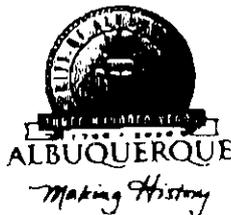
Or Current Resident  
BLACK ALBERT J & MARY JANE RVT  
% ROLFE BLACK CO-TRUSTEE RVT  
10416 MORNING STAR NE  
ALBUQUERQUE, NM 87111

Or Current Resident  
DEWALL EUGENE C & JUDITH D  
530 GREEN ACRES LN  
BOSQUE FARMS, NM 87068

Or Current Resident  
BLACK FARMS ESTATES  
HOMEOWNERS ASSOC  
4902 ALAMEDA BLVD NE  
ALBUQUERQUE, NM 87113

Or Current Resident  
SCHOLLANDER KEITH D JR &  
MARTINEZ EDWARD M  
956 CURFMAN SW  
LOS LUNAS, NM 87031

WWB LLC  
6121 INDIAN SCHOOL RD NE SUITE  
215  
ALBUQUERQUE, NM 87110



# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: February 27, 07

TO CONTACT NAME: Joyce Jordan  
 COMPANY/AGENCY: Consensus Planning  
 ADDRESS/ZIP: 302 8th St. NW - 87102  
 PHONE/FAX #: 764-9801 (Fax-842-5495)

Thank you for your inquiry of 2-27-07 (date) requesting the names of **Recognized**

**Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at Black Ranch Tract 2A2C located on Valley View Dr. between Paseo del Norte and Valley View Place zone map page(s) C-13

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Riverfronte Estates NA.  
 Neighborhood Association

Contact: Janice Torres  
1614 Travis Rd NW / 87114  
877-208241  
Mark McNeil  
1610 Lydia Rd NW / 87114  
899-4971 (h) 797-4400 (w)

Neighborhood Association

Contact: \_\_\_\_\_

**See reverse side for additional Neighborhood Association Information: YES ( ) NO (X)**

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL. RETURN RECEIPT REQUESTED. BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaine Carmone  
 OFFICE OF NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.

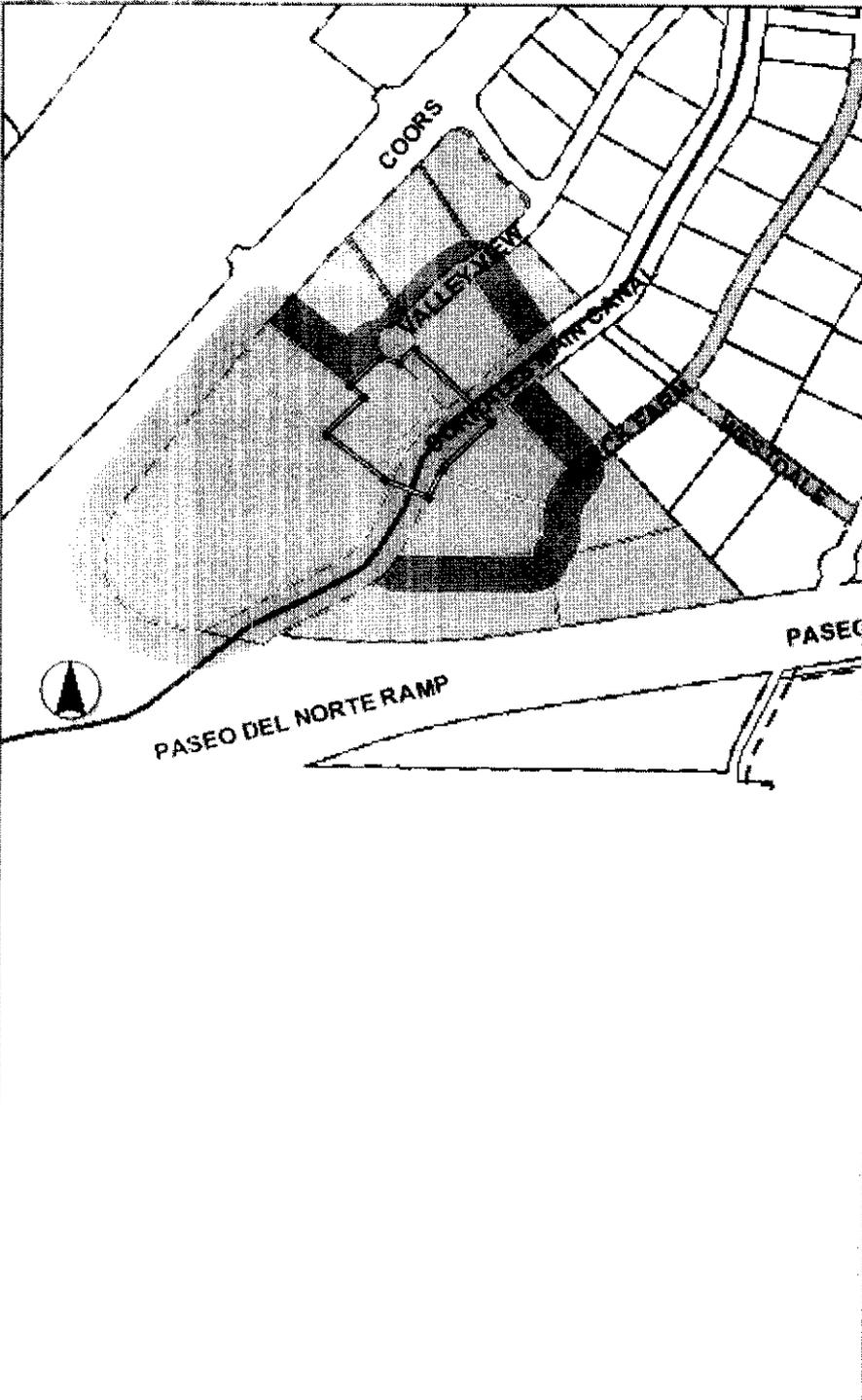




**CITY OF ALBUQUERQUE**  
www.cabq.gov

# ALBUQUERQUE GIS DATA WEBSITE





**LAYERS**

- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
- MUNICIPAL LIMIT
- ZONE GRID
- NEIGHBORHOODS
- METRO DEV AREA
- DASZ
- DESIGN OVERLAY
- POLICE BEATS
- COUNCIL
- PARKS
- PETROGLYPH MNT
- BOSQUE SECTORS
- OPENSACE
- COMP PLAN
- AREA PLANS
- SECTOR PLANS
- SENATE DISTRICT
- REP. DISTRICTS
- PLANNING AREAS
- HISTORIC ZONES
- CORRIDORS
- ZIPCODES
- POVERTY POCKET
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
  - 2006 AIR PHOTO
  - 2004 AIR PHOTO
  - 2002 AIR PHOTO
  - 1999 AIR PHOTO

**OWNERSHIP**

Rec	UPC CODE	OWNER
1	101306434132110407	BLACK ALBERT J & MARY JANE RVT % ROLFE BLACK CO-TRUSTEE RVT
2	1013064341322410416	WAMP LLC

Pan

[SEARCH CONTACT](#)

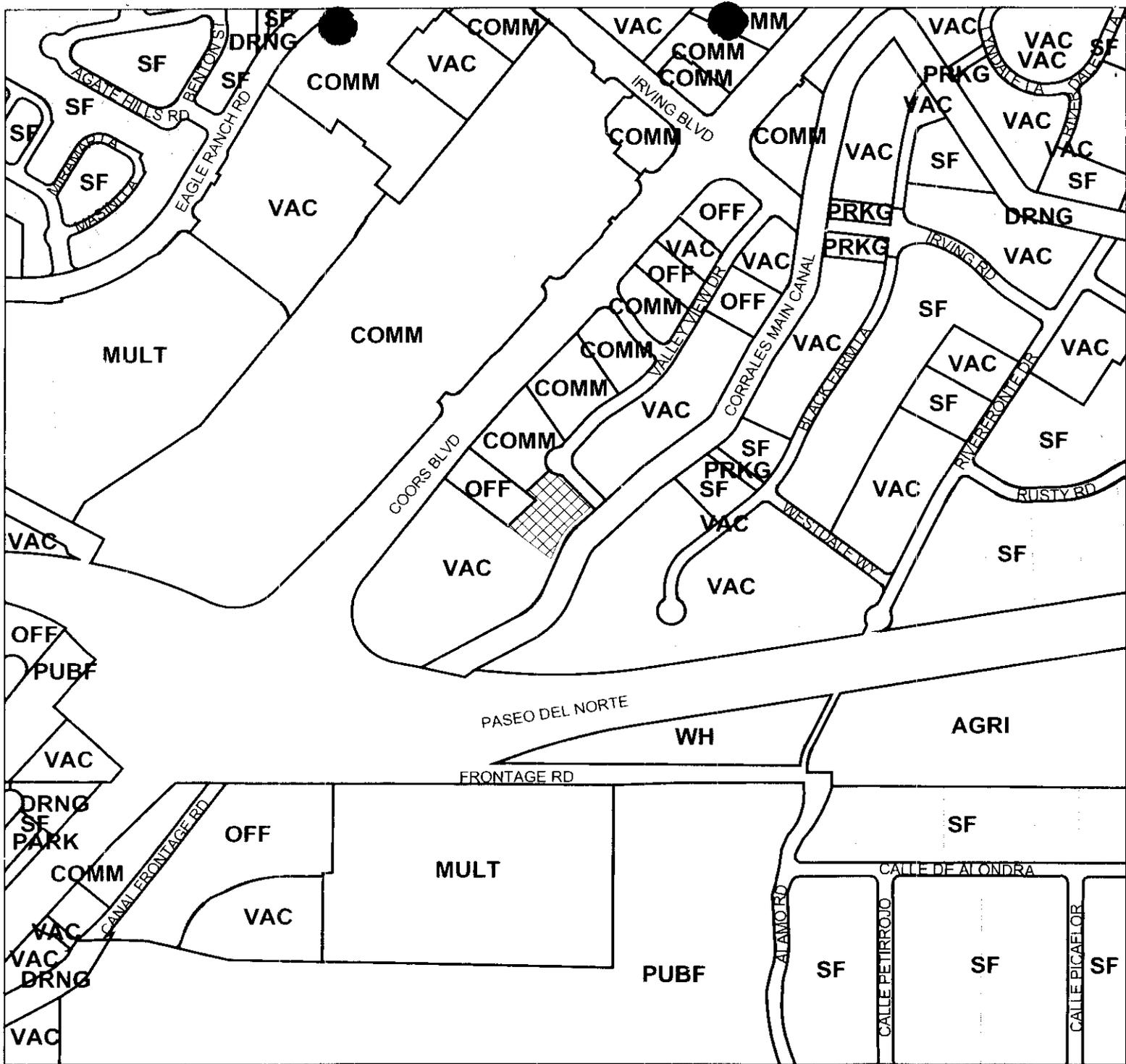
[REFRESH](#)

[HELP](#)

[INDEX PAGE](#)

[Refresh Map](#)

Auto Refresh



# LAND USE MAP

Note: Grey shading indicates County.

## KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial - Retail
- DRNG Drainage
- MFG Manufacturing or Mining
- MULT Multi-Family or Group Home
- OFF Office
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



1 inch equals 500 feet

Project Number:  
1001206

Hearing Date:  
4/19/2007

Zone Map Page:  
C-13

Additional Case Numbers:  
07EPC-00246





## Environmental Planning Commission

Agenda Number: 17  
Project Number: 1001206  
Case #: 07EPC 00246  
May 17, 2007

### Supplemental Staff Report

<b>Agent</b>	Consensus Planning, Inc.
<b>Applicant</b>	Alfred Sanchez III
<b>Request(s)</b>	<b>Site Development Plan for Building Permit</b>
<b>Legal Description</b>	Lot 2A2C, Black Ranch
<b>Location</b>	Valley View Drive NW, between Paseo del Norte NW and Valley View Place NW
<b>Size</b>	Approximately 1 acre
<b>Existing Zoning</b>	SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-service Liquor
<b>Proposed Zoning</b>	Same

### Staff Recommendation

**APPROVAL** of 07EPC 00246, based on the findings on pages 3-6, and subject to the conditions of approval on pages 7-8.

*Staff Planner*

*Anna DiMambro, Planner*

### Summary of Analysis

This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The applicant proposes to construct a 2-story 16,000 square foot office building. The site is approximately 1 acre and is zoned SU-1 for C-1 Permissive Uses. . . . It is located in the Developing Urban area within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site.

This is an addendum to the original staff report, which is attached. This case was deferred by the EPC from the April 19, 2007 hearing to allow the applicant time to explore alternatives to reduce the building's intrusion into the view plane. The applicant has been able to lower the building and reduce its size.

The request meets the intent of most policies of the Comprehensive Plan, the West Side Strategic Plan, and the Coors Corridor Plan, and complies with most regulations of the Coors Corridor Plan and the Zoning Code.

Staff recommendation is for approval with conditions.



City Departments and other interested agencies reviewed this application from 3/5/2007 to 3/16/2007. Agency comments were used in the preparation of this report and begin on page 18 of the April staff report.

*May 17, 2007*

**Page 1**

---

***New Information***

This is an addendum to the original staff report of April 19, 2007, which is attached. The EPC voted to defer this case for 30 days to the May 17, 2007 hearing to allow the applicant time to address several outstanding issues that were conditions of approval in the original staff report. The EPC also strongly desired more information from the applicant demonstrating a hardship that would allow a variance from Coors Corridor view plane height restrictions.

The applicant has provided a revised site development plan addressing many of the conditions of approval that were recommended in the April staff report. The applicant has also reduced the square footage of the building and has been able to lower the grade of the site by 2.35 feet in an attempt to reduce intrusion into the view plane.

The applicant has requested that he not be required to bring the building closer to Valley View Drive and locate a portion of the parking area to the rear of the building. The reason is that the building's current location is the lowest point on the site. Relocating the building closer to Valley View Drive will further exacerbate the building's intrusion into the view plane. Staff is in agreement with the applicant's argument.

The applicant is also requesting not to comply with wall requirements of the governing site plan for subdivision, which requires a minimum 6' wall along the eastern edge of the site. The applicant would like to reduce the wall adjacent to the parking area to 3' and would like to entirely eliminate the wall adjacent to the building. The applicant has provided the reasoning that the intent of the wall is to protect the residences located on the other side of the Corrales Main Canal. Those residences are at a much lower grade than the subject site, and the applicant maintains that a 6' wall as viewed from those residential properties would appear extremely high and that a 3' wall would provide adequate parking screening. The applicant also asserts that the wall located adjacent to the building would screen the residences only from the building's wall and the patio. Staff finds that the building is well designed and adequately landscaped and would provide a more aesthetic view from the residences than a 6' CMU wall.

The applicant has contacted the Riverfronte Estates Neighborhood Association at staff's request. The Association stated that they are not opposed to the request to lower the parking screen wall and eliminate the wall adjacent to the building. Staff has also contacted the Neighborhood Association to request a letter stating that there is no objection to the wall changes. The representative has stated that she will submit a letter. Since the Neighborhood Association has no objection, staff finds that this is a reasonable request.

In addition, the applicant would like to provide a 6' landscaping buffer adjacent to the parking area along the east edge of the site. This is contrary to the site plan for subdivision, which requires a 10' landscaping buffer along the east edge of the site. The required buffer area is provided adjacent to the building. The applicant states that an additional 4' of landscaping is not necessary in this case. He asserts that the intent of the landscape buffer is to protect the residences east of the Corrales Main Canal, and that the 100' wide canal along with the proposed parking screen wall are adequate to protect the residences.

An outstanding issue regarding this proposal is free-standing signage. A discussion of this issue is presented on page 10 of the April 19, 2007 staff report. The original submittal showed a small monument sign mounted to the parking screen wall. The most recent submittal shows four concrete tenant signs integrated into the structure of the wall. Staff recommends that these signs be limited to two, as the site development plan for subdivision requires.

There is no known opposition to this request.

Staff recommendation is for approval with conditions.

---

***FINDINGS – 07EPC 00246, May 17, 2007 – Site Development Plan for Building Permit***

1. This is a request for approval of a site development plan for building permit for Tract 2A2C, Black Ranch, an approximately 1 acre site located northeast of the intersection of Paseo del Norte and Coors Boulevard NW on Valley View Drive. The applicant proposes to construct a two-story 16,000 square foot office building
  
2. The subject site is located in the area designated Developing Urban by the Comprehensive plan and within the boundaries of the West Side Strategic Plan and the Coors Corridor Plan. A site development plan for subdivision with design standards and guidelines also governs the site (01EPC 00558).
  
3. The request furthers the following Comprehensive Plan policies:
  - a. Policy 2.B.5.d: The location, intensity, and design of the proposed development respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.
  
  - b. Policy 2.B.5.e: The subject site is contiguous to existing urban facilities. Site plan review will ensure that the integrity of existing neighborhoods can be ensured.
  
  - c. Policy 2.B.5.g: This site contains no significant topographical features. It is adjacent to the Corrales Main Canal.
  
  - d. Policy 2.B.5.i: The proposed office building will be located convenient to residential areas. Site plan review will ensure that adverse effects of noise, lighting, pollution, and traffic on residential environments are minimized.
  
  - e. Policy 2.B.5.l: The high-quality, innovative office building proposed in this submittal is appropriate to the Plan area and complies with the site plan for subdivision design standards.
  
  - f. Policy 2.B.5.m: Site plan review and regulations of the Coors Corridor Plan will ensure that unique vistas are maintained and that the quality of the visual environment is enhanced.



- g. Issue 4, B, Policy 7: Separate pedestrian and vehicular access is provided.
  - h. Issue 4, B, Policy 9: Site area lighting, including parking area lighting, is carefully designed and located to minimize glare on public right-of-way and adjacent premises.
  - i. Issue 4, B, Policy 10: Architectural design contributes to the enhancement and overall visual environment of the Coors Corridor.
  - j. Issue 4, D: Signage complements the appearance and function of the roadway and the corridor while protecting the unique views beyond the corridor.
7. This request is in justifiable conflict with the following Coors Corridor Plan policies:
- a. Issue 4, A, Policy 2: The applicant has submitted a view analysis that shows that the proposed building's maximum height will interfere with views. The applicant has demonstrated that a hardship exists that allows a variance from the view plane height restrictions.
  - b. Issue 4, B, Policy 2: The building is not located to provide a pleasing and functional relationship to the roadway and to adjacent or related buildings and structures. However, the building does have a pleasing relationship to the Corrales Main Canal. The applicant has also shown that locating the building to further this policy would increase the conflict with Coors Corridor Plan policies for view preservation.
  - c. Issue 4, B, Policy 5: Off-street parking facilities are not located to the rear of this site. Street frontage is not devoted to building architecture and landscaping. The applicant has shown that locating the parking to further this policy would increase the conflict with Coors Corridor Plan policies for view preservation.
  - d. Issue 4, B, Policy 6: This commercial site has not been designed so that a portion of the building is located near the street perimeter. The applicant has shown that locating the building to further this policy would increase the conflict with Coors Corridor Plan policies for view preservation.
  - e. Issue 4, C, Policy 1: The applicant has submitted a view analysis that shows conflict with Coors Corridor view plane building height requirements. The applicant has demonstrated

hardship to obtain a variance from this requirement, and has submitted a letter justifying this hardship.

8. The applicant has justified conflicts with the governing site development plan for subdivision's design standards:
  - a. Design standards require a 6' wall along the eastern edge of the site with the intent of protecting the residences east of the Corrales Main Canal. The applicant has demonstrated that a 3' parking screening wall is adequate for protection of the residential area and that the building and patio area do not require screening.
  - b. Design standards require a 10' landscape buffer along the eastern edge of the site. The applicant has demonstrated that a 6' landscape buffer adjacent to the parking area is adequate for protection of the residential area due to the approximately 100' wide canal separating the residences from the subject site and the proposed 3' parking screen wall.
  - c. The Riverfronte Estates Neighborhood Association has submitted a letter stating that they are not opposed to the requested noncompliance with the wall standards of the site development plan for subdivision.
9. The applicant has demonstrated that hardship exists because the governing site development plan for subdivision for the subject site was approved by the Environmental Planning Commission and identified the subject site as appropriate for a two-story hotel. Topographic and engineering/infrastructure constraints affect the subject property. Therefore, it is appropriate to grant a variance to the View Plane and Building Height regulation of the Coors Corridor Plan based upon these constraints.
10. Since the April 19, 2007 Environmental Planning Commission hearing, the applicant has reduced the proposed building's size and has lowered the site 2.35' to reduce intrusion into the view plane as described by the Coors Corridor Plan.
11. There is no known opposition to this request.

***RECOMMENDATION - 07EPC 00246, May 17, 2007 – Site Development Plan for Building Permit***

**APPROVAL of 07EPC 00246, a request for approval of a Site Development Plan for Building Permit, for Lot 2A2C, Black Ranch, zoned SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-stories in Height and Restaurants with Full-Service Liquor, based on the preceding Findings and subject to the following Conditions of Approval.**

***CONDITIONS OF APPROVAL - 07EPC 00246, May 17, 2007 – Site Development Plan for Building Permit***

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered.
4. The applicant shall demonstrate how the Energy Management Goal, Section II.D.3 of the Comprehensive Plan, is furthered.
5. City Engineer conditions:
  - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards.

Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).

- c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
  - d. Site plan shall comply and be designed per DPM Standards.
6. The applicant shall list the colors to be used for the dumpster enclosure on the site plan.
7. Landscaping:
- a. Scotch Broom shall be replaced with Lena's Broom or Burkwoodii Broom.
  - b. Threadgrass shall be replaced with Indian Rice Grass or Deergass.
  - c. Plant beds shall achieve 80% live ground cover.
  - d. Add note to tree planting diagram stating: Prior to backfilling tree, all wire, rope, and synthetic materials shall be removed from the tree and the planting pit. All burlap shall be cup away except from bottom of rootball.
8. The applicant shall revise wall design to comply with Zoning Code wall design regulations in Section 14-16-3-19.
9. The applicant shall provide security lighting for the front of the building and the patio.
10. Signage:
- a. East-facing signage shall not be lit.

- b. Monument signs shall comply with site development plan for subdivision standards, which limit the subject site to two freestanding signs.
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*Anna DiMambro*

**Anna DiMambro  
Planner**

cc: Alfred Sanchez III, 3809 Atrisco Dr. NW, Suite A, Albuquerque, NM 87120  
Consensus Planning, Inc., 302 8<sup>th</sup> St. NW, Albuquerque, NM 87102  
Janice Torrez, Riverfronte Estates NA, 16114 Travis Rd. NW, Albuquerque, NM 87114  
Mark McNeil, Riverfronte Estates NA, 1610 Lyria Rd. NW, Albuquerque, NM 87114

***Attachments***





- 1. The Architect shall provide all professional services necessary to prepare and submit to the City of Alameda, California, all documents and information required for the issuance of a building permit for the proposed project.
- 2. The Architect shall coordinate with the City of Alameda, California, and the Alameda Fire Department, to ensure that all applicable codes and regulations are met.
- 3. The Architect shall provide all necessary calculations, drawings, and specifications to support the proposed project.
- 4. The Architect shall provide all necessary information to support the proposed project, including but not limited to, site plans, floor plans, and elevations.
- 5. The Architect shall provide all necessary information to support the proposed project, including but not limited to, structural calculations, mechanical, electrical, and plumbing (MEP) systems, and fire safety systems.
- 6. The Architect shall provide all necessary information to support the proposed project, including but not limited to, energy efficiency calculations, and sustainability measures.
- 7. The Architect shall provide all necessary information to support the proposed project, including but not limited to, accessibility requirements, and universal design principles.
- 8. The Architect shall provide all necessary information to support the proposed project, including but not limited to, historical preservation requirements, and cultural resources.
- 9. The Architect shall provide all necessary information to support the proposed project, including but not limited to, environmental impact assessments, and air quality studies.
- 10. The Architect shall provide all necessary information to support the proposed project, including but not limited to, traffic impact studies, and parking requirements.
- 11. The Architect shall provide all necessary information to support the proposed project, including but not limited to, noise and vibration studies, and sound barrier requirements.
- 12. The Architect shall provide all necessary information to support the proposed project, including but not limited to, geotechnical investigations, and foundation design.
- 13. The Architect shall provide all necessary information to support the proposed project, including but not limited to, hydrological studies, and stormwater management systems.
- 14. The Architect shall provide all necessary information to support the proposed project, including but not limited to, utility studies, and utility relocation requirements.
- 15. The Architect shall provide all necessary information to support the proposed project, including but not limited to, utility easements, and utility encroachments.
- 16. The Architect shall provide all necessary information to support the proposed project, including but not limited to, utility relocation costs, and utility relocation schedules.
- 17. The Architect shall provide all necessary information to support the proposed project, including but not limited to, utility relocation permits, and utility relocation agreements.
- 18. The Architect shall provide all necessary information to support the proposed project, including but not limited to, utility relocation drawings, and utility relocation specifications.
- 19. The Architect shall provide all necessary information to support the proposed project, including but not limited to, utility relocation construction, and utility relocation completion.
- 20. The Architect shall provide all necessary information to support the proposed project, including but not limited to, utility relocation maintenance, and utility relocation monitoring.

**Notes:**

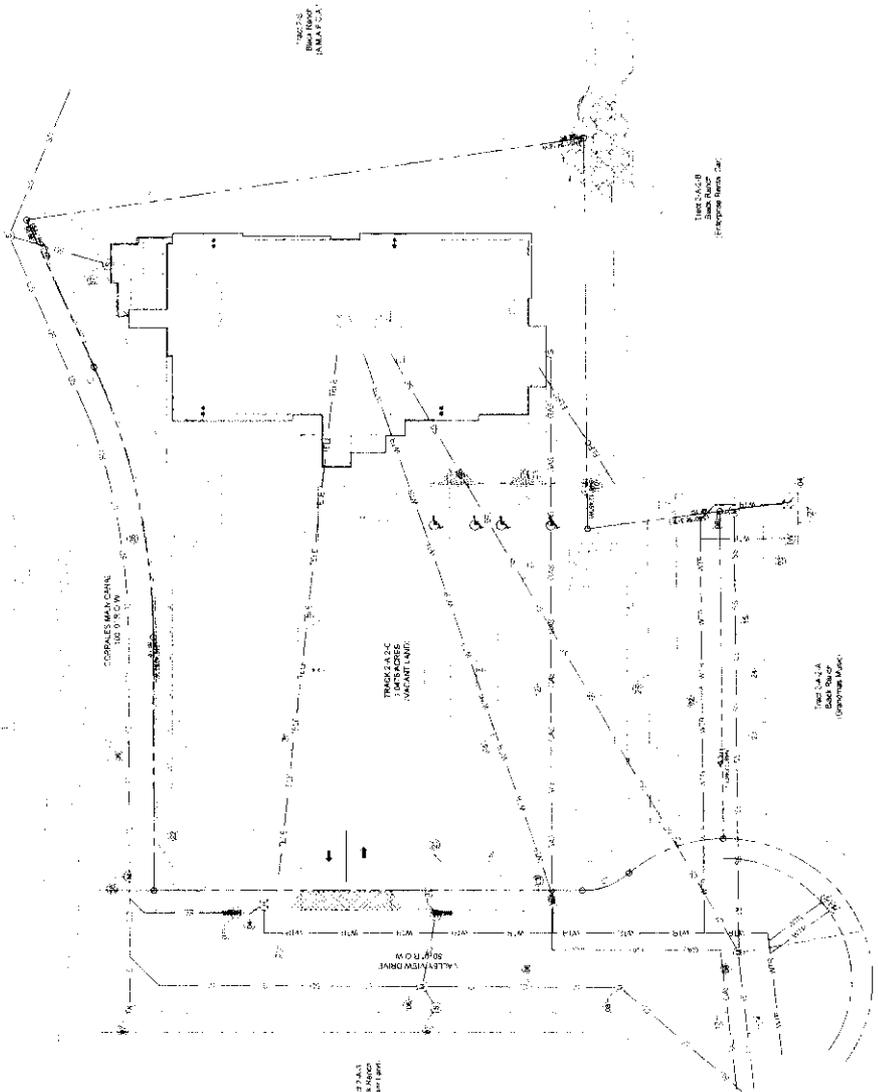
1. See the General Notes.
2. See the Schedule of Values.
3. See the Specifications.
4. See the Drawings.
5. See the Conditions of Contract.
6. See the Addendum.
7. See the Request for Proposal.
8. See the Invitation to Bid.
9. See the Bid Form.
10. See the Bid Schedule.
11. See the Bid Opening.
12. See the Bid Results.
13. See the Bid Award.
14. See the Bid Execution.
15. See the Bid Completion.
16. See the Bid Closeout.
17. See the Bid Final.
18. See the Bid Post-Bid.
19. See the Bid Pre-Bid.
20. See the Bid During-Bid.

