

CITY OF ALBUQUERQUE  
DEVELOPMENT SERVICES DIVISION  
P.O. BOX 1293, ALBUQUERQUE, NM 87103

GSL Properties, Inc.  
2164 S.W. Park Place  
Portland, OR 97205

October 29, 2001

**CERTIFICATION OF ZONING**

FILE: 00110-01644/0128-01645/0128-  
01646/0128-01647 (Project 1000938)

DATE OF FINAL ACTION: March 1, 2001

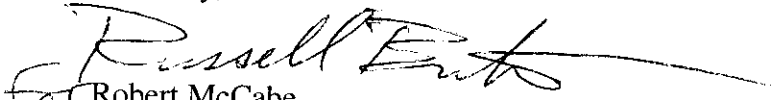
LEGAL DESCRIPTION: Tract G-3 & Tract  
H-1 (Tracts G-3-A, G-3-B and H-1), Manzano  
Mesa Addition, located on Eubank SE  
between Central Avenue SE and Sandia  
National Labs SE, containing approximately  
36.3 acres. (L-21) Debbie Stover, Staff  
Planner

THE POSSIBLE APPEAL PERIOD HAVING EXPIRED, THE ZONING ON THE ABOVE CITED  
PROPERTY IS NOW CHANGED AS FOLLOWS:

**FROM SU-1 FOR O-1 AND SU-1 FOR R-2 TO  
SU-1 FOR R-2 AND SU-1 FOR O-1  
(SU-1 FOR R-2 FOR TRACTS G-3-A AND G-3-B;  
SU-1 FOR O-1 FOR TRACT H-1)**

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of this case does not constitute approval of plans for a building permit. You should take two copies of your plans to the Building & Inspection Division of the City to initiate a building permit.

Sincerely,

  
Robert McCabe  
Planning Director

RM/RB/nat

cc: Zoning  
Neal Weinberg/AGIS



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cc: GSL Properties, Inc., 2164 S.W. Park Place, Portland, Or 97205  
Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123  
Joe Ando, 13200 Mountain Shadows Rd. NE, Albuquerque, NM 87111-5530  
Ray Baron, HC 75 Box 122 Chama, NM 87520  
Mark Burton, 12500 Charla Ct. SE, Albuquerque, NM 87123  
Ed Candelaria, 1053 Colt Ln. SE, Albuquerque, NM 87123  
Henry Crocket, 404 Rainbow Ct. SE, Apt. D, Albuquerque, NM 87123  
Diane Davidson, 12800 Piru SE, Albuquerque, NM 87123  
Marylyn Floro, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Frank Gallaspy, 1308 Kentucky SE, Albuquerque, NM 87108  
Joanne Gladin de la Fuente, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Susan Henderson, 1031 Los Padres SE, Albuquerque, NM 87123  
Dolores Keane, 828 Trading Pose Trail SE, Albuquerque, NM 87123  
Karen Kendall, 12924 Piru SE, Albuquerque, NM 87123  
Dave Orwat, 4600 Homestead Tr. NW, Albuquerque, NM 87120  
Dave Saxon, 10836 Wasatch Rd. SE, Albuquerque, NM 87123  
Rose & John Sena, 7820 Zuni SE, Albuquerque, NM 87123  
Dave Smith, 12536 Elyse Pl. SE, Albuquerque, NM 87123  
John Smokov, 608 Parkside Pl. SE, Albuquerque, NM 87123  
Janette Vanderkamp, 300 Dorado Pl. SE, Albuquerque, NM 87123  
Phil York, 12705 Elyse Pl. SE, Albuquerque, NM 87123

*Attachments*

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## CITY OF ALBUQUERQUE AGENCY COMMENTS

### PLANNING DEPARTMENT

#### Zoning Code Services

"Reviewed, no comment."

### PUBLIC WORKS DEPARTMENT

#### Transportation Development Services:

No adverse comment on the proposed zone change request.

Conditions of approval for the proposed site plan for subdivision purposes should include:

- A) A TIS for this site plan was not required due to its previous inclusion in the Manzano Mesa Development. However, this subdivision must participate in the off-site improvements as determined by the DRB. Including intersection improvements, signalization, etc., at remote locations.
- B) Dedication of rights-of-way for and construction of Eubank Boulevard, Stephen Moody Street, and La Entrada Avenue. Construction of appropriate bicycle facilities as required by newly approved Bikeway Master Plan.
- C) Provision of cross-access and reciprocal parking easements, between the proposed parcels, and with the adjacent parcels is needed.

Conditions of approval for the proposed site plans for building permit for should include:

- A) The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
- B) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets.
- C) Proposed circulation drives and internal parking areas must be paved as per DPM standards.
- D) The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
- E) Location of refuse enclosures, walls, fences and signs must meet the clear sight distance requirements.
- F) Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
- G) Coordination with the Solid Waste Department with regard to refuse container location and access.
- H) Street Trees are required along Eubank Boulevard.

#### Utility Development:

No comment on use. The utility plan appears to show the private water system with illegal looping connection to public lines. This must be corrected. A water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action.

#### Traffic Engineering Operations:

Request left turn bays be introduced on Eubank to allow good access to the project location.

#### Hydrology:

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The Hydrology Section has no objection to the zone map amendment request. An approved conceptual grading and drainage plan is required for site plan sign-off by the City Engineer / AMAFCA.

**Transportation Planning:**

No objection to zone map amendment. However, at this time we cannot recommend approval of "site plan for subdivision" or "site plan for building permit". The site plans need to show additional and definitive information about the Eubank Boulevard right-of-way. Eubank is a designated Principal Arterial on the Long Range Roadway System map, to have a 156-foot right-of-way. At the present time, however, the width and location of the right-of-way are under study by the Public Works Department. In any case, the applicant's site plan does not show a definitive property line or right-of-way line. This matter must be resolved before continuing; we do not want the resolution of this matter to be stated as a condition of approval

**ENVIRONMENTAL HEALTH DEPARTMENT**

**Air Quality Division**

"No Comment."

**Environmental Services Division**

**NEIGHBORHOOD SERVICES**

"no association."

**PARKS AND RECREATION**

**Planning and Design**

Future platting action will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Dedication of land suitable for development of a neighborhood park or a fee in-lieu of and equal to the value of the required park land dedication will be required. The Manzano Mesa Subdivision met its park dedication requirement through the original dedication of lands related to Manzano Mesa Park in 1990.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

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The Trails & Bikeways Facility Plan proposes a Primary Trail along the east side of Eubank Blvd. in this location. In this case, we will require construction of a 10' asphalt trail in-lieu of sidewalk. Additionally, please allow for at least 5' of separation between the trail and face of curb and a minimum of 3' between the trail and wall or other vertical element. Be advised that landscaping improvements along the asphalt trail must not encroach on the trail itself. Trees must be a minimum of 3' away from the trail and shrubs, at their mature spread, must not encroach on the trail. The proposed landscaping along Eubank appears to encroach into the sidewalk/trail area. Design of the trail shall be coordinated with the Trails Planner Diane Scena.

**OPEN SPACE DIVISION**

**POLICE DEPARTMENT/Planning**

"No Adverse Comment."

**SOLID WASTE MANAGEMENT DEPARTMENT**

**Refuse Division**

Approved on condition will have self contained compactor. Centrally located cart/container enclosures should be placed throughout the complex. Call T.L. Baca 761-8142

**FIRE DEPARTMENT/Planning**

**TRANSIT DEPARTMENT**

Comments pending

**COMMENTS FROM OTHER AGENCIES**

**BERNALILLO COUNTY**

**ALBUQUERQUE METROPOLITAN FLOOD CONTROL AUTHORITY**

"No objection."

**ALBUQUERQUE PUBLIC SCHOOLS**

The **Manzano Mesa Apartments** within the Manzano Mesa subdivision will affect Wherry Elementary School, Van Buren School, and Highland High School. The elementary school should be able to accommodate the students potentially generated by the development. *The APS Facilities Master Plan includes a new elementary school in the Manzano Mesa subdivision slated to open in the fall of 2002. There will be a wholesale change in elementary school boundaries in the area leading up to fall 2002.*

If enrollment at schools continues to increase, APS policy requires that the district examine boundary changes, alternative schedules, transportation to less crowded schools, and/or combinations of the above strategies to relieve overcrowded facilities.

**MIDDLE RIO GRANDE COUNCIL OF GOVERNMENTS**

No adverse comment. For information, the Long Range Roadway System designates Eubank Boulevard as a principal arterial. In addition, the Long Range Bikeway System proposes a bike lane on Eubank.

# General Ledger Transactions - Current Fiscal Year (NP)

Snapshot Time: 2/22/01 03:31PM

Drill Through: Account Description - GL Transactions Historical (NP) (Filters: Activity & Account)

Account Description	Date Posted	Source Cd	Dr Cr	Amount	Description 1	Description 2
4961000 COMMUNITY AND NEIGHBORHOOD COORDINATION						
0510800 TEMPORARY WAGES	07/14/2000	16071400	10	400.00	PAY PER01 PPE 07/14/2000	
	01/12/2001	16011201	10	320.00	PAY PER14 PPE 01/12/2001	
	01/26/2001	16012601	10	320.00	PAY PER15 PPE 01/26/2001	
		Account Total		1,040.00		
		Activity Total		1,040.00		
		Report Total		1,040.00		

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City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: January 19, 2001


**OFFICIAL NOTIFICATION OF DECISION**

GSL Properties, Inc.  
2164 S.W. Park Place  
Portland, Or 97205

FILE: 00110 00000 01644/00128 00000  
01645/00128 00000 01646/00128 00000 01647  
LEGAL DESCRIPTION: for Tract G-3 & Tract  
H-1, Manzano Mesa Addition, located on Eubank  
SE between Central Avenue SE and Sandia  
National Labs SE, containing approximately 36.3  
acres. (L-21) Debbie Stover, Staff Planner

On January 18, 2001, the Environmental Planning Commission voted to continue 00110 00000  
01644/00128 00000 01645/00128 00000 01646/00128 00000 01647 to the Environmental Planning  
Commission Public Hearing on February 8, 2001.

Sincerely,

  
For Robert R. McCabe, AIA, APA  
Planning Director

RM/DS/ac

cc: Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123



<b>SUBDIVISION</b> Supplemental form <b>S</b> <input type="checkbox"/> Major Subdivision Plat <input type="checkbox"/> Minor Subdivision Plat <input type="checkbox"/> Vacation <input type="checkbox"/> Variance (Non-Zoning)		<b>ZONING</b> Supplemental form <b>Z</b> <input type="checkbox"/> Annexation & Zone Establishment <input type="checkbox"/> Sector Plan <input checked="" type="checkbox"/> Zone Change <input type="checkbox"/> Text Amendment <input type="checkbox"/> Special Exception	
<b>SITE DEVELOPMENT PLAN</b> Supplemental form <b>P</b> <input checked="" type="checkbox"/> ...for Subdivision Purposes <input checked="" type="checkbox"/> ...for Building Permit <input type="checkbox"/> IP Master Development Plan <input type="checkbox"/> Cert. of Appropriateness (LUCC) L		<b>APPEAL / PROTEST of...</b> Supplemental form <b>A</b> <input type="checkbox"/> Decision by: Planning Director or Staff, DRB, EPC, Zoning Board of Appeals, LUCC	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: GSL Properties, Inc. PHONE: (503) 224-2554

ADDRESS: 2164 S.W. Park Place FAX: (503) 223-4463

CITY: Portland STATE OR ZIP 97205 E-MAIL: \_\_\_\_\_

Proprietary interest in site: Owner

AGENT (if any): Consensus Planning, Inc. PHONE: (505) 764-9801

ADDRESS: 924 Park Avenue SW FAX: (505) 842-5495

CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

DESCRIPTION OF REQUEST: Zone change, Site Plan for Subdivision, two Site Plans for building permit

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract G-3 & Tract H-1 Block: \_\_\_\_\_ Unit: \_\_\_\_\_

Subdiv. / Addn. Manzano Mesa Addition

Current Zoning: SU-1 for O-1, SU-1 for R-2 Proposed zoning: Same, only relocate current zoning to other area

Zone Atlas page(s): L-21 No. of existing lots: 2 No. of proposed lots: 2

Total area of site (acres): 36.3 Density if applicable: \_\_\_\_\_ dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_

Within city limits?  Yes No \_\_\_\_\_, but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill?  No

UPC No. 102105603321730314/102105606915330301 MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: Eubank SE and Sandia National Labs SE

Between: Central SE

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): Z-910, AX-24, Z-96-94, Z-96-31, Z-96-9,

Check-off if project was previously reviewed by Sketch Plat/Plan  or Pre-application Review Team . Date of review: 9/19/00

SIGNATURE: James K. Strozic DATE: 11/27/00

(Print) \_\_\_\_\_

\_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #'s are assigned
- AGIS copy has been sent
- Case history #'s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action
<u>00110 -00002-01644</u>	<u>AZM</u>
<u>00128 -00002-01645</u>	<u>SDPS</u>
<u>00128 -00002-01646</u>	<u>SDPB</u>
<u>00128 -00002-01647</u>	<u>SDPB</u>

S.F.	Fees
<u>Z</u>	<u>\$1603.55</u>
<u>PI</u>	<u>\$</u>
<u>PI</u>	<u>\$</u>
<u>PI</u>	<u>\$</u>
	<u>\$</u>
	<u>\$</u>
	<u>\$</u>
	<u>Total</u>
	<u>\$1603.55</u>

Hearing date: 1-18-01

Planner signature / date: J. Pinney 11/27/00 Project # 1000938

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SITE DEVELOPMENT PLAN FOR SUBDIVISION

IP MASTER DEVELOPMENT PLAN

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 30 copies for EPC public hearings.  
For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
  - Site plans and related drawings reduced to 8.5" x 11" format
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility development)
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT OF WIRELESS TELECOM FACILITY

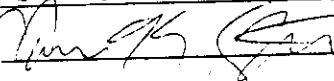
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 30 copies for EPC public hearings.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 30 copies for EPC public hearings.
  - Site plans and related drawings reduced to 8.5" x 11" format
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility development) *in drawing sets*
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- NOTE:** For wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required in addition to those listed above for application submittal:
- Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
  - Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
  - Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
  - Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
  - Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
  - Registered Engineer's stamp on the Site Development Plans
  - Office of Community & Neighborhood Coordination inquiry response as above based on ¼ mile radius
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 30 copies for EPC public hearings
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 30 copies for EPC public hearings
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 30 copies for EPC public hearings
  - Site plans and related drawings reduced to 8.5" x 11" format
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozier (agent)  
 Applicant name (print)  
  
 Applicant signature / date 11/27/02



Form revised September 2000

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 00128 - 00000 - 01143 SDP  
 00128 - 00000 - 01144 SBP  
 00128 - 00000 - 01147  
 Project # 1000938  
 Z. Chavez 11/27/02  
 Planner signature / date

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CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: BOHANNAN HUSTON and CONSENSUS PLANNING Date of request: 11/21/00 Zone atlas page(s): L-21

CURRENT: Zoning SU-1 for O-1, Tract H, SU-1 for R-2, Tract G3 Legal Description - Lot or Tract # portions of Block # - Subdivision Name Tract H and G3, Manzano Mesa

REQUESTED CITY ACTION(S): Annexation [ ] Sector Plan [ ] Site Development Plan: Building Permit [ ] Comp. Plan [ ] Zone Change [x] a) Subdivision [x] Access Permit [ ] Amendment [ ] Conditional Use [ ] b) Build'g Purposes [x] Other [ ] c) Amendment [ ]

PROPOSED DEVELOPMENT: No construction / development [ ] New Construction [x] Expansion of existing development [ ] GENERAL DESCRIPTION OF ACTION: # of units - 500 apartment units on 23 acre Building Size - (sq. ft.)

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative [Signature] Date 11/22/00 (To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [x] NO [ ] BORDERLINE [ ] PWD, Dev. & Bldg. Services Div., Transportation Dev. Section - 2nd FL. 600 2nd St NW Plaza del Sol Bldg. 924-3991 or 3994

THRESHOLDS MET? YES [x] NO [ ] Mitigating reasons for not requiring TIS: Previously studied: [ ] Notes: Part of Manzano Mesa Master Plan, individual mitigation measures will be required. TIS will not be required.

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature] 11/22/00 for TRAFFIC ENGINEER DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES [ ] NO [x] BORDERLINE [ ] ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 768-2600

THRESHOLDS MET? YES [ ] NO [x] Mitigating reasons for not requiring AQIA: Previously studied: [ ] Notes:

IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

[Signature] 11/22/00 ENVIRONMENTAL HEALTH DATE

required TIS and / or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS - SUBMITTED [ ] - FINALIZED [ ] TRAFFIC ENGINEER DATE AQIA - SUBMITTED [ ] - FINALIZED [ ] ENVIRONMENTAL HEALTH DATE

P-01-3, Charter Amendment Proposal to be Submitted to Voters on Election Ballot of October 2, 2001 Municipal Election; Amending the Charter of the City Concerning the Makeup of the Committee to Review District Boundary Revisions (Armijo)

**Placed On Next Council Agenda**

R-01-257, Establishing a Council/Administration Task Force to Review Transit Services and Make Recommendations to the Council Regarding Transit Services for FY2002 (Payne)

**Referred to the Committee of the Whole**

R-01-258, Sector Development Plan Amendment; Amending the Tower/Unser Sector Development Plan and Zone Map to Change the Zoning of Northern Portion Of Lots 2-5, Block 9, Town of Atrisco Grant from County A-1 to RD/9/DU/AC (Armijo)

**Referred to the Land Use, Planning, and Zoning Committee**

R-01-259, Concerning a Municipal Bond Election at the Regular Municipal Election on October 2, 2001; Submitting to a Vote at Such Election Certain Questions for Authorizing the Issuance of General Obligation Bonds and for Specified Public Purposes (Winter, by request)

**Referred to the Finance & Government Operations Committee**

R-01-260, Authorizing Mayor to Execute a Grant Agreement with NM State Highway and Transportation Department for Inter-Modal Surface Transportation Efficiency Act (ISTEA) Funding to Operate a Bicycle Safety Education Program in Outdoor Recreation; Providing Appropriation to Parks and Recreation (McEntee)

**Referred to the Finance & Government Operations Committee**

R-01-261, Authorizing Filing of Grant Application for a Transportation Community and System Preservation (TCSP) Grant with U.S. Department of Transportation, Federal Highway Administration; Providing Appropriation to Transit (McEntee)

**Referred to the Finance & Government Operations Committee**

R-01-262, Approving the FY02 Audit Plan as Submitted by the Internal Audit Committee (Winter, by request)

**Referred to the Finance & Government Operations Committee**

R-01-263, Changing the Street Name of Montgomery Boulevard East of Larchmount Drive to Montgomery Trail (Payne)

**Referred to the Land Use, Planning, and Zoning Committee**

R-01-264, Approving the Binding Letter of Intent to Lease a AAA Minor League Baseball Stadium which Sets Forth the Terms and Conditions Pursuant to Which the Existing Municipal Baseball Stadium may be Renovated or a New Municipal Baseball Stadium may be Constructed; Ratifying All Prior Actions Consistent with this Resolution; Repealing All Prior Actions Inconsistent with this Resolution (Winter, by request)

**Immediate Action Requested**

- A. **Cross Sections**  
Provide cross section for all perimeter property lines at the point of the greatest grade change: Where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the reference point.
- B. **Spot Elevation**  
Provide spot elevations existing and proposed within 20 feet of both sides of the property line, not to exceed intervals of 100 feet.
- C. **Grade Changes**  
Identify grade change on the site greater than 2 feet with shading or a single cross-hatch. Identify grade changes greater than 4 feet with darker shading or a double cross-hatch.

## **SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS**

### **A. General Information**

- 1. **Scale** (minimum of 1/8" or as approved by Planning Staff).
- 2. **Bar Scale**
- 3. **Facade orientation** (elevation of all sides of the buildings)
- 4. **Dimensions**, to scale including overall height and width, and dimensions of major facade elements.
- 5. **Location, material and colors** of windows, doors and framing.
- 6. **Materials and colors** of all building elements and structures.

### **B. Signage**

- 1. **Elevations**
- 2. **Location**
- 3. **Height and width**
- 4. **Sign face area - dimensions and square footage**
- 5. **Lighting**
- 6. **Materials and Colors** for sign face and structural elements.

### **C. Additional information, including, renderings and perspective drawings may be submitted.**

- A. **Samples**
  - 1 **Presentation Models**
  - 2. **Photos**

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# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Since development proposals vary in type and scale, there may be application requirements that are not included here. Nonetheless, it is the applicant's responsibility to provide a complete submittal. Incomplete submittals will be rejected. Site development plans submitted will ordinarily be composed of the following plan sheets:

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading Plan
4. Building and Structure Elevations

Submitted plans shall be organized in the above manner. The following checklist describes the minimum information necessary for element. The Applicant shall check off all items shown on the site plan or label as NA, if not applicable.

### Accompanying Material - Fee payment

- A. Complete application with summary.
- B. 8 1/2" x 11" reductions

## SHEET #1 - SITE PLAN

### General Information

- 1. Scale
 

Under 1.0 acre	1" = 10'
1.0 - 5.0 acres	1" = 20'
Over 5 acres	1" = 50'
Over 20 acres	1" = 100'
Other scales as approved by staff	
- 2. Bar Scale
- 3. North Arrow
- 4. Scaled Vicinity Map
- NA 5. Existing structures on site and on sites adjacent to the proposal that may impact, or may be impacted by the project.
- 6. Property lines
- 7. Existing and proposed easements (identify each)

### B. Proposed Development

#### 1. Structural

- A. Location of existing and proposed structures on the property and on adjacent properties, including privacy and retaining walls (distinguish between proposed and existing structures).
- B. Square footage of each structure
- C. Proposed use of each structure
- NA D. Temporary structures, signs and other improvements
- E. Wall(s), fence(s), and screening: height, length, color and materials. Show cross-sections for retaining walls.

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- F. Dimensions of all principal site elements
- G. Loading facilities
- H. Site lighting (height, type, and intensity)

## 2. Non-Structural and Parking

- A. Parking design with spaces numbered per aisle.
  - 1. Location
  - 2. Arrangements
  - 3. Dimensions and curve radii
  - 4. Turning spaces
  - 5. Drives
  - 6. Aisles
  - 7. Ingress
  - 8. Egress
  - 9. Number of spaces required: 502
  - 10. Handicapped parking, spaces required: 16
- B. Bicycle racks, spaces required: 140 spaces
- C. Elevation drawing of refuse container and enclosure, if applicable.

