



City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: June 21, 2002

### OFFICIAL NOTIFICATION OF DECISION

City of Albuquerque  
Wastewater Utility Division  
4201 2<sup>nd</sup> Street, SW  
Albuquerque, NM 87105

FILE: **Project 1000965**  
02EPC-00634 Site Development Plan -  
Building Permit

LEGAL DESCRIPTION: Request the above action(s) for all or a portion of Tract(s) B, **Plat of Lands of Ray Graham, III**, zoned SU-1, located on LOWER CORRALES RIVERSIDE DRAIN, between LEARNING ROAD NW and COORS BOULEVARD NW, containing approximately 3 acre(s). (F-12)  
Deborah Stover, Staff Planner

On June 20, 2002, the Environmental Planning Commission voted to Approve Project 1000965 / 02EPC-00634, a Site Development Plan for Building Permit, based on the following Findings and subject to the following Conditions:

#### FINDINGS:

1. This is a request for a site development plan for building permit for additions to a wastewater lift station located on 2.25 acres between Coors Boulevard NW and the Lower Corrales Riverside Drain, south of Montano Boulevard.
2. The request meets the intent of the *Comprehensive Plan* (page 27 of the document) by ensuring that sewer services stay at present service levels by not permitting services to deteriorate while serving new growth. The plan also mentions that a large portion of the existing water and sewer system was built in the 1950s and 1960s and that improvement and repair of inadequate and deteriorated lines are needed in several areas, which this request addresses.
3. The request meets the intent of the *Comprehensive Plan* (Policy c) by upgrading a sanitary sewer lift station carefully in a controlled in floodplains and valley areas where flood danger, high water table, solids and air inversions inhibit extensive urbanization.
4. The request meets the intent of the *West Side Strategic Plan* (page 214) by extending and expanding existing wastewater infrastructure as necessary "to serve the specific type and configuration of development in each Community." (p. 216)

**EPC OFFICIAL NOTIFICATION OF DECISION**

**Project 1000965 / 02EPC-00634**

**June 21, 2002**

**Page 2**

5. The request meets the intent of the *West Side Strategic Plan* (Policy 9.5) which states that “The City of Albuquerque Utilities Division shall include West Side service issues in the Water Master Plan and the Wastewater Master Plan being conducted which responds to the urban form of this Plan, addresses service efficiency issues such as maximized gravity flow, addresses future well and lift station locations, and addresses the potential need for a West Side wastewater treatment plan.
6. The request meets the intent of the *Coors Corridor Plan (Issue 2, Policy 1), river lands access*, which states that “development shall be carefully designed to provide access to these lands while still preserving the natural wildlife habitat and maintaining essential flood control and drainage functions” and that, regarding river lands access, “that development shall be carefully designed to provide access to these lands while still preserving the natural wildlife habitat and maintaining essential flood control and drainage functions.” This development will comply with this policy by providing wildlife habitat with additional landscaping and by providing a sedimentation pond to the quality of runoff water entering the Lower Corrales Riverside Drain.
7. With conditions regarding revegetation, this request will meet the intent of the *Coors Corridor Plan (Issue 2, Policy 7)*, regarding grading, which states that grading shall be minimized and the reconstruction and revegetation to a natural setting shall be encouraged.
8. In the matter of Issue 3, Policy 8, of the *Coors Corridor Plan*, the Open Space Division has commented that the proposed lift station improvements violate Policy 8 of the *Coors Corridor Plan* which states that a 100-foot wide buffer strip shall be established west of the Corrales Riverside Drain throughout Segment 3 and shall remain in a natural condition and shall not be used for development. While this request will allow construction and development within the buffer area, it is not new development, as it has existed in this location for 36 years, pre-dates the *CCP* by almost 20 years, presently encroaches within the 100-foot buffer and was in existence when the boundaries of the buffer were created. The plans for the subject site are necessary for the health, welfare and safety of the public and are vital in order to maintain adequate service to the public.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
  2. No chain link, razor wire, barbed wire or plastic/vinyl fencing is permitted.
  3. Downspouts, doors, parapets, walls, ladders and all other features of the site shall be noted as to color and materials and shall be called out on the site plan.
  4. Landscaping:
    - a. 1. The site shall bring the proposed landscape coverage from 7.3% of the net lot area to the requirements as set forth in the zoning code which requires all sites to have a minimum of 15% of a site in a landscaped condition;
-

**EPC OFFICIAL NOTIFICATION OF DECISION**

**Project 1000965 / 02EPC-00634**

**June 21, 2002**

**Page 3**

or,

2. Alternatively, the entire site shall be enclosed by an opaque wall that is a minimum of 6-feet in height, and buffer landscaping around the perimeter shall be installed and shall be designed in such a way that the visual environment of the bosque is protected. Development and design of the wall shall include materials that are in harmony with the surrounding landscape and shall help minimize visibility of the lift station structures in this area. This will comply with Section 14-16-3-10.E.1.b.
- b. All planting beds 36-square feet or larger shall be planted so that 75% of the bed will be covered with live vegetation at maturity (native grasses, shrubs, vines, wildflowers, etc.). It should be noted that gravel and tree canopies do not count toward the 75% coverage.
- c. The species of tree to be planted shall have a unique corresponding symbol on the landscape plan for each type.
- d. All deciduous trees shall be a minimum of 2-inches in caliper and all evergreen species shall be a minimum of 8-feet in height. This shall be specified in a note on the landscape plan.
- e. Trees that are native to riparian areas in the middle Rio Grande valley shall be used in the landscape. These tree species include the Coyote willow, which is a tall shrub, New Mexico or Arizona alder, Chinquapin oak, Grey oak or Emory oak.
- f. Mulches such as gravel, bark, crusher fines, etc. shall be noted on the landscape plan.
- g. The space shown with a gravel mulch shown on areas near the east side of the site shall be clarified as to use. If it is a planting area, plants shall be shown on the landscape plan.
- h. Revegetation or stabilization of disturbed areas shall be shown on the landscape plan. The eastern portion of the site shows natural bosque as the landscape. This vegetation shall be further described on the site plan.
- i. Statements regarding intent to comply with the Water Waste Ordinance and the Water Conservation Ordinance, and irrigation notes shall be noted on the landscape plan.
5. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.

**IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JULY 5, 2002 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

**EPC OFFICIAL NOTIFICATION OF DECISION**

**Project 1000965 / 02EPC-00634**

**June 21, 2002**

**Page 4**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

  
for Victor J. Chavez  
Planning Director

VJC/DS/nat

cc: CoA, William Balch, Wastewater Utility Division,  
Steven Ewin, Arbor N.A., 300 Central SW, Ste 100W, Albuquerque, NM 87102  
Don Dean, Arbor N.A., 3400 Rio Grande NW, Albuquerque, NM 87107  
Ed Swenson, La Luz del Sol N.A., One Wind NW, Albuquerque, NM 87120  
Ray Graham, La Luz del Sol N.A., One Wind NW, Albuquerque, NM 87120  
Bennett King, La Luz Landowners Assoc., 10 Arco NW, Albuquerque, NM 87120  
Rae Perls, La Luz Landowners Assoc., 15 Tennis Court NW, Albuquerque, NM 87120  
Joe Harris, North Valley N.A., 4410 Rio Grande Blvd. NW, Albuquerque, NM 87107  
Doyle Kimbrough, Rio Grande Blvd. N.A., 2327 Campbell Road NW, Albuquerque, NM 87104  
JoMarie Anderson, Rio Grande Blvd. N.A., 3505 Campbell Court NW, Albuquerque, NM 87104  
Virginia M. Klebesadel, Taylor Ranch N.A., 4416 Gooseberry Road NW, Albuquerque, NM 87120  
Jolene Wolfley, Taylor Ranch N.A., 6804 Staghorn Drive NW, Albuquerque, NM 87120

FINDINGS:

1. This is a request to amend the City's Comprehensive Zoning Code to prohibit the keeping of roosters as an Accessory Use in the R-1 Residential Zone.
2. The Comprehensive Plan's Development Areas reference areas containing suitable sites for mapping the R-1 Zone.
3. The R-1 Zone provides for accessory uses, one of which is keeping certain species of animals for non-commercial purposes.
4. The R-1 Zone was originally structured as the basic urban residential zone with limited animal keeping allowed as an accessory use in response to conditions existing in the city at the time the Zoning Ordinance and the Zoning Map were adopted.
5. The proposed ordinance amendment, if adopted as written, would still allow other birds considered poultry to be kept for non-commercial purposes on any R-1 zoned lot.
6. The proposed ordinance amendment, as written, would be difficult to equitably enforce.
7. Two City Ordinances, the Noise Control Ordinance and the Animal Control Ordinance, already address the management of animal keeping.
8. There was no written or oral testimony in support of this measure.

MOVED BY COMMISSIONER JOHNSON  
SECONDED BY COMMISSIONER SERRANO

MOTION CARRIED 6-1  
(Commissioner Briscoe voted No)

18. **Project # 1000965**  
02EPC-00634 Site Development Plan-  
Building Permit

WILLIAM BALCH, WASTEWATER  
UTILITY DIV. agent(s) for COA  
WASTEWATER UTILITY DIVISION request  
the above action(s) for all or a portion of  
Tract(s) B, **Plat of Lands of Ray Graham, III**,  
zoned SU-1, located on LOWER CORRALES  
RIVERSIDE DRAIN, between LEARNING  
ROAD NW and COORS BOULEVARD NW,  
containing approximately 3 acre(s). (F-12)  
Deborah Stover, Staff Planner

STAFF PRESENT:

Deborah Stover, Planner

\_\_\_\_\_

PERSONS SPEAKING IN FAVOR OF THE REQUEST:

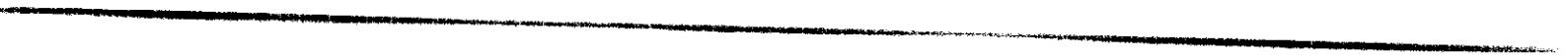
William Balch, applicant  
Nancy Henry-Botts, La Luz del Oeste N.A., 10 Link Street, NW

NO ONE SPOKE IN OPPOSITION TO THE REQUEST

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to Approve Project 1000965 / 02EPC-00634, a Site Development Plan for Building Permit, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for additions to a wastewater lift station located on 2.25 acres between Coors Boulevard NW and the Lower Corrales Riverside Drain, south of Montano Boulevard.
2. The request meets the intent of the *Comprehensive Plan* (page 27 of the document) by ensuring that sewer services stay at present service levels by not permitting services to deteriorate while serving new growth. The plan also mentions that a large portion of the existing water and sewer system was built in the 1950s and 1960s and that improvement and repair of inadequate and deteriorated lines are needed in several areas, which this request addresses.
3. The request meets the intent of the *Comprehensive Plan* (Policy c) by upgrading a sanitary sewer lift station carefully in a controlled in floodplains and valley areas where flood danger, high water table, solids and air inversions inhibit extensive urbanization.
4. The request meets the intent of the *West Side Strategic Plan* (page 214) by extending and expanding existing wastewater infrastructure as necessary "to serve the specific type and configuration of development in each Community." (p. 216)
5. The request meets the intent of the *West Side Strategic Plan* (Policy 9.5) which states that "The City of Albuquerque Utilities Division shall include West Side service issues in the Water Master Plan and the Wastewater Master Plan being conducted which responds to the urban form of this Plan, addresses service efficiency issues such as maximized gravity flow, addresses future well and lift station locations, and addresses the potential need for a West Side wastewater treatment plan.
6. The request meets the intent of the *Coors Corridor Plan (Issue 2, Policy 1)*, *river lands access*, which states that "development shall be carefully designed to provide access to these lands while still preserving the natural wildlife habitat and maintaining essential flood control and drainage functions" and that, regarding river lands access, "that development shall be carefully designed to provide access to these lands while still preserving the natural wildlife habitat and maintaining essential flood control and drainage functions." This development will comply with this policy by providing wildlife habitat with additional



landscaping and by providing a sedimentation pond to the quality of runoff water entering the Lower Corrales Riverside Drain.

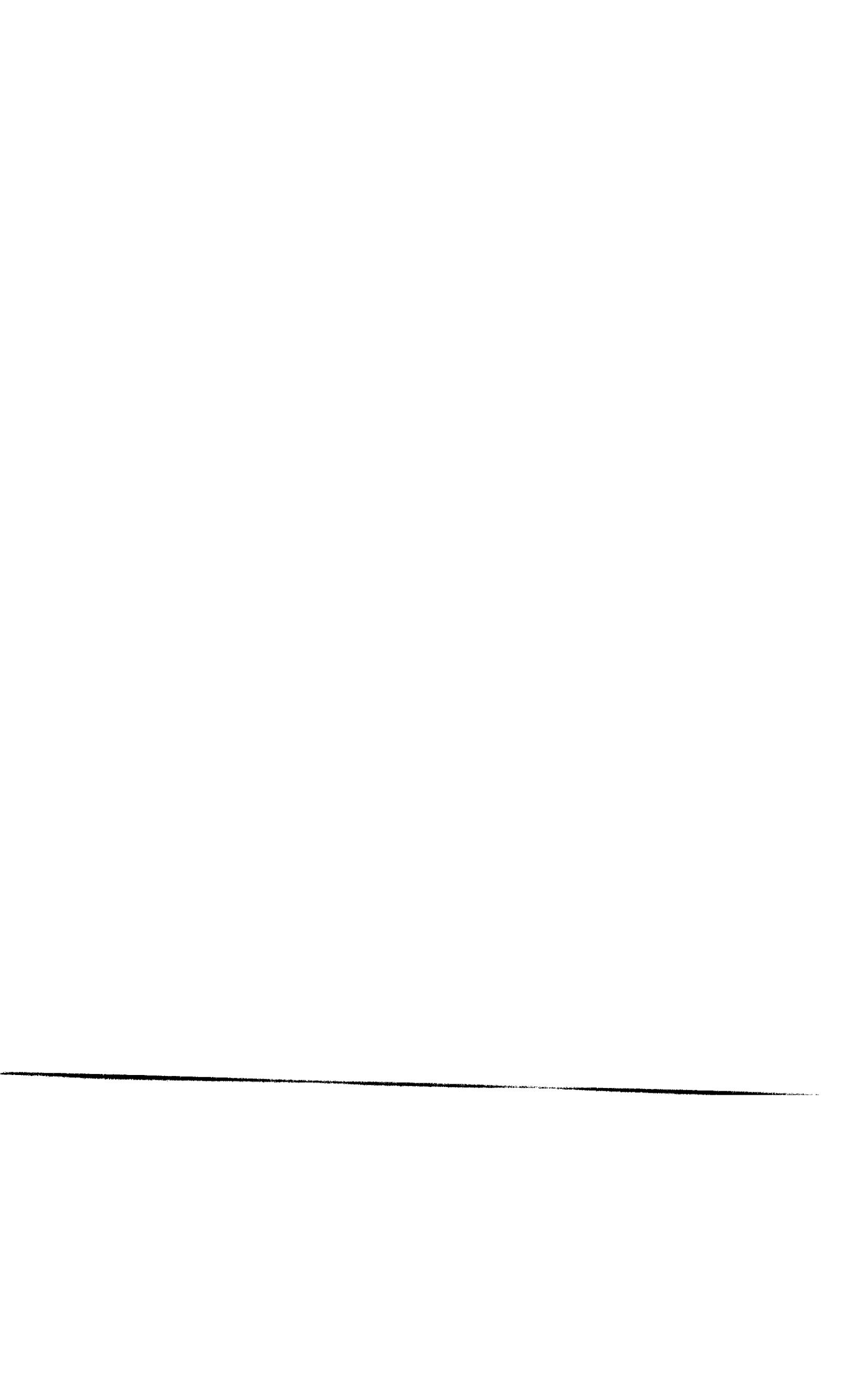
7. With conditions regarding revegetation, this request will meet the intent of the *Coors Corridor Plan (Issue 2, Policy 7)*, regarding grading, which states that grading shall be minimized and the reconstruction and revegetation to a natural setting shall be encouraged.
8. In the matter of Issue 3, Policy 8, of the *Coors Corridor Plan*, the Open Space Division has commented that the proposed lift station improvements violate Policy 8 of the *Coors Corridor Plan* which states that a 100-foot wide buffer strip shall be established west of the Corrales Riverside Drain throughout Segment 3 and shall remain in a natural condition and shall not be used for development. While this request will allow construction and development within the buffer area, it is not new development, as it has existed in this location for 36 years, pre-dates the *CCP* by almost 20 years, presently encroaches within the 100-foot buffer and was in existence when the boundaries of the buffer were created. The plans for the subject site are necessary for the health, welfare and safety of the public and are vital in order to maintain adequate service to the public.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. No chain link, razor wire, barbed wire or plastic/vinyl fencing is permitted.
3. Downspouts, doors, parapets, walls, ladders and all other features of the site shall be noted as to color and materials and shall be called out on the site plan.
4. Landscaping:
  - a. 1. The site shall bring the proposed landscape coverage from 7.3% of the net lot area to the requirements as set forth in the zoning code which requires all sites to have a minimum of 15% of a site in a landscaped condition;

or,

  2. Alternatively, the entire site shall be enclosed by an opaque wall that is a minimum of 6-feet in height, and buffer landscaping around the perimeter shall be installed and shall be designed in such a way that the visual environment of the bosque is protected. Development and design of the wall shall include materials that are in harmony with the surrounding landscape and shall help minimize visibility of the lift station structures in this area. This will comply with Section 14-16-3-10.E.1.b.



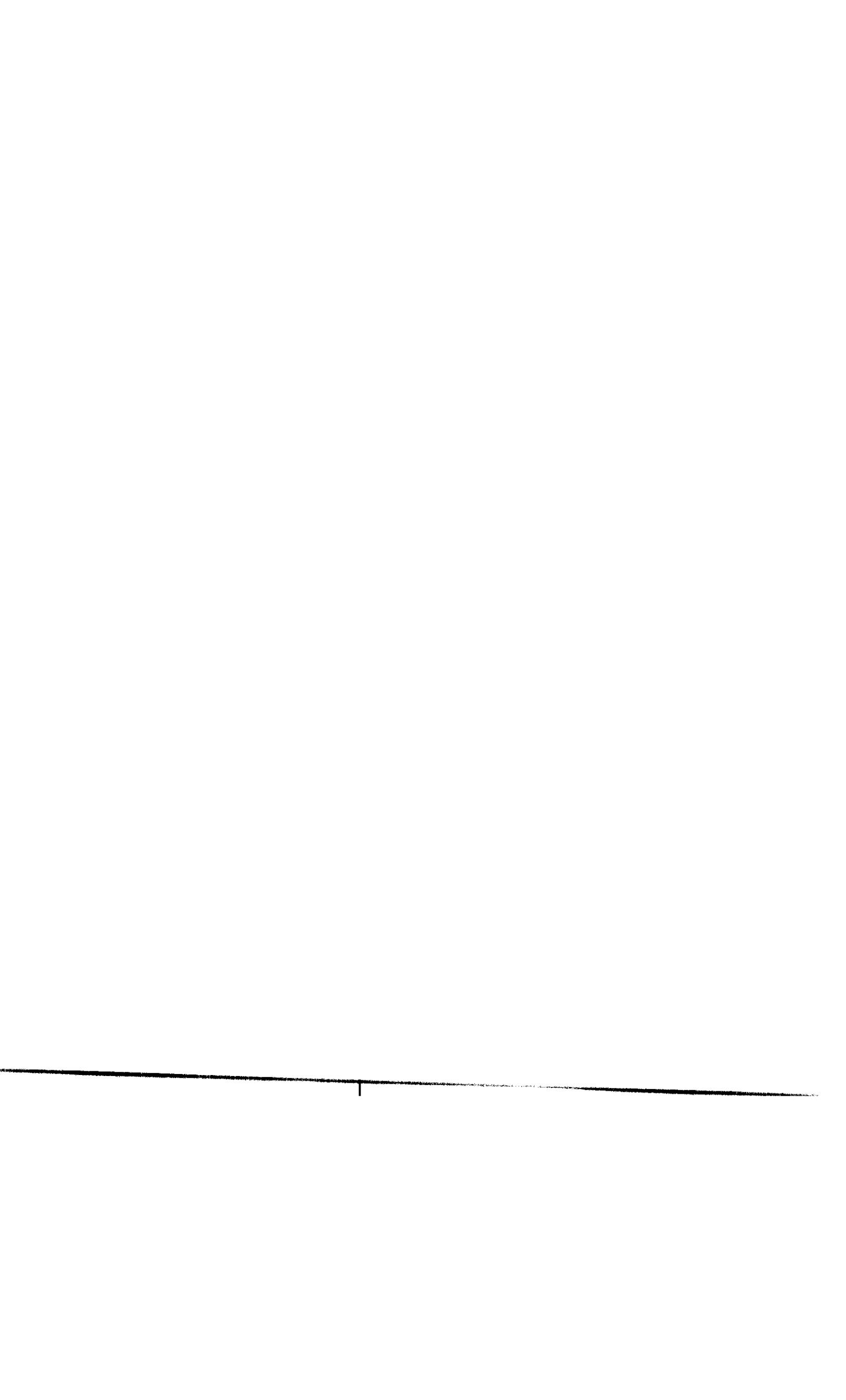
- b. All planting beds 36-square feet or larger shall be planted so that 75% of the bed will be covered with live vegetation at maturity (native grasses, shrubs, vines, wildflowers, etc.). It should be noted that gravel and tree canopies do not count toward the 75% coverage.
  - c. The species of tree to be planted shall have a unique corresponding symbol on the landscape plan for each type.
  - d. All deciduous trees shall be a minimum of 2-inches in caliper and all evergreen species shall be a minimum of 8-feet in height. This shall be specified in a note on the landscape plan.
  - e. Trees that are native to riparian areas in the middle Rio Grande valley shall be used in the landscape. These tree species include the Coyote willow, which is a tall shrub, New Mexico or Arizona alder, Chinquapin oak, Grey oak or Emory oak.
  - f. Mulches such as gravel, bark, crusher fines, etc. shall be noted on the landscape plan.
  - g. The space shown with a gravel mulch shown on areas near the east side of the site shall be clarified as to use. If it is a planting area, plants shall be shown on the landscape plan.
  - h. Revegetation or stabilization of disturbed areas shall be shown on the landscape plan. The eastern portion of the site shows natural bosque as the landscape. This vegetation shall be further described on the site plan.
  - i. Statements regarding intent to comply with the Water Waste Ordinance and the Water Conservation Ordinance, and irrigation notes shall be noted on the landscape plan.
5. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.

MOVED BY COMMISSIONER JESIONOWSKI  
SECONDED BY COMMISSIONER SERRANO

MOTION CARRIED UNANIMOUSLY

19. **Project # 1001909**  
02EPC-00635 SPR Special Project Review

CAPITAL IMPLEMENTATION  
PROGRAM DIVISION, agent(s) for THE  
DEPARTMENT OF FINANCE &  
ADMINISTRATIVE SERVICES request  
the above action(s), review and  
recommendation to the City Council of the  
Update to the Albuquerque Cultural Plan.  
Mary Piscitelli, Staff Planner





**ENVIRONMENTAL PLANNING COMMISSION**  
**A G E N D A**

**Thursday, June 20, 2002 at 8:30 a.m.**

**Plaza del Sol Hearing Room  
Lower Level  
600 2nd Street NW**

**MEMBERS**

**Alan Schwartz, Chairman  
Susan Johnson, Vice Chair**

**Elizabeth Begay  
Mick McMahan  
Camilla Serrano  
Jeffery J. Jesionowski**

**Bevin Owens  
Larry Chavez  
John Briscoe**

\*\*\*\*\*

**NOTE: A LUNCH BREAK AND DINNER BREAK WILL BE ANNOUNCED AS NECESSARY**

Agenda items will be heard in the order indicated below unless modifications to the Agenda are approved by the EPC at the beginning of the hearing (see item 1A and 1B below); deferral and withdrawal requests (by applicants) are generally reviewed at this time.

There is no set time for cases to be heard; however, interested parties can monitor the progress of the hearing by calling the Planning Department at 924-3860. All parties wishing to address the Commission must sign-in with the Commission Secretary at the front table prior to the case being heard. Please be prepared to provide brief and concise testimony to the Commission if you intend to speak. In the interest of time, presentation times are limited as follows, unless otherwise granted by the Commission Chair: Staff - 5 minutes; Applicant - 10 minutes; Public speakers - 2 minutes each.

All written materials - including petitions, legal analysis and other documents - should be submitted at least one week prior to the meeting in time for presentation to the EPC at its Study Session. The EPC strongly discourages submission of written material at the meeting. Except in extraordinary circumstances, the EPC will not consider any written materials submitted at the meeting. In the event the EPC believes the written material submitted may influence its final decision, the EPC will likely defer the matter to a subsequent meeting.

**NOTE: ANY AGENDA ITEMS NOT HEARD BY 8:30 P.M. MAY BE DEFERRED TO ANOTHER HEARING DATE AS DETERMINED BY THE PLANNING COMMISSION.**

1. Call to Order.
    - A. Announcement of Changes and/or Additions to the Agenda
    - B. Approval of the Amended Agenda
    - C. Approval of Minutes for February 21, 2002, March 21, 2002 and May 9, 2002.
  
  2. **Project # 1001565**  
01EPC-01544 Site Development Plan-  
Amendment to Building Permit  
**(Remand from City Council)**

GREAT BASIN ENGINEERING agent(s) for SMITHS FOOD & DRUG request the above action(s) for Lot J-1, Replat of **Four Hills Village Shopping Center & Apartment Complex**, zoned C-2 and located on Tramway Boulevard NE between Central Avenue NE and Wenonah Avenue NE, containing approximately 8.33 acres. (L-22 & L-23) Deborah Stover, Staff Planner
  
  3. **Project # 1001627**  
01EPC-01753 Annexation  
01EPC-01754 Zone Map Amendment  
01EPC-01755 Sector Development Plan  
**(Deferred from 4/18/02)**

Mark Goodwin & Associates, PA, agents for TS McNaney & Assoc., request Annexation, Zone Establishment of RD/9du acre, and an amendment to the Tower/Unser Sector Development Plan for Unplatted Tracts in NE/4 Section, Section 27, T10N R2E Unit #6, Board of Education Property, located on Stinson Street, SW between Bridge Boulevard and Eucariz Avenue SW, containing approximately 9.63 acres. (L-10)  
Loretta Naranjo Lopez, Staff Planner
  
  4. **Project # 1001760**  
02EPC-00294 Zone Map Amendment  
02EPC-00297 Sector Development Plan  
**(Continued from 5/16/02)**

GARCIA/KRAEMER & ASSOCIATES, agent(s) for MOOSE LODGE #1517 & TOWER 98 LLC, request the above action(s), a Zone Map Amendment from SU-2/SU-1 for Club to SU-2/SU-1 for the following uses: Contractor's Yard with Restrictions; Commercial and Manufacturing Uses with Restrictions and Provisions; Off-premise Sign with Restrictions; and Concealed Wireless Telecommunications Facility with Restrictions plus an Amendment to the Martineztown/Santa Barbara Sector Development Plan for Tract A, **Loyal Order of Moose Albuquerque Lodge No. 1517**, located at 2121 Edith NE between I-40 and Arvada Avenue NE, containing approximately 1.41 acres. (H-15)  
(Juanita Vigil, Staff Planner)
-

5. **Project # 1001765**  
02EPC-00314 Zone Map Amendment  
02EPC-00315 Annexation  
(Deferred from 5/16/02)

CONSENSUS PLANNING, INC. agent(s) for TOMA ALLIANCE GROUP OF NEW MEXICO, LLC request the above action(s), Annexation and Establishment of R-LT, C-1 and SU-1 for Manufactured Housing and Condominium Project zoning for a tract of land contained in the Lands of Westland Development Company Inc., as described as "South Tract" in Exhibit A, of a judgment in case number 8-76-03865, filed in District Court February 10, 1977 (a portion of which has been platted and is entitled "Corrected & Amended Summary Replat, Bulk Land Plat of Paakweree", filed on January 29, 2001 in Volume: 2001C, Folio: 38) situate in the S1/2 of projected Section 9 and the SE 1/4 of projected Section 8, T9N, R2E of the NMPM, Town of Atrisco Grant, Bernalillo County, New Mexico, located on DENNIS CHAVES BLVD SW between 118TH STREET SW and KARROLL ROAD SW, containing approximately 462 acres. (P-8, P-9, Q-9) (Simon Shima, Staff Planner)

6. **Project # 1001908**  
02EPC-00632 Zone Map Amendment  
02EPC-00633 Site Development Plan-  
Building Permit

FANNING BARD TATUM ARCHITECTS agent(s) for MARGARET K. FREEMAN/WILLIAM D. HOWDEN request the above action(s) for all or a portion of Lot(s) 2A, Block(s) 6, **Siesta Hills Subdivision**, a zone map amendment from R-1 to SU-1 for Dwelling, Wedding and Meeting Facility, located on RIDGECREST SE, between SAN PEDRO BLVD. SE and LOUISIANA BLVD. SE, containing approximately 2 acre(s). (M-18)  
Makita Hill, Staff Planner

7. **Project # 10001747**  
02EPC-00579 Site Development Plan-  
Building Permit

FRANK KOVACICH requests the above action(s), a Street Name Change from Montgomery Boulevard to Montgomery Trail for that portion of Montgomery Boulevard Public Right-of-Way from Larchmont Drive to Sunset Canyon Drive, **Glenwood Hills Subdivision**, containing approximately 4/10 of a mile. (G-23)  
Cynthia Borrego, Staff Planner

8. **Project # 1001828**  
02EPC-00454 Zone Map Amendment  
02EPC-00455 Site Development Plan –  
Subdivision  
02EPC-00456 Site Development Plan –  
Building Permit  
02EPC-00802 Zone Map Amendment  
02EPC-00803 Site Development Plan –  
Building Permit
- VIRGIL GIL requests the above action(s), a site development plan for subdivision for Tract D-1, E-1 and a portion of Tract F, containing approximately 13.55 acres plus a Zone Map Amendment from SU-1/PRD 80 du/max to SU-1/PRD 82 du/max for Tract D-1 plus a Site Development Plan for Building Permit for Tract D-1, containing approximately 4.16 acres, plus a Zone Map Amendment from SU-1/PRD 115 du/max to SU-1 for C-1 Uses and SU-1 for C-1 Uses & Self Storage Facility for Tracts E-1 and a portion of Tract F plus a Site Development Plan for Building Permit for Tract E-1 and a portion of Tract F, containing approximately 9.39 acres, all requests are located in **College Park West Subdivision** on St. Joseph's Avenue NW between Unser Boulevard NW and 80<sup>th</sup> Street NW. (G-10) Juanita Vigil, Staff Planner
9. **Project # 1001764**  
02EPC-00629 Zone Map Amendment
- TIERRA WEST, LLC agent(s) for AIM request the above action(s) for all or a portion of Lot(s) 1 & 2, Tract(s) 169 & 170 and Lot(s) 1 & 2, Tract(s) 171, **Town of Atrisco Grant, Unit 6**, a zone map amendment from SU-1/PRD & Frat Lodge and R-1 to RT, located on GONZALES ROAD SW, between CORREGIDOR DRIVE SW and SUNSET GARDENS ROAD SW, containing approximately 15 acre(s). (K-11) Loretta Naranjo-Lopez, Staff Planner
10. **Project # 1000831**  
02EPC-00636 Site Development Plan-  
Subdivision  
02EPC-00637 Site Development Plan-  
Building Permit
- GEORGE RAINHART agent(s) for THOM JOSEPH, THUNDER WEST DEV., LLC request the above action(s) for all or a portion of Lot(s) 13A, Block(s) 9 ALSO: Lot 6, Westbluff Center and Lot 9, Palisades, **Town of Atrisco**, zoned SU-1 for IP Uses, located on ATRISCO DR NW, between I-40 and MIAMI DRIVE, NW, containing approximately 7 acre(s). (H-11)  
Russell Brito, Staff Planner
-

11. **Project # 1001907**  
02EPC-00631 Zone Map Amendment
- CONSENSUS PLANNING agent(s) for JEFFERY R. HARRIS request the above action(s) for all or a portion of Tract(s) 10-A, **Eagle Ranch Subdivision**, a zone map amendment from R-2 to C-1, located on the NW CORNER OF CONGRESS AVE. NW & IRVING BLVD. NW, containing approximately 2 acre(s). (B-13)  
Loretta Naranjo-Lopez, Staff Planner
12. **Project # 1001912**  
02EPC-00640 Site Development Plan-  
Building Permit
- VAN H. GILBERT ARCHITECT PC agent(s) for GARY D. WILLIAMS, WELLS FARGO BANKS, request the above action(s), a zone map amendment from SU-1 for Office to SU-1 for ATM and Parking, for all or a portion of Lot(s) 7 & 8, Block(s) 10, **Montgomery Heights Addition**, zoned SU-1 for Offices, located on MONTGOMERY BLVD. NE, between CARLISLE, NE and I-25, containing approximately 1 acre(s). (G-16)  
Makita Hill, Staff Planner
13. **Project # 1000493**  
02EPC-00641 Site Development Plan-  
Amendment to Subdivision  
02EPC-00642 Site Development Plan-  
Amendment to Building  
Permit
- CONSENSUS PLANNING, INC. agent(s) for COA, PARKS & RECREATION DEPT. request the above action(s) for all or a portion of Lot(s) 1 - 62, Tract(s) B & PR, **Cottonwood Trails**, zoned SU-1 PRD, located on COORS BLVD NW, between MONTANO, NW and EAGLE RANCH, NW, containing approximately 17 acre(s). (D-13) Juanita Vigil, Staff Planner
14. **Project # 1001914**  
02EPC-00648 Zone Map Amendment  
02EPC-00649 Site Development Plan-  
Subdivision
- TIERRA WEST, LLC agent(s) for D. R. AIRPORT, LLC request the above action(s), a zone map amendment from C-1 & C-2 to SU-1 for C-2, for all or a portion of Tracts B & A, Lots 4 & 5, **Ever Ready Oil Subdivision; 40/25 Associates & Gibson Tracts**, located on GIBSON BLVD SE, between UNIVERSITY BLVD., SE and I-25 NORTH, containing approximately 5 acre(s). (L-15)  
Makita Hill, Staff Planner

15. **Project # 1001913**  
02EPC-00646 Zone Map Amendment  
02EPC-00647 Site Development Plan-  
Building Permit
- RICK BENNETT ARCHITECTS agent(s) for NEW DAY YOUTH & FAMILY SERVICES, INC. request the above action(s) for all or a portion of Lot(s) 5, Block(s) 2, **Sigma Chi Addition**, a zone map amendment from R-1 to SU-1 for Community Residential Program, located on SIGMA CHI NE, between UNIVERSITY BLVD., NE and YALE BLVD., NE, containing approximately 1 acre(s). (J-15)  
Juanita Vigil, Staff Planner
16. **Project # 1001271**  
01EPC-00734 Text Amendment  
(Deferred from 5/16/02)
- CITY OF ALBUQUERQUE/PLANNING DEPT. agent(s) for CITY OF ALBUQUERQUE/CITY COUNCIL request the above action(s) an amendment to Chapter 14, Article 16, ROA 1994, the Comprehensive City Zoning Code, to include provisions related to the regulation of outdoor lighting. (CityWide) Simon Shima, Staff Planner
17. **Project # 1001620**  
02EPC-00576 Text Amendment
- CITY OF ALBUQUERQUE PLANNING DEPARTMENT agent(s) for CITY OF ALBUQUERQUE CITY COUNCIL request the above action(s) for Amendment to Section 14-16-2-6(4), R.O.A. 0994 of the Comprehensive Zoning Code regarding Permissive Uses in the R-1 Residential Zone to Prohibit Roosters (**City Wide**)  
Jon Messier, Staff Planner
18. **Project # 1000065**  
02EPC-00634 Site Development Plan-  
Building Permit
- WILLIAM BALCH, WASTEWATER UTILITY DIV. agent(s) for COA WASTEWATER UTILITY DIVISION request the above action(s) for all or a portion of Tract(s) B, **Plat of Lands of Ray Graham, III**, zoned SU-1, located on LOWER CORRALES RIVERSIDE DRAIN, between LEARNING ROAD NW and COORS BOULEVARD NW, containing approximately 3 acre(s). (F-12) Deborah Stover, Staff Planner

19. **Project # 1001909**  
02EPC-00635 SPR Special Project Review

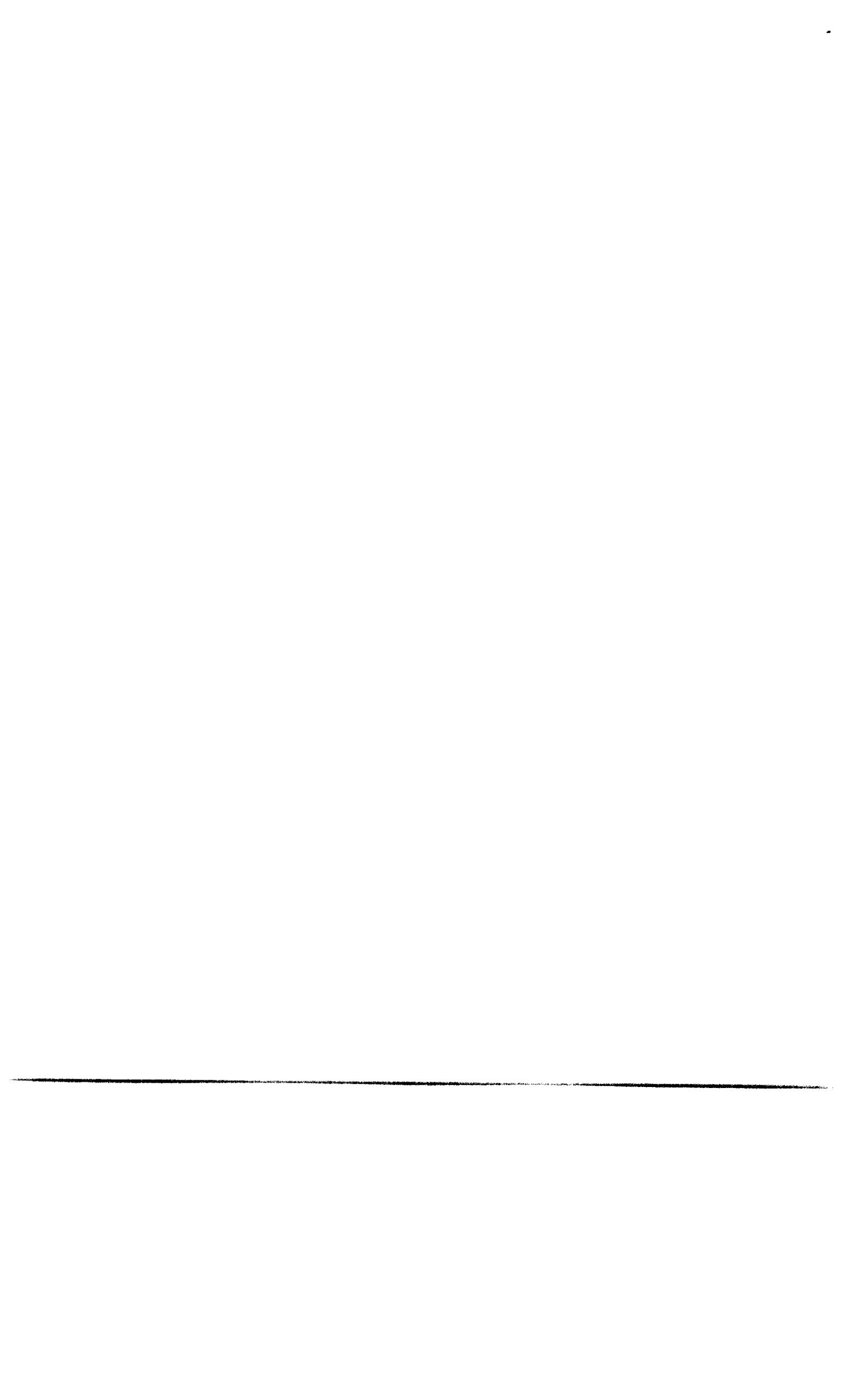
CAPITAL IMPLEMENTATION PROGRAM DIVISION, agent(s) for THE DEPARTMENT OF FINANCE & ADMINISTRATIVE SERVICES request the above action(s), review and recommendation to the City Council of the Update to the Albuquerque Cultural Plan.  
Mary Piscitelli, Staff Planner

20. **Project # 1001920**  
02EPC-00644 Zone Map Amendment  
02EPC-00645 Sector Development Plan

RICHARD ASENAP, ALBUQUERQUE DEVELOPMENT SERVICES, request the above action(s), an Amendment to the Trumbull Sector Development Plan, and a Zone Map Amendment from C-1, C-2, R-3 to SU-2 for Mixed Use for Lots 1-22, Block 11, Lots 1A, C1, D1, E1, 20, 23-25, 28-31, 35, 36, and 45, Block 10, **La Mesa No. 2**, located south of Central, East of Louisiana SE, North of Zuni, Both sides of Alcazar Street SE containing approximately 11.3 acre(s). (L-15)  
Deborah Stover, Staff Planner

21. Other Matters.

22. Adjourn.





## Staff Report

<b>Agent</b>	City of Albuquerque-Wastewater Utility Division, Public Works Dept.
<b>Applicant</b>	City of Albuquerque
<b>Request</b>	<b>Site Plan for Building Permit</b>
<b>Legal Description</b>	Tract B of Plat of Lands of Ray Graham III
<b>Location</b>	Lower Corrales Riverside Drain between Learning Road and Coors Boulevard
<b>Size</b>	Approximately 2.25 acres
<b>Existing Zoning</b>	SU-1 6 DU/AC
<b>Proposed Zoning</b>	No Change

**Staff Recommendation**

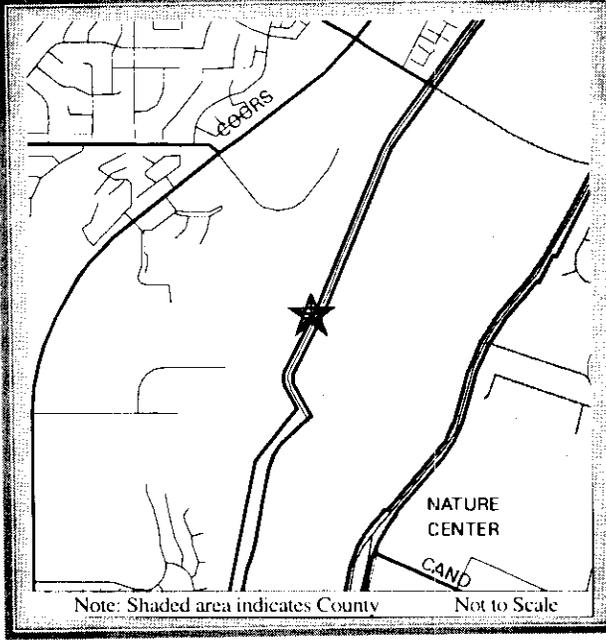
**APPROVAL** of 02EPC 00634, based on the findings on page 10, and subject to the conditions of approval on page 11.