**Proposed Schedule:**

Activity	Start Date	End Date
Site Preparation	08/01/2023	08/31/2023
Foundation Work	09/01/2023	09/30/2023
Structural Framing	10/01/2023	10/31/2023
MEP Installation	11/01/2023	11/30/2023
Interior Finishes	12/01/2023	12/31/2023
Exterior Finishes	01/01/2024	01/31/2024
Final Inspection	02/01/2024	02/28/2024

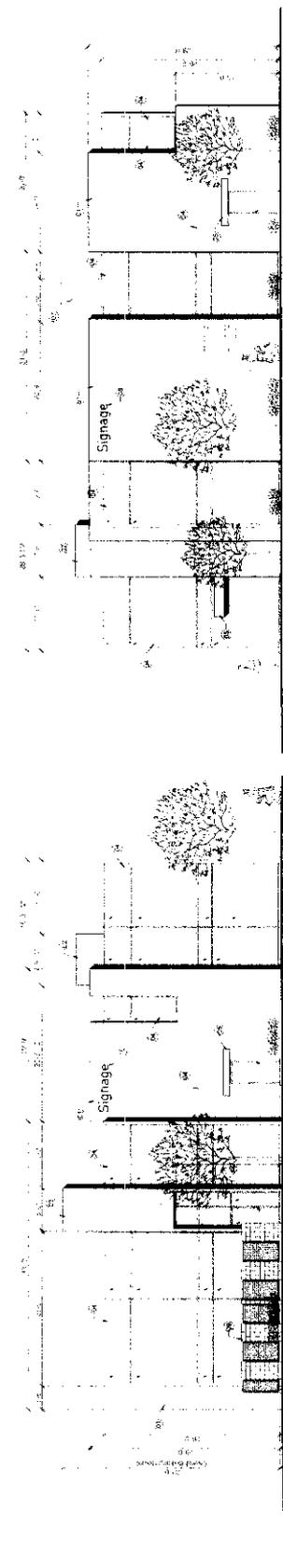
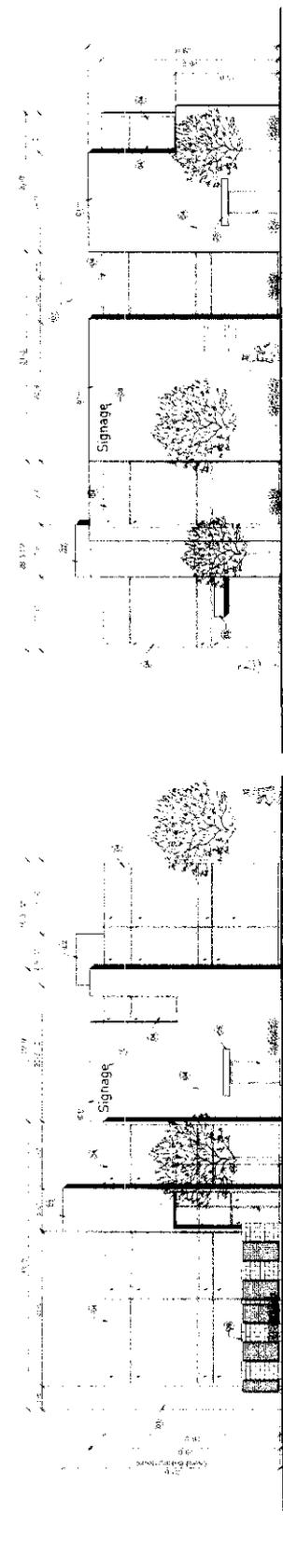
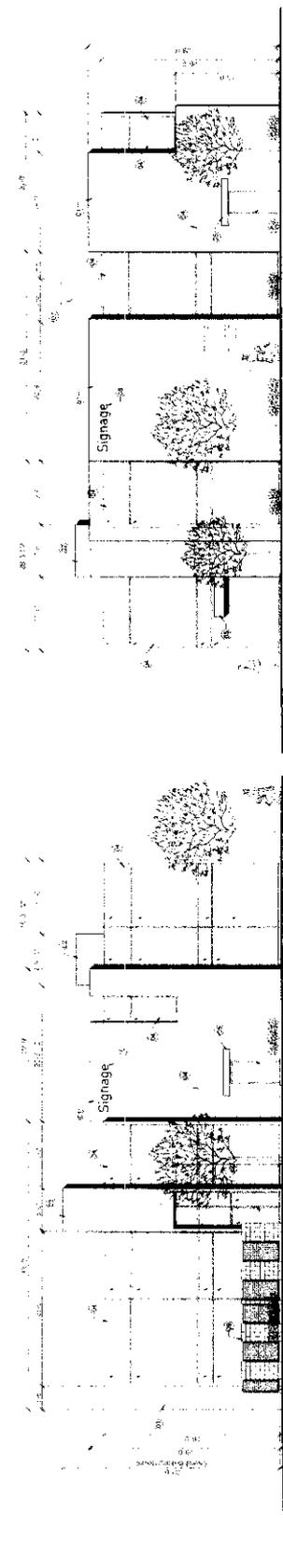
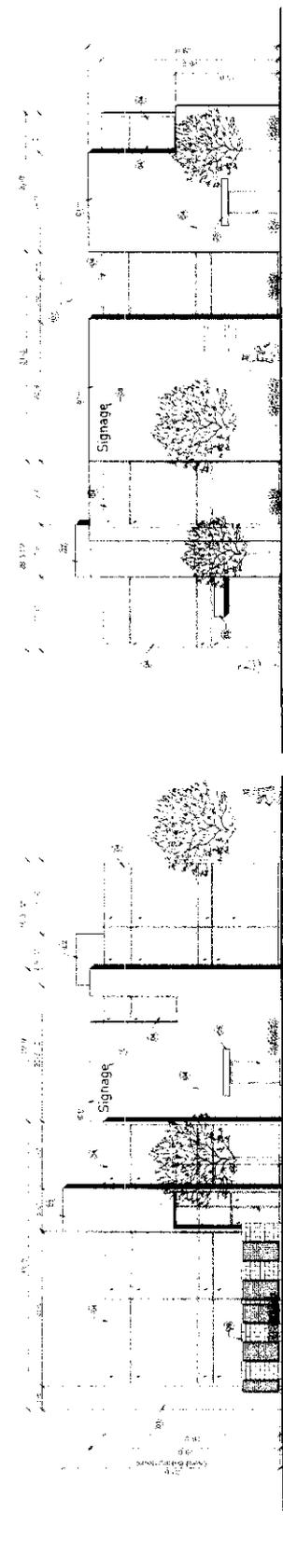
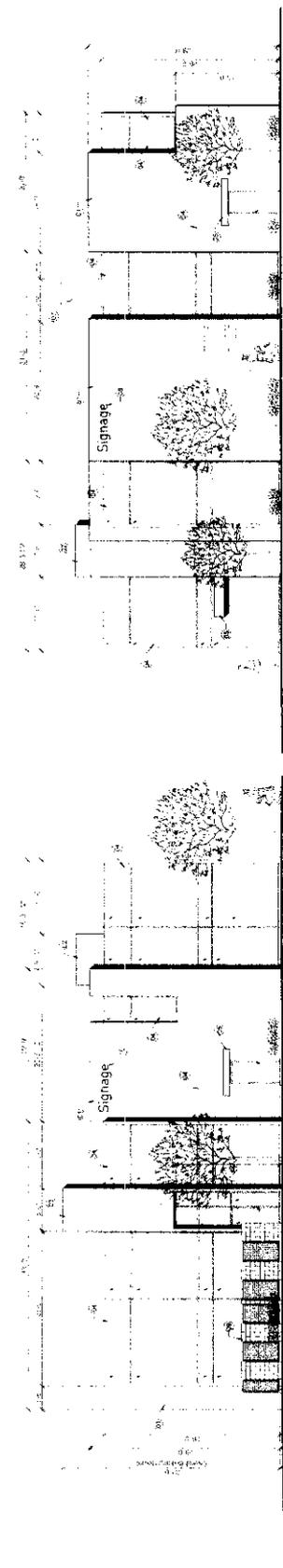
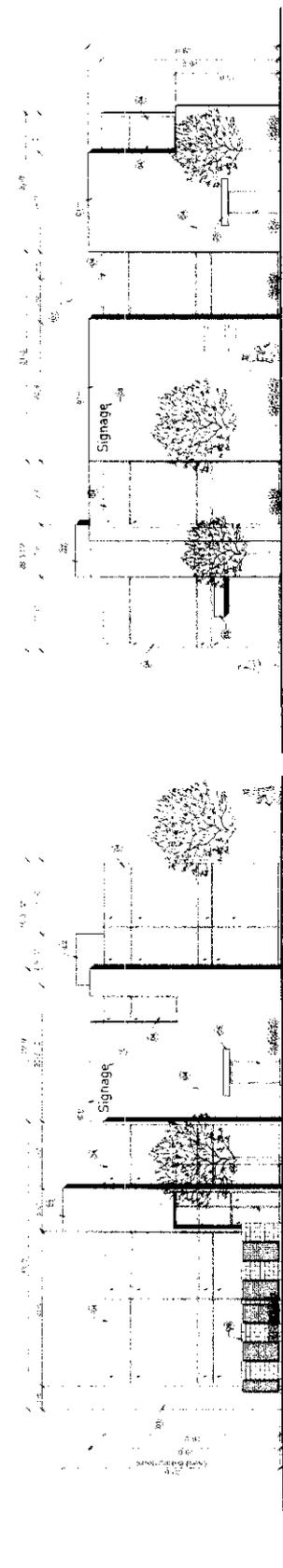
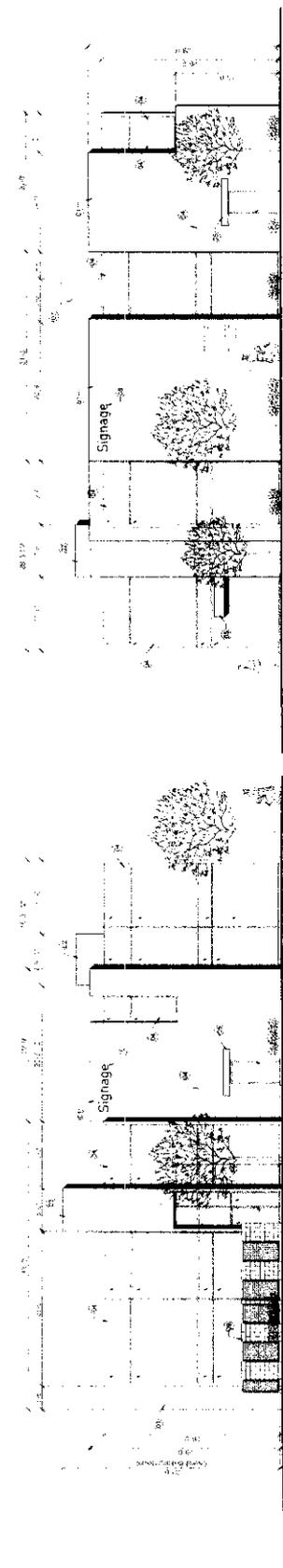
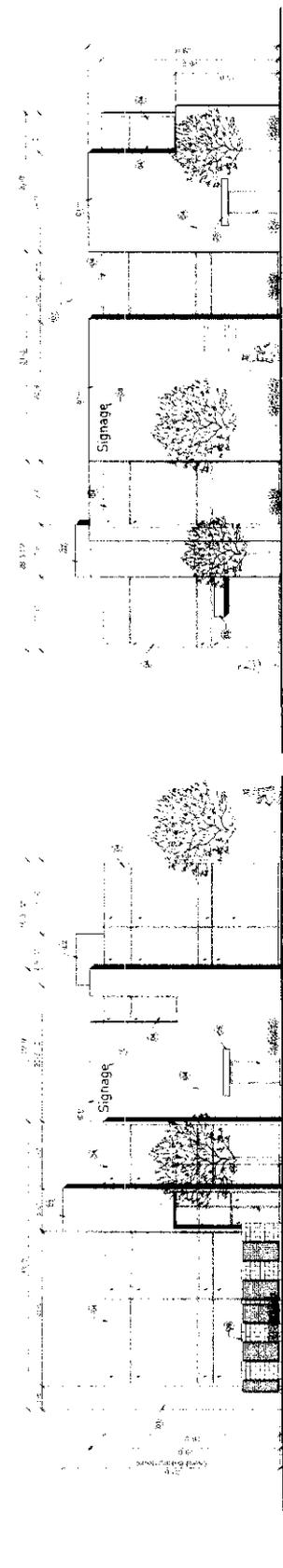
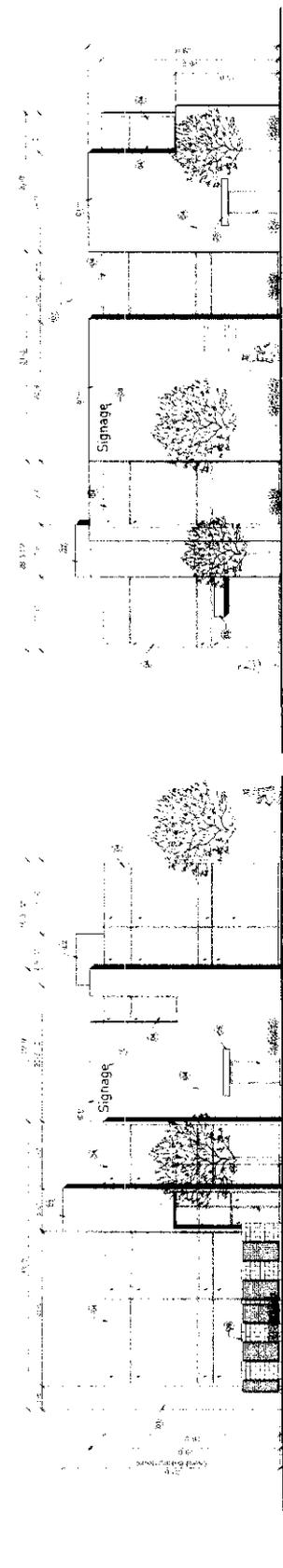
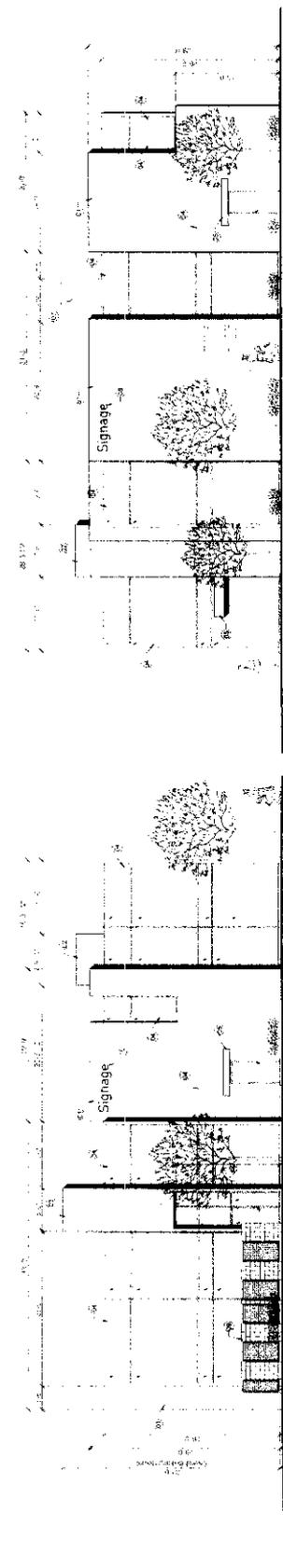
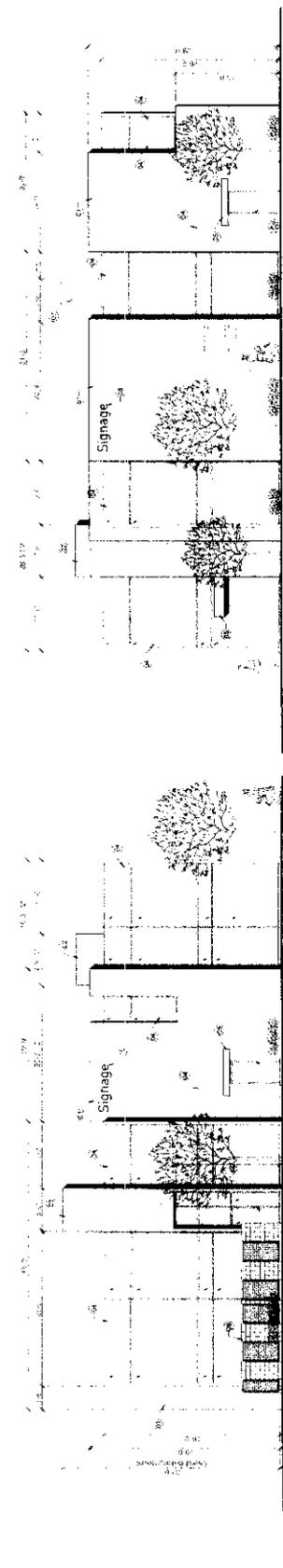
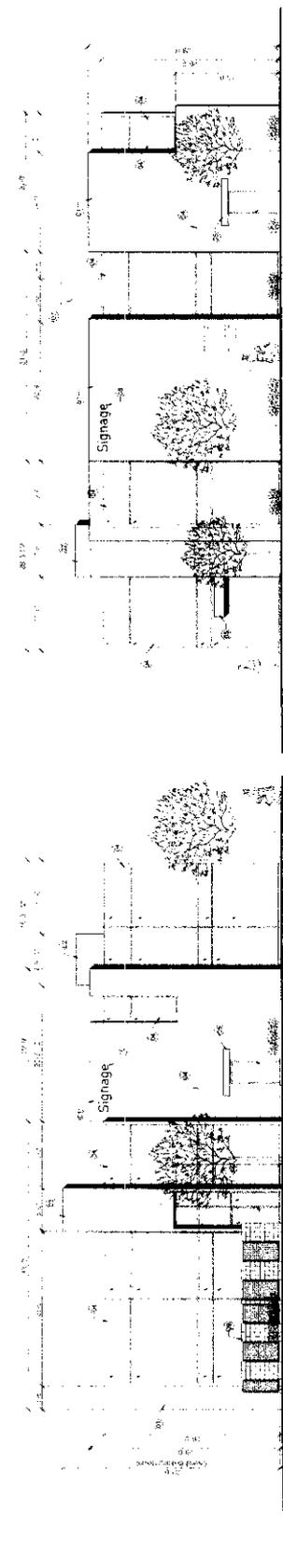
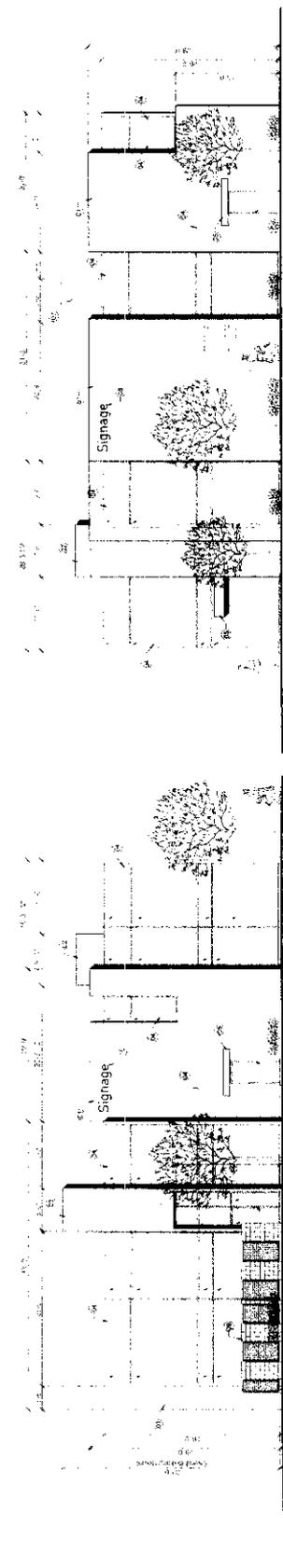
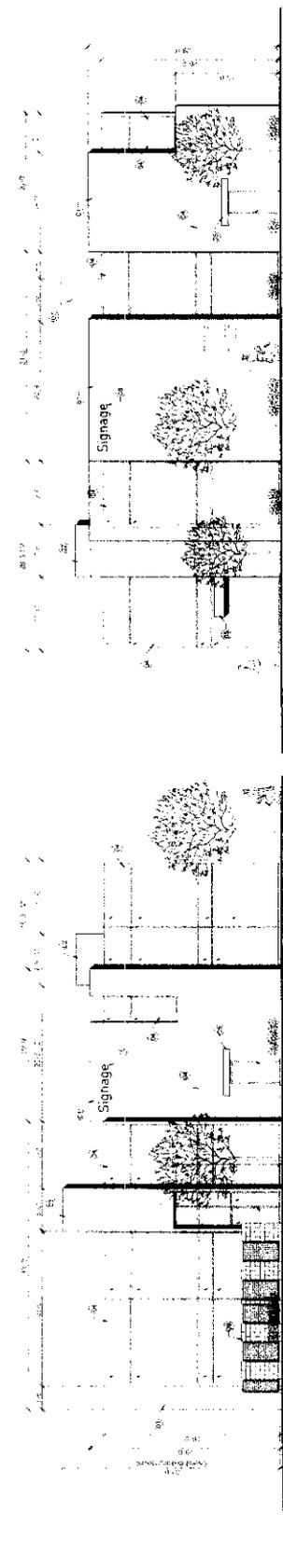
