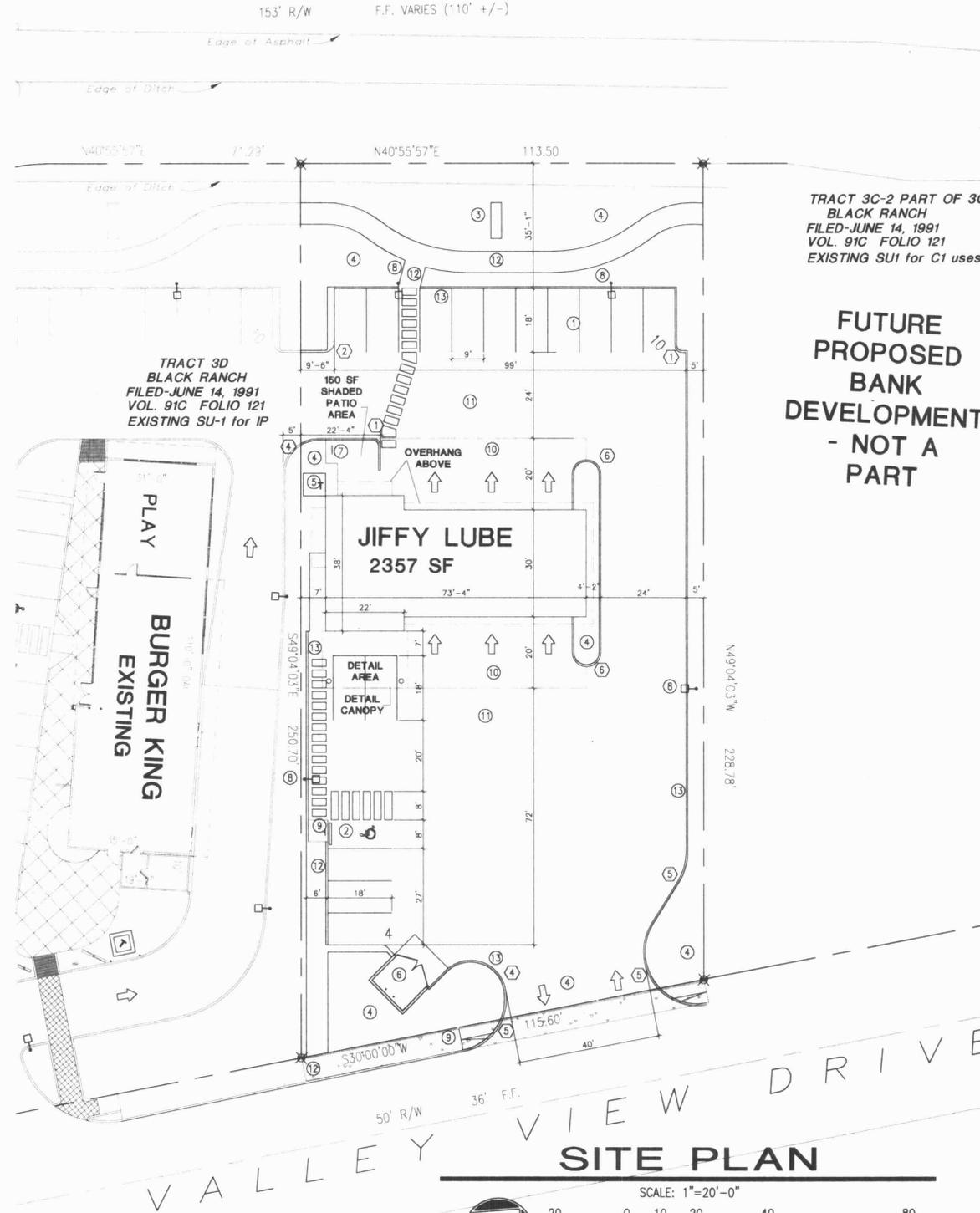
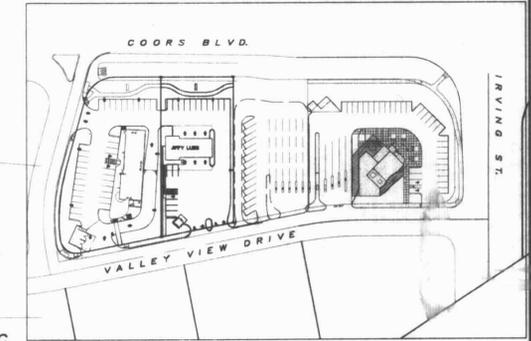


EXISTING C2

# COORS BLVD.

153' R/W F.F. VARIES (110' +/-)

KEYED MAP 1:1600



**FUTURE PROPOSED BANK DEVELOPMENT - NOT A PART**

TRACT 3G-2 PART OF 3C  
BLACK RANCH  
FILED-JUNE 14, 1991  
VOL. 91C FOLIO 121  
EXISTING SU1 for C1 uses

### LIST OF DRAWINGS:

1. SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPE PLAN
3. GRADING + DRAINAGE / UTILITY PLAN
4. BUILDING ELEVATIONS

### KEYNOTES:

1. PARKING. (SEE PARKING NOTES BELOW)
2. ACCESSIBLE PARKING VAN SPACE. (SEE DETAILS 5,6,7)
3. MONUMENT SIGN. SEE DETAIL 8.
4. LANDSCAPE BUFFER.
5. TRANSFORMER
6. COA APPROVED DUMPSTER ENCLOSURE. (SEE DETAIL 4)
7. BIKE RACK. (SEE DETAIL 3)
8. LIGHT POLE. (SEE DETAIL 2)
9. ACCESSIBLE RAMP. (SEE DETAIL 1)
10. BLACK CONCRETE PAVING.
11. ASPHALTIC CONCRETE PAVING.
12. NEW 6" CONCRETE SIDEWALK
13. CONCRETE STANDING CURB PER COA STD. DETAILS.