**Staff Planner**  
 Deborah L. Stover, Planner

**Summary of Analysis**

This is a request by the City of Albuquerque to expand facilities on an existing wastewater lift station located adjacent to the lower Corrales Riverside Drain and south of Bosque School. The existing facility is in need of upgrading to prevent overflow situations and is therefore a matter of public health, safety and welfare. The proposal is to add a 660 square foot electrical building and a pad site for a new generator. The site plan complies with applicable plans and policies of the City except for a policy within the Coors Corridor Plan regarding development within the 100-foot buffer from the bosque. This is discussed within the report.

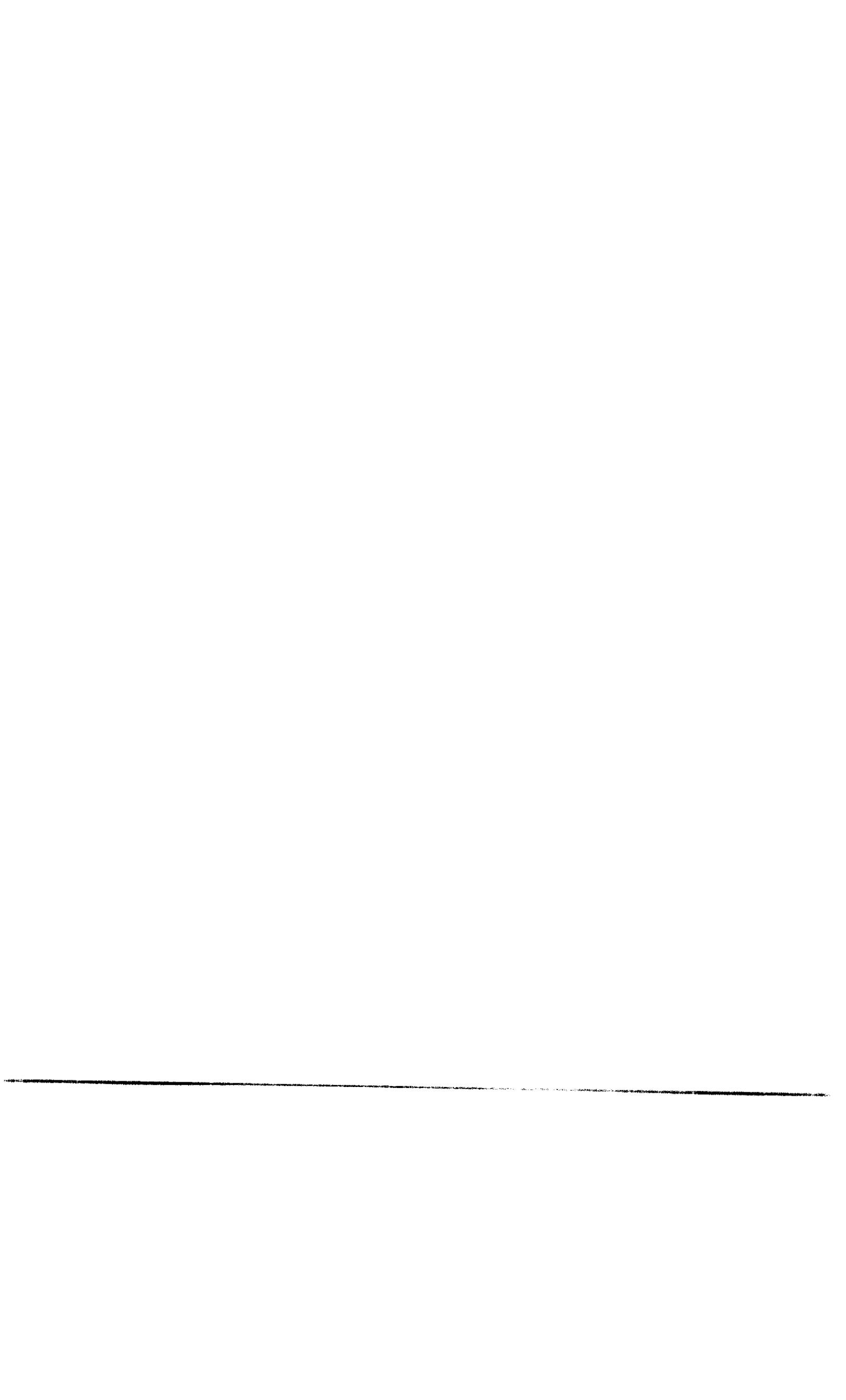
Staff recommends approval of this request.

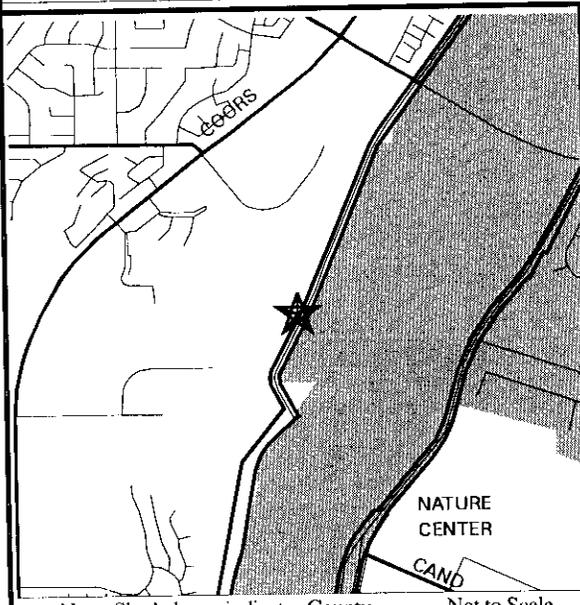
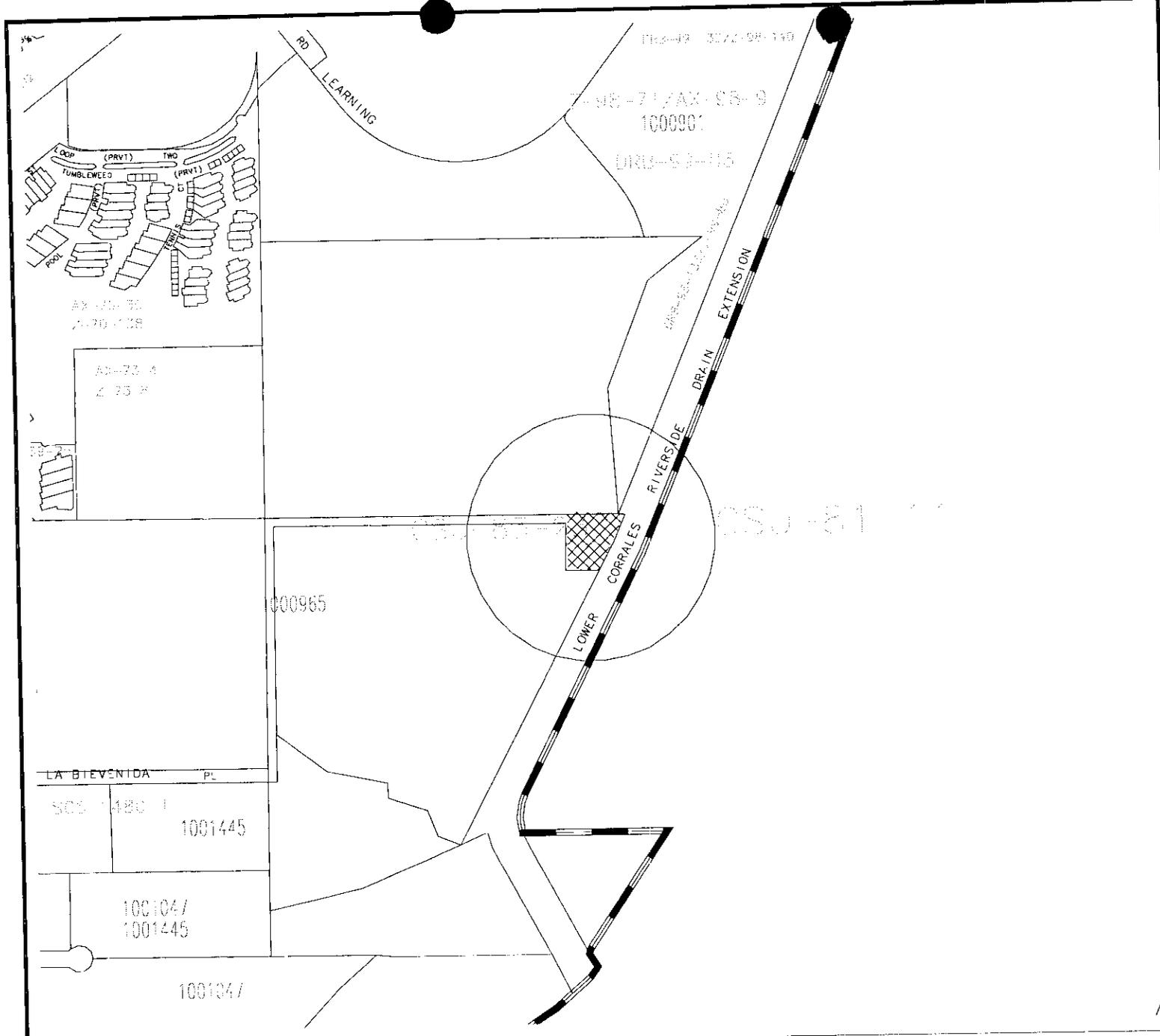


City Departments and other interested agencies reviewed this application from 5/3/02 to 5/17/02. Agency comments were used in the preparation of this report, and begin on page 15.

---







Note: Shaded area indicates County Not to Scale

### HISTORY MAP



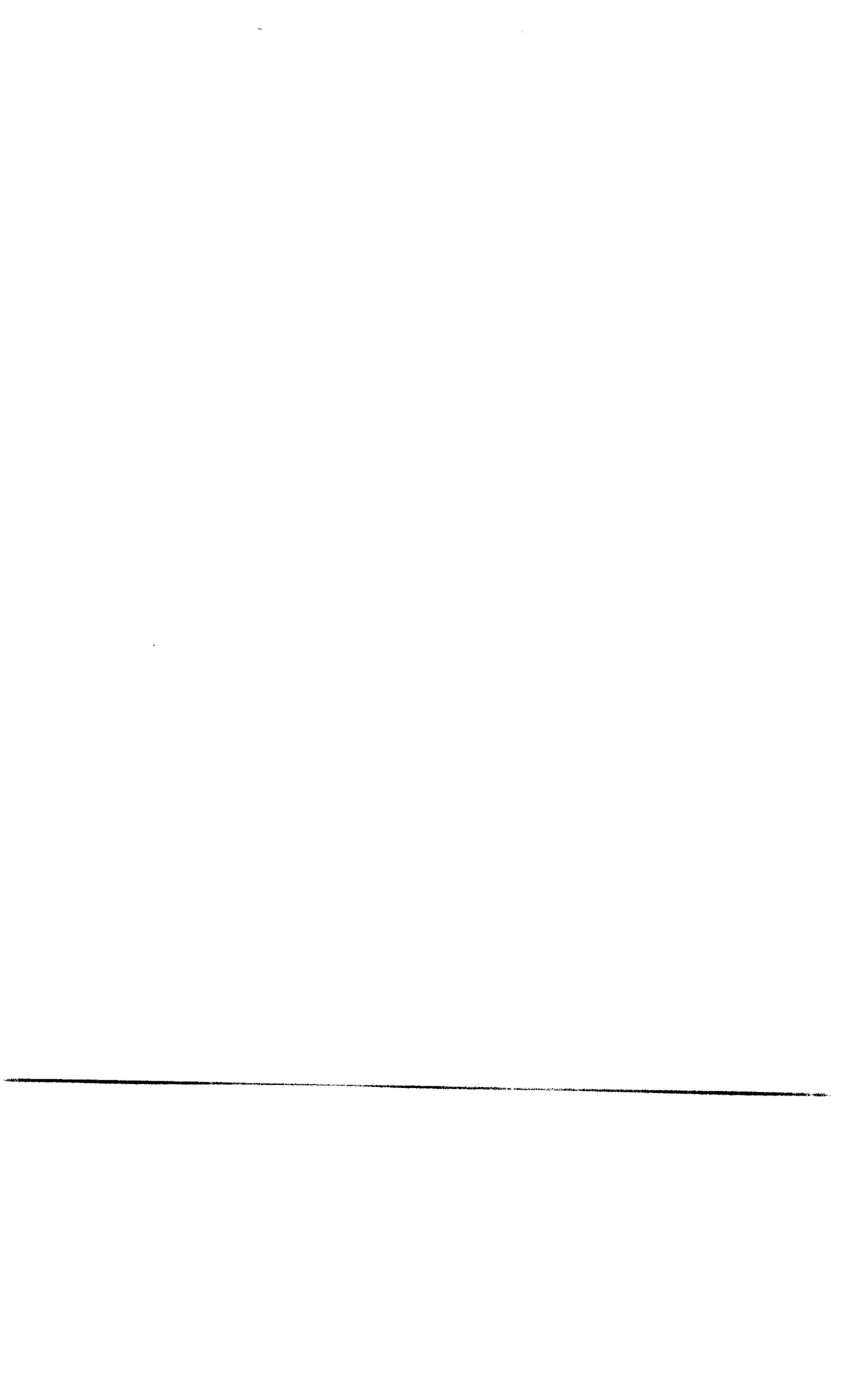
Scale 1" = 516'

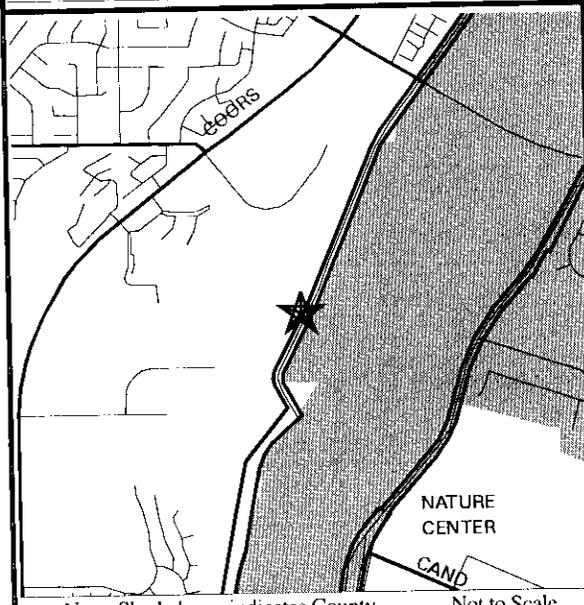
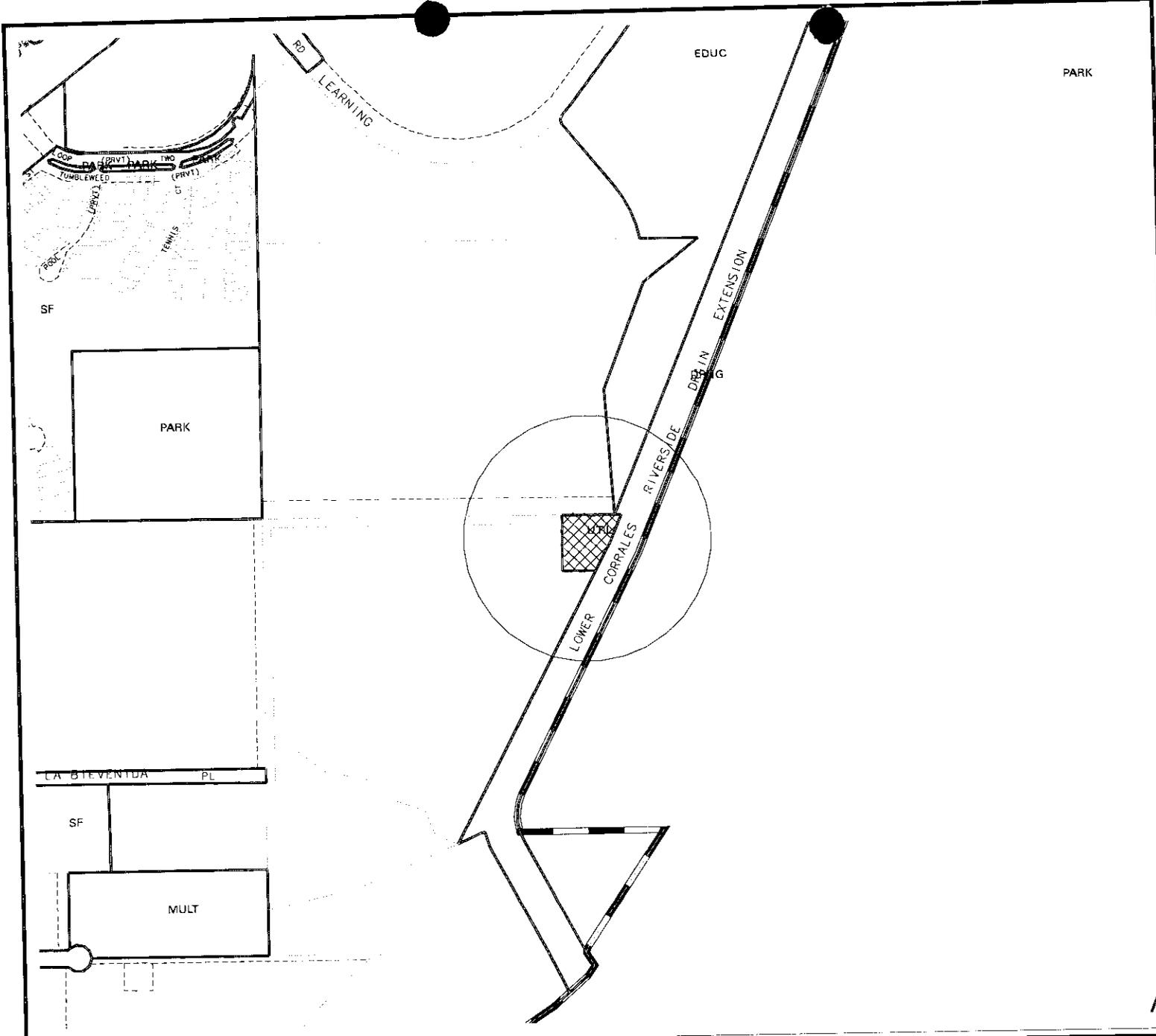
PROJECT NO.  
1000965

HEARING DATE  
6-20-02

MAP NO.  
F-12

ADDITIONAL CASE NUMBER(S)  
02EPC-00634





Note: Shaded area indicates County Not to Scale

### LAND USE MAP

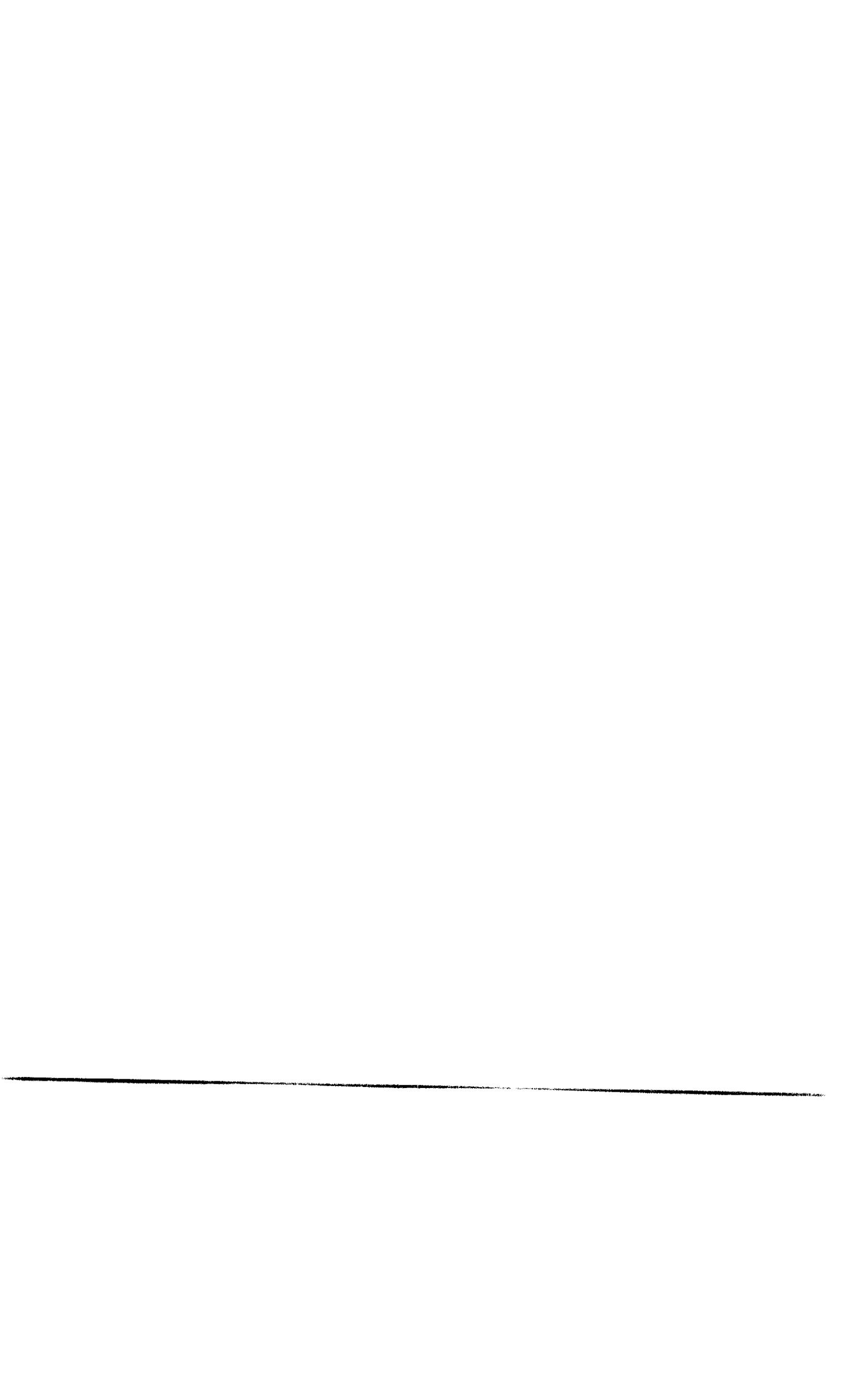
#### KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial -Retail, Service, Wholesale
- DRNG Drainage
- EDUC Public or Private School
- GOLF Golf Course
- MED Medical Office or Facility
- MFG Manufacturing or Mining
- MH Mobile Home
- MULT Multi-Family or Group Home
- OFF Office
- ORG Social or Civic Organization
- PARK Park, Recreation or Open Space
- PRKG Parking
- PUBF Public Facility
- RELG Religious Facility
- SF Single Family
- TRAN Transportation Facility
- UTIL Utility
- VAC Vacant Land or Abandoned Bldgs
- WH Warehousing & Storage



Scale 1"=516'

PROJECT NO. <b>1000965</b>
HEARING DATE <b>6-20-02</b>
MAP NO. <b>F-12</b>
ADDITIONAL CASE NUMBER(S) <b>02EPC-00634</b>



**Development Services Report**

**SUMMARY OF REQUEST**

<b>Request</b>	<i>Site Development Plan for Building Permit</i>
<b>Location</b>	<i>Adjacent to the Lower Corrales Riverside Drain and east of Coors Boulevard NW          South of Learning Road, northeast of La Bievenida Place NW</i>

**AREA CHARACTERISTICS AND ZONING HISTORY**

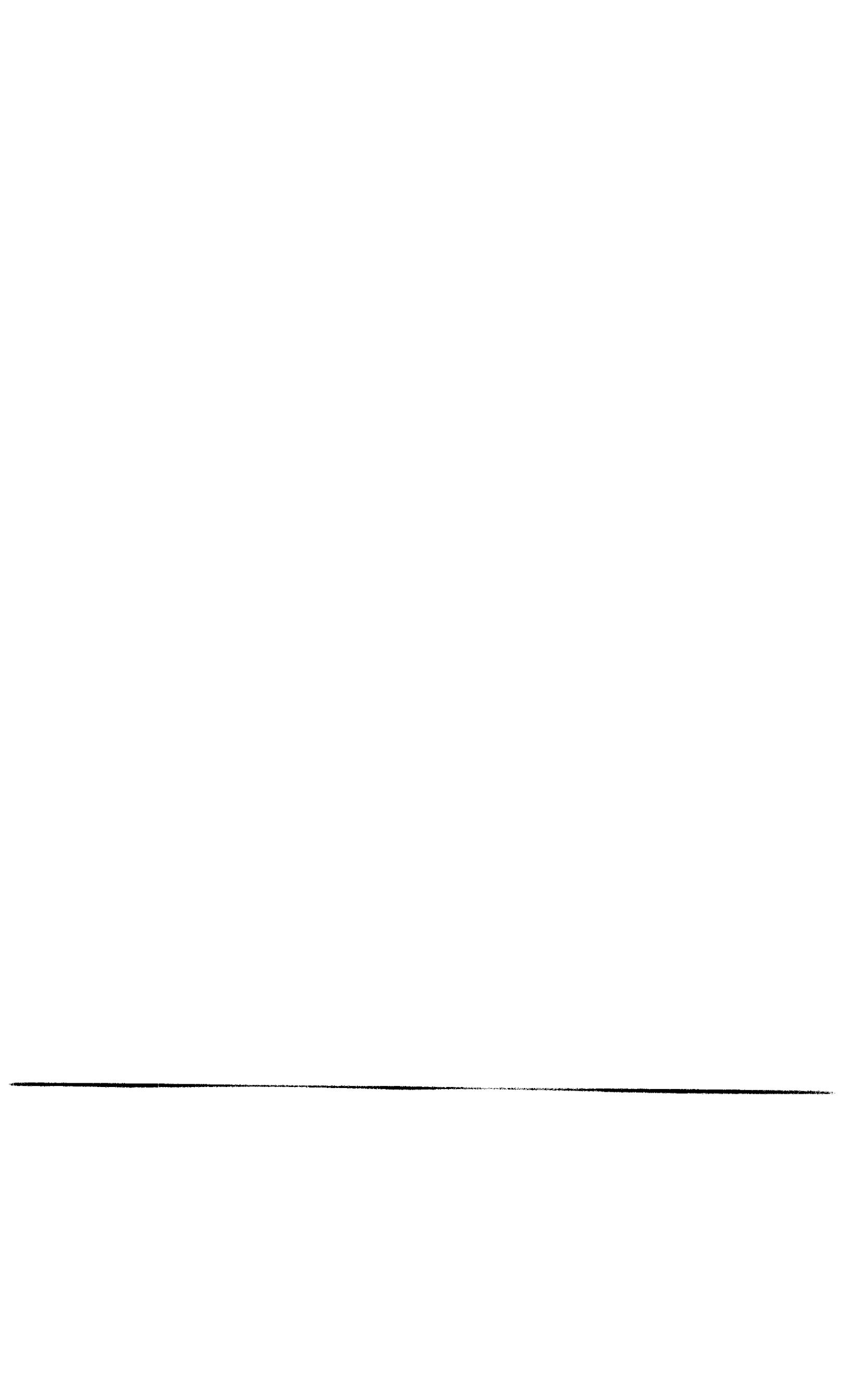
*Surrounding zoning, plan designations, and land uses:*

	<b>Zoning</b>	<b>Comprehensive Plan Area; Applicable Rank II &amp; III Plans</b>	<b>Land Use</b>
<b>Site</b>	SU-1 for PRD 6 DU/AC	Rural	Public Utility
<b>North</b>	SU-1 for Private Open Space/School Recreational Fields	West Side Strategic Plan	Undeveloped
<b>South</b>	SU-1 PRD 6DU/AC	Coors Corridor Plan	Undeveloped
<b>East</b>	County A-1		Lower Corrales Riverside Drain and Rio Grande
<b>West</b>	SU-1 PRD 6DU/AC		Undeveloped

**Background, History and Context**

This request is for approval of a site development plan for building permit to allow for an upgrade to an existing wastewater lift station. This lift station is called Station 24 and has existed in its present location since 1966. Design and reconstruction of the facility occurred in the period between 1983 and 1985. It has become necessary to perform further upgrades to prevent sanitary sewer overflow from Station 24.

The function of a wastewater lift station is to "lift" sewage from low points in the city to a higher ground level to facilitate drainage to the main treatment plant. The sewage is pumped to the higher ground and then is pulled by gravity 18 miles to the large lift station on Isleta Boulevard SW where it is pumped across the river to the Wastewater Treatment Plant. Wastewater Lift Station #24 is located near the West bank of the Corrales Riverside Drain about a mile South of Montano Road. This lift station receives most of the wastewater generated north of this site, on the west side of the Rio Grande,



including the Intel Chip Manufacturing Plant. Station 24 receives an average daily wastewater flow of 5,000 gallons per minute, which makes it the second largest wastewater lift station in the City.

The station has 4 large sewage pumps which discharge into two large main lines (a 24" and a 18" force main) that are about 5,500 feet in length, with a large lift of about 140 feet. The lines discharge to a large gravity sewer line at Coors Boulevard and Western Trails Road NW. The sewage then flows by gravity to a larger lift station (Lift Station #20 located on South Isleta Blvd.) where it is pumped across the Rio Grande into the Southside Water Reclamation Plant on south 2<sup>nd</sup> Street for treatment.

The subject site was recently annexed (May 2001) into the municipal boundary along with a large portion of the surrounding parcels (00114-01742). Wastewater Lift Station #24 was first constructed in 1966 at the present location. In 1983, construction was started on a much larger Lift Station at the same site. The construction was completed in 1985 and the older station was subsequently demolished. In this instance, most of the sewage north of Station 24, including Intel, collects at this lift station, is then pumped up to the main line located adjacent to Coors Boulevard. The surrounding area is undeveloped at present, with the nearest development consisting of Bosque School to the north, the La Luz community to the northwest, and a few single-family residential homes to the southwest. Across the river to the east is the site of the Rio Grande Nature Center.

#### APPLICABLE PLANS AND POLICIES

##### *Albuquerque / Bernalillo County Comprehensive Plan*

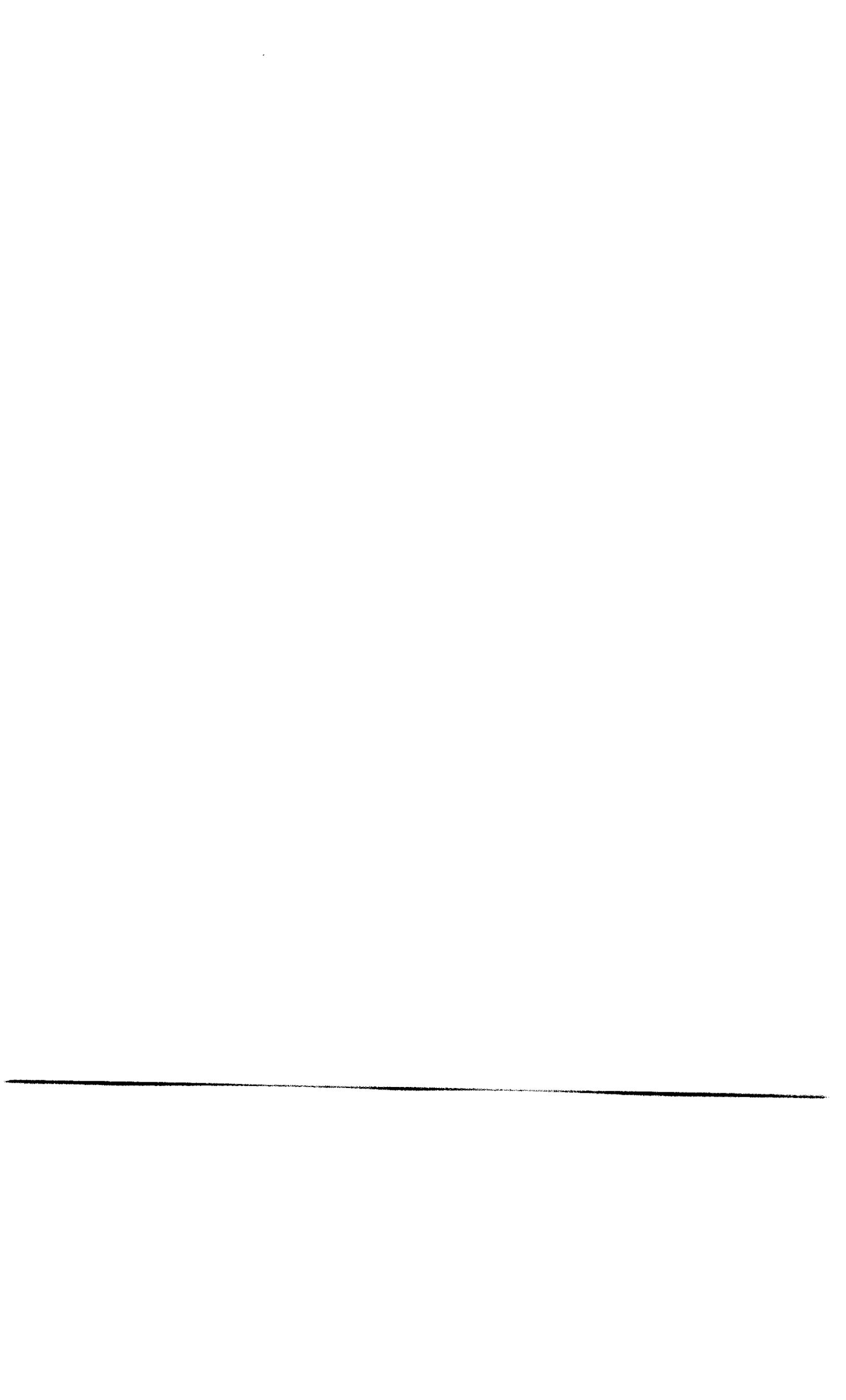
The subject site is located in the area designated rural by the *Comprehensive Plan* with a Goal to maintain the separate identity of rural areas as alternatives to urbanization by guiding development compatible with their open, natural resources, and traditional settlement patterns." It sets forth goals and policies regarding land use.

Policy a: states that Rural areas shall generally retain their rural character with development consisting primarily of ranches, farms and single-family homes on large lots; higher density development may occur at appropriate locations – within rural villages or planned communities. Overall densities shall not exceed one dwelling unit per acre.

Policy b: Development in Rural areas shall be compatible with natural resource capacities including water availability and soil capacity, community and regional goals, and shall include trails where appropriate.

Policy c: Development shall be carefully controlled in floodplains and valley areas where flood danger, high water table, solids and air inversions inhibit extensive urbanization.

The *Comprehensive Plan* discusses service provisions on page 27 of the document. The plan specifically references water, sewer and drainage services and states that present service levels should not be permitted to deteriorate to serve new growth. The plan also mentions that a large portion of the existing water and sewer system was built in the 1950s and 1960s and that improvement and repair of inadequate and deteriorated lines are needed in several areas.



The plan also has goals and policies for Water Quality (page 80) as well as Service Provisions (page 97). The following are applicable goals and policies related to this request:

**Water Quality** – The Goal is to maintain a dependable, quality supply of water for the urbanized area's needs.

Policy a Minimize the potential for contaminants to enter the community water supply. Possible techniques for ensuring this goal is met included developing and implementing a program for preventing hazardous substances from entering the aquifer and the water supply system.

**Service Provisions** – The Goal is to develop and manage use of public services/facilities in an efficient and equitable manner and in accordance with other land use policies.

Policy a Rank two facilities plans for water, sewer, transportation, and drainage shall reflect the regional nature of these systems and the need for long range analysis.

Policy c The existing public service area should be the highest priority for service, capacity, use, maintenance, and rehabilitation.

Policy d Public services expansion costs, benefits, and effects should be evaluated and balanced between new service recipients, existing users, and the community at large.

**Environmental Protection and Heritage Conservation** – Goal 8 of this section is to maintain and improve the natural and the developed landscapes' quality.

Policy a. The natural and visual environment, particularly features unique to Albuquerque, shall be respected as a significant determinant in development decisions.

Technique 4. – Design public facilities (including buildings, parks, plazas, utilities, bridges, streets, stadiums, and airports) with respect for environmental and visual factors.

Policy b Public facilities (including buildings, parks, plazas, utilities, bridges, streets, stadiums, and airports) shall be designed to realize opportunities for City/County beautification.

Policy d Landscaping shall be encouraged within public and private rights-of-way to control water erosion and dust, and create a pleasing visual environment; Native or naturalized vegetation should be used where appropriate.

Technique 4. – Plant native or naturalized trees along the recreational trail and open space system, utilizing natural irrigation along arroyos and irrigation ditches.

Policy e In highly scenic areas, development design and materials shall be in harmony with the landscape. Building siting shall minimize alteration of existing vegetation and topography and minimize visibility of structures in scenic vista areas.

---

### *West Side Strategic Plan*

The West Side Strategic Plan (WWSP) was adopted in 1997. The WWSP area is bounded by the Sandoval County line on the north, the Rio Puerco Escarpment on the west, a line south of Gun Club Road (the Atrisco Grant line) on the south and the Rio Grande on the east for areas north of Central Avenue, and Coors Boulevard on the east for areas south of Central Avenue. It encompasses over 96,000 acres of land, or approximately 150 square miles. Specific boundaries are shown on the Plan Boundary map on page 2 of the WWSP.

The WWSP identifies seven communities in established areas of the West Side that are partially developed and describes how Community and Village concepts can be applied in each of these communities. The subject site is located in the Taylor Ranch Community, which has boundaries that extend to Paseo del Norte on the north, the Rio Grande on the east, the eastern boundary of the Petroglyph National Monument on the west, and the general vicinity of Western trails on the south. A Community Center Core for the Taylor Ranch community is designated at the intersection of Coors Boulevard and Montano Road, just north of the subject site. Applicable policies of the WWSP include:

Policy 3.12: The Taylor Ranch Community is an appropriate location for continued growth due to its contiguous location to the rest of the city, and efficient location for receiving City services.

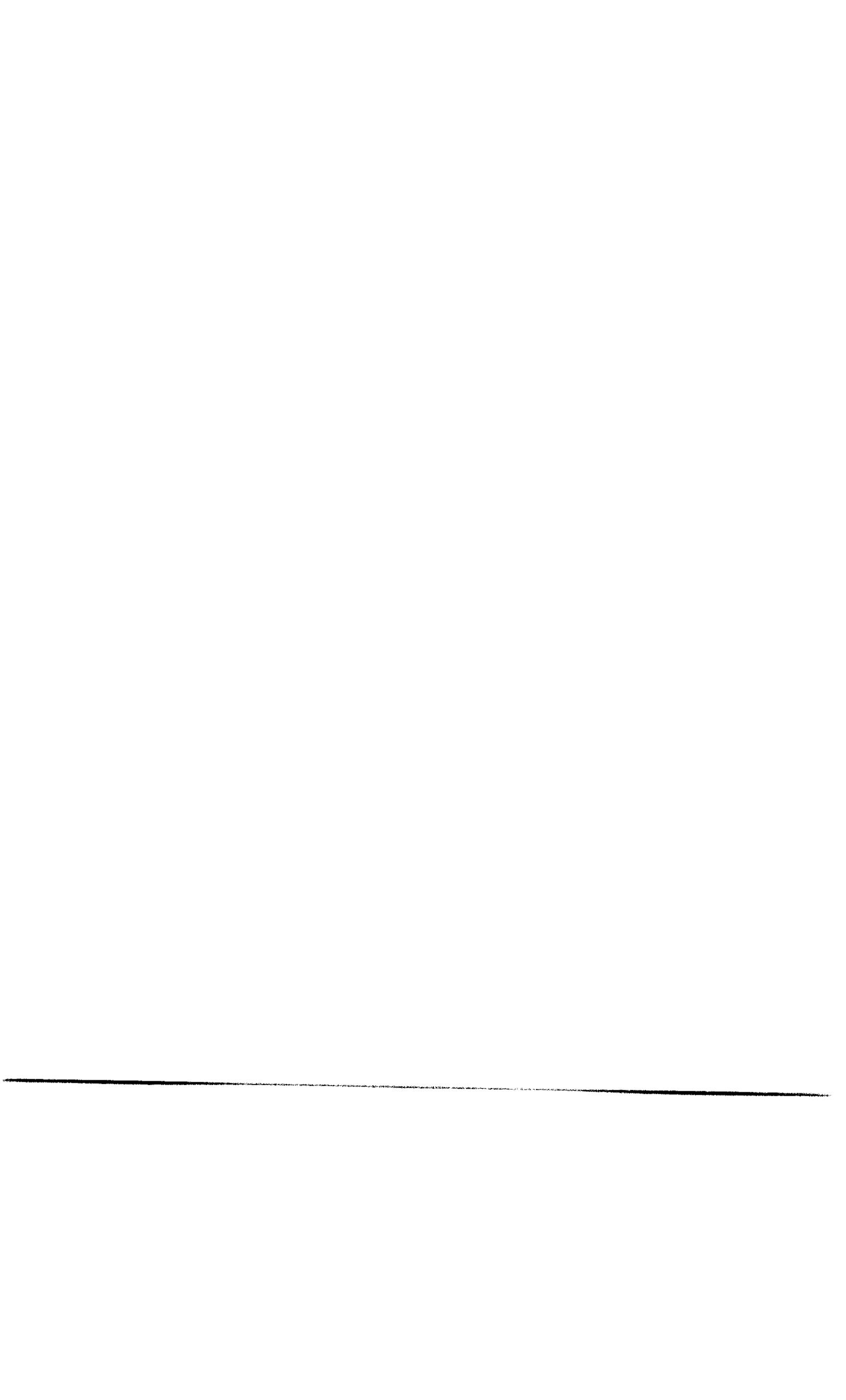
Page 214 of the WWSP discusses wastewater issues in the area. The plan states: "The existing water and wastewater infrastructure will be extended and expanded as necessary to serve the specific type and configuration of development in each Community." (p. 216)

Policy 9.5: The City of Albuquerque Utilities Division shall include West Side service issues in the Water Master Plan and the Wastewater Master Plan being conducted which responds to the urban form of this Plan, addresses service efficiency issues such as maximized gravity flow, addresses future well and lift station locations, and addresses the potential need for a West Side wastewater treatment plan.