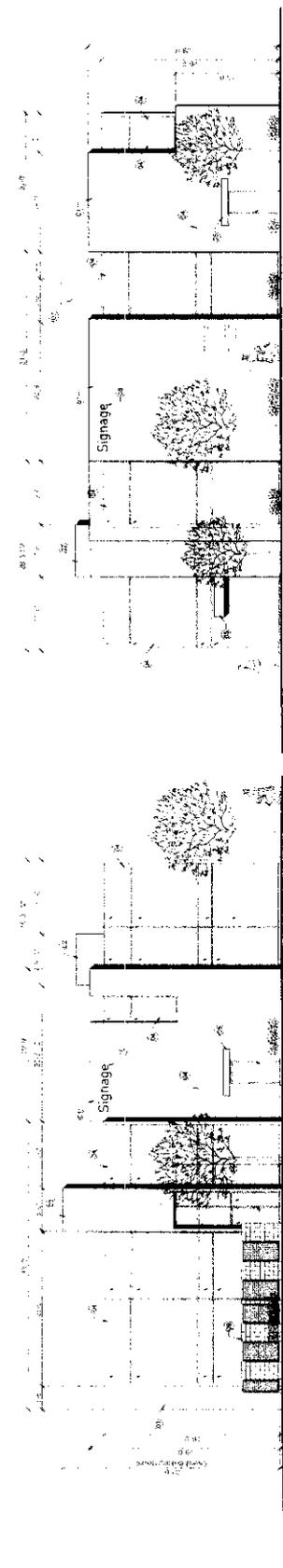
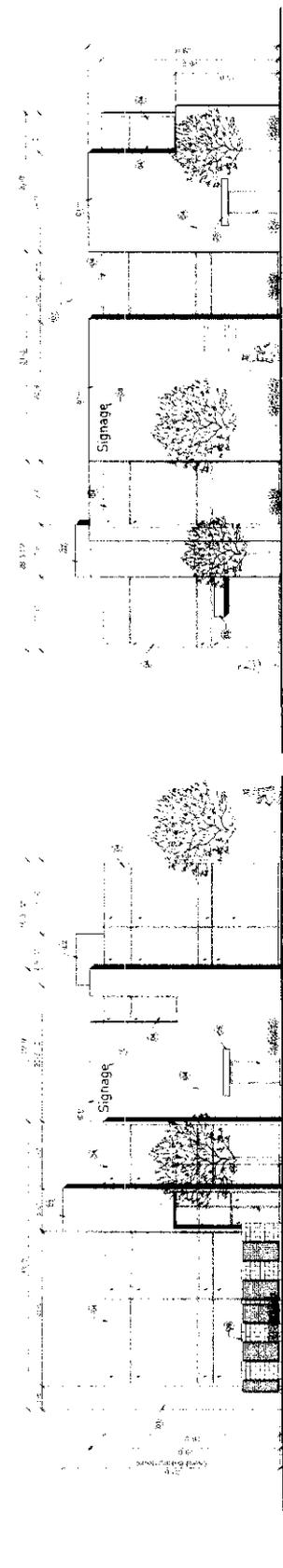
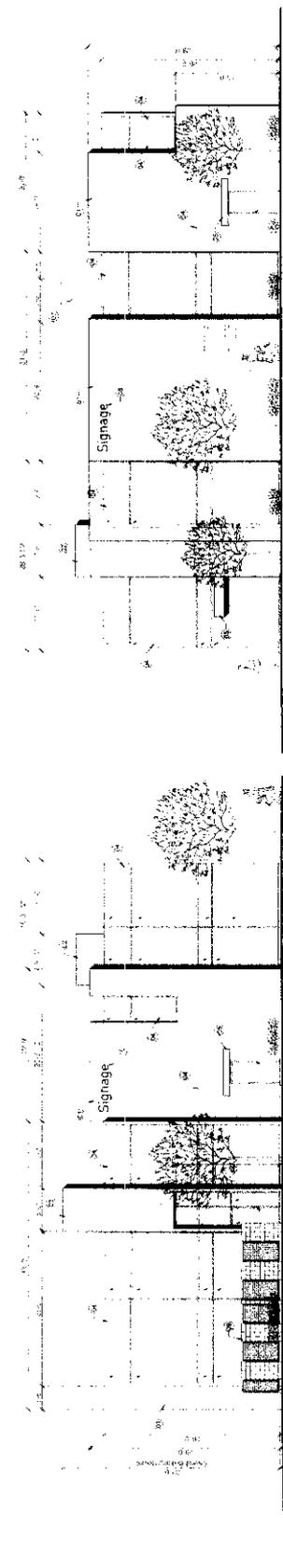
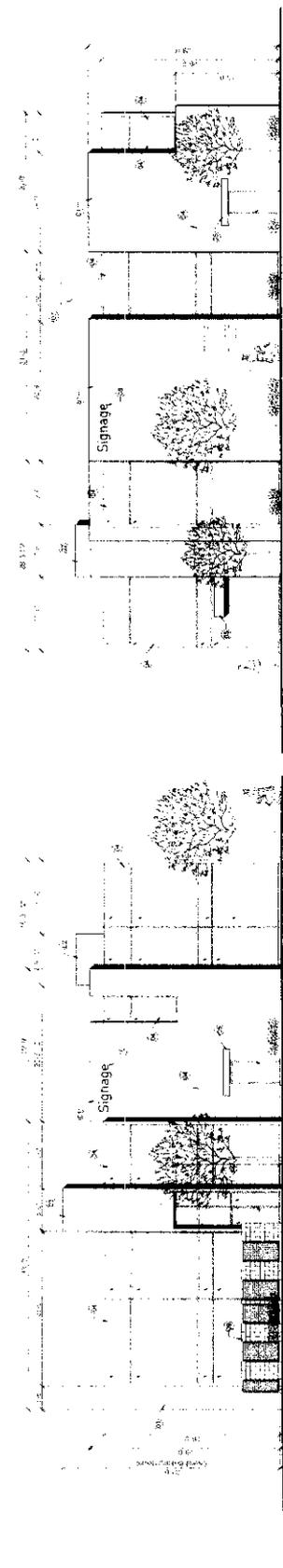
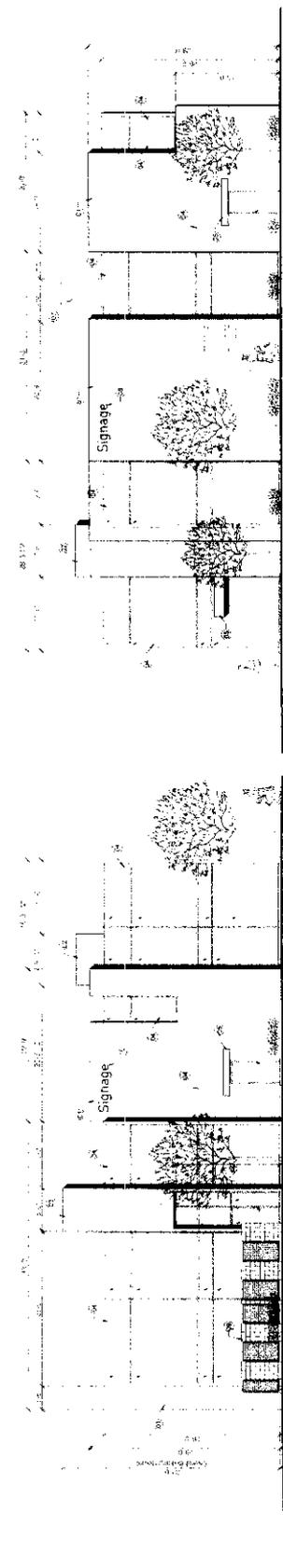
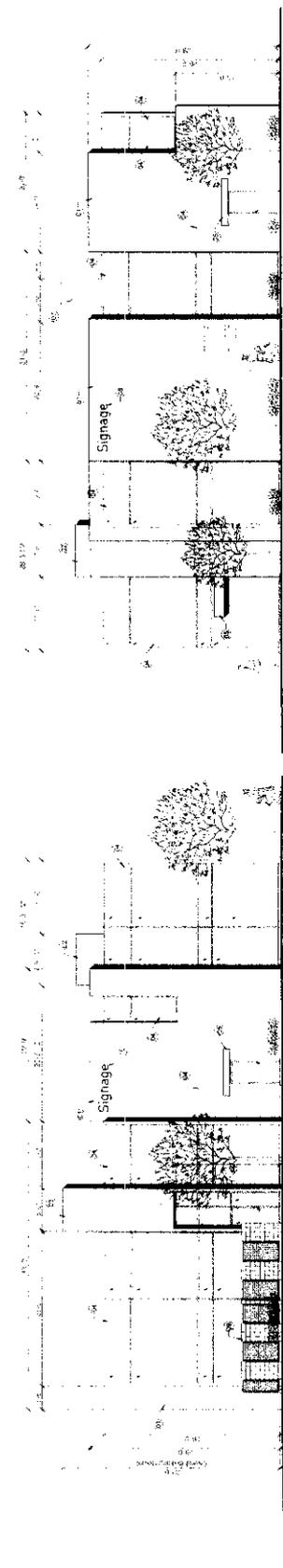
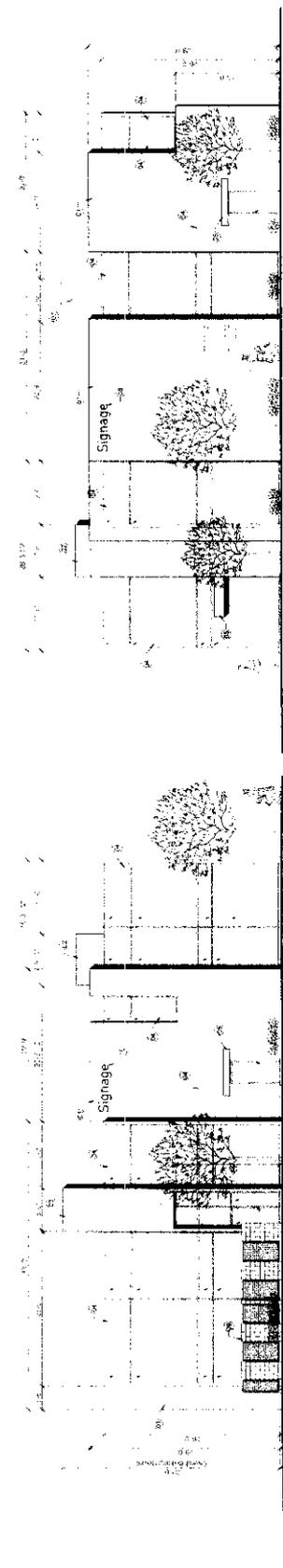
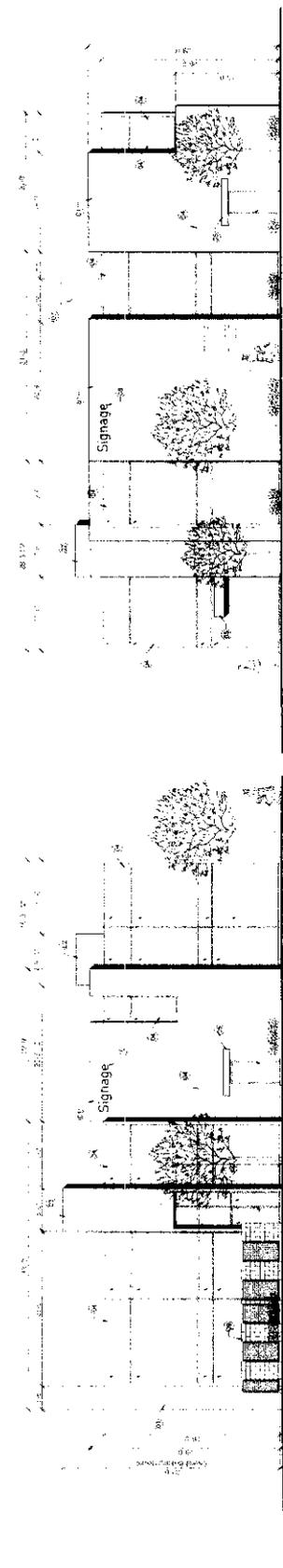
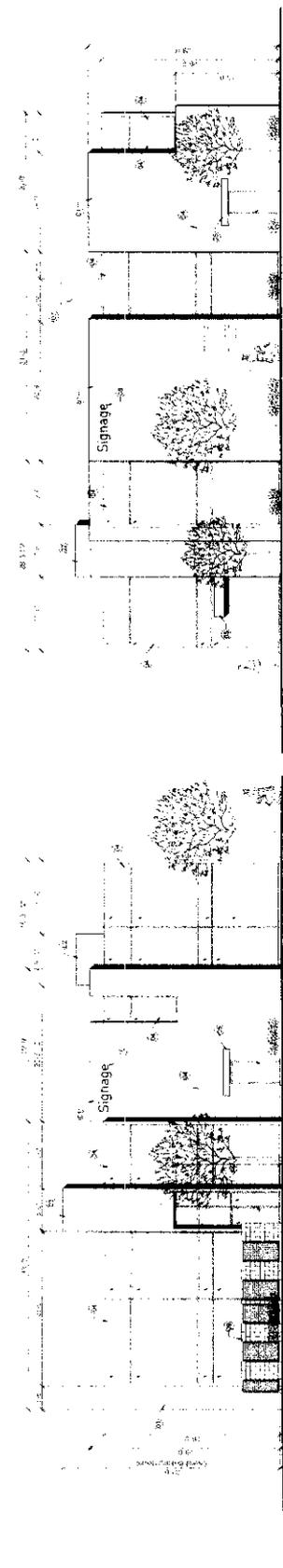
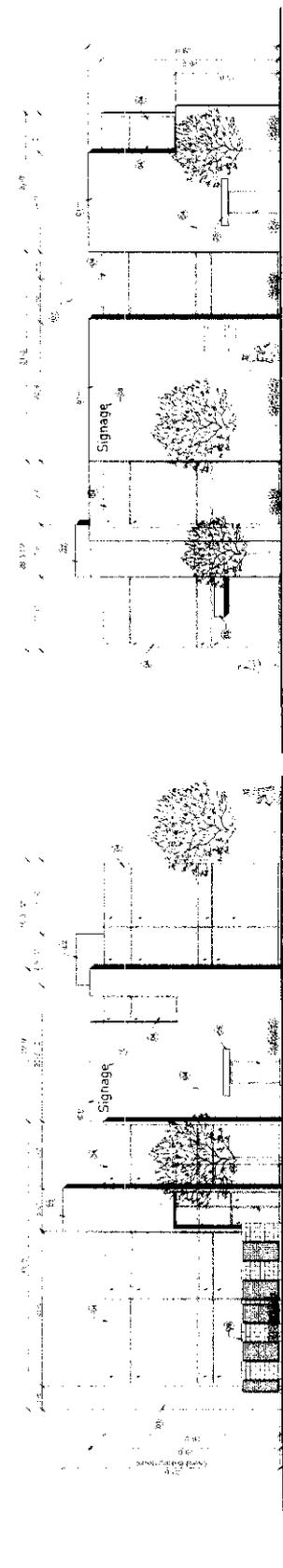
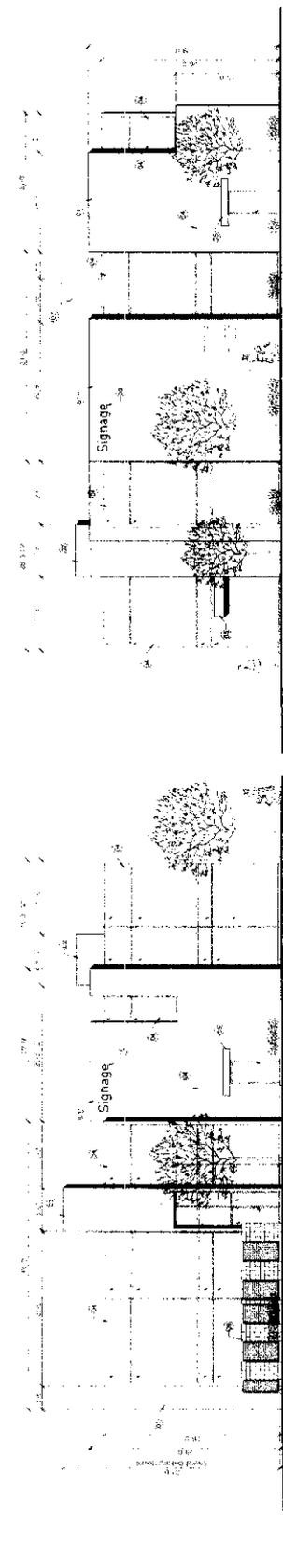
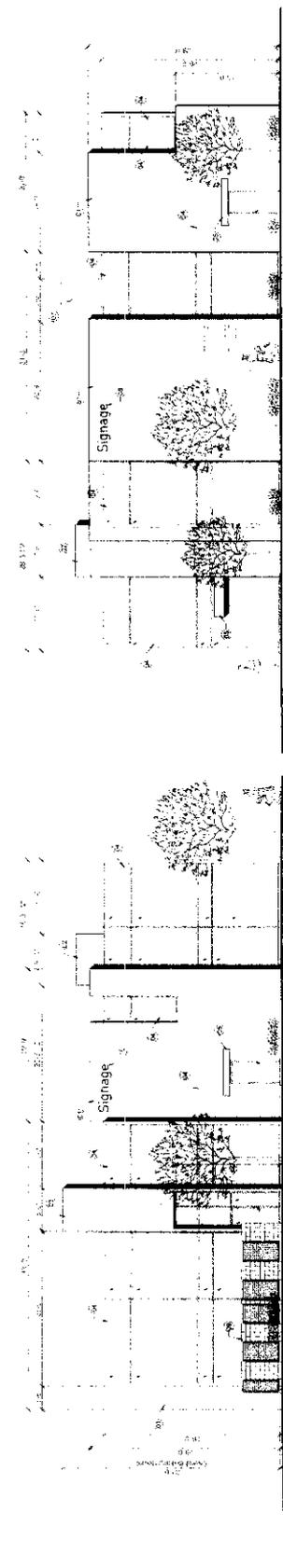
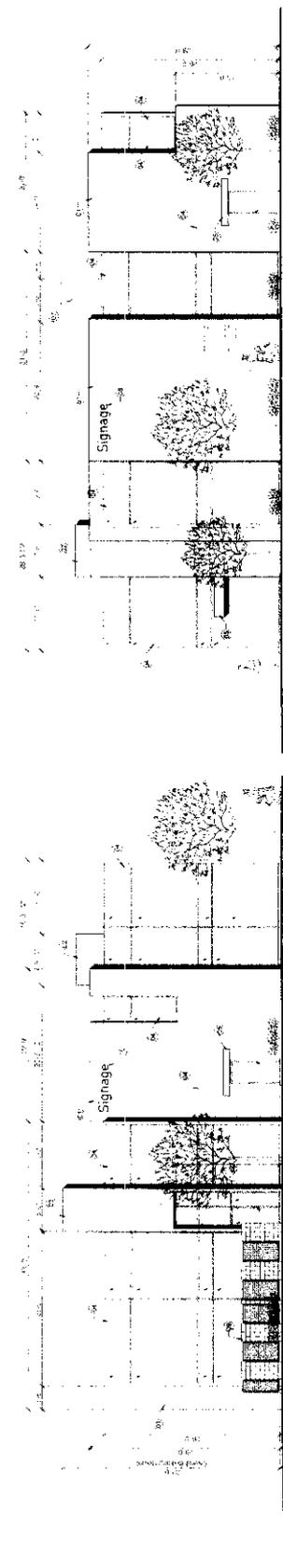
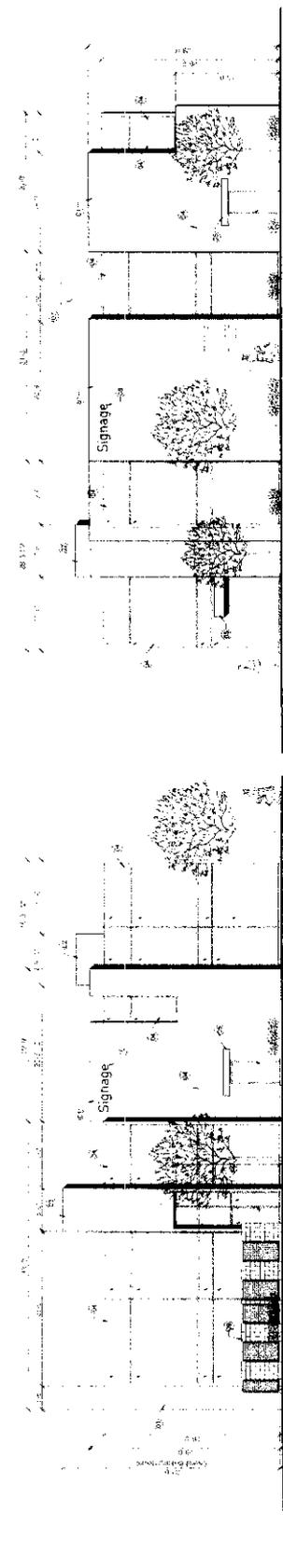
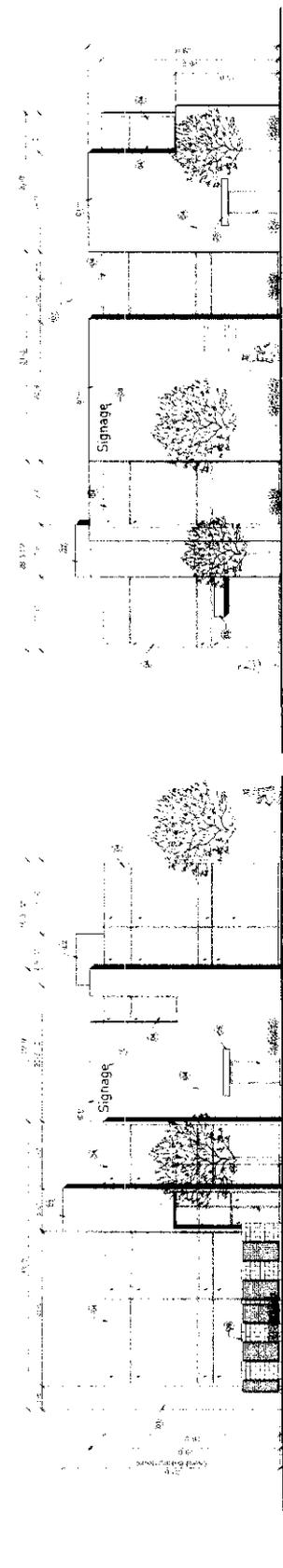
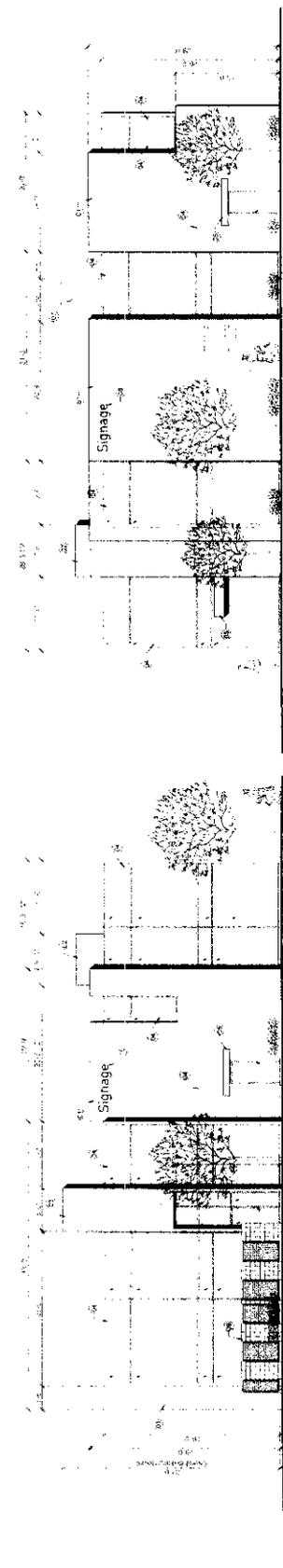
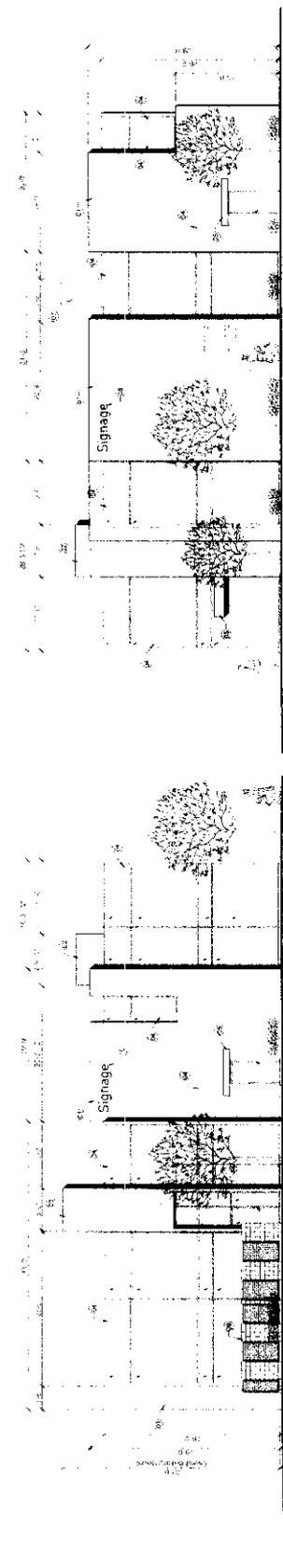
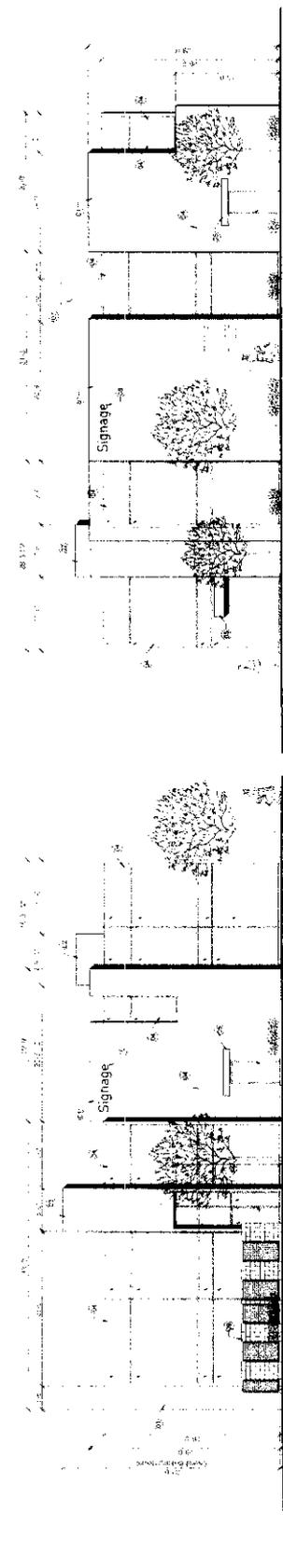
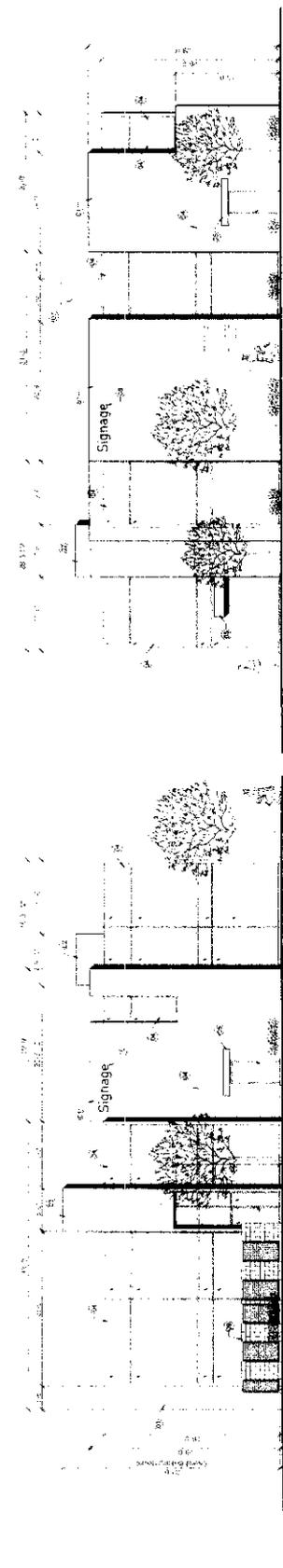
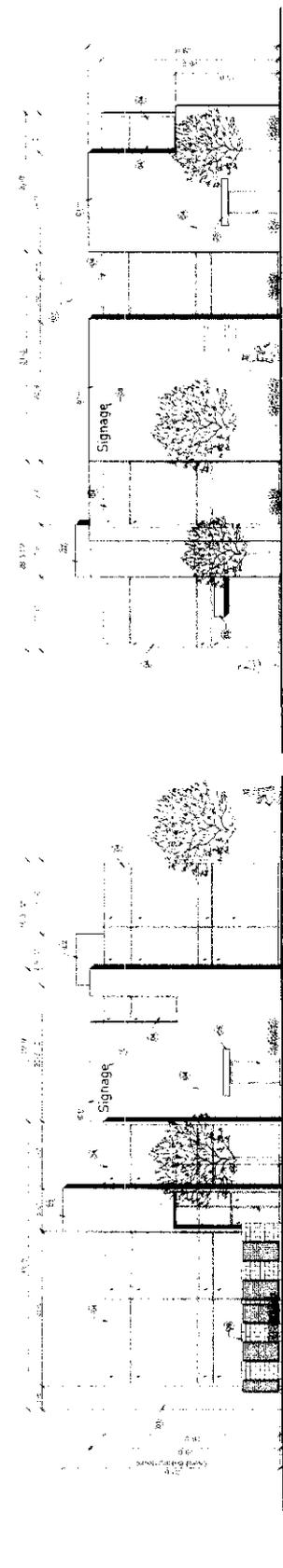
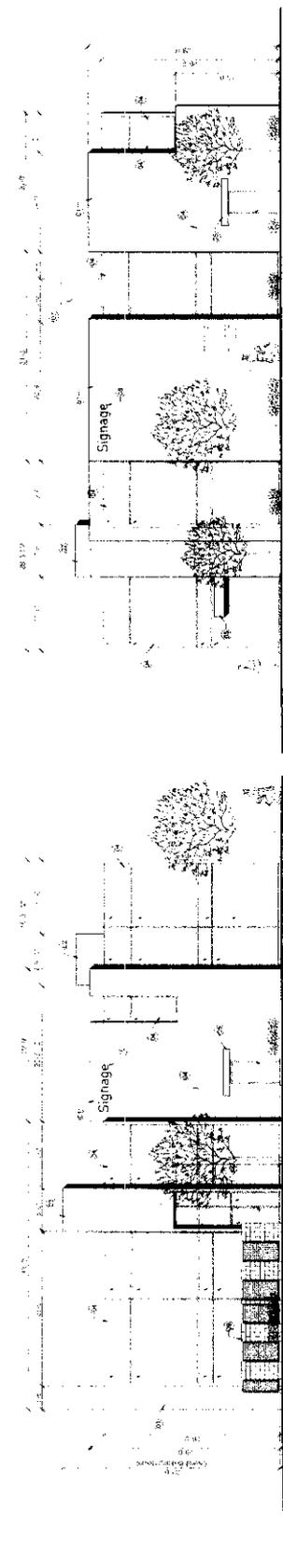
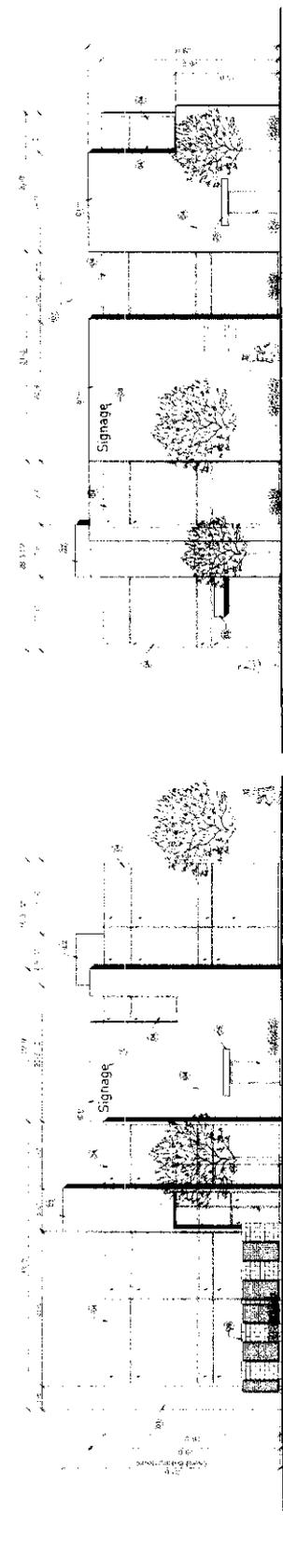