### LEGAL DESCRIPTION

TRACT 3G-2 PART OF 3C OF BLACK RANCH FILED  
JUNE 14, 1991 VOLUME 91C, FOLIO 121

CURRENT ZONING: SU-1 FOR C1

TOTAL ACREAGE: 0.6245 AC OR 27,203 SF

ZONE ATLAS: A-13-Z & A-14-Z

### BUILDING AREA & PARKING CALCULATIONS:

**BUILDING AREA**  
JIFFY LUBE 2,357 SF. BUILDING

### PARKING NOTES:

TYPICAL STANDARD SPACES ARE 9'-0" x 18'-0"

TYPICAL HANDICAP SPACES ARE 8'-0" x 18'-0" WITH A 8' WIDE ACCESS AISLE

PARKING SPACES REQUIRED = 2357 SF / 200 = 12 SPACES

TOTAL STANDARD PARKING SPACES PROVIDED 13 SPACES

TOTAL HC PARKING SPACES PROVIDED 1 SPACE (INCLUDES 1 VAN SPACES)

TOTAL PARKING SPACES PROVIDED 14 SPACES

BICYCLE SPACES REQUIRED = 1 / 20 CARS PROVIDED = 1

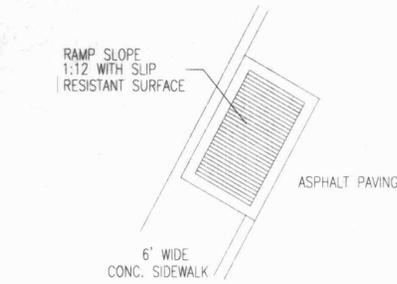
BICYCLE PARKING SPACES PROVIDED = 2

### RADII:

- 1. RADIUS = 2'-0"
- 2. RADIUS = 3'-0"
- 3. RADIUS = 5'-0"
- 4. RADIUS = 10'-0"
- 5. RADIUS = 15'-0"
- 6. RADIUS = 4'-0"

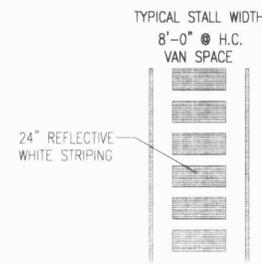
APPROVALS  
EPC 01128-01750 PROJECT # 100 1206  
02-DRB-00172

APPROVALS	DATE
Janet Z...	3/21/02
Paul...	2-30-02
Bradley...	2-13-02
Roger...	2-13-02
William E....	2/13/02
Joe...	2-5-02



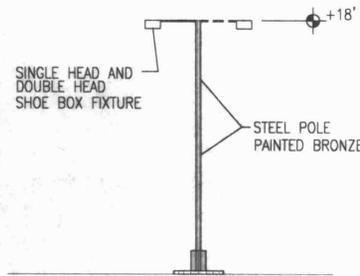
### 1 HC Ramp

NOT TO SCALE



### 5 HC Parking Striping

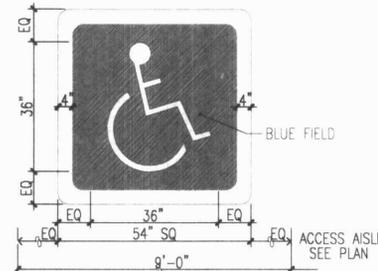
NOT TO SCALE



NOTE: SIGHT LIGHTING PROVIDED ON THE BUILDING FACADES SHALL BE ANGLED TO BE NON-INTRUSIVE INTO ADJACENT AREAS.