### *Coors Corridor Plan*

The Coors Corridor Plan was first adopted in 1984, and revised in 1989. The Plan provides policy and guidelines for the design of Coors Boulevard and adjacent properties between Central Avenue and Alameda Boulevard NW/NM 528. Guidelines contained in the plan relate to traffic movement, signage, landscaping, setbacks, view preservation, architecture and other similar physical elements. Development of the subject property should conform to applicable guidelines contained within this plan. This proposal falls within Segment 3 of the Coors Corridor Plan. The following regulations relate to this request:

*Issue 2, Policy 1, river lands access*, states that development shall be carefully designed to provide access to these lands while still preserving the natural wildlife habitat and maintaining essential flood control and drainage functions.



---

*Issue 2, Policy 7, grading*, states that grading shall be minimized and the reconstruction and revegetation to a natural setting shall be encouraged.

*Issue 3, Policy 8, buffer strip*, states that a 100-foot wide buffer strip shall be established west of the Corrales Riverside Drain throughout Segment 3. The buffer strip shall remain in a natural condition and shall not be used for development.

***Resolution 91-1998 (R-70)***

This Resolution establishes an overall direction for implementation of the City's growth policies, with a framework emphasizing:

- development of community and regional activity centers and major transportation corridors (high capacity corridors); encourage increased densities and mixed uses in activity centers and corridors; meet the needs of residents closer to their homes or employment to decrease Vehicle Miles Traveled and automobile dependence.
- maintenance, enhancements and upgrades of roads and utilities in the core area, to prevent deterioration of existing communities and to encourage infill; diversify the Downtown land use mix with public facilities, hotels, office and retail development, more and higher density housing; generate more activity and attract more private investment in the Downtown area.
- enhance transit system performance, consistent with the principles of a compact urban form and a network of centers and corridors; improve the viability of transit as an alternative to the single-occupancy vehicle and reduce Vehicle Miles Traveled; improve pedestrian mobility and the character of the pedestrian environment, transit orientation and bicycle connections, within centers and corridors.
- plan the timing of road and utility construction to ensure orderly growth, and coordinate capacity increases and street extensions; transportation improvement programs must recognize the significance of natural, historic, and cultural resources and include strategies for minimizing adverse impacts on them.

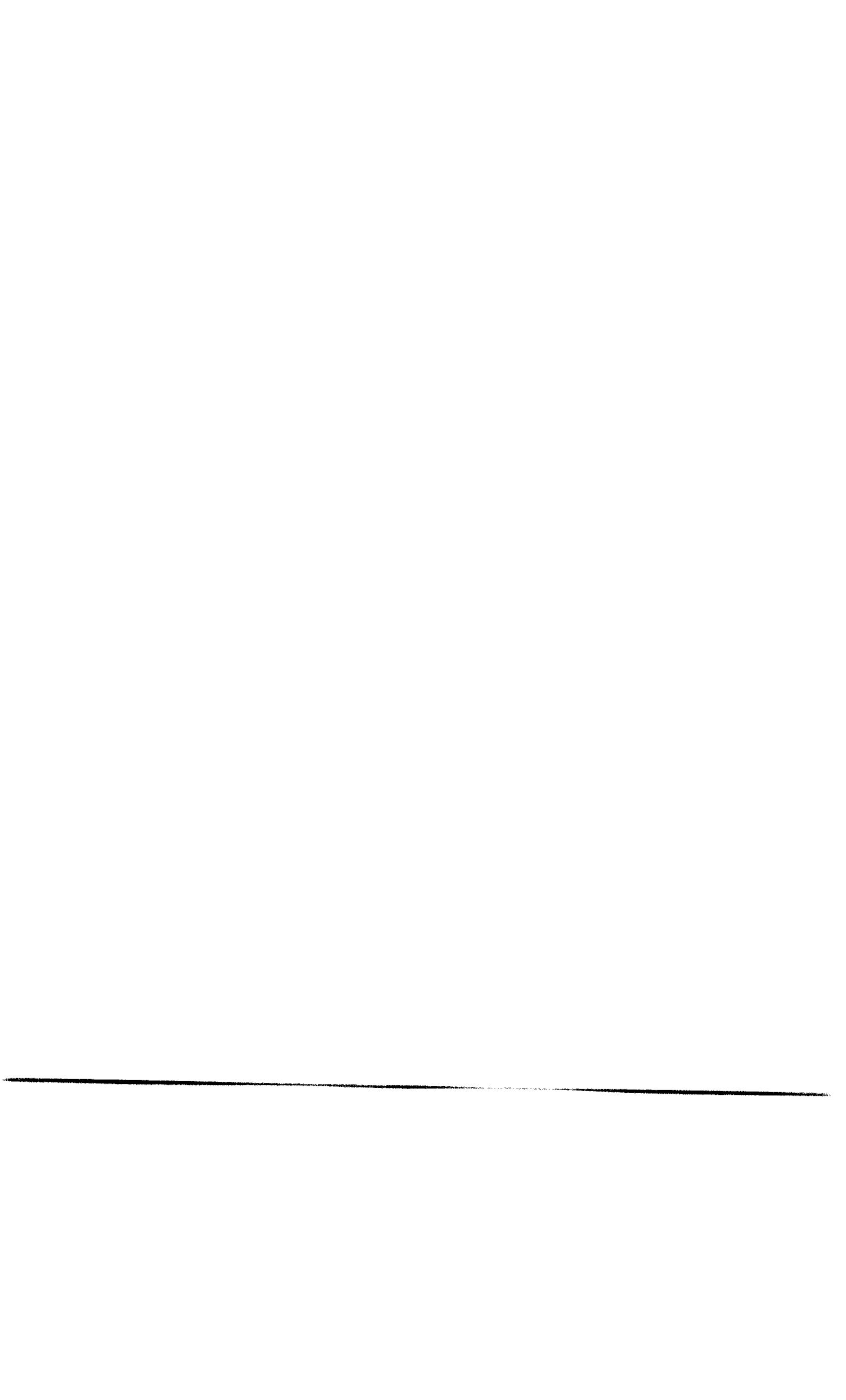
***Long Range Roadway System***

The Long Range Roadway System designates Coors as a Limited-Access Principal arterial.

**ANALYSIS**

***Conformance to Adopted Plans, Policies, and Ordinances***

This is a request for a site development plan for building permit for a 2.25-acre parcel to upgrade a wastewater utility lift station. The project involves adding a new building, a new sedimentation pond, a CMU wall, a new diesel engine generator that will replace two older models and new pad-mounted equipment to the existing facility. The site is zoned SU-1 PRD/6 Dwelling Units Per Acre. Public Utility structures are permissive in most zones with approval of a site development plan for building permit by the EPC.



---

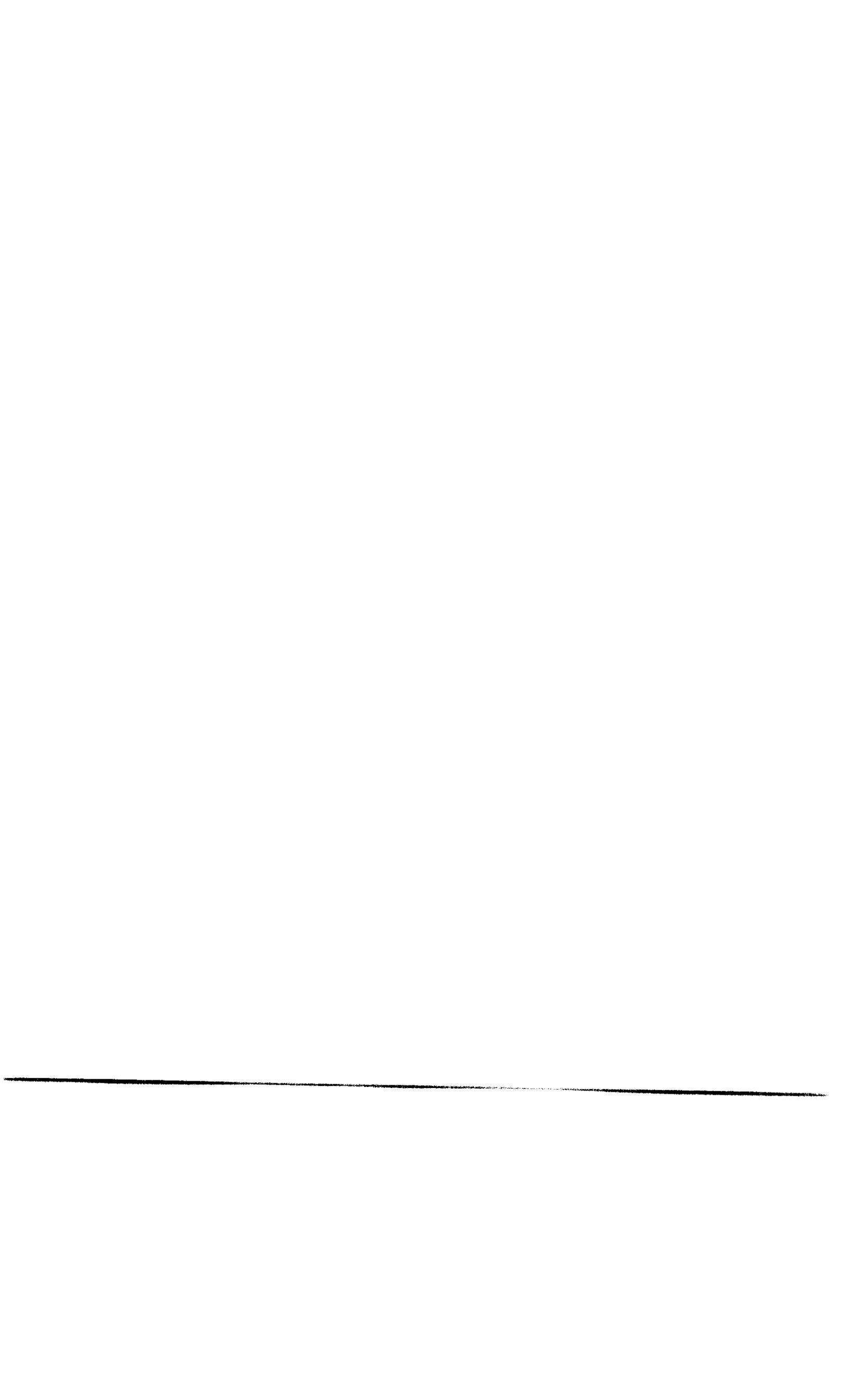
The *Comprehensive Plan* discusses service provisions on page 27 of the document. The plan specifically references water, sewer and drainage services and states that present service levels should not be permitted to deteriorate to serve new growth. The plan also mentions that a large portion of the existing water and sewer system was built in the 1950s and 1960s and that improvement and repair of inadequate and deteriorated lines are needed in several areas. The plan also has a goal for Water Quality (page 80) which is to maintain a dependable, quality supply of water for the urbanized area's needs. The plan also has a goal for Service Provisions (page 97) to develop and manage use of public services/facilities in an efficient and equitable manner and in accordance with other land use policies. This request would be in keeping with the service provisions as stated in the *Comprehensive Plan*. Goal 8, The Developed Landscape, under the Environmental Protection and Heritage Conservation section (page 94) is to maintain and improve the natural and the developed landscapes' quality. Staff has suggested design modifications that will allow this site to comply with this important section of the *Comprehensive Plan*.

The proposal meets the applicable plans and policies of the *West Side Strategic Plan* by improving public services to the area to accommodate growth. In Policy 3.12 of the *WSSP* the Taylor Ranch Community is called an appropriate location for continued growth due to its contiguous location to the rest of the city, and efficient location for receiving City services. In addition, Page 214 of the *WSSP* discusses wastewater issues in the area. The plan states: "The existing water and wastewater infrastructure will be extended and expanded as necessary to serve the specific type and configuration of development in each Community." (p. 216) This request meets that recommendation. The request meets the requirements of Policy 9.5 of the *WSSP* as well. This policy states, "The City of Albuquerque Utilities Division shall include West Side service issues in the Water Master Plan and the Wastewater Master Plan being conducted which responds to the urban form of this Plan, addresses service efficiency issues such as maximized gravity flow, addresses future well and *lift station locations*, and addresses the potential need for a West Side wastewater treatment plan." [italics added]

The subject site is also within the boundaries of the *Coors Corridor Plan (CCP)*. This Plan describes how development should occur within its boundaries. Policies regarding river lands access states that development shall be carefully designed to provide access to these lands while still preserving the natural wildlife habitat and maintaining essential flood control and drainage functions. This development will comply with this policy by providing wildlife habitat through landscaping and by providing a sedimentation pond to the quality of runoff water entering the Lower Corrales Riverside Drain.

The site has been designed to comply with Issue 2, Policy 7, grading, which states that grading shall be minimized and the reconstruction and revegetation to a natural setting shall be encouraged. Staff recommends any disturbed areas will be revegetated and additional vegetation be provided for the site. (*See Landscape Section of this report*)

In the matter of Issue 3, Policy 8, regarding the buffer strip, the Open Space Division has commented that "proposed lift station improvement(s) appears to violate Policy 8 ("Buffer Strip") of the *Coors Corridor Plan* which states that a 100-foot wide buffer strip shall be



---

established west of the Corrales Riverside Drain throughout Segment 3. The buffer strip shall remain in a natural condition and shall not be used for development." While this request will allow construction and development within the boundary area, it is not considered new development, as it has existed in this location for 36 years and pre-dates the CCP by almost 20 years. The reality of new construction within the buffer zone is highly unlikely due to this condition of the CCP. However, planning staff and Public Works consider this site to be an existing site that already encroaches within the 100-foot buffer and was in existence when the lines of the buffer were drawn. More importantly, the plans for the subject site are necessary for the health, welfare and safety of the public and are required in order to maintain adequate service to the public. The Open Space comments state that an amendment to the CCP should be sought if these changes are to occur. The down side to this suggestion is that an amendment of this type could set a precedent for similar requests to build within the 100-foot buffer area. The other alternative is to build a new facility, which would be cost prohibitive.

#### ***Site Plan Layout / Configuration***

The site is laid out in such a way that the rear of the site is along the Riverside Drain and the entrance to the site is on the west via the easements from Coors Boulevard. The site itself is rectangular in shape and is immediately adjacent to the west bank of the Lower Corrales Riverside Drain. The entrance to the site is through a 32-foot wide private access easement. Existing structures on the site include a 19-foot high, 2,142-square foot pump building, a Ferrous Chloride tank enclosure (a chemical that is put into the influent which reduces odors when discharged to the main treatment plant), a surge tank structure, and a 187-square foot chemical building. An existing roller gate is provided at the main entrance, along with parking spaces for four vehicles. Proposed improvements include a new 660-square foot electrical building located immediately adjacent to the east of the existing pump building and a 12-foot high generator enclosure and accompanying concrete pad.

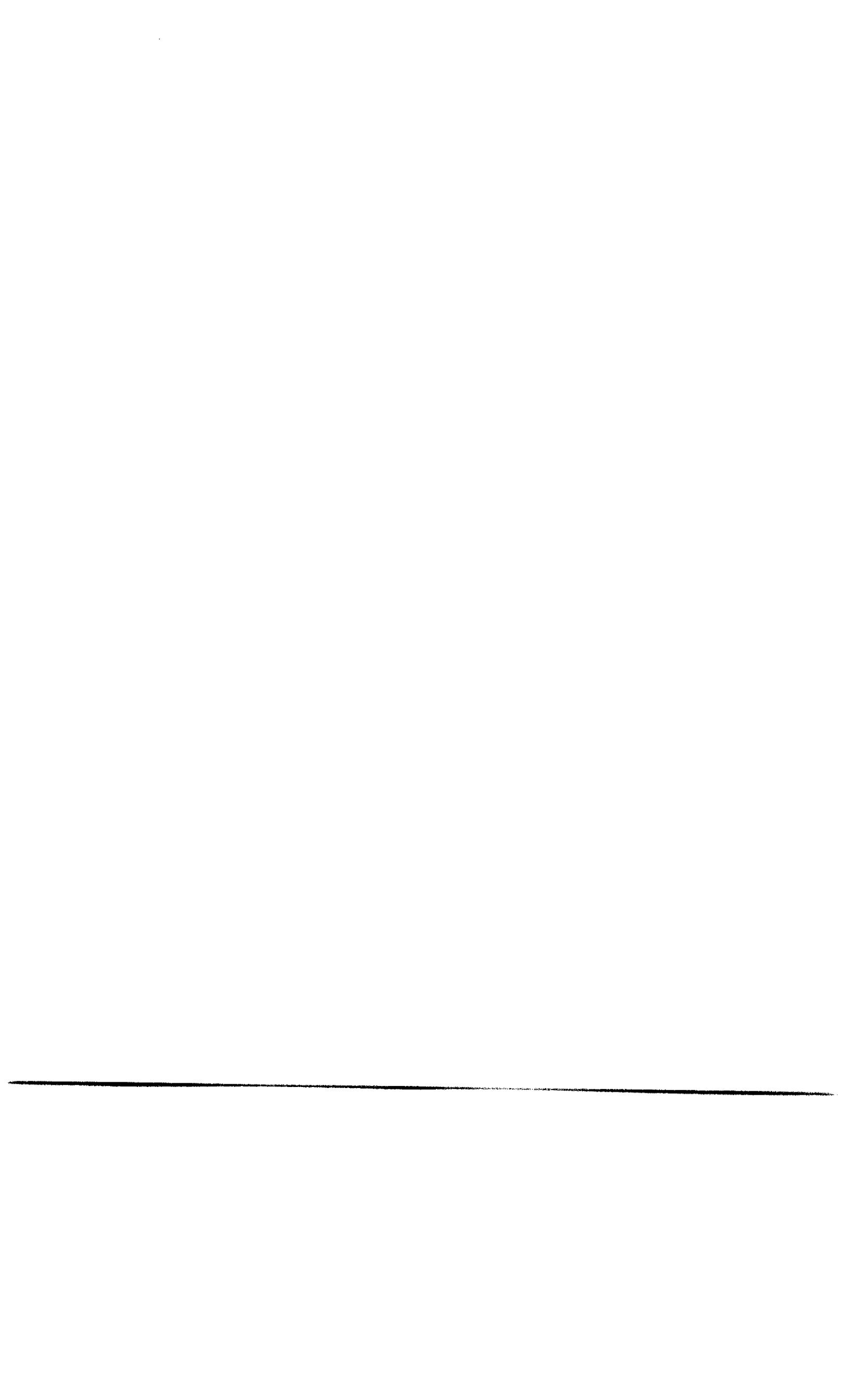
#### ***Vehicular Access, Circulation and Parking***

Access to the site is from Coors Boulevard and through an existing 32-foot wide private access easement. There is one existing entrance to the site and it is controlled by a 30-foot wide roller gate that is kept locked and is opened manually.

Parking for the site includes four existing parking spaces. No additional spaces are planned. The site is not occupied full-time. The applicant's letter states that the lift station is not open to the public and City operation and maintenance personnel visit the station several times per week. Once upgraded, the number of personnel visits and the amount of activity at the site are not expected to increase.

#### ***Pedestrian and Bicycle Access***

There is no pedestrian, bicycle or transit access to the site. Access to the site is from Coors Boulevard via an unpaved private access easement. Access to this site is restricted to City employees and pedestrian and bicycle traffic is strongly discouraged.



---

### *Lighting and Security*

There is no lighting existing on the site and none is proposed.

Walls and fencing for the site include some existing and some proposed. The existing fencing consists of 6-foot high chain link. This should be replaced with either wrought iron fencing or CMU block wall around the entire perimeter of the site.

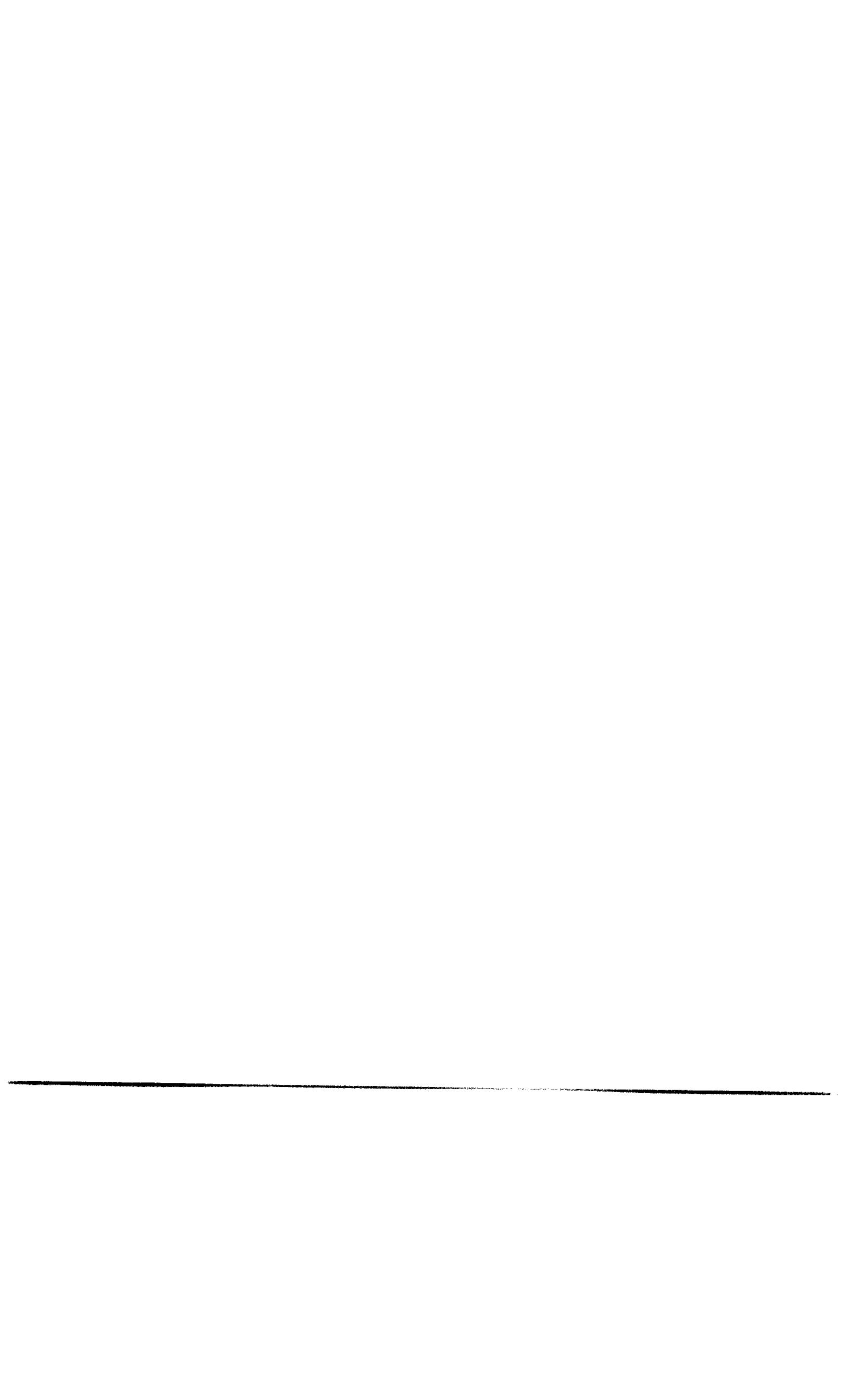
The proposed new fencing is 6-foot high CMU block wall on a portion of the east side of the facility. The purpose of this block wall is to protect vital equipment in the interior. This equipment includes a generator and a transformer which are critical to the operation of the lift station activities. Also proposed is additional chain link fencing on the northeast edge of the property. No chain link, razor wire or plastic/vinyl fencing should be permitted. This should be substituted with 6-foot tall wrought iron or CMU block wall that is integrated with the proposed block wall.

### *Landscaping*

A landscape plan has been submitted with the site plan. The plan contains statements pertaining to maintenance responsibility, but no statements regarding intent to comply with the Water Waste Ordinance and the Water Conservation Ordinance, or irrigation notes. The landscape plan indicates that the site will be 7.3% of the net lot area. The zoning code requires all sites to have a minimum of 15% of a site in a landscaped condition. In addition, all planting beds 36-square feet or larger must be planted so that 75% of the bed will be covered with live vegetation at maturity (shrubs, vines, wildflowers, etc.). The submitted landscaped plan has no groundcover and no suggestion of plant materials other than trees. It should be noted that gravel and tree canopies do not count toward the 75% coverage. These areas must be planted with shrubs, grasses or groundcover to meet this requirement.

Additionally, the types of trees proposed for the site are of three varieties, but all have the same symbol, making it impossible to know what tree species is actually being planted. Because the species represented on the plan are somewhat different in size and shape, it becomes difficult to understand the proposed vegetative screening. The species of tree to be planted should have a unique corresponding symbol on the landscape plan. In addition, all deciduous trees should be a minimum of 2-inches in caliper and all evergreen species should be a minimum of 8-feet in height. This should be specified in a note on the landscape plan.

Planning staff believes there is some question as to the appropriateness of the chosen species of trees. Although the trees mentioned on the site plan are all drought tolerant and two of them remain green in the winter months, they are not trees that are commonly grown in the bosque. However, what we commonly think of in the bosque as native are cottonwoods, Russian olive and salt cedar, which are all very thirsty trees that can easily propagate and would also not be appropriate. Staff suggests alternatives that are native to riparian areas in the middle Rio Grande valley in order to help meet Goal 8 (Developed Landscape, page 94) in the *Comprehensive Plan*. Species include the Coyote willow, which is a tall shrub (15-foot-high), New Mexico or Arizona alder, Chinquapin oak, Grey oak or Emory oak (all grow as high as 40-foot high). These species



---

are all native to the middle Rio Grande valley and do well in riparian areas. In addition, the Grey and Emory oaks are semi-evergreen species.

Materials for planting areas are not mentioned on the site plan or in the applicant's letter. Mulches such as gravel, bark, crusher fines, etc. should be noted on the landscape plan, as well. A gravel mulch is shown on areas near the east side of the site, but no plants are in place in this area. How this space is proposed to be used should be clarified on the site plan.

Revegetation or stabilization of disturbed areas should be shown on the landscape plan. The eastern portion of the site shows natural bosque as the landscape. This should be further described and perhaps the proposed landscaping could be planned in context with this existing vegetation.

If the entire site is enclosed by an opaque wall that is a minimum of 6-feet in height, then that area that is screened from the view of any adjacent lot or public right-of-way would not be required to provide extensive landscaping within the walled area. However, buffer landscaping would still be required (§14-16-3-10 (E)(1)(b) of the Zoning Code). The addition of an opaque wall surrounding the entire site would need to be designed in such a way that the visual environment of the bosque is protected. Development and design of the wall should include materials that are in harmony with the surrounding landscape and should help minimize visibility of the lift station structures in this scenic view area.

#### ***Grading, Drainage, Utility Plans***

A grading and drainage plan has been submitted for Public Works, Hydrology review.

The site plan shows numerous sanitary sewers lines and easements within the site. Also, a water well exists on site to provide water for bathroom facilities and irrigation of vegetation.

#### ***Architecture and Signage***

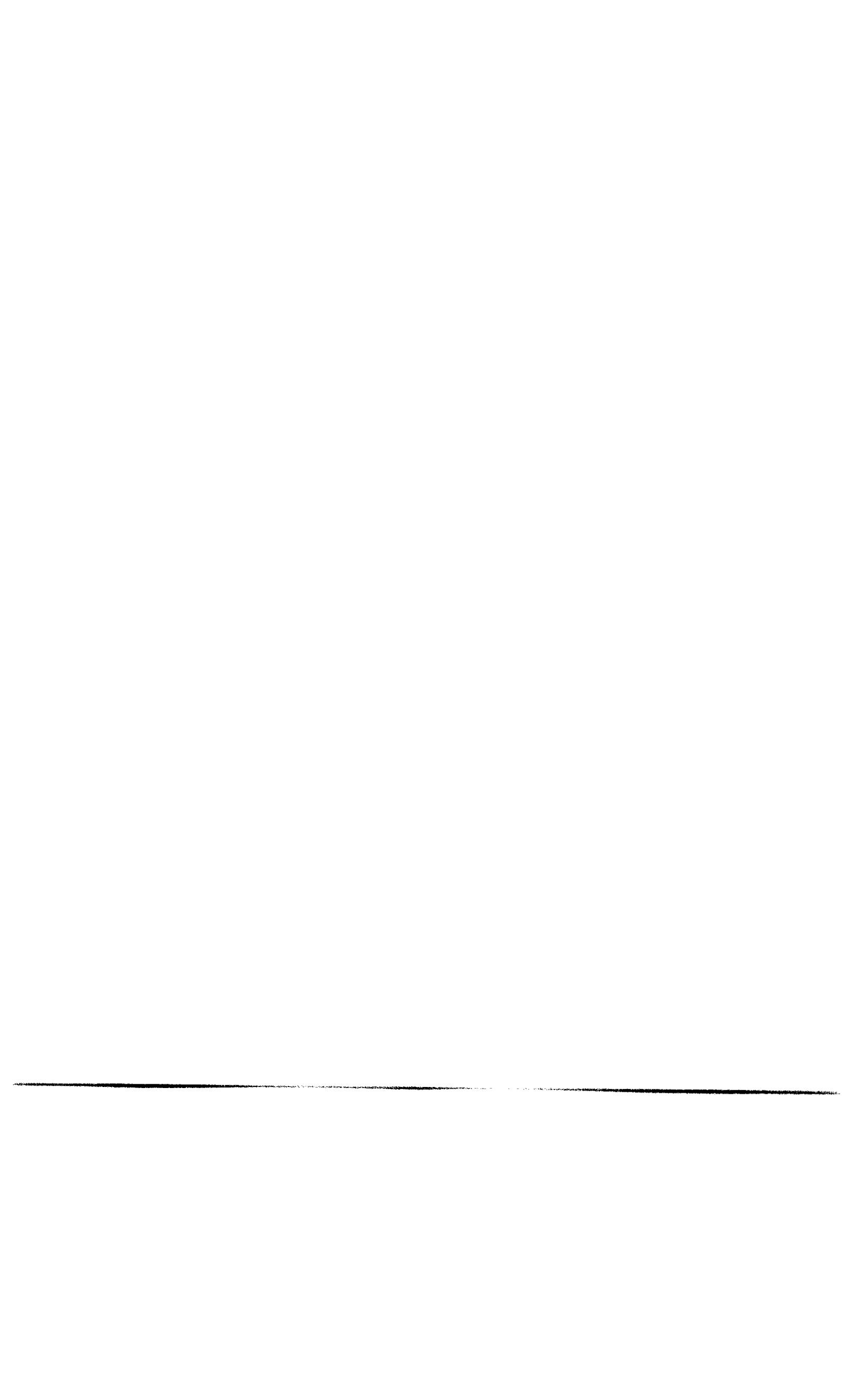
The proposed building is composed of two rectangles joined at one end and is located immediately east of the existing building. The architecture of the proposed building is a utilitarian composition of flat-roofed, split-faced block façade. A color sample of the block has been included with the submittal and is called 'esc'. The color is generally a reddish tan. The building is somewhat articulated with downspouts, doors, parapet and a ladder. The color of these features should be called out on the site plan. In addition, the HVAC is shown on top of the building. The top of all rooftop equipment should be below the top of the parapet and screened from view from the property lines of this site. This is especially important at this site, as the slope from Coors Boulevard leaves a very clear view of the rooftop equipment. The applicant may consider placing the unit on the ground to satisfy this requirement.

No signs have been requested for this site.

#### ***Concerns of Reviewing Agencies / Pre-Hearing Discussion***

The applicant was in attendance at the pre-hearing discussion.

The Open Space Division of the Parks Department comments that the applicant should redesign the project to build improvements outside the 100' buffer or seek an amendment to the Coors



---

Corridor Plan. This comment is in reference to page 81 of the Coors Corridor Plan which states: "A 100-foot-wide buffer strip shall be established west of the Corrales Riverside Drain throughout Segment 3. The buffer strip shall remain in a natural condition and shall not be used for development" and "A 100-foot-wide buffer will serve to protect and preserve the bosque and its wildlife from encroachment and development".

While Planning staff agrees that the 100-foot buffer should be preserved, the existing lift station is already included in the buffer. No expansion of the site is proposed, therefore no further encroachment into the buffer will occur. The improvements to this site are necessary for the health, safety and welfare of the community. Any attempt to amend the Coors Corridor Plan in this respect may provide precedence for future encroachment into the 100-foot buffer area.

The Solid Waste Department comments that the site plan must address the issue of the refuse enclosure on this project.

### ***Neighborhood Concerns***

Staff has received phone calls from neighbors living in La Luz. One neighbor was in support of the project and two neighbors were against the project. Neighbors have concern about the dust from the dirt road when vehicles travel across it. They also have concerns regarding the expansion of the project and feel that perhaps another location for the lift station is more appropriate. Staff agrees that perhaps a search by the Public Works Department, Wastewater Utility Division, for a new location for an additional lift station may be appropriate. However, at this time, this facility is in need of upgrading and should not be delayed due to these concerns.

A facilitated meeting was held on Wednesday, June 12, 2002. According to the facilitator, the neighborhood was in unanimous support of the proposal and felt that it should be approved. A copy of this report will be included or forwarded to the Commission, depending on when it is received.

### ***Conclusions***

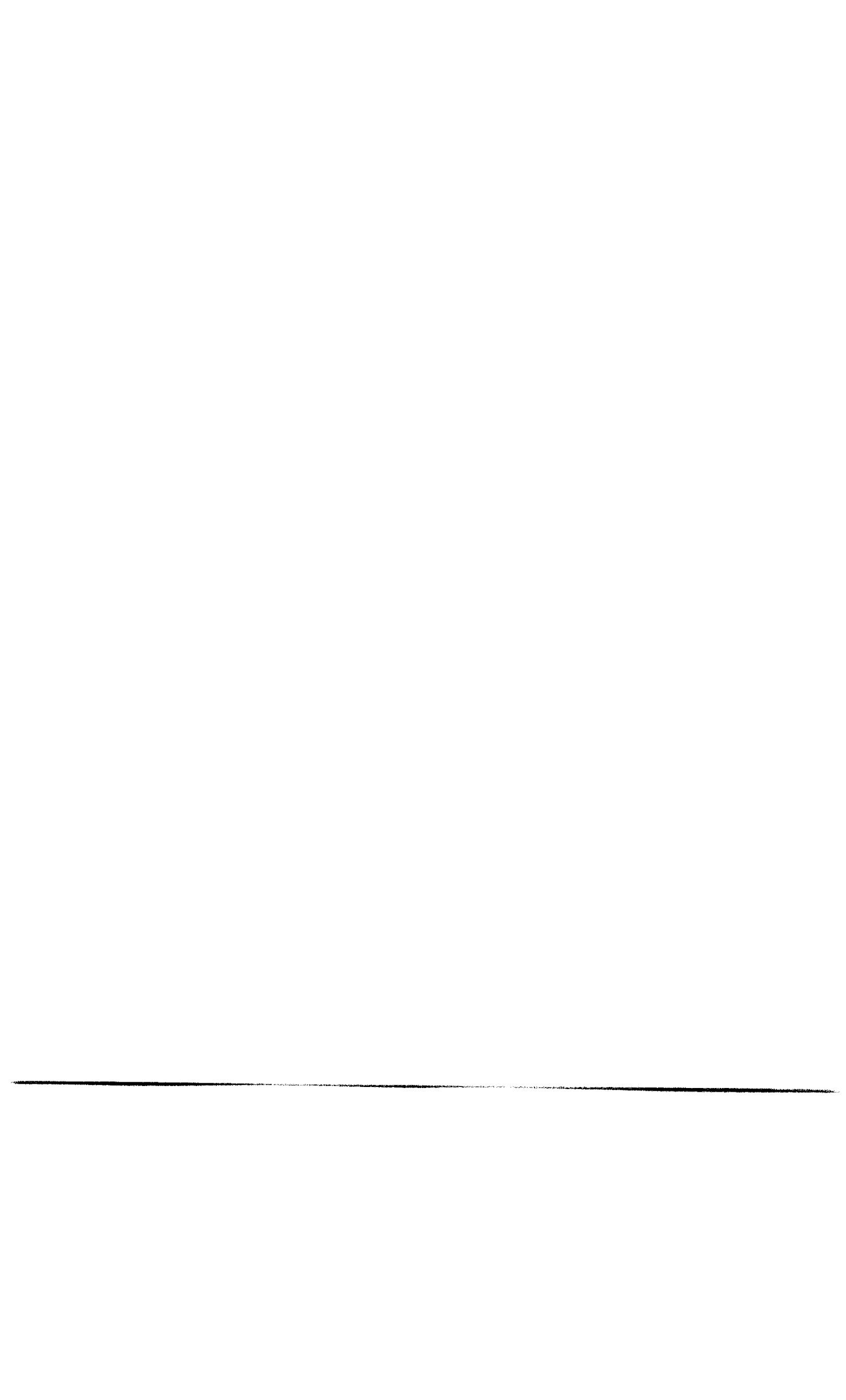
This is a request for approval of a site development plan for building permit for structures to be added to an existing sanitary sewer lift station located on 2.25 acres near north Coors, Montano Boulevard and the Lower Corrales Riverside Drain. The improvements to the existing site are necessary for the health, safety and welfare of the community and must be completed to avoid raw sewage overflow. Staff recommends approval of this request.

---

---

**FINDINGS – 02EPC-00634 – June 20, 2002**

1. This is a request for a site development plan for building permit for additions to a wastewater lift station located on 2.25 acres between Coors Boulevard NW and the Lower Corrales Riverside Drain, south of Montano Boulevard.
  
2. The request meets the intent of the *Comprehensive Plan* (page 27 of the document) by ensuring that sewer services stay at present service levels by not permitting services to deteriorate while serving new growth. The plan also mentions that a large portion of the existing water and sewer system was built in the 1950s and 1960s and that improvement and repair of inadequate and deteriorated lines are needed in several areas, which this request addresses.
  
3. The request meets the intent of the *Comprehensive Plan* (Policy c) by upgrading a sanitary sewer lift station carefully in a controlled in floodplains and valley areas where flood danger, high water table, solids and air inversions inhibit extensive urbanization.
  
4. The request meets the intent of the *West Side Strategic Plan* (page 214) by extending and expanding existing wastewater infrastructure as necessary “to serve the specific type and configuration of development in each Community.” (p. 216)
  
5. The request meets the intent of the *West Side Strategic Plan* (Policy 9.5) which states that “The City of Albuquerque Utilities Division shall include West Side service issues in the Water Master Plan and the Wastewater Master Plan being conducted which responds to the urban form of this Plan, addresses service efficiency issues such as maximized gravity flow, addresses future well and lift station locations, and addresses the potential need for a West Side wastewater treatment plan.
  
6. The request meets the intent of the *Coors Corridor Plan (Issue 2, Policy 1)*, *river lands access*, which states that “development shall be carefully designed to provide access to these lands while still preserving the natural wildlife habitat and maintaining essential flood control and drainage functions” and that, regarding river lands access, “that development shall be carefully designed to provide access to these lands while still preserving the natural wildlife habitat and maintaining essential flood control and drainage functions.” This development will comply with this policy by providing wildlife habitat with additional landscaping and by providing a sedimentation pond to the quality of runoff water entering the Lower Corrales Riverside Drain.