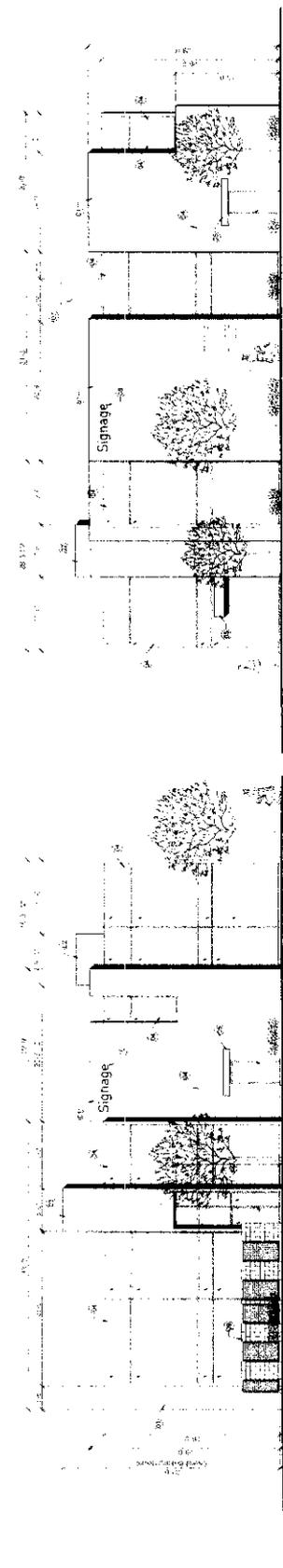
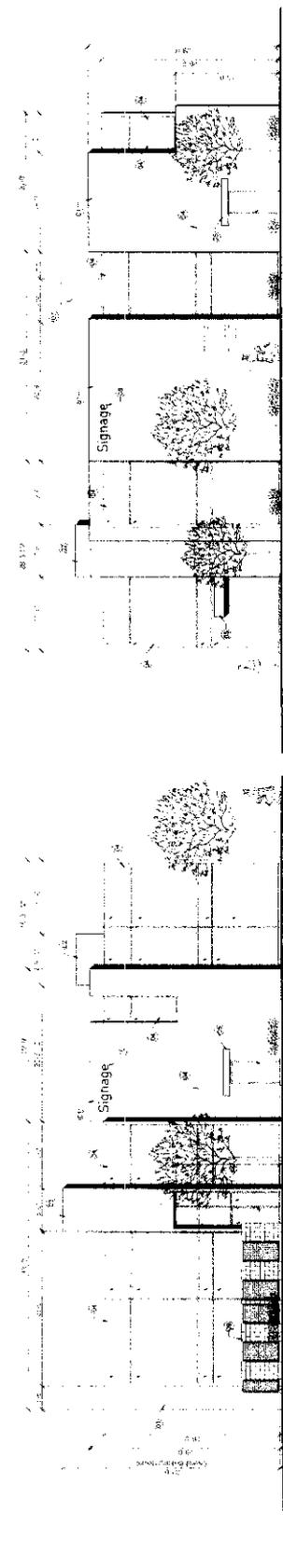
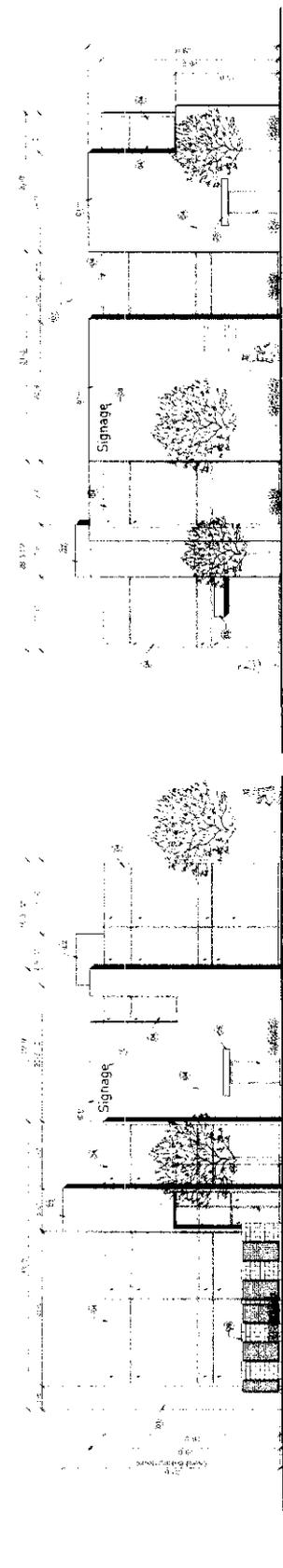
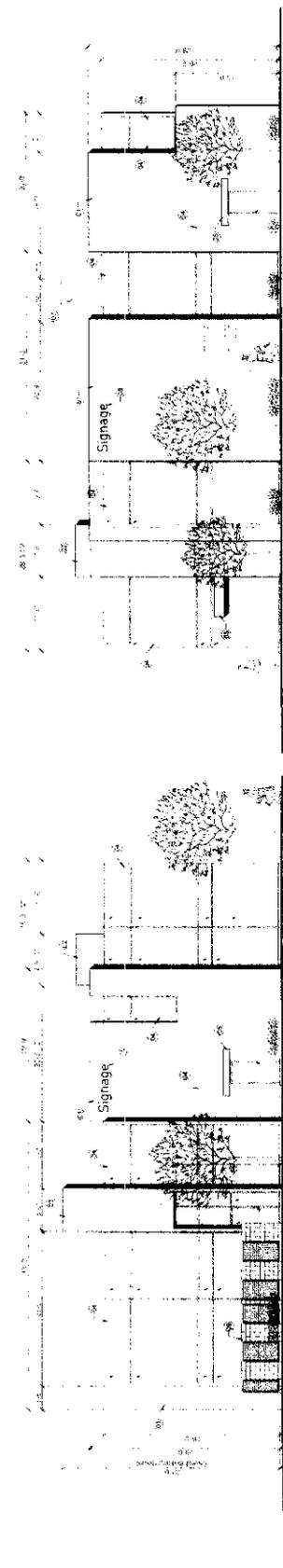
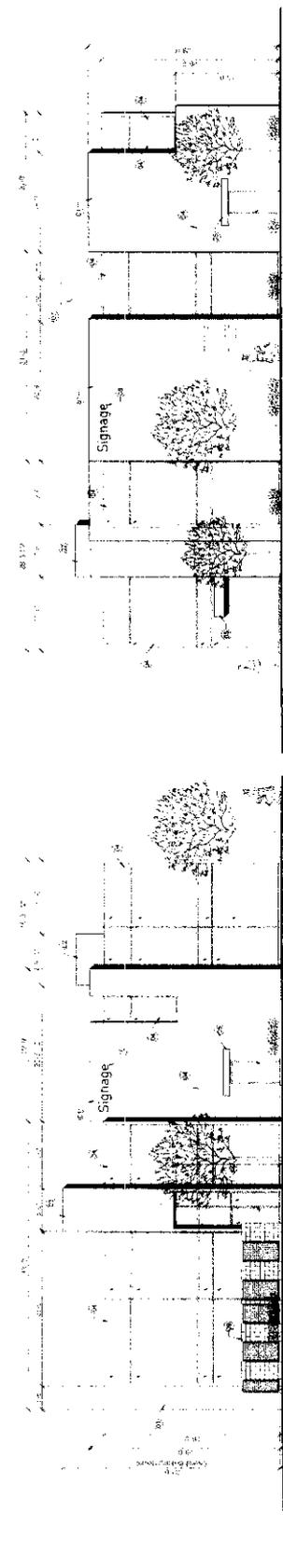
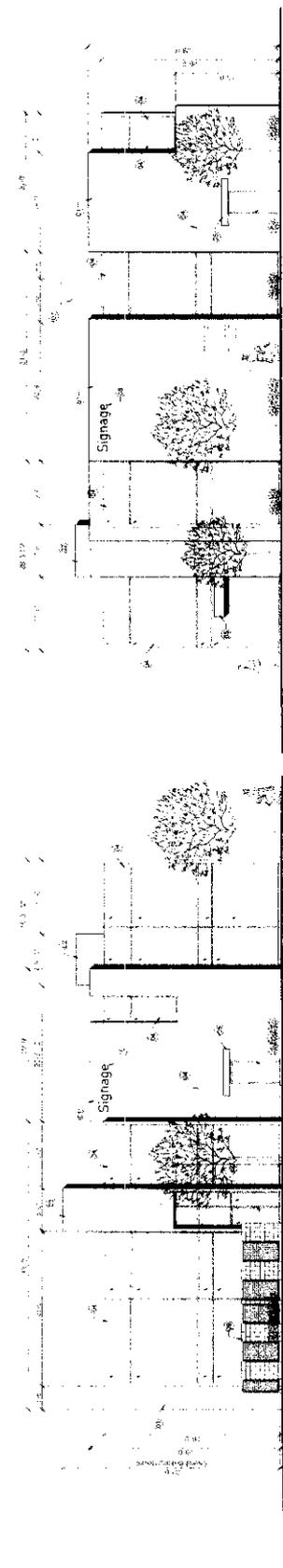
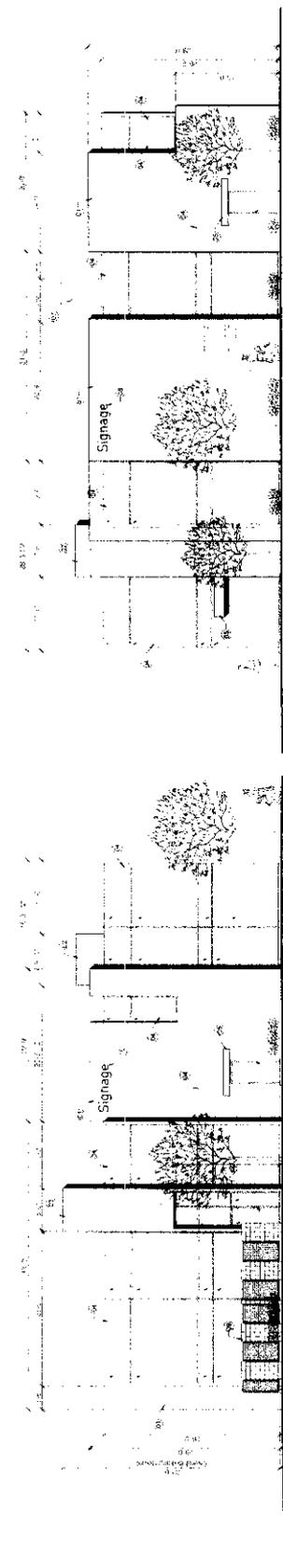
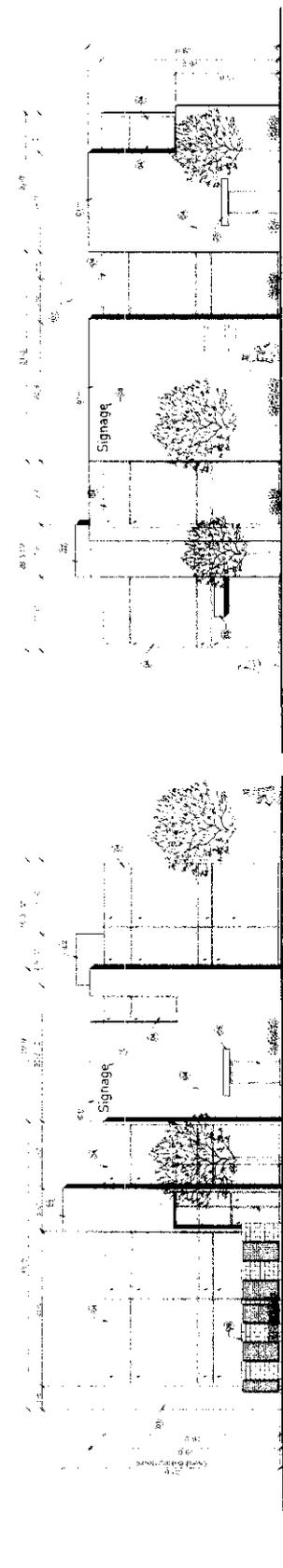
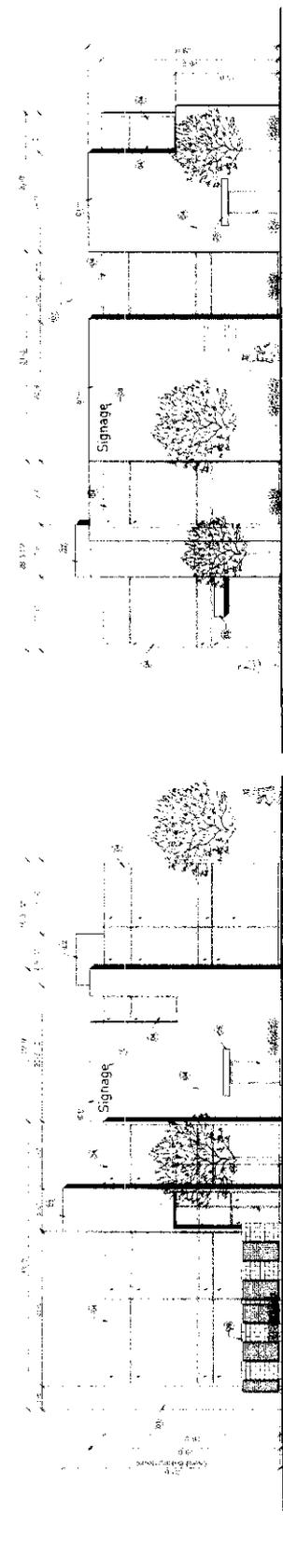
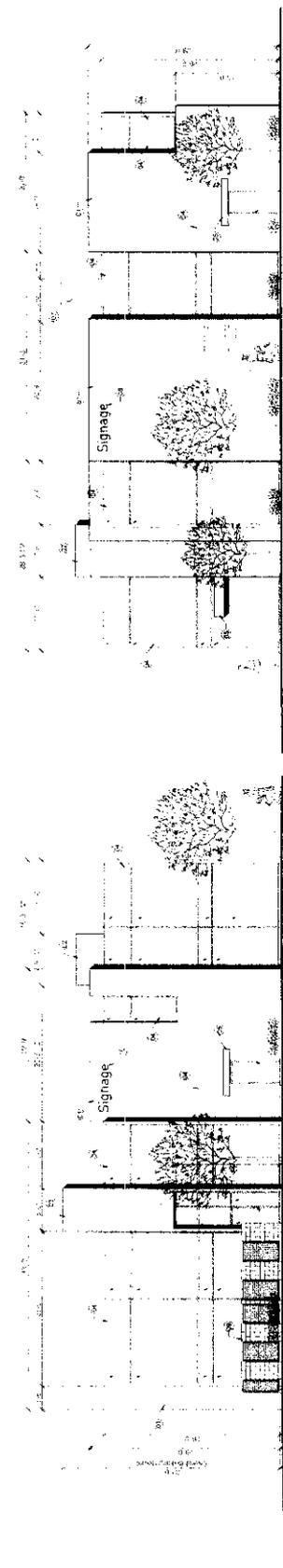
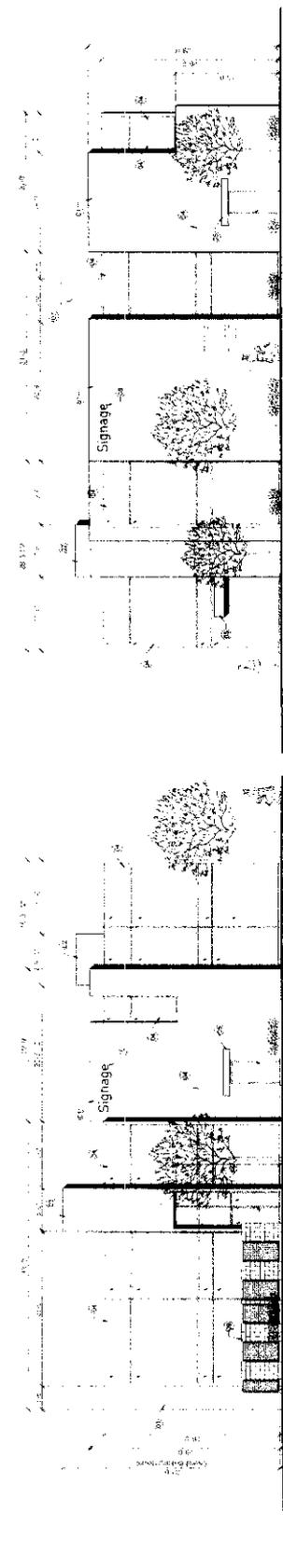
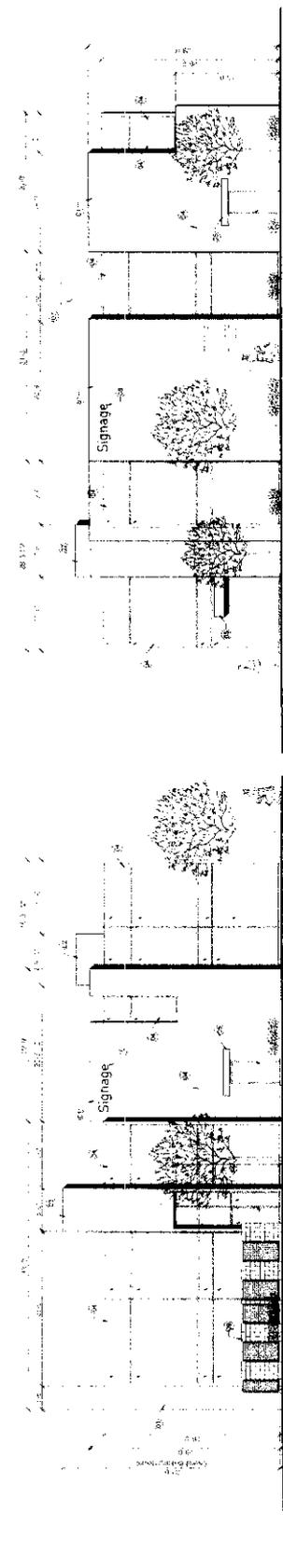
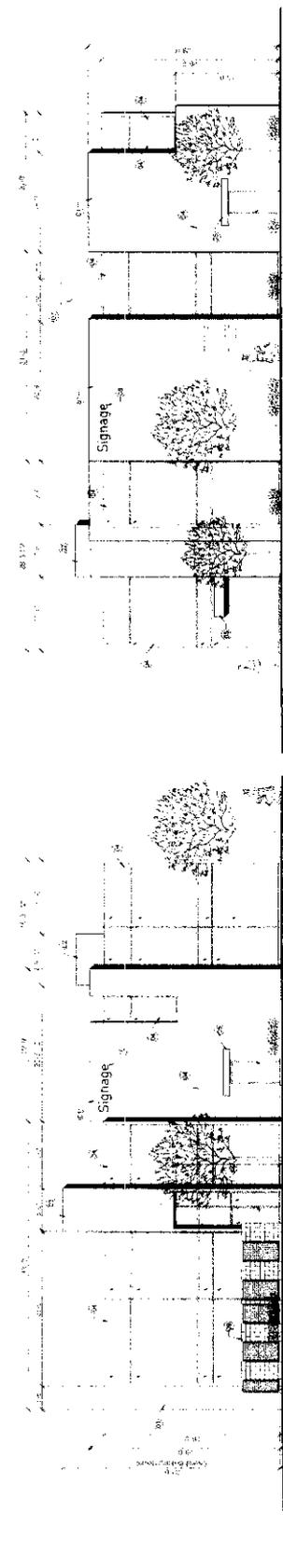
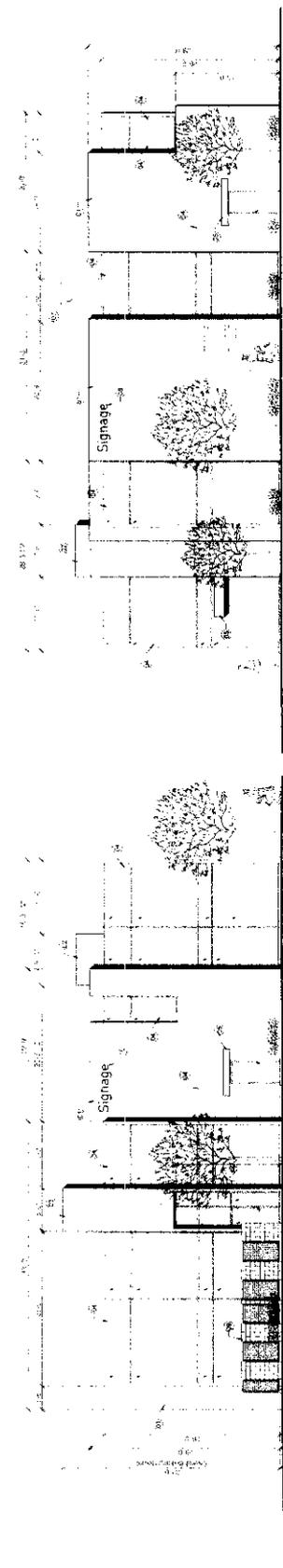
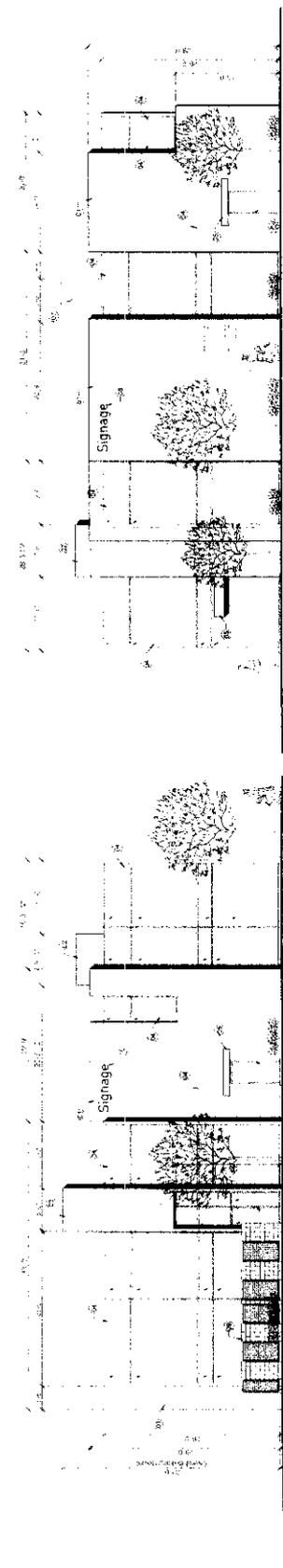
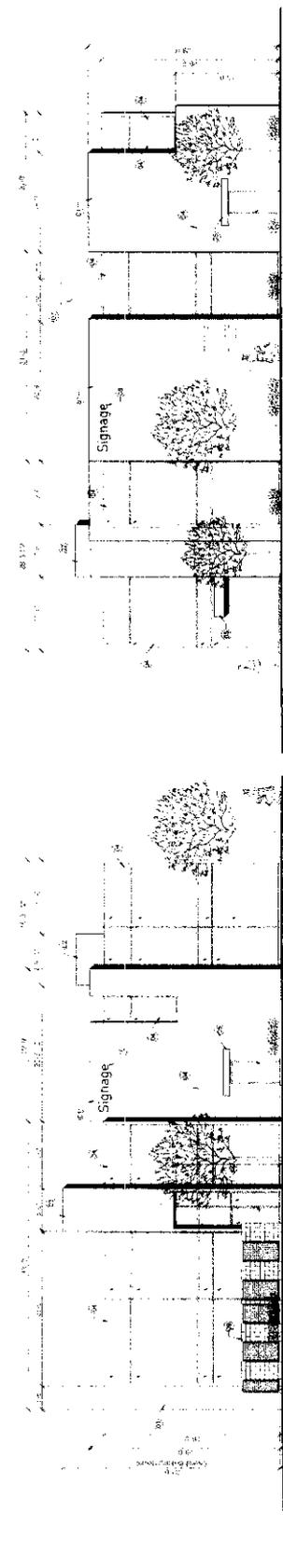
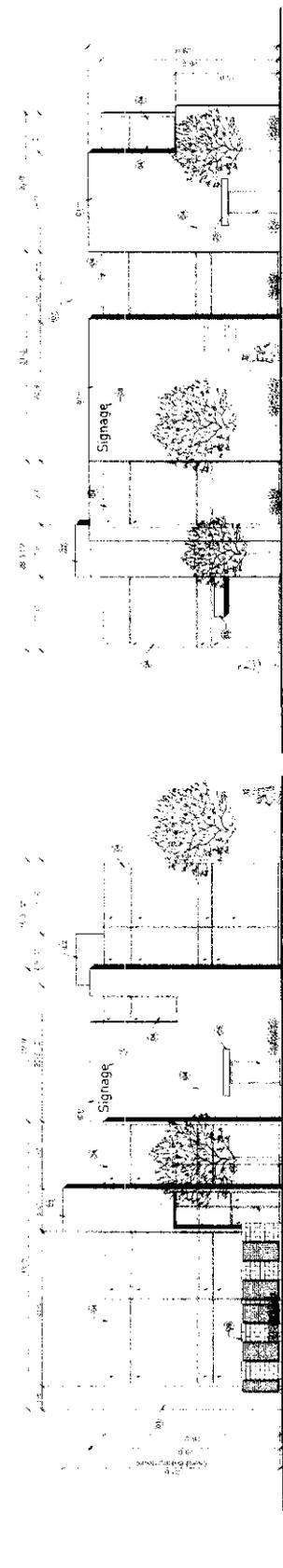
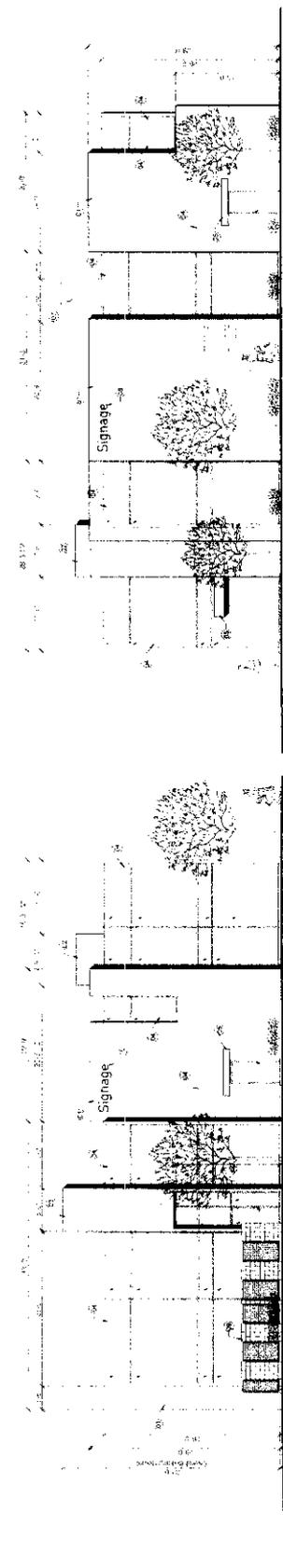
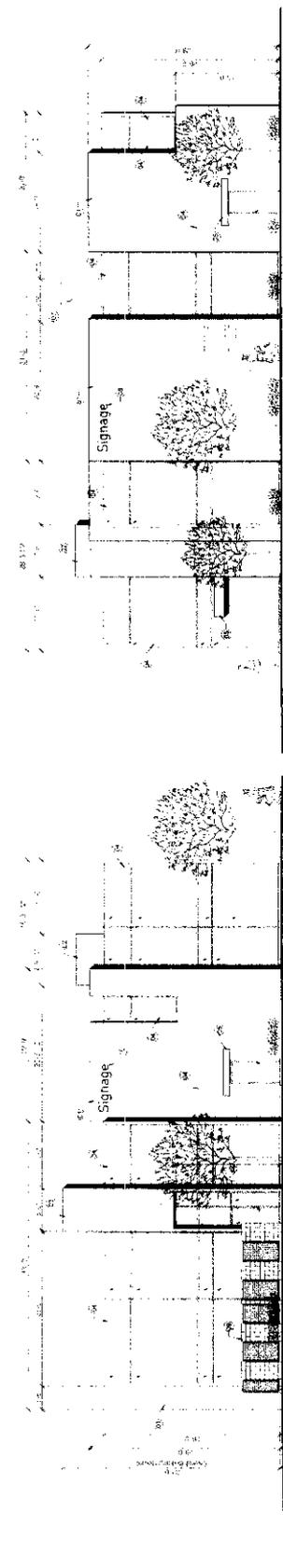
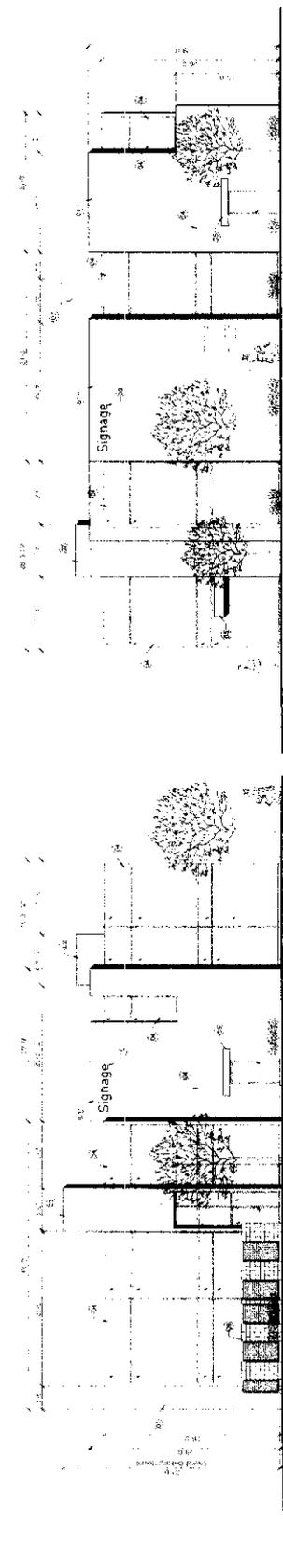
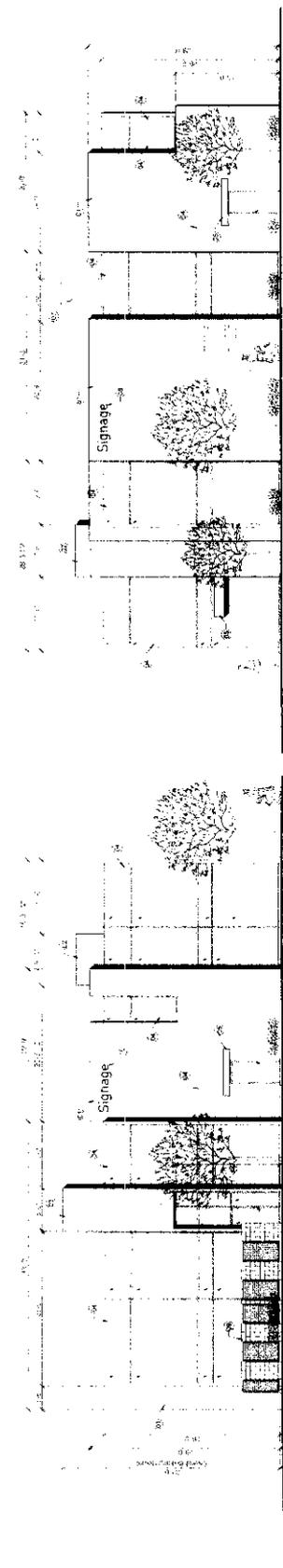
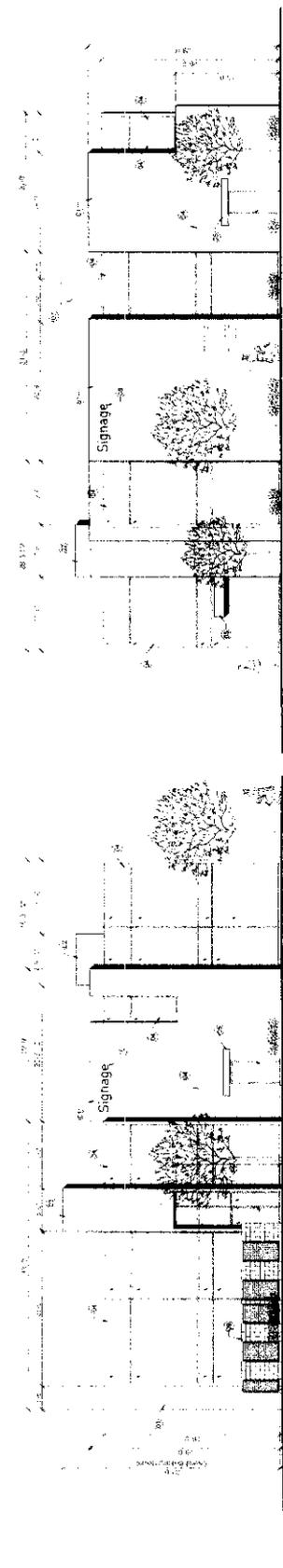
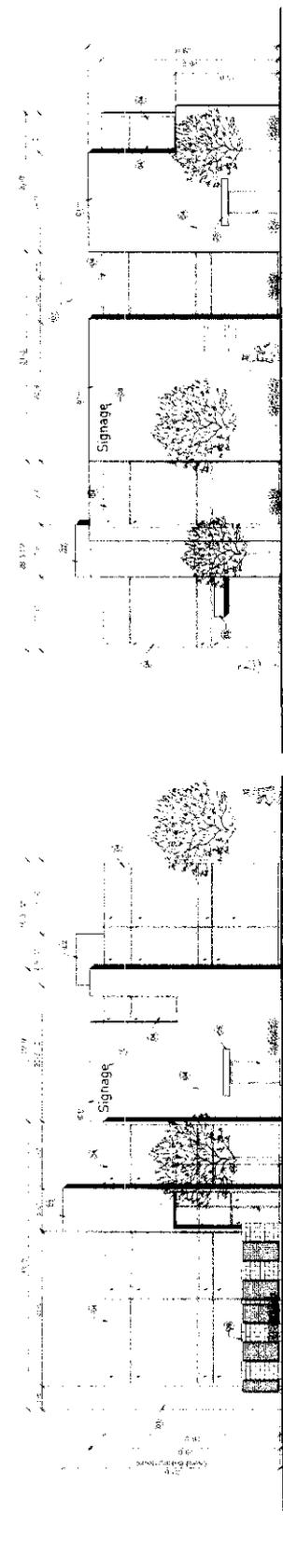