## C. Street and Circulation

- 1. Identification and location of public and private streets and alleys with proper name, existing and proposed width dimensions.
- 2. Curve radii
- 3. Right-of-Way width
- 4. Pavement width (flow line to flow line) including medians and median cuts.
- 5. Sidewalk widths and locations, existing and proposed.
- 6. Rail spurs, if applicable
- 7. Location of traffic signs and signals related to the functioning of the proposal.
- 8. Bikeways
- 9. Bus facilities, including bays and shelters where required.
- 10. Curb cut size and type.
- 11. Provisions for non-auto transportation, including transit and bicycle related improvements and pedestrian linkage.

## D. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## E. Phasing

- 1. Proposed phasing of improvements and provision for interim facilities. Information on future phasing should be included. If applicable, indicate location and square footage.

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## SHEET #2 - LANDSCAPING PLAN

If appropriate, landscaping maybe shown on sheet #1 with the approval of Planning staff. See article 6-1-1-1et.al., the Water Conservation Landscaping and Water Waste Ordinance for specific restrictions, regulations, standards, and requirements

1. Scale - must be same as scale on sheet #1 - Site plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements
6. Identify nature of ground cover materials
  - A. Impervious areas (pavements, sidewalks, slope pavings, curb, and gutters, etc.).
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.).
  - C. Ponding areas either for drainage or landscaping/recreational use.
7. Identify nature, location and size of shrubbery and trees (common and/or botanical names).
  - A. Existing, indicating whether it is to preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
8. Irrigation System
9. Planting Beds
10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
11. Responsibility for maintenance (Statement)
12. Statement of Water Waste, etc.
13. Landscaped area requirement; square footage and percent: 67,305 ✓
14. Landscaped area provided; square footage and percent: 45% = 216,574 ✓

## SHEET #3 - GRADING PLAN

### A. General Information

1. Scale - must be same as Sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Existing topography and structural improvements within at least 25 feet beyond property boundaries (more may be required).
5. Property Lines
6. Existing and proposed easements
7. Proposed contours and/or spot elevations
8. Retaining walls

### Proposal

1. Grading submittals, ponding areas, erosion and sediment control facilities:
  - A. Conceptual grading and drainage plan
  - B. Drainage plan (maybe required for other submittals)
  - C. Drainage Report (maybe required for other submittals)

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- A. Cross Sections**  
Provide cross section for all perimeter property lines at the point of the greatest grade change: Where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the reference point.
- B. Spot Elevation**  
Provide spot elevations existing and proposed within 20 feet of both sides of the property line, not to exceed intervals of 100 feet.
- C. Grade Changes**  
Identify grade change on the site greater than 2 feet with shading or a single cross-hatch. Identify grade changes greater than 4 feet with darker shading or a double cross-hatch.

**SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS**

**A. General Information**

- 1. Scale (minimum of 1/8" or as approved by Planning Staff).
- 2. Bar Scale
- 3. Facade orientation (elevation of all sides of the buildings)
- 4. Dimensions, to scale including overall height and width, and dimensions of major facade elements.
- 5. Location, material and colors of windows, doors and framing.
- 6. Materials and colors of all building elements and structures.

**B. Signage**

- 1. Elevations
- 2. Location
- 3. Height and width
- 4. Sign face area - dimensions and square footage
- 5. Lighting
- 6. Materials and Colors for sign face and structural elements.

**C. Additional information, including, renderings and perspective drawings may be submitted.**

- A. Samples**
  - 1 Presentation Models
  - 2. Photos

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# **Manzano Mesa Apartments**

## **Zone Map Amendment, Site Plan for Subdivision, & Site Plan for Building Permit Justification**

**Prepared For:**  
GSL Properties & Albuquerque Public Schools

November 27 , 2000

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**INTRODUCTION**

This zone map amendment and concurrent site plan for subdivision, and two separate site plan for building permits covers approximately 36.3 acres in southeast Albuquerque. The site is currently divided into two separate pieces, Tract H-1 and Tract G-3, both of the Manzano Mesa Addition (see Figure A). Tract H-1, located at the northwest corner of the site, is made up of 11.3 acres and is currently zoned SU-1 for O-1 uses. Tract G-3, located on the eastern half of the site, is made up of 25 acres, is zoned SU-1 for R-2 uses. The properties are located along the western boundary of the Manzano Mesa Master Plan. Eubank Boulevard runs along the western boundary of the properties. Southern Boulevard is located to the north and Gibson Boulevard is located to the south, although neither are contiguous to the property.

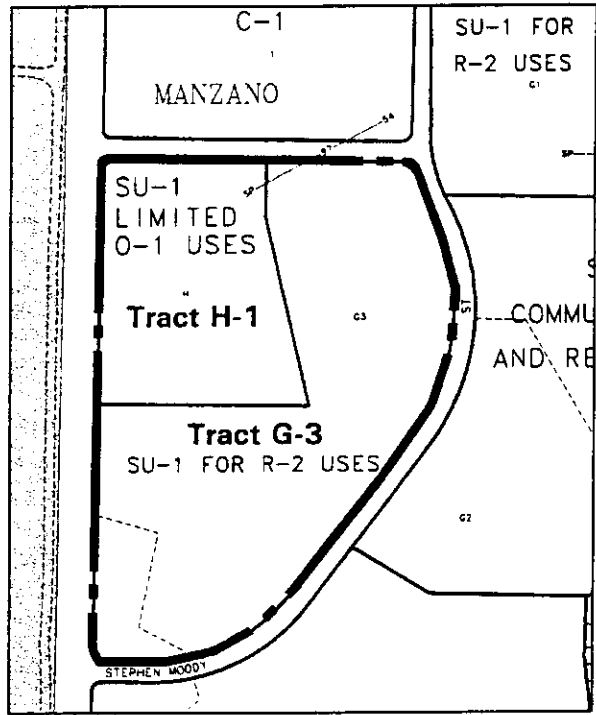


Figure A

The zone map amendment portion of this request seeks to retain the current zoning, but desires to reconfigure the properties so that the 11.3 acres of SU-1 for Office is located to the southern portion of the site, while the 25 acres of SU-1 for R-2 is located to the north (please see figure B). This new configuration would allow greater compatibility between uses in the developing area.

**SITE CHARACTERISTICS AND EXISTING CONDITIONS**

The site is located within the City of Albuquerque boundaries and is situated in a mixed-use area, known as Manzano Mesa. This master planned area consists of commercial, office, park, community center, and multi-family/single family residential uses (please see figure C on page 3). The area has been undergoing dynamic changes for quite some time. The Manzano Mesa community park and multi-generation center, currently being designed and developed, compliments the developing residential areas comprising the eastern portion of the master plan area.

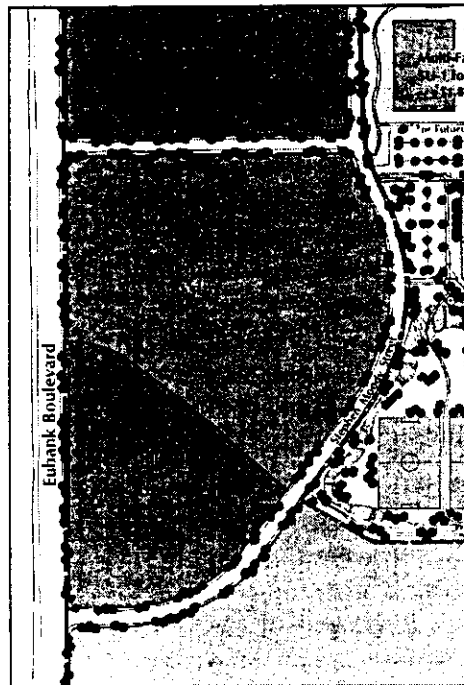


Figure B

These facilities and residences are located immediately east of the subject properties.

In addition to the residential and community facility uses, the area has also undergone significant commercial development. A newly opened Costco Wholesale retail store, comprising 152,000 square feet, is located north of the property across Southern Boulevard. This wholesale store joins a Home Depot store in offering area residents larger scale and bulk item materials. The Costco property was recently rezoned from SU-1 for Limited IP purposes to SU-1 for C-2 (EPC Case Number Z-99-136).

Another significant change taking place in the area is the development of the Sandia Science and Technology Park, which will be located to the south of the property. The +/-219 acre park is planned as a campus style, high technological business park that will provide opportunities for Sandia National Lab's technological trading partners. The Park's development will be especially important to the Lab, given its proximity to the Robotic Manufacturing Science and Engineering Laboratory and the Lab's focus on technological commercialization. The City of Albuquerque and the Park site's landowners (State Land Office, Albuquerque Public Schools, and private landowners) have recently entered into a memorandum of understanding supporting the planning, design, and development of the Park. The Sandia Science and Technology Park Master Plan is scheduled to be submitted to the City of Albuquerque in January.

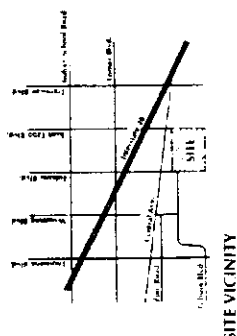
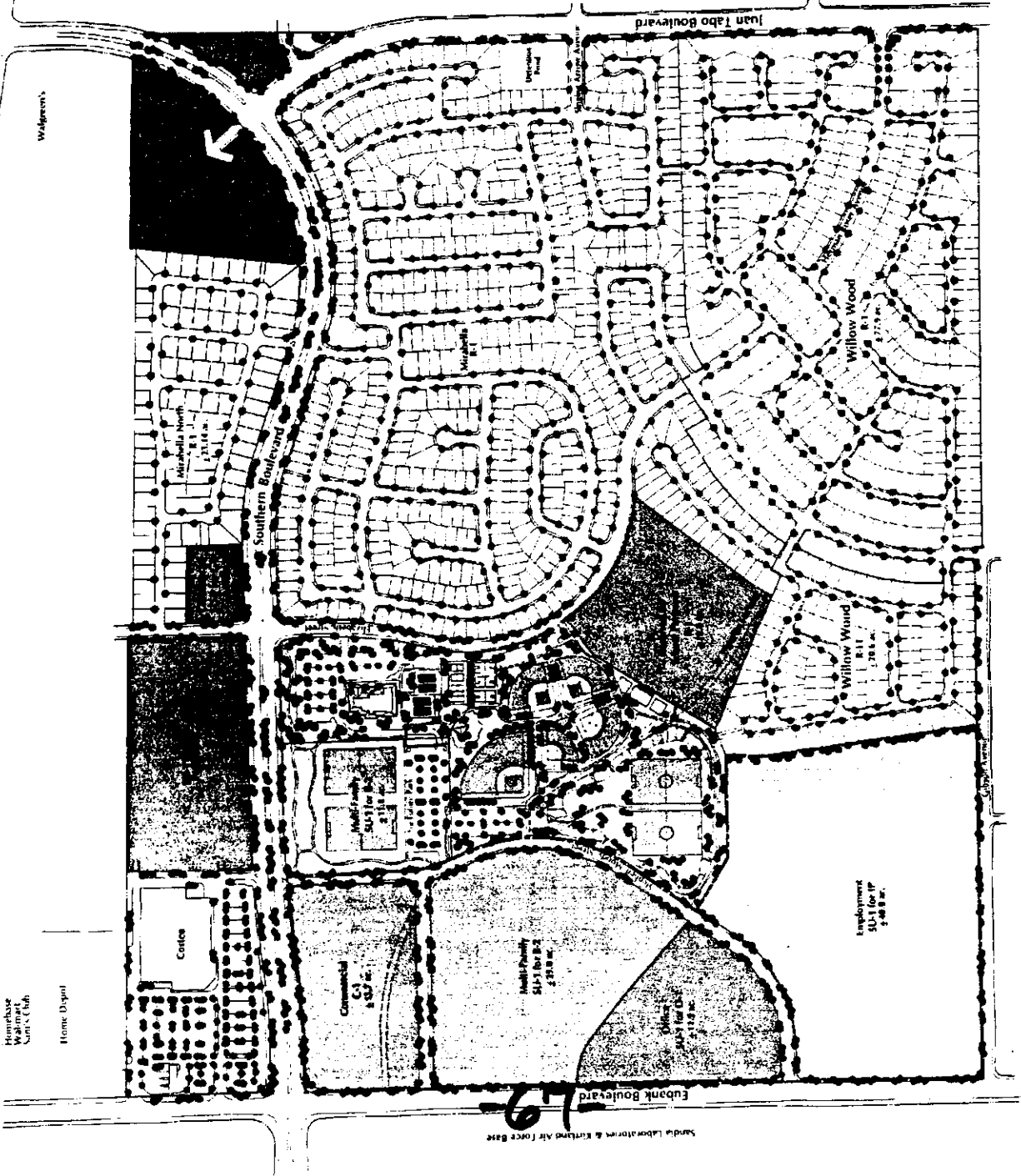
The justification in this request lies in the changing neighborhood conditions in and around the Manzano Mesa community, especially with the development of the Sandia Science and Technology Park. Approval of this zone map amendment would allow the SU-1 for office property to be located adjacent to the northernmost section of the Park, making the uses more compatible. The SU-1 for R-2 uses would be located farther north and buffered from the more intense uses of the Park by the office uses.

#### ADJACENT LAND USE AND ZONING

The following table shows the zoning and current and/or proposed land use for the area around the site.

Direction	Zoning	Land Use	Proposed Land Use
North	C-1	Vacant	Commercial
East	SU-1 for R-2, SU-1 for Community Park	Park, community facilities, school	NA
South	SU-1 for IP	Vacant	Sandia Science and Technology Park
West	NA	Sandia Laboratories and Kirtland Air Force Base	NA

Central Avenue



SITE VICINITY

**SITE DATA**

LAND USE	EXISTING ZONING	AMBS	DENSITY	DIVIDING UNITS
Single family, two detached	R-1	10.5	18 Units	100
Single family, two detached	R-1	10.5	18 Units	100
Multi-unit, detached	MULTI-R-1	16.8	128 Units	100
Community lot	C-1	7.0		
Office	OU-10-A	11.5		
Employment	MULTI-EP	18.0		
Community Park	MULTI-CP	10.8		
Reserved for School Purposes	R-1	10.8		
Public Use	PS-1	4.14		
Total		100.0		1000

**PROPOSED AMENDMENT  
MASTER PLAN**

**Manzano Mesa  
ALBUQUERQUE PUBLIC SCHOOLS**



November 14, 2000

Future Caddis, Science, and Technology Park Lot Is Boundary

**ZONE MAP AMENDMENT JUSTIFICATION – APPLICABLE PLANS AND POLICIES**  
***Albuquerque/Bernalillo County Comprehensive Plan***

The site is located within the Developing Urban area as designated by the Albuquerque/Bernalillo County Comprehensive Plan. Goals and policies applicable to this request are listed below:

***Established and Developing Urban Areas***

The Goal is to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visual pleasing built environment.

- Policy d      The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.
- Policy e      New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where integrity of existing neighborhoods can be ensured.
- Policy l      Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.
- Policy k      Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic.

Based upon these Comprehensive Plan goals and policies:

- The land uses proposed for this site are appropriate and sensitive to the neighborhood character and values. The proposed reconfiguration of the property allowed by this zone map amendment request would allow greater compatibility between uses for the areas as a whole.
- The proposed site has been identified as a priority vacant parcel that can be used for infill development.
- The proposed reconfiguration allowed by the zone map amendment and subsequent site plan for subdivision/building permit will further the Comprehensive Plan goals and objectives for the Developing Urban Area.

**Sector Plan**

This site is not within a sector plan boundary. The Singing Arrow Sector Plan boundary is located east of the Manzano Mesa Master Plan boundary.





### **Trails & Bikeways Facility Plan**

The Trails & Bikeways Facility Plan is a Rank II Plan which recommends development standards, identifies specific site locations, and sets of priorities for the use of public funds for planning multi-use trail systems throughout the City. The Plan identifies a planned primary trail along Southern Ave. SE that crosses in front of the Costco site, thus allowing people living in the multi-family residential units, and working at the Costco, the opportunity to ride their bikes to work. According to the Plan, primary trails serve two purposes. The first purpose is to serve as part of the regional transportation network, meaning that cyclists can use the trail as a commuting route. Employees in the area will be able to use the trail to get to work. In addition, consumers and area residents visiting the commercial uses will have the option of cycling to the site. The secondary purpose of the trail is recreation.

The Plan also proposes a secondary trail that will be located along Eubank Blvd. SE and will also run along the western edge of the property. The purpose of the secondary trail will be to supplement the primary system and provide for a separation of recreational users to commuters.

### **Resolution 270-1980**

The proposed zone map amendment and reconfiguration of the property meets the requirements set forth in Resolution 270-1980.

- A. The zone map amendment is consistent with the health, safety, morals, and general welfare of the City. The reconfiguration of the property allowed by the zone map amendment and subsequent development of both commercial and residential development will benefit the community in many ways. First, the reconfiguration will allow for a greater compatibility of uses (within an already mixed-use area).

The SU-1 for O-1 uses will be located just north of the Sandia Science and Technology Park and will provide a buffer between the multi-family housing. In addition, the multi-family housing that will develop on the northern portion of the site will meet the demand for affordable housing in a growing residential area. The multi-family housing will give residents an opportunity to live near a major employment center (Sandia Labs, Air Force Base, and Technology Park). This, in turn, will benefit the entire City by reducing vehicle trips.

In addition, by allowing the SU-1 for O-1, economic development potential of the area can be greatly enhanced by allowing offices to locate next to the Science and Technology Park. High-Technology firms and businesses would be attracted to the area especially if the potential for a relationship with the Science and Technology Park was available on an adjacent piece of property.

Finally, the development of the property will remove hazards on the property, particularly the accumulation and/or illegal dumping of trash, which pose threats to the community as the area develops.

B. This request recognizes that stability of land use and zoning is desirable. The reconfiguration allowed by this zone map amendment would allow more compatible uses to be located next to each other. The SU-1 for Office would locate next to the Science and Technology Park creating synergy between the two properties.

C. This zone map amendment request is not in conflict with adopted City plans or policies. In fact, it furthers the goals and policies of the City of Albuquerque/Bernalillo County Comprehensive Plan and infill development policies of the City of Albuquerque. The Comprehensive Plan calls for a land use that is sensitive to existing neighborhood values. By allowing for the reconfiguration of the property, more compatible uses will be grouped together. This request is not asking for anything not already approved and anticipated for by the Manzano Mesa Master Plan, but seeks only to reconfigure the properties for better compatibility between uses.

In addition, the character of development that will take place on this site helps to achieve City goals of encouraging infill and mixed-use development. The vacant site is in close proximity to the City's priority sites for infill. The site is also within the existing City service area and will help to fulfill this goal. The mixed-use nature of the development will also lend itself well to transit and pedestrian modes of transportation.

D2. The changing conditions present in the neighborhood justify this zone map amendment. The developing Sandia Science and Technology Park is providing 200 acres of industrial park land that will impact the area greatly. The driving force behind this zone map amendment is the fact that reconfiguration of the site, allowing the location of SU-1 for O-1 next to the Park is advantageous to the community since it groups compatible uses together. This, in turn, can influence similar high-Technology firms to locate to the site in order to be next to activities at the Park.

Location of the multi-family housing products in the area will also allow people to live near this emerging employment center, thereby reducing the number of vehicle trips to other employment centers throughout the metro area. As the area develops as an employment center, there will be a demand for a variety of housing products will be satisfied by the multi-family housing planned for this site.

Additionally, the Home Depot and the Costco have been added north of the site, adding commercial uses to the area and making it a truly mixed-use development. These large wholesalers, combined with smaller scale commercial planned for the area serves the growing single family residential areas located to the eastern part of the Master Planned area. These residential areas are buffered from the commercial and the subject site by the Manzano Mesa Park, which contains a number of community facilities including a multi-generation center, and an elementary school.

- E. The proposed uses will not be harmful to the adjacent properties, the neighborhood, or the community, but will be beneficial to existing and future businesses and residents. It does not propose any new zoning categories than those already existing in the area, but only seeks to reconfigure the property for greater compatibility. In fact, approval of this zone map amendment would make existing and proposed land uses more compatible.
- F. The proposed zone map amendment will not require major or unprogrammed capital expenditures by the City. The site is within the urban core of the City of Albuquerque with full urban facilities and services available. In fact, the City has planned many programmed capital improvements to the area in preparation for the Sandia Science and Technology Park. A bill sponsored by Councilor Brasher was passed at the City of Albuquerque Finance Committee on November 13, 2000 and will be on its way to Council. The bill would prioritize money for improvements and to expand Eubank to six lanes in the area.
- G. Economic factors are not the determining factor for this zone map amendment. The primary reason for this zone map amendment is to group compatible uses together, in this case, SU-1 for O-1 to be located next to the boundary of the Science and Technology Park. No new zoning categories are proposed for this site, only a reconfiguration of the property to reflect greater compatibility between uses.
- H. This request recognizes that the location of this property on Eubank Boulevard (a principal arterial) is not by itself a justification for zone map amendment. Although Eubank will provide excellent access for any use on the subject site, the site has been planned for office and multi-family residential development through the Manzano Mesa Master Plan.
- I. This request does not constitute a spot zone since the site is part of an approved Master Plan that emphasizes mixed-use development. This request seeks to reconfigure the property so that more compatible uses will be grouped together.
- J. This request does not constitute strip zoning since the site design will preclude this type of development from occurring. In addition, the uses envisioned for the site, by their very nature, do not lend themselves well to strip development.

**RESOLUTION 91-1998 (R-70)**

Resolution 91-1998 (R-70) establishes an overall direction for implementation of the City's growth policies. The framework emphasizes many elements, many of which are covered by this request.

The area is emerging as a major activity center that will include many opportunities for employment. The growing residential uses located to the east of the site and

the multi-family residential planned for the site will serve the residents employment needs close to home, thereby reducing vehicle miles traveled to other parts of the metro area. In addition, the Long-Range Major Street System designates Eubank as a principal arterial, making it a commercial corridor. The mixed-use nature of development in the Manzano Mesa community will also enhance the viability for transit.

### CONCLUSIONS

- This request is for a zone map amendment and concurrent site plan for subdivision and site plan for building permit.
- This request covers 36.3 acres, making up two different properties. One property consists of 11.3 acres and is zoned SU-1 for O-1, while the other property is 25 acres and is zoned SU-1 for R-2 uses.
- This zone map amendment is not requesting new zoning categories but only seeks to reconfigure the properties in such a way that the SU-1 for O-1 property is located to the south, adjacent to the programmed Sandia Science and Technology Park. This will ensure greater compatibility between land uses.
- Multi-family residential units are planned for the SU-1 for R-2 portion of the property.
- This request is consistent with City of Albuquerque plans and policies and meets the City's desires for mixed-use and infill development. In addition, the site is fully serviceable with City of Albuquerque infrastructure.
- This request is based on changing neighborhood conditions brought on by residential and commercial development in the area. The developing Sandia Science and Technology Park is one of the most significant changed conditions in the immediate area. This request seeks to reconfigure the site so that SU-1 for O-1 property is contiguous to the Park. Other changed conditions include; commercial development anchored by a newly opened Costco and Home Depot; community park and community facilities; and single family residential development to the east of the site.
- The area is emerging as a major employment center, characterized by a mix of uses that will help reduce vehicle miles traveled and provide residents with many employment opportunities close to where they live.
- This project helps to implement the Comprehensive Plan as well as the policies of R-70.