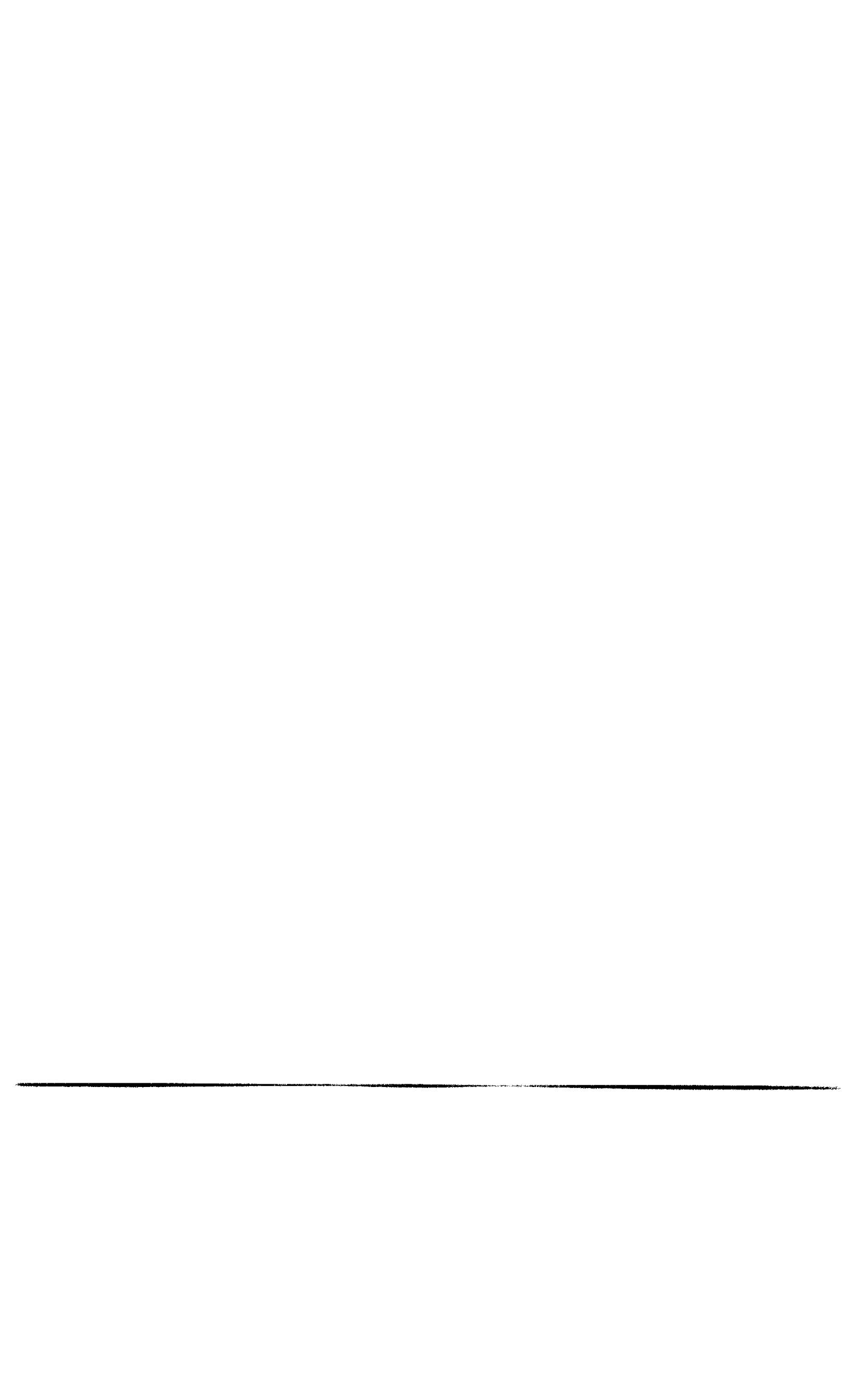
- 
7. With conditions regarding revegetation, this request will meet the intent of the *Coors Corridor Plan (Issue 2, Policy 7)*, regarding grading, which states that grading shall be minimized and the reconstruction and revegetation to a natural setting shall be encouraged.
  
  8. In the matter of Issue 3, Policy 8, of the *Coors Corridor Plan*, the Open Space Division has commented that the proposed lift station improvements violate Policy 8 of the *Coors Corridor Plan* which states that a 100-foot wide buffer strip shall be established west of the Corrales Riverside Drain throughout Segment 3 and shall remain in a natural condition and shall not be used for development. While this request will allow construction and development within the buffer area, it is not new development, as it has existed in this location for 36 years, pre-dates the *CCP* by almost 20 years, presently encroaches within the 100-foot buffer and was in existence when the boundaries of the buffer were created. The plans for the subject site are necessary for the health, welfare and safety of the public and are vital in order to maintain adequate service to the public.

**RECOMMENDATION – 02EPC 00634 – June 20, 2002**

**APPROVAL of 02EPC 00634 a request for a site development plan for building permit, for Tract B, Plat of Lands of Ray Graham, based on the preceding Findings and subject to the following Conditions of Approval.**

**CONDITIONS OF APPROVAL - 02EPC 00634 – June 20, 2002**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
  
2. No chain link, razor wire or plastic/vinyl fencing is permitted.
  
3. Downspouts, doors, parapets, walls, ladders and all other features of the site shall be noted as to color and materials and shall be called out on the site plan.

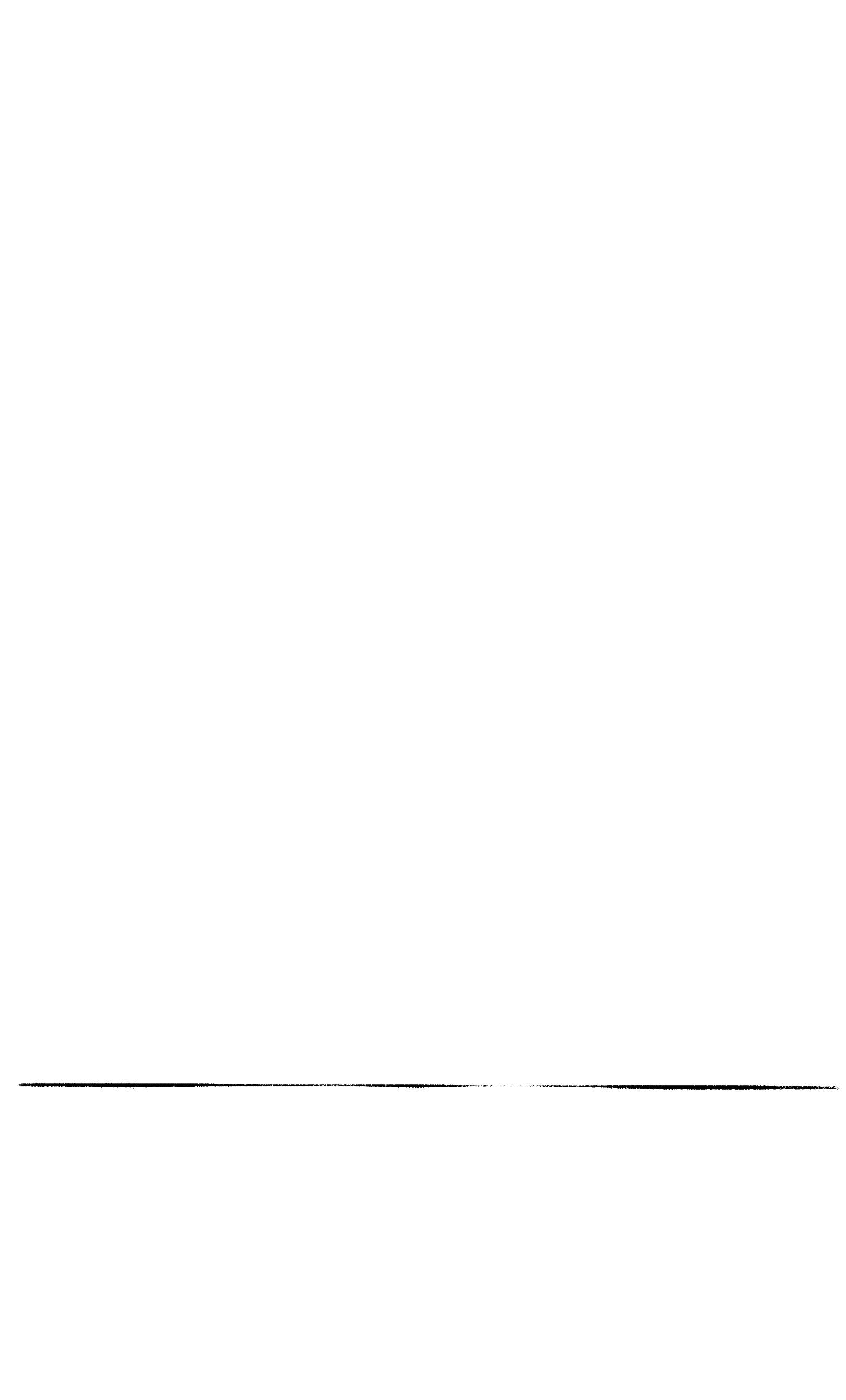


---

4. Landscaping:

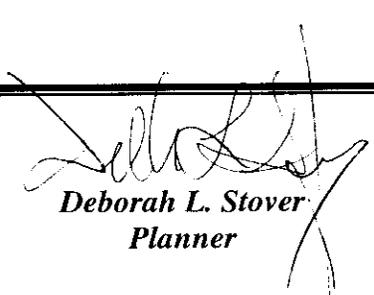
- a.
  1. The site shall bring the proposed landscape coverage from 7.3% of the net lot area to the requirements as set forth in the zoning code which requires all sites to have a minimum of 15% of a site in a landscaped condition;  

or,
  2. Alternatively, the entire site shall be enclosed by an opaque wall that is a minimum of 6-feet in height, and buffer landscaping around the perimeter shall be installed and shall be designed in such a way that the visual environment of the bosque is protected. Development and design of the wall shall include materials that are in harmony with the surrounding landscape and shall help minimize visibility of the lift station structures in this area.
- b. All planting beds 36-square feet or larger shall be planted so that 75% of the bed will be covered with live vegetation at maturity (native grasses, shrubs, vines, wildflowers, etc.). It should be noted that gravel and tree canopies do not count toward the 75% coverage.
- c. The species of tree to be planted shall have a unique corresponding symbol on the landscape plan for each type.
- d. All deciduous trees shall be a minimum of 2-inches in caliper and all evergreen species shall be a minimum of 8-feet in height. This shall be specified in a note on the landscape plan.
- e. Trees that are native to riparian areas in the middle Rio Grande valley shall be used in the landscape. These tree species include the Coyote willow, which is a tall shrub, New Mexico or Arizona alder, Chinquapin oak, Grey oak or Emory oak.
- f. Mulches such as gravel, bark, crusher fines, etc. shall be noted on the landscape plan.
- g. The space shown with a gravel mulch shown on areas near the east side of the site shall be clarified as to use. If it is a planting area, plants shall be shown on the landscape plan.
- h. Revegetation or stabilization of disturbed areas shall be shown on the landscape plan. The eastern portion of the site shows natural bosque as the landscape. This vegetation shall be further described on the site plan.



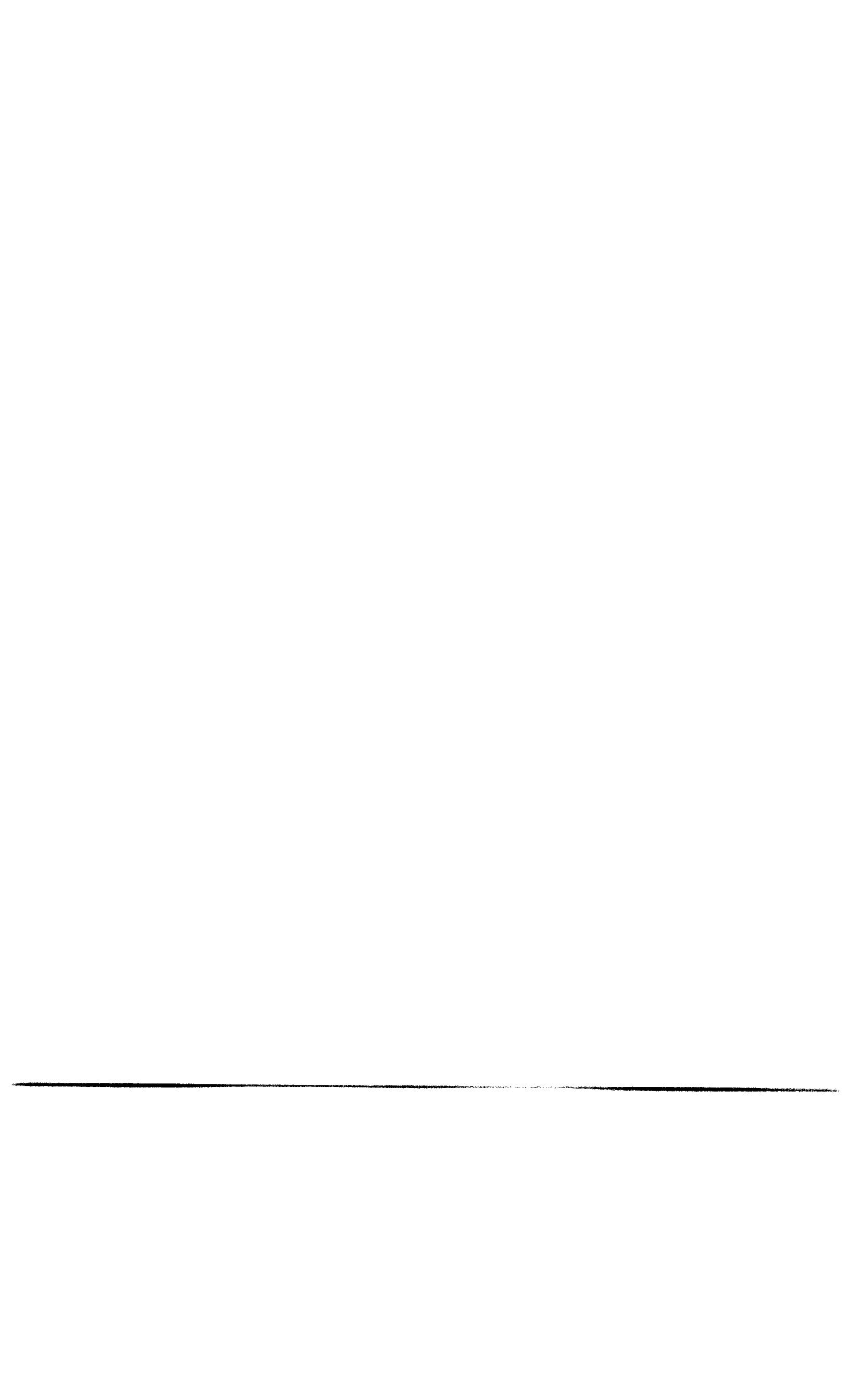
- 
- i. Statements regarding intent to comply with the Water Waste Ordinance and the Water Conservation Ordinance, and irrigation notes shall be noted on the landscape plan.
  
  5. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.

---

  
**Deborah L. Stover**  
**Planner**

cc: CoA, William Balch, Wastewater Utility Division, 4201 2<sup>nd</sup> Street SW, Albuquerque, NM 87105  
Steven Ewin, Arbor N.A., 300 Central SW, Ste 100W, Albuquerque, NM 87102  
Don Dean, Arbor N.A., 3400 Rio Grande NW, Albuquerque, NM 87107  
Ed Swenson, La Luz del Sol N.A., One Wind NW, Albuquerque, NM 87120  
Ray Graham, La Luz del Sol N.A., One Wind NW, Albuquerque, NM 87120  
Bennett King, La Luz Landowners Assoc., 10 Arco NW, Albuquerque, NM 87120  
Rae Perls, La Luz Landowners Assoc., 15 Tennis Court NW, Albuquerque, NM 87120  
Joe Harris, North Valley N.A., 4410 Rio Grande Blvd. NW, Albuquerque, NM 87107  
Doyle Kimbrough, Rio Grande Blvd. N.A., 2327 Campbell Road NW, Albuquerque, NM 87104  
JoMarie Anderson, Rio Grande Blvd. N.A., 3505 Campbell Court NW, Albuquerque, NM 87104  
Virginia M. Klebesadel, Taylor Ranch N.A., 4416 Gooseberry Road NW, Albuquerque, NM 87120  
Jolene Wolfley, Taylor Ranch N.A., 6804 Staghorn Drive NW, Albuquerque, NM 87120

**Attachments**



---

## CITY OF ALBUQUERQUE AGENCY COMMENTS

### PLANNING DEPARTMENT

#### Zoning Code Services

"Reviewed, no comments."

#### Office of Neighborhood Coordination

"Arbor, La Luz, La Luz Del Sol, North Valley, Rio Grande Blvd. and Taylor Ranch were notified"

### PUBLIC WORKS DEPARTMENT

#### Transportation Development Services

- No comments.

#### Utility Development:

- No comments.

#### Traffic Engineering Operations:

- No adverse comment based on request and drawing.

#### Hydrology:

- An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required prior to placement on DRB agenda.

#### Transportation Planning:

- No adverse effect to On-Street bikeway or roadway system facilities.

#### Street Maintenance:

- No comments.

#### Recommended Conditions from City Engineer:

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required prior to placement on DRB agenda.

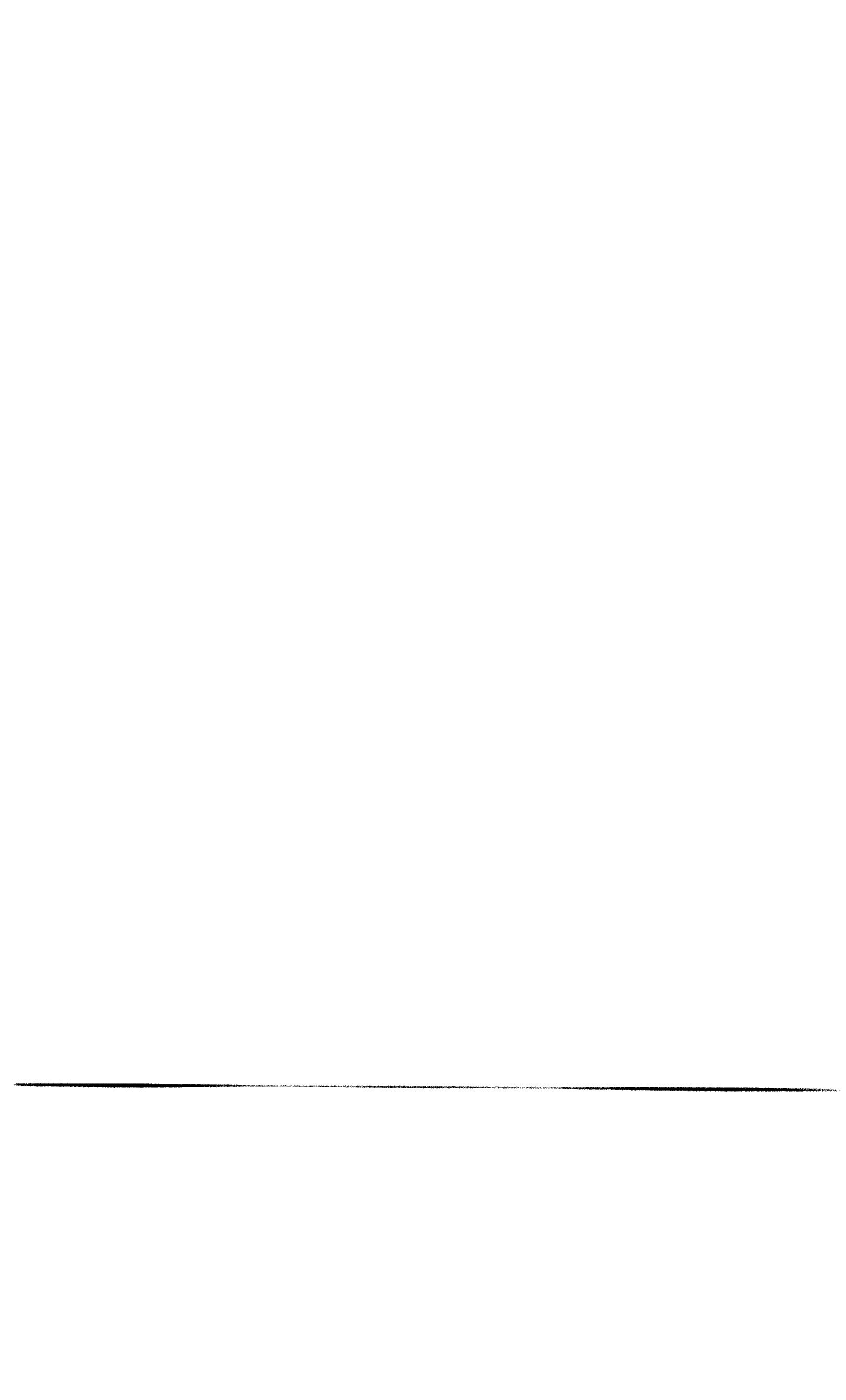
### ENVIRONMENTAL HEALTH DEPARTMENT

#### Air Quality Division

No Comments Received.

#### Environmental Services Division

No Comments Received.



---

**PARKS AND RECREATION**

**Planning and Design**

“Reviewed, no adverse comment”

**Open Space Division**

“With regard to the proposed Site Development Plan for Building Permit, Open Space Division comments as follows:

The proposed lift station improvement(s) appears to violate Policy 8 (“Buffer Strip”) of the *Coors Corridor Plan*.

The *Coors Corridor Plan (CCP)* is a Rank 3 Sector and Neighborhood Development Plan that guides “*All development and improvement activities within the plan area...*”

Quoting from the *CCP*, page 81: “A 100-foot-wide buffer strip shall be established west of the Corrales Riverside Drain throughout Segment 3. The buffer strip shall remain in a natural condition and shall not be used for development” and “A 100-foot-wide buffer will serve to protect and preserve the bosque and its wildlife from encroachment and development”.

The applicant should redesign the project to build improvements outside the 100’ buffer or seek an amendment to the *CCP*.”

***POLICE DEPARTMENT/Planning***

“A review of EPC case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur

No comments”

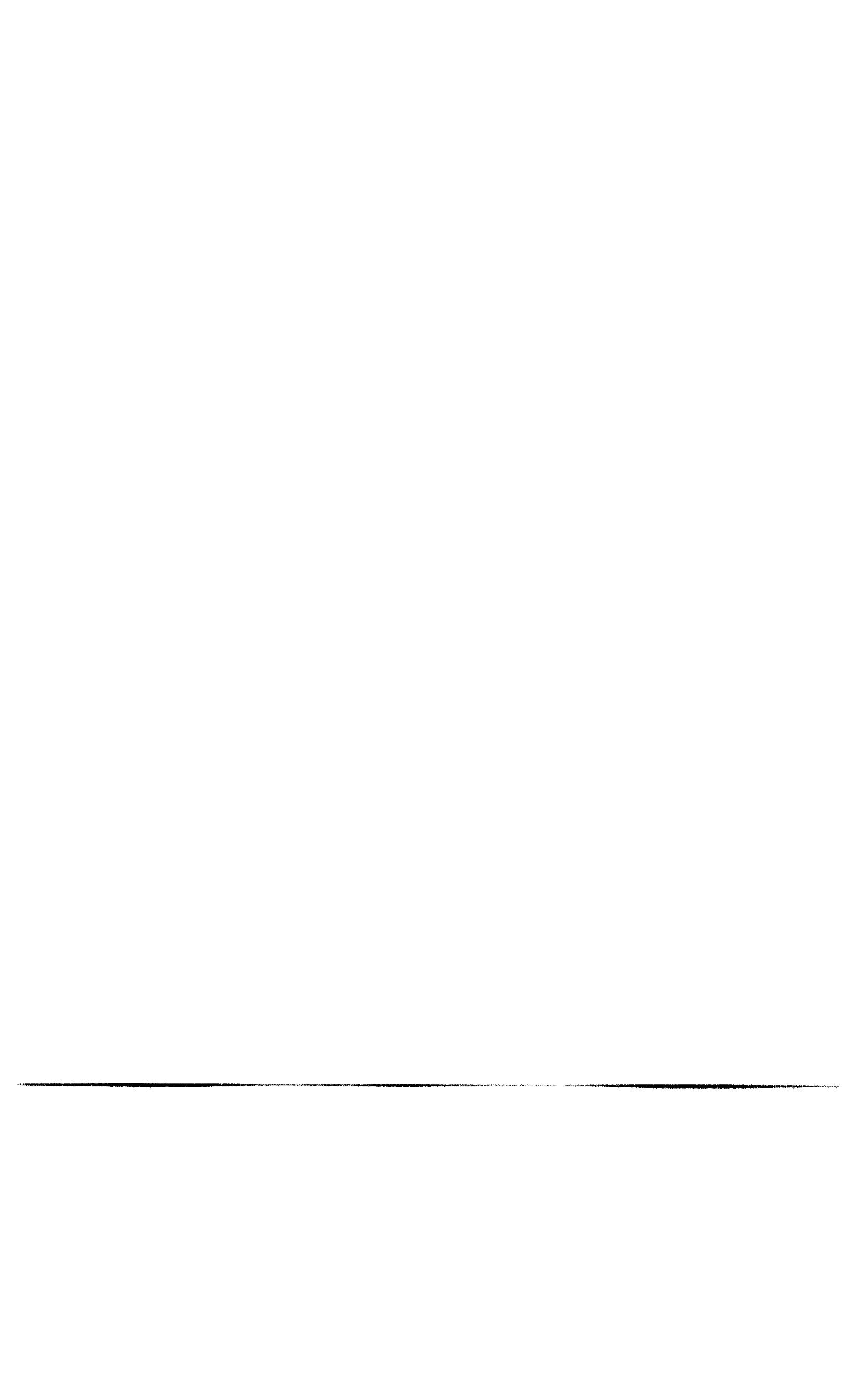
***SOLID WASTE MANAGEMENT DEPARTMENT***

**Refuse Division**

“Approved on condition will comply with all SWMD requirements and ordinances. Must address the issue of the refuse enclosure on this project. Call T.L. Gibson 761-8142”

***FIRE DEPARTMENT/Planning***

“New construction will be reviewed through the normal City of Albuquerque Plan Review Process. Items to be reviewed by the Albuquerque Fire Department will be, but not limited to, fire department access and fire hydrant locations, fire alarm systems, sprinkler systems, as well as accessible fire department connections. New additions will require a Fire Flow Statement prior to DRB.”



**TRANSIT DEPARTMENT**

“No comments.”

**COMMENTS FROM OTHER AGENCIES**

**BERNALILLO COUNTY**

No Comments Received.

**ALBUQUERQUE METROPOLITAN FLOOD CONTROL AUTHORITY**

“No comment.”

**ALBUQUERQUE PUBLIC SCHOOLS**

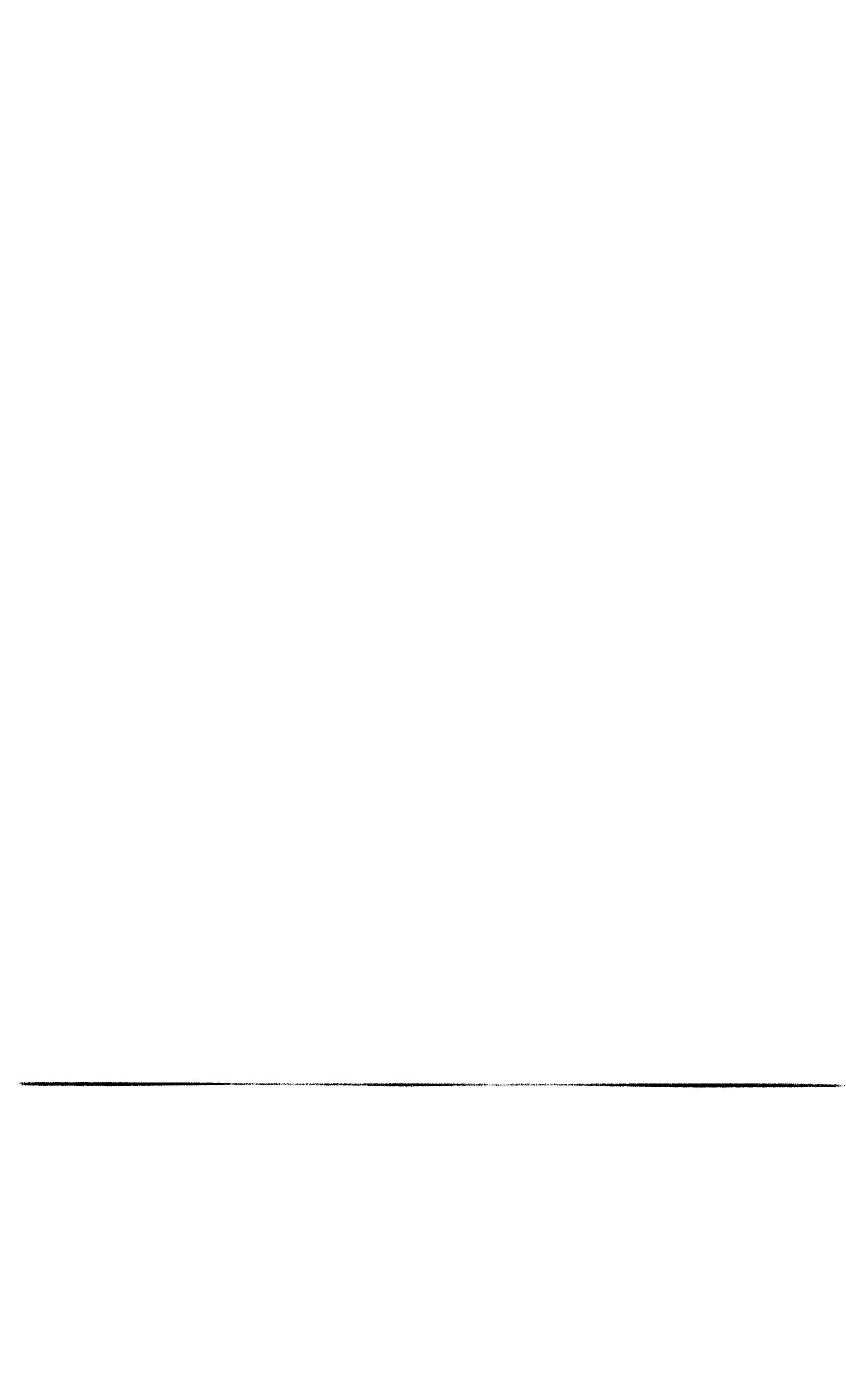
“No adverse comments”

**MIDDLE RIO GRANDE COUNCIL OF GOVERNMENTS**

“Reviewed-No adverse comment.”

**MIDDLE RIO GRANDE CONSERVANCY DISTRICT**

No Comments Received.



CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT - DEVELOPMENT SERVICES DIVISION  
PROPERTY OWNERSHIP LIST

Meeting Date: June 20, 2002

Zone Atlas Page: F-12-E

Notification Radius: 100 Ft.

Cross Reference and Location: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

App# <u>02EP-00634</u>
Proj# <u>100965</u>
Other#

Applicant: City of Albany - Wastewater Utility Division ✓

Address: 4201 2nd St. SW, 87105

Agent: William Balch - Wastewater Utility Division ✓

Address: 4201 2nd St. SW, 87105

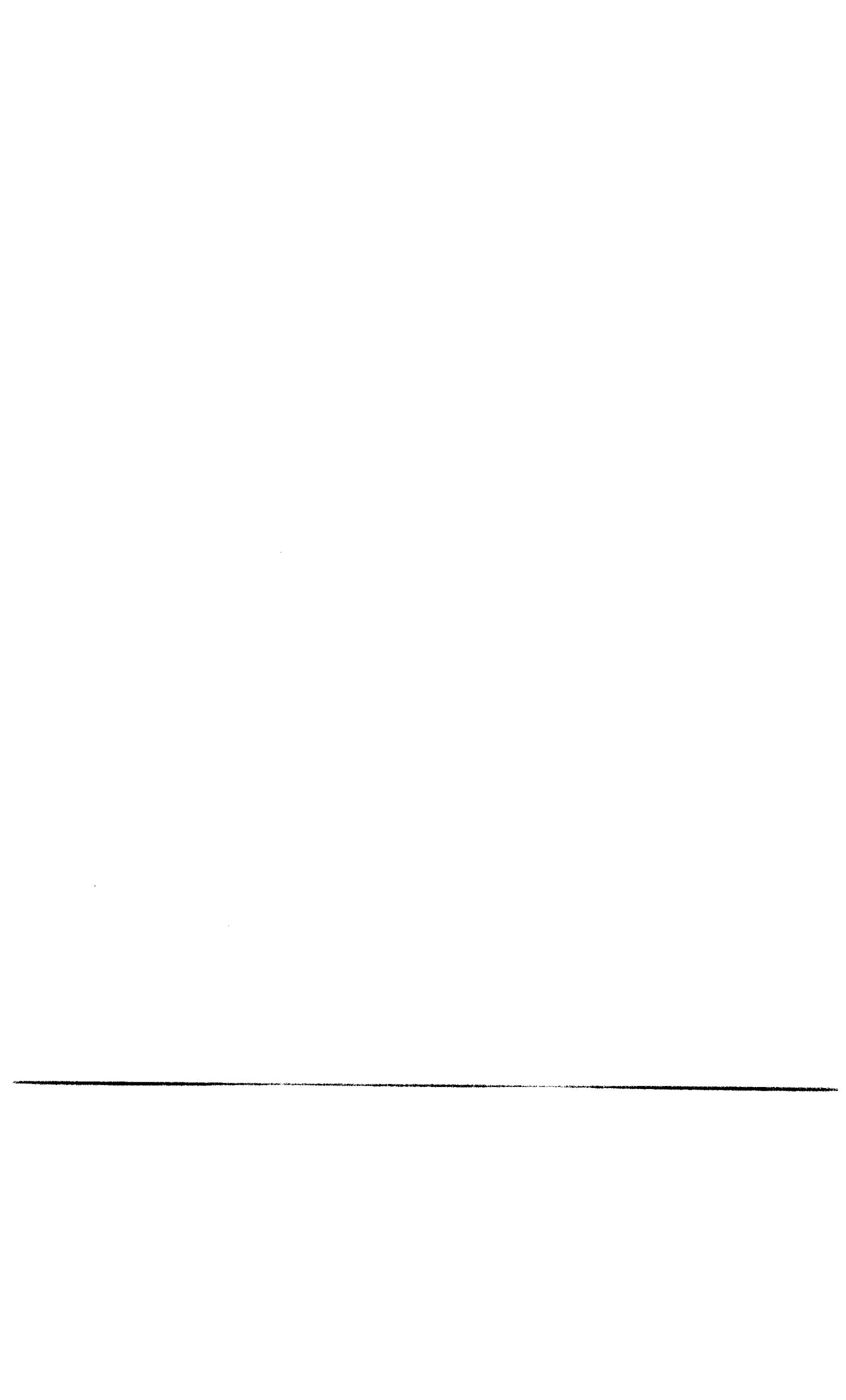
SPECIAL INSTRUCTIONS

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

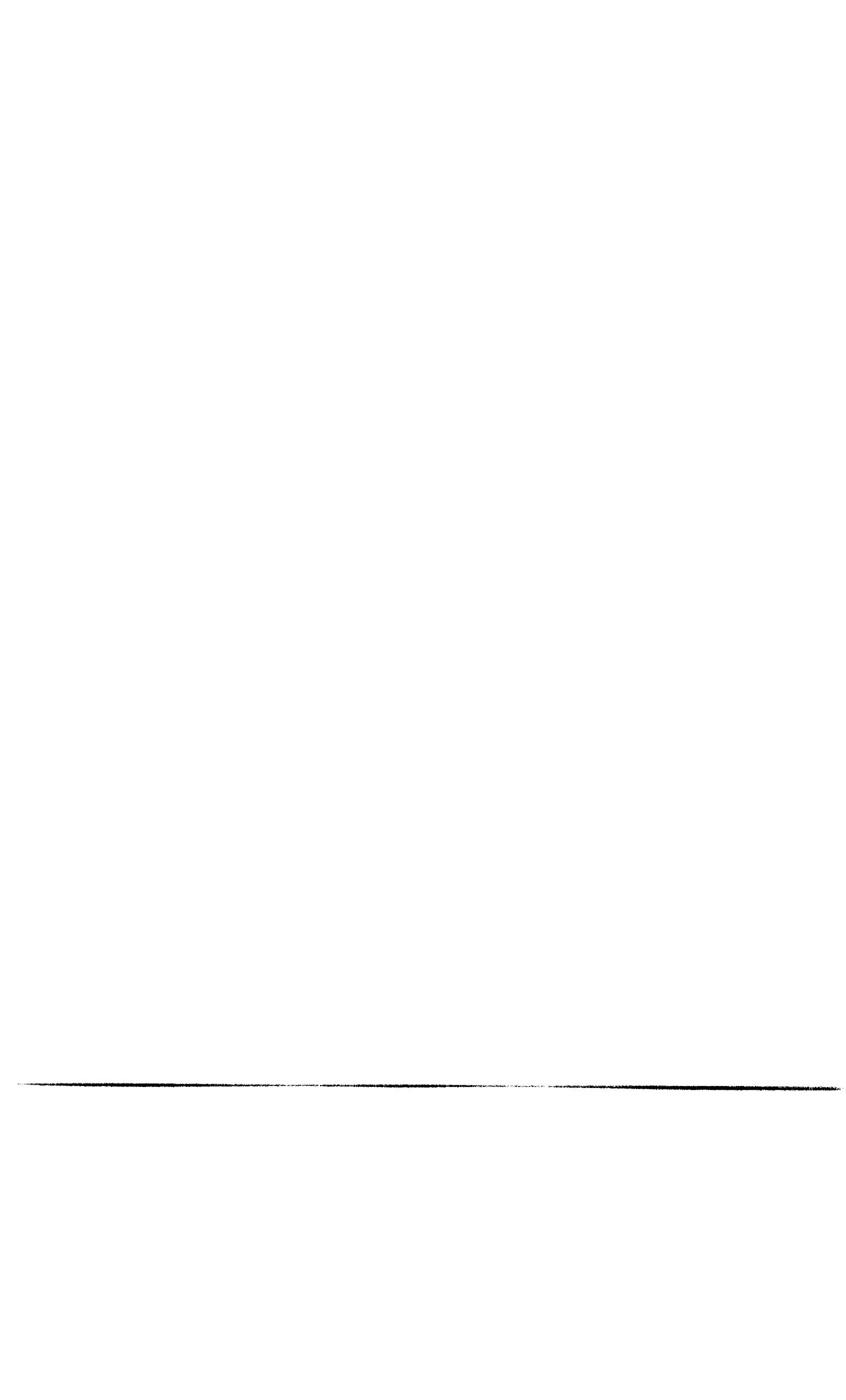
Notices Must be mailed from the  
City 15 days prior to the meeting.