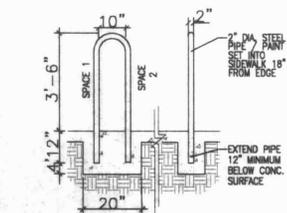
### 2 Site Lighting Detail

Scale: Not to Scale



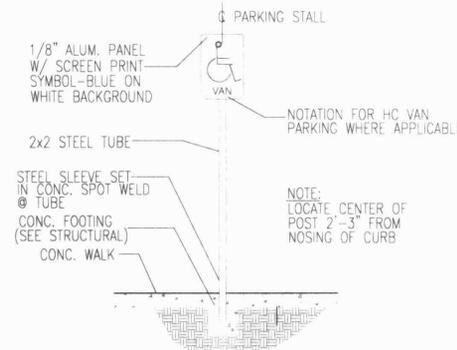
### 6 HC Pavement Sign

NOT TO SCALE



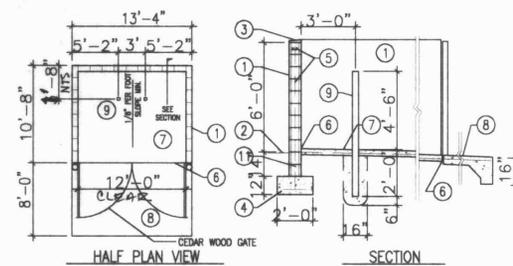
### 3 Bike Rack Detail

Scale: Not to Scale



### 7 HC Parking Sign

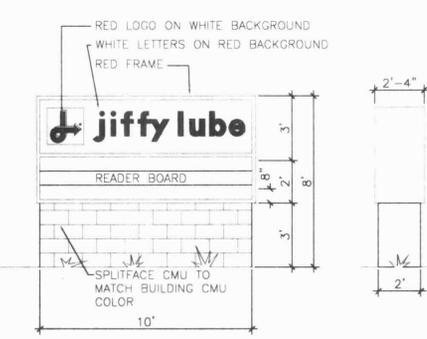
NOT TO SCALE



### 4 Refuse Enclosure

Scale: Not to Scale

- #### KEYNOTES
1. 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR BY ARCHITECT.
  2. FINISH GRADE.
  3. SLOPE STUCCO CAP.
  4. 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
  5. 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS; #5 BARS @ 32" O.C. VERTICAL. GROUT REIN-FORCED CELLS. DURAWALL @ 16" O.C. HORIZONTAL.
  6. 1/2" EXPANSION JOINT MATERIAL
  7. 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM.
  8. 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM W/ TURNDOWN EDGE.
  9. 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
  10. ASPHALT PAVING
  11. GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.



### 8 MONUMENT SIGN

Scale: 1/4" = 1'-0"

GENERAL NOTES Note: A reciprocal access easement between lots 3C-1 and 3D shall be provided.

**SITE LIGHTING**  
ALL LIGHT FIXTURES SHALL BE FULLY HORIZONTAL LAMPS SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.

**BUILDING FINISHES**  
CUSTOMER AREA: LIGHT TAN STUCCO ABOVE MEDIUM TAN SPLITFACE WAINSCOT WITH 8" RED ACCENT STRIPE AND GALVANIZED METAL ROOFING ON RED TUBE STEEL FRAME AWNINGS AND DETAIL CANOPY.

BAYS AREA: RED STUCCO SIGN BAND ABOVE MEDIUM TAN PAINTED SPLITFACE CMU WAINSCOT WITH 8" RED ACCENT STRIPE.

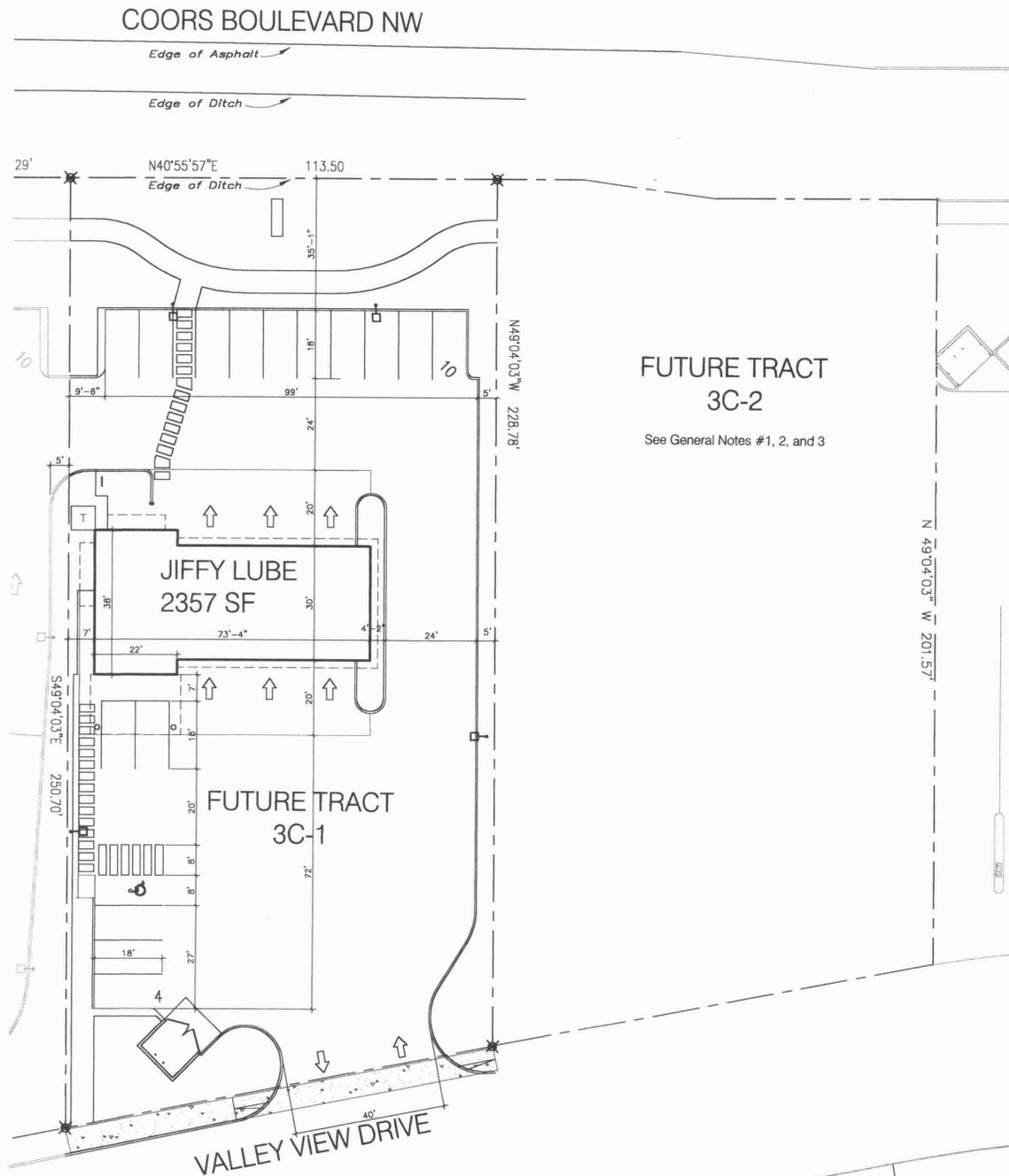
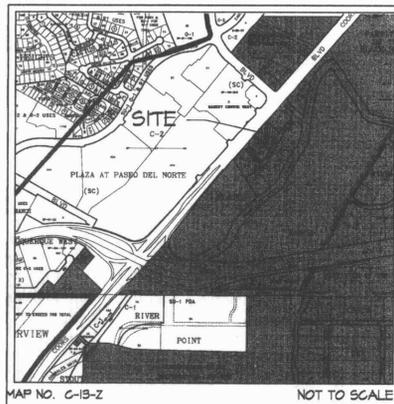
STOREFRONT AND OVERHEAD DOORS FINISH IS NATURAL ANODIZED ALUMINUM.