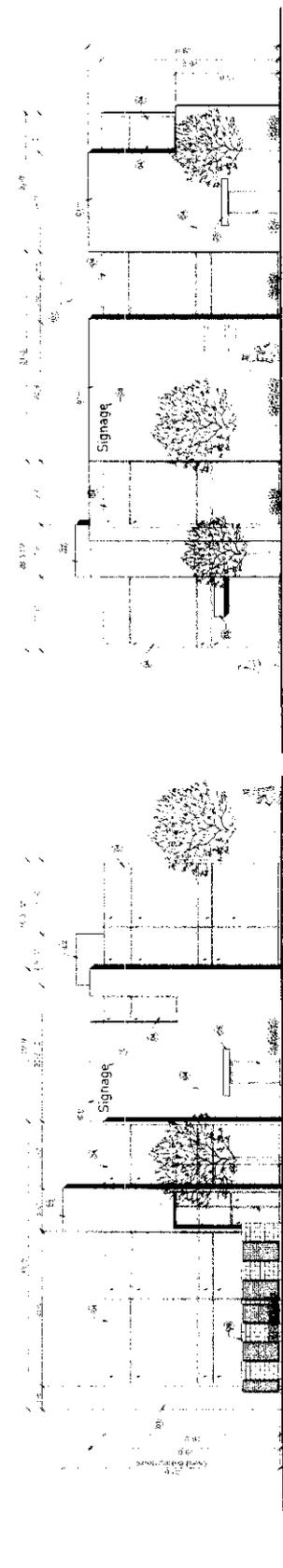
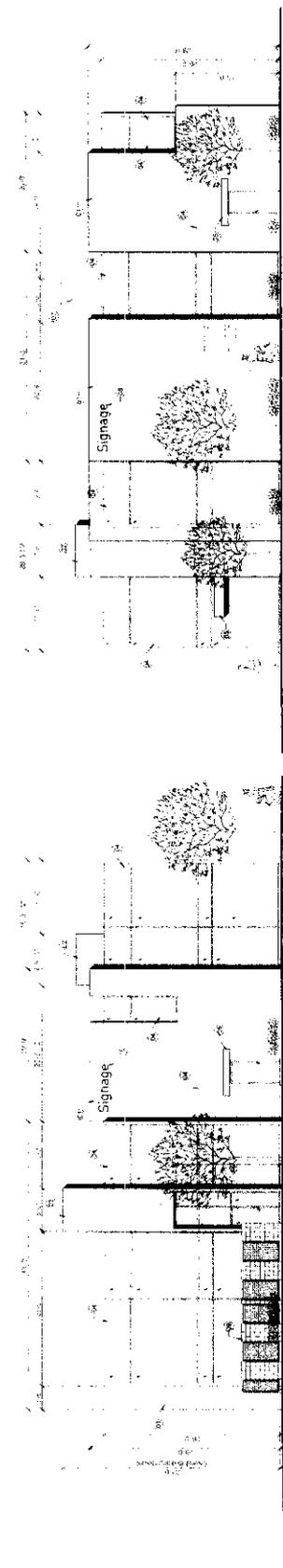
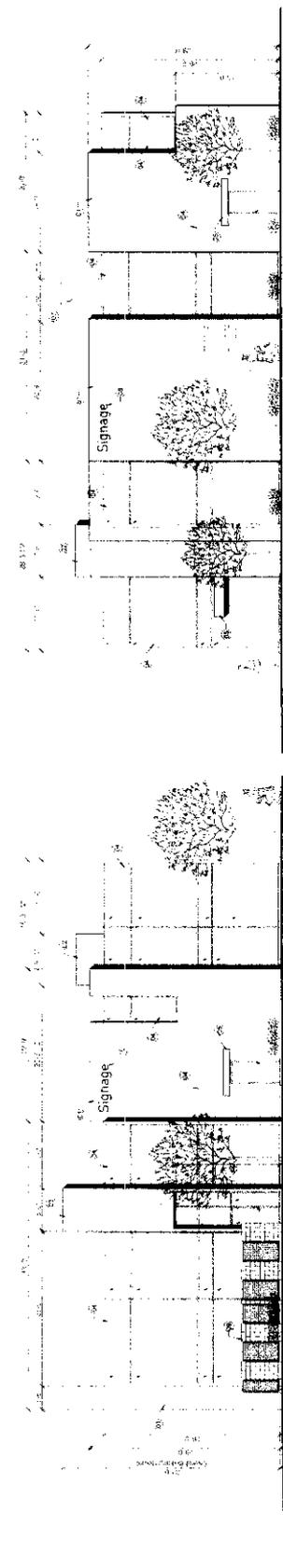
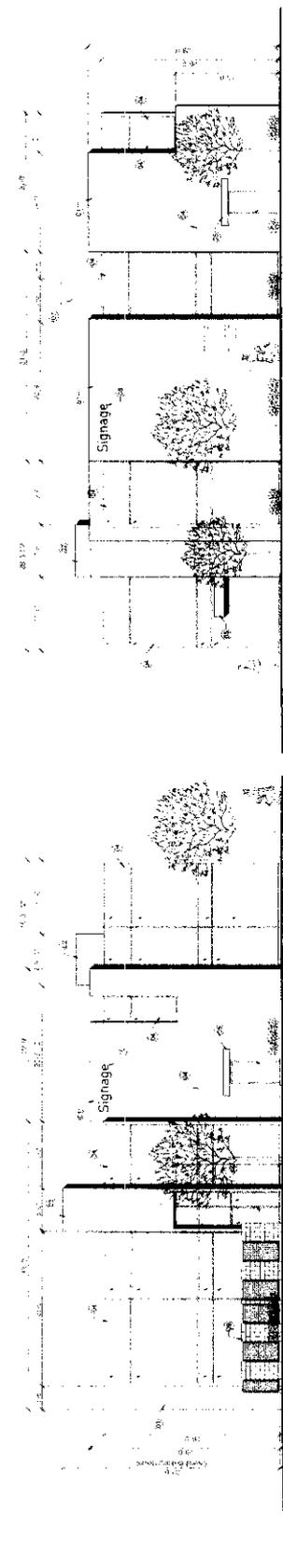
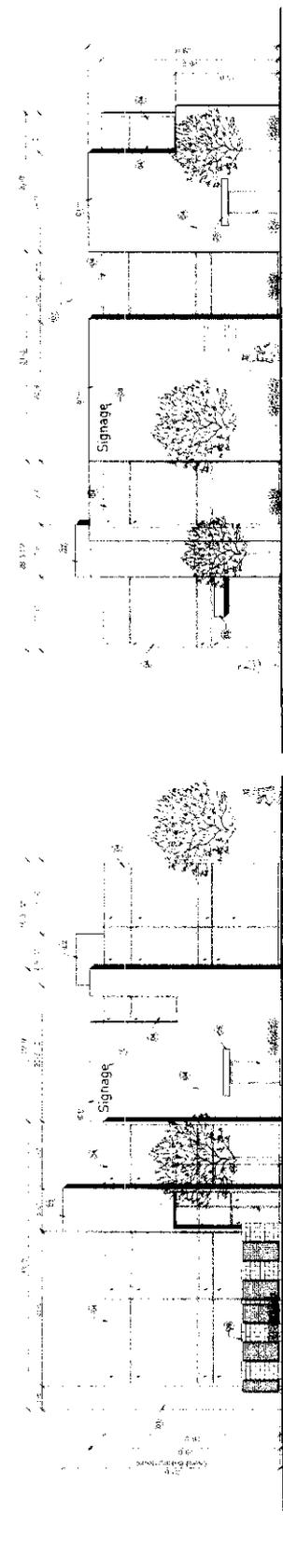
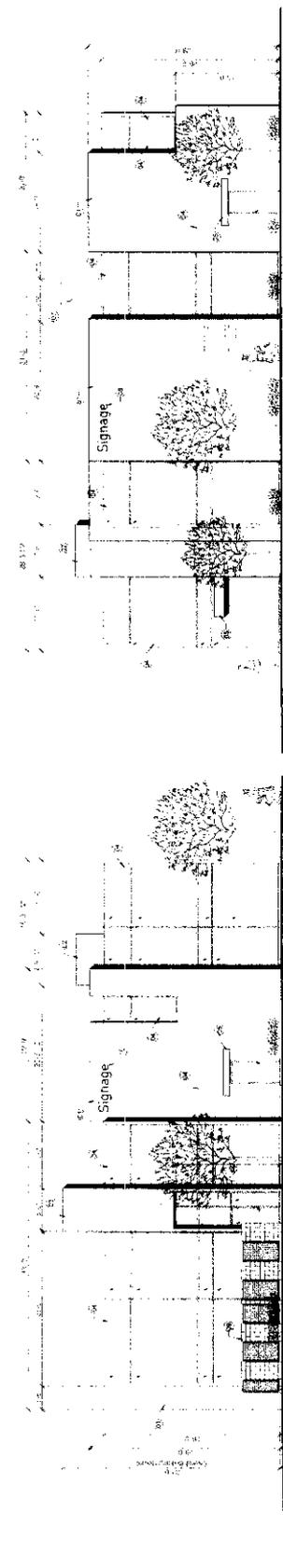
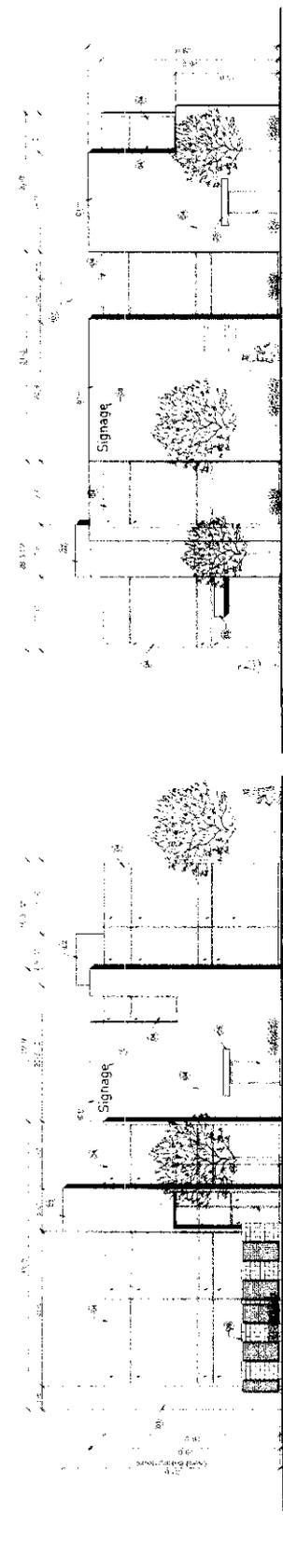
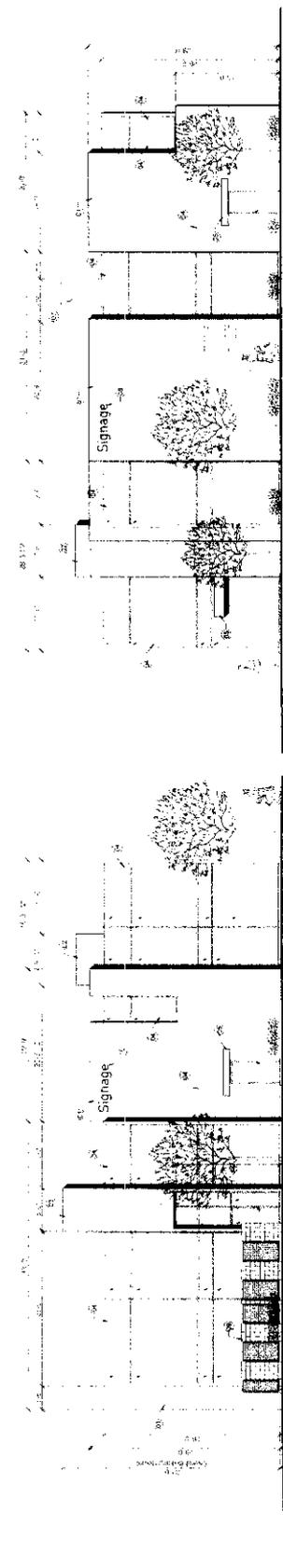
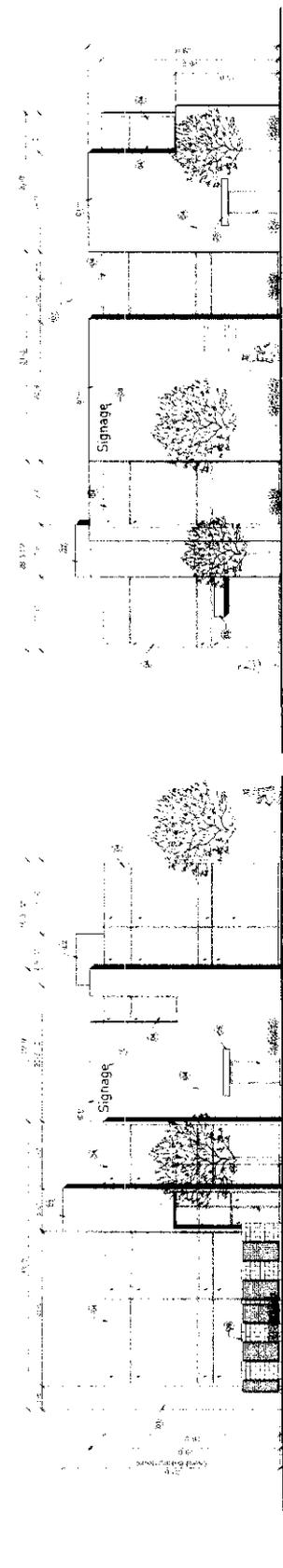
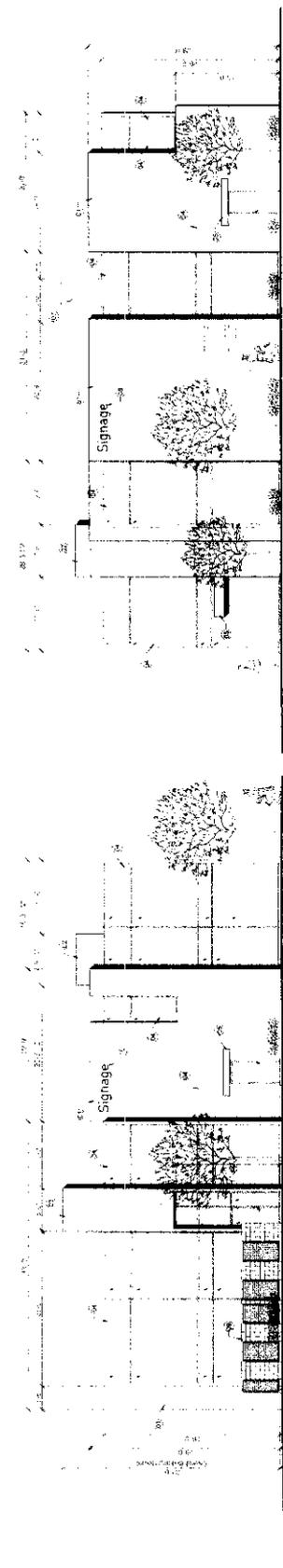
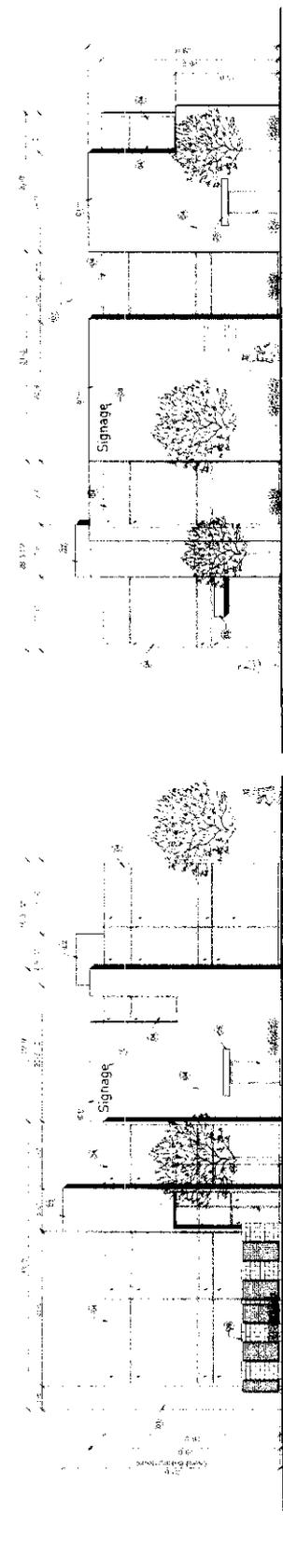
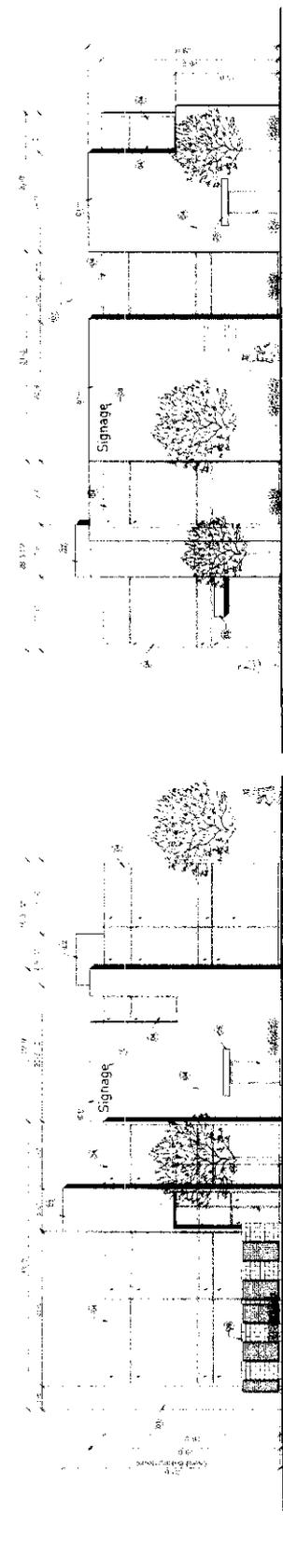
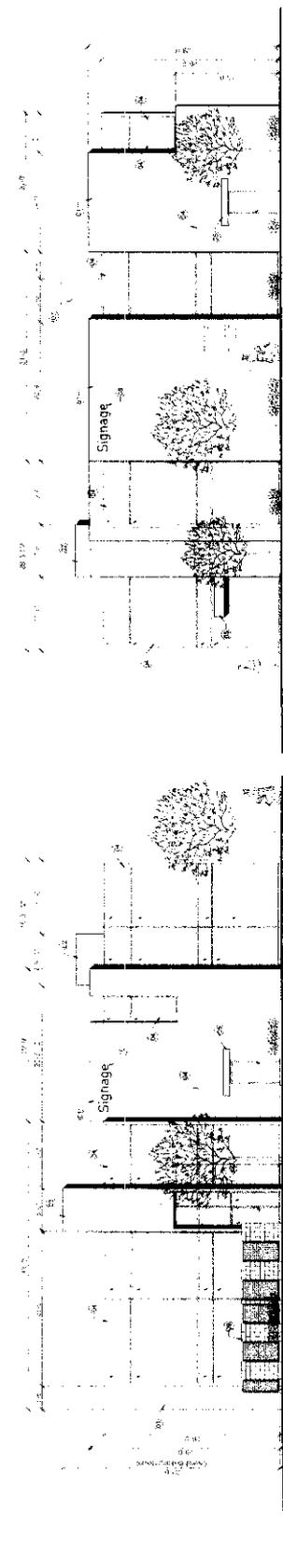
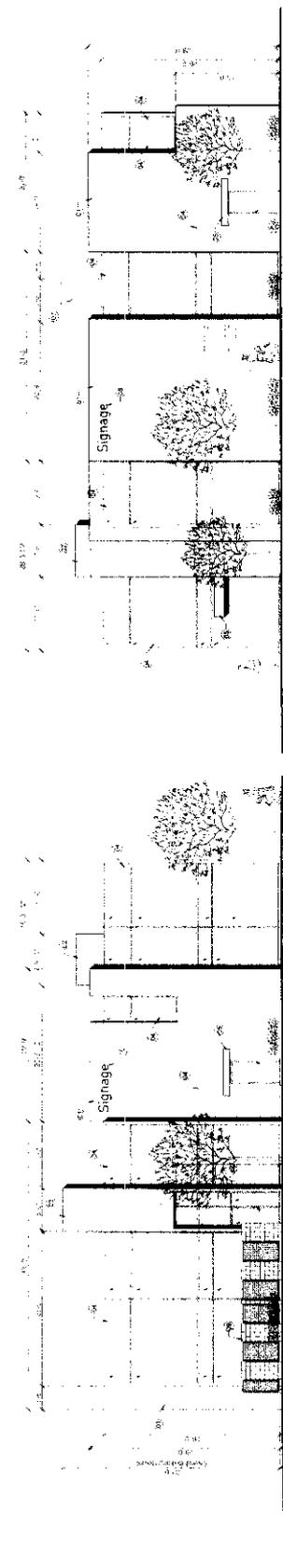
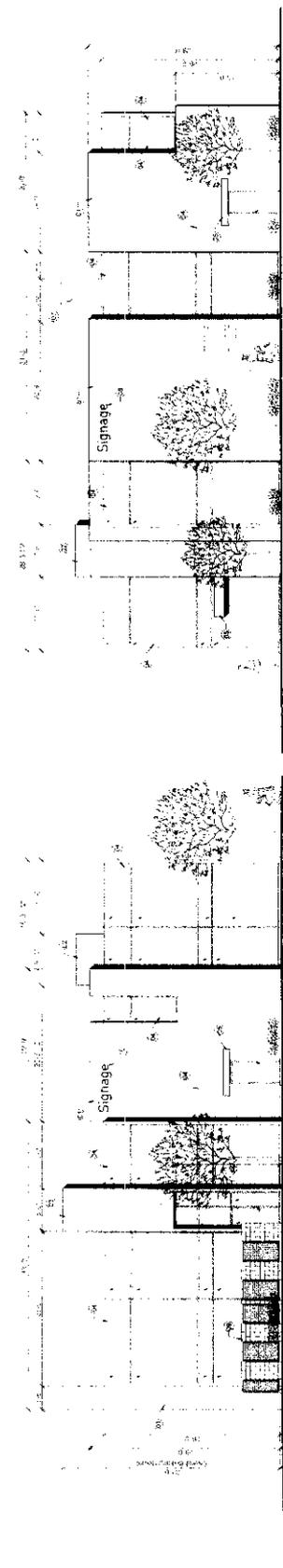
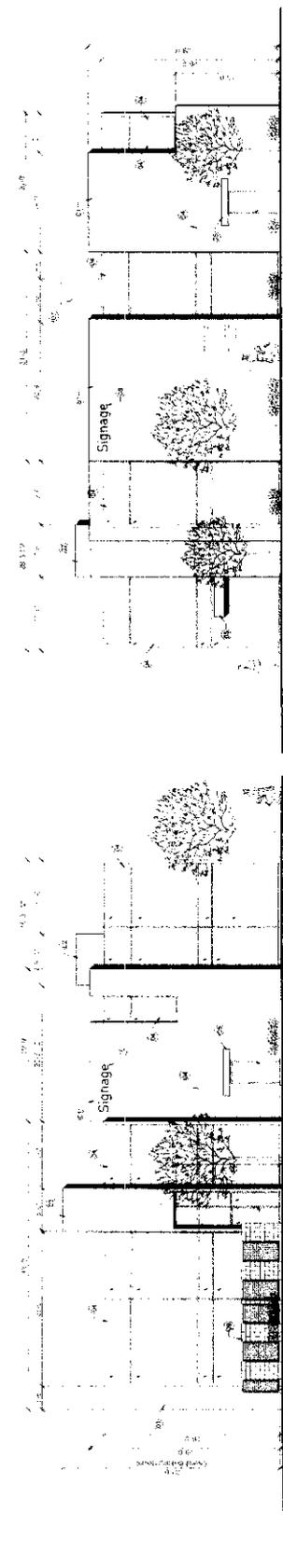
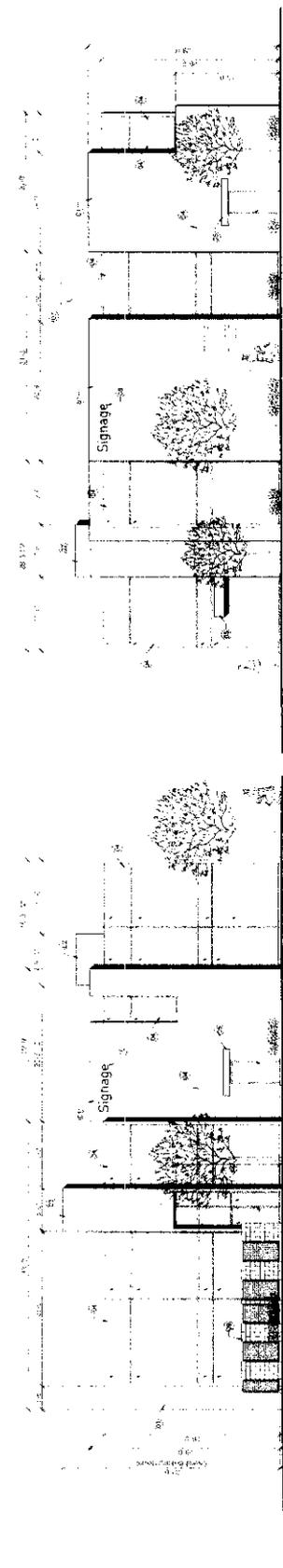
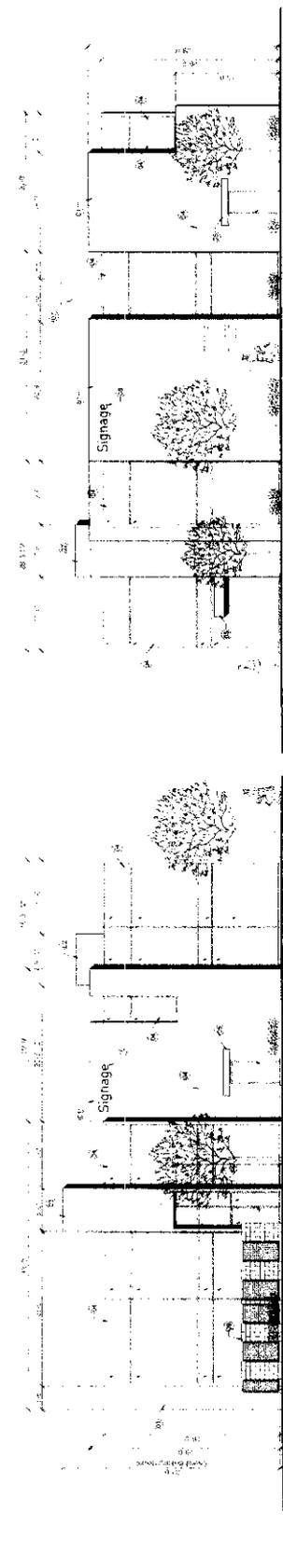
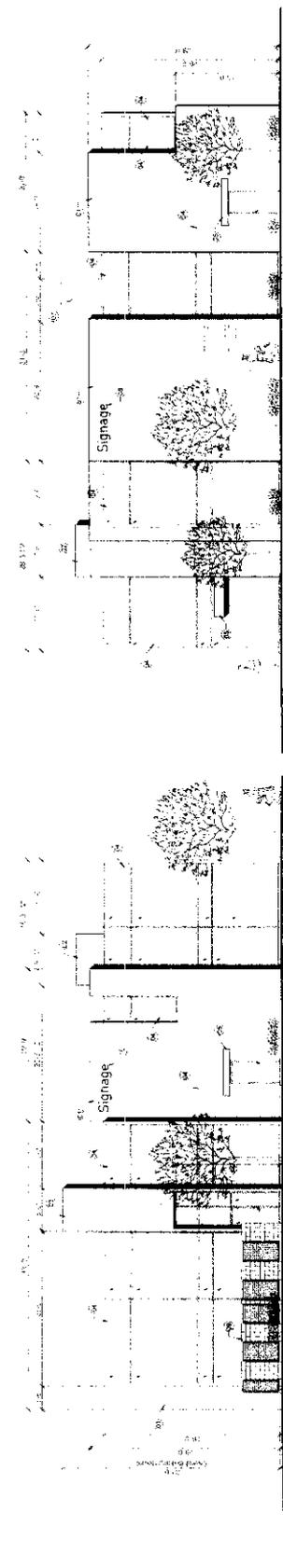
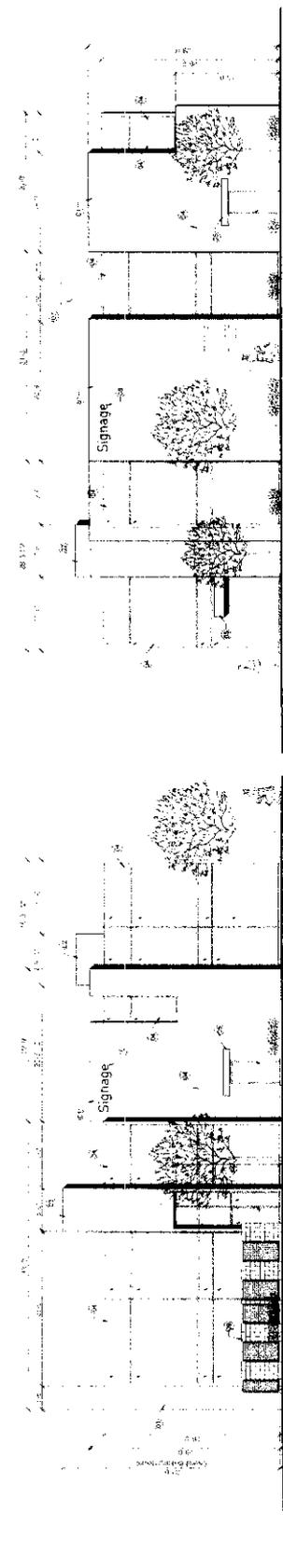
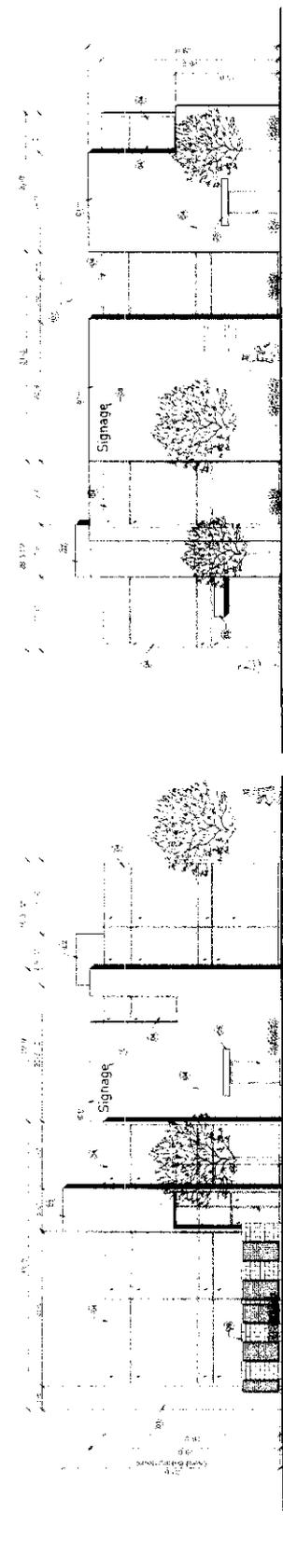
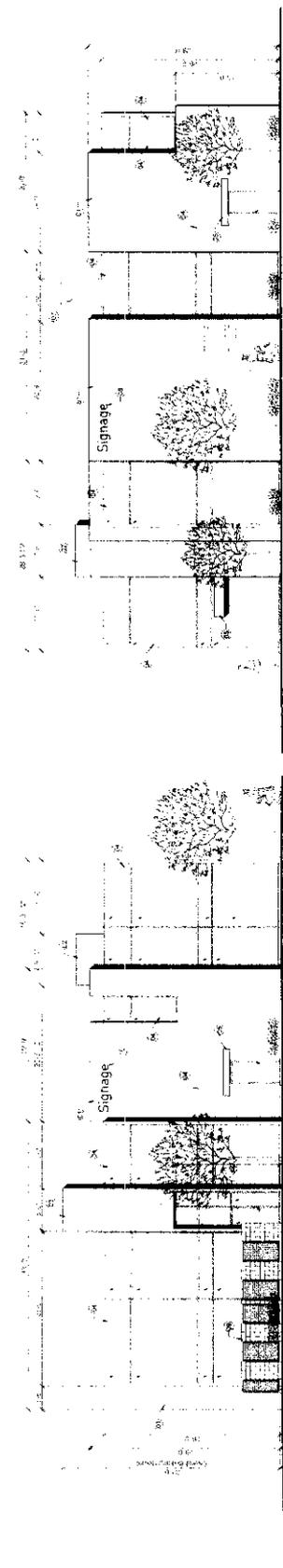