Based upon these reasons, we respectfully request that the Environmental Planning Commission approve this request.



GSL PROPERTIES, INC.

November 21, 2000

Mr. Chuck Gara, Chairman  
Environmental Planning Commission  
600 Second Street NW  
Albuquerque, NM 87102

RE: MANZANO MESA TRACTS G-3, H-1

Dear Chairman Gara:

The purpose of this letter is to authorize Consensus Planning to act as our agents for this submittal for zone map amendment and site plan subdivision for Manzano Mesa, Tract's G-3 and H-1 to the Environmental Planning Commission.

Please feel free to call me at (503) 944-6503 if you have any questions.

Sincerely,

A handwritten signature in black ink that reads "David Bantz". The signature is fluid and cursive, with the first and last letters of each name being capitalized and prominent.

David Bantz, Development Manager  
GSL Properties, Inc.

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2164 S.W. Park Place Portland, Oregon 97205-1125 (503) 224-2554 FAX (503) 223-4463

**Project # 1000938**

**Facilitator's Report**

dated: January 26, 2001

Facilitated Meeting Held            January 25, 2000            5:30 p.m.

Between

**Applicant/Agent:** GSL Properties, Inc./Consensus Planning, Inc.

and

**Neighborhood Association(s):** Willow Wood & Singing Arrow Neighborhood Associations

RE: Project #1000 which requests zone map amendment to reconfigure the properties so that the 11.3 acres of SU-1 for Office is located to southern portion of the site, while the 25 acres of SU-1 for R-2 is located to the north, concurrent site plan for subdivision, and two separate site plan for building permits covering approximately 36.3 acres in southeast Albuquerque

**Facilitator:** Paul Splett

**Summary:** This meeting was held with limited time. It began with a discussion of the Willow Wood Neighborhood's concern about the aesthetics of the project. Members of the Singing Arrow Neighborhood Association and real estate owners in the area turned the discussion to whether or not more apartments were actually needed in the area, and it was agreed that the meeting should proceed with the assumption that apartments were going to be built since the area has already been zoned for apartments and multi-family dwellings since 1990. As time ran out, all parties agreed that more information was needed and that Consensus Planning, Inc. would submit its changes the next day, and then try to schedule another facilitated meeting with the developer present to answer the necessary questions to proceed.

**Notes From Meeting:**

Issues raised and their subsequent discussions were the following:

- 1) Concern about the aesthetics of the apartment buildings
  - a) Willow Wood NA expressed concern that they remain consistent with the current Mediterranean/Scottsdale style
  - b) Willow Wood NA expressed concern in the lack of detail

-It was agreed that all parties would meet again to discuss working together on possible changes to the design

- 2) Willow Wood and Singing Arrow expressed concern about the targeted income range the apartments would attract.

-Consensus Planning stated that there was no known plan to target lower income individuals but that this should be discussed at the next meeting.



## City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

November 15, 2000

Planning Department  
Plaza Del Sol Building  
600 Second St. NW  
Second Floor (924-3860)

This letter will serve to notify you that on **November 15, 2000:**

**CONTACT NAME:** JOHN VALDEZ

**COMPANY OR AGENCY:** CONSENSUS PLANNING  
JOHN VALDEZ  
924 PARK AVENUE SW/87102  
PHONE #: 764-9801 FAX #: 842-5495

contacted the Office of Community and Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at **TRACT G-3 & TRACT H-1, MANZANO MESA ADDITION** zone map page(s) L-21.

Our records indicate that as of **November 15, 2000**, there were no Recognized Neighborhood Associations in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

*Dalaina Carmona*

OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

planningnraform(11/15/00)

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**DESIGN REFERENCES**

**CITY REGULATIONS**

1. The minimum setback for the building shall be 10 feet from the rear, side and front lot lines.
2. The minimum setback for the building shall be 10 feet from the rear, side and front lot lines.
3. The minimum setback for the building shall be 10 feet from the rear, side and front lot lines.
4. The minimum setback for the building shall be 10 feet from the rear, side and front lot lines.
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8. The minimum setback for the building shall be 10 feet from the rear, side and front lot lines.
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10. The minimum setback for the building shall be 10 feet from the rear, side and front lot lines.

**CONSTRUCTION REQUIREMENTS**

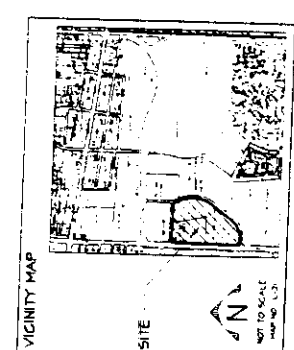
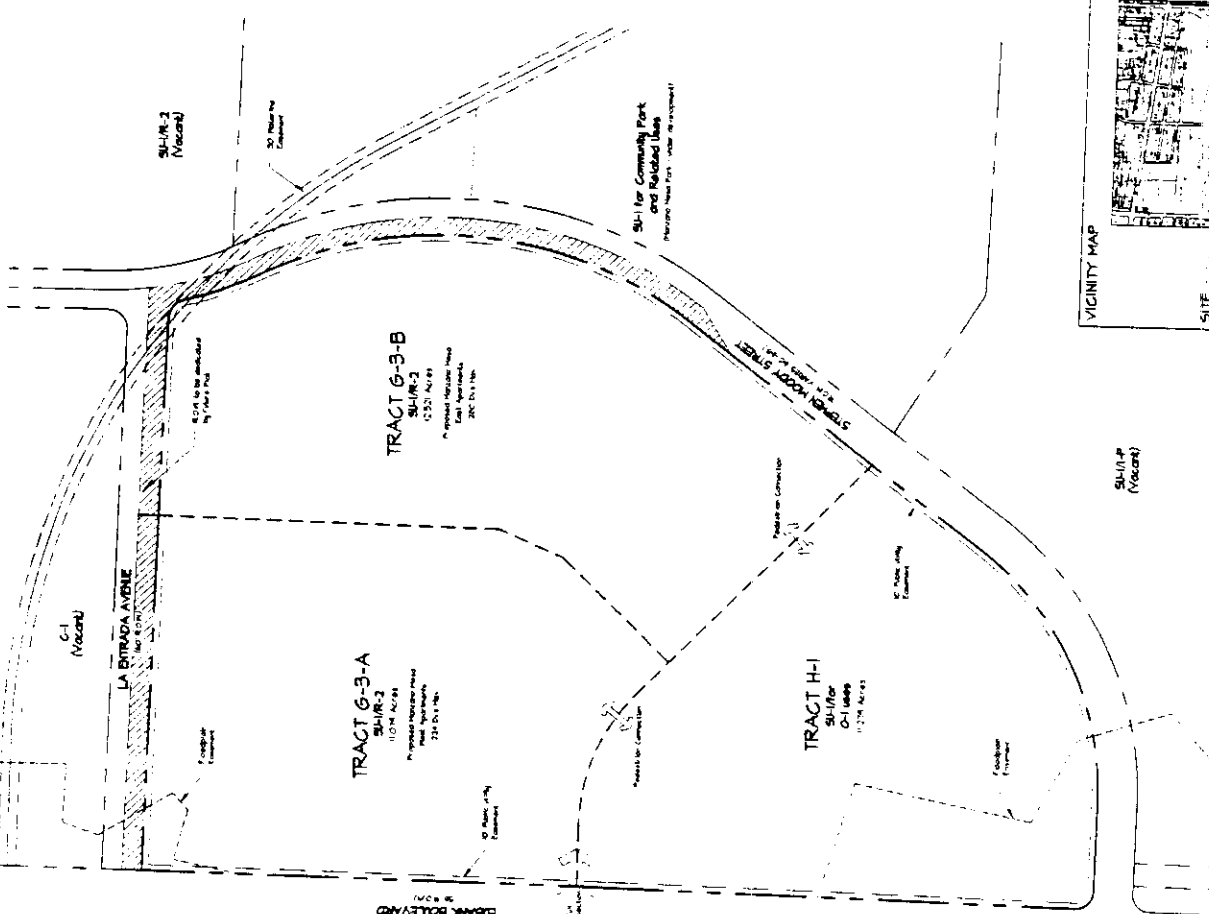
1. All construction shall be in accordance with the City of Mesa Building Code.
2. All construction shall be in accordance with the City of Mesa Building Code.
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9. All construction shall be in accordance with the City of Mesa Building Code.
10. All construction shall be in accordance with the City of Mesa Building Code.

**GENERAL NOTES**

1. The site plan shows the proposed development and the surrounding area.
2. The site plan shows the proposed development and the surrounding area.
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**NOTES**

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10. The site plan shows the proposed development and the surrounding area.



**SITE DEVELOPMENT PLAN FOR SUBDIVISION REQUIRED INFORMATION**

**THE SITE:** The site consists of 2 existing lots (Tracts H-I) and 6.68 acres (Tracts 6-3-A and 6-3-B). The site shall be replatted into 3 lots (Tracts H-I, 6-3-A, and 6-3-B). The total area is approximately 34.9 acres. Tract H-I is approximately 11.9 acres, Tract 6-3-A is approximately 10.0 acres, and Tract 6-3-B is approximately 12.9 acres.

**PROPOSED USE:** The zoning for Tract H-I is R1 (Single-Family Residential). The zoning for Tracts 6-3-A and 6-3-B is R2 (Medium-Density Residential).

**PEDESTRIAN AND VEHICULAR ACCESS AND EGRESS:** There will be a 6-foot sidewalk along Frank Boulevard, Stephens Canyon Street, and La Entrada Avenue. Major pedestrian ways will be developed in accordance with the individual site plans for Building Permits. There is a proposed multi-use trail with the individual site plans for Building Permits. The primary access to Tracts H-I and 6-3-A will be off of Stephens Canyon Street. A cul-de-sac will be developed from Frank Boulevard to the approximate midpoint between Stephens Canyon Street and La Entrada Avenue. Access to Tracts H-I and 6-3-A will be provided off of La Entrada Avenue. Access to Tracts 6-3-A and 6-3-B will be provided off of La Entrada Avenue.

**INTERNAL CIRCULATION REQUIREMENTS:** Internal circulation shall be designed in accordance with the individual site plans for Building Permits.

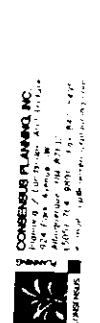
**BUILDING HEIGHTS AND SETBACKS:** Pursuant to the City of Mesa Zoning Ordinance, depending on the specific lot use.

**MAXIMUM F.A.R.:** Maximum F.A.R. shall be 35.

**LANDSCAPE PLAN:** Detailed Landscape Plans shall be designed in accordance with the individual site plans for Building Permits and consistent with the landscaping and screening requirements.

**APPROVALS**

Planning Director	Date
Transportation Development	Date
City Engineer/ARC	Date
Utility Department	Date
Parks and Recreation Department	Date



**MANZANO MESA TRACTS H & I ALBUQUERQUE, NEW MEXICO 87113**

PROJECT MANAGER: [Name] DATE: [Date]

DATE PREPARED: [Date] DRAWN BY: [Name]

**SITE PLAN FOR SUBDIVISION**

**CS 21 COMO ARCHITECTS PALOOA**

2100 BULLHEAD AVENUE SUITE 300 PHOENIX, AZ 85016

DATE: 11/11/11

-76-



**GENERAL NOTES - CITY REQUIRED**

1. ALL UTILITIES TO BE MAINTAINED OR RELOCATED SHALL BE SHOWN ON THE PLAN.
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10. ALL UTILITIES TO BE MAINTAINED OR RELOCATED SHALL BE SHOWN ON THE PLAN.

**PROJECT INFORMATION**

LOCATION: MANZANO MESA WEST  
 ADDRESS: 10000 N. MANZANO MESA  
 CITY: PHOENIX, AZ 85028  
 PROJECT NO.: 10000 N. MANZANO MESA WEST  
 SHEET NO.: 10000 N. MANZANO MESA WEST

**MANZANO MESA WEST**

OWNER: MANZANO MESA WEST  
 ARCHITECT: [Faint Name]  
 ENGINEER: [Faint Name]  
 DATE: [Faint Date]

**MANZANO MESA EAST**

OWNER: MANZANO MESA EAST  
 ARCHITECT: [Faint Name]  
 ENGINEER: [Faint Name]  
 DATE: [Faint Date]

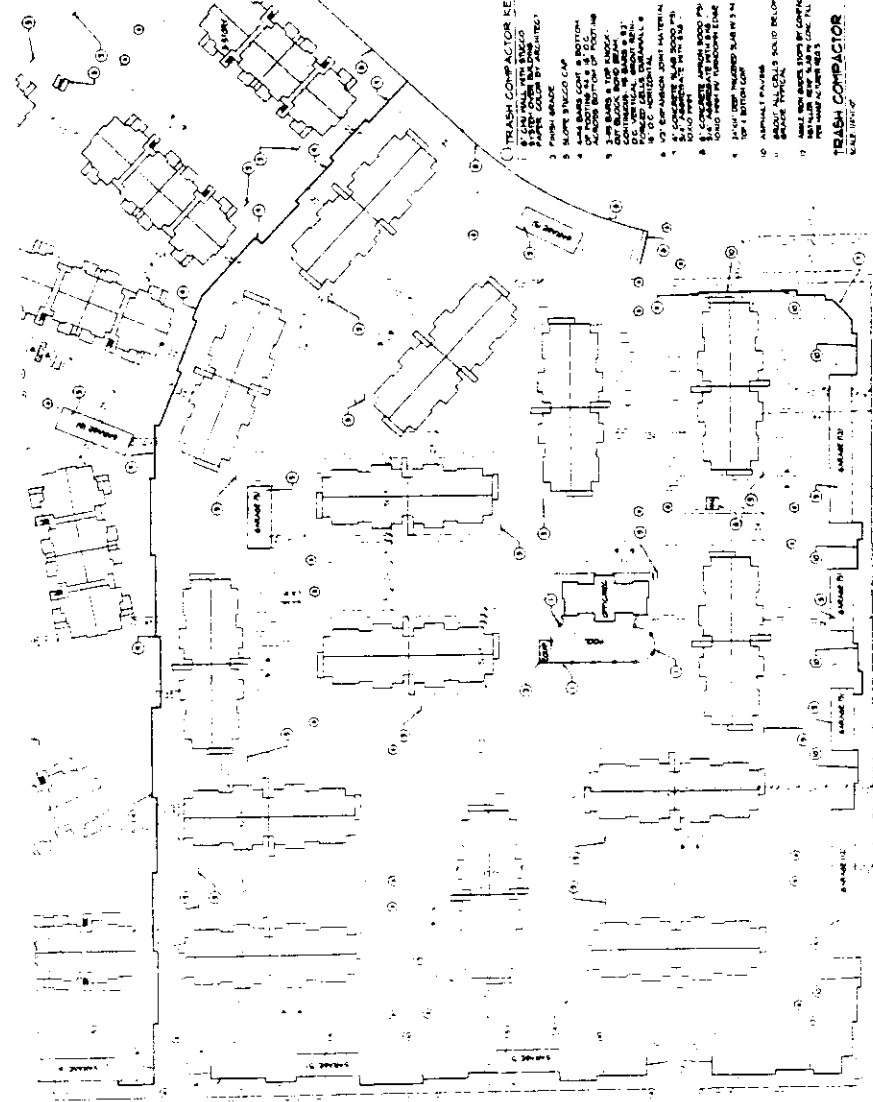
**RADIUS LEGEND**

- 1. 1' RADIUS
- 2. 2' RADIUS
- 3. 3' RADIUS
- 4. 4' RADIUS
- 5. 5' RADIUS
- 6. 6' RADIUS
- 7. 7' RADIUS
- 8. 8' RADIUS
- 9. 9' RADIUS
- 10. 10' RADIUS

**CASE NUMBER 7**

SITE DEVELOPMENT PLAN  
 SCALE: 1" = 100'  
 DATE: [Faint Date]

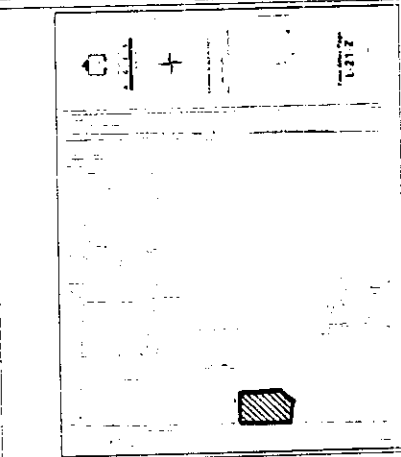
**MANZANO MESA WEST**  
 ADDRESS: 10000 N. MANZANO MESA  
 CITY: PHOENIX, AZ 85028  
 PROJECT NO.: 10000 N. MANZANO MESA WEST  
 SHEET NO.: 10000 N. MANZANO MESA WEST



**TRASH COMPACTOR SET NOTES**

1. TRASH COMPACTOR TO BE SET IN THE LOCATION SHOWN ON THE PLAN.
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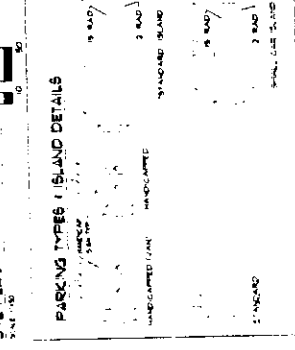
**VICINITY MAP**



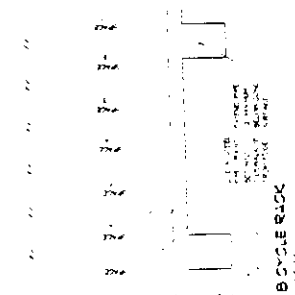
**LEGEND**

- 1. METAL FENCE
- 2. CHAIN LINK FENCE
- 3. SANITARY SEWER MANHOLE
- 4. WATER VALVE
- 5. FIRE HYDRANT
- 6. ELECTRIC MANHOLE
- 7. OVERHEAD ELECTRIC LINE
- 8. STREET LIGHT
- 9. TRAFFIC LIGHT
- 10. EXISTING LOT LIGHT (BASE ONLY) TO BE REMOVED
- 11. TRAFFIC LIGHT OR PULLBOX
- 12. TRAFFIC LIGHT

**PARKING TYPES & ISLAND DETAILS**



**BICYCLE RACK**



**STREET TREE REQUIREMENTS**

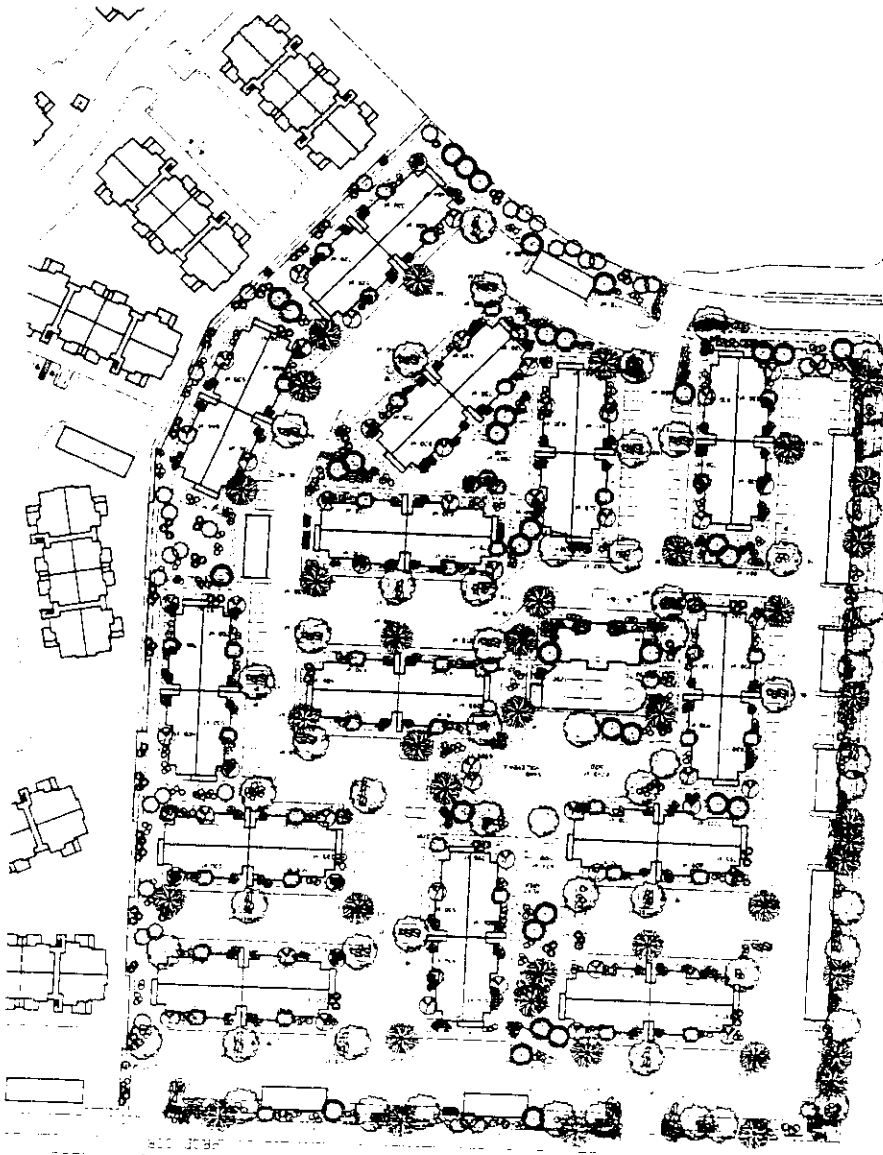
Street trees required under the City of Albuquerque  
 Street Tree Ordinance are as follows:

Number of Street	Elm
Numbered # 73	Provided # 23
Number of trees on alleys as required by the City of Albuquerque are as follows:	
Number of 1st story apartment units	112
Number of 2nd story apartment units	172
Number of trees to reach 25% of maturity provided	168
Number of trees to reach 25% of maturity provided	335

**PLANT LEGEND**

- SHADE TREE: 10'
- SMALL TREE: 6'
- MEDIUM TREE: 12'
- WIDE SPREAD TREE: 15'
- WIND RESISTANT TREE: 18'
- WIND RESISTANT TREE: 21'
- WIND RESISTANT TREE: 24'
- WIND RESISTANT TREE: 27'
- WIND RESISTANT TREE: 30'
- WIND RESISTANT TREE: 33'
- WIND RESISTANT TREE: 36'
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- WIND RESISTANT TREE: 72'
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- WIND RESISTANT TREE: 291'
- WIND RESISTANT TREE: 294'
- WIND RESISTANT TREE: 297'
- WIND RESISTANT TREE: 300'

**The Hilltop**  
 CONSULTANTS AND ARCHITECTS  
 7809 Edin N.E.  
 Albuquerque, NM 87110  
 Tel: (505) 898-7337  
 www.hilltopdesign.com



**LANDSCAPE CALCULATIONS**

NET LANDSCAPE AREA	
TOTAL LOT AREA	43940
TOTAL BUILDING AREA	10023
NET LOT AREA	33917
LANDSCAPE REQUIREMENT	33917
TOTAL LANDSCAPE REQUIREMENT	33917
TOTAL LANDSCAPE PROVIDED	12963
TOTAL DEFICIT PROVIDED	20954
TOTAL SURPLUS PROVIDED	-2117

**IRIGATION NOTES**  
 Irrigation systems shall be designed and installed in accordance with ASPE and ASCE standards. The designer shall provide a detailed irrigation layout showing the location of all emitters, valves, and mainlines. The designer shall also provide a water balance calculation and a schedule of maintenance. All irrigation systems shall be designed to operate at 150 PSI and 40 GPM. The designer shall provide a detailed irrigation layout showing the location of all emitters, valves, and mainlines. The designer shall also provide a water balance calculation and a schedule of maintenance. All irrigation systems shall be designed to operate at 150 PSI and 40 GPM.