**LOUDSPEAKERS**  
NO OUTDOOR LOUDSPEAKERS OR OTHER AMPLIFIED PUBLIC ADDRESS SYSTEMS ARE PERMITTED.

**SIGNAGE**  
FREE STANDING SIGNS SHALL BE NO HIGHER THAN 8 FT. ABOVE GRADE WITH A MAXIMUM SIGN FACE SIZE OF 75 SF.  
FAÇADE MOUNTED SIGNS SHALL NOT EXCEED 6% OF THE FAÇADE AREA TO WHICH IT IS ATTACHED AND THE MAXIMUM HEIGHT FOR INDIVIDUAL LETTERS IS 3 FT. NO LIGHTED SIGNS SHALL BE PLACED ON EAST FACING BUILDINGS OR IN A LOCATION THAT IS VISIBLE FROM RESIDENTIAL AREAS EAST OF THIS DEVELOPMENT.

**MECHANICAL EQUIPMENT SCREENING**  
THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED BY WALLS PAINTED TO MATCH THE PREDOMINANT BUILDING COLOR SO AS TO BE AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY WALLS WITH THE TOP OF EQUIPMENT BELOW THE TOP OF THE WALLS.

VICINITY MAP



SITE DEVELOPMENT PLAN FOR SUBDIVISION:  
REQUIRED INFORMATION

THE SITE: The site consists of Tract 3C, Black Ranch and is 1.2 acres. This subdivision will create two tracts, Tract 3C-1 and 3C-2, that are 0.6245 and 0.5754 acres respectively. It is anticipated that Tract 3C-2 will be combined with the existing Tract 3B.

PROPOSED USE: The zoning for all tracts shall be SU-1 for C-1 uses.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: Pedestrian and vehicular ingress and egress shall be on Valley View Drive. No direct vehicular access shall be permitted from Coors Boulevard pursuant to the Coors Corridor Plan. Pedestrian connections to Coors Boulevard and the new sidewalk on Valley View Drive shall be determined in accordance with the individual Site Plans for Building Permit.

INTERNAL CIRCULATION REQUIREMENTS: There shall be shared access between Tracts 3D and 3C-1, as well as between 3C-2 and 3B. There shall be no shared access between Tracts 3C-1 and 3C-2.

BUILDING HEIGHTS AND SETBACKS: Building height shall be limited to 18' unless otherwise controlled by the View Preservation section of the Coors Corridor Plan. Setbacks shall be a minimum of 10-feet from the right-of-way line of roadways, and 5-feet from the property line of an adjacent commercial or office zone.

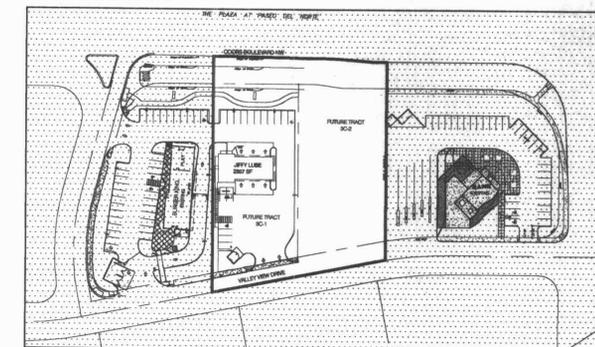
MAXIMUM F.A.R.: Maximum F.A.R. shall be .20.

LANDSCAPE PLAN: Conceptual Landscape Plans shall be developed in accordance with the individual Site Plans for Building Permit.

GENERAL NOTES:

1. A Traffic Impact Study shall be provided by Wells Fargo Bank (Tract 3C-2) for the expansion of the drive-up facilities prior to their site plan submittal for review by the DRB.
2. The Site Plan for Building Permit for Tract 3C-2 shall be delegated to the DRB provided that the development plans are for parking and drive-up facilities only.
3. A detailed layout for Tract 3C-2 will be reviewed by the DRB as a part of the required Site Plan for Building Permit.
4. A reciprocal access easement between lots 3C-1 and 3D shall be provided.