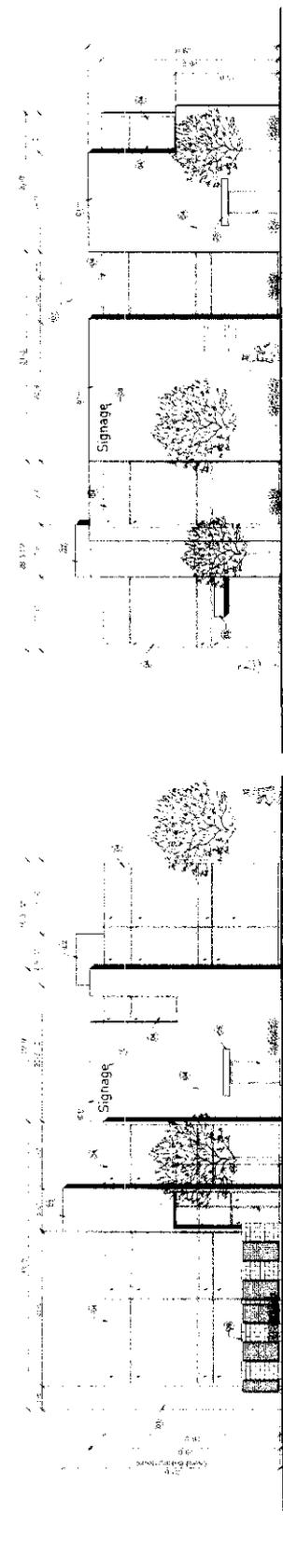
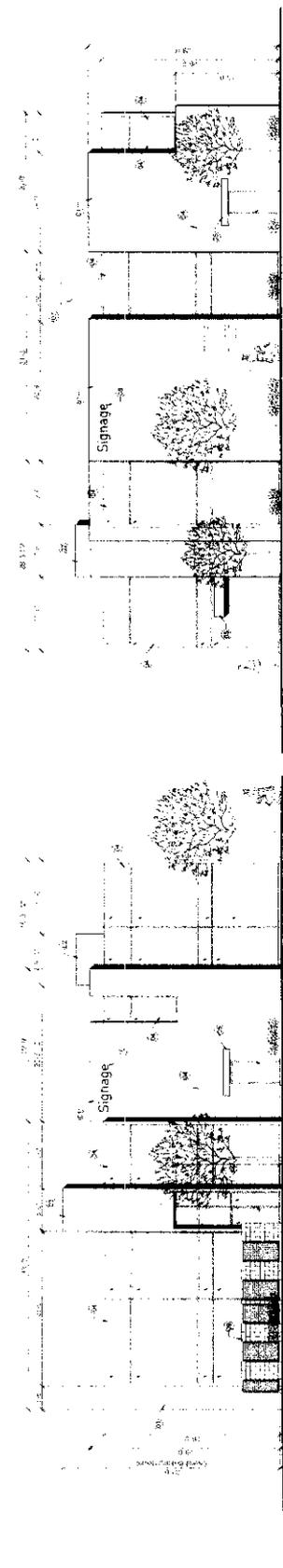
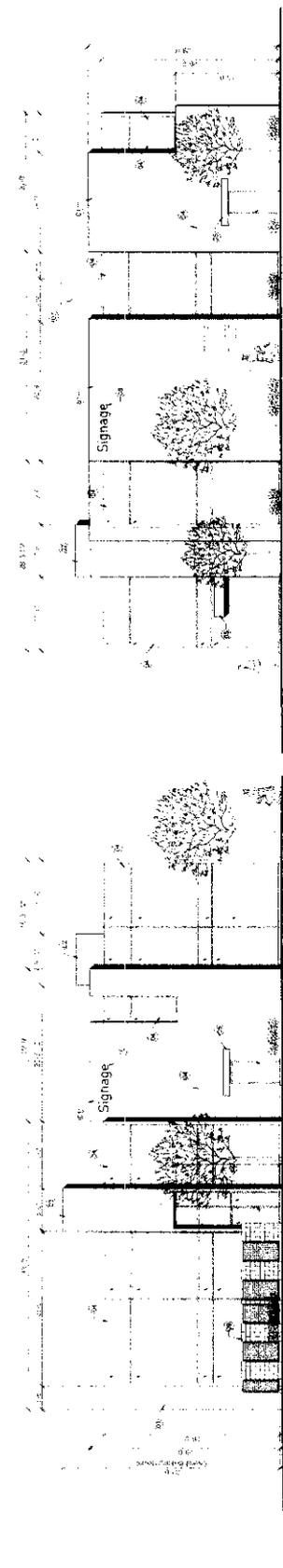
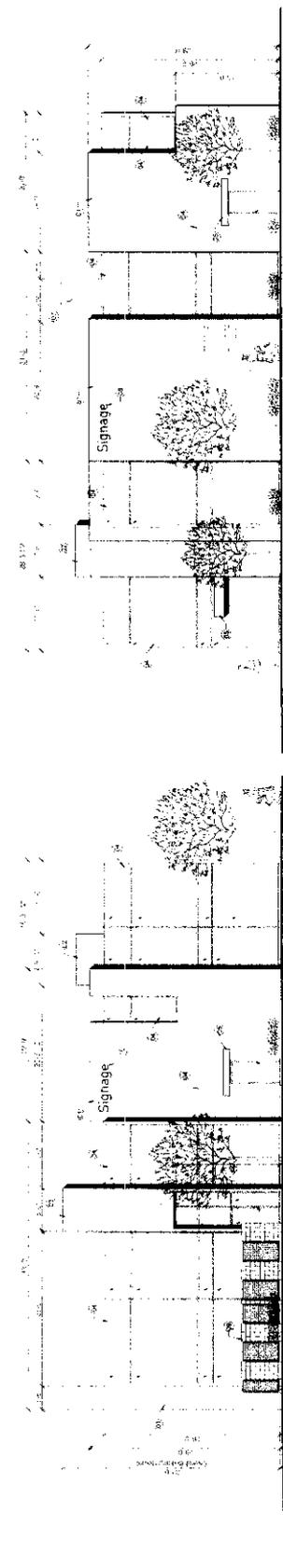
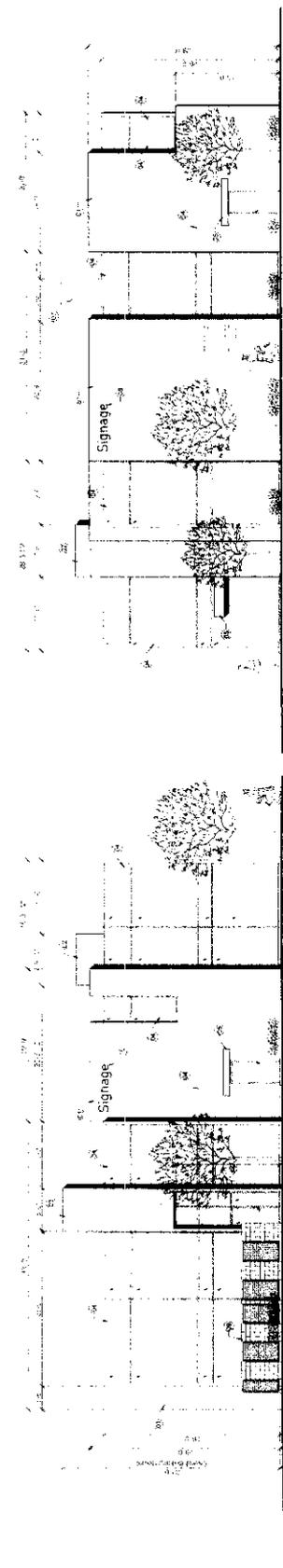
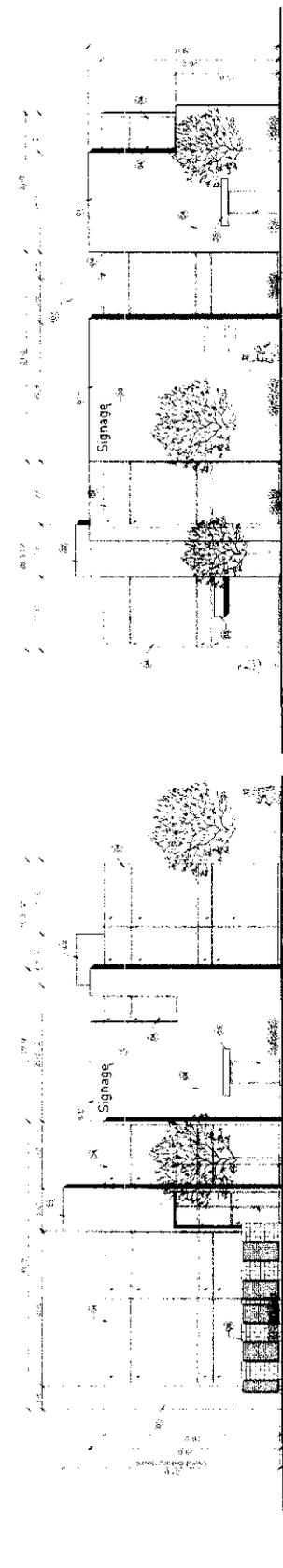
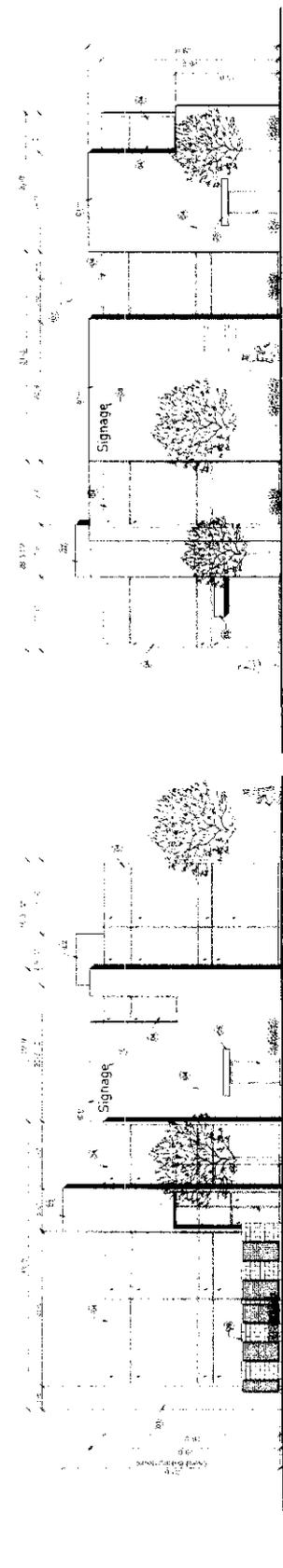
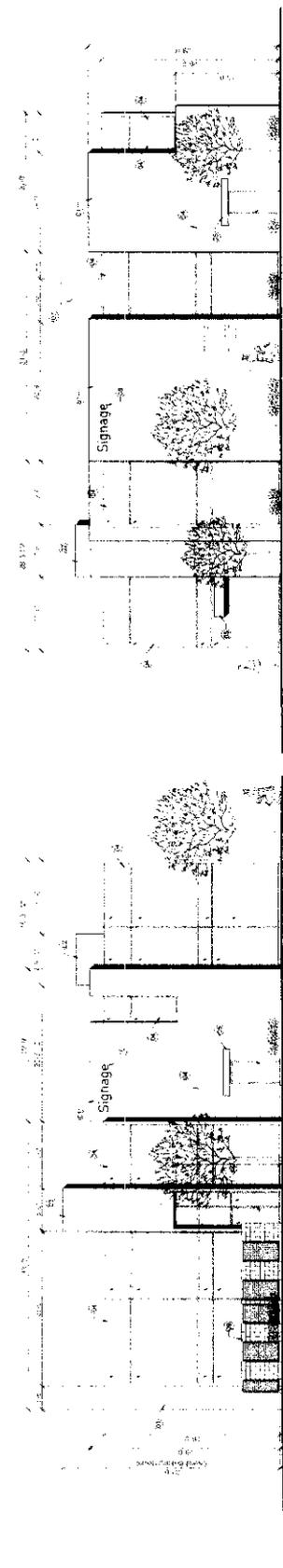
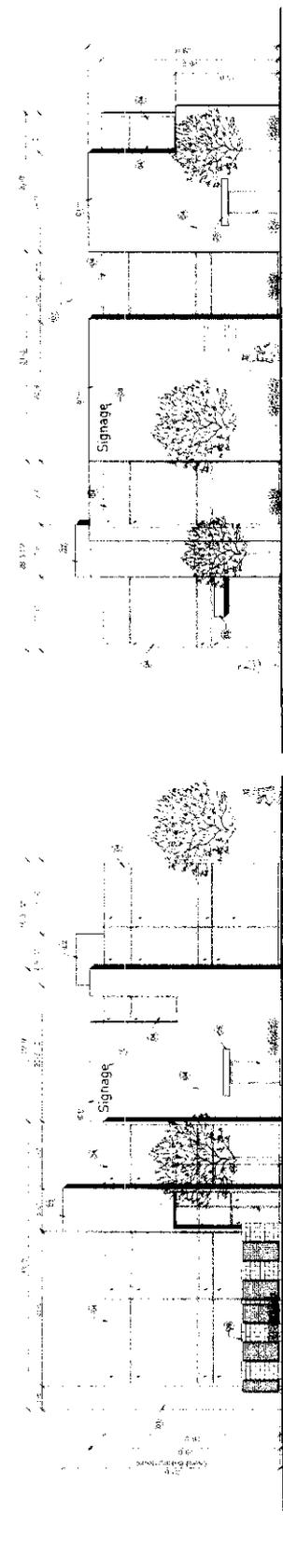
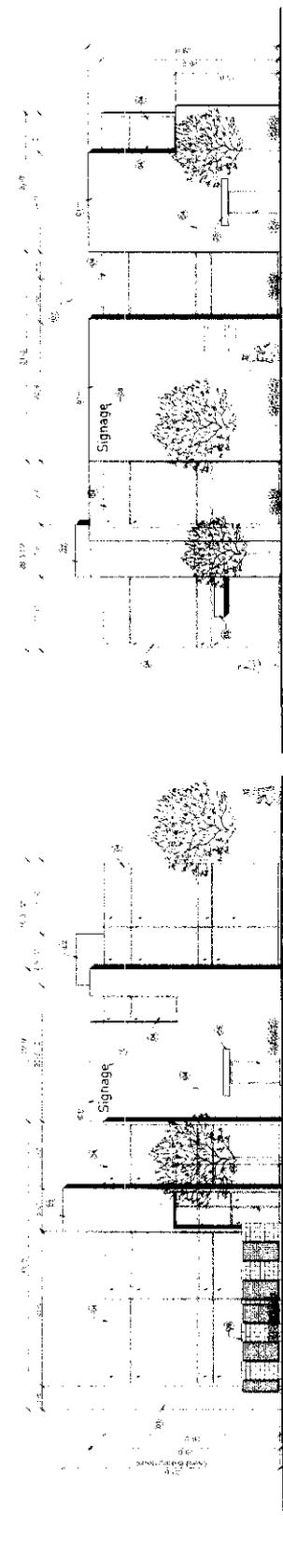
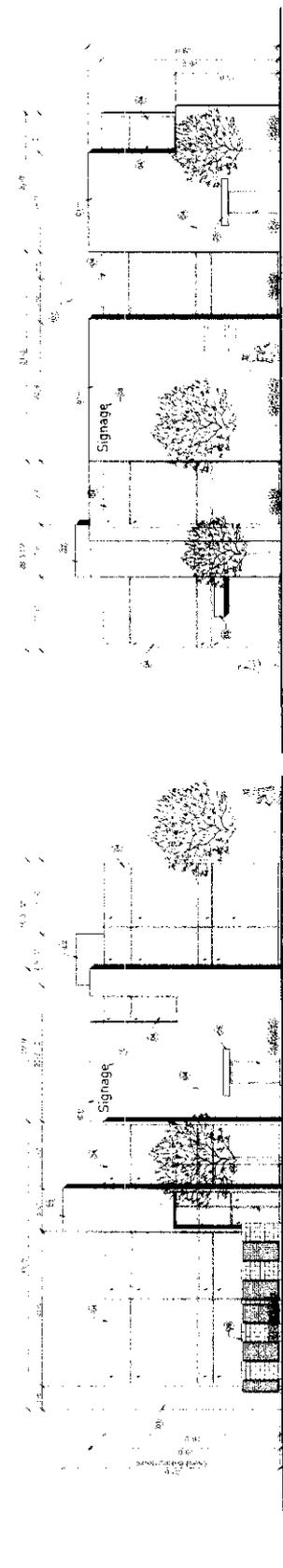
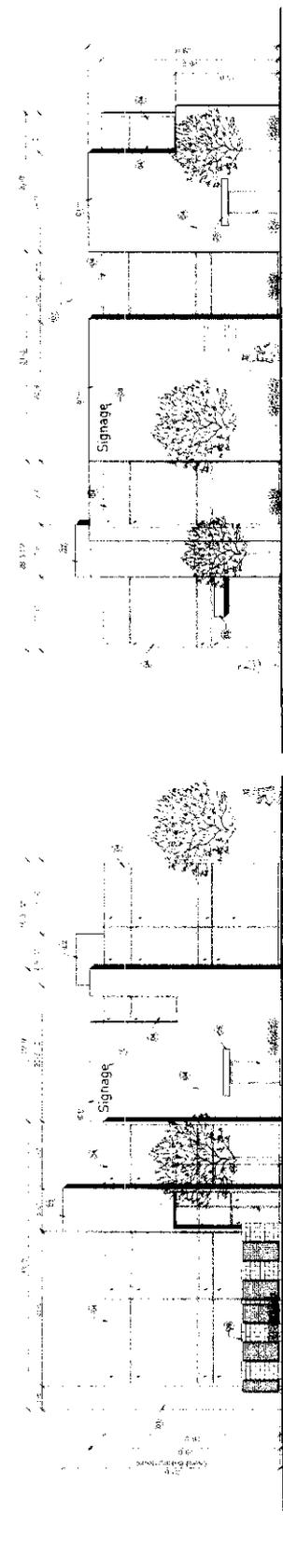
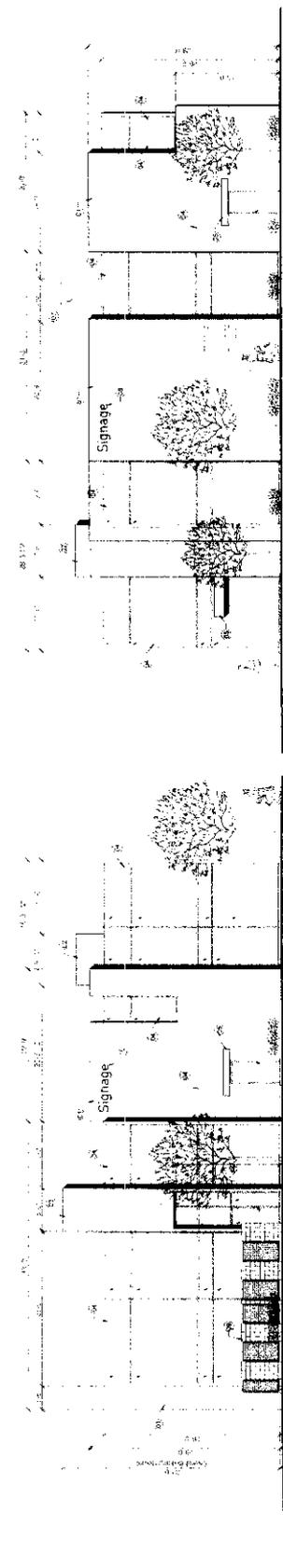
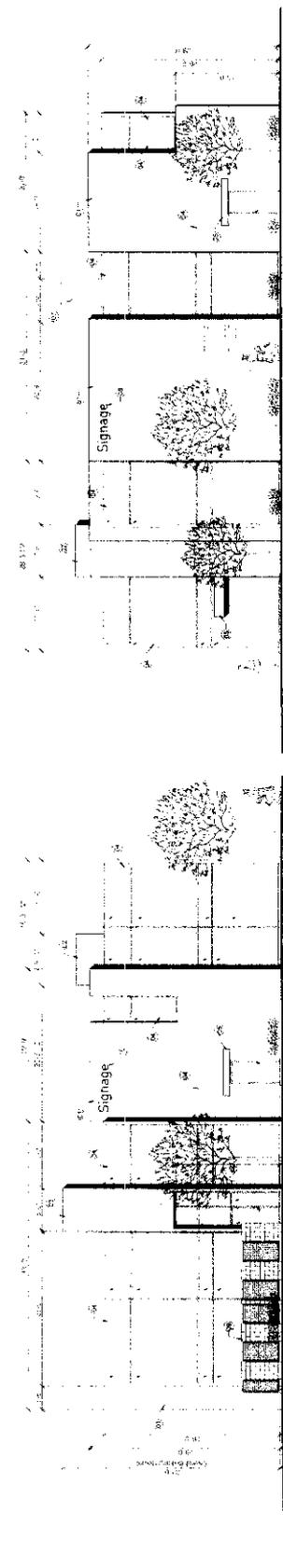
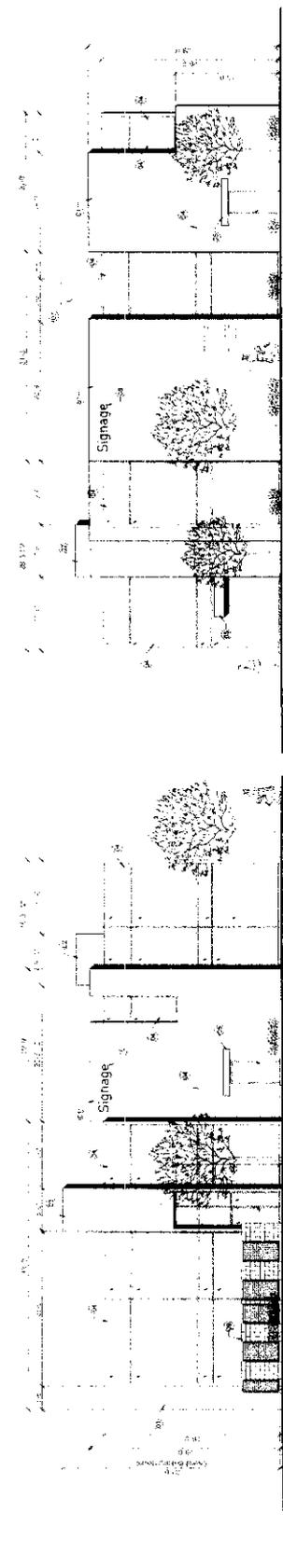
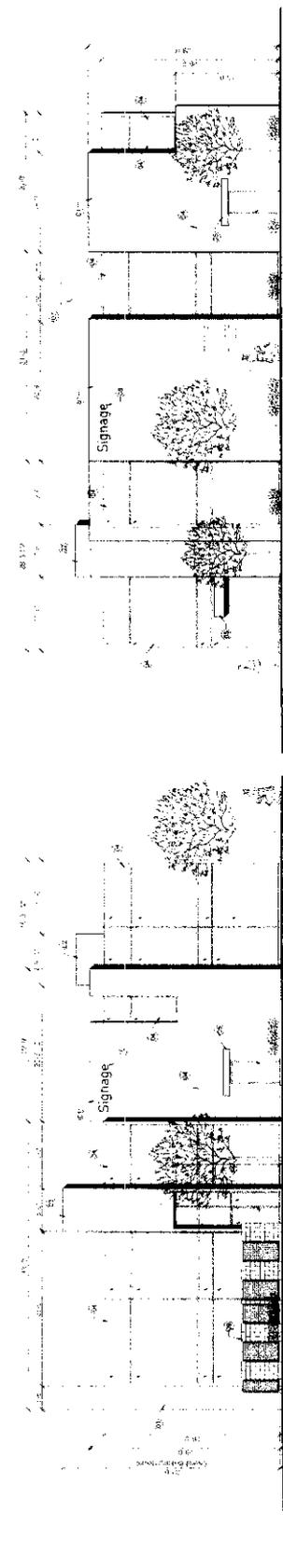
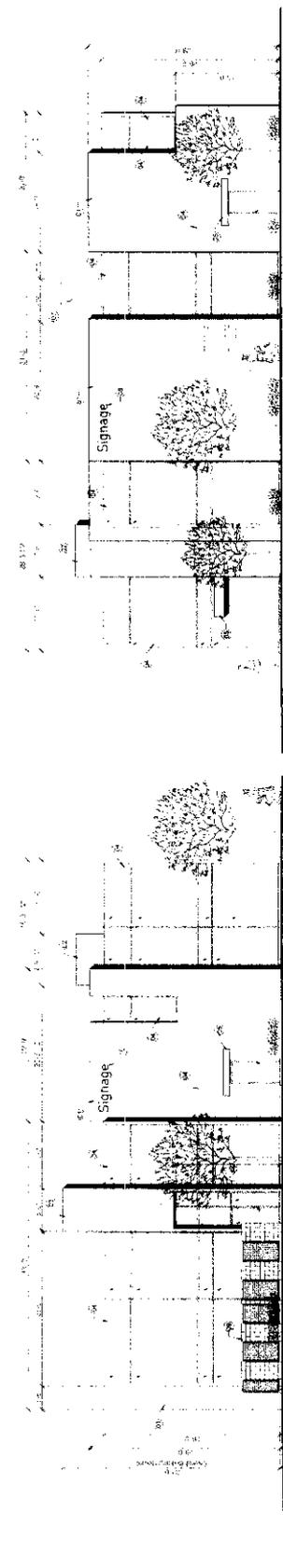
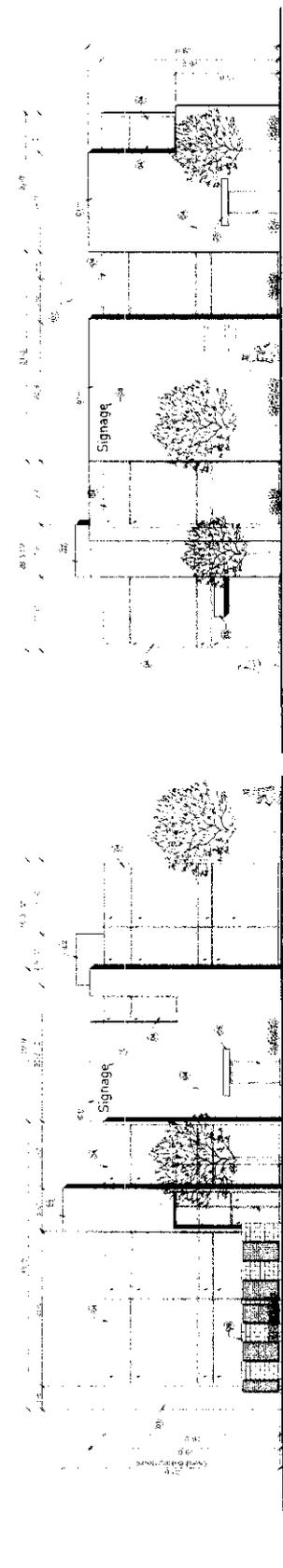
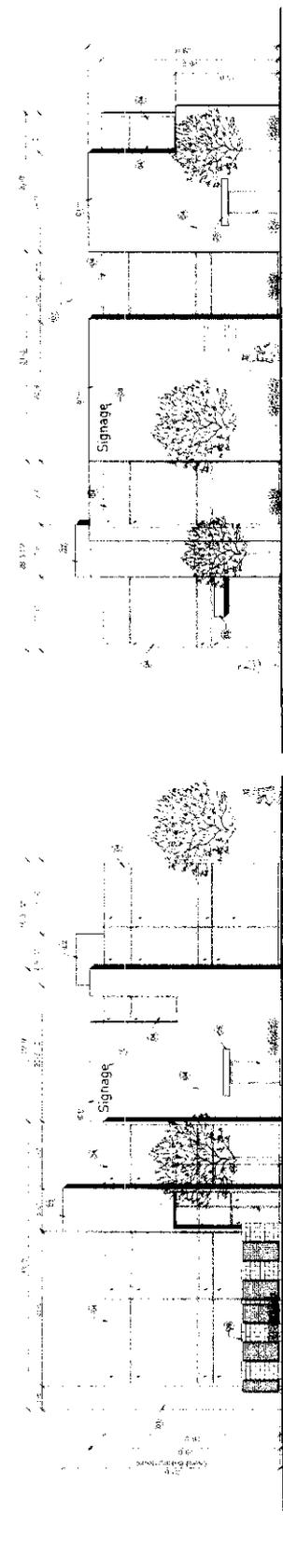
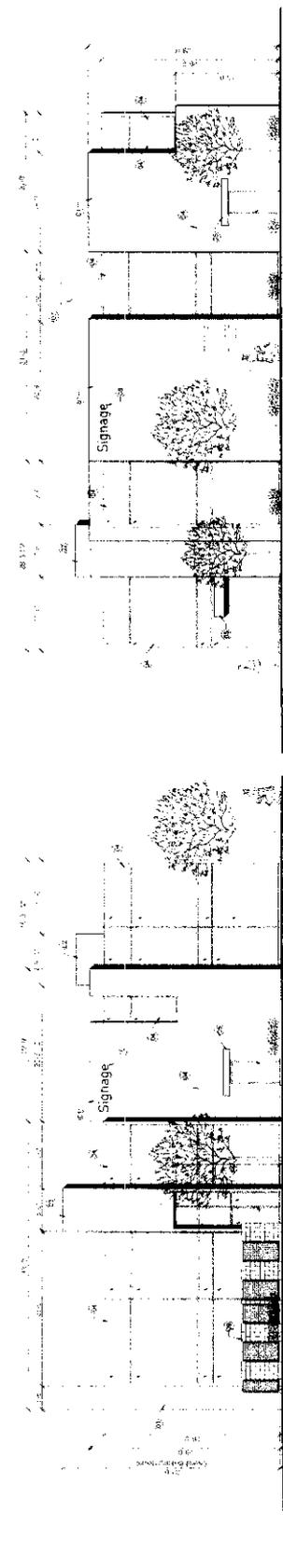
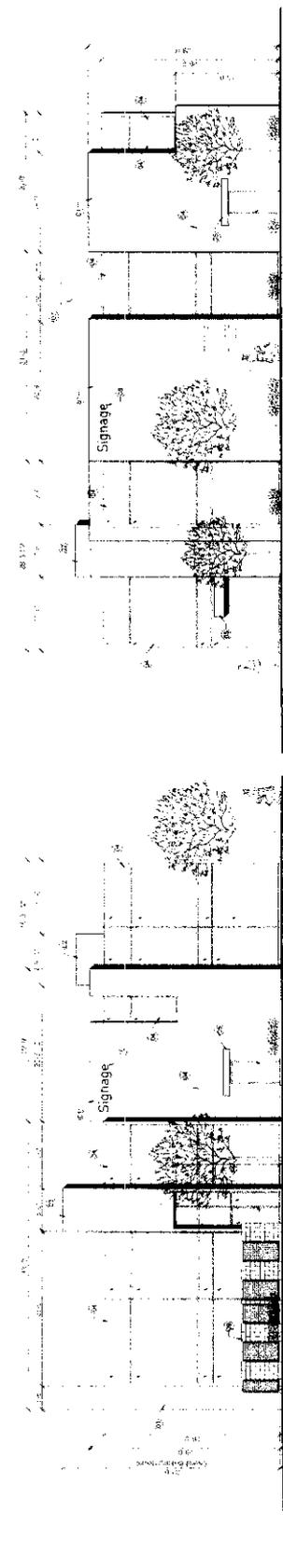
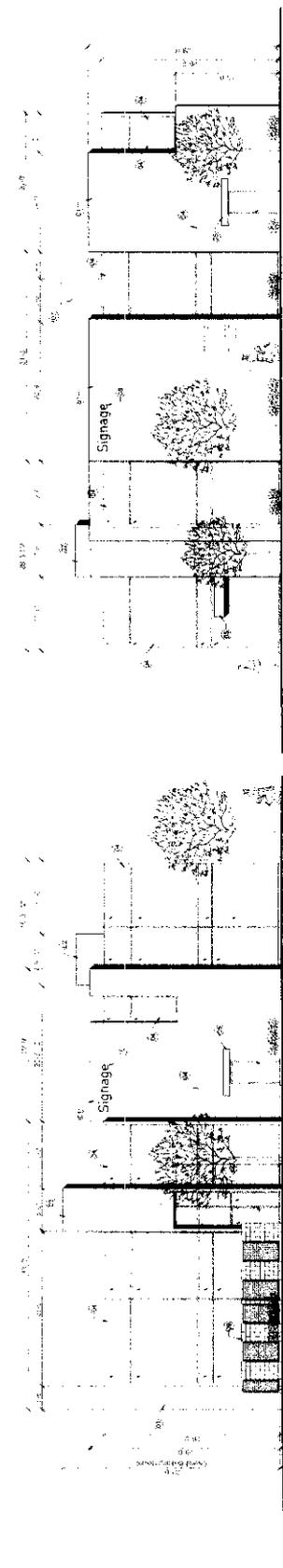