**PLANTING NOTES**  
 All trees shall be planted in accordance with the City of Albuquerque Tree Ordinance. The designer shall provide a detailed planting schedule and a list of all trees to be planted. All trees shall be planted in accordance with the City of Albuquerque Tree Ordinance. The designer shall provide a detailed planting schedule and a list of all trees to be planted. All trees shall be planted in accordance with the City of Albuquerque Tree Ordinance. The designer shall provide a detailed planting schedule and a list of all trees to be planted.



# City of Albuquerque Action Summary

Albuquerque/Bernalillo County  
Government Center  
One Civic Plaza  
Albuquerque, NM 87102

## City Council

Council President Brad Winter, District 4  
Vice President Adele Baca-Hundley, District 3

Council Members Alan B. Armijo, District 1  
Vincent E. Griego, District 2, Tim Kline, District 5,  
Hess Yntema, District 6, Mike McEntee, District 7,  
Greg Payne, District 8, Michael Brasher, District 9

TTY Phone # - 768-2474  
For Weekly Schedule of Meetings Call: 768-4777

Monday, May 07, 2001

5:16 PM

Council/Commission Chambers  
One Civic Plaza  
Albuquerque/Bernalillo County Government  
Center

EC-01-283

Mayor's Reappointment to the Environmental Planning Commission

*Confirmed 9 - 0*

For: 9 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema, McEntee, Payne and Brasher  
Against: 0

EC-01-284

Mayor's Appointment to the Environmental Planning Commission

*Confirmed 9 - 0*

For: 9 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema, McEntee, Payne and Brasher  
Against: 0

EC-01-285

Mayor's Appointments to the Municipal Golf Advisory Board

*Confirmed 9 - 0*

For: 9 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema, McEntee, Payne and Brasher  
Against: 0

EC-00-197

Cooperative Management Agreement with the National Park Service

*Postponed scheduled for August 6 9 - 0*

For: 9 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema, McEntee, Payne and Brasher  
Against: 0

O-01-83

Repealing ROA 1994, the Public Nuisance Abatement Ordinance; Creating a Public Nuisance Abatement Ordinance with Criminal and Civil Abatement of Public Nuisance Offenses (Hundley)

*Passed As Substituted 9 - 0*

For: 9 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema, McEntee, Payne and Brasher  
Against: 0

O-00-33

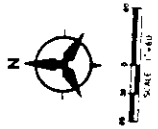
Amending ROA 1994, Pertaining to Duties of Mayor Regarding Courtesy Benches, Transit Benches, and Transit Shelters; Providing for Advertising on Transit Shelters (Armijo)

(Died on Expiration)



LEGEND

- EXISTING UTILITY
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING WATER MAIN
- EXISTING GAS
- EXISTING TELEPHONE
- EXISTING POWER
- EXISTING CABLE TELEVISION
- EXISTING FIBER OPTIC
- EXISTING OTHER
- EXISTING UNIDENTIFIED
- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN
- PROPOSED GAS
- PROPOSED TELEPHONE
- PROPOSED POWER
- PROPOSED CABLE TELEVISION
- PROPOSED OTHER
- PROPOSED UNIDENTIFIED

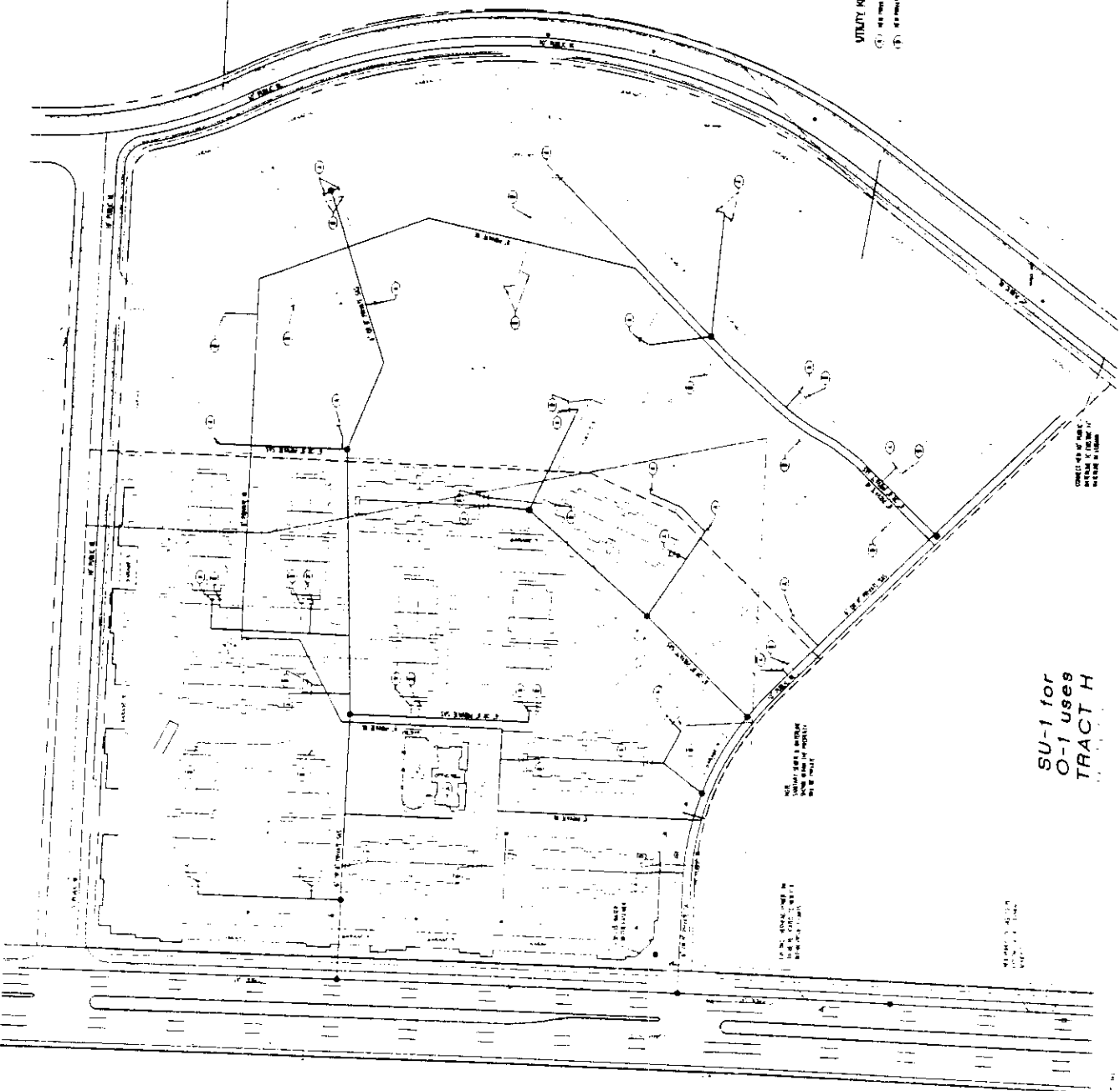


UTILITY NOTES

1. ALL UTILITIES SHOWN ARE BASED UPON THE LATEST AVAILABLE RECORDS AND FIELD SURVEY. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS AND TESTS TO VERIFY THE LOCATION AND DEPTH OF UTILITIES TO THE EXTENT PRACTICABLE. UTILITIES NOT SHOWN MAY BE LOCATED AT AN UNEXPECTED DEPTH OR LOCATION. THE USER SHOULD VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.
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UTILITY NOTES

- (1) AS SHOWN
- (2) AS SHOWN



SU-1 for O-1 uses TRACT H

**Palmbush Division**

Project No. 700 878585 & Addendum 087 8800 0199

**HAZARDOUS WASTE**

**HAZARDOUS WASTE**

**PROJECT LOCATION**

**DATE**

**SCALE**

**CONCEPTUAL UTILITY PLAN**

**City of Orange County**

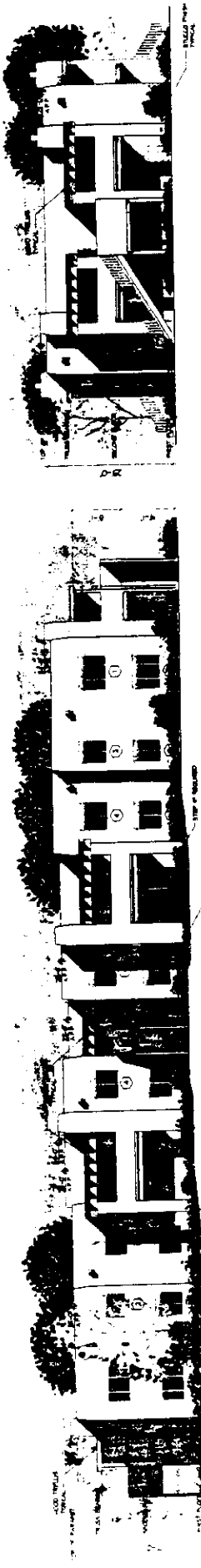
**PLANNING & DESIGN**

**1400 W. GARDEN STREET, SUITE 200, ORANGE, CA 92668**

**TEL: (714) 937-2110**

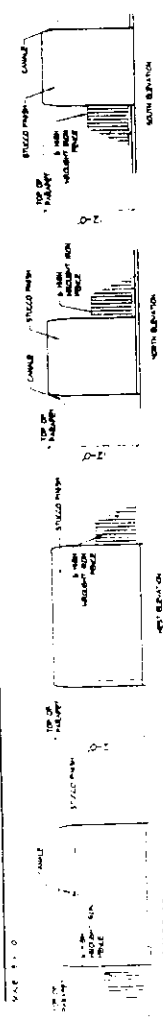
**FAX: (714) 937-2110**

**WWW.COC.GOV**

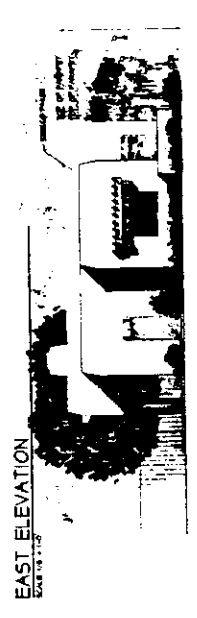


6-PLEX BUILDING FRONT ELEVATION (REAR ELEVATION SIM)  
SCALE 1/8" = 1'-0"

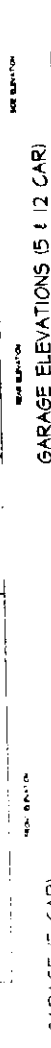
6-PLEX BUILDING SIDE ELEVATION  
SCALE 1/8" = 1'-0"



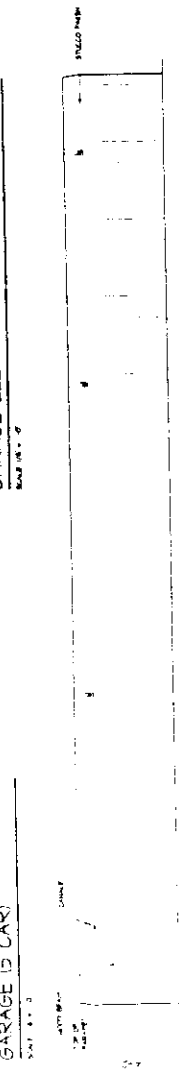
POOL EQUIPMENT ROOM  
SCALE 1/8" = 1'-0"



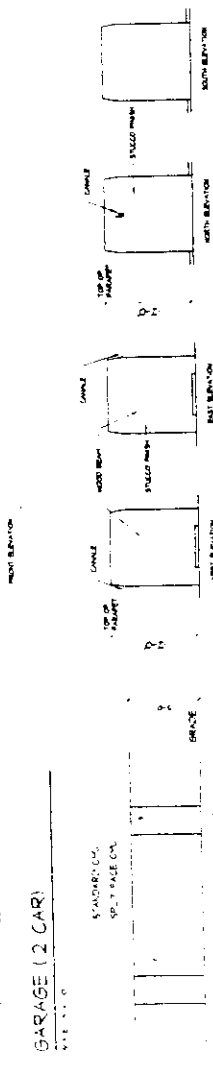
EAST ELEVATION  
SCALE 1/8" = 1'-0"



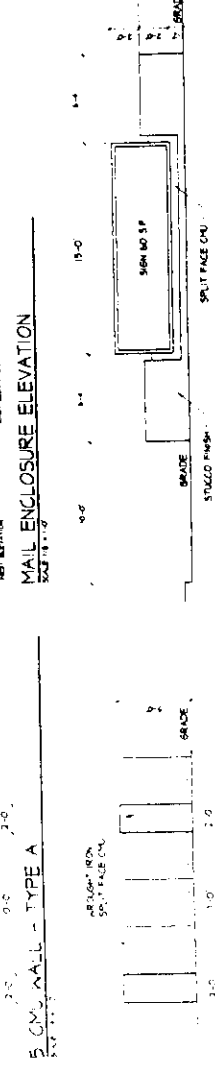
WEST ELEVATION  
SCALE 1/8" = 1'-0"



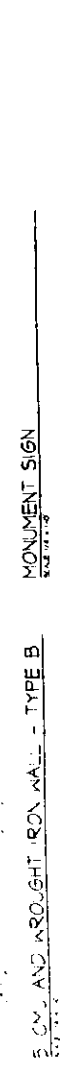
SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



NORTH ELEVATION  
SCALE 1/8" = 1'-0"



GARAGE ELEVATIONS (5 x 12 CAR)  
SCALE 1/8" = 1'-0"



MAIL ENCLOSURE ELEVATION  
SCALE 1/8" = 1'-0"



5 CMU WALL - TYPE A  
SCALE 1/8" = 1'-0"



5 CMU AND WROUGHT IRON WALL - TYPE B  
SCALE 1/8" = 1'-0"

OFFICE/REC. ELEVATIONS  
SCALE 1/8" = 1'-0"

GENERAL NOTES:  
 1. STUCCO FINISHES INCLUDING PAINTING AND WALLS SHALL BE THROUGHOUT THE PROJECT.  
 2. THESE COLORS WILL BE LIGHT BEIGE MEDIUM BEIGE AND DARK BEIGE.  
 3. ALL EXTERIOR WOOD SHALL BE STAINED BY COMPLETION.  
 4. AREA LIGHTING INCLUDING PAINTING AND WALLS SHALL BE THROUGHOUT THE PROJECT.  
 5. TOILETS WITH ITS LIGHT FIXTURES SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC ROOM IT SHALL NOT HAVE A CORNER LIGHTING FIXTURE.  
 6. ALL LIGHTING SHALL BE APPROXIMATELY 200 FOOT COUNCILS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

MANZANO MESA WEST  
 12000 N. MESA BLVD. SUITE 100  
 PHOENIX, AZ 85028  
 PROJECT NUMBER: 12-10-1000  
 DATE OF DRAWING: 12-10-1000  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 EXTERIOR ELEVATIONS

de la TORRE ARCHITECTS P.A.  
 2800 PUEBLO BLVD. SUITE 100  
 PHOENIX, AZ 85028  
 PHONE: (602) 998-1111  
 FAX: (602) 998-1112

5

181-

**KEYED NOTES**

1. SEE SHEET 1 FOR SITE LOCATION
2. SEE SHEET 2 FOR GENERAL NOTES
3. SEE SHEET 3 FOR DETAILS OF BUILDING AND SITEWORK
4. SEE SHEET 4 FOR DETAILS OF BUILDING AND SITEWORK
5. SEE SHEET 5 FOR DETAILS OF BUILDING AND SITEWORK
6. SEE SHEET 6 FOR DETAILS OF BUILDING AND SITEWORK
7. SEE SHEET 7 FOR DETAILS OF BUILDING AND SITEWORK
8. SEE SHEET 8 FOR DETAILS OF BUILDING AND SITEWORK
9. SEE SHEET 9 FOR DETAILS OF BUILDING AND SITEWORK
10. SEE SHEET 10 FOR DETAILS OF BUILDING AND SITEWORK
11. SEE SHEET 11 FOR DETAILS OF BUILDING AND SITEWORK
12. SEE SHEET 12 FOR DETAILS OF BUILDING AND SITEWORK

**PROJECT INFORMATION**

**MANZANO MESA WEST**  
 4330 S. 10TH AVENUE  
 PHOENIX, ARIZONA 85041  
 CLIENT: MANZANO MESA WEST  
 ARCHITECT: [Firm Name]  
 DATE: [Date]

**MANZANO MESA EAST**

4330 S. 10TH AVENUE  
 PHOENIX, ARIZONA 85041  
 CLIENT: MANZANO MESA EAST  
 ARCHITECT: [Firm Name]  
 DATE: [Date]

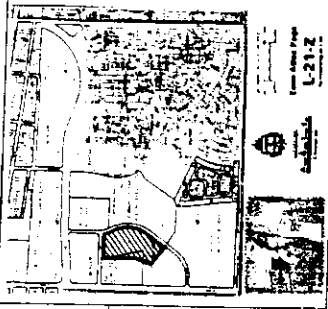
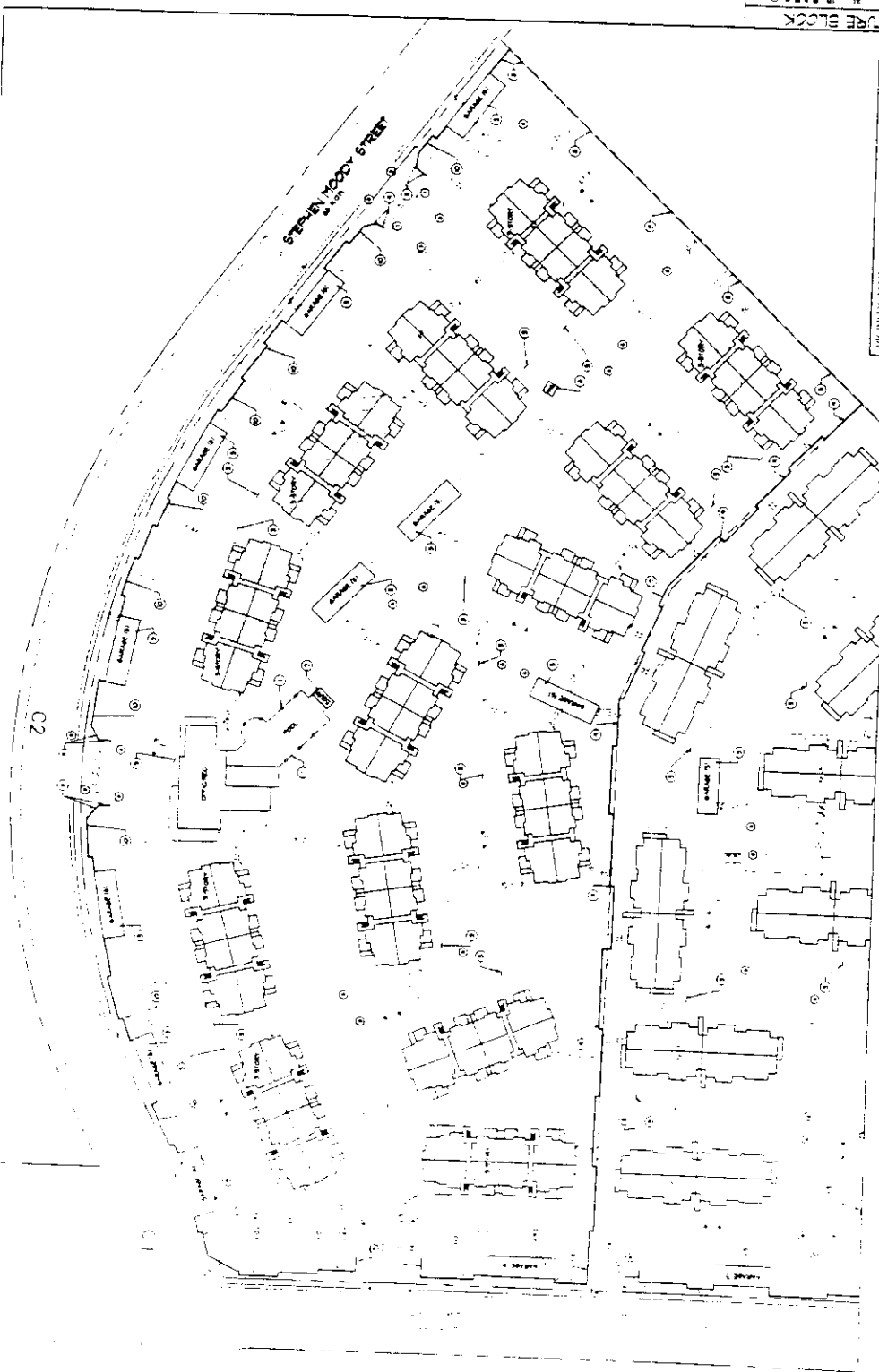
**RADIUS LEGEND**

- 1. RADIUS 1
- 2. RADIUS 2
- 3. RADIUS 3
- 4. RADIUS 4
- 5. RADIUS 5
- 6. RADIUS 6
- 7. RADIUS 7
- 8. RADIUS 8
- 9. RADIUS 9
- 10. RADIUS 10
- 11. RADIUS 11
- 12. RADIUS 12
- 13. RADIUS 13
- 14. RADIUS 14
- 15. RADIUS 15
- 16. RADIUS 16
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- 18. RADIUS 18
- 19. RADIUS 19
- 20. RADIUS 20

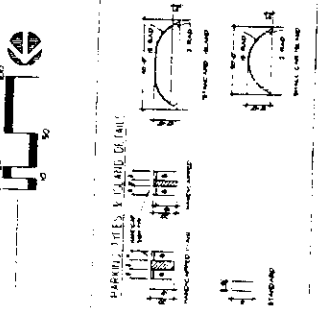
**CASE NUMBER Z -**

MANZANO MESA PHOENIX OVERSEAS AND BALCONY  
 4330 S. 10TH AVENUE  
 PHOENIX, ARIZONA 85041  
 CLIENT: MANZANO MESA PHOENIX OVERSEAS AND BALCONY  
 ARCHITECT: [Firm Name]  
 DATE: [Date]

**MANZANO MESA EAST**  
 4330 S. 10TH AVENUE  
 PHOENIX, ARIZONA 85041  
 CLIENT: MANZANO MESA EAST  
 ARCHITECT: [Firm Name]  
 DATE: [Date]



- LEGEND**
- 1. METAL ROOF
  - 2. CHAIN LINK FENCE
  - 3. ASPHALT DRIVE
  - 4. ASPHALT DRIVE
  - 5. ASPHALT DRIVE
  - 6. ASPHALT DRIVE
  - 7. ASPHALT DRIVE
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  - 16. ASPHALT DRIVE
  - 17. ASPHALT DRIVE
  - 18. ASPHALT DRIVE
  - 19. ASPHALT DRIVE
  - 20. ASPHALT DRIVE



**NOTES**

1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
2. ALL UTILITIES SHOWN ARE TO BE DELETED OR ADJUSTED AS SHOWN ON THIS PLAN.
3. ALL UTILITIES SHOWN ARE TO BE DELETED OR ADJUSTED AS SHOWN ON THIS PLAN.
4. ALL UTILITIES SHOWN ARE TO BE DELETED OR ADJUSTED AS SHOWN ON THIS PLAN.
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20. ALL UTILITIES SHOWN ARE TO BE DELETED OR ADJUSTED AS SHOWN ON THIS PLAN.