Date Mailed: June 3, 2002

Signature: K. Isethlika







1012061 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE

101206110329320134 LEGAL: STRIP OF LAND WITHIN THE W/2 OF SW SW NW & NW NW SW LAND USE:

PROPERTY ADDR: 00000 N/A

OWNER NAME: CITY OF ALBUQUERQUE

OWNER ADDR: 00000 PO BOX 1293

ALBUQUERQUE NM 87103

101206110028820136 LEGAL: TR O F LAND WITHIN SW NW SEC 36 T11N R2E CONT 0.232 LAND USE:

PROPERTY ADDR: 00000 N/A

OWNER NAME: CITY OF ALBUQUERQUE

OWNER ADDR: 00000 PO BOX 1293

ALBUQUERQUE NM 87103

106106036120135 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE

101206115063520110 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE

101206112130020133 LEGAL: TR O F LAND WITHIN S1/2 NW, N1/2 SW, SEC 36 T11N R2 LAND USE:

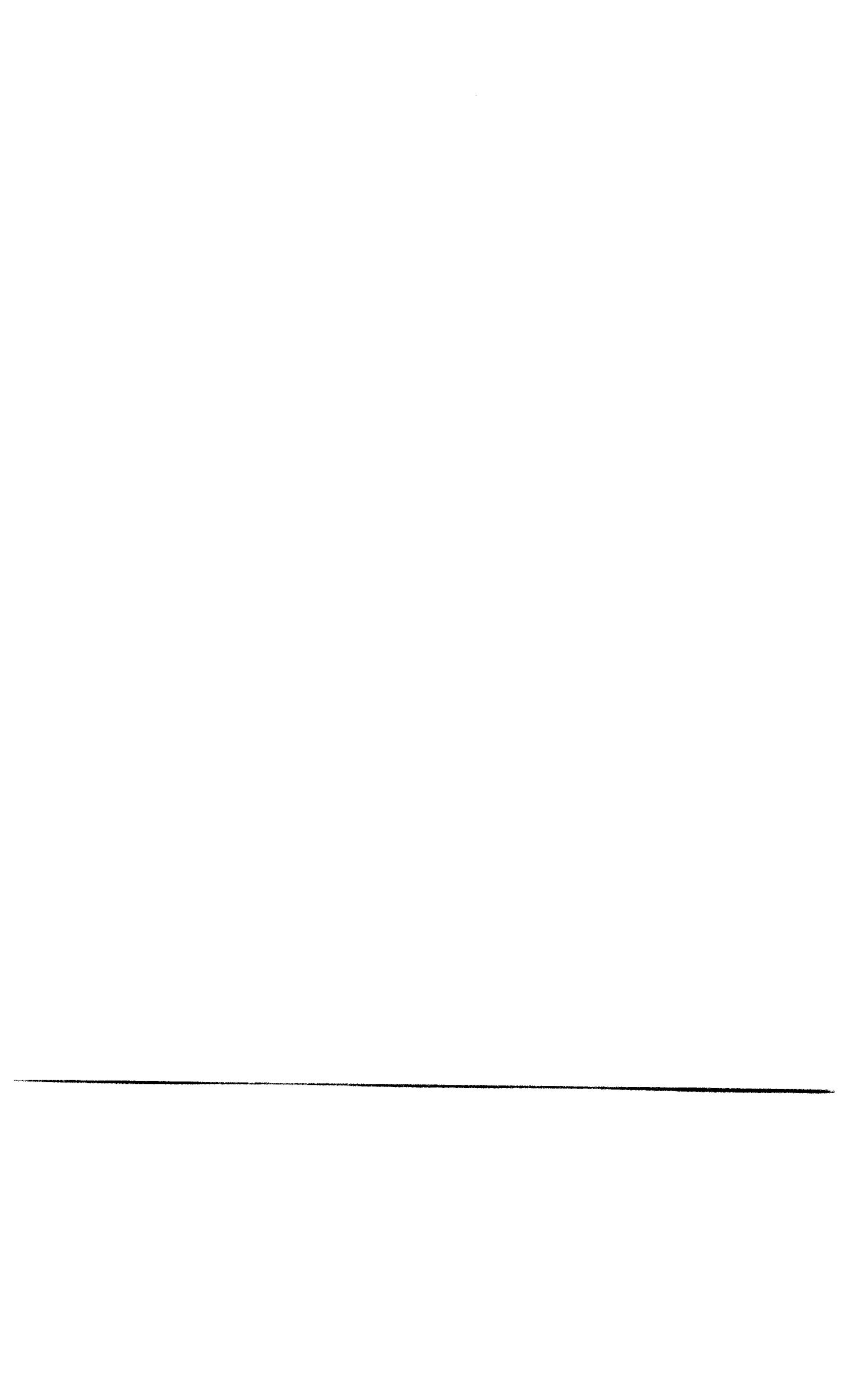
PROPERTY ADDR: 00000 N/A

OWNER NAME: GRAHAM RAY A III

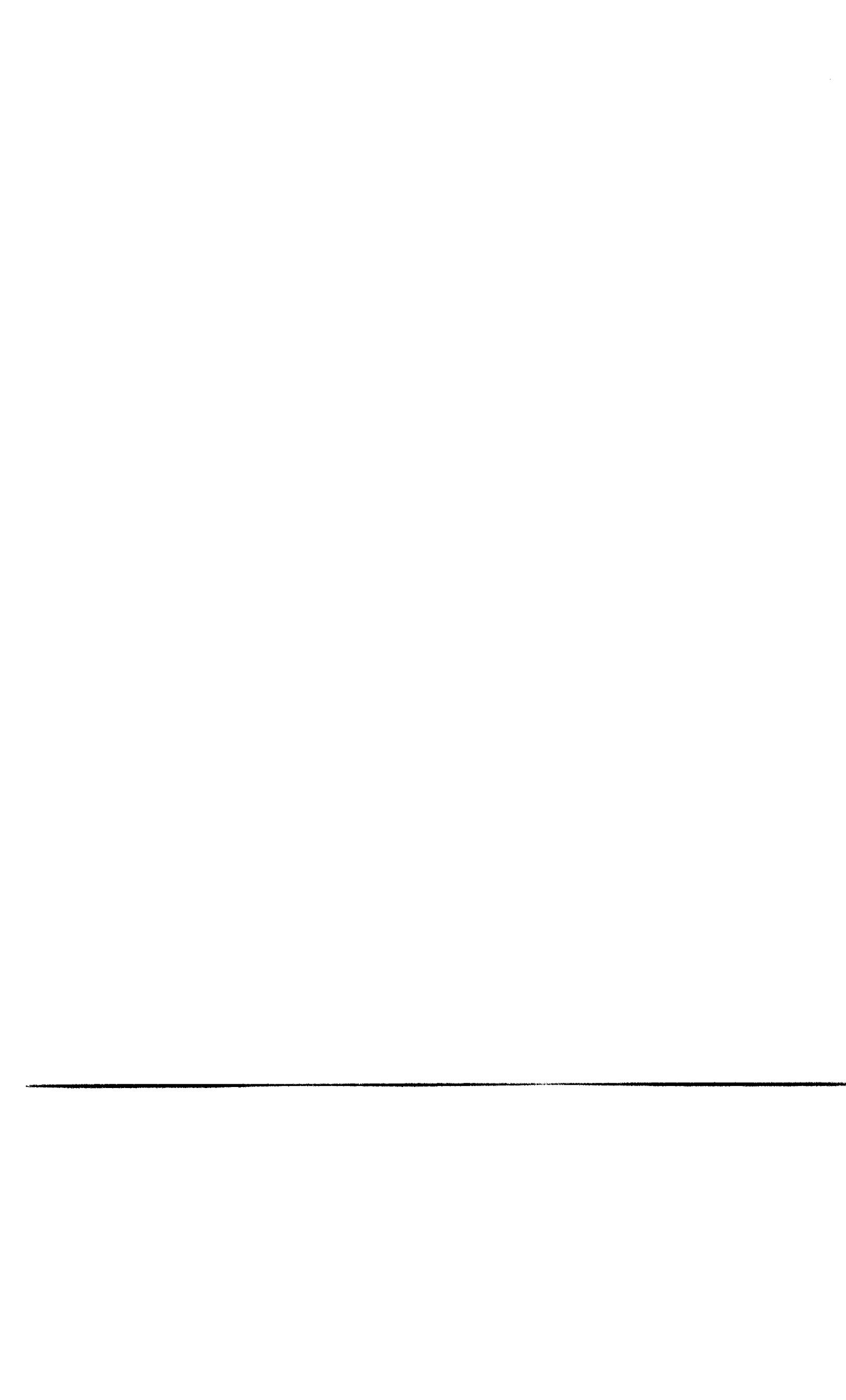
OWNER ADDR: 00000 ONE WIND NW

ALBUQUERQUE NM 87120

*Boyle School*









**Planning Department  
Office of Community and Neighborhood Coordination  
Albuquerque, New Mexico**

**Correspondence**

**April 10, 2002**

**TO:** Bill Balch, COA, Wastewater Utility Division  
4201 2<sup>nd</sup> Street SW/87105  
Phone #: 873-7001 Fax #: 873-7087

**FROM:** Dalaina Carmona, ONC, Planning Department *DC*  
924-3914 (office) 924-3913 (fax)

**SUBJECT: NEIGHBORHOOD ASSOCIATIONS FOR CITY PROJECT -  
WASTEWATER LIFT STATION NO. 24. ZONE MAP F-12**

**PLEASE NOTE:** The Neighborhood Association information listed in this request is valid for one (1) month. If you haven't used this neighborhood association information within one (1) month of the date of this request - you will need to get an updated request from our office. It is your responsibility to provide current information - outdated information may result in information not received by current contacts of the neighborhood association.

**ARBOR N.A.**  
\*Steven Ewing  
300 Central SW, Ste. 1000W/87102 247-4051 (w)  
Don Dean  
3400 Rio Grande NW/87107 345-1368 (w)

**LA LUZ DEL SOL N.A. (R)**  
\*Ed Swenson  
One Wind NW/87120 898-5600 (message)  
Ray Graham e-mail: [ovenwest@aol.com](mailto:ovenwest@aol.com)  
One Wind NW/87120 898-5600 (message)

**Council District: 2  
County District: 2  
Police Beat: 237VA  
Zone Map #: F-G-13  
Community Id Dist.: N. Valley**

**Council District: 5  
County District: 1  
Police Beat: 129WS/Z-A  
Zone Map #: F-11  
Community Id Dist.: Westside**

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

TO BE COMPLETED BY APPLICANT

APPLICANT: City of Albuquerque Date of request: 4/24/02 Zone atlas page(s): F-12

CURRENT: Wastewater Utility Division  
Zoning SU-1

Legal Description -  
Lot or Tract # Tract B Block # \_\_\_\_\_

Parcel Size (acres / sq.ft.) 2.2553

Subdivision Name Wastewater Lift Station 24 Improvements - FY2000

### REQUESTED CITY ACTION(S):

- |                |                     |                         |                     |
|----------------|---------------------|-------------------------|---------------------|
| Annexation [ ] | Sector Plan [ ]     | Site Development Plan:  | Building Permit [X] |
| Comp. Plan [ ] | Zone Change [ ]     | a) Subdivision [ ]      | Access Permit [ ]   |
| Amendment [ ]  | Conditional Use [ ] | b) Build'g Purposes [ ] | Other [ ]           |
|                |                     | c) Amendment [ ]        |                     |

### PROPOSED DEVELOPMENT:

- No construction / development [ ]  
 New Construction [ ]  
 Expansion of existing development [X]

### GENERAL DESCRIPTION OF ACTION: 1

- # of units - N.A.  
 Building Size - \_\_\_\_\_ (sq. ft.)

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative William D. Balch Date 4/24/2002  
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO [X] BORDERLINE [ ]

PWD, Dev. & Bldg. Services Div., Transportation Dev. Section - 2nd FL 600 2nd St NW Plaza del Sol Bldg. 924-3991 or 3994

THRESHOLDS MET? YES [ ] NO [ ] Mitigating reasons for not requiring TIS: Previously studied: [ ]

Notes:

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Bruce Blyden 4/24/02  
TRAFFIC ENGINEER DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES [ ] NO [ ] BORDERLINE [ ]

ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 768-2600

THRESHOLDS MET? YES [ ] NO [ ] Mitigating reasons for not requiring AQIA: Previously studied: [ ]

Notes:

IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

\* Bruce Blyden for EHL 4/24/02  
ENVIRONMENTAL HEALTH DATE

\* DOES NOT MEET MIN. THRESHOLD FOR AQIA RA.

Required TIS and / or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS	- SUBMITTED	___/___/___	_____	_____
	- FINALIZED	___/___/___	TRAFFIC ENGINEER	DATE
AQIA	- SUBMITTED	___/___/___	_____	_____
	- FINALIZED	___/___/___	ENVIRONMENTAL HEALTH	DATE

**LA LUZ LANDOWNERS ASSOC. (R)**

**\*Bennett King** e-mail: [bennking@swcp.com](mailto:bennking@swcp.com)  
10 Arco NW/87120 792-0118 (h)  
Rae Perls e-mail: [raeperls@aol.com](mailto:raeperls@aol.com)  
15 Tennis Court NW/87120 898-8833 (h)

**NORTH VALLEY N.A.**

**\*Joe Harris**  
4410 Rio Grande Blvd. NW/87107 345-3826 (h)

**RIO GRANDE BLVD. N.A. (R)**

**\*Doyle Kimbrough** e-mail: [dhkimbrow@aol.com](mailto:dhkimbrow@aol.com)  
2327 Campbell Rd. NW/87104 344-1363 (h)  
JoMarie Anderson e-mail: [jmzia@home.com](mailto:jmzia@home.com)  
3505 Campbell Ct. NW/87104 342-2537 (h)

**TAYLOR RANCH N.A. (R)**

**\*Virginia M. Klebesadel** e-mail: [vmkinabg@aol.com](mailto:vmkinabg@aol.com)  
4416 Gooseberry Rd. NW/87120 898-9173 (h)  
Jolene Wolfley  
6804 Staghorn Dr. NW/87120-4806 890-9414 (h)  
E-mail: [TRNAnews@aol.com](mailto:TRNAnews@aol.com)

**Council District: 5**  
**County District: 1**  
**Police Beat: 129/WS/Z-A**  
**Zone Map #: F-11**  
**Community Id Dist.: Westside**

**Council District: 2&County**  
**County District: 1**  
**Police Beat: 239/VA**  
**Zone Map #: A-G-12-17**  
**Community Id Dist.: N. Valley**

**Council District: 2**  
**County District: 1**  
**Police Beat: 235,237/VA**  
**Zone Map #: F-H-12-13**  
**Community Id Dist.: N. Valley**

**Council District: 5**  
**County District: 1**  
**Police Beat: 119,121,122,124-127/WS/Z-A**  
**Zone Map: C-F-11-14**  
**Community ID Dist: Westside**



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 19, 2002

Ed Swenson  
La Luz Del Sol Neighborhood Association  
One Wind, NW  
Albuquerque, New Mexico 87120

Certified Mail Receipt #  
7099 3220 0006 2896 2700

SUBJECT: "Wastewater Lift Station #24 Improvements (FY 2000)" Project

Dear Mr. Swenson:

This correspondence is to inform you that construction of the "Wastewater Lift Station #24 Improvements FY 2000" project will start in your neighborhood in about one (1) year.

This project will provide the following improvements to the existing lift station:

1. Replace two (2) existing sewage pumps, that are worn out, with two (2) new pumps (there are 4 sewage pumps in this station).
2. Replace existing stand-by generator, which is too small, with a larger generator.
3. Provide improvements to the existing electrical system, including a new Electrical Building, to increase the station's reliability.
4. Provide piping improvements to increase operational reliability and flexibility.

Attached is a map showing the location of Wastewater Lift Station #24.

If you have any questions on this project please call :

Bill Balch  
Wastewater Utility Division  
Phone: 873-7001

Sincerely,

William J. Balch  
City Project Manager

Cc: File 223.30

INTER-OFFICE MAIL

COA - WasteWater Utility Division  
Attn: William Balch  
4201 Second St. SW  
Albuq., NM 87105

DON DEAN  
Arbor Neigh. Assoc.  
3400 RIO GRANDE NW  
ALBUQ., NM 87102

BENNETT KING  
La Luz Landowners Assoc.  
10 ARCO NW  
ALBUQ., NM 87120

DOYLE LIMBROUGH  
Rio Grande Blvd Neigh. Assoc.  
2327 CAMPBELL RD NW  
ALBUQ., NM 87104

JOLENE WOLFLEY  
Taylor Ranch Neigh. Assoc.  
6804 STAGEHORN NW  
ALBUQ., NM 87120

INTER-OFFICE MAIL

COA-Wastewater Utility Division  
4201 Second St. SW  
Albuq., NM 87105

ED SWENSON  
La Luz Del Sol Neigh. Assoc.  
ONE WIND NW  
ALBUQ., NM 87120

RAE PERIS  
La Luz Landowners Assoc.  
15 TENNIS CT. NW  
ALBUQ., NM 87120

JOMARIE ANDERSON  
Rio Grande Blvd Neigh. Assoc.  
3505 CAMPBELL RD NW  
ALBUQ., NM 87104

101206112130020133

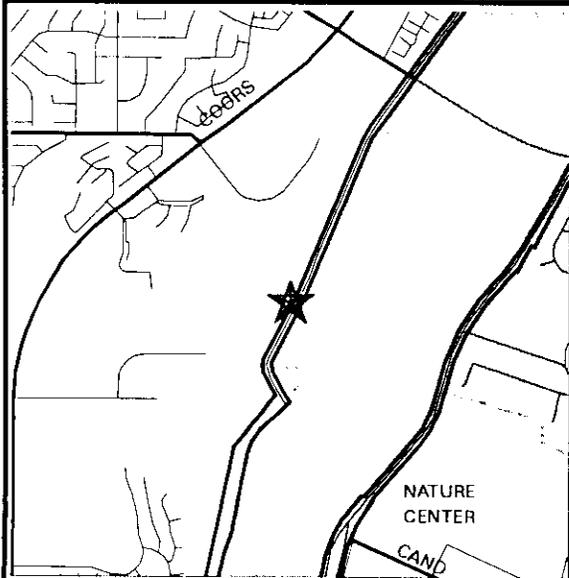
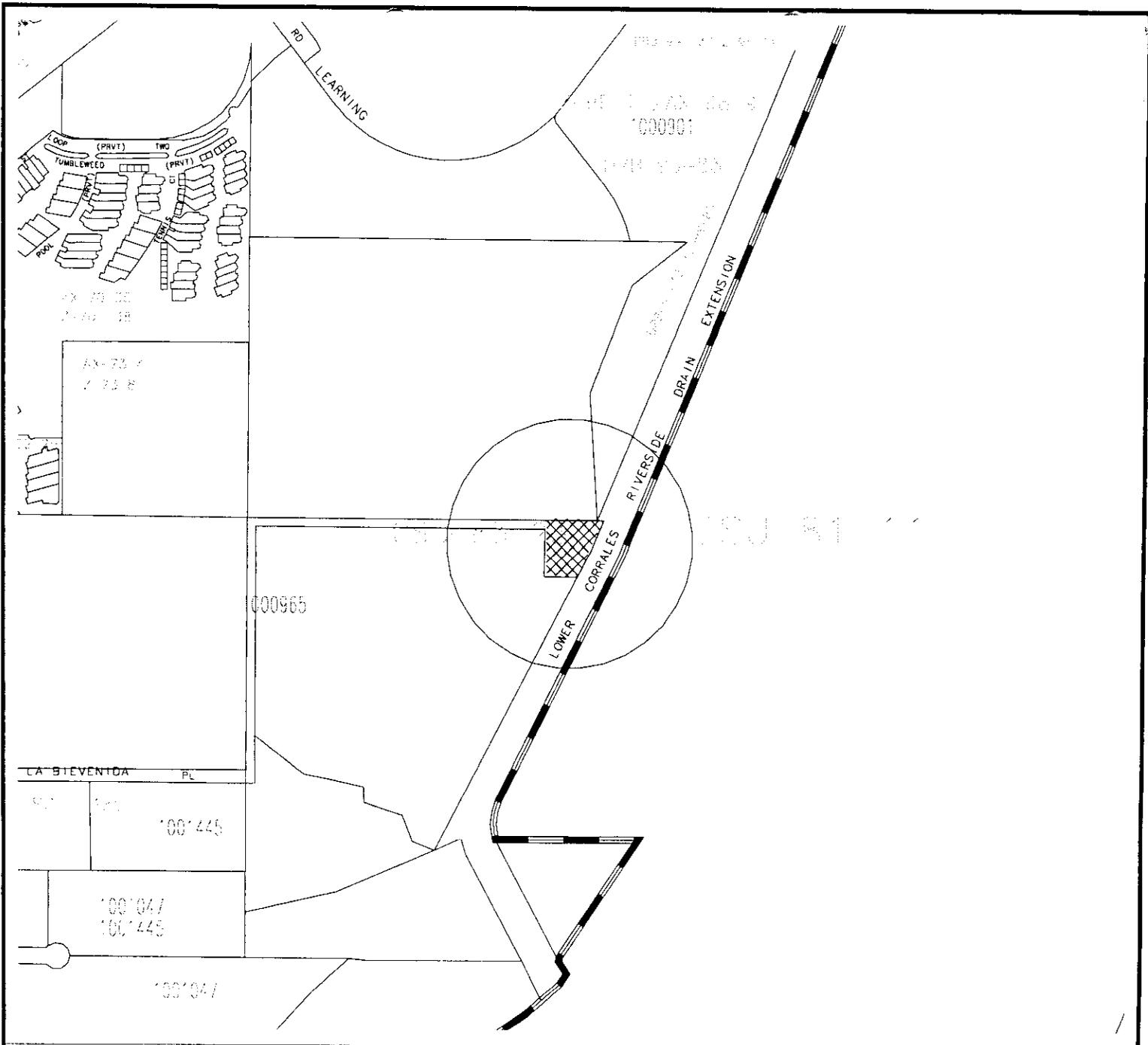
GRAHAM RAY A III  
ONE WIND NW  
ALBUQUERQUE NM 87120

STEVEN EWING  
Arbor Neigh. Assoc.  
300 CENTRAL SW, STE# 1000W  
ALBUQ., NM 87107

RAY GRAHAM  
La Luz Del Sol Neigh. Assoc.  
ONE WIND NW  
ALBUQ., NM 87120

JOE HARRIS  
North Valley Neigh. Assoc.  
4410 RIO GRANDE NW  
ALBUQ., NM 87107

VIRGINIA M. KLEBESADEL  
Taylor Ranch Neigh. Assoc.  
4416 GOOSEBERRY RD NW  
ALBUQ., NM 87120



**HISTORY MAP**



Scale 1"= 516'

**PROJECT NO.  
1000965**

**HEARING DATE  
6-20-02**

**MAP NO.  
F-12**

**ADDITIONAL CASE NUMBER(S)  
02EPC-00634**

# Peace Builders

June 26, 2002

Debbie Stover, Staff Planner  
City of Albuquerque Planning Department  
P.O. Box 1293  
Albuquerque, NM 87103

Debbie

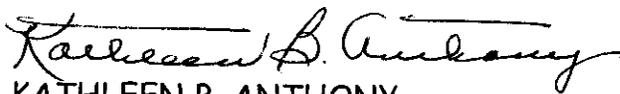
In the Facilitator's Report dated June 13, 2002 on Project #1000965, the City of Albuquerque Wastewater Utility Division's request for EPC approval of a Site Development Plan for Building Permit, a mistake was made by facilitator:

Page 2 of the report:

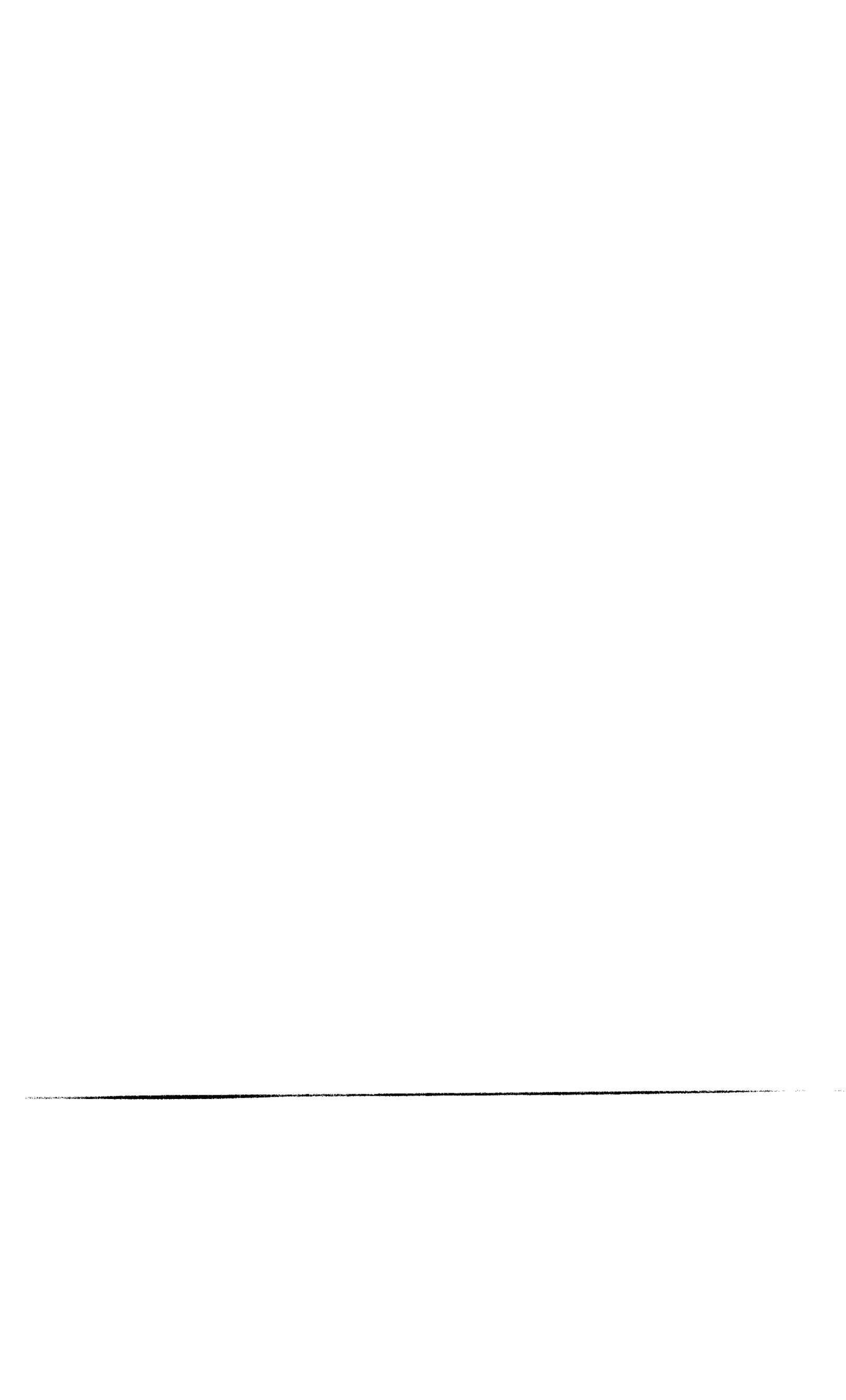
**Notes from the Meeting:**  
**APPLICANT INFORMATION**

last item beginning: Construction of a Master Plan...  
second sentence: "Need for more treatment facility  
locations appears to be put off until 2020 or 2050."  
should read: put off until 2020 or 2015

This mistake was brought to my attention on June 24 by Charles Bowman, then head of the Division. I told him I would forward this information to you to be included in the records on the application. I also indicated that if approval had been granted on June 20 by the EPC, and I think it probably was, then this letter to you will be my correction of the matter.



KATHLEEN B. ANTHONY  
Land Use Facilitator



# City of Albuquerque



## DEVELOPMENT REVIEW APPLICATION

<b>SUBDIVISION</b>	Supplemental form <b>S</b>	<b>ZONING</b>	Supplemental form <b>Z</b>
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation & Zone Establishment	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> Sector Plan	
<input type="checkbox"/> Vacation	<b>V</b>	<input type="checkbox"/> Zone Change	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Text Amendment	
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<b>APPEAL / PROTEST of...</b>	<b>A</b>
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Decision by: DRB, EPC,	
<input checked="" type="checkbox"/> ...for Building Permit		LUCC, Planning Director or Staff,	
<input type="checkbox"/> IP Master Development Plan		ZHE, Zoning Board of Appeals	
<input type="checkbox"/> Cert. of Appropriateness (LUCC) L			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: City of Albuquerque - Wastewater Utility Division PHONE: (505) 873-7001  
 ADDRESS: 4201 Second Street SW FAX: (505) 873-7087  
 CITY: Albuquerque STATE NM ZIP 87105 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: City of Albuquerque Owns the Land for the Lift Station  
 AGENT (if any): William Balch - Wastewater Utility Division PHONE: (505) 873-7001  
 ADDRESS: 4201 Second Street SW FAX: (505) 873-7087  
 CITY: Albuquerque STATE NM ZIP 87105 E-MAIL: bbalch@cabq.gov

DESCRIPTION OF REQUEST: "Wastewater Lift Station #24 Improvements (FY2000)" project

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract B Block: NA Unit: NA  
 Subdiv. / Addn. Tract B of Plat of Lands of Ray Gramham III, Recorded 04/01/2002  
 Current Zoning: SU-1 Proposed zoning: SU-1  
 Zone Atlas page(s): F-12 No. of existing lots: 1 No. of proposed lots: 1  
 Total area of site (acres): 2.2553 Density if applicable: dwellings per gross acre: NA dwellings per net acre: NA  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? No  
 UPC No. 1-012-061 MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: Lower ~~Loop~~ Corrales Riverside Drive  
 Between: Leaping RA NW and Cross Blc NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): CS4-83-23

County - CSU-83-23

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: April 10, 2002

SIGNATURE William J. Balch DATE 04/24/2002  
 (Print) William J. Balch Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised September 2001

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>02 ER -</u>	<u>-00634</u>	<u>SDRBP</u>	<u>(A)</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date	<u>June 20, 2002</u>		Total
				\$ <u>0</u>

April Carole 4/24/02  
 Planner signature / date

Project # 1000965



FORM P(1): SITE PLAN REVIEW – E.P.C. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

IP MASTER DEVELOPMENT PLAN

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings. For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
  - Site plans and related drawings reduced to 8.5" x 11" format
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

~~SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY~~

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **30** copies for EPC public hearings.
- Site plans and related drawings reduced to 8.5" x 11" format *one set*
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist
- 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

**NOTE:** For wireless telecom facilities (administrative reviews that have been referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:

- Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
  - Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
  - Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
  - Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
  - Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
  - Registered Engineer's stamp on the Site Development Plans
  - Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30** copies for EPC public hearings
  - Site plans and related drawings reduced to 8.5" x 11" format
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

William J. Balch  
Applicant name (print)

William J. Balch 4/24/2002  
Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
02 EPC - 000634  
 \_\_\_\_\_  
 \_\_\_\_\_

Paul Casella 4/24/02  
Planner signature / date

**Project #** 1000965





# City of Albuquerque

Public Works Department  
Wastewater Utility Division  
Engineering Section  
4201 2nd Street S.W.  
Albuquerque, New Mexico 87105

April 24, 2002

Planning Department Development Services Center  
600 2<sup>nd</sup> Street NW  
Albuquerque, New Mexico 87102

**Subject:** Albuquerque Wastewater Lift Station No. 24 Improvements FY2000  
(City Project No. 612291) - Site Development Plan Application

Planning Department:

The City of Albuquerque Wastewater Utility Division is submitting the attached site development plan to obtain a building permit for the referenced project. The project involves adding a new building and new pad-mounted equipment to the existing lift station facilities. The project is in the final design stages. The City has purchased additional land parcels from the adjacent landowner to accommodate the proposed improvements. The landowner has recently platted a large portion of his land surrounding the lift station and has consolidated the old and new City lift station parcels into one tract. The plat was recorded on April 1, 2002. The landowner is in the process of annexing the plat into the City. At a pre-application discussion on April 10, 2002, the Albuquerque Planning Department indicated the Wastewater Utility Division needs to submit a site development plan to the EPC for a building permit.

The proposed improvements to Lift Station No. 24 consist of the following items:

- A new 660 square foot electrical building to modernize the electrical drives and switchgear.
- Replace two existing emergency generators with one new 1,100 kW Diesel engine generator with factory enclosure to improve reliability of pumping operation.
- Replace existing primary electrical gear with new pad-mounted transformer, primary meter and primary switch to enable sequencing of work while the Station remains in service.
- New masonry yard wall on easterly property line to provide visual and physical barrier to protect electrical equipment from vandalism.
- New sedimentation pond to improve quality of existing runoff entering neighboring property of the Middle Rio Grande Conservancy District.
- Extend existing tree landscaping and irrigation system along the north boundary of the site to create a visual screen on the north.
- Architectural and process improvements inside existing pump building replace worn out equipment and extend the service life of the Station.
- New buried process yard piping to improve reliability of pumping operations.

-----

Lift Station #24 Project(cont.)

Lift Station No. 24 is not open to public access. City operation and maintenance personnel visit the Station several times per week. The proposed improvements will neither increase the number of personnel visiting the Station nor increase the intensity of activity at the Station.

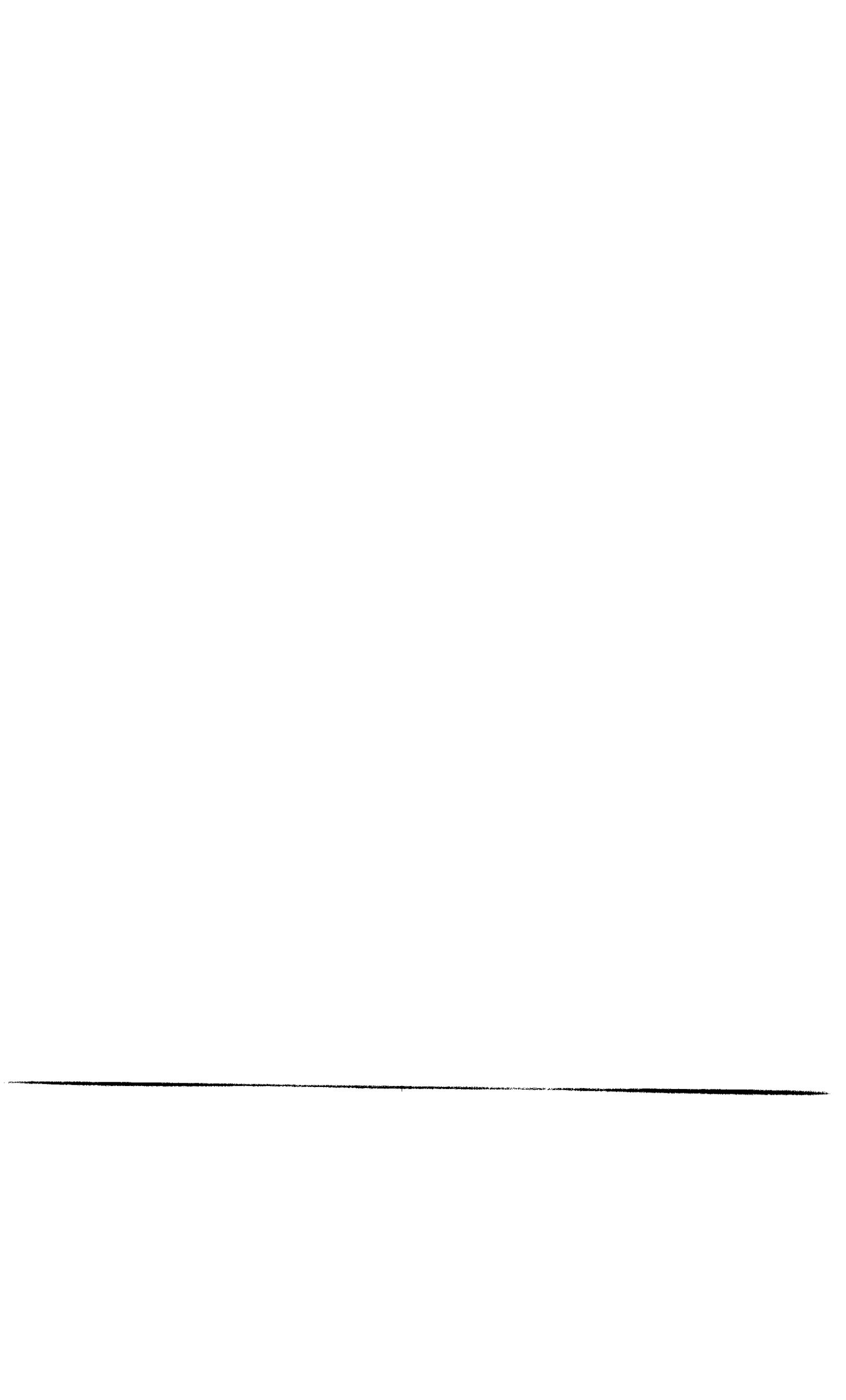
The Wastewater Utility Division anticipates construction of the proposed improvements will start before the end of 2002. We request timely review of this application so we may obtain a building permit to start construction.

If you have any questions on this matter please call me at 873-7001.

Sincerely,



William J. Balch, PE  
City Project Manager  
Albuquerque Wastewater Utility Division



# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: City of Albuquerque Date of request: 4/24/02 Zone atlas page(s): F-12

CURRENT: Wastewater Utility Division  
Zoning SU-1

Legal Description -  
Lot or Tract # Tract B Block # \_\_\_\_\_

Parcel Size (acres / sq.ft.) 2.2553

Subdivision Name Wastewater Lift Station 24 Improvements - FY2000

### REQUESTED CITY ACTION(S):

Annexation [ ]	Sector Plan [ ]	Site Development Plan:	Building Permit [X]
Comp. Plan [ ]	Zone Change [ ]	a) Subdivision [ ]	Access Permit [ ]
Amendment [ ]	Conditional Use [ ]	b) Build'g Purposes [ ]	Other [ ]
		c) Amendment [ ]	

### PROPOSED DEVELOPMENT:

### GENERAL DESCRIPTION OF ACTION: 1

No construction / development [ ]  
 New Construction [ ]  
 Expansion of existing development [X]

# of units - N.A.  
 Building Size - \_\_\_\_\_ (sq. ft.)

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative William J. Balch Date 4/24/2002  
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO [X] BORDERLINE [ ]

PWD, Dev. & Bldg. Services Div., Transportation Dev. Section - 2nd FL 600 2nd St. NW Plaza del Sol Bldg. 924-3991 or 3994

THRESHOLDS MET? YES [ ] NO [ ] Mitigating reasons for not requiring TIS: Previously studied: [ ]

Notes:

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Brad Byler 4/24/02  
TRAFFIC ENGINEER DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES [ ] NO [ ] BORDERLINE [ ]

ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 768-2600

THRESHOLDS MET? YES [ ] NO [ ] Mitigating reasons for not requiring AQIA: Previously studied: [ ]

Notes:

IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

\* Borderline for EH 4/24/02  
ENVIRONMENTAL HEALTH DATE

\* DOES NOT MEET MIN. THRESHOLD FOR AQIA PA.

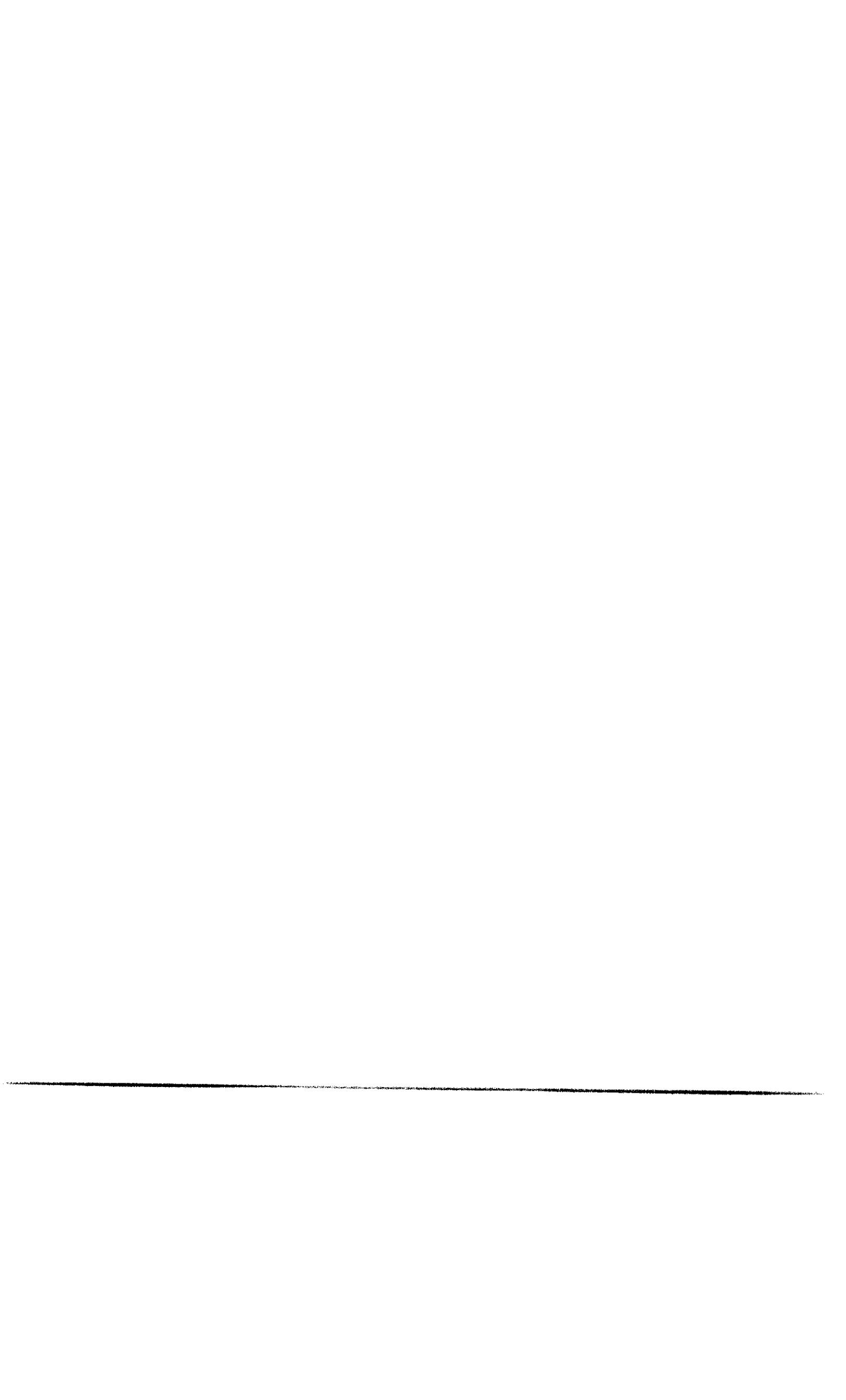
Required TIS and / or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS	- SUBMITTED	___/___/___	_____	_____
	- FINALIZED	___/___/___	TRAFFIC ENGINEER	DATE
AQIA	- SUBMITTED	___/___/___	_____	_____
	- FINALIZED	___/___/___	ENVIRONMENTAL HEALTH	DATE

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH





**Planning Department  
Office of Community and Neighborhood Coordination  
Albuquerque, New Mexico**

Correspondence

April 10, 2002

**TO:** Bill Balch, COA, Wastewater Utility Division  
4201 2<sup>nd</sup> Street SW/87105  
Phone #: 873-7001 Fax #: 873-7087

**FROM:** Dalaina Carmona, ONC, Planning Department *DC*  
924-3914 (office) 924-3913 (fax)

**SUBJECT: NEIGHBORHOOD ASSOCIATIONS FOR CITY PROJECT –  
WASTEWATER LIFT STATION NO. 24. ZONE MAP F-12**

**PLEASE NOTE:** The Neighborhood Association information listed in this request is valid for one (1) month. If you haven't used this neighborhood association information within one (1) month of the date of this request – you will need to get an updated request from our office. It is your responsibility to provide current information – outdated information may result in information not received by current contacts of the neighborhood association.