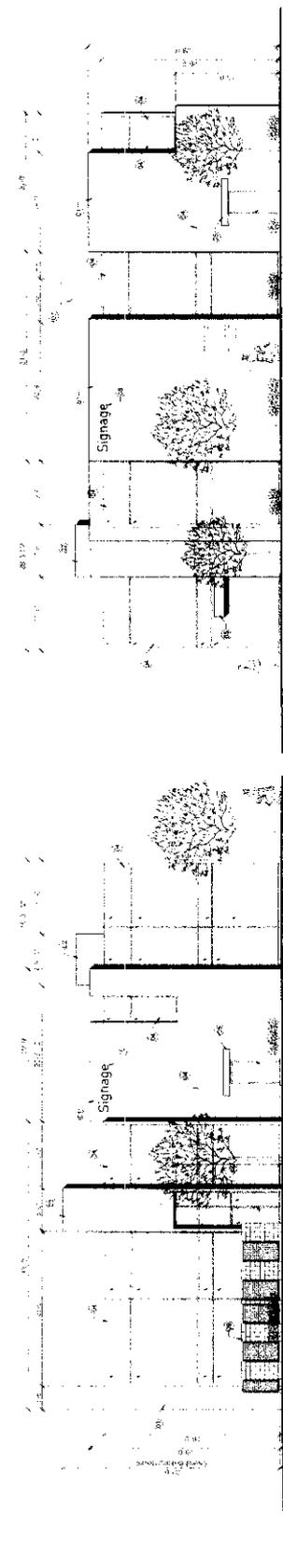
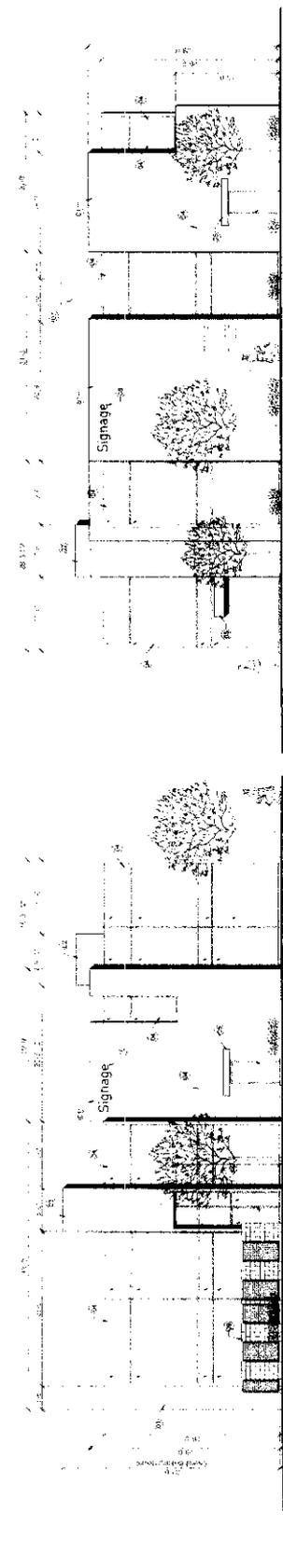
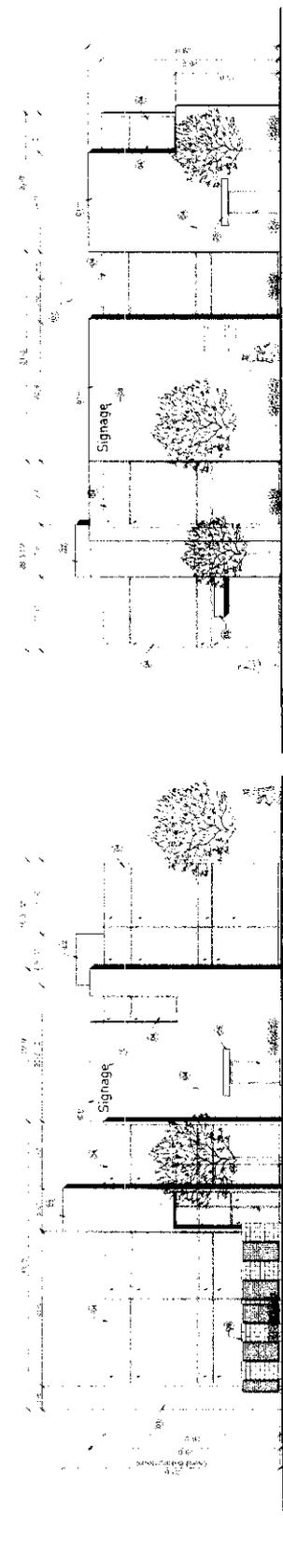
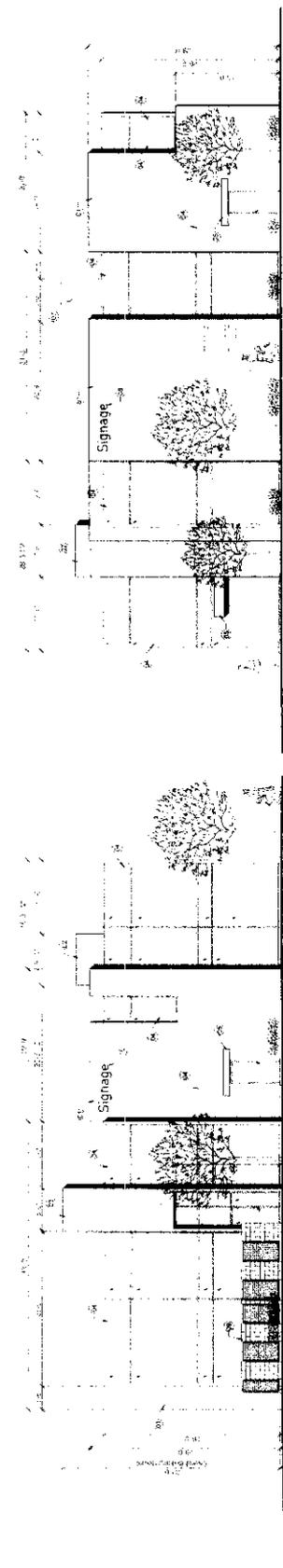
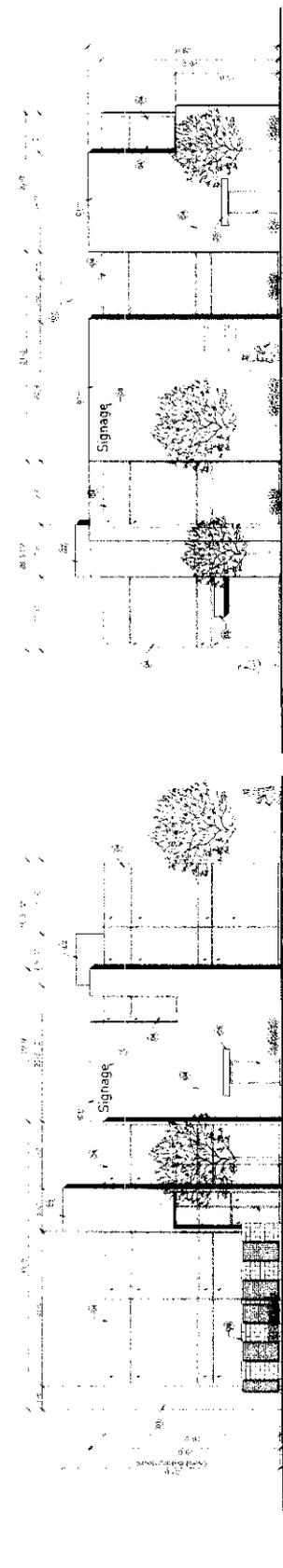
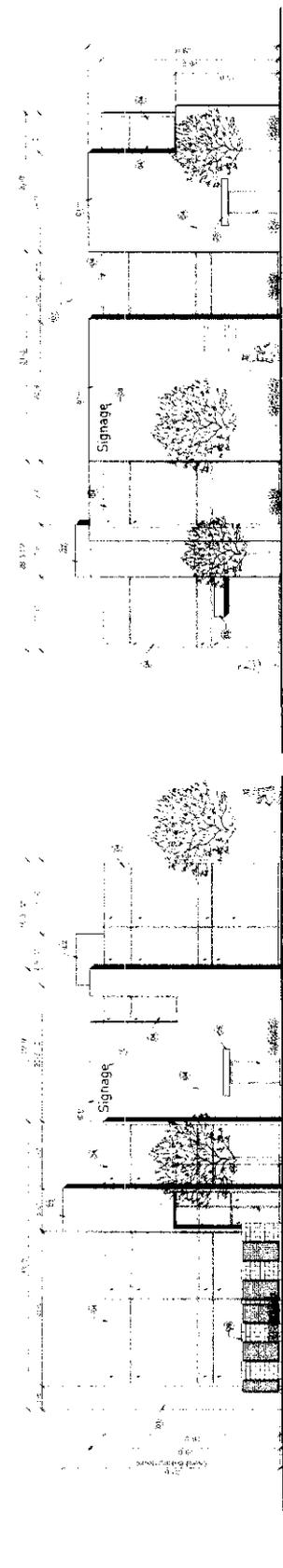
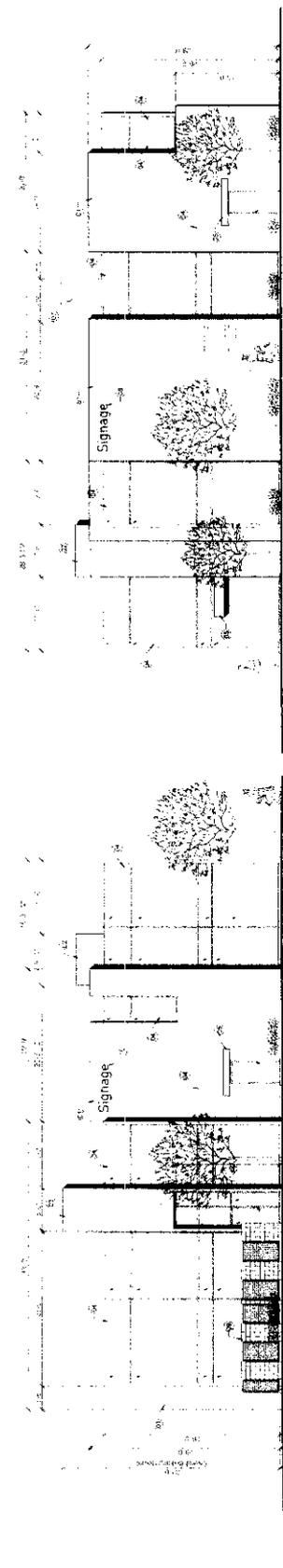
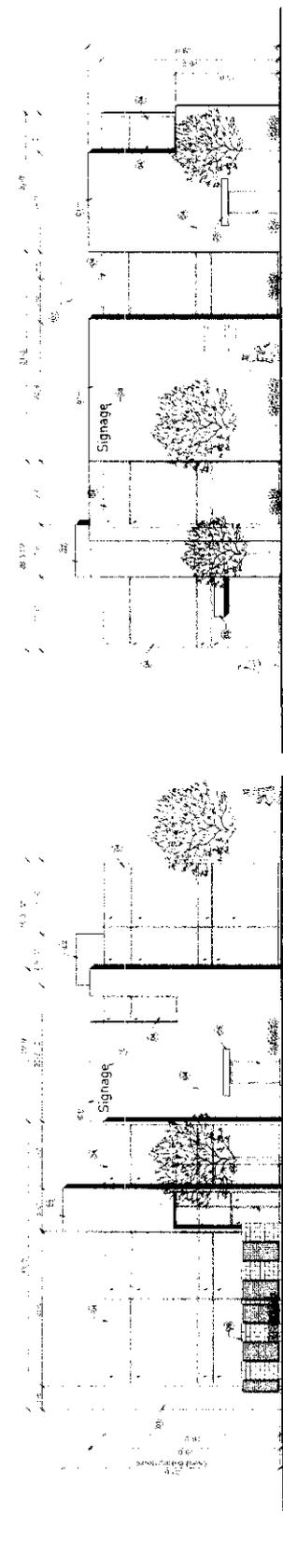
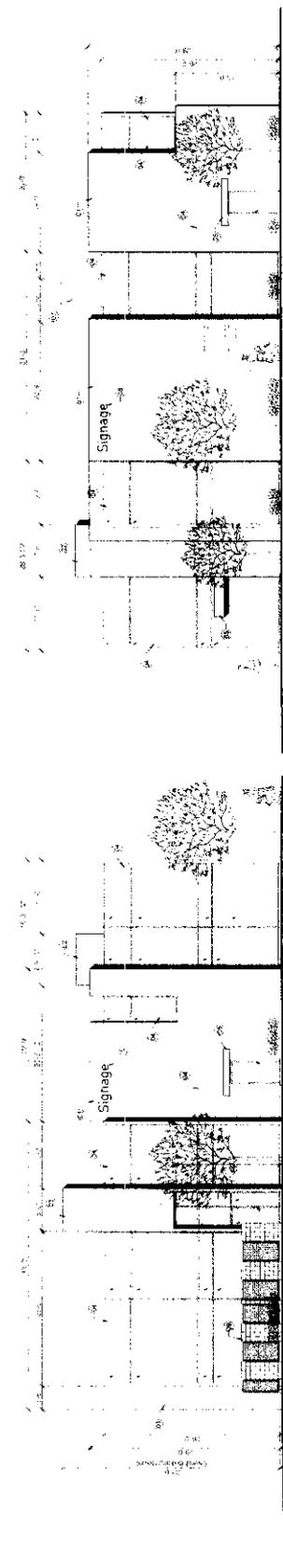
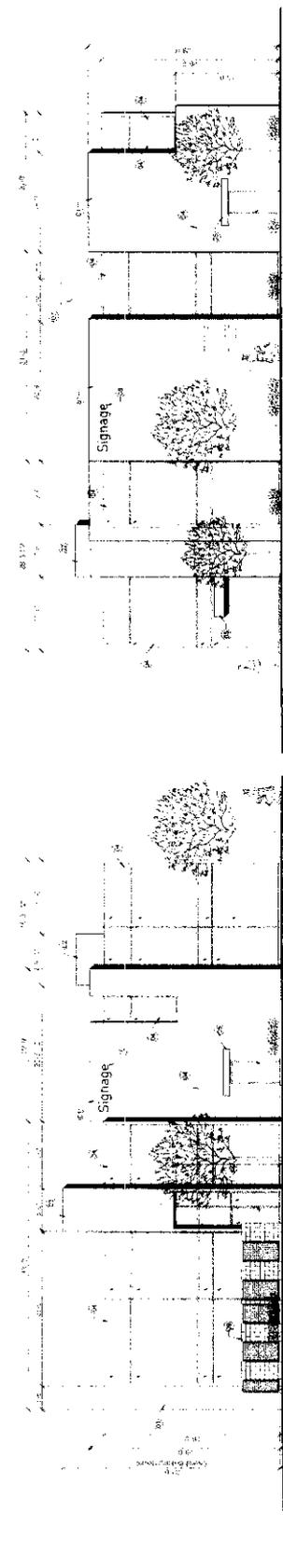
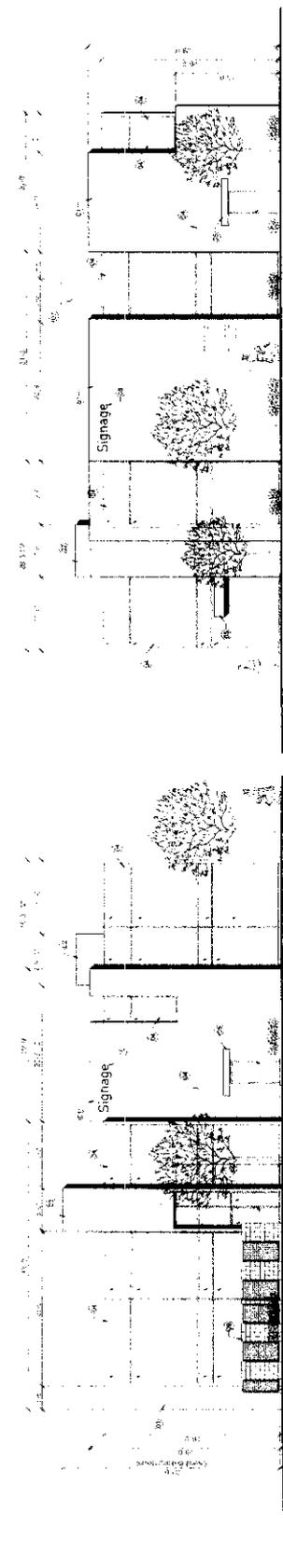
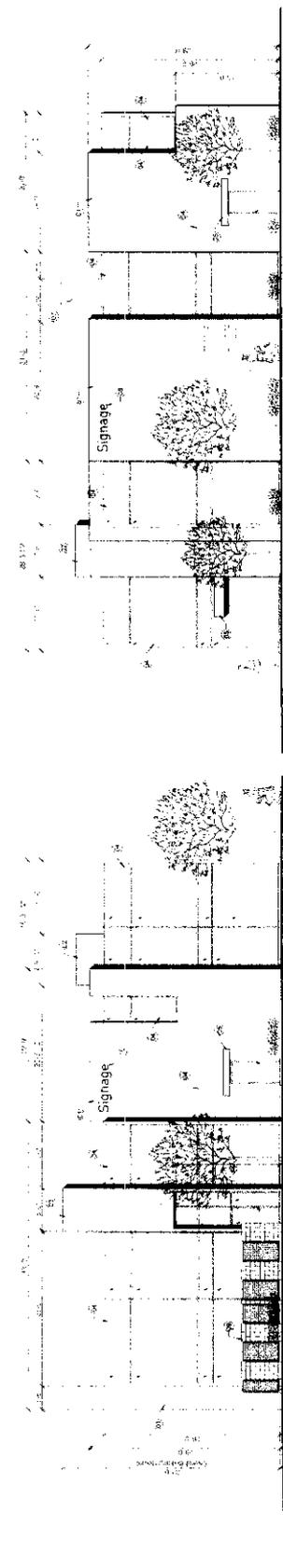
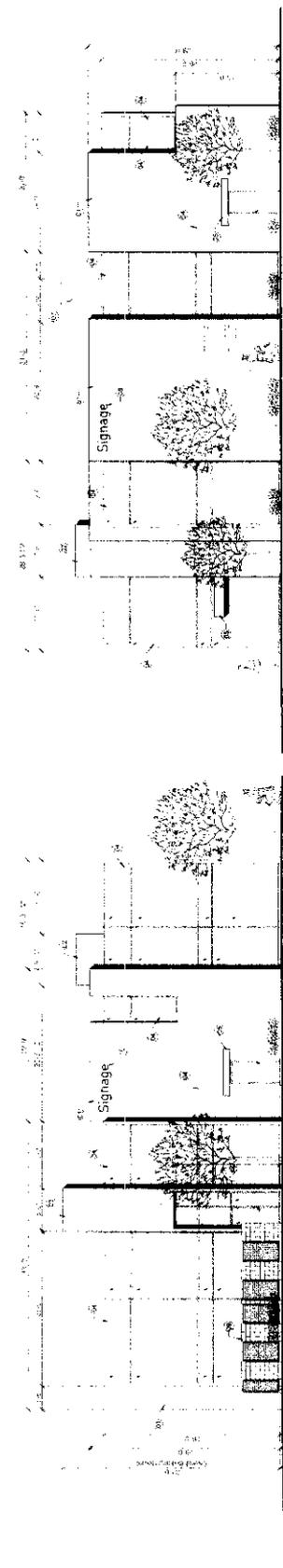
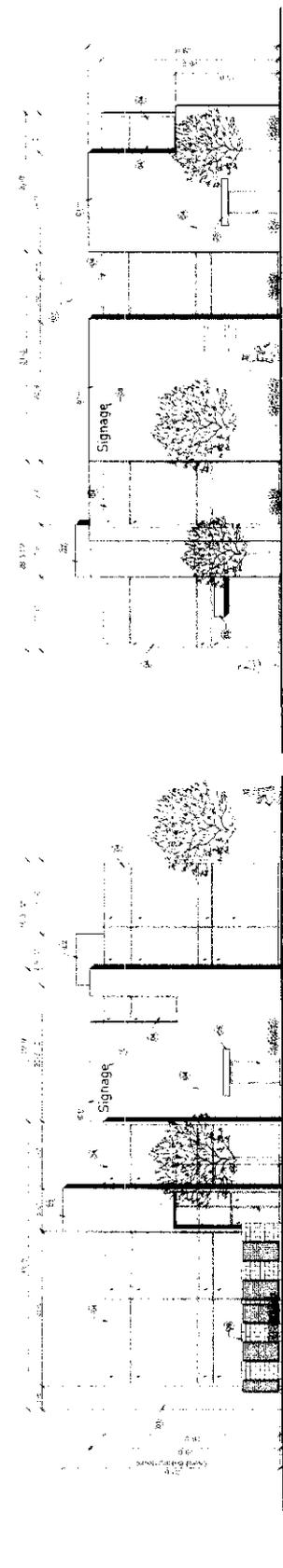
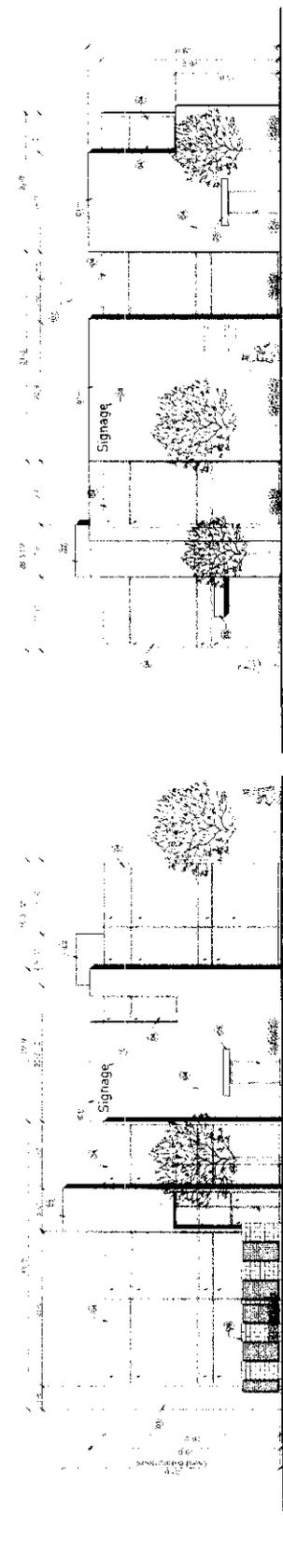
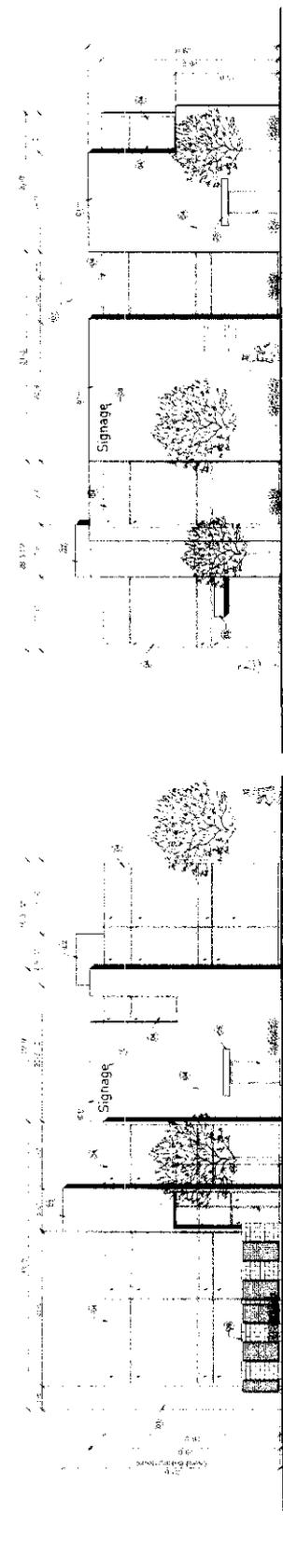
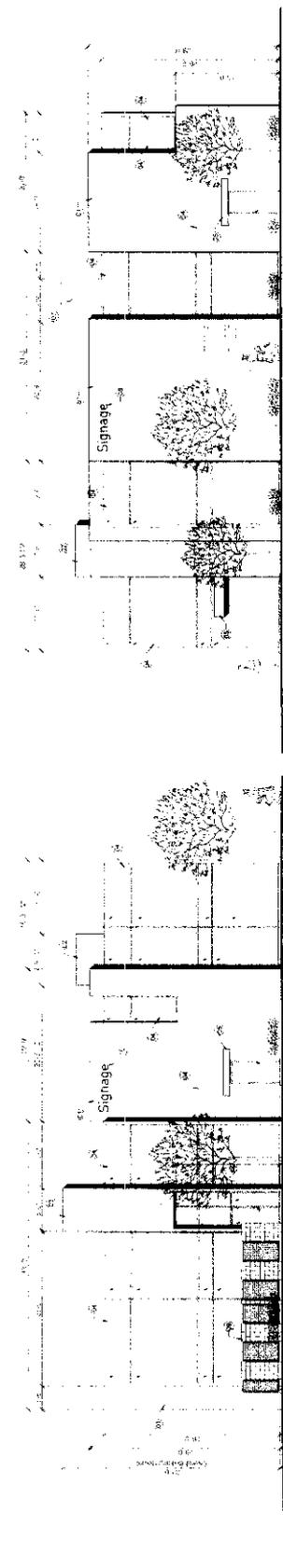
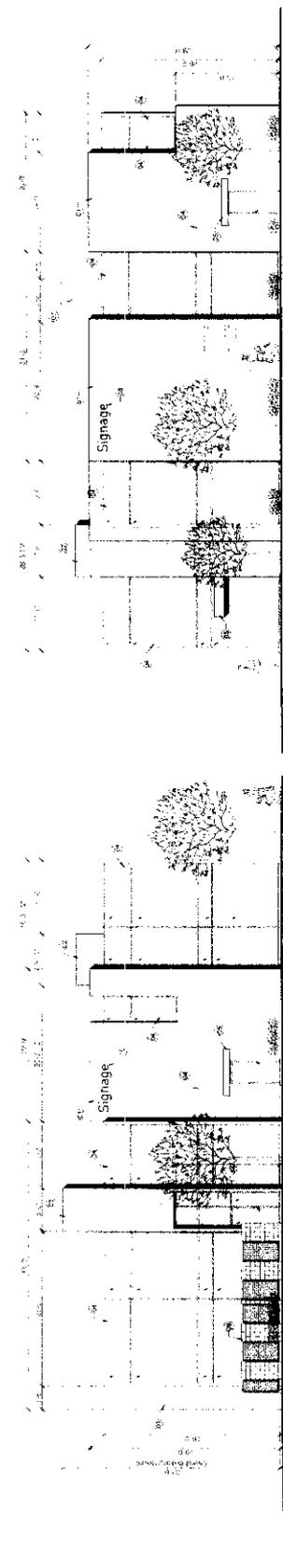
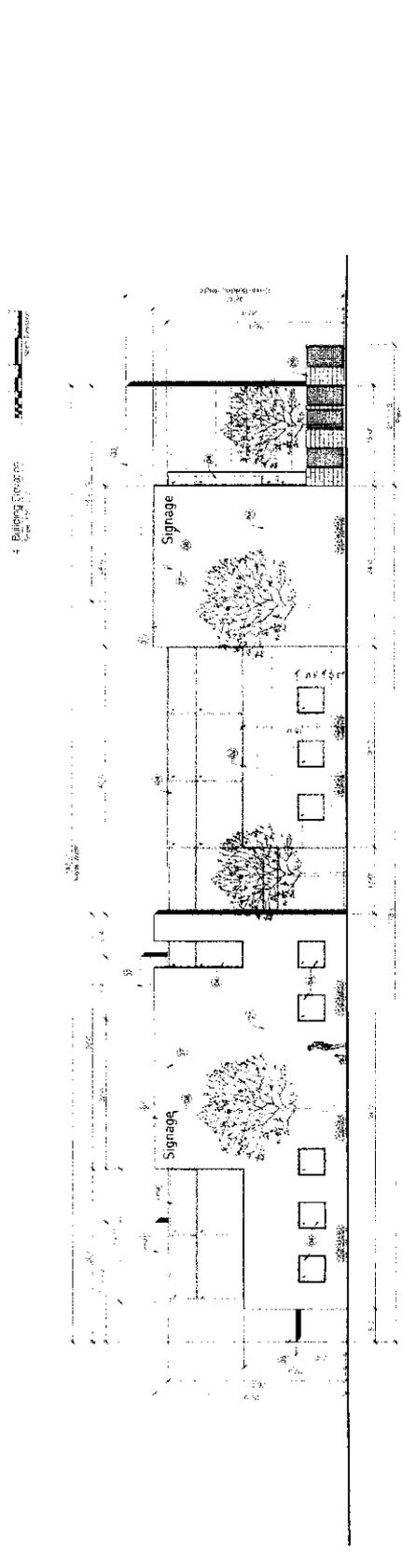
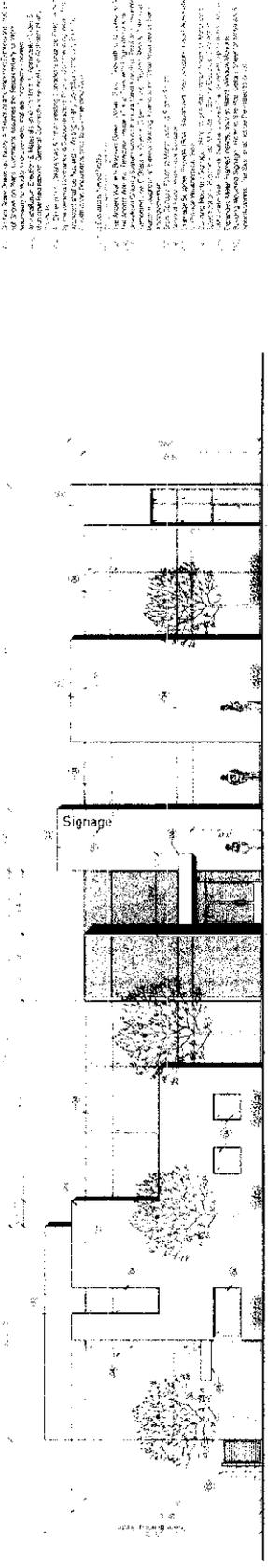
OC ARCHITECT  
 332 Avenue C West - 2E  
 Alameda, CA 94608  
 505.299.4131  
 505.349.4167