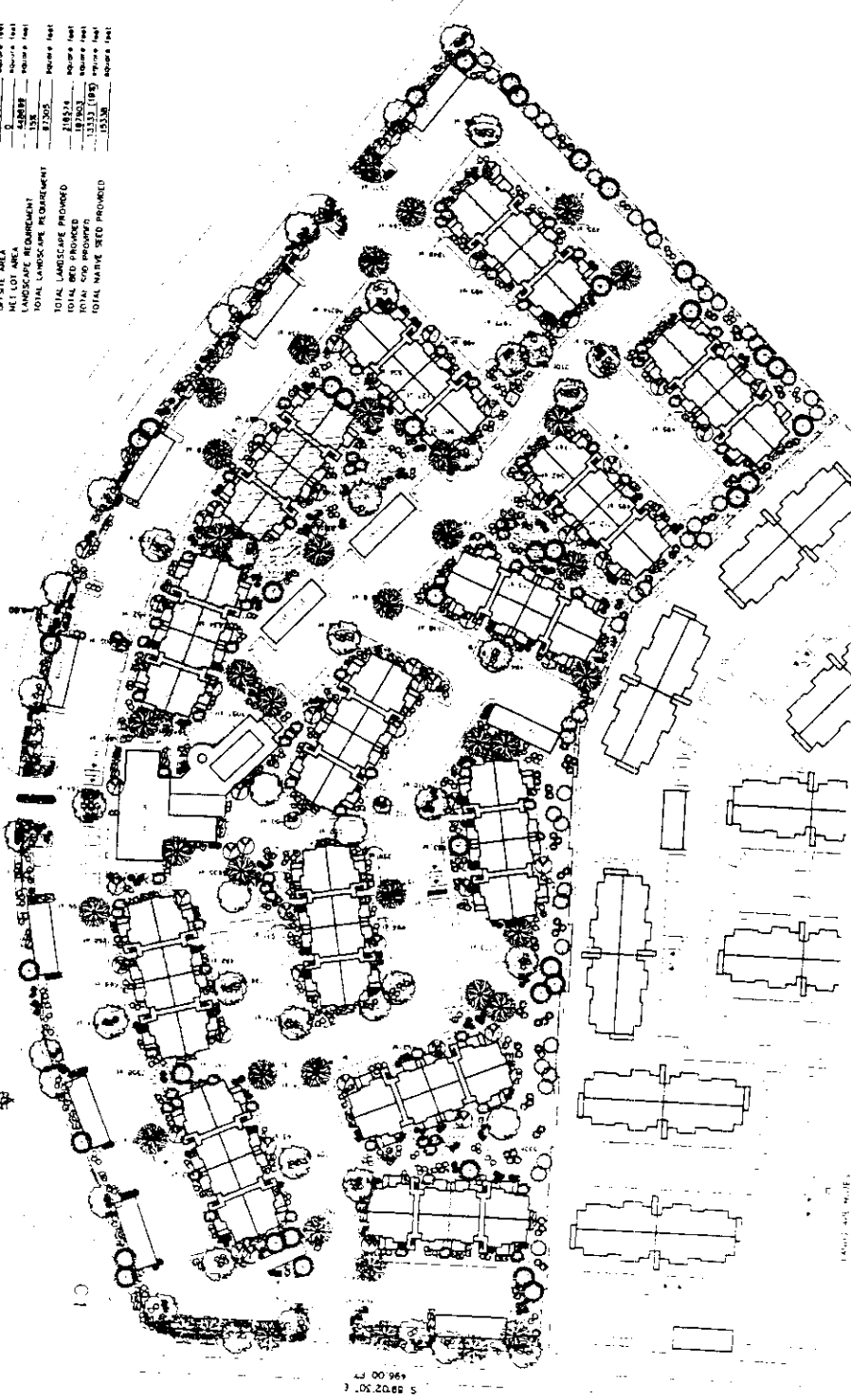


**LANDSCAPE CALCULATIONS**

NET LANDSCAPE AREA	square feet
TOTAL LOT AREA	364,811
TOTAL BUILDING AREA	12,377
OFFSITE AREA	0
LANDSCAPE REQUIREMENT	4,883
TOTAL LANDSCAPE PROVIDED	21,824
TOTAL LANDSCAPE DEFICIT	17,953
TOTAL OFF SITE PROVIDED	33,333 (19%)
TOTAL MAKE-UP PROVIDED	15,338

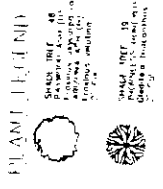
02

10



40 00 969  
3 05 307

-83-



- SPANISH BLUE OAK
- PINEAPPLEAPPLE
- PALM TREES
- SPANISH BROOM
- SWEET GUM
- SLOANIA
- BURNING BUSH
- RED TIGER LILY
- VARIOUS SHRUBS
- VARIOUS GROUND COVERS

Total number of trees on site as required by the City of Albuquerque are as follows:  
 Number of 1st story apartment units: 112  
 Number of 2nd story apartment units: 56  
 Number of trees to reach 25% of maturity provided: 168

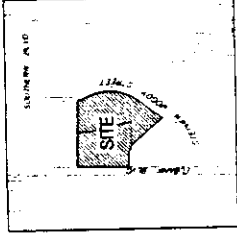
IRIGATION SYSTEM  
 The irrigation system shall be a subsurface drip irrigation system with trees to receive 20.0 GPH. The flow rate and duration shall be set to provide 1.0 inch of water per week. The system shall be designed to be tied to 1/2" schedule 40 pipe with 1/2" riser and 1/2" drippers with flow rate of 0.5 GPH.  
 Run times per each zone shall be determined by the manufacturer's specifications and shall be set to provide 1.0 inch of water per week.  
 Proof of operation for irrigation system to be submitted at current time and on his coordinate with the City of Albuquerque.

Planting and Maintenance  
 It is the intent of this plan to comply with the City of Albuquerque Water Code with planting and maintenance requirements. The contractor shall be responsible for the planting and maintenance of the Property Owner.  
 The contractor shall submit 2% of the amount of the Property Owner's total cost of the project to the City of Albuquerque as a condition of the Property Owner's approval of the plan. The contractor shall be responsible for the planting and maintenance of the Property Owner.  
 The contractor shall submit 2% of the amount of the Property Owner's total cost of the project to the City of Albuquerque as a condition of the Property Owner's approval of the plan.

**The Hilltop**  
 Landscape Architecture  
 7800 Eden NE  
 Albuquerque, NM 87109  
 Tel: (505) 881-7137  
 info@thehilltop.com

**CONCEPTUAL DRAINAGE MANAGEMENT PLAN**

This plan is intended to provide a conceptual drainage management plan for the proposed development. It is not intended to be a final design and should be used in conjunction with the final engineering design. The plan shows the proposed drainage system, including the location of basins, sub-basins, and stormwater management facilities. The plan is based on the information provided in the site plan and the engineering design. The plan is subject to change based on the final engineering design and the results of the hydrologic and hydraulic analysis.

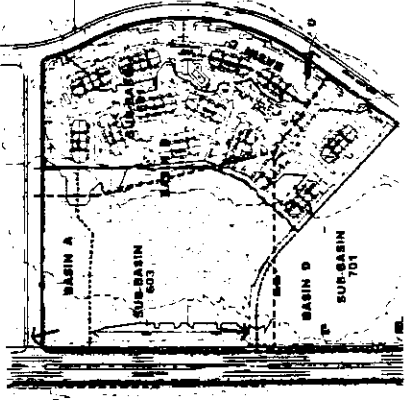


**LEGAL DESCRIPTION**

TRACT 101, BLOCK 101, SUBDIVISION 101, CITY OF SAN ANTONIO, TEXAS

**LEGEND**

PROPOSED DRAINAGE SYSTEM  
 EXISTING DRAINAGE SYSTEM  
 PROPOSED BUILDING FOOTPRINT  
 EXISTING BUILDING FOOTPRINT  
 PROPERTY LINE  
 EASEMENT  
 RIGHT-OF-WAY  
 STREET



**Engineering Division**

Project No. 100-100000-0000-0000-0000

**MANITANO-MESA EAST**

PLANNING AND DESIGN

ALBUQUERQUE, NEW MEXICO 87102

PROJECT MANAGER: [Name]

DATE OF THE DRAWING: 2008

CONCEPTUAL GRADING PLAN

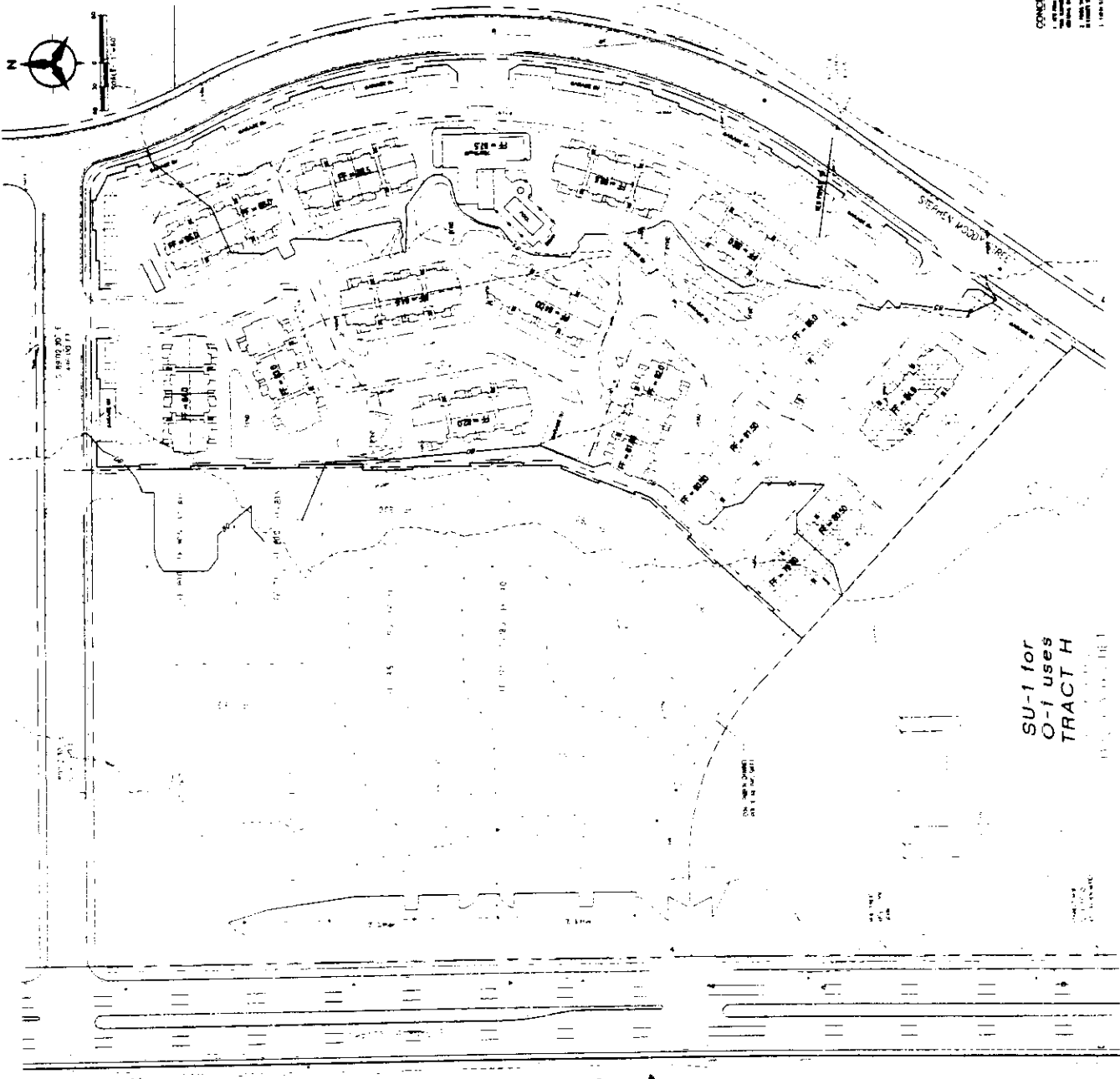
SCALE: 1" = 100'

**CONCEPTUAL GRADING & DRAINAGE NOTES**

1. THIS PLAN IS A CONCEPTUAL DESIGN AND IS NOT INTENDED TO BE A FINAL DESIGN.

2. THE PROPOSED DRAINAGE SYSTEM IS BASED ON THE INFORMATION PROVIDED IN THE SITE PLAN AND THE ENGINEERING DESIGN.

3. THE PLAN IS SUBJECT TO CHANGE BASED ON THE FINAL ENGINEERING DESIGN AND THE RESULTS OF THE HYDROLOGIC AND HYDRAULIC ANALYSIS.



SU-1 for  
O-1 uses  
TRACT H

-78-





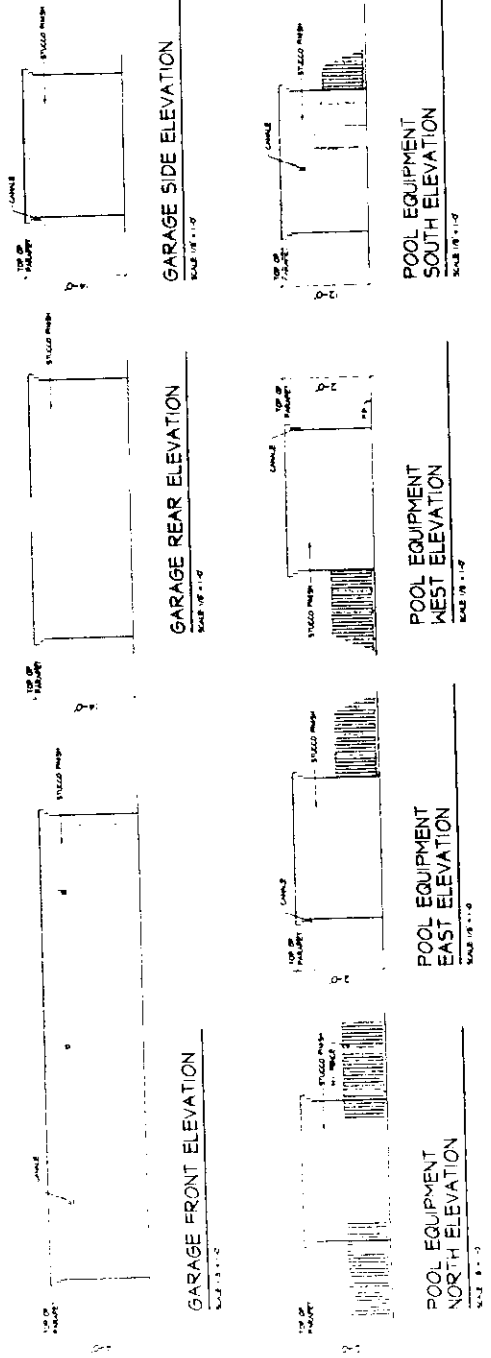
**SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"

**WEST ELEVATION**  
SCALE 1/8" = 1'-0"

**EAST ELEVATION**  
SCALE 1/8" = 1'-0"

**NORTH ELEVATION**  
SCALE 1/8" = 1'-0"

**OFFICE/REC. ELEVATIONS**



**GARAGE SIDE ELEVATION**  
SCALE 1/8" = 1'-0"

**GARAGE REAR ELEVATION**  
SCALE 1/8" = 1'-0"

**GARAGE FRONT ELEVATION**  
SCALE 1/8" = 1'-0"

**POOL EQUIPMENT SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"

**POOL EQUIPMENT WEST ELEVATION**  
SCALE 1/8" = 1'-0"

**POOL EQUIPMENT EAST ELEVATION**  
SCALE 1/8" = 1'-0"

**POOL EQUIPMENT NORTH ELEVATION**  
SCALE 1/8" = 1'-0"

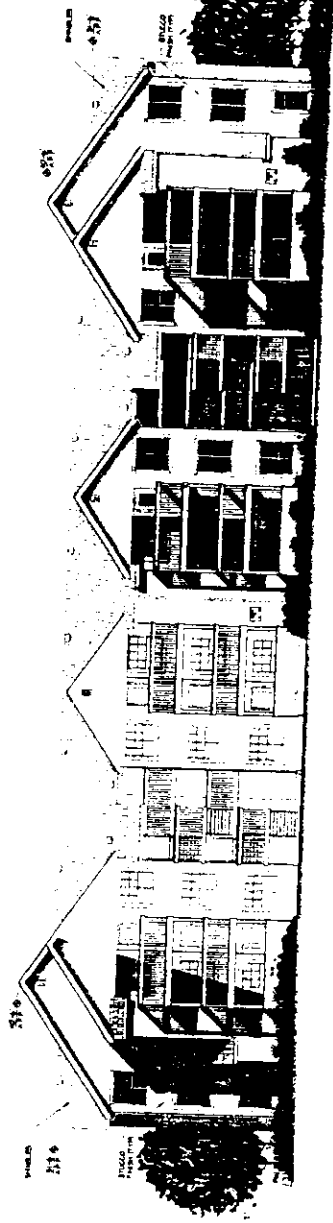
**GENERAL NOTES**  
STYLED FINISHES, PRESENT COLORS TO BE USED THROUGHOUT THE PROJECT.  
THESE COLORS WILL BE LIGHT BEIGE, MEDIAN BEIGE, DARK BEIGE.  
WOOD FINISHES WILL BE STAINED IN COMPLIANCE WITH AREA LIGHTING INCLUDING PORCHES AND PATIOS. FINISHES TO BE USED IN THIS AREA SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC EYE LOCATIONS.  
ALL FINISHES AND COLORS TO BE USED SHALL BE APPROVED BY THE ARCHITECT AND THE HOMEOWNERS.  
200 FOOTLAMBETH IS INSURED AGAINST PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

DATE: 10/11/10  
DRAWN BY: J. B. BROWN  
CHECKED BY: J. B. BROWN  
SCALE: 1/8" = 1'-0"

**MARK AND MESA EAST**  
A SUBDIVISION OF  
ALBUQUERQUE HIGH RISE CO. LTD.  
PROJECT NUMBER: 0310-005-MY-200  
DATE: 10/11/10

**OB BROWN ARCHITECTS**  
1000 N. 10TH AVENUE, SUITE 100  
ALBUQUERQUE, NM 87102  
PHONE: 505.263.8100  
FAX: 505.263.8101  
WWW.OBBROWNARCHITECTS.COM

**5**



24 FLEX BUILDING - FRONT / REAR ELEVATION

-87-



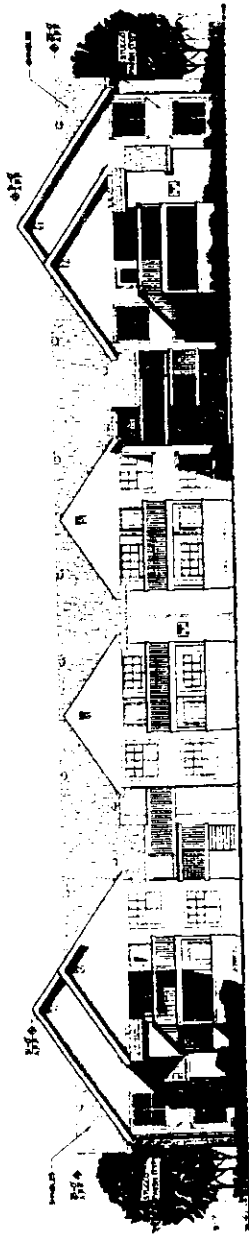
24 FLEX BUILDING - SIDE ELEVATION



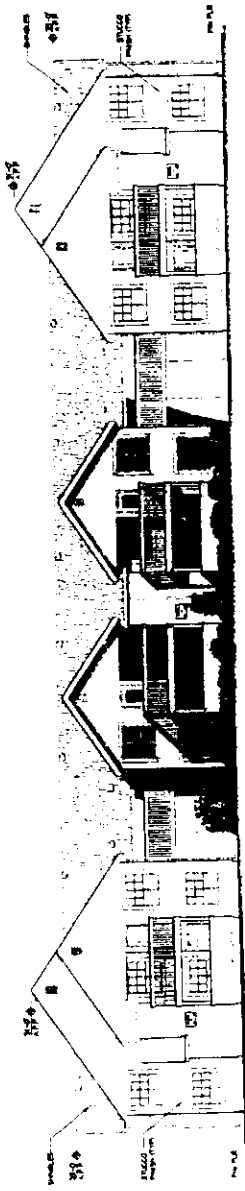
BUILDING SIGNAGE

	<p>MANIZANO MESA EAST          BANK OF AMERICA          ALBUQUERQUE, NEW MEXICO 87105          PROJECT: 24 FLEX BUILDING          OWNER: BLDG H          DATE: 11/11/11</p>	<p>6</p>
<p>DOLORES ARCHITECTURE P.A. 001          10500 15th Ave NE, Suite 100          Albuquerque, NM 87112          TEL: 505.263.1111 FAX: 505.263.1112</p>		

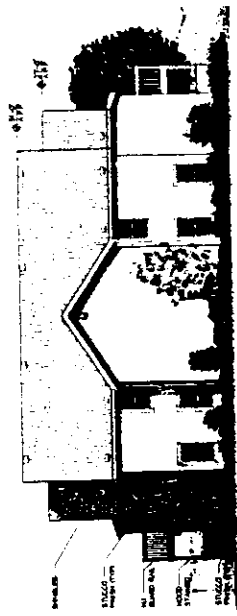
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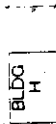
16-FLEX BUILDING - FRONT ELEVATION



16-FLEX BUILDING - REAR ELEVATION



16-FLEX BUILDING - SIDE ELEVATION



BUILDING SIGNAGE

	<b>MANZANO MESA EAST</b> RESIDENTIAL ARCHITECTURE 2400 Blanding Blvd. #100 Blanding, NM 87801 (505) 762-1111	<b>7</b>
	<b>DE LA CORRAL ARCHITECTOS P.A.</b> 2400 Blanding Blvd. #100 Blanding, NM 87801 (505) 762-1111	

**Project # 1000938**

**Facilitator's Report**

dated: 02/01/2001

Facilitated Meeting Held February 1, 2001 5:30 p.m.