KEYED MAP

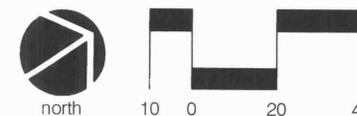


PROJECT # 1001206  
EPC 01128 - 01749  
02-023 - 00171

APPROVALS

	3/21/02	Date
	3-20-02	Date
	2-13-02	Date
	2-13-02	Date
	2/13/02	Date

Note: Approval of the Site Plan for Building Permit for Tract 3C-2 shall be delegated to the D.R.B. Per the PRT meeting, a TIS will be required at the time of the Site Plan for Building Permit submittal for Tract 3C-2 (when the drive through facility exceeds six lanes).

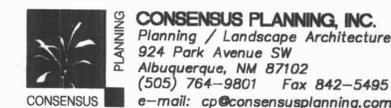


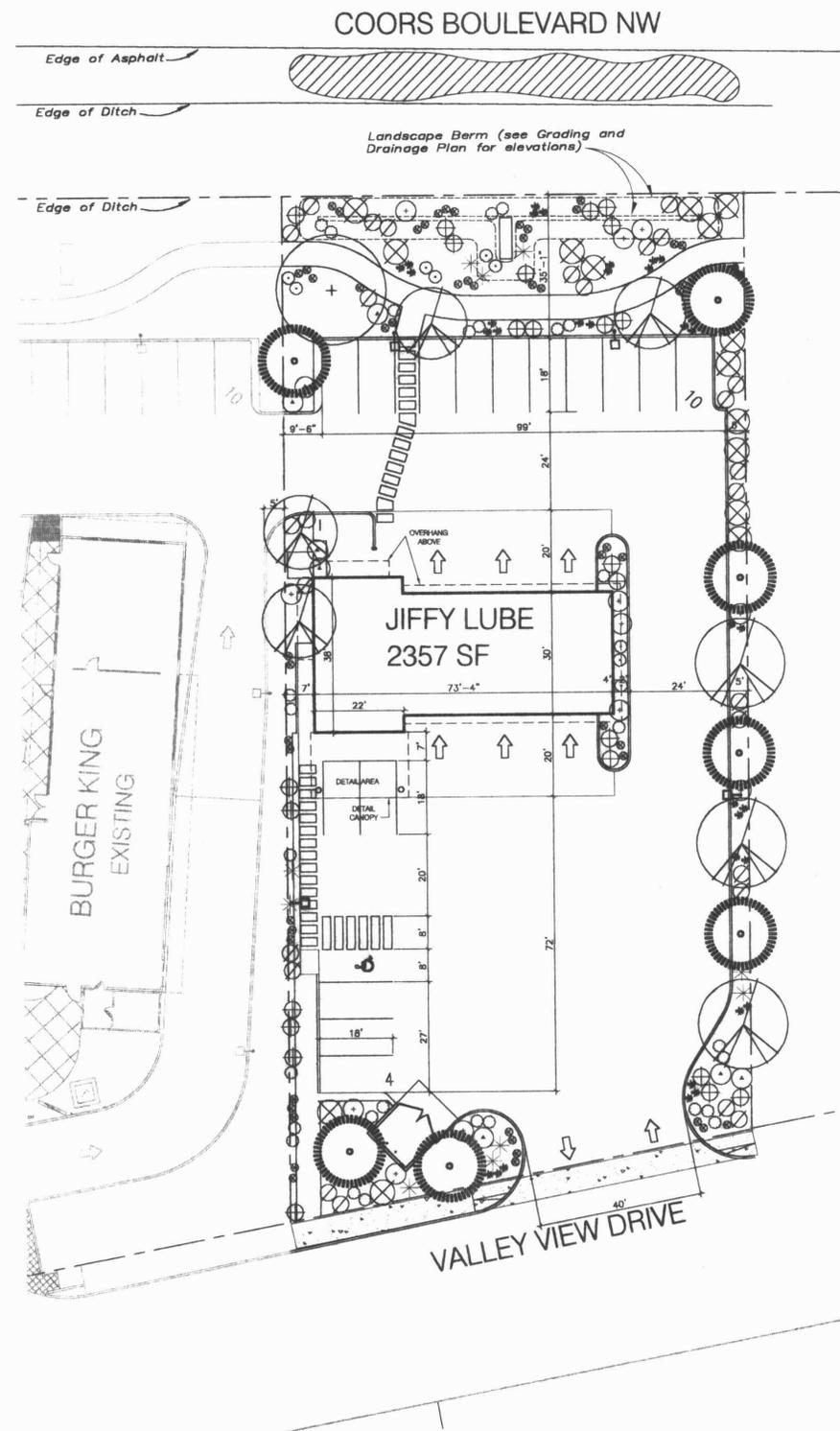
SITE PLAN FOR SUBDIVISION  
**JIFFY LUBE**

Prepared for:

Presbyterian Health Care Services  
1224 Central Ave. S.E.  
Albuquerque, N.M. 87102

Prepared by:





**GENERAL**

The design and provision of landscaping features within Jiffy Lube Site will utilize water conservation, environmentally sound landscape principles in addition to providing an aesthetically pleasing environment for residents and visitors.