**ARBOR N.A.**

\*Steven Ewing  
300 Central SW, Ste. 1000W/87102 247-4051 (w)  
Don Dean  
3400 Rio Grande NW/87107 345-1368 (w)

*Council District: 2  
County District: 2  
Police Beat: 237/VA  
Zone Map #: F-G-13  
Community Id Dist.: N. Valley*

**LA LUZ DEL SOL N.A. (R)**

\*Ed Swenson  
One Wind NW/87120 898-5600 (message)  
Ray Graham e-mail: [ovenwest@aol.com](mailto:ovenwest@aol.com)  
One Wind NW/87120 898-5600 (message)

*Council District: 5  
County District: 1  
Police Beat: 129/WS/Z-A  
Zone Map #: F-11  
Community Id Dist.: Westside*

**LA LUZ LANDOWNERS ASSOC. (R)**

**\*Bennett King** e-mail: [bennking@swcp.com](mailto:bennking@swcp.com)  
 10 Arco NW/87120 792-0118 (h)  
 Rae Perls e-mail: [raeperls@aol.com](mailto:raeperls@aol.com)  
 15 Tennis Court NW/87120 898-8833 (h)

**NORTH VALLEY N.A.**

**\*Joe Harris**  
 4410 Rio Grande Blvd. NW/87107 345-3826 (h)

**RIO GRANDE BLVD. N.A. (R)**

**\*Doyle Kimbrough** e-mail: [dhkimbro@aol.com](mailto:dhkimbro@aol.com)  
 2327 Campbell Rd. NW/87104 344-1363 (h)  
 JoMarie Anderson e-mail: [jmzia@home.com](mailto:jmzia@home.com)  
 3505 Campbell Ct. NW/87104 342-2537 (h)

**TAYLOR RANCH N.A. (R)**

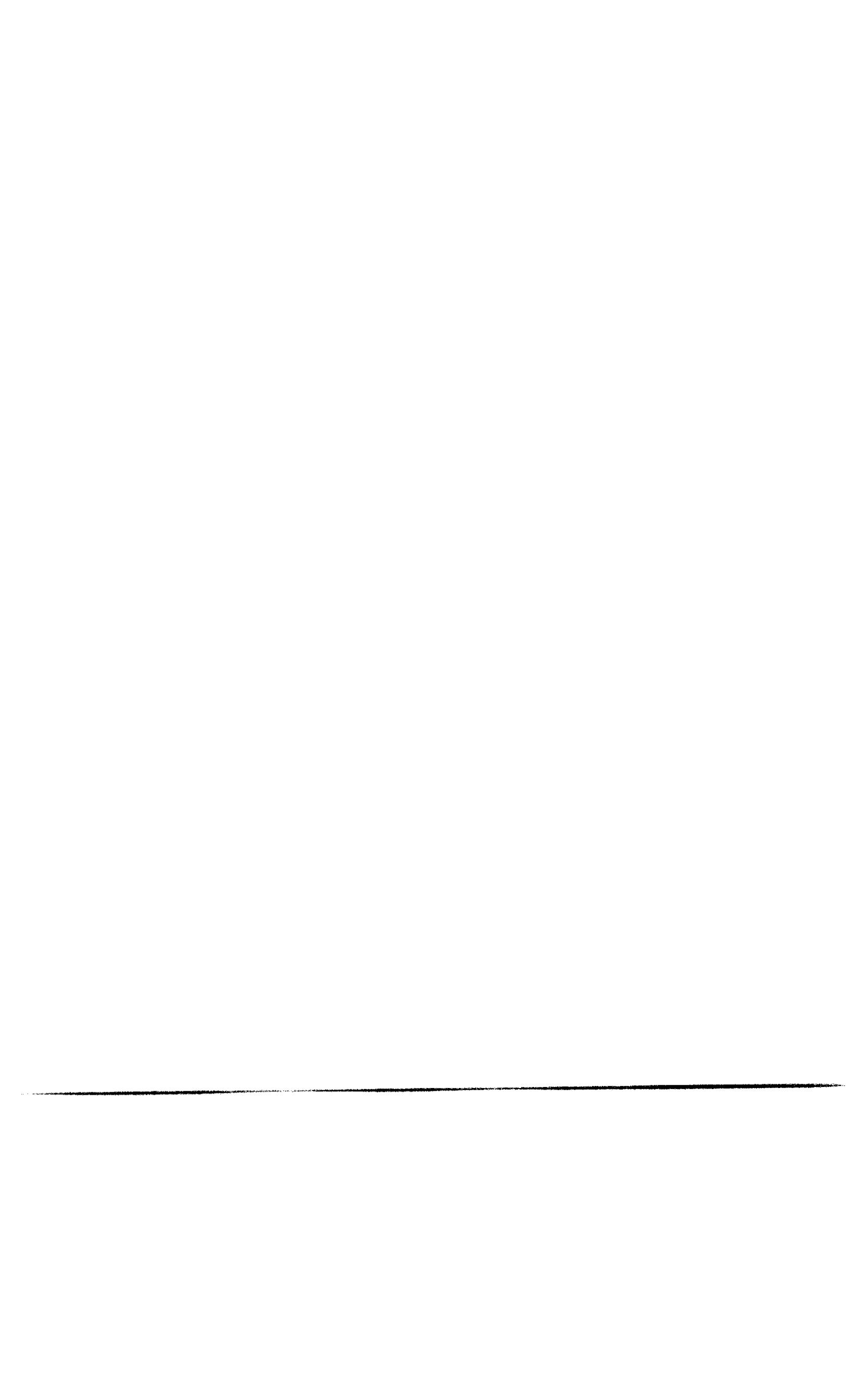
**\*Virginia M. Klebesadel** e-mail: [vmkinabq@aol.com](mailto:vmkinabq@aol.com)  
 4416 Gooseberry Rd. NW/87120 898-9173 (h)  
 Jolene Wolfley  
 6804 Staghorn Dr. NW/87120-4806 890-9414 (h)  
 E-mail: [TRNAnews@aol.com](mailto:TRNAnews@aol.com)

**Council District: 5**  
**County District: 1**  
**Police Beat: 129/WS/Z-A**  
**Zone Map #: F-11**  
**Community Id Dist.: Westside**

**Council District: 2&County**  
**County District: 1**  
**Police Beat: 239/VA**  
**Zone Map #: A-G-12-17**  
**Community Id Dist.: N. Valley**

**Council District: 2**  
**County District: 1**  
**Police Beat: 235,237/VA**  
**Zone Map #: F-H-12-13**  
**Community Id Dist.: N. Valley**

**Council District: 5**  
**County District: 1**  
**Police Beat: 119,121,122,124-127/WS/Z-A**  
**Zone Map: C-F-11-14**  
**Community ID Dist: Westside**



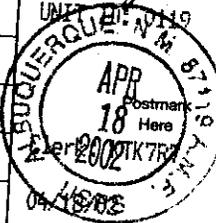
**U.S. Postal Service  
CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

7099 3220 0006 2896 2700

Article Sent To:

Ed Swenson, <sup>Albuquerque, N.M. 87120</sup> La Luz del Sol Neighborhood Assoc.

Postage	\$ 0.34
Certified Fee	2.10
Return Receipt Fee (Endorsement Required)	1.50
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 3.94</b>



Name (Please Print Clearly) (To be completed by mailer)  
 William Baleh Wastewater Utility Div.  
 Street, Apt. No., or PO Box No.  
 4201 Second Street SW  
 City, State, ZIP+4  
 Albuquerque, N.M. 87105  
 PS Form 3800, July 1999 See Reverse for Instructions

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Ed Swenson  
 La Luz del Sol Neighborhood Assoc.  
 One Wind, NW  
 Albuquerque, N.M. 87120

2. Article Number (Copy from service label)

**COMPLETE THIS SECTION ON DELIVERY**

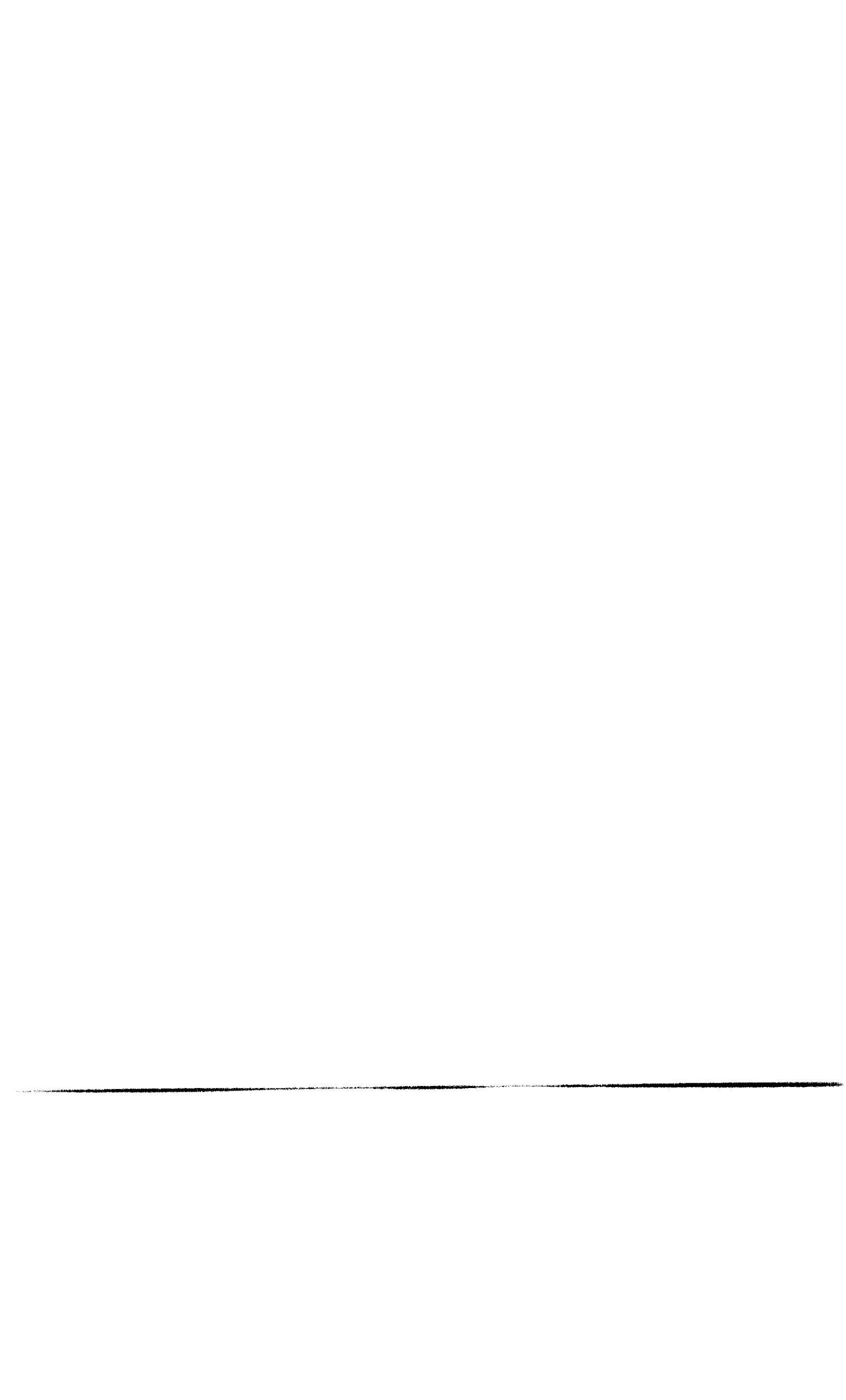
A. Received by (Please Print Clearly) *Kedane* B. Date of Delivery *4-19-92*

C. Signature *x Kedane % Swenson*  Agent  Addressee

D. Is delivery address different from item 1?  Yes  
 If YES, enter delivery address below:  No

3. Service Type  
 Certified Mail  Express Mail  
 Registered  Return Receipt for Merchandise  
 Insured Mail  C.O.D.

4. Restricted Delivery? (Extra Fee)  Yes



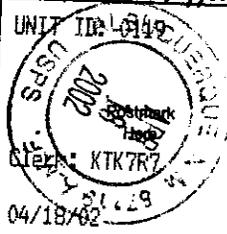
**U.S. Postal Service**  
**CERTIFIED MAIL RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

7099 3220 0006 2896 2724

Article Sent To:

*Bernard King, Luz Landowners Assoc*

Postage	\$ 0.34
Certified Fee	2.10
Return Receipt Fee (Endorsement Required)	1.50
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 3.94</b>



Name (Please Print Clearly) (To be completed by mailer)

*William Baleh, Wastewater Utility Div.*

Street, Apt. No., or PO Box No.

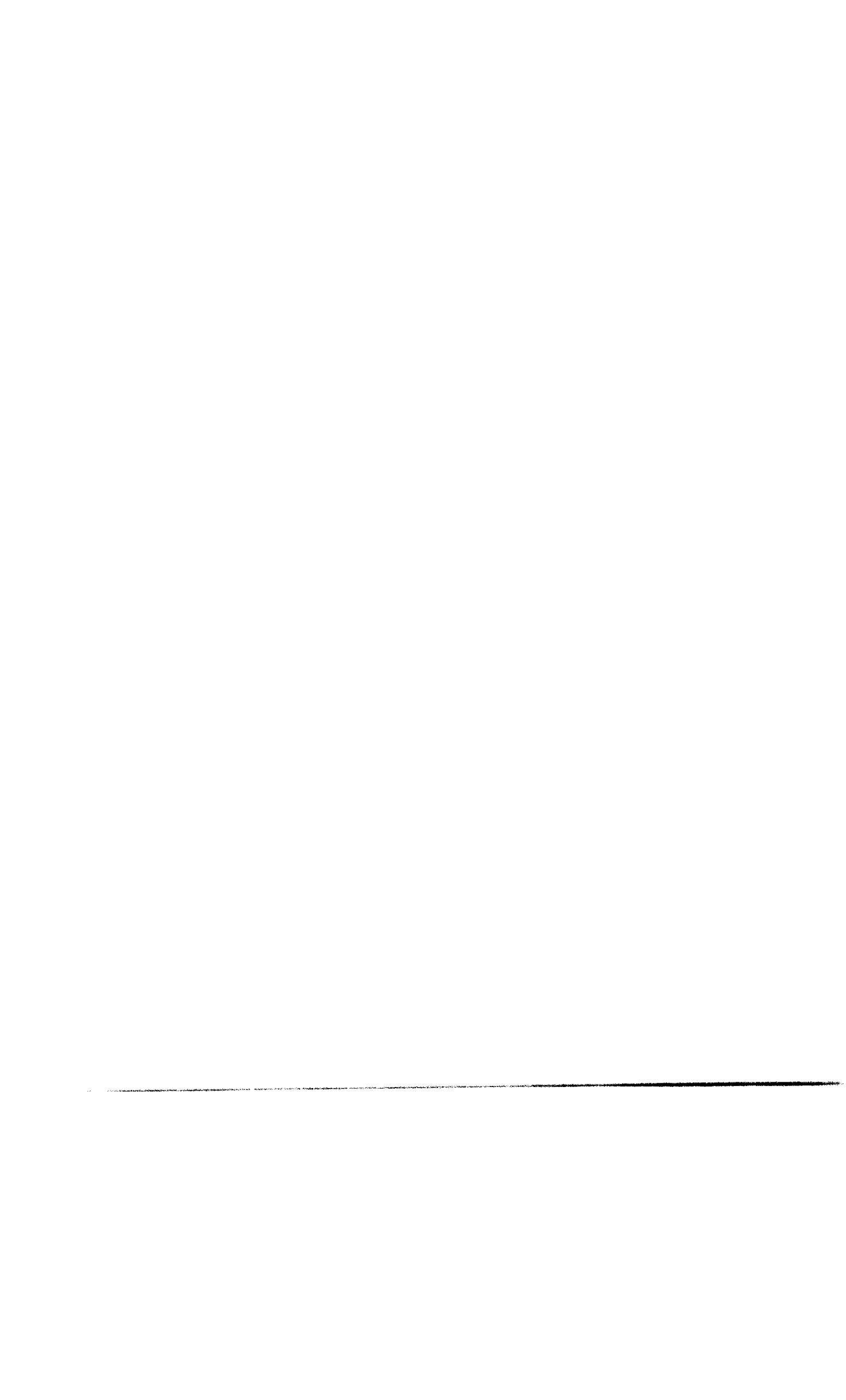
*4201 Second Street SW*

City, State, ZIP+4

*Albuquerque, N.M. 87105*

PS Form 3800, July 1999

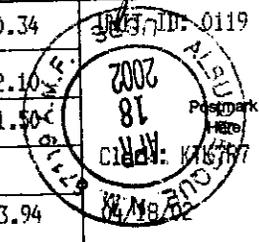
See Reverse for Instructions



U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

Article Sent To:  
 Steven Ewing, Arbor Neighborhood Assoc.

Postage	\$ 0.34
Certified Fee	2.10
Return Receipt Fee (Endorsement Required)	1.50
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 3.94</b>



7099 3220 0006 2896 2694

Name (Please Print Clearly) (To be completed by mailer)  
 William Balch, Wastewater Utility Div.  
 Street, Apt. No., or PO Box No.  
 4201 Second Street SW  
 City, State, ZIP+4  
 Albuquerque, N.M. 87105  
 PS Form 3803, July 1999 See Reverse for Instructions

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:  
 Steven Ewing  
 Arbor Neighborhood Association  
 300 Central Ave. SW  
 Suite 1000  
 Albuquerque, N.M. 87102

**COMPLETE THIS SECTION ON DELIVERY**

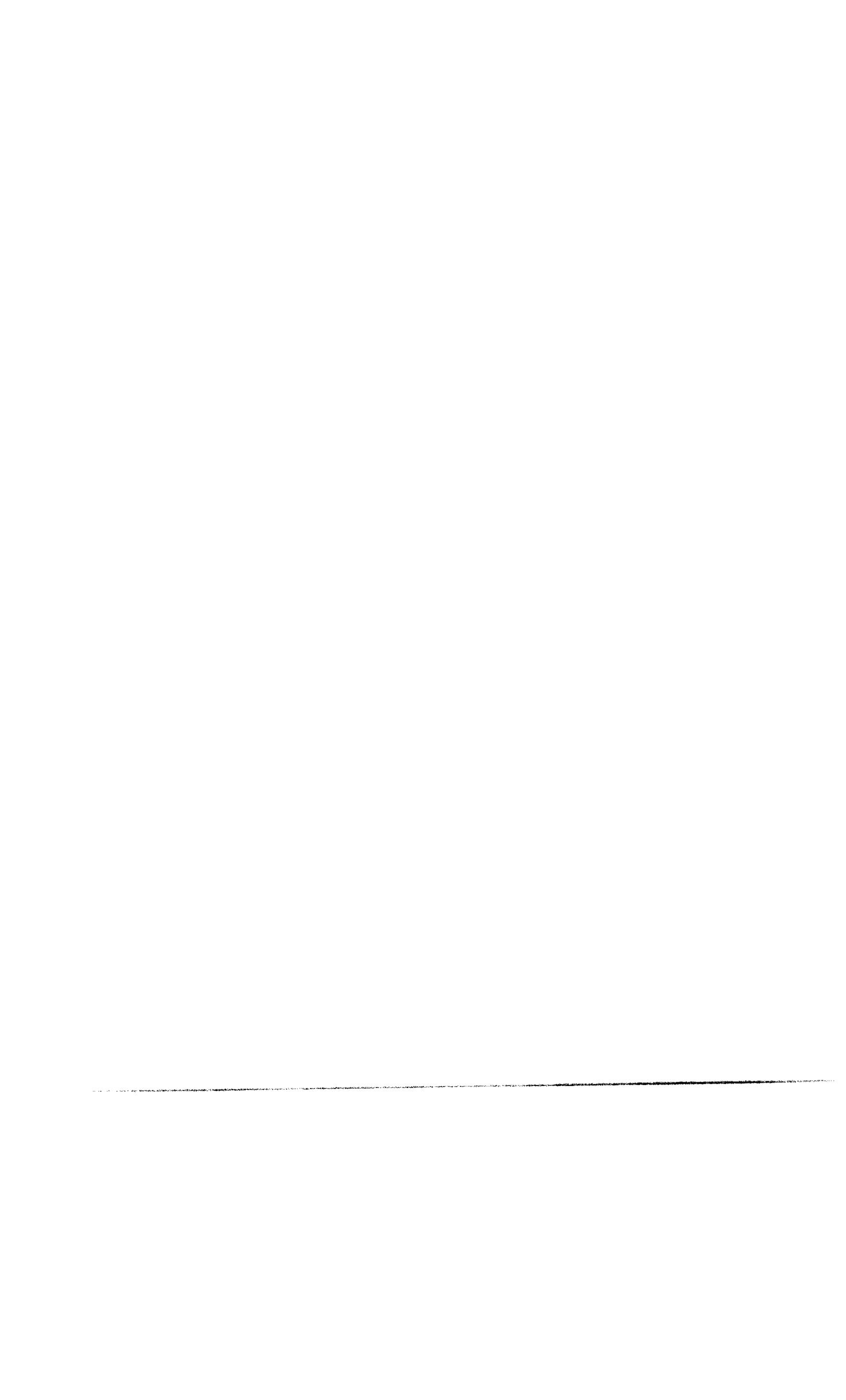
A. Received by (Please Print Clearly) *X Esther Z.* B. Date of Delivery *4-19-02*

C. Signature *X Esteban J. Saavedra*  Agent  Addressee

D. Is delivery address different from item 1?  Yes  No  
 If YES, enter delivery address below:

3. Service Type  
 Certified Mail  Express Mail  
 Registered  Return Receipt for Merchandise  
 Insured Mail  C.O.D.

4. Restricted Delivery? (Extra Fee)  Yes

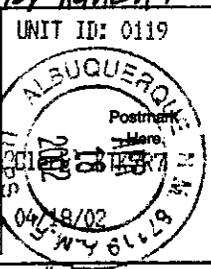


**U.S. Postal Service**  
**CERTIFIED MAIL RECEIPT**  
*(Domestic Mail Only; No Insurance Coverage Provided)*

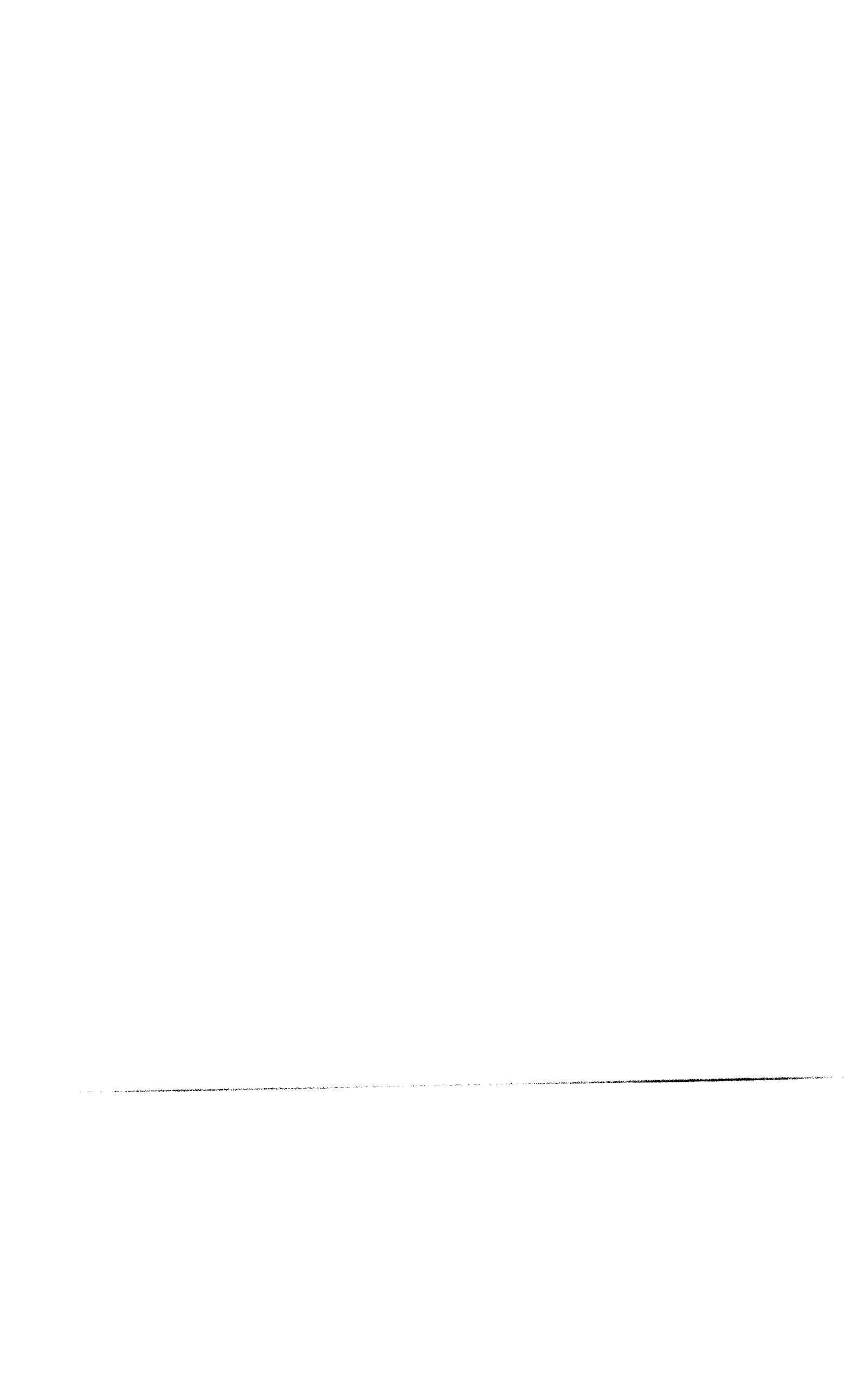
7099 3220 0006 2896 2779

Article Sent To:  
 ALBUQUERQUE, N.M. *Neighborhood Assoc. Taylor Ranch*

Postage	\$ 0.34
Certified Fee	2.10
Return Receipt Fee (Endorsement Required)	1.50
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 3.94</b>



Name (Please Print Clearly) (To be completed by mailer)  
*William Balch, Wastewater Utility Div.*  
 Street, Apt. No.; or PO Box No.  
*4201 Second Street SW*  
 City, State, ZIP+4  
*Albuquerque, N.M. 87105*



**U.S. Postal Service  
CERTIFIED MAIL RECEIPT  
(Domestic Mail Only; No Insurance Coverage Provided)**

Article Sent To:

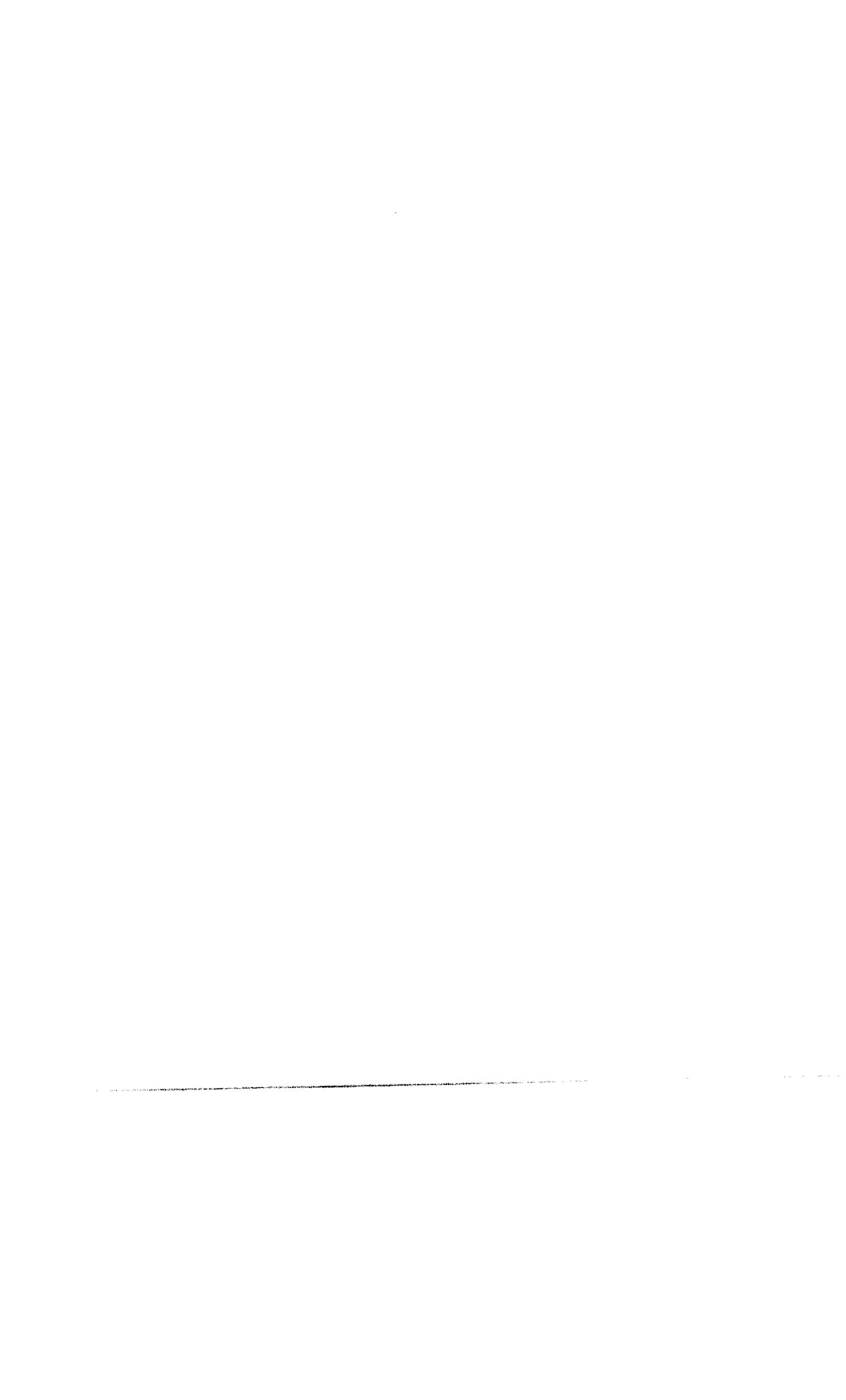
*Doyle-Kirkbrugh, Blvd Grande Blvd. Neighborly Assoc.*

Postage	\$ 0.34	UNIT ID: 0119
Certified Fee	2.10	
Return Receipt Fee (Endorsement Required)	1.50	
Restricted Delivery Fee (Endorsement Required)		
<b>Total Postage &amp; Fees</b>	<b>\$ 3.94</b>	



7099 3220 0006 2896 2731

Name (Please Print Clearly) (To be completed by addressee)  
*William Balch Wastewater Utility Div.*  
 Street, Apt. No., or PO Box No.  
*4201 Second Street S.W.*  
 City, State, ZIP+4  
*Albuquerque, N.M. 87105*

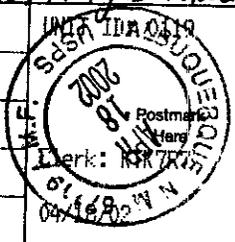


**U.S. Postal Service  
CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

7099 3220 0006 2896 2762

Article Sent To:  
*Joe Hernandez, North Valley Neighborhood Assn*

Postage	\$	0.34
Certified Fee		2.10
Return Receipt Fee (Endorsement Required)		1.50
Restricted Delivery Fee (Endorsement Required)		
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>3.94</b>



Name (Please Print Clearly), (To be completed by mailer)  
*William Balch, Waste Water Utility Div.*

Street, Apt. No.; or PO Box No.  
*4201 Second Street S.W.*

City, State, ZIP+4  
*Albuquerque, N.M. 87105*



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 19, 2002

Virginia Klebesadel  
Taylor Ranch Neighborhood Association  
4416 Gooseberry Road NW  
Albuquerque, New Mexico 87120

Certified Mail Receipt #  
7099 3220 0006 2896 2779

**SUBJECT:** "Wastewater Lift Station #24 Improvements (FY 2000)" Project

Dear Ms. Klebesadel:

This correspondence is to inform you that construction of the "Wastewater Lift Station #24 Improvements FY 2000" project will start in your neighborhood in about one (1) year.

This project will provide the following improvements to the existing lift station:

1. Replace two (2) existing sewage pumps, that are worn out, with two (2) new pumps (there are 4 sewage pumps in this station).
2. Replace existing stand-by generator, which is too small, with a larger generator.
3. Provide improvements to the existing electrical system, including a new Electrical Building, to increase the station's reliability.
4. Provide piping improvements to increase operational reliability and flexibility.

Attached is a map showing the location of Wastewater Lift Station #24.

If you have any questions on this project please call :

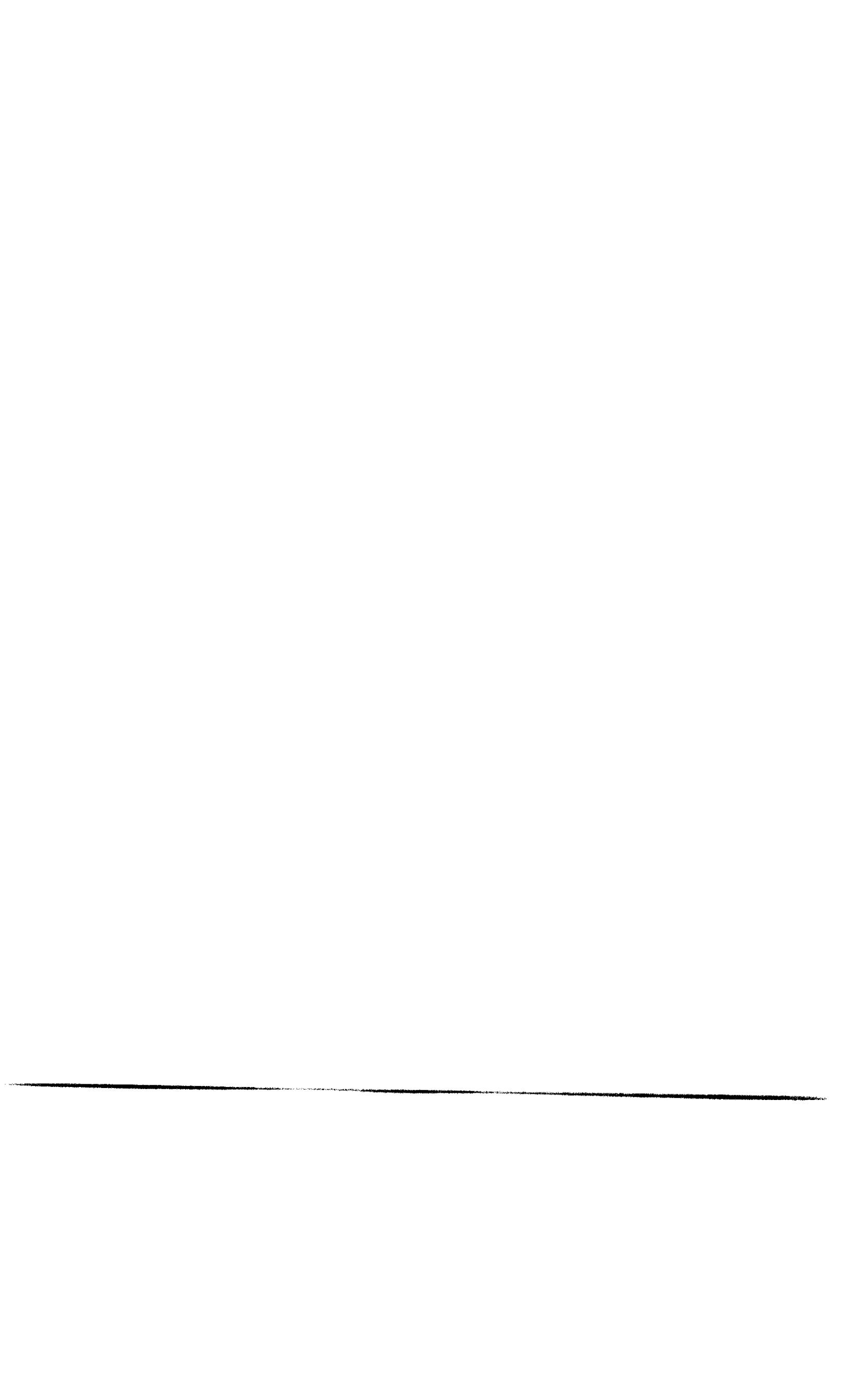
Bill Balch  
Wastewater Utility Division  
Phone: 873-7001

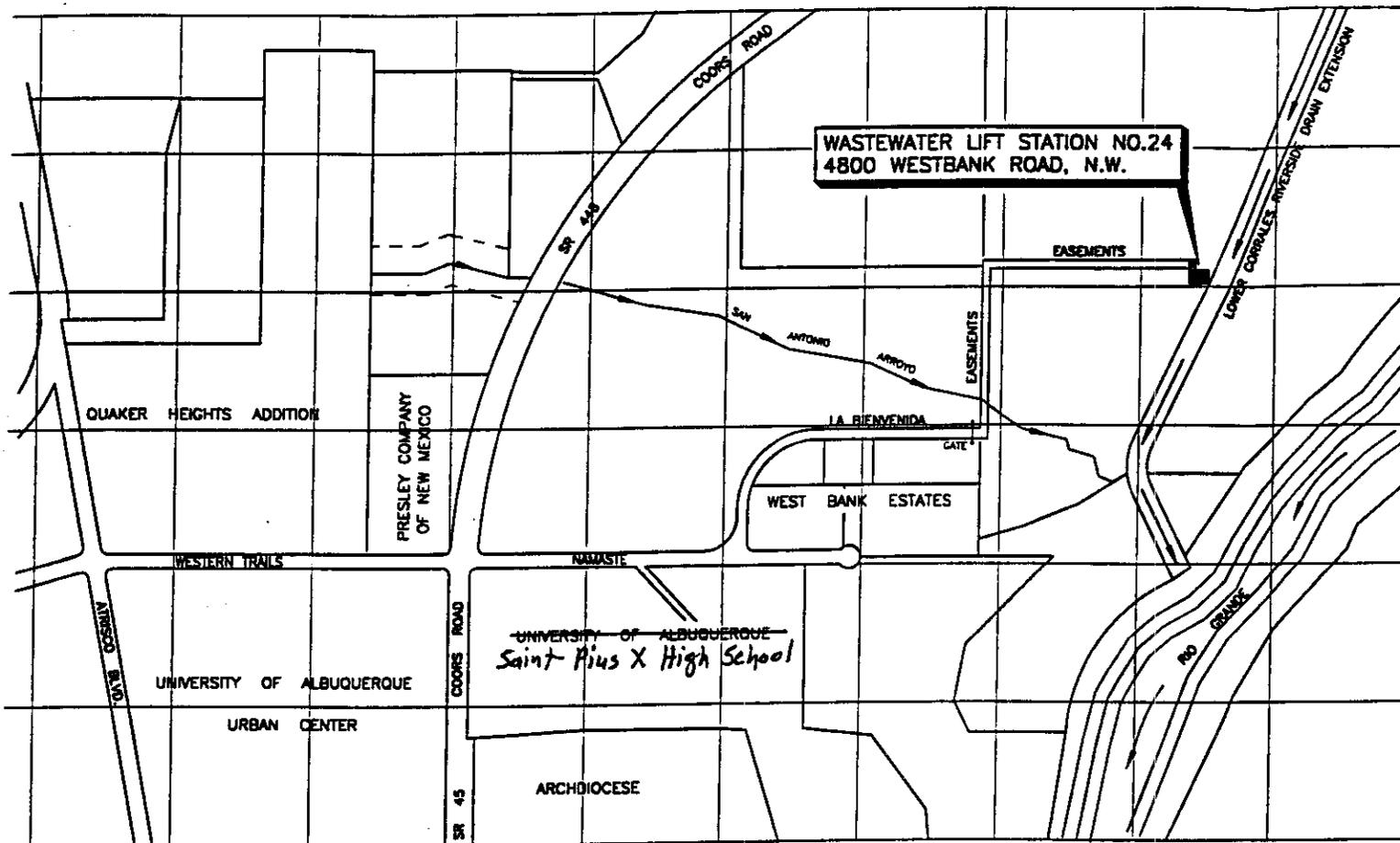
Sincerely,

*William J. Balch*

William J. Balch  
City Project Manager

Cc: File 223.30





LIFT STATION NO. 24 - AREA MAP

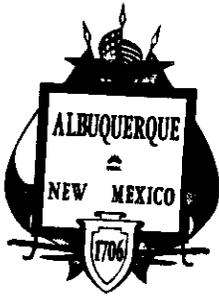
N.T.S.

750' 375' 0 750'



GRAPHIC SCALE

---



**City of Albuquerque**  
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 19, 2002

Doyle Kimbrough  
Rio Grande Blvd. Neighborhood Association  
2327 Campbell Road NW  
Albuquerque, New Mexico 87104

Certified Mail Receipt #  
7099 3220 0006 2896 2731

SUBJECT: "Wastewater Lift Station #24 Improvements (FY 2000)" Project

Dear Mr. Kimbrough:

This correspondence is to inform you that construction of the "Wastewater Lift Station #24 Improvements FY 2000" project will start in your neighborhood in about one (1) year.

This project will provide the following improvements to the existing lift station:

1. Replace two (2) existing sewage pumps, that are worn out, with two (2) new pumps (there are 4 sewage pumps in this station).
2. Replace existing stand-by generator, which is too small, with a larger generator.
3. Provide improvements to the existing electrical system, including a new Electrical Building, to increase the station's reliability.
4. Provide piping improvements to increase operational reliability and flexibility.

Attached is a map showing the location of Wastewater Lift Station #24.