Between

**Applicant/Agent:** GSL Properties, Inc./Consensus Planning, Inc.

and

**Neighborhood Association(s):** Willow Wood & Singing Arrow Neighborhood Associations

**RE:** Project #1000 which requests zone map amendment to reconfigure the properties so that the 11.3 acres of SU-1 for Office is located to southern portion of the site, while the 25 acres of SU-1 for R-2 is located to the north, concurrent site plan for subdivision, and two separate site plan for building permits covering approximately 36.3 acres in southeast Albuquerque

**Facilitator:** Paul Splett

**Summary:** This was the second meeting between these parties and was attended by several more people including the developer, David Bartz, and GSL area and properties managers. While the parties were able to discuss, in considerably more detail, the issues raised at the first meeting, the overlying tone of this meeting was set by the neighborhood associations' concern with the timing and subsequent effects building these apartments would have on the surrounding neighborhoods. The primary concern was whether adequate research had been performed to accurately predict such outcomes. Referring to a number of apartment projects in the area that had presented similar projections, the neighborhood associations expressed the concern that, like those before them, the GSL project might ultimately fail to satisfy its expectations and, thus, be forced to rely solely on low-income rentals to survive, subsequently attracting more crime in an area already short on adequate law enforcement. These concerns persisted despite GSL's presentation of their track record indicating their thoroughness with detail in such research and very little, if any, failures in such ventures. Details of the meeting are discussed below.

**Notes From Meeting:**

- 1) On the topic of rental rates and the targeted income group for tenants, GSL explained the following:
  - a) The more affordable section would be comprised of single and two bedroom units with the single units limited to three residents (excepting small children under the age of two), and the two bedroom units limited to a family of five.
    - i) the single bedroom units would be approximately 574 square feet and the two bedroom units would be approximately 839 square feet.
    - ii) The single bedroom units would rent for \$490/mo., and the two bedroom units would rent for \$595/mo.



- iii) To qualify for the single bedroom units, applicants would generally make up to \$20,280/yr. or combined income. To qualify for the two bedroom units, applicants would generally make up to \$31,320/yr. of combined income.
- b) b) The upper-priced section would be comprised of single and two bedroom units with the single units limited to three residents (excepting small children under the age of two), and the two bedroom units limited to a family of five.
  - i) the single bedroom units would be approximately 625 square feet and the two bedroom units would be approximately 900 square feet.
  - ii) The single bedroom units would rent for \$650/mo., and the two bedroom units would rent for \$795-825/mo.
- c) When asked whether problems might arise from mixing the two price levels, GSL explained that they had had no such problems from their complex in Portland, Or. Both the GSL area and properties managers expressed similar results in the Desert Willows complex (another GSL property) in NE Albuquerque.
- d) GSL explained that, according to an Albuquerque study, there was only a 5.5% vacancy rate for complexes with over 100 units, and that number fell to 4% in the SE quadrant.
- e) GSL stated that they were very thorough with their screening process on potential renters.
- f) When asked how GSL will square its claim that the complex was to be designed to accommodate employees of the Sandia Science and Technology Park (SSTP) while employees of that organization make well over the stated qualifying amounts and might very well seek much higher priced living arrangements, GSL responded with the following:
  - i) It was never the purpose of the project to accommodate solely SSTP employees;
  - ii) There are, in fact, lower income employees of SSTP that make around \$30,000/yr.;
  - iii) The project may very well appeal to the re-locating employees of M-Corp.; and
  - iv) It may turn out that some of the higher-level income employees of SSTP may be attracted to the lower priced apartments provided by the project simply for its convenient location near the Park.
- 2) On the issue of timing, GSL explained that the 1<sup>st</sup> Phase of the project was the building of the more affordable units to be occupied by sometime in the Spring of 2002. The 2<sup>nd</sup> Phase would take place about one year later.
  - a) When asked if GSL might consider reversing the order of the Phases, GSL responded that it would not as a matter of financial/business decisions.
  - b) John March of West Wood Realty explained that the current owners of the property, Albuquerque Schools, were allowed only to spend the proceeds directly on the needs of schools, not on administration costs, and that the plan was presently to commit much of that money to the planned Manzano Mesa Elementary School.
- 3) On the issue of the exterior aesthetics of the project, the following was discussed:
  - a) regarding the conceptual landscaping, Willow Wood HOA explained that they were ok with the way GSL had designed the layout, but were concerned that it would not actually turn out that proposed. GSL assured them that it would and that, if they noticed any discrepancy between

- the actual layout and those as projected, they were to contact GSL and GSL would guarantee rectifying the problem to result in that projected.
- b) Regarding the 14-foot wall, GSL explained that they had reduced it to 12 feet, broken it up into smaller clusters with varying setbacks, and planned to front the fence with different "bushy trees" to break up any monotony in the wall.
  - c) Regarding the back wall facing Tramway, GSL explained that they would consider planting vegetation that would grow higher along the wall and/or using different colors of stucco.
- 4) Willow Wood HOA asked if anything could be done with the banisters along the stairwells. The architect for GSL explained that they were designed the way they were to allow light to flow to the lower floors at night.
  - 5) GSL stated that the roofs would be anti-reflective.
  - 6) On the issue of the project's effects on water pressure, the neighborhood associations were advised to address this issue with the City of Albuquerque, and the neighborhood associations agreed that this would be ok.
  - 7) On the issue of the project's effects on traffic in the area, Consensus Planning distributed a letter written by the engineers on the project regarding traffic studies in the area (they were unable to attend as they had another meeting to attend at the same time). There were still questions that the neighborhood associations had regarding getting in and out of the complex and residual effects on secondary neighborhood streets caused by motorists trying to avoid the possibly congested main arteries. Many of these questions were answered to the satisfaction of the neighborhood associations, and Consensus Planning invited anyone still not satisfied to contact the engineer personally to answer their specific concerns.
  - 8) On the issue of whether there would be adequate law enforcement to accommodate the increase in residents in the area, GSL referred to page 23 of the Staff Report that stated "no adverse comments" regarding that concern.

**Attendees**

Name	Organization	Contact
Karin Marcotte	Consensus Planning	764-9801
David Bartz	GSL Properties	(503) 944-6503
Jorge de la Torre	De La Torre Architecture	883-7918
John March	West Wood Realty	(505) 792-3713
Lex Pegues	Willow Wood HOA	761-9700
Susan Henderson	Willow Wood HOA	332-9561
David Saxon	Willow Wood HOA	271-1738
Ruth Francis	Singing Arrow NA	299-2483
Henry Crockett	Singing Arrow NA	323-1824
Ronald Paiz	Paiz Properties	480-7311
Bernadine Paiz	Paiz Properties	873-3008
Ken Ohrman	Willow Wood HOA	323-6940
Patricia Werner	Willow Wood HOA	294-9598
Chris Green	Consensus Planning	764-9801
David Buchman	GSL Area Manager	856-6900
Susan Buchman	GSL Properties, Management	856-6900
Cynthia Staat	City of Albuquerque	764-0037
Jeanette Vandekamp	Manzano Vista	298-5486

● Page 4

John Sena  
Rose Sena

Facilitator: Paul Splett

February 14, 2001

266-1033  
266-1033

Singing Arrow NA  
Singing Arrow NA

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City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: March 2, 2001

GSL Properties, Inc.  
2164 S.W. Park Place  
Portland, Or 97205

**OFFICIAL NOTIFICATION OF DECISION**

FILE: 00110 00000 01644/00128 00000  
01645/00128 00000 01646/00128 00000  
01647

LEGAL DESCRIPTION: for Tract G-3 &  
Tract H-1, Manzano Mesa Addition, located  
on Eubank SE between Central Avenue SE  
and Sandia National Labs SE, containing  
approximately 36.3 acres. (L-21) Debbie  
Stover, Staff Planner

On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01644, request for zone map amendments based on the following Findings and subject to the following Conditions of Approval:

**FINDINGS:**

1. This is a request for a zone map amendment for Tract H and Tract G-3, Manzano Mesa Addition.
2. The request meets the requirements of applicable City plans and policies.
3. The request has been justified under Resolution 270-1980 by the applicant under the changed community conditions and the more advantageous to the community policies.
4. A site plan accompanies this request for SU-1 zoning.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines

OFFICIAL NOTIFICATION OF DECISION

00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

MARCH 2, 2000

PAGE 2

On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01645, request for site plan for subdivision, based on the following findings 1-4.

**FINDINGS:**

1. This is a request for a site plan for subdivision for Tracts H and G-3, an approximately 36.3 acre site and which is located on Eubank Boulevard south of Southern SE. The intent is to subdivide into three new tracts to be called Tract G-3-A, Tract G-3-B and Tract H-1.
  2. A site plan for subdivision is required for approval of SU-1 zoning.
  3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
  3. The site development plan for subdivision meets all of the requirements of the Zoning Code.
- 

On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01646, request for site plan for building permit, based on the following findings 1-5, and subject to the following conditions 1-18.

**FINDINGS:**

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed for the connections between the two complexes.
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.

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00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

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5. The submittal will be adequate with some changes and additions.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
3. All exterior sidewalks and internal walkways shall be marked as a minimum 6-foot wide on the site plan. At points where bicyclists and pedestrian traffic may conflict, (for example, near external trail access points) measures such as widening shall be taken to minimize those conflicts.
4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
6. Clearly marked and centrally located pedestrian access shall be provided between and through this development and the proposed apartment complex adjacent to this site.
7. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
10. Lettering, colors, and content of the monument sign shall be shown on the site plan for building permit.
11. Pool and equipment room elevations that compliment the architecture of the apartment buildings shall be shown on the site plan.
12. Design of the 10-foot asphalt trail along Eubank in this area shall be coordinated with the Trails Planner Diane Scena.

13. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
  14. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
  15. No chainlink, razor wire or plastic/vinyl fencing is permitted.
  16. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
  17. All walls must conform to the City's Wall Design Standards publication.
  - 18. Transportation Development Services:**
    - A) The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
    - B) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets.
    - C) Proposed circulation drives and internal parking areas must be paved as per DPM standards.
    - D) The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
    - E) Location of refuse enclosures, walls, fences and signs must meet the clear sight distance requirements.
    - F) Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
    - G) Coordination with the Solid Waste Department with regard to refuse container location and access.
    - H) Street Trees are required along Eubank Boulevard.
  19. The Utility plan appears to show the private water system with illegal looping connection to public lines. This must be corrected. A water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action. Request left turn bays be introduced on Eubank to allow good access to the project location.
- 

On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01647, request for site plan for building permit, based on the following findings 1-4, and subject to the following conditions 1-6.

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00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

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**FINDINGS:**

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed at the connections between the two complexes.
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
3. All exterior sidewalks and internal walkways shall be marked as 6-foot wide on the site plan. At points where bicyclists and pedestrian traffic may conflict, (for example, near external trail access points) measures such as widening shall be taken to minimize those conflicts.
4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
6. Clearly marked and centrally located pedestrian access shall be provided between and through this development and the proposed complex adjacent to this site.
- 7.

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O-00-35

Amending ROA 1994, Regarding Sidewalks, Drivepad, and Curb Ramp Repair and Maintenance; Permitting Commercial Advertising on Transit Shelters (Armijo)  
(Died on Expiration)

O-00-36

Amending ROA 1994, to Provide Approval of Special Dispenser's Permits to Dispense Alcoholic Beverages on Property Owned by the City (Brasher)  
(Died on Expiration)

R-00-58

Requesting Council Services be Directed to Identify and Contract with a Consultant to Conduct an Organizational Analysis Regarding Placement of Internal Audit (Payne)  
(Died on Expiration)

R-01-253

Authorizing Mayor to Execute the FY2001 Albuquerque Business Education Compact Recommendations for the Philips Semiconductors' At-Risk Youth Program; Providing an Appropriation to Family and Community Services (Griego)

*Passed 9 - 0*

For: 9 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema, McEntee, Payne and Brasher  
Against: 0

R-01-264

Approving the Binding Letter of Intent to Lease a AAA Minor League Baseball Stadium which Sets Forth the Terms and Conditions Pursuant to Which the Existing Municipal Baseball Stadium may be Renovated or a New Municipal Baseball Stadium may be Constructed; Ratifying All Prior Actions Consistent with this Resolution; Repealing All Prior Actions Inconsistent with this Resolution (Winter, by request)

*Passed As Substituted, As Amended 7 - 2*

For: 7 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Payne and Brasher  
Against: 2 - Council Members: Yntema and McEntee

R-01-236

Appropriating Funds to Office of the City Clerk for Special Municipal Election on May 30, 2001 to be Held on the Question for Authorizing Issuance of G.O. Bonds and Choosing a Location for a Municipal Baseball Stadium (Armijo)

*Passed 8 - 1*

For: 8 - Council Members: Winter, Hundley, Armijo, Griego, Kline, McEntee, Payne and Brasher  
Against: 1 - Council Member: Yntema

R-01-216

Designating West Central Metropolitan Redevelopment Area, Making Determinations Pursuant to the Metropolitan Redevelopment Code; Directing the Metropolitan Redevelopment Agency to Issue RFP's for Preparation of a Metropolitan Redevelopment Plan (Armijo)

*Passed 8 - 0 - 1*

For: 8 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema, McEntee and Payne  
Against: 0  
Excused: 1 - Council Member: Brasher

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7. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
10. The type and color of the galvanized, aluminum metal roof shall be specified on the site plan. The roofs shall be matte finish.
11. Notes regarding the signage for this property shall state what siding is proposed on Sheet 7 and state what colors and materials will be used for the signage.
12. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
13. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
14. No chainlink, razor wire or plastic/vinyl fencing is permitted.
15. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
16. All walls must conform to the City's Wall Design Standards publication.
17. **Transportation Development Services:**
  - A) The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
  - B) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets.
  - C) Proposed circulation drives and internal parking areas must be paved as per DPM standards
  - D) The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
  - E) Location of refuse enclosures, walls, fences and signs must meet the clear sight distance requirements.
  - F) Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.

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- G) Coordination with the Solid Waste Department with regard to refuse container location and access.
  - H) Street Trees are required along Eubank Boulevard.
18. Unobstructed pedestrian connection 6-foot clear shall be noted on the site plan between the apartments and the office.
19. The Utility plan appears to show the private water system with illegal looping connection to public lines. This must be corrected. A water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action. Request left turn bays be introduced on Eubank to allow good access to the project location.

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**IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY MARCH 16, 2001 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.**


Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

**YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).**

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

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Sincerely,



Robert R. McCabe, AIA, APA  
Planning Director

RM/DS/fmt

- cc: Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123  
Joe Ando, 13200 Mountain Shadows Rd. NE, Albuquerque, NM 87111-5530  
Ray Baron, HC 75 Box 122 Chama, NM 87520  
Mark Burton, 12500 Charla Ct. SE, Albuquerque, NM 87123  
Ed Candelaria, 1053 Colt Ln. SE, Albuquerque, NM 87123  
Henry Crocket, 404 Rainbow Ct. SE, Apt. D, Albuquerque, NM 87123  
Diane Davidson, 12800 Piru SE, Albuquerque, NM 87123  
Marylyn Floro, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Frank Gallaspy, 1308 Kentucky SE, Albuquerque, NM 87108  
Joanne Gladin de la Fuente, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Susan Henderson, 1031 Los Padres SE, Albuquerque, NM 87123  
Dolores Keane, 828 Trading Pose Trail SE, Albuquerque, NM 87123  
Karen Kendall, 12924 Piru SE, Albuquerque, NM 87123  
Dave Orwat, 4600 Homestead Tr. NW, Albuquerque, NM 87120  
Dave Saxon, 10836 Wasatch Rd. SE, Albuquerque, NM 87123  
Rose & John Sena, 7820 Zuni SE, Albuquerque, NM 87123  
Dave Smith, 12536 Elyse Pl. SE, Albuquerque, NM 87123  
John Smokov, 608 Parkside Pl. SE, Albuquerque, NM 87123  
Janette Vanderkamp, 300 Dorado Pl. SE, Albuquerque, NM 87123  
Phil York, 12705 Elyse Pl. SE, Albuquerque, NM 87123

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ENVIRONMENTAL PLANNING COMMISSION  
MINUTES

March 1, 2001

COMMISSION MEMBERS PRESENT:

Elizabeth Begay, Chair  
Alan Schwartz, Vice-Chair  
Chuck Gara  
Larry Chavez  
Camilla Serrano  
Susan Johnson

**UNAPPROVED**

COMMISSIONER MEMBERS ABSENT:

Mick McMahan

STAFF PRESENT:

Russell Brito, Planning Department  
Debbie Stover, Planning Department  
Fran Tapia, Recording Secretary  
Joe David Montano, Transportation, Public Works Dept.  
Don Newton, Planning Department, Neighborhood

\*\*\*\*\*

1. Call to Order. 4:10 p.m.

00110 00000 01644 Consensus Planning, Inc., agents for GSL Properties, Inc. request a  
00128 00000 01645 zone map amendment from SU-1 for O-1, SU-1 for R-2 to SU-1  
00128 00000 01646 for O-1, SU-1 for R-2 plus approval of a site development plan 28  
00128 00000 01647 for subdivision purposes and approval of a site development  
Project # 1000938 plan for building permit for Tract G-3 & Tract H-1, Manzano Mesa  
Addition, located on Eubank SE between Central Avenue SE and  
Sandia National Labs SE, containing approximately 36.3 acres.  
(L-21) Debbie Stover, Staff Planner (DEFERRED FROM  
FEBRUARY 15, 2001)

STAFF PRESENT:

Debbie Stover, Planning Department  
David Suffling, Legal Department

THERE WERE NO PERSONS PRESENT TO SPEAK IN FAVOR OF THIS  
REQUEST:

PERSONS PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:

Dan Houck, 9420 Rio Grande NW, 87114

**EPC MINUTES**  
**MARCH 1, 2001**  
**Page 2**

Susan Henderson, 1031 Los Padres Pl., SE, 87123  
Phillip York, 12705 Elyse SE, 87123  
Ruth Francis, 217 Hanosh Ct., SE, #D, 87123

DEBBIE STOVER: Madame Chair, Commissioners, this is case 00110-00000-01644 request for zone map amendment, 00128-00000-01645 a request for site plan for subdivision approval, 00128-00000-01646, request for site plan for building permit for a 224-unit apartment complex, and 00128-00000-01647 a site plan for building permit for a 280 unit apartment complex. The subject site consists of 2 existing Tracts. Tracts G3 and H1 are approximately 36 acres in size. This case was deferred from the January hearing, and a notice of this hearing has been sent to the neighborhoods. The requested zoning is consistent with what currently exists on the site, but will switch the residential zoning to the north of the site and the office portion to the south of the site, closer to the proposed technology park. The proposal changes the configuration but the acreage allowing apartments remains the same.

The zoning that currently exists allows all of the uses requested with this application. The requested zone change is consistent with Resolution 270-1980. Revisions to the site plan since you last saw it include pedestrian connections that have been added to connect the two apartment sites, although they are shown as having gates. The garage heights have been modified from 14 feet to 12 feet. The roofing material on the east complex has been changed from shingles to a galvanized metal and the floor area ratio is .35 for the office portion of the site but there is a cap on the number of dwelling units within the apartments. Light fixtures have not been shown on the plans yet, but will be shown at the time of DRB submittal. A second neighborhood meeting was held with the community. Issues for the neighborhood continue to be the question of whether more apartments are needed in this area and the neighbors are here to speak to their issues.

The site plans meet the requirement of the applicable plans and city policies for this area. Also, Staff would like to include the conditions of approval written by Transportation Planning and with minor modifications as stated in the Conditions of Approval, Staff recommends Approval of this request.

CHAIR BEGAY: Thank you Debbie Stover. Are there any questions for Debbie Stover from Commissioners? Vice-Chair Schwartz.

VICE-CHAIR SCHWARTZ: Is the current zoning on the O parcel, is it O-1 or limited O-1?

DEBBIE STOVER: I believe the current zoning is the limited O-1 and the requested is straight O-1.

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VICE-CHAIR SCHWARTZ: As near as I can tell from looking at that plan, the Manzano Mesa Master Plan, the items that were excluded were in a community residential dwelling units, parking lot, sign, storage structure or yard. And I wrote down here WTF. Wireless Telecommunication, is that right? Well the WTF was, I think it wasn't really an issue when the Manzano Mesa Master Plan, it wasn't an O-1 use. It was added later.

CHAIR BEGAY: I understand.

VICE-CHAIR SCHWARTZ: So, are we saying that all these uses are back in?

DEBBIE STOVER: I would think so, but maybe the applicant can address that better. But if it were straight O-1 than that would be the case.

VICE-CHAIR SCHWARTZ: Okay, then we'll hear from the applicant about why there were gates when the project itself isn't gated. And I couldn't see any pedestrian connections from the residential to the office on the actual detailed plan. Even though we have these double-headed arrows on the schematic but on the detail I didn't see where that interface was.