**PLANT PALETTE**

- Deciduous Trees (1 1/2" Caliper Min.)**
  - Chinese Pistache/Pistacia chinensis
  - Modesto Ash/Fraxinus velutina 'Modesto'
- Chaste Tree/Vitex agnus castus**
- Desert Willow/Chilopsis linearis**
- Evergreen Trees (6' Min. Height)**
  - Austrian Pine/Pinus nigra
  - Scotch Pine/Pinus sylvestris
- Shrub Mix 1 (1 & 5 Gallon)**
  - Blue Mist/Caryopteris clandonensis
  - Buffalo Juniper/Juniperus sabina
  - Cherry Sage/Salvia greggii
  - Turpentine Brush/Ericamena laricifolia
  - Powis Castle Sage/Artemisia 'Powis Castle'
  - Red Yucca/ Hesperaloe parviflora
- Shrub Mix 2 (1 & 5 Gallon)**
  - Chamisa/ Chrysothamnus nauseosus
  - Big Leaf Sage/Artemisia tridentata
  - Bird of Paradise/Caesalpinia gilliesii
  - Russian Sage/Perovskia atriplicifolia
- Native Grass Areas**  
 (A temporary irrigation system will be provided until these native grass areas are established)
  - Blue Grama/Bouteloua gracilis
  - Sideoats Grama/Bouteloua curtipendula
  - Galleta/Hilaria jamesii

**Mulches**  
 3/4" Santa Ana Tan Rock Mulch (to be provided at all planting beds)

**IRRIGATION SYSTEM**

A fully automated drip irrigation system will be utilized to irrigate tree, shrub, and groundcover planting areas. single outlet and multi-outlet drip emitters will irrigate plant materials.

**MAINTENANCE RESPONSIBILITY**

Maintenance of the landscaping and irrigation system, including that within the adjacent public right-of-way, shall be the responsibility of the Owner. All planting areas will be maintained in a living, attractive, and weed free condition.

**LANDSCAPE AREA REQUIREMENTS**

Site Area	27,203 s.f. (0.6245 acres)
Building Area	2,369 s.f.
Public R.O.W.	1,460 s.f.
<b>Total</b>	<b>23,374 s.f.</b>
Landscape Area Required (15%)	3,506 s.f.
Landscape Area Provided	4,630 s.f.

Note: The design and provision of landscape features within Tract 3C will be in conformance with the City of Albuquerque zoning code, street tree ordinance, pollen ordinance, and the water conservation landscaping and water waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

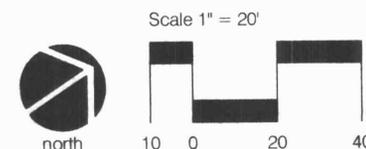
LANDSCAPE PLAN  
**JIFFY LUBE**

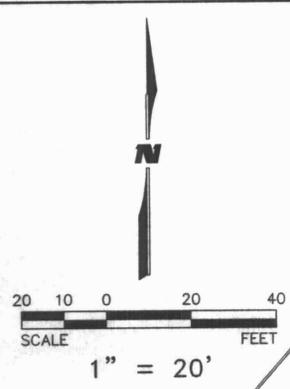
Prepared for:

Presbyterian Health Care Services  
 1224 Central Ave. S.E.  
 Albuquerque, N.M. 87102

Prepared by:

**CONSENSUS PLANNING, INC.**  
 Planning / Landscape Architecture  
 924 Park Avenue SW  
 Albuquerque, NM 87102  
 (505) 764-9801 Fax 842-5495  
 e-mail: cp@consensusplanning.com





**COORS BOULEVARD N.W.**  
 (NEW MEXICO STATE HIGHWAY NO. 448)  
 (153' DEDICATED PUBLIC R/W)  
 (PAVEMENT WIDTH VARIES, 110' F-F +/-)

ACT 3E-1  
 BLACK RANCH  
 -93, Vol. 93C, Folio 13

**VALLEY VIEW PLACE**  
 (50' DEDICATED PUBLIC R/W)

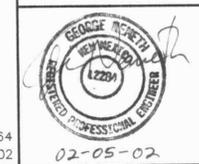
**TRACT 3D  
 BLACK RANCH**  
 Filed 6-14-91, Vol. 91C, Folio 121

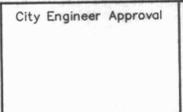
Exist. Fire Hydrant located at the southwest corner of Valley View Dr. & Valley View Pl.

**PROJECT BENCHMARK**  
 3-1/2" aluminum monument  
 Elevation = 5021.35 feet

**BENCH MARK**  
 N.M.S.H.C./A.C.S. Control Monument "NM-448-N10"  
 New Mexico State Plane Coordinates, Central Zone  
 (NAD 27) as published: Y = 1,524,161.52 X = 377,788.84  
 Combined ground to grid factor = 0.99967575  
 Delta Alpha = -00'14.09" Elev. = 5045.51