If you have any questions on this project please call :

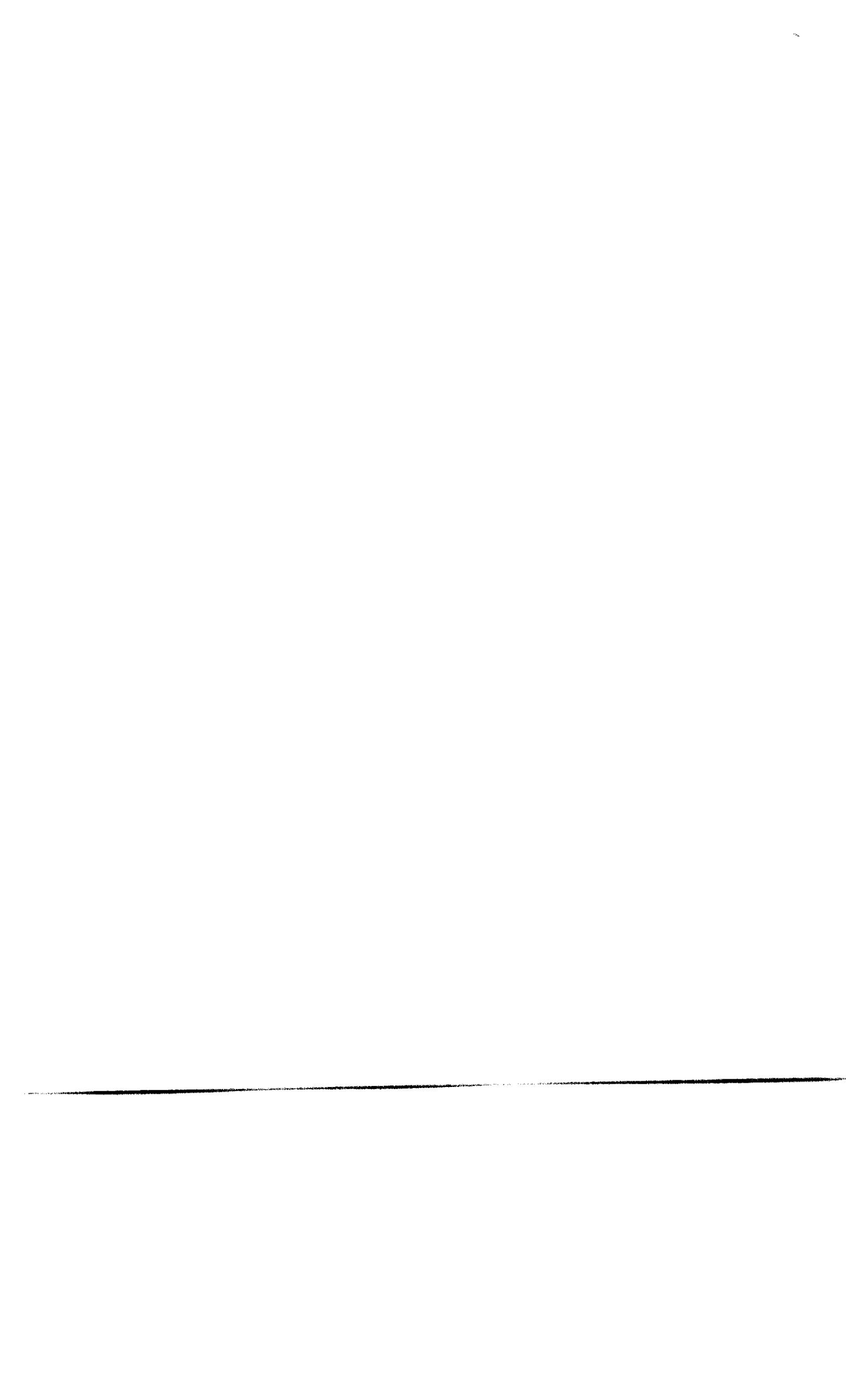
Bill Balch  
Wastewater Utility Division  
Phone: 873-7001

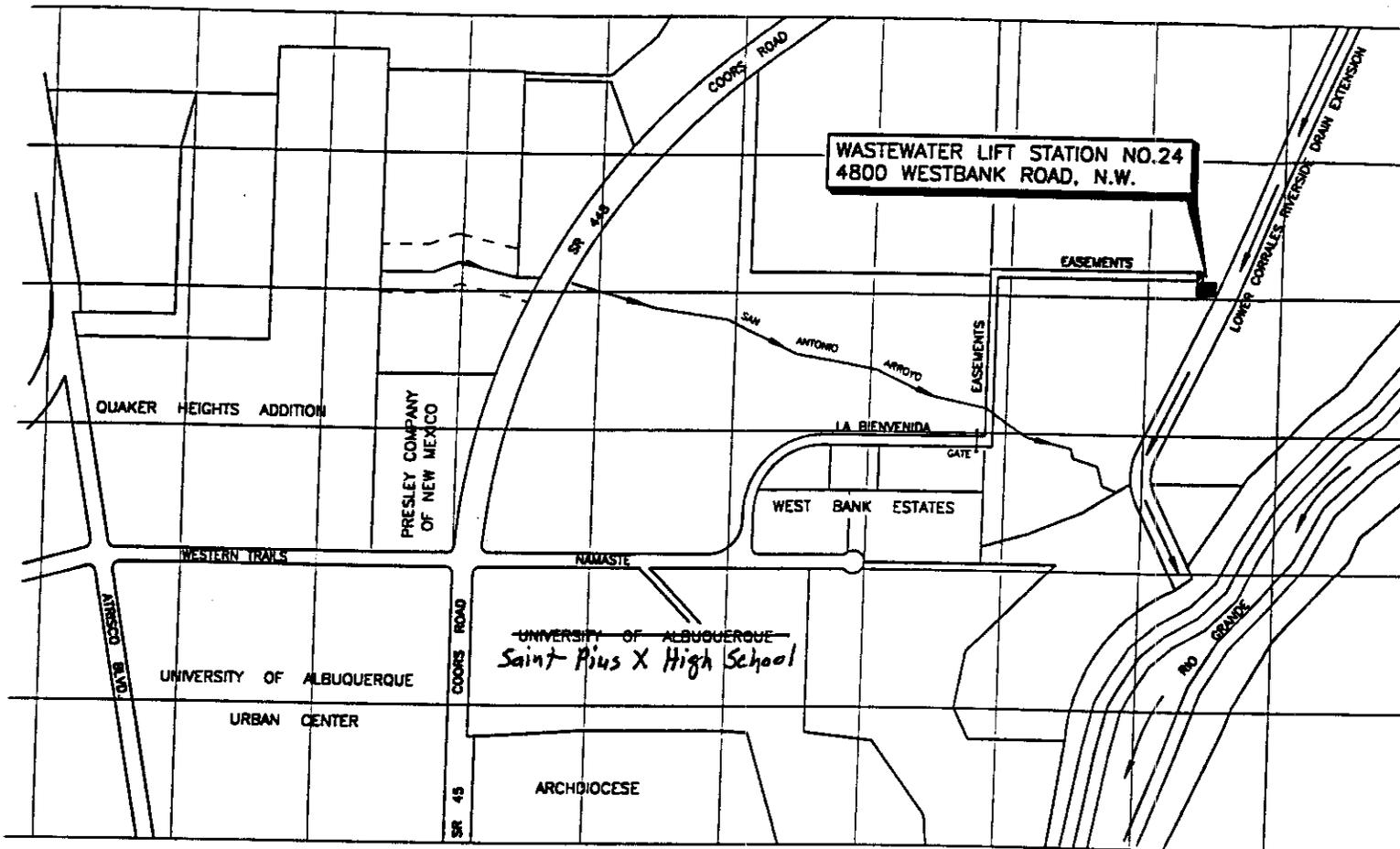
Sincerely,

*William J. Balch*

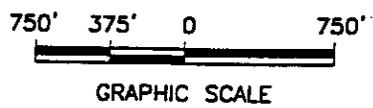
William J. Balch  
City Project Manager

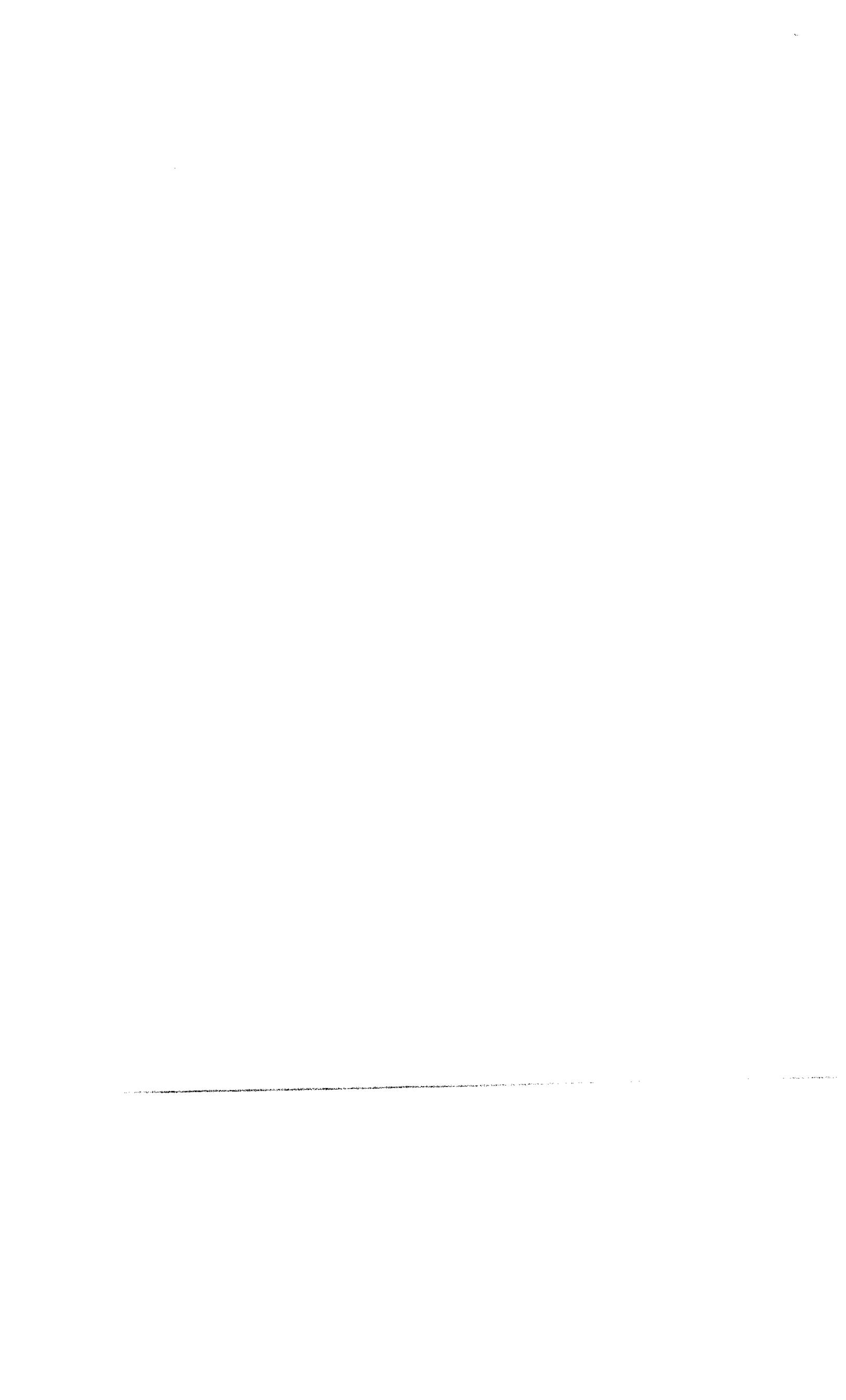
Cc: File 223.30





LIFT STATION NO. 24 - AREA MAP  
 N.T.S.







# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

223.30

April 19, 2002

Joe Harris  
North Valley Neighborhood Association  
4410 Rio Grande Blvd. NW  
Albuquerque, New Mexico 87107

Certified Mail Receipt #  
7099 3220 0006 2896 2762

SUBJECT: "Wastewater Lift Station #24 Improvements (FY 2000)" Project

Dear Mr. Harris:

This correspondence is to inform you that construction of the "Wastewater Lift Station #24 Improvements FY 2000" project will start in your neighborhood in about one (1) year.

This project will provide the following improvements to the existing lift station:

1. Replace two (2) existing sewage pumps, that are worn out, with two (2) new pumps (there are 4 sewage pumps in this station).
2. Replace existing stand-by generator, which is too small, with a larger generator.
3. Provide improvements to the existing electrical system, including a new Electrical Building, to increase the station's reliability.
4. Provide piping improvements to increase operational reliability and flexibility.

Attached is a map showing the location of Wastewater Lift Station #24.

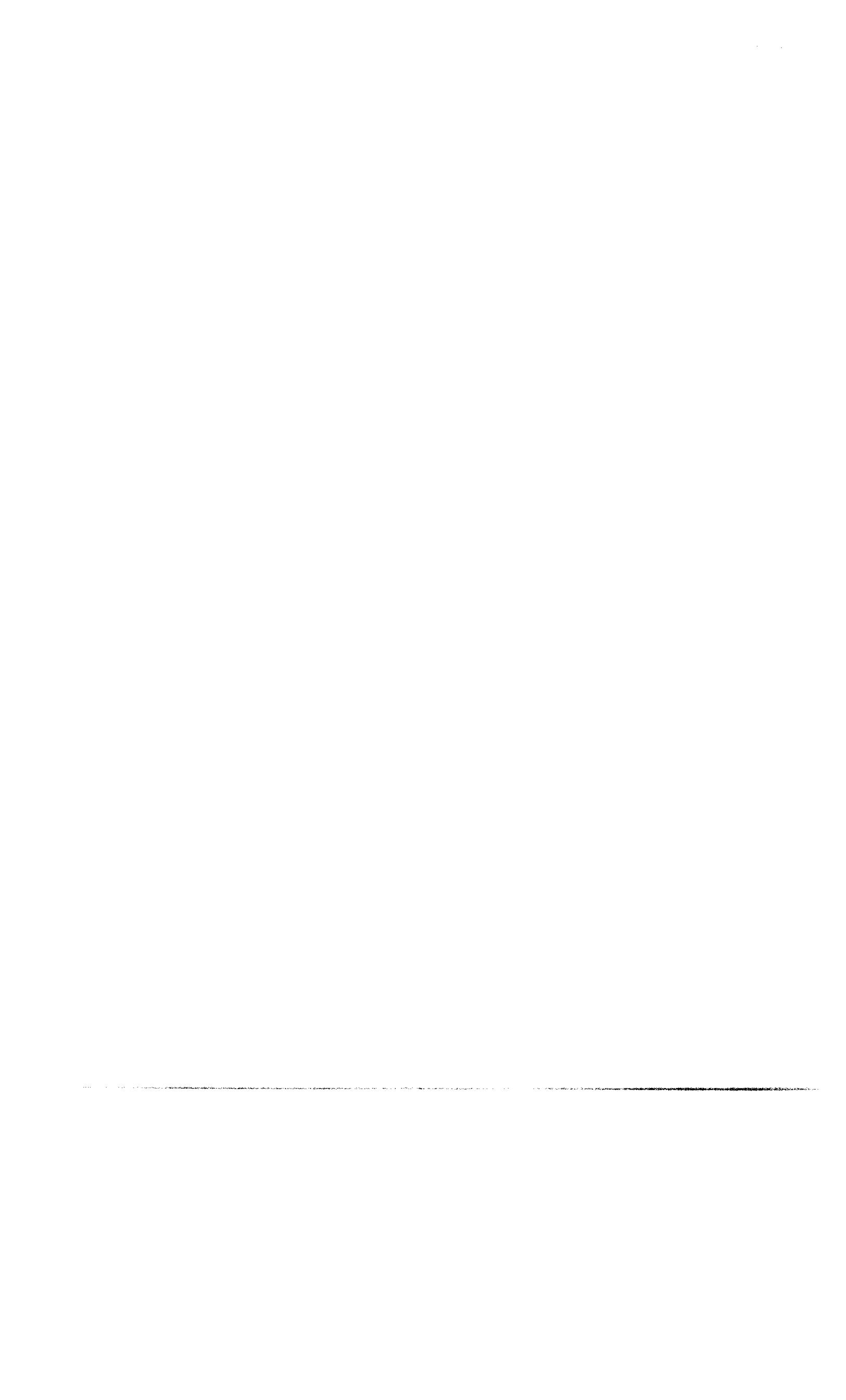
If you have any questions on this project please call :

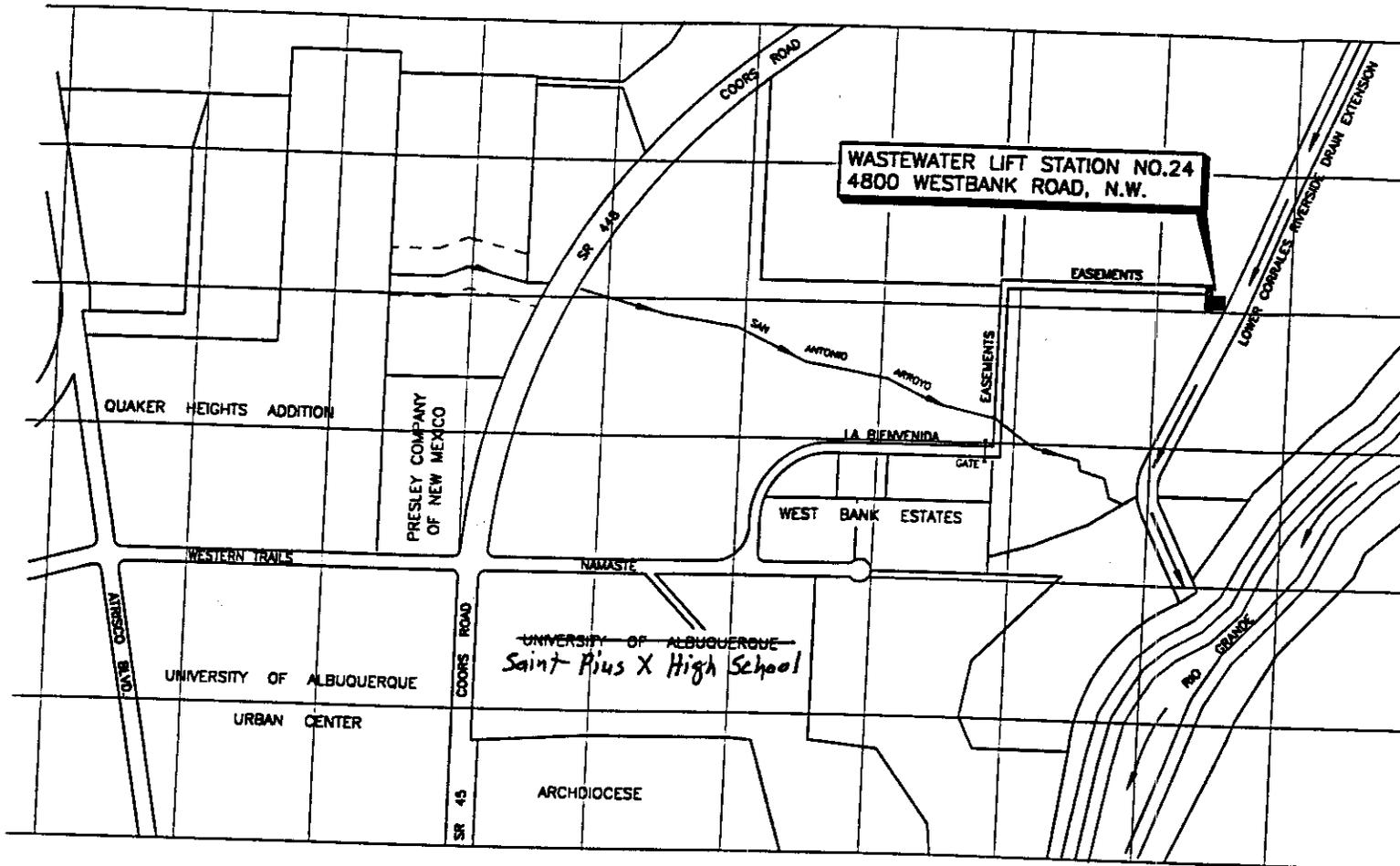
Bill Balch  
Wastewater Utility Division  
Phone: 873-7001

Sincerely,

William J. Balch  
City Project Manager

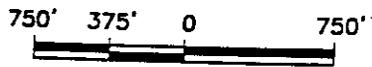
Cc: File 223.30



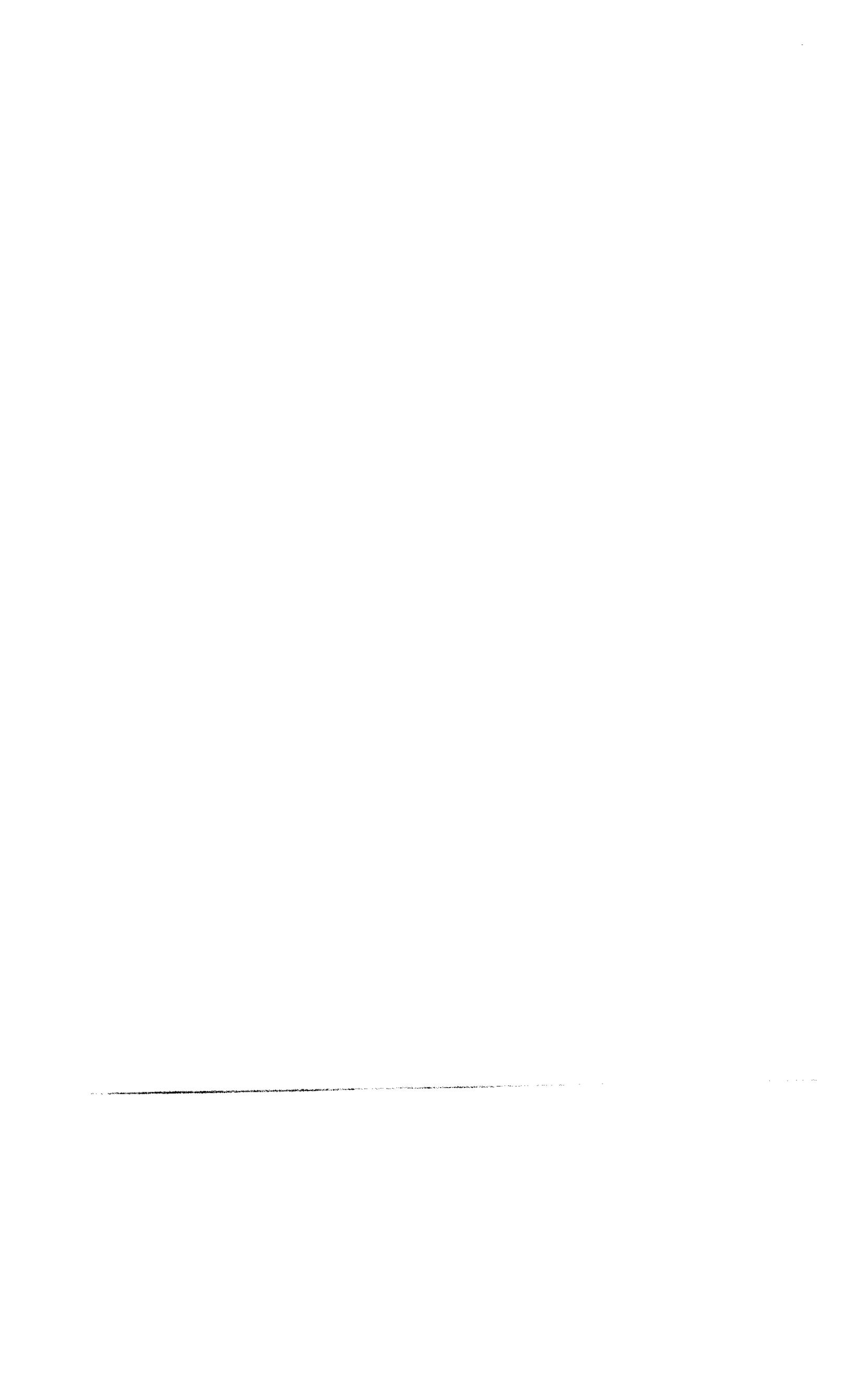


LIFT STATION NO. 24 - AREA MAP

N.T.S.



GRAPHIC SCALE





**City of Albuquerque**  
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 19, 2002

Steven Ewing  
Arbor Neighborhood Association  
300 Central Ave. SW Suite 1000  
Albuquerque, New Mexico 87102

Certified Mail Receipt #  
7099 3220 0006 2896 2694

SUBJECT: "Wastewater Lift Station #24 Improvements (FY 2000)" Project

Dear Mr. Ewing:

This correspondence is to inform you that construction of the "Wastewater Lift Station #24 Improvements FY 2000" project will start in your neighborhood in about one (1) year.

This project will provide the following improvements to the existing lift station:

1. Replace two (2) existing sewage pumps, that are worn out, with two (2) new pumps (there are 4 sewage pumps in this station).
2. Replace existing stand-by generator, which is too small, with a larger generator.
3. Provide improvements to the existing electrical system, including a new Electrical Building, to increase the station's reliability.
4. Provide piping improvements to increase operational reliability and flexibility.

Attached is a map showing the location of Wastewater Lift Station #24.

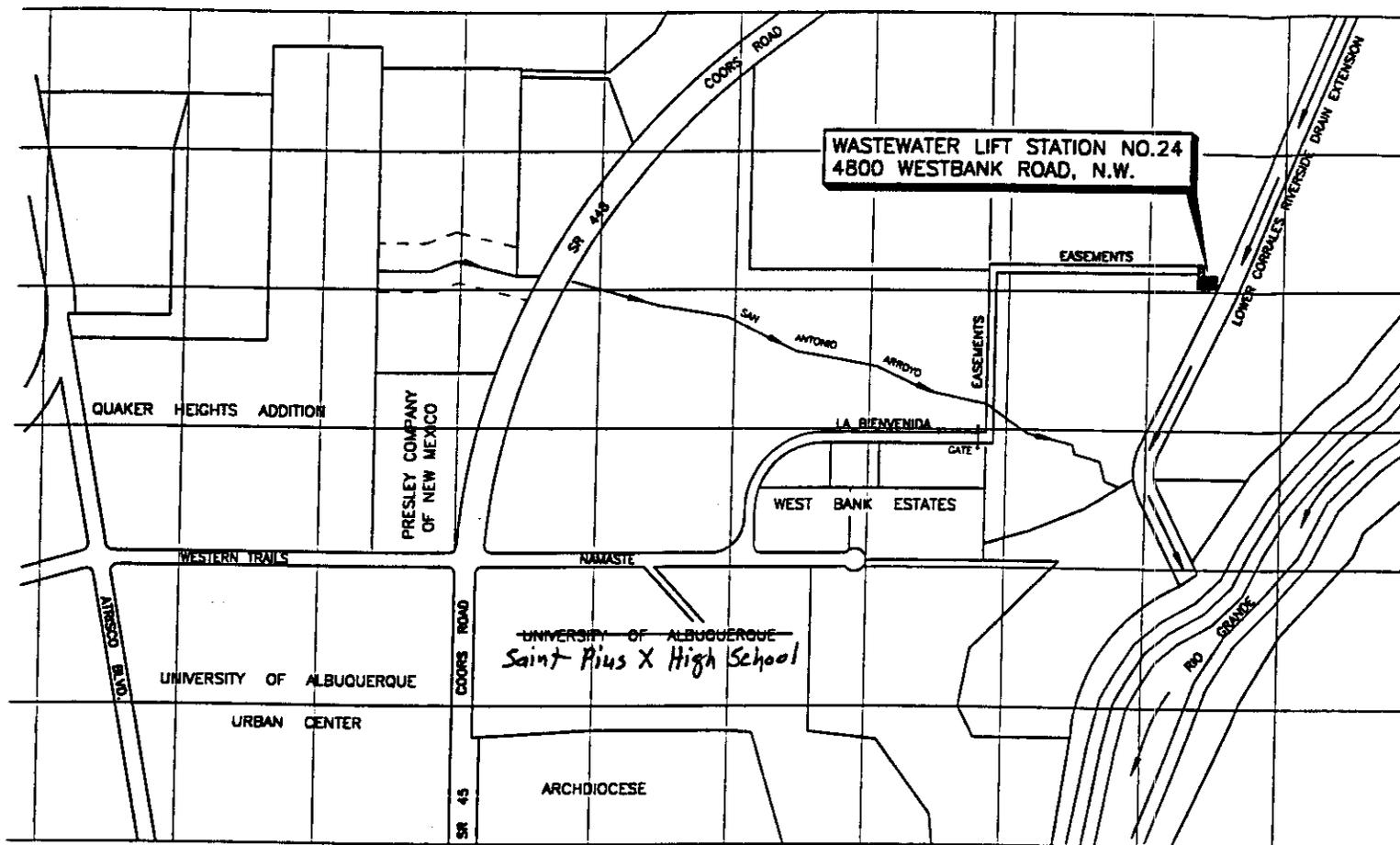
If you have any questions on this project please call :

Bill Balch  
Wastewater Utility Division  
Phone: 873-7001

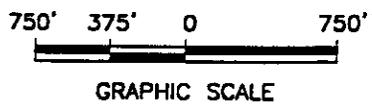
Sincerely,

William J. Balch  
City Project Manager

Cc: File 223.30



LIFT STATION NO. 24 - AREA MAP  
 N.T.S.





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

223.30

April 19, 2002

Ed Swenson  
La Luz Del Sol Neighborhood Association  
One Wind, NW  
Albuquerque, New Mexico 87120

Certified Mail Receipt #  
7099 3220 0006 2896 2700

SUBJECT: "Wastewater Lift Station #24 Improvements (FY 2000)" Project

Dear Mr. Swenson:

This correspondence is to inform you that construction of the "Wastewater Lift Station #24 Improvements FY 2000" project will start in your neighborhood in about one (1) year.

This project will provide the following improvements to the existing lift station:

1. Replace two (2) existing sewage pumps, that are worn out, with two (2) new pumps (there are 4 sewage pumps in this station).
2. Replace existing stand-by generator, which is too small, with a larger generator.
3. Provide improvements to the existing electrical system, including a new Electrical Building, to increase the station's reliability.
4. Provide piping improvements to increase operational reliability and flexibility.

Attached is a map showing the location of Wastewater Lift Station #24.

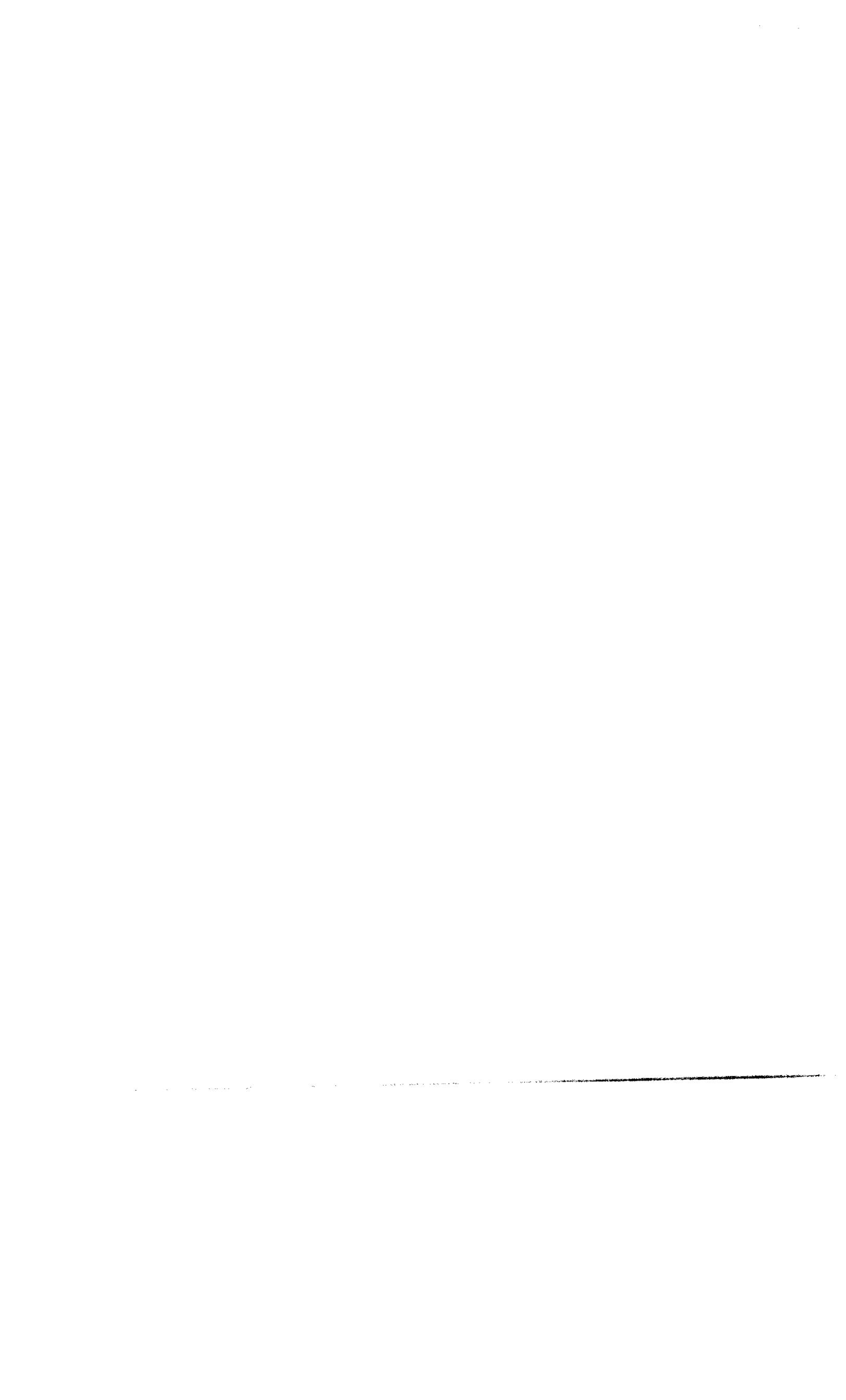
If you have any questions on this project please call :

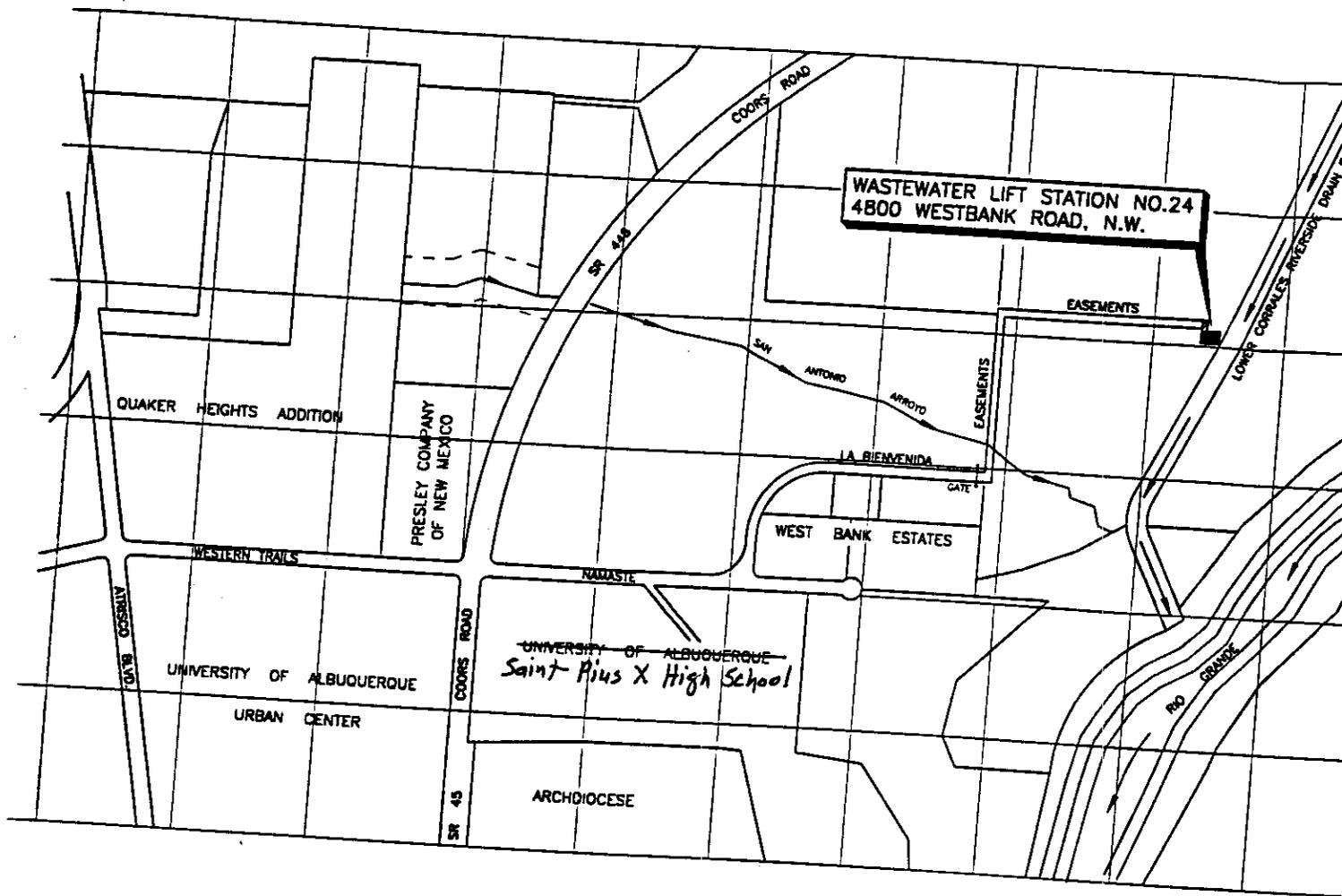
Bill Balch  
Wastewater Utility Division  
Phone: 873-7001

Sincerely,

William J. Balch  
City Project Manager

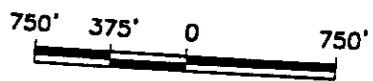
Cc: File 223.30



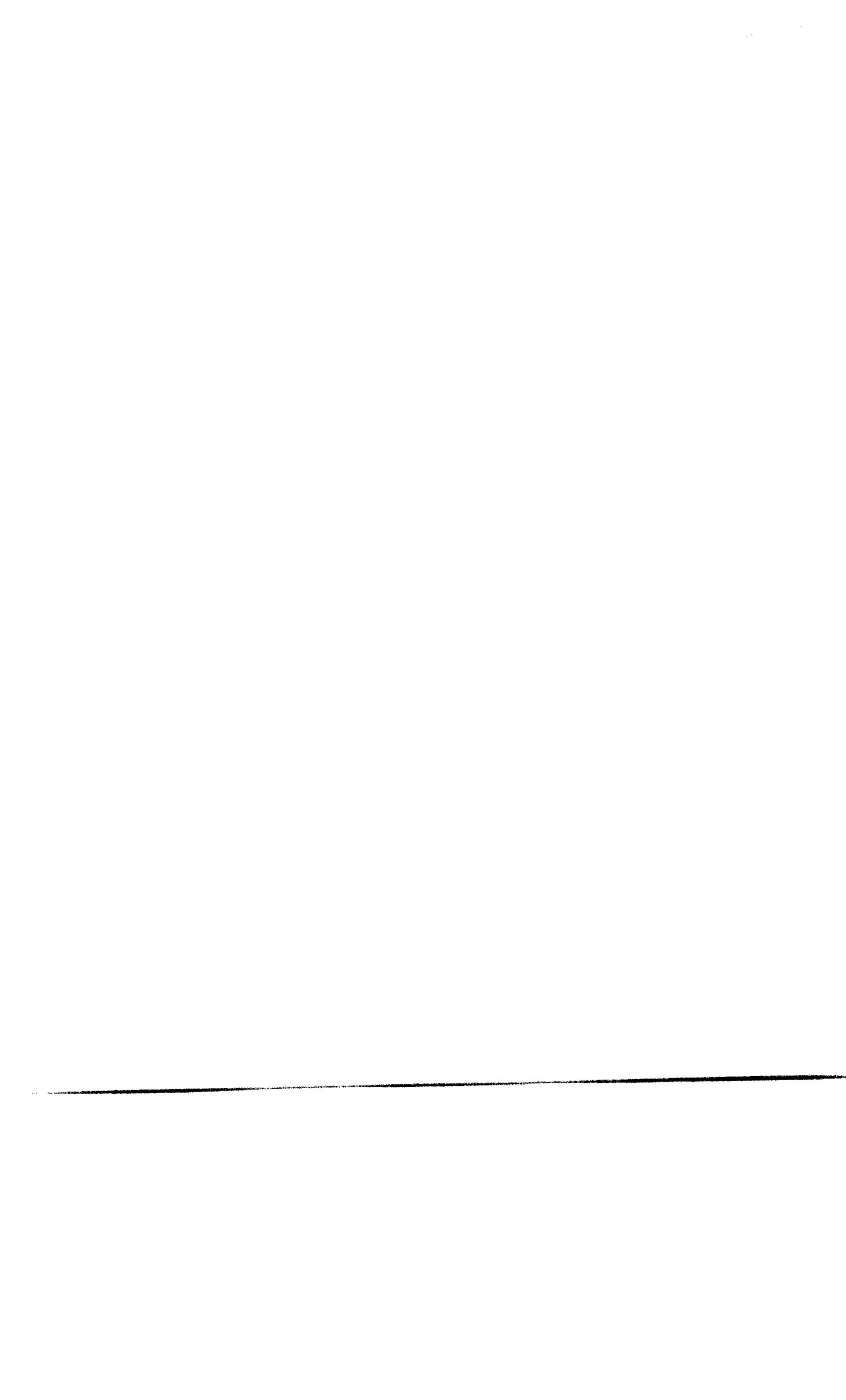


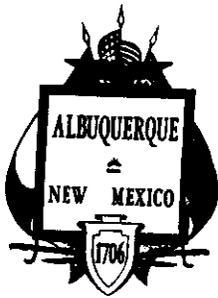
LIFT STATION NO. 24 - AREA MAP

N.T.S.



GRAPHIC SCALE





**City of Albuquerque**  
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 19, 2002

Bennet King  
La Luz Landowners Association  
10 Arco, NW  
Albuquerque, New Mexico 87120

Certified Mail Receipt #  
7099 3220 0006 2896 2724

SUBJECT: "Wastewater Lift Station #24 Improvements (FY 2000)" Project

Dear Mr. King:

This correspondence is to inform you that construction of the "Wastewater Lift Station #24 Improvements FY 2000" project will start in your neighborhood in about one (1) year.

This project will provide the following improvements to the existing lift station:

1. Replace two (2) existing sewage pumps, that are worn out, with two (2) new pumps (there are 4 sewage pumps in this station).
2. Replace existing stand-by generator, which is too small, with a larger generator.
3. Provide improvements to the existing electrical system, including a new Electrical Building, to increase the station's reliability.
4. Provide piping improvements to increase operational reliability and flexibility.

Attached is a map showing the location of Wastewater Lift Station #24.