DEBBIE STOVER: I did talk to the applicant about that and the response was, and again, they can address this. They originally had them in and somehow inadvertently left out in the second submittal.

VICE-CHAIR SCHWARTZ: The trails and bikeways master plan. Do we know if there is to be a trail on the eastside of Eubank?

DEBBIE STOVER: I believe that I talked to the Trails Planner with the Parks Department on that, last time and they still weren't sure whether it was going to be on the east or west side.

VICE-CHAIR SCHWARTZ: The design guidelines say "maximum FAR.35 and I calculated the FAR on G-3-A as .41 and the FAR for G-3-B of .55.

DEBBIE STOVER: I thought that FAR was .35 for the office portion and then they had the cap on the apartments but perhaps I was in incorrect.

VICE-CHAIR SCHWARTZ: Just looking at the front page it just says, FAR .35, so I don't know if that's just supposed to be limited to office or not. (Inaudible) about the lighting.

DEBBIE STOVER: That is not included in the submittal but would need to be prior to their next submittal to DRB.

VICE-CHAIR SCHWARTZ: Thank you.

CHAIR BEGAY: Any other questions? Thank you Debbie Stover. All those who are going to speak, you need to stand and raise your right hand. Do you swear to tell the truth? Thank you.

KAREN MARCOTTE: My name is Karen Marcotte, 924 Park SW with Consensus Planning, we're representing GSL Properties today and Commissioner Schwartz I will try and respond to all of those questions as well during my presentation. At our January 18th hearing you instructed us to make some changes to the site plan and to meet with the neighborhood representatives to discuss some of their issues in more detail. And I am pleased to tell you that we have accomplished both of those goals. We did meet with the neighborhoods twice in facilitated meetings, since the last hearing. And the developer attended the second meeting in order to answer questions that had been raised at the first meeting relative to financing and rental rates and property management programs.

The developer was forthcoming with that financial information even though it's really not required part of the site plan review process. Although we did meet twice with the neighborhoods, as I said, we cannot report that we have reached full agreement on every issue. We made some partial progress. Some people were less concerned about the development once they heard from the developer directly and talked to some of his representatives of his project management programs, property management program. And they're concerns were relieved; others would still prefer not to have apartments either at this location or at this time. There are a lot of questions about the market for apartments and income rates and lease rates. Basically none of those marketing or financial risks of the developer are really under the control of the City of Albuquerque and so they are not germane to this application. We're hoping that you will ask the public to limit the testimony to the site plan and zoning issues, because we got into a lot of financial issues at the neighborhood meeting.

We have tried to address the relevant site plan and zoning issues that were raised by the neighborhoods and yourselves, and we've made the following changes since our last hearing. Number 1, we have added the two pedestrian access points between the two apartment projects as you requested at the last hearing. Number 2, we have replaced the shingled roofing of the eastern apartments with a galvanized metal roof, more in keeping with the Northern New Mexico style that we talked about at the previous hearing. Number 3, in order to address Commissioner Gara's concern that the garages along Eubank would present a solid wall appearance, we have done several things. First we reduced the height of the garages by 2 feet. We broke up the large garage complexes into smaller clusters; previously we had up to 12 garages in a row. We now have up to 5. We've provided Varian setbacks for those garages along Eubank so



they won't have a uniformed wall appearance as you're coming down Eubank Blvd. and we have retained the low walls and landscaping between the garages with articulation in the wall design to help provide more interest along that frontage. Relative to the gates between the two projects, they were simply there as a point of demarcation, so that people would recognize that they were leaving there apartment project and going into another apartment project. They do have different amenity packages and typically property managers would like to keep residents who are not part of their project from using their amenities, paid for by their tenants. And it's really just a point of demarcation. If that's a serious issue with the Planning Commission, we can remove those gates. There is a trail access to the office parcel as Debbie Stover said, it was on the original submittal, it was inadvertently left off of the second submittal. I brought a pedestrian connection plan today just to show that there are at least two access points in all directions out of this property. It is pretty well connected to all of the adjacent parcels.

With reference to the Eubank trail, we have also been trying to track down the final word on the Eubank trail and the engineer who is designing the Eubank Project can speak to this issue if there is some additional concern. Basically it's being designed as part of the Eubank Corridor Improvements. And there is not a final location yet or size or specifications for that trail. We just know that there will be one. It is supposed to be within the right-of-way of Eubank Blvd. and we have included a note on the site plan that says we will accommodate whatever comes out of that study. In the meantime, we have included a 6-foot sidewalk all along Eubank so that there is some connection along there while they're finishing their corridor study. It is currently in the corridor study and we'll be starting design of the project fairly soon and so I would imagine that they will define how they want that trail done. But we have been coordinating with City Transportation and the Trails Planner, Diane Scena.

Relative to the floor area ratio, the floor area ratio on the office parcel is .35 and the units have been capped on the apartment side. That's probably just an incorrect note, Commissioner Schwartz that you were reading from. Because the FAR.35 is for the office portion of the site, the site plan for subdivision has put a cap on the number of dwelling units within the apartment site of 224 units on the west and 280 on the east, so we can include that with a specific note on the plan, if you'd like to make that more clear. Relative to the zone change, we still believe that it is advantageous to switch the office and apartment parcels as we've proposed. The office parcel makes more sense as the adjacent parcel to the Sandia Science and Technology Park and the 47-acre community park is a very good buffer between the apartment and the residential area to the east, so we think that is more advantageous.

We have not heard a lot of opposition to the switching of the zoning from the neighborhoods, although there is still some opposition to the fact that there is apartment zoning there at all. And there are two points relative to that issue.

First the apartment zoning has been in place at Manzano Mesa for over 10 years, when the Manzano Mesa Master Plan came through and received it's zoning. Secondly, the apartment zoning was originally 40 acres of land and has been reduced to the current 25 acres, because the City converted 15 acres of apartment land into the park when they added additional land to the community park. So there's already been a 40% reduction in the amount of apartment acreage at Manzano Mesa. We still believe that the mix of land uses in the Manzano Mesa area is highly beneficial from both the transportation and the land use perspective, and it's desirable to allow those residential projects adjacent to major employment areas.

Another note just to bring everybody up to speed in case they didn't know this, but the proceeds of all the sale of the APS owned land, will benefit the public schools in the area. All money generated from Manzano Mesa land goes directly into the APS school construction fund under order of the State Board of Education. And in fact it's going to go directly into the Manzano Mesa Elementary school, which is scheduled to be built in the next couple of years. So there is a very direct connection with being able to provide the school facilities and sale the APS land. In conclusion, I would say that we agree with the Staff recommendations and all the findings and conditions as written and can accept those and would respectfully ask that you allow this project to move forward.

With regards to one other issue, Commissioner Schwartz, that you had raised about the limited O-1 uses. At the time that the limited O-1 was put on the site it was an added protection because the area was master planned, but all vacant, there were not design guidelines in place, pre-existing and so it was just sort of an extra pre-caution. In this case, because of the design guidelines, we believe it's unnecessary to go back to a limited O-1 listing, but if you prefer that we do so, we're agreeable to do that as well, because we're not planning on building any of those uses. We were just trying to clean it up by giving it straight O-1 and recognizing that the design guidelines now govern the area that didn't before.

We have a developer here and an architect and engineer all who are able to answer any questions that you might have. The developer would like to address the Commission if you have a moment.

CHAIR BEGAY: Commissioner Johnson, do you have a question?

COMMISSIONER JOHNSON: I have a couple of follow-up questions on the internal trail or path system. What we're seeing in the top thing on the easel is the both sites, correct?

KAREN MARCOTTE: Correct. And north is up so Eubank is on the left side.

COMMISSIONER JOHNSON: Okay. So just on the blue lines that we just got, there's a little dotted line for a while but it just disappears on one of these sites and that's the thing that is omitted? I mean what we should believe in is this as the pedestrian?

KAREN MARCOTTE: Yes, there were some notes that we omitted on the second submittal and we can use this as an attachment to our DRB submittal if you'd like, to make it very clear, or revise it on that plan to show it more clearly.

COMMISSIONER JOHNSON: What kinds of facilities are these? Are these pedestrian only, are they paved? I don't have any information on how wide they are and what sort of function they're supposed to carry out.

KAREN MARCOTTE: I'm not sure I know. Do you know? They're six-foot concrete, sidewalks type of facilities.

COMMISSIONER JOHNSON: So if you're going to...I guess what I'm headed for here is we heard some talk when we discussed this before about you could get to the park from here. But I think what I want these paths to do, is allow people to not drive their cars, maybe to work, if they work in the neighborhood or maybe to shop. Or maybe drive their cars to take their kids to school, because their kids could ride their bikes to school. And because this wasn't all clear on here, it wasn't possible for me to tell. I mean this looks like there are a lot of options. But tell me a little bit about your thinking on how these would get used. They would be used by both pedestrians and cyclists, and do you think 6 feet is wide enough?

KAREN MARCOTTE: Well I think, Madame Chair, Commissioner Johnson, the thinking was to provide an outlet to the larger trail system that surrounds the project and not necessarily have a separate bike trail through the middle of the apartment project. There are sidewalk connections to those external trails, some of which are regional, so you could use them for commuting. But we have not put a separate bicycle trail through the center of the two projects.

COMMISSIONER JOHNSON: So these are basically sidewalks more for pedestrian really?

KAREN MARCOTTE: Connections to the exterior. Yes.

SUSAN JOHNSON: And I can see that there's a lot of parking areas so that one could ride a bike through the driving areas. I guess what I'll say without belaboring the point too much longer, is, it might be good to look at the points of conflict. I would guess that people are going to ride as in commute. They'll probably try to stay where the cars are and at a certain point they will try to go out and get on the external trail system and at those points where both



pedestrians and bicyclists might be trying to get out. I would take a harder look at some of those points and make sure they can accommodate that kind of traffic. I just think you have a wonderful opportunity here for kids to ride to school. I can't believe it doesn't happen anymore and it's a big part of our morning peek is parents driving kids to drop them off. And I think there's a wonderful opportunity here to take some other means beside an automobile to work. So, I really encourage you maximizing that in this. I think it's pretty extraordinary and very nice. Also, I was really pleased with the changes on the roofs and the appearance of both those buildings.

**DAVID BANTZ:** Good evening, My name is David Bantz, I'm with GSL Properties, the development manager at 2164 S.W. Park Place, Portland, Oregon. Even though our offices are located in Portland, we're a New Mexico corporation. The company got its start in Albuquerque approximately 18 years ago. And we have one project in town, Dessert Willow and I don't know if any of you have gone to, but it's out at 890 Jefferson Street NW. We have three other projects. One of the projects are under construction and two other projects had been approved but haven't broken ground yet, so this will be our fifth apartment project in Albuquerque, new apartment project.

The Dessert Willow Project is also an affordable project and the architecture of that project if you've seen it is the same architects that were used on the affordable site of this project. Although, there won't be any three-story buildings in the affordable site of this as there is out at Dessert Willow site. Even though I haven't been before you before, I did get a chance to see you action when I waited back in January for you to get to us. I had to leave though, unfortunately to get to Los Angeles for a meeting that night and didn't get a chance to stick around but I did see you in action. I think it was about 4 hours of the K-Mart deliberations. I would say though to facility bicycle use we are putting showing in each of the units. I can answer any questions if you'd like.

**CHAIR BEGAY:** Any questions? Commissioner Schwartz.

**VICE-CHAIR SCHWARTZ:** Thank you. You know a lot of time people here point to Portland as an example of a lot of things that you know possibly could be done here, and if I went to Portland and I looked at some GSL projects, would they be pretty much the same as what we're seeing here?

**DAVID BANTZ:** Yes, although they would be much more dense. We have a project in downtown Portland that's right across the railroad tracks from Union Station. There will be 700 units when it's done. It's at a density of 250 units an acre. It has a parking ratio of ¼ space per unit.

**VICE-CHAIR SCHWARTZ:** If we added a little farther from the center core of the city, let's say.

DAVID BANTZ: Yeah, they'd be very similar. As a matter of fact the design that we have for the 280-unit site is the same design that we are now building in Portland, with the exception of the metal roof.

CHAIR BEGAY: Any other questions? Thank you. Is that the end of your presentation? Do we have people signed up?

FRAN TAPIA: Dan Houck followed by Cal Irvin.

CHAIR BEGAY: Please state your name and address for the record. If you came in late, I need to swear you in before you speak.

DAN HOUCK: I want to give this to everybody. Hi, my name is Daniel Houck; I live at 9420 Rio Grande NW, Albuquerque, NM 87114. It seems to be rather removed from the site, however, it just so happens that I own property in that area. With respect to our friend from Consensus Planning, I believe that the economic impact is very much germane to the environmental evaluation of this project. We're a small apartment owner having 72 units. We're located to the east of this proposed project in the Singing Arrow Neighborhood. That entire area of the SE, I don't need to tell you this has some of the lowest occupancy and cheapest rents in the City. This proposal would put 100 more tax payers, subsidized units in the neighborhood, where apartments are at it's low right now today at 75% occupancy.

You need not be mislead by the apartment association data, which says they see is 8%. It is way off; it comes from a database made up of their membership, which is 25% of the apartments in Albuquerque. And that 25% own the largest and the newest and the most successful. So, it is not a statistically reliable database and if Steven English were here today he would tell you that because he has told me that. 54% of apartments in Albuquerque are owned by individuals and small businesses that have 19 units or less. They're virtually left out of that data. They are mostly older, cheaper and more vacant. They are mostly located south of Central Ave.

CHAIR BEGAY: Commissioner Gara.

COMMISSIONER GARA: This is all fine and good but it's not relative from the standpoint of the responsibility we have before us as far as the site plan review of this project. Whether the economics work, or anything like that is not under our jurisdiction.

DAN HOUCK: Don't you have responsibility for the environment?

COMMISSIONER GARA: Well I've never been told why we're called the Environmental Planning Commission, but it's a Planning Commission. But from the standpoint of what our responsibility is here, is for site plan review and the zone change. And the zone change is not a zone change in this particular case that changes zoning other than it changes it from which lot is zoned what, but the zoning remains the same, so the issues are site plan and zoning, not market conditions, vacancies or anything of that nature.

DAN HOUCK: So you're telling me that this Commission has no responsibility to make sure that the project does not have an adverse environmental impact on the larger community?

COMMISSIONER GARA: And how is this going to have an adverse environmental impact?

DAN HOUCK: By causing displacement from already under occupied buildings and causing greater abandonment and more foreclosures and that's why we like to have the permission to introduce this information into the record.

COMMISSIONER GARA: Again it's not relative to our jurisdiction in my opinion.

CHAIR BEGAY: We may have a problem with whether it's relative to our jurisdiction, we also have a problem that we have a two day, 48 hour period with which to submit documents into the record and by coming here and handing this out, you haven't met that 2 day requirement. We're supposed to get this 2 days before we hear this case and it is the prerogative of the Planning Commission to accept this, but we haven't really voted on that yet or not, and so, I would like at this point for the Planning Commission to entertain a motion to accept this or not.

COMMISSIONER GARA: I don't have any problem accepting it. I think the purpose of that is that; to sit here and try to read documentations that are presented at the hearing is impossible. We can certainly accept it into the record and have the secretary take it, but to sit here and read it, we can't really do that.

DAN HOUCK: Well muzzling the community isn't going to make us go away, you know that? Thank you very much.

CHAIR BEGAY: Did you get his last statement on the record, because we didn't understand what he was saying?

VICE-CHAIR SCHWARTZ: What he said was, muzzling the community isn't going to make people go away. But we're not muzzling the community.

CHAIR BEGAY: Thank you. Next person.

FRAN TAPIA: I was told that Cal Irvin wasn't here, so the next person is Susan Henderson followed by Phillip York.

SUSAN HENDERSON: Susan Henderson, exactly a Board Member of Willow Wood Homeowners Association, 1031 Los Padres Pl. SE, 87123. In representing the Board of Willow Wood here today, we have three outstanding issues that were not addressed or were not satisfied in our mediated meetings. The first is the infrastructure issue and we received the letter from the engineer stating that the response from the City of Albuquerque to the water issues and that there was leak that was in the process of being fixed and the new water line that was being put in place, but if that has happened our pressures have not changed at all. And we have some grave reservations about that adequacy of the existing infrastructure for both the continuation of the Maribello build out the technology part and then this on top of it all, just seems like it's well more than the current system can accommodate.

Our second issue is we still have some real reservations also about the traffic quality, largely due to the fact that the Eubank build out is not going to be complete for sometime and the developer was quoting the fact that with the six lanes that there will be adequate, a turn-off lane that will not slow down the Sandia and Kirtland traffic at rush hours, but until that occurs we already have a gridlock there and we feel like there really does need to be some way to address that from the developer standpoint as in providing turn off lanes at this point and even the possibility of going ahead and having the developer complete Steven Moody. Because if that were done, and people could exit from the rear onto Gibson, and get out at that location that would alleviate the possibility which we feel is like is an inadvertently at this point, but they will go north on Steve Moody, east on Southern, south on Elizabeth and right through the middle of Willow Wood. Because that's going to be the most expedition way to get to that traffic light to go south into Sandia.

So we feel like the traffic issue has not been addressed to our satisfaction either, and then the final issue is something that you all have addressed previously and we still have some issues with that. And that is the ecstastic value of the development. The garages that have been addressed before still are an issue. If our discussion with the developer and architect, the architect pointed out that we live in Albuquerque and walls are a part of our environment. And that is very true, however, you all expressed a very great interest in pedestrian uses and bike usage. We are very interested in that that too, because that's the way my husband gets to work, he works at Sandia, and he bikes. We walk religiously, and there's quite a different impression from walking along a wall that's six feet maximum, according to Zoning, in the City 8 feet. And a wall that is 12 feet, even though it's been lowered from 14, it's just a different monolithic impression all together and if you look at the 5 unit garage, that's going to be, it's not on the plans we received, it was not dimensioned but speaking as an architect, I would



assume that that is going to be at least 50 feet in length, possibly 60 feet and so just the whole monolithic environment is not conducive to pedestrian uses, I mean it's intimidating. It's not inviting.

So, we have a problem with the garages. We do not feel like they are at pedestrian scale nor do they have any level of detailing that brings them down to a pedestrian scale. We also have a problem with the galvanized metal roofing. Because of all the neighbors in the area, we feel very strongly that it should be definitely specified as something that is non-reflective. Not only the homeowners are going to be upset but the people in the offices will be as well. So we feel those are three issues that we have some great reservations for that. And we hope that you will take those into your considerations. Thank you.

CHAIR BEGAY: Thank you. Any questions? Commissioner Johnson.

COMMISSIONER JOHNSON: Thank you Madame Chairman. Ms. Henderson, could you just say quickly again what you said earlier about the water pressure? Did you say that you had talked to the City Engineer and they had said it was as good as it was going to get, or there were going to be improvements in the future?

SUSAN HENDERSON: We haven't spoken with them ourselves. The developer...

COMMISSIONER JOHNSON: Excuse me just a minute. I looked at what happened in your meeting and it was proposed in your meeting that you spoke to the City Engineer about it, right?

SUSAN HENDERSON: They sent us a letter that said that the Engineer said we could, that he was available to us. But as far as he was concerned, it was designed, as it will be.

COMMISSIONER JOHNSON: So it's as good as it's going to get right now?

SUSAN HENDERSON: He did not indicate that he could not be, you know, but at this time point, his response, or at least, the Consensus Planning response that we got was that he found it to be adequate. However, numerous homes, in fact I would say the majority of homes in Willow Wood at this point, at peak times, you know, early mornings, late evenings, we're having a very distinguished and noticeable change in our water pressure already. So there's obviously a problem.

COMMISSIONER JOHNSON: Okay, I still feel mystified by this. And maybe I'll talk to the applicant again. Thank you.

CHAIR BEGAY: Any other questions? Thank you.

FRAN TAPIA: Phillip York.

PHILLIP YORK: My name is Phillip York; I'm President of Singing Arrow Neighborhood Association. My address is 12614 Singing Arrow, 87123. We initially were involved in the planning process of Manzano Mesa, probably 7 or 8 years ago. And some of the things that we expressed at that time have not come about. In particular the transportation planning has been a disaster. That's why the folks in Willow Wood have come back and wanted to change some things that have happened out there and why some of the streets on Marribella are as convoluted as they are. Commissioner Johnson expressed the concern about bicycles. I had to fight literally to get the bicycle path on Singing Arrow to finally make its way through over to the Eubank gate. And that was something that was supposed to be a Matter-of-Fact. I can tell you from 22 years of living in the Singing Arrow neighborhood, the high-density residential development in this immediate area is a disaster. It does not work. The police department has to become involved, solid waste has to become involved, streets, and transportation planning. These are all the things that occur after you folks approve a high-density complex. I would urge you *not* to approve this at all. Thank you.

CHAIR BEGAY: Any questions? Thank you.

FRAN TAPIA: There are no others.

CHAIR BEGAY: Applicant would you like to say something?

KAREN MARCOTTE: Madame Chair, Commissioners, I will try and address some of the issues that were raised with regards with vacancy rates and stuff. I have a lot of contrasting information, but I won't go there unless you want me to. With regards to concerns from Willow Wood on utilities, we can have the engineer talk about that from Bohannan Huston, if you'd like. There have been apparently water pressure problems in the Willow wood neighborhood and there was apparently a broken line or a leaking line that they were going to try and repair. I think quite frankly further development in the area will be an improvement because there are a lot of large master planned facilities out in the area for both transportation and utilities that won't get built until the adjacent develops are in place. And so I think really their capacity will be better when the large master plan facilities are in place.

But we're currently just trying to tract down, through the City, what the problem has been with their water pressure and try and give them a resource for how to get it fixed. It has nothing to do with the vacant land that the apartment site is located on. So, I'm not sure how much more we can do to address that.

Although, we have engineers from Bohannon Huston here if you'd like to talk to them.

CHAIR BEGAY: Commissioner Johnson.

COMMISSIONER JOHNSON: Are the Master Plan facilities that you are referring to, going to go in with the development of this site?

KAREN MARCOTTE: Madame Chair, Commissioner Johnson, some of them will. And I'd like to have an engineer from Bohannon Huston maybe describe that for you in more detail.

COMMISSIONER JOHNSON: That will be helpful, thank you.

BRUCE STEIDWORTHY: Specifically with respect to water lines that would be built with this project, there would be a waterline built in La Entrada, which is the street to the north and in Stephen Moody. And those would be the only waterlines that would be built with this project. There is an existing 30-inch waterline that runs diagonally through the northeast corner of our project and serves the Willow wood neighborhood but that has been there since before the pressure problem were observed by the neighbors. I personally spoke to the gentlemen in charge of the water systems maintenance for the city, about this issue and he wasn't aware that there were any pressure problems. But I brought it to his attention and he suggested a couple of possible reasons, one being that with all the construction that has gone on in that area, that possibly some valves got closed and didn't get fully re-opened. And he said that he would have his crews check that and he also said that there's a waterline being constructed with the Marrobella Subdivision adjacent to Willow wood that is currently under construction and that that additional connection could help with the pressure.