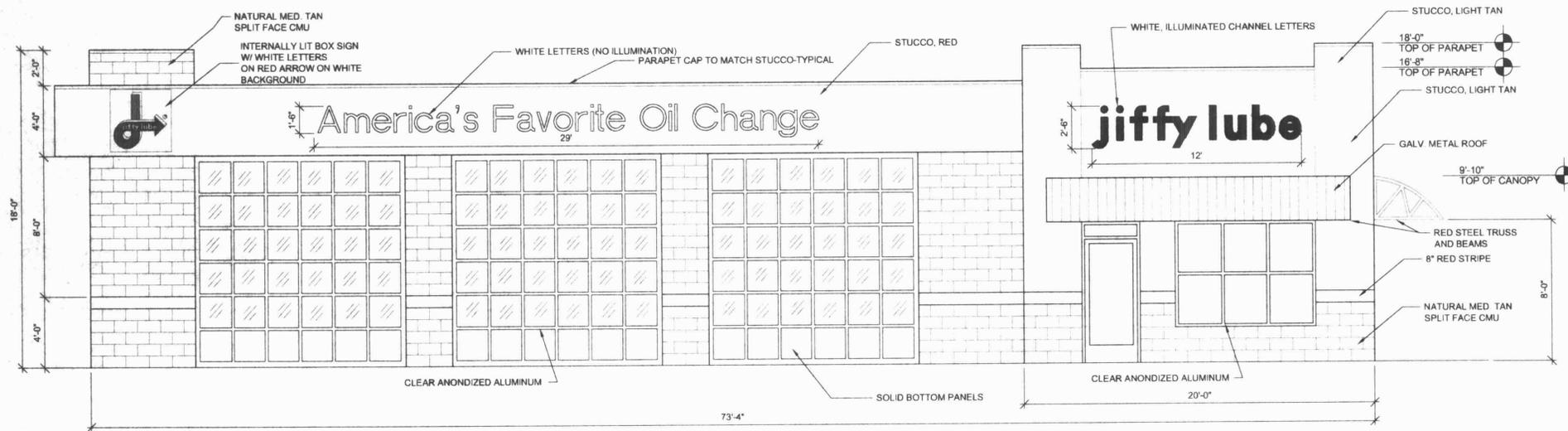
**WILSON & COMPANY**  
 2600 THE AMERICAN ROAD S.E.  
 SUITE 100  
 RIO RANCHO, NEW MEXICO  
 87124  
 (505) 898-8021



Design Review Committee		City Engineer Approval		Mo./Day/Yr.	Mo./Day/Yr.
		 City Engineer			
City Project No. X		Zone Map No. C-13		Sheet 3	