If you have any questions on this project please call :

Bill Balch  
Wastewater Utility Division  
Phone: 873-7001

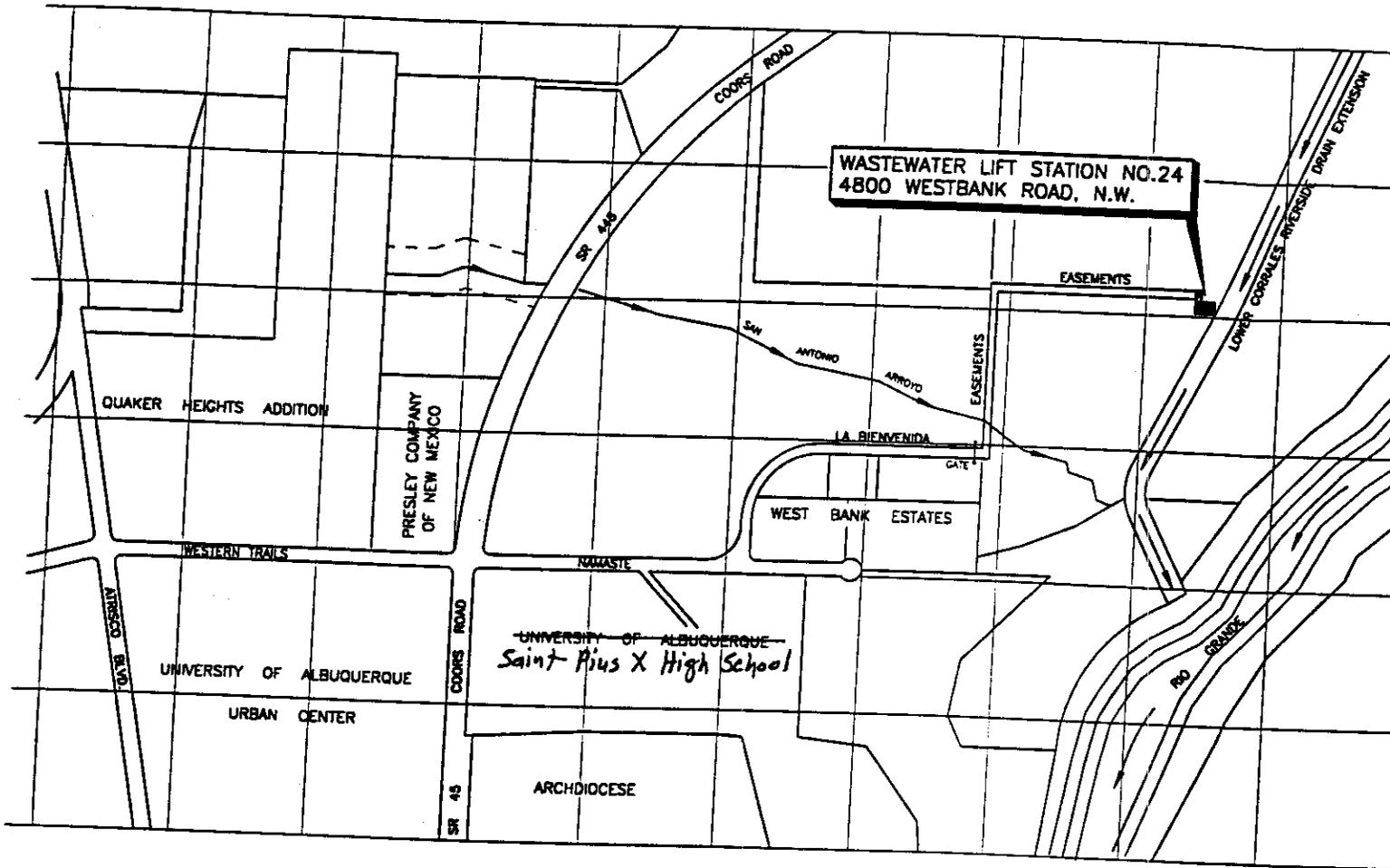
Sincerely,

*William J. Balch*

William J. Balch  
City Project Manager

Cc: File 223.30





LIFT STATION NO. 24 - AREA MAP

N.T.S.

750' 375' 0 750'



GRAPHIC SCALE

# Peace Builders

PROJECT #1000965

FACILITATOR'S REPORT dated June 13, 2002

FACILITATED MEETING HELD 7 p.m. June 12, 2002  
Bosque Prep School

between Applicant/Agent: City of Albuquerque Wastewater Utility Div--  
William Balch and Chuck Bowman  
and Neighborhood Association: La Luz  
External Affairs Committee--

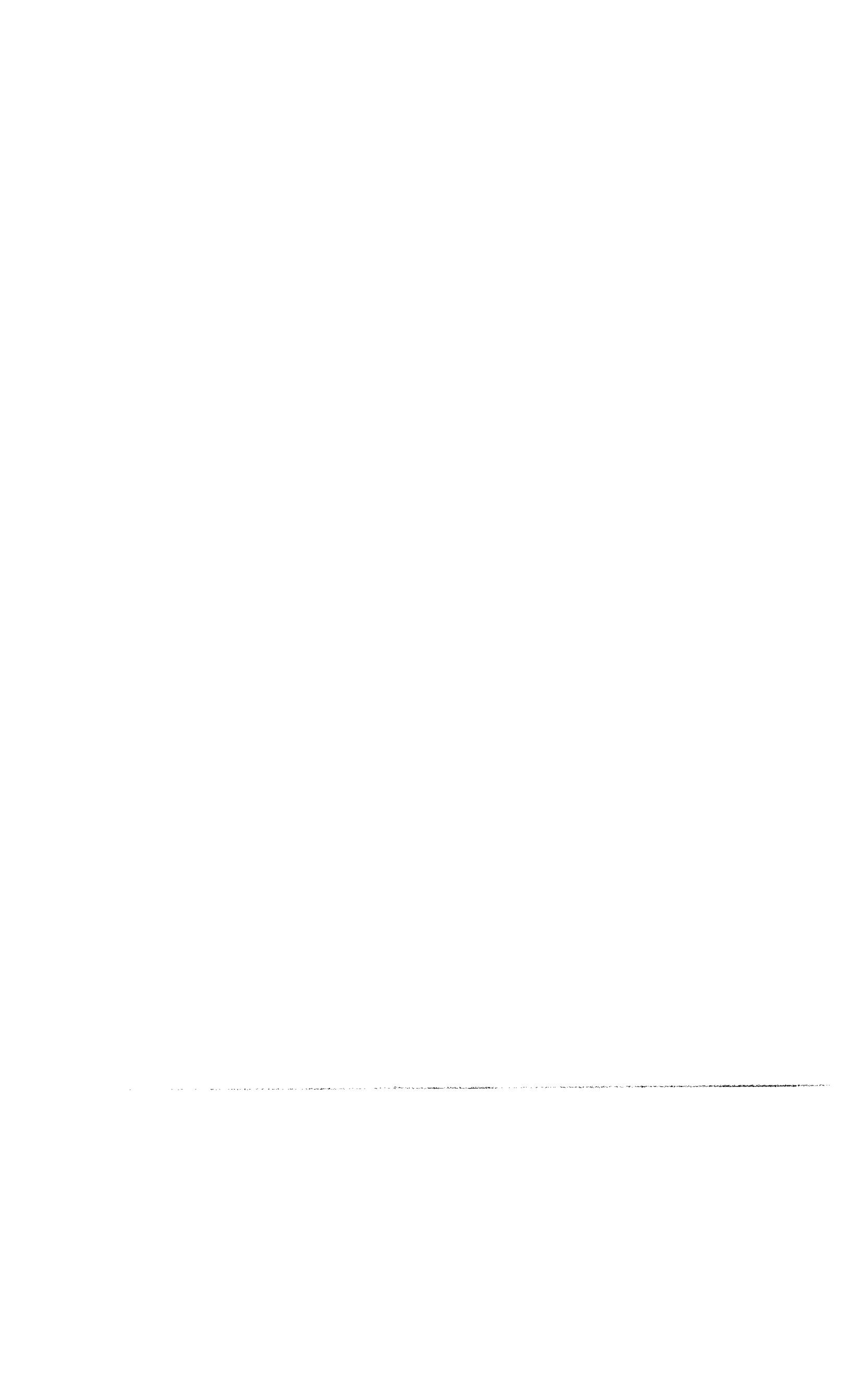
re: Project #1000965 in which the City of Albuquerque Wastewater Utility Division requests approval of a Site Development Plan for Building Permit at Wastewater Lift Station #24 on Lower Corrales Riverside Drain between Learning Road N.W. and Coors Blvd N.W. Debbie Stover, Planner

Facilitator: Kathleen Burke Anthony

**Summary:** William Balch presented full and complete descriptions of the needed/planned improvements in reliability for this Lift Station, aided by Chuck Bowman. Having heard their information, Dr. Perls, Board members, and External Affairs Committee members declared their understanding of the critical need and offered their full support for this project as described on June 12, 2002. They wish Michael Cadigan to be in support of this work and of the necessary construction funding for these improvements. Mistery Balch and Bowman offered further meetings with residents along the way on this project. Neighbors are intensely concerned about the preservation and safety of wildlife: request protection of this natural open space and shielding to prevent electrocution of birds by open wiring.

**Pertinent Phone Numbers:**

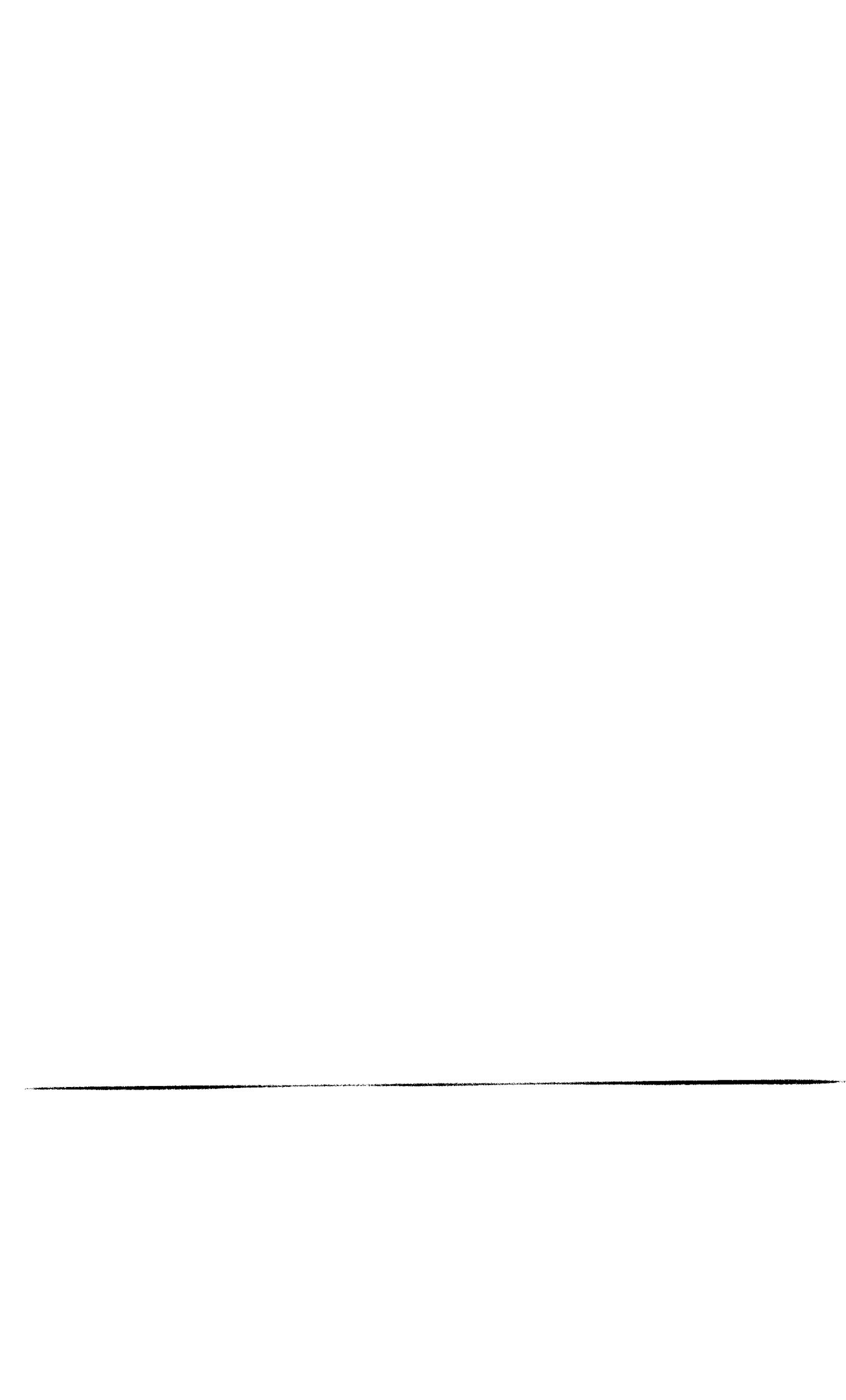
City Emergency Dispatch: 857-8250 Control Room: 873-6917  
Chuck Bowman: 873-7068 Bill Balch: 873-7001



## Notes from the Meeting:

### APPLICANT INFORMATION

- \*Wastewater Lift Station #24 is Albuquerque's second largest at 5000 gallons/minute; incorporates two lines; sends wastewater on to the South Side Reclamation Site for treatment
- \*Improvements will drastically increase the reliability of Station #24 which has MAJOR problems discovered two years ago
- \*Little visual impact will result: new electrical building will be within the site
- \*Landscaping will be maintained under agreement for City's purchase of two small triangles of land
- \*Four specific improvements to be put in place:
  - \*\*two old, inadequate pumps will be replaced with new pumps
  - \*\*additional emergency standby generating system which will start automatically upon loss of PNM power to be installed
    - >>present standby generator on truck to be removed
    - >>better air quality will result
  - \*\*electrical improvements
    - >>new building
    - >>replacement of present power drops
    - >>improved safety, reliability, and air quality
  - \*\*new parallel line to be installed to have two lines inside station
- \*RELIABILITY is the basis for the bulk of this planned work
- \*WATER availability is the criterion upon which everything and anything depends
- \*Construction of a Master Plan for more treatment facility locations did begin, but as water conservation by citizens lowered flow, talking about Master Plan stopped, due to less urgency. Need for more treatment facility locations appears to be put off until 2020 or 2050. Budget woes have affected future planning by having become the focus up until June 2002. No plans for further-north facilities at this time.



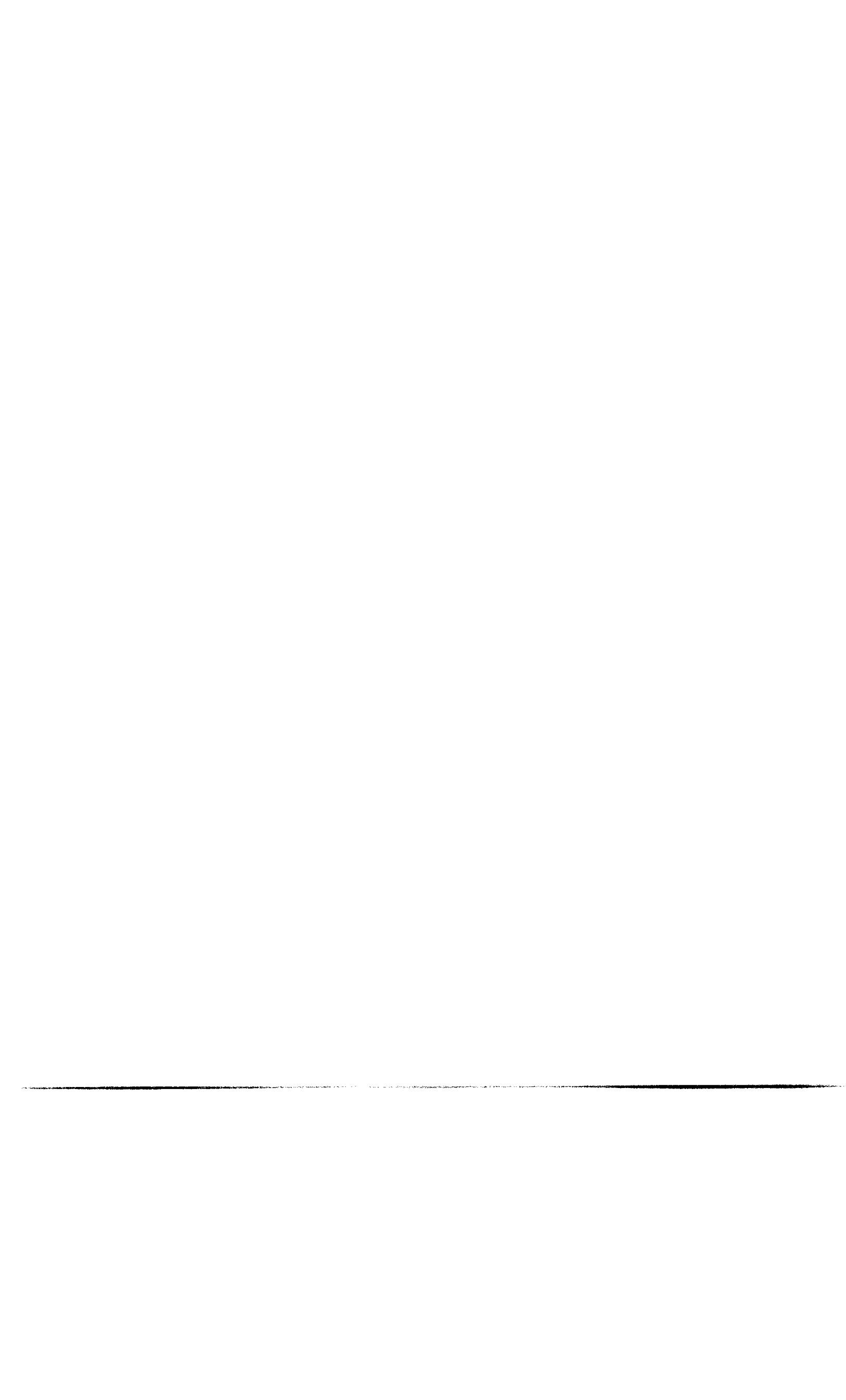
## NEIGHBOR INFORMATION

- Station in violation of Coors Sector Plan \*Grandfathered
  - Alarm rings sometimes 18 hours at a time: "attracts no one"  
Crews come; turn off alarm when they leave!
    - \*Balch and Bowman will find out reason alarm sounds
  - Please protect birds from electrocution by open wiring;  
carcasses are to be found now in and around site
  - Please protect open natural space at this location
  - Noise? \*Same as now for new generators
  - What effect do the private companies have?
    - \*They operate within defined limits; pay for using City resource  
Intel paid for some 40% of cost of system and is implementing  
rigorous water-conservation by recycling and minimizing use
  - Will new jail tie in to this station?
    - \*Jail, no; new airplane manufacturer, yes
  - Trucks with chemicals: how many?
    - \*About two per month during summer; one per month in winter
  - Lighting effect on nearby residents?
    - \*City regulation determines that it be aimed down-ward;  
no increase except over door
  - DUST CONTROL ON ROAD LEADING DOWN TO STATION IS  
EXTREMELY NEEDED AND IMPORTANT
    - \*Under City jurisdiction as public easement
  - Truck-drivers now are mostly considerate about their speed
  - Are there plans for an odor-control station?
    - \*Ferrous chloride injection happening currently at this station
    - \*Carbon at this station will be changed out
    - \*Upstream function additions or changes under study presently
    - \*Determination whether NM Utilities wastewater causes odor  
needs to take place
  - What sort of timeline can we all envision for these improvements?
    - \*The MOST OPTIMISTIC, WISHFUL prospect would be
      - >finish design about August, 2002
      - >begin construction December 2002 or January 2003
      - >construction to last one year
      - >pumps are already ordered
- THIS IS ENTIRELY DEPENDENT UPON FUNDING

ATTENDEES

Bill Balch	COA WUD P.O. Box 1293	87103
Chuck Bowman	4201 Second Street S.W.	87105
Rae Perls	15 Tennis Court Lane N.W.	87120
Nancy Hemry-Botts	10 Link Street N.W.	87120
Bennett King	10 Arco N.W.	87120
Elaine Stone	4 Tumbleweed N.W.	87120
Bruce Masson	13 Arco N.W.	87120
Robert W. Peters	10 Tumbleweed N.W.	87120
Frank W. Ikle	5 Tennis Court N.W.	87120

*Karlsson B. Anthony*



✓ xmw

# SITE DEVELOPMENT PLAN CHECKLIST FOR BUILDING PERMITS

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Since development proposals vary in type and scale, there may be application requirements that are not included here. Site development plan submitted will ordinarily be composed of the following plan sheets:

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading Plan
4. Building Elevations

Submitted shall be organized in the above manner. In addition, 8 1/2" by 11" reductions must be included with plan submitted. The following checklist describes the minimum information necessary for element. Applicant shall check off all items shown on the site plan or label as **NA**, if not applicable.

← one set

## SHEET #1 - SITE PLAN

### A. General Information

1. Scale
 

Under 1.0 acre	1" = 10' ← used
→ 1.0 - 5.0 acres	1" = 20'
Over 5 acres	1" = 50'
Over 20 acres	1" = 100'
Other scales as approved by staff	
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Scaled Vicinity Map — cover sheet
- ✓ 5. Existing structures on site and site adjacent to the proposal that impact, or are impacted by the project.
- ✓ 6. Property lines
- ✓ 7. → Existing and proposed easement (identify each)

### B. Proposed Development

1. Structural
  - A. Existing and proposed structures on the property and in the adjacent properties including privacy and retaining walls ✓
  - ✓ B. Square footage of each structure
  - ✓ C. Proposed of each structure
  - NA D. Temporary structures sign and other improvements
  - ✓ E. Wall(s), fence(s), and screening: height, length, color, and materials. Show cross-sections for retaining walls. sh. # 1A
  - ✓ F. Dimensions of all principal site elements
  - ✓ G. Loading facilities
  - NA H. Site lighting (height, type, and intensity) none, see note

2. **Non-Structural and Parking**

- ✓ A Parking design with spaces numbered per aisle and totaled. Existing
1. Location
  2. Arrangements
  3. Dimensions
  4. Turning spaces
  5. Drives
  6. Aisles
  7. Ingress
  8. Egress
  9. Number of spaces required:  
Provided:
- NA- 10. Handicapped parking, spaces required:  
Provided:
- NA- B. Bicycle racks, spaces required:  
Provided:
- ✓ C. Refuse container and enclosure, if applicable

NA- C. **Street and Circulation**

1. Identification and location of public or private streets and alleys with proper name, existing and proposed width dimensions.
2. Curve radii
3. Right-of-Way width
4. Pavement width, flow line to flow line including medians and median cuts.
5. Sidewalk widths and locations, existing and proposed.
6. Rail spurs, if applicable
7. Location of traffic signs and signals related to the functioning of the proposal.
8. Bikeways
9. Bus facilities, including bays and shelters where required.
10. Curb cut size and type.
11. Provisions for non-auto transportation, including transit and bicycle related improvements and pedestrian linkage.

D. **Utilities**

- NA- 1. Fire hydrant locations, existing and proposed. none, see notes
2. Distribution lines
- ✓ 3. Right-of-Way and easements, existing ✓ and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ✓ 4. Existing water, sewer, storm drainage facilities (public and/or private).
- ✓ 5. Proposed water, sewer, storm drainage facilities (public and/or private)

NA- E. **Phasing**

1. Proposed phasing of improvements and provision for interim facilities  
Information on future phasing should be included if applicable.

## SHEET #2 - LANDSCAPING PLAN

If appropriate maybe shown on sheet #1, site plan with the approval of planning staff.  
See article 6-1-1-1 at all water conservation/water waste and maintenance statement.

- ✓ 1. Scale - must be same as scale on sheet #1 - Site plan
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Property Lines
- ✓ 5. Existing and proposed easements
- ✓ 6. Identify nature of ground cover materials
  - A. Impervious areas (pavements, sidewalks, slope pavings, curb, and gutters, etc.).
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.).
  - C. Ponding areas either for drainage or landscaping/recreational use.
- ✓ 7. Identify nature, location and size of shrubbery and trees (common and/or botanical names).
  - ✓ A. Existing, indicating whether it is to be preserved or removed.
  - ✓ B. Proposed, to be established for general landscaping.
  - ✓ C. Proposed, to be established for screening/buffering. ✓
- ✓ 8. Irrigation System
- ~~N.A.~~ 9. Planting Beds
- ~~N.A.~~ 10. Turf Area - only 20% of landscaped area can be high water turf, in square feet and percentage.
- ✓ 11. Responsibility for maintenance
- ~~N.A.~~ 12. Statement of Water Waste, etc.
- ✓ 13. Landscaped area requirement, in square feet and percent:
- ✓ 14. Landscaped area provided, in square and percent:

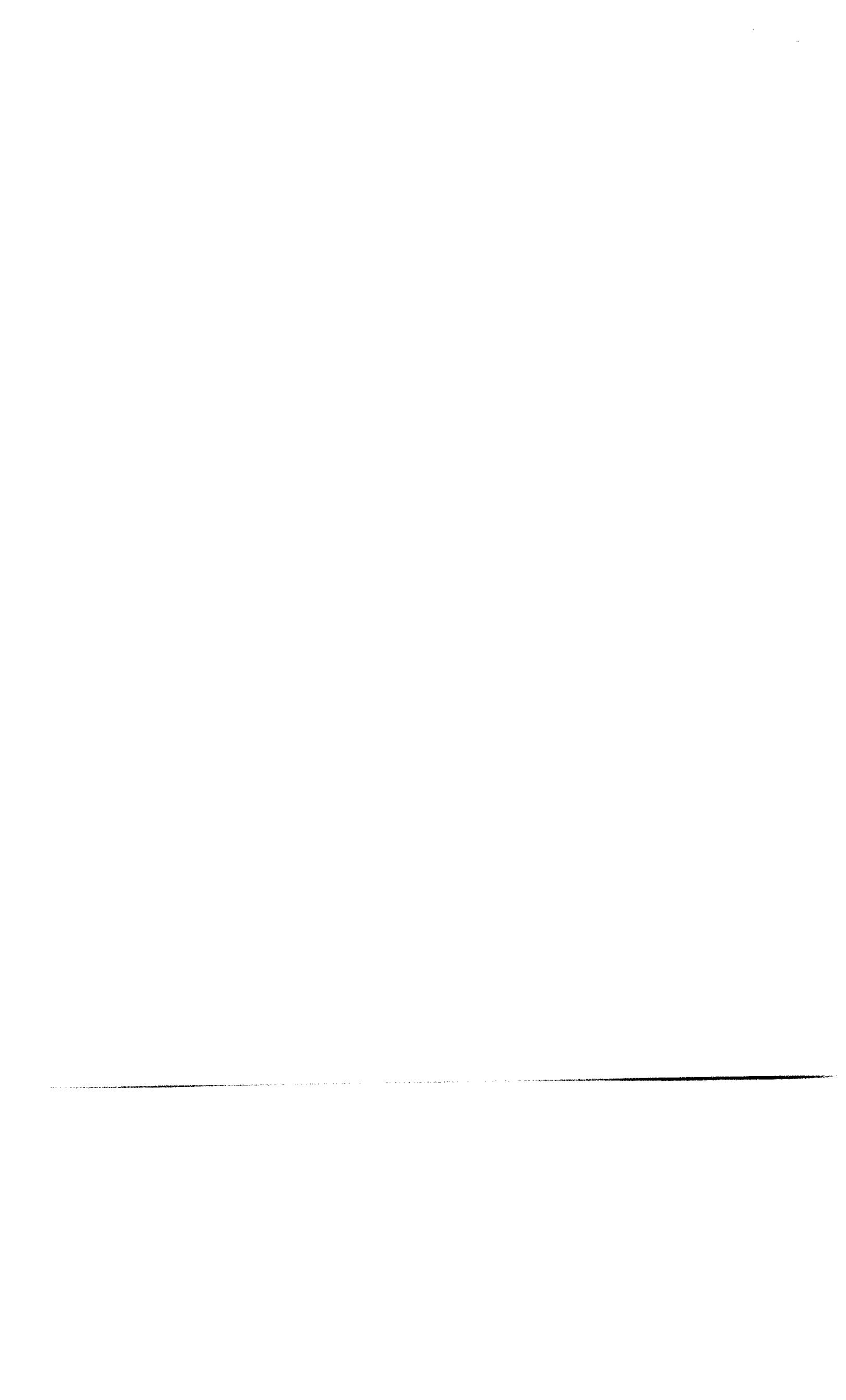
## SHEET #3 - GRADING PLAN

### A. General Information

- ✓ 1. Scale - must be same as Sheet #1 - Site Plan
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Existing topography and structural improvements within at least 25 feet beyond property boundaries (more may be required).
- ✓ 5. Property Lines
- ✓ 6. Existing and proposed easements
- ✓ 7. Proposed contours and/or spot elevations
- ~~N.A.~~ 8. Retaining walls

### B. Proposal

- ✓ 1. Grading submittals, ponding areas, erosion and sediment control facilities.
  - ✓ A. Conceptual grading and drainage plan
  - ✓ B. Drainage plan (maybe required for other submittals)
  - ✓ C. Drainage Report (maybe required for other submittals) *will submit to Hydrology separately.*
- ✓ A. Cross Sections  
Provide cross section for all perimeter property lines at the point of the greatest grade change. Where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the reference point.



- ✓ B. Spot Elevation  
Provide spot elevations existing and proposed within 20 feet of both sides of the property line, not to exceed intervals of 100 feet.

- N.A. C. Grade Changes  
Identify grade change on the site greater than 2 feet with shading or a single cross-hatch. Identify grade changes greater than 4 feet with darker shading or a double cross-hatch.

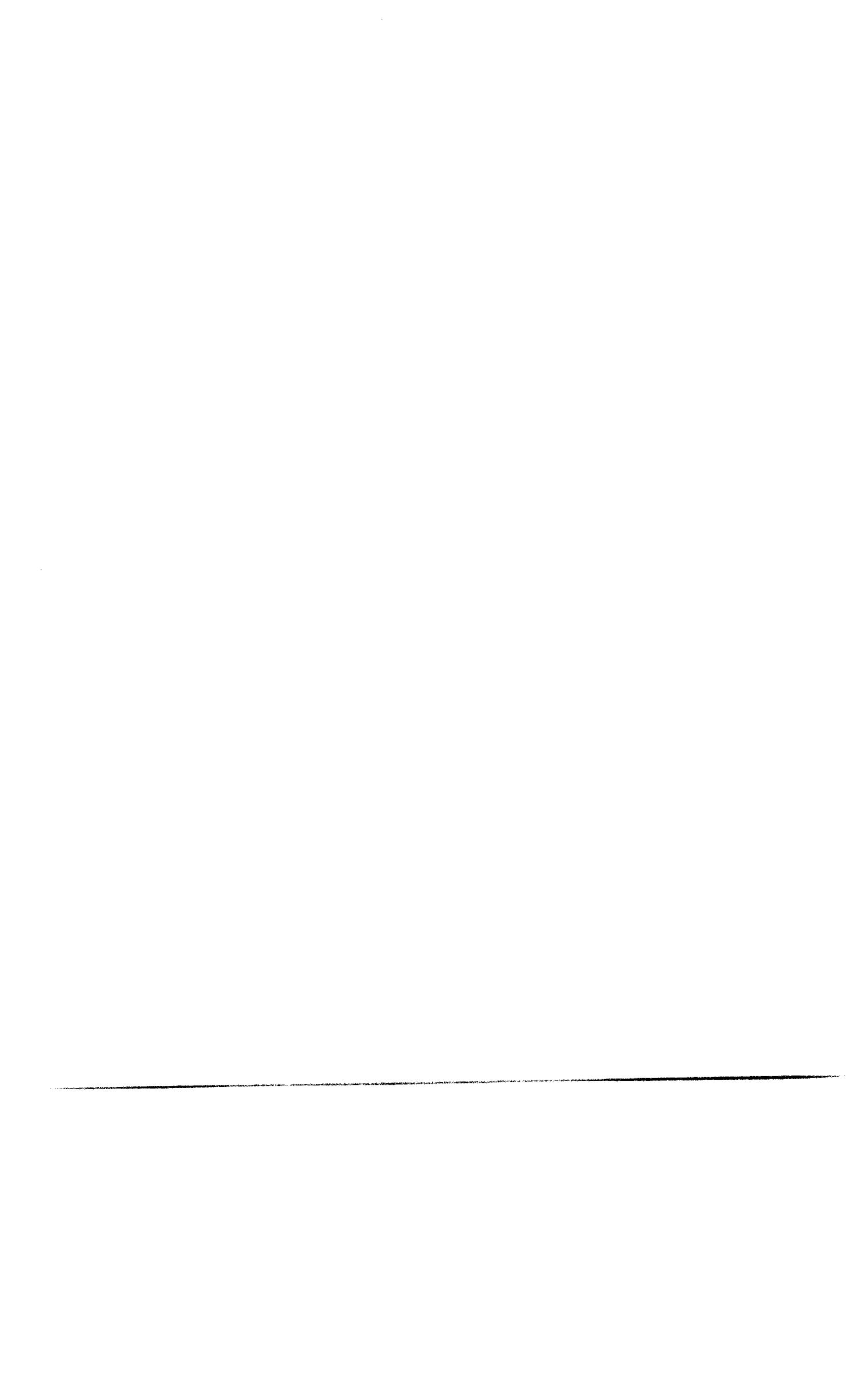
## **SHEET #4 - BUILDING AND STRUCTURES OF ELEVATIONS TO SCALE**

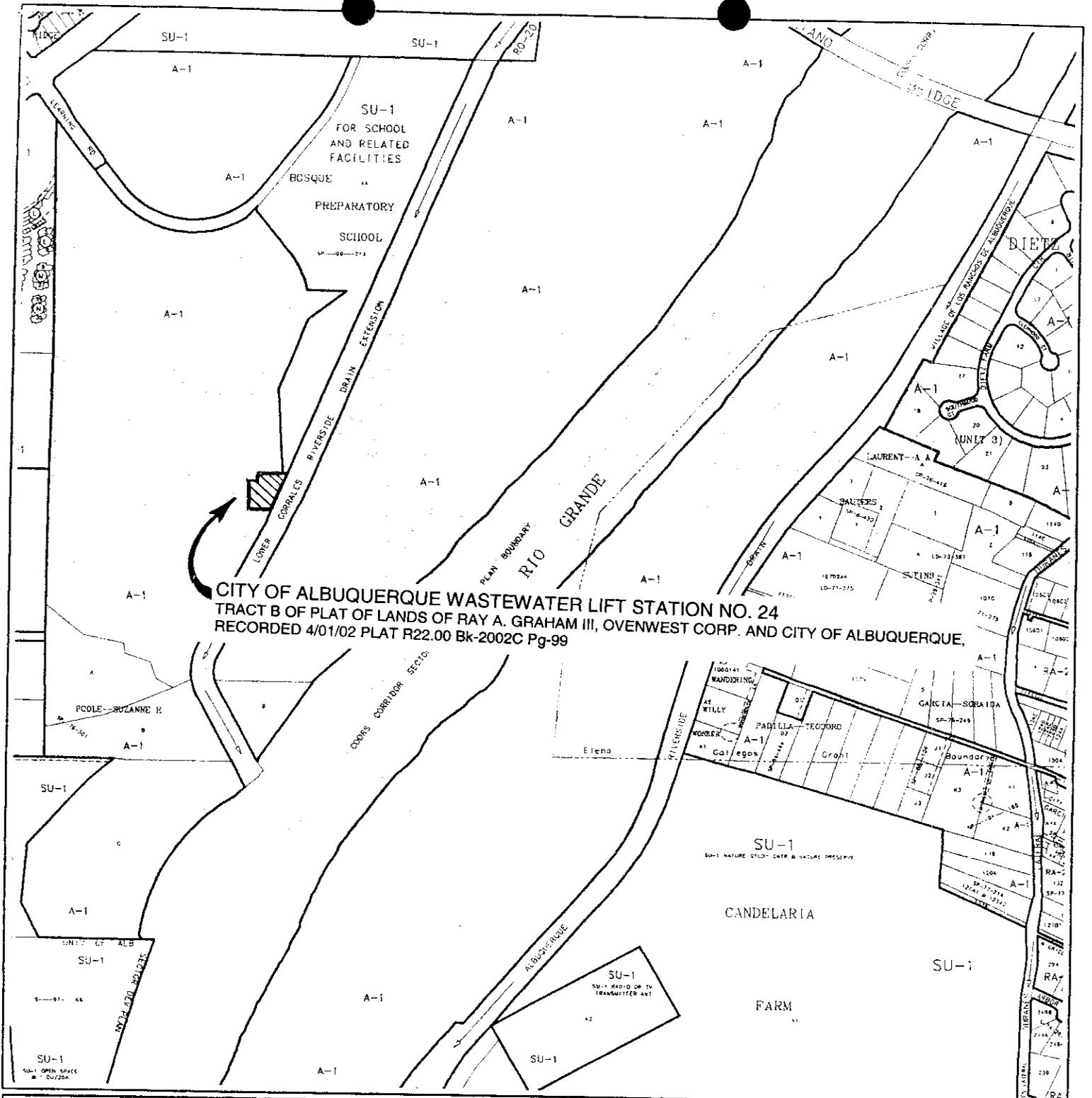
### **A. General Information**

- ✓ 1. Scale (minimum of 1/8" or as approved by Planning Staff).
- ✓ 2. Bar Scale
- ✓ 3. Facade orientation (elevation of all sides of the buildings)
- ✓ 4. Dimension, to scale if not shown in plan including overall height and width, and dimensions of major facade elements.
- N.A. 5. Location materials and colors of windows<sup>N.A.</sup> and building entrances
- ✓ 6. Materials and colors of buildings and structures

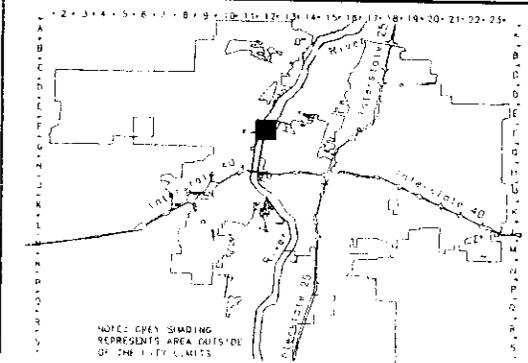
### **N.A. B. Signage**

- 1. Elevations
- 2. Location
- 3. Height and width
- 4. Sign face area
- 5. Lighting
- 6. Materials and Colors
- 7. Additional information including, renderings, perspective drawings may be submitted.
  - A. Samples
    - 1. Presentation Models
    - 2. Photos





**CITY OF ALBUQUERQUE WASTEWATER LIFT STATION NO. 24**  
 TRACT B OF PLAT OF LANDS OF RAY A. GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE,  
 RECORDED 4/01/02 PLAT R22.00 Bk-2002C Pg-99



NOTES: GREY SHADING REPRESENTS AREA DEDICATED BY THE CITY OF ALBUQUERQUE

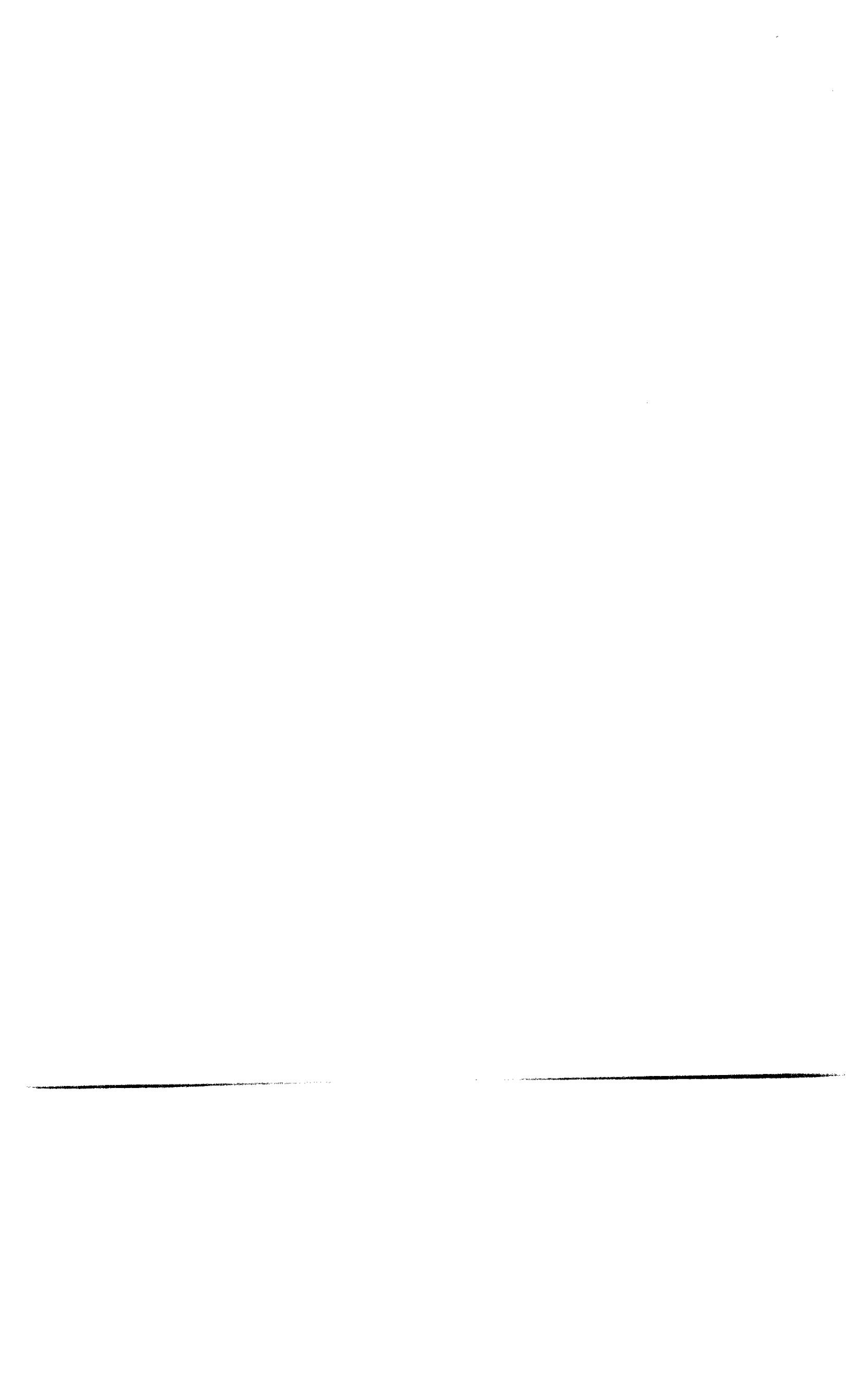


**CITY OF Albuquerque**  
**A**lbuquerque **G**eographic **I**nformation **S**ystem  
**PLANNING DEPARTMENT**  
 © Copyright 2002



**Zone Atlas Page**  
**F-12-Z**

Map Amended through April 03, 2002



# SIGN POSTING REQUIREMENTS

## POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staple are best for attaching signs to a post or backing; the sign tears out less easily.

### 4. TIME

Signs must be posted from June 5, 2002 To June 20, 2002

### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

William J. Balch      4/24/2002  
(Applicant or Agent)      (Date)

I issued 1 signs for this application, 4/24/02 Paul Landa  
(Date)      (Staff Member)