**ARCHITECT**  
**DEWIK CANNERY**  
**ARCHITECT STUDIO**  
 332 Avenue C West - 2E  
 Alameda, CA 94608  
 505.299.4131  
 505.349.4167  
 3154 P.O. Box 10101, Alameda, CA 94601



1. The architect shall be responsible for obtaining all necessary permits and approvals from the local, state, and federal authorities. The architect shall coordinate with the contractor to ensure that all construction is completed in accordance with the approved plans and specifications. The architect shall also be responsible for coordinating with the utility companies to ensure that all utility lines are properly located and marked. The architect shall also be responsible for coordinating with the local government to ensure that all construction is completed in accordance with all applicable laws and regulations. The architect shall also be responsible for coordinating with the local government to ensure that all construction is completed in accordance with all applicable laws and regulations. The architect shall also be responsible for coordinating with the local government to ensure that all construction is completed in accordance with all applicable laws and regulations.

**ARCHITECT**  
**DEVIN CANNADY**  
**ARCHITECT STUDIO**  
 322 ADAMS STREET SE  
 ALBUQUERQUE NM 87108  
 505.299.1111  
 505.349.4167  
 @DEVINCANNADY.COM





**CONCEPTUAL GRADING PLAN**

ADDITIONAL SHEETS  
 SEE SHEET 05-04-07  
 05-04-07

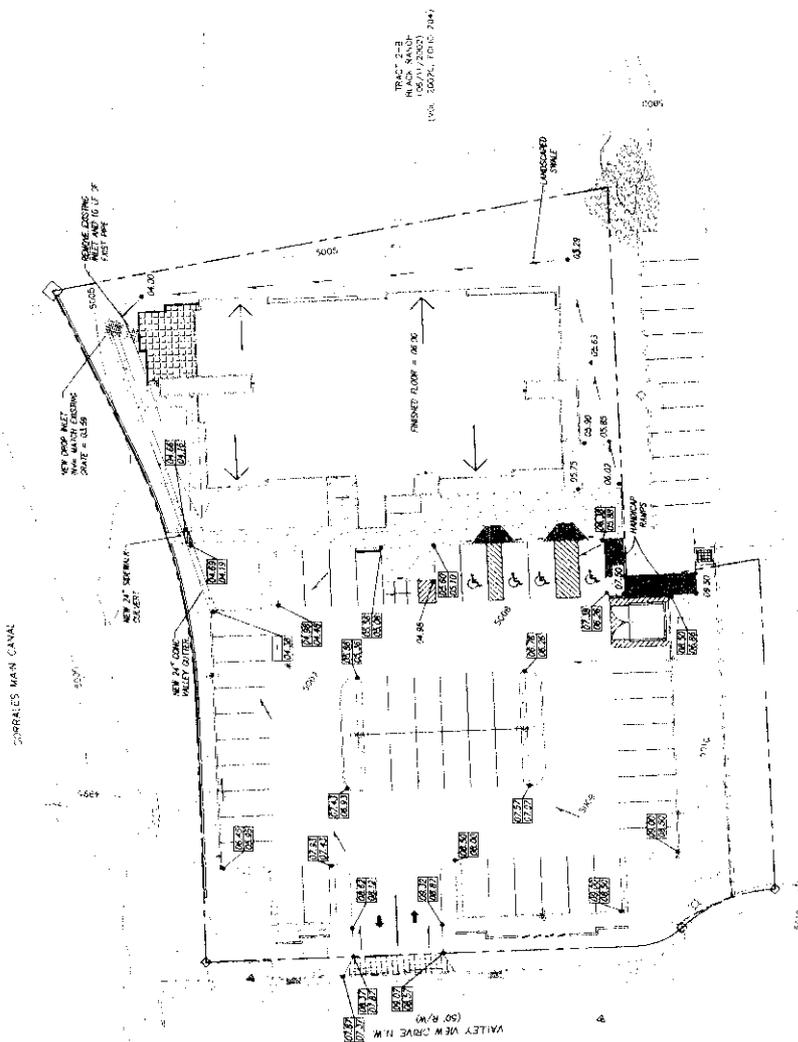
**PROJECT DESCRIPTION**

This plan shows the proposed conceptual grading plan for the site shown. It is based on the site plan and the proposed building footprint. The plan shows the proposed building footprint, the proposed parking area, the proposed driveway, the proposed walkway, the proposed landscaping, and the proposed grading. The plan is based on the site plan and the proposed building footprint. The plan shows the proposed building footprint, the proposed parking area, the proposed driveway, the proposed walkway, the proposed landscaping, and the proposed grading. The plan is based on the site plan and the proposed building footprint.

- TRANSFORMER
- 10" MONUMENT STAMPED U.S. 3750
- SEWER MANHOLE
- SEWER MANHOLE
- CONCRETE AREA
- DROP INLET
- TELEPHONE TROUSERS
- LIGHT POLE
- CABLE PEGS/PILE
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- PROPOSED WATER BREAK
- PROPOSED SPOT ELEVATION (W/ 2' CURB OFFSET)
- PROPOSED CONCRETE SIDEWALK
- FLOW ARROW
- PROPOSED SWALE
- PROPOSED SEWER COLLECTOR
- PROPOSED RETAINING WALL



*John A. [Signature]*  
 05-04-07



SCALE: 1" = 20'  
 DATE: 05-04-07  
 DRAWN BY: [Name]

BLACK LINES  
 BLACK HATCH  
 DATE: 05-04-07  
 DRAWN BY: [Name]



## NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a **Study Session on Thursday, April 12, 2007, 1:00 p.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following:

Distribution & Review – Current Land Use Matters for the April 19, 2007 Public Hearing, which include the projects listed below.

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a **Public Hearing on Thursday, April 19, 2007, 8:30 a.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following items: [Note: these items are not in the order they will be heard]

**Project # 1001620**

07EPC-00170 Text Amendment to the Zoning Code

CITY OF ALBUQUERQUE, PLANNING DEPARTMENT agent(s) for CITY OF ALBUQUERQUE, CITY COUNCIL requests the above action for Amending a portion of Section 14-16-4-2 ROA 1994 to change the requirements for approval of a variance. City Wide. Stephanie Shumsky, Staff Planner

**Project # 1001620**

07EPC-00201 Text Amendment to the Zone Code

COA/PLANNING DEPARTMENT agent for COA/CITY COUNCIL request the above action(s) for Amending Section 14-16-1-5, ROA 1994, a portion of the Comprehensive Zoning Code and Section 14-14-3-4, ROA 1994, a portion of the Subdivision Ordinance associated with a proposed Albuquerque Archeological Ordinance (O-07-72). Catalina Lehner, Staff Planner

**Project # 1004831**

07EPC-00202 Text Amendment to the Subdivision Ordinance

**Project # 1003190**

07EPC-00221 EPC Sector Development Plan Map Amendment

CONSENSUS PLANNING, INC. agents for UNSER BOULEVARD INVESTORS PARTNERSHIP request the above action for a portion of Tracts 469 & 470, **Lands of Atrisco Grant**, a sector development plan map amendment from RD/R-1 to C-1, located on UNSER BLVD. SW, between SAGE ROAD SW and SAN YGNACIO RD. SW, containing approximately 5 acres. (L-10) Anna DiMambro, Staff Planner

**Project # 1005396**  
07EPC-00226 EPC Site Development Plan-  
Building Permit

ANISSA CONSTRUCTION, INC. agents for M& F AUTO request the above action for all or a portion of Tract A-26-B-1, **Cacy Subdicion**, zoned SU-1 for C-2 Uses, located on COORS BLVD. NW, between QUAIL RD. NW and PHEASANT AVENUE , containing approximately 3 acres. (G-11) Catalina Lehner, Staff Planner

**Project # 1000365**  
07EPC-00241 Zone Map Amendment  
07EPC 00284 Site Development Plan -  
Subdivision

MASTERWORKS ARCHITECTS INC. agents for TAN VAN HUYNH request the above actions for all of Lots 2-4 & 19-21, **Unity Addition**, a zone map amendment from SU-1/C-1 Vehicle Sales to R-LT, located on RHODE ISLAND ST. SE, between CENTRAL AVE. and ZUNI ROAD, containing approximately 1 acre. (K-19) Anna DiMambro, Staff Planner

**Project # 1000363**  
07EPC-00244 EPC Site Development Plan-  
Building Permit

STUDIO SW ARCHITECT agents for CITY OF ALBUQUERQUE/DMD request the above action for all or a portion of Tract G-1, **Balloon Fiesta Park**, zoned SU-2 for Balloon Park & Museum & Related Uses, located on BALLOON MUSEUM DR. NE, between Jefferson St. NE and Alameda Blvd. NE, containing approximately 2 acres. (B-17) Carol Toffaleti, Staff Planner

**Project # 1000366**  
07EPC-00246 EPC Site Development Plan-  
Building Permit

CONSENSUS PLANNING, INC. agents for ALFRED SANCHEZ III request the above action for all or a portion of Tract 2A2C, **Black Ranch**, zoned SU-1 for C-1 Permissive, located east of COORS NW, between PASEO DEL NORTE NW and IRVING NW, containing approximately 2 acres. (C-13) Anna DiMambro, Staff Planner

**Project # 1000762**  
07EPC-00255 Zone Map Amendment

GOLDEN ASSOCIATES LLC agents for FIRST BAPTIST CHURCH request the above action for all or a portion of Tracts B1A, C1A and B, **Richland Hills**, a zone map amendment from SU-1 PDA to include C-3 Uses to SU-1 IP Uses w/Exceptions, located on PASEO DEL NORTE NW, between RICHLAND HILLS ROAD NW and EAGLE RANCH ROAD NW, containing approximately 2.5 acres. (C-12) Stephanie Shumsky, Staff Planner

**Project # 1005408**  
07EPC-00256 Sector Development Plan Map  
Amendment

JOSHUA SKARSGARD agents for CIBOLA ENERGY CORPORATION request the above action for all or a portion of Lots 19-21, **Perea Addition**, a Sector Development Plan Map amendment from SU-2 TH to SU-2 CC, located on CENTRAL NW, between 14TH ST. NW and LAGUNA BLVD. NW, containing approximately 1 acre. (J-13) Carol Toffaleti, Staff Planner

Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00 and between 2:00 and 4:00 p.m., Monday through Friday, or you may call April Candelaria at 924-3886. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at the public hearing should contact April Candelaria 924-3886.

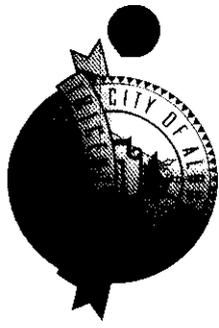
Jeff Jesionowski, Chairman  
Environmental Planning Commission

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL March 28, 2007.**

APPROVED



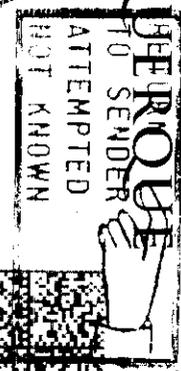
Carmen Marrone, Senior Planner  
Planning Department



Planning Department

EPD

CITY OF ALBUQUERQUE



WWB LLC  
6121 INDIAN SCHOOL RD NE SUITE  
215  
ALBUQUERQUE, NM 87110

8711044140

*Albuquerque, New Mexico*

ANK