WCEA #X1218064  
 01-02

02-05-02

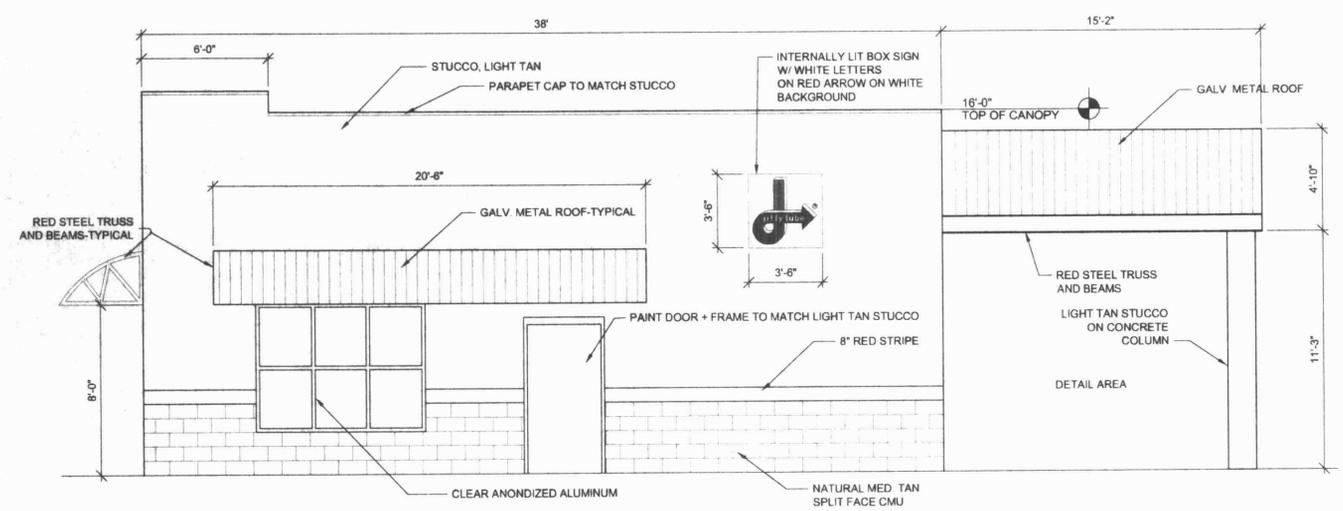


1 WEST ELEVATION  
1/4"=1'-0"

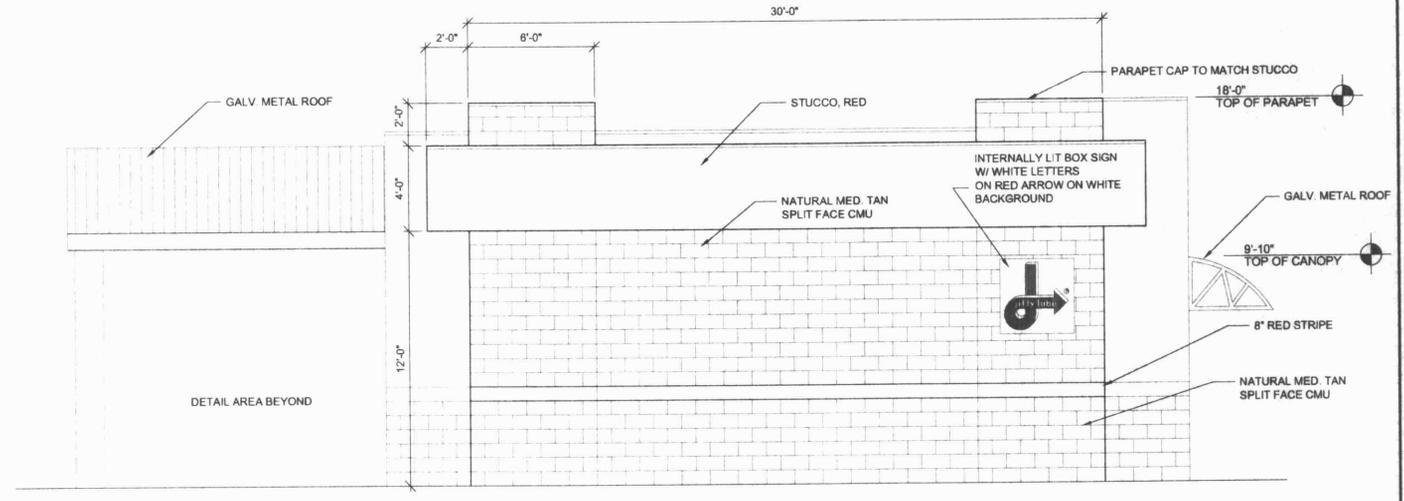
**SIGN AREA SUMMARY**

<b>WEST ELEVATION</b>	
3'-6" X 3'-6" JIFFY LUBE BOX SIGN	12.25 SF
"America's Favorite Oil Change" LETTERS	36.62 SF
SMALL "JIFFY LUBE" ILLUMINATED SIGN	19.85 SF
<b>TOTAL WEST SIGNAGE</b>	<b>68.72 SF</b>
<b>NORTH ELEVATION</b>	
3'-6" X 3'-6" JIFFY LUBE BOX SIGN	12.25 SF
<b>TOTAL NORTH SIGNAGE</b>	
<b>EAST ELEVATION</b>	
NONE	0.00 SF
<b>SOUTH ELEVATION</b>	
3'-6" X 3'-6" JIFFY LUBE BOX SIGN	12.25 SF
<b>TOTAL BUILDING SIGNAGE</b>	<b>93.02 SF</b>

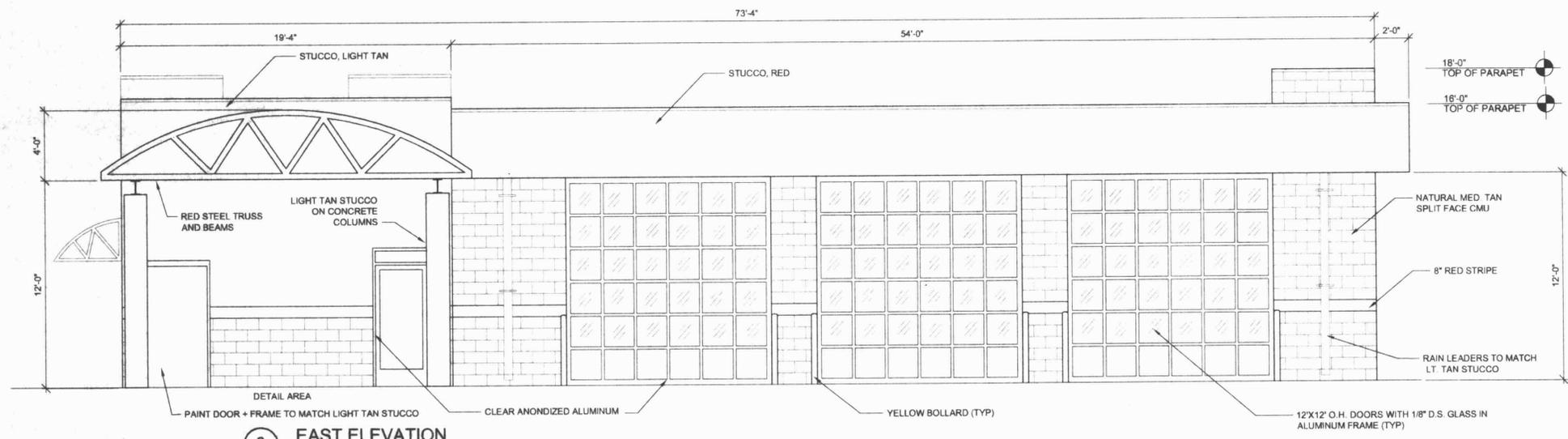
**SIGNAGE % OF WEST ELEVATION (1214 SF) = 5.64%**  
**SIGNAGE % OF EAST ELEVATION (1203 SF) = 0.00%**  
**SIGNAGE % OF NORTH ELEVATION (650 SF) = 1.88%**  
**SIGNAGE % OF SOUTH ELEVATION (520 SF) = 2.36%**  
**SIGNAGE % OF ALL ELEVATIONS (3587 SF) = 2.59%**



4 SOUTH ELEVATION  
1/4"=1'-0"



2 NORTH ELEVATION  
1/4"=1'-0"



3 EAST ELEVATION  
1/4"=1'-0"

REV	DATE	BY	REVISION
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X			
Y			
Z			

**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
 2326 SAN PEDRO NE, SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



**PROJECT TITLE**  
**JIFFY LUBE**  
 Valley View Drive  
 Albuquerque, NM

**PROJECT MANAGER**  
 Bill Johnson, AIA

**JOB NO.**  
 0125

**DRAWN BY:**  
 BJ

**SHEET TITLE**  
**Building Elevations**

**DATE:** 11/29/01

**SCALE:** 1/4"=1'-0"

**sheet:** 4 of 4