I don't know if that connection has been made yet. He also said that he told me to give me his phone number and name to the neighbors, which we did by the letter and that they were welcome to contact him and he would come and set gages as necessary to monitor the water pressure and determine exactly what it is and begin to try to resolve the problem.

COMMISSIONER JOHNSON: Thank you.

CHAIR BEGAY: Commissioner Chavez.

COMMISSIONER CHAVEZ: Gentlemen from Bohannon Huston, a related question. In looking at the Staff Report under the comments of the City Agencies, Utility Development, No comment on use. The utility plan appears to show the private water system with illegal looping connection to the public lines. This must be corrected. Has that been corrected?

BRUCE STEIDWORTHY: It will be corrected prior to our submittal to DRB and DRB approval of the utility plan. Yes. Like you said, that is a separate issue, yes.

CHAIR BEGAY: Any other questions? Thank you.

KAREN MARCOTTE: Commissioners, if I may continue with regards to the transportation issues and we also have transportation engineer here. The six lanes on Eubank are scheduled to be built in 2003, in two years, which will help increase capacity for the whole area. There are admittedly very great transportation challenges in the area because of the in flow and out flow of base commuters twice a way, up and down Eubank. Relative to this project, the traffic projections have been the same in all of the transportation studies that have been done over the last ten years because there was always an assumed 25 acres of apartment development in this site when those studies were done, so there hasn't been a change to those.

Relative to the esthetics, I would just like to point out that we don't have a 12-foot wall. There are 12 foot garages, although typically they won't, or they will be at a lower grade than the adjacent sidewalk, so they may look shorter than that, but it's not a solid 12 foot wall, it certainly much shorter than most of the homes that you walk by in Willow Wood which are primarily two story homes adjacent to the sidewalks, so I don't know that a 12-foot garage is that much less pedestrian friendly.

COMMISSIONER GARA: Ms. Marcotte, what's the difference in elevation between the garage level and the sidewalk level?

KAREN MARCOTTE: Commissioner Gara the architect said that typically those garages are at a lower level than the sidewalk that is adjacent to them on the public right-of-way.

COMMISSIONER GARA: How much lower, I guess was the question?

UNKNOWN SPEAKER: It varies.

COMMISSIONER GARA: From what to what?

JORGE DE LA TORRE: Madame Chairman, Commissioners, I am Jorge De La Torre with De La Torre Architects. The worse condition would be that the parking and the sidewalk would be at the same level in which case you will see the full 12 feet but as we slope towards the west, the project gets lower and lower and I don't have the grades on every garage at this point, but the worse condition is 12 and as you can see in the sketch, the low, isometric perspective, it's not that this wall is next to the sidewalk. There are 15 feet and sometimes more than

15 of landscaping to mitigate any impact of what this height. And also, as you can see, we have added some detailing, if you will, that seems to make people more comfortable about human scale and we are added some wayne scott and some very heavy deep expansion joints that in my opinion, I don't know how I can help the project because I do like a blank wall also, but we try to hear what the neighborhood said, and we try to put a little bit more control joints in something that supposedly smoothes, I mean it takes the smooth and hardness out of the walls.

CHAIR BEGAY: Commissioner Johnson.

COMMISSIONER JOHNSON: Thank you Madame Chairman. Mr. De La Torre, as long as you're up there can you expresses any talk about the reflectivity of the roof?

JORGE DE LA TORRE: Definitely, you know there are several levels of reflecting on roofs and we are going to be using the matte finish because definitely we have to, not to reflect any, it was just not part of our plan.

COMMISSIONER JOHNSON: Is that specified?

JORGE DE LA TORRE: No but I have checked with the roof manufactures and then definitely we can have something that they call zinc finish and I didn't have enough time to...they didn't provide me with a sample, but it will be matte finish.

COMMISSIONER JOHNSON: We will probably need to have that specified.

JORGE DE LA TORRE: Oh yes, we will by DRB, we will specify the manufacture and the shininess and all that.

COMMISSIONER JOHNSON: Thank you.

CHAIR BEGAY: Any other questions? Thank you Mr. De La Torre.

KAREN MARCOTTE: Let's see that was the matte finish on the metal roof, then the other issue was raised that high-density residential would be a disaster in this area and we would disagree. It's been zoned for that for quite some time and it was actually, initially zoned to be a mixed use project when Manzano Mesa went through over ten years ago with the urging of the City to include high-density residential as well as single family, office, commercial and industrial uses, so, we see ourselves in implementing that vision. I think Mr. Vance would like to respond to some of the issues as well.

DAVID BANTZ: David Bantz again. I just have one issue. Mr. Houck was not at the neighborhood meeting that we had a couple of weeks ago, but at that

time I did tell everyone that was at that meeting, that we are not requesting any tax payers subsidies for this project. I know that's not part of your relevance information that you need, but I just wanted to let him know that. The way we are able to provide some affordable units is that the State is selling some bonds and as a matter of fact we were fortunate enough to have the state approve this project. We went before the State a couple of weeks ago. They had 13 million dollars available, there were 19 million dollars worth of projects and we were the only project to be approved. And we got 7.5 million dollars worth of tax bonds.

CHAIR BEGAY: Thank you. Questions? Commissioner Serrano.

COMMISSIONER SERRANO: Yes, Mr. Marcotte could you address, or maybe someone from Consensus Planning, and I think they also raised some issue with regards to traffic in that area. You were going to respond to some of their concerns. And I also didn't hear a response with regards to concerns raised regarding police response time, or police activity in that area.

KAREN MARCOTTE: Madame Chair, Commissioner Serrano, relative to the traffic and transportation concerns, we should probably have the transportation engineer from Bohannon Huston address those. My understanding is that the Eubank facility will be widened and improved within two years.

COMMISSIONER SERRANO: Well specifically, I think in the Staff Comments, they made a comment that the left turn bay should be implemented. Request left turn bays be introduced on Eubank.

KAREN MARCOTTE: Madame Chair, Commissioner Serrano, we have agreed with the Findings and Conditions and the recommendations of Transportation Planning.

COMMISSIONER SERRANO: Thank you.

CHAIR BEGAY: They will be included. Commissioner Chavez.

COMMISSIONER CHAVEZ: Along those same lines on the traffic and perhaps you've covered it in this conversation, but, getting back to the Agency Comments, Transportation Planning and Joe David is here and he may be able to clarify it for us. There's an issue that's raised here and not to get in reading it entirely, it indicates that the Transportation Department would not recommend approval of this project unless there's something changed here. It has to do with the right 156-foot right-of-way. Has that been dealt with? And maybe in talking about all this, now, I think Transportation is a real critical element of this because of the nature of the Base and all the current activity and future activity, maybe we should spend a little more time on that and tell us a little more about how the neighborhoods concerns are going to be dealt with there, because I see that as a

**R-01-221**

Proposing a Charter Amendment to Require Quarterly Fund Raising and Expenditure Statements by the Mayor and City Councillors (Yntema)

*Not Passed 9 - 0*

For: 9 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema, McEntee, Payne and Brasher  
Against: 0

**P-01-1**

Charter Amendment Proposal to be Submitted to Voters at October 2, 2001 Municipal Election Concerning Quarterly Statements of Campaign Contributions and Expenditures for any Elected Office (Yntema)

*Referred to the Rules Committee 5 - 4*

For: 5 - Council Members: Winter, Hundley, Armijo, Griego and Kline  
Against: 4 - Council Members: Yntema, McEntee, Payne and Brasher

**P-01-2**

Charter Amendment Proposal to be Submitted to Voters at October 2, 2001 Municipal Election Concerning the Period of Time for Which Statements of Campaign Contributions and Expenditures Shall be Reported (Yntema)

*Referred to the Rules Committee 7 - 2*

For: 7 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema and Brasher  
Against: 2 - Council Members: McEntee and Payne

**R-01-231**

Adopting the Revised Intergovernmental Agreement for the Albuquerque/Bernalillo County Government Commission with Modifications (Brasher)

*Not Passed 8 - 1*

For: 8 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema, McEntee and Brasher  
Against: 1 - Council Member: Payne

single biggest issue on this. But anyway has that been resolved and since Joe David's here maybe we can get his comments on the transportation and the traffic and so forth, in this development.

**KAREN MARCOTTE:** I was just going to suggest that and/or the traffic engineer from Bohannon Huston.

**JOE DAVID MONTANO:** Madame Chair, Commissioner Chavez, the comment from Transportation Planning was based on the long-range major street plan. What we have is a problem of communication with identifying exactly where the right-of-way that's been developed, or been dedicated over time along Eubank. And that is the issue that's in question. The Public Works Department is in the process of doing a project that would improve Eubank all the way from the gates of Sandia to Southern, at a six lane cross section. We have more than adequate right-of-way to do those improvements. I don't believe, and I think we're talking about feet's in this instance whether we have a centerline right-of-way of 7 or 8 feet on either side of the centerline or if we need to get additional right-of-way from the DOE property on the Westside. That was the issue that was being discussed as part of that comment. That came from our Transportation Planning Staff. Our concern is that the facilities get built and within an adequate right-of-way and then I presume that we will have those available in the year of 2003.

**CHAIR BEGAY:** Commissioner Gara.

**COMMISSIONER GARA:** Mr. Montano, has this project complied with the dedication of right-of-way? Is it necessary to meet the requirement on the eastside, the eastside of the centerline?

**JOE DAVID MONTANO:** Yes. For all the street.

**COMMISSIONER GARA:** Correct me if I'm wrong, I just got the book but I haven't sent the Master Plan for the Science and Technology part that's going to be heard later this month, but I'm assuming that the right-of-way necessary on the Westside of Eubank from the center line would be dedicated in that Master Plan?

**JOE DAVID MONTANO:** That is not clear at this point.

**COMMISSIONER GARA:** Is it DOE a participant in that? Everybody shaking their heads no, so....

**JOE DAVID MONTANO:** I don't think so.

**COMMISSIONER GARA:** Okay, this project on the eastside of Eubank has complied with the right-of-way requirements?



JOE DAVID MONTANO: Yes it has.

COMMISSIONER GARA: Thank you.

CHAIR BEGAY: Mr. Montano what about the issue that was brought up about finishing Stephen Moody, is that ever going to happen? How's that going to happen? What's going to trigger it?

JOE DAVID MONTANO: I believe the right-of-way for Stephen Moody is in place. I believe the section that's in front of the Multi Generational Community Center is in the process of being developed at this time. We have a few gaps in-between. What would happen is that temporary pavement would be laid in those gap areas to allow the facility to be continued and that would be one of the requirements that we would look at?

CHAIR BEGAY: Commissioner Gara.

COMMISSIONER GARA: I think if I remember correctly when we reviewed the ten year CIP, I think there was funds available for the expansion of Eubank Blvd.

JOE DAVID MONTANO: (inaudible) dollars yes.

COMMISSIONER GARA: Like 6 to 8 million, or 6 or 7 million dollars for that, if I'm not mistaken?

JOE DAVID MONTANO: I don't recall what the value is.

COMMISSIONER GARA: It was quite a bit of money. South of Central to the gate. I think that was within the first year of the ten-year plan, which is the first cycle.

JOE DAVID MONTANO: Yes, it was in the next couple of years from now. I believe that includes other utilities within that right-of-way would be included. That's why the value was so high; I don't believe it was just for paving.

CHAIR BEGAY: Anything else? Thank you. Debbie Stover, do you have any closing comments?

DEBBIE STOVER: No I don't.

COMMISSIONER GARA: I have a question for Staff. Debbie Stover, did I miss it, that the comments by the agencies are not included in our conditions?

DEBBIE STOVER: That's correct, I need to add Condition 16, the Transportation comments and conditions. I meant to do that but neglected it.

COMMISSIONER GARA: And also, even though we've had testimony here today that the utility plan will be modified when it goes to DRB. We need to make that one also, I believe.

CHAIR BEGAY: Mr. Brito.

RUSSELL BRITO: Madame Chair, we have another member of the public who would like to speak, if it's possible.

CHAIR BEGAY: Sure. Raise your right hand. Swear to tell the truth?

RUTH FRANCIS: Yes I do. I'm Ruth Francis and I live at 217 Hanosh Court SE. I just want to make a comment. And it's in reference to your statement that you do not understand or really know what the Environmental part of your title really means. Well I have to fully agree with you. You don't. I've heard you reject any comments which concerns the economic environment of this neighborhood and yet I have watched you hash over and over and over and over, traffic and water, those you state that we are here to discuss the site plan and the site plan only. Traffic has nothing to do with the site plan; water in Willow wood has nothing to do with the site plan. If we can discuss those, why can we not discuss the economic impact of the environment? The rest of the environment, the economic environment of the rest of the neighborhood? And that is all I have to say, I do not want an answer. Thank you.

CHAIR BEGAY: Any questions? Staff do you have any closing comments? Let's close the floor. Questions, comments? Commissioner Johnson.

COMMISSIONER JOHNSON: I'm prepared to make a motion for Approval. In the matter of 00110-00000-01644 request for zone map amendment from SU-1 for O-1, SU-1 for R-2, to SU-1 for O-1 for Tracts G-2 and H-1, Manzano Mesa Addition. I move approval based on Findings 1-4 as written and Conditions 1 & 2 as written.

COMMISSIONER GARA: Second.

CHAIR BEGAY: Motion and second, all those in favor? Against?

COMMISSIONER GARA: Can we have a little discussion?

CHAIR BEGAY: Sure.

COMMISSIONER GARA: I was just going to say that my reasons for supporting it, is one of the things that we are facing in our community, is a couple of things. One is certainly infill development and trying to put jobs into the market place and certainly the Science and Technology Park is going to be a creator of jobs. If we

can put all types of housing, whether it's Willow wood or apartments within walking and biking distance to those jobs, or even if somebody has to drive to work from that location, we're doing a better job of putting what people need where they work and where they live in the same vicinity. I think that's the main purpose of trying to approve projects, such as this, so that we can eliminate, if not the number of trips taken, the vehicle miles traveled to get from your home to your job and back and I think we're going to continue to see opposition to these types of projects as we go forward.

Along with major ulterior, such as Eubank is an ideal location for a higher density development that provides housing, certainly we all know that affordable housing is something that is necessary and is needed in this community and if they can provide this, than I think that's a benefit to our entire community as a whole, as apposed to and I hope there is no economic downturn to the community, directly affected by this development. But I think what happens. And I'm in the Commercial Real Estate Business. What happens is when competition comes in, it forces landlords in the area, in my opinion, to take better care of their property and to maintain it in order to keep tenants. Some people don't want to live in such a dense development. They would rather live in a four-plex or a duplex or a single-family rental, so there are all kinds of impacts to our environment, not just, I mean to the community as a whole, as well as to the surrounding neighborhood. But I think we need to look at these projects as they come through. We need to vote on them based upon the merits of the projects and the quality of the site plan that we see. And I'm prepared to support this.

CHAIR BEGAY: Any other comments? Thank you. All those in favor? We voted right?

COMMISSIONER GARA: I think we said Aye. We didn't have any No's.

CHAIR BEGAY: There was no No's. Motion passes unanimously. Commissioner Johnson.

COMMISSIONER JOHNSON: In the matter of 00128-00000-01645, a site plan for subdivision, I move approval based on Findings 1-4 on page 22.

CHAIR BEGAY: Motion and second. All those in favor? Motion passes unanimously. Commissioner Johnson.

COMMISSIONER JOHNSON: In the matter of 00110-00000-01646, a request for site plan for building permit, I move approval based on findings 1-5. I wanted to make a couple of modifications to the conditions and I didn't realize that there were two different sets of them. Staff, are the conditions the same for both?

DEBBIE STOVER: No.

COMMISSIONER JOHNSON: Can I take a few minutes so I can mark these up? And Debbie Stover, can you come and help me with this? Thank you.

CHAIR BEGAY: We'll take a short break.

(PAUSED for a 5 minute break)

COMMISSIONER JOHNSON: I apologize for the delay. In the matter of 00110-00000-01646, site plan for building permit for the west site. I move approval with Findings 1-5 as written, page 23. Condition 1 & 2, as written. Condition 3 modified in this matter, adding a sentence after the existing sentence, "at points where bicycle and pedestrian traffic may conflict (for example, near external trail access points) measures such as widening shall be taken to minimize those conflicts. Conditions 4-11 as written. 12, I would like to add, Design of the 10-foot asphalt trail along Eubank in this area shall be coordinated with the Trails Planner Diane Scena. And 13 and 17, as written and then 18 incorporates the Transportation Comments as included in the Staff Report.

CHAIR BEGAY: Commissioner Gara?

COMMISSIONER GARA: I'll second that, but I'd like to add a 19, which is the Utility Development Department Comments.

COMMISSIONER JOHNSON: Okay. Is it a Condition, appropriated as a Condition?

COMMISSIONER GARA: It says to show a private water systems with illegal looping connected to public lines.

COMMISSIONER JOHNSON: Should that be a Finding?

COMMISSIONER GARA: You need to correct it.

COMMISSIONER JOHNSON: Do you want to say it one more time?

COMMISSIONER GARA: Just that the Utility Plan shall meet the requirements of the Utility Development Department with the City of Albuquerque.

COMMISSIONER JOHNSON: Okay.

CHAIR BEGAY: Is this where we're also putting in the matte finish for the roof?

COMMISSIONER GARA: Yes.

COMMISSIONER JOHNSON: No, that's on the next one.

CHAIR BEGAY: Okay on the east. Anything else? If not, call for the question? All those in favor? Motion passes unanimously. Commissioner Johnson.

COMMISSIONER JOHNSON: In the matter of 00110-00000-01647, site plan for building permit, I move approval based on Findings 1-4 as written on page 26. Conditions 1&2 as written, Condition 3 modified as I did on the other one, talking about points of conflict. 4&5 as written. There are two five's here, so we're going to renumber from here on out. So the new Condition 6, I would like to modify slightly to read "clearly marked and centrally located pedestrian access shall be provided between and through this development and the proposed complex adjacent to this site." 6 becomes 7, 7 becomes 8, 8 becomes 9, the new 10, has a new additional sentence that reads, "The roofs shall be matte finished and non-reflective."

COMMISSIONER GARA: I don't know that matte is going to be non-reflective, but it will be the least reflective. But I don't believe it's going to be non-reflective.

COMMISSIONER JOHNSON: All right, we'll leave it as Matte Finish. 10 becomes 11, 11 becomes 12, 12 becomes 13, 13 becomes 14, 14 becomes 15, 15 becomes 16. 17 should be the Transportation Comments as written in the Staff Report. 18, Debbie Stover.

DEBBIE STOVER: Unobstructed pedestrian connection 6-foot clear shall be noted on the site plan between the apartments and the office.

COMMISSIONER JOHNSON: Okay, and Commissioner Gara, do you want to add the Utility Plan 19.

COMMISSIONER GARA: 19, as assigned to the previous case. Second.

CHAIR BEGAY: Anything else? All those in favor of the motion? Opposed? Motion passes unanimously.

COMMISSIONER GARA: Thank you, nice job.

**THE FOLLOWING ACTION WAS TAKEN**

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to approve 00110-00000-01644/00128-00000-01645/00128-00000-01646/00128-00000-01647 based on the following findings:

On March 1, 2001, the Environmental Planning Commission voted to Approve 00110 00000 01644, a request for zone map amendments based on the following Findings and subject to the following Conditions of Approval:

**FINDINGS:**

1. This is a request for a zone map amendment for Tract H and Tract G-3, Manzano Mesa Addition.
2. The request meets the requirements of applicable City plans and policies.
3. The request has been justified under Resolution 270-1980 by the applicant under the changed community conditions and the more advantageous to the community policies.
4. A site plan accompanies this request for SU-1 zoning.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines

On March 1, 2001, the Environmental Planning Commission voted to Approve 00110 00000 01645, a request for site plan for subdivision, based on the following findings 1-4.

**FINDINGS:**

1. This is a request for a site plan for subdivision for Tracts H and G-3, an approximately 36.3 acre site and which is located on Eubank Boulevard south of Southern SE. The intent is to subdivide into three new tracts to be called Tract G-3-A, Tract G-3-B and Tract H-1.
2. A site plan for subdivision is required for approval of SU-1 zoning.
3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating the framework for a quality urban environment which perpetuates the tradition of identifiable,

individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.

4. The site development plan for subdivision meets all of the requirements of the Zoning Code.

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On March 1, 2001, the Environmental Planning Commission voted to Approve 00110 00000 01646, a request for site plan for building permit, based on the following findings 1-5, and subject to the following conditions 1-18.

**FINDINGS:**

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed for the connections between the two complexes.
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.
5. The submittal will be adequate with some changes and additions.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.

3. All exterior sidewalks and internal walkways shall be marked as a minimum 6-foot wide on the site plan. At points where bicyclists and pedestrian traffic may conflict, (for example, near external trail access points) measures such as widening shall be taken to minimize those conflicts.
4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
6. Clearly marked and centrally located pedestrian access shall be provided between and through this development and the proposed apartment complex adjacent to this site.
7. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
10. Lettering, colors, and content of the monument sign shall be shown on the site plan for building permit.
11. Pool and equipment room elevations that compliment the architecture of the apartment buildings shall be shown on the site plan.
12. Design of the 10-foot asphalt trail along Eubank in this area shall be coordinated with the Trails Planner Diane Scena.
13. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
14. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant



- building color. All ground-mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
15. No chain link, razor wire or plastic/vinyl fencing is permitted.
  16. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
  17. All walls must conform to the City's Wall Design Standards publication.
  18. Transportation Development Services:
    - A) The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
    - B) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets.
    - C) Proposed circulation drives and internal parking areas must be paved as per DPM standards.
    - D) The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
    - E) Location of refuse enclosures, walls, fences and signs must meet the clear sight distance requirements.
    - F) Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
    - G) Coordination with the Solid Waste Department with regard to refuse container location and access.
    - H) Street Trees are required along Eubank Boulevard.
  19. The Utility plan appears to show the private water system with illegal looping connection to public lines. This must be corrected. A water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action. Request left turn bays be introduced on Eubank to allow good access to the project location.
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On March 1, 2001, the Environmental Planning Commission voted to Approve 00110 00000 01647, a request for site plan for building permit, based on the following findings 1-4, and subject to the following conditions 1-6.

**FINDINGS:**

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but

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integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.

2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed at the connections between the two complexes.
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
3. All exterior sidewalks and internal walkways shall be marked as 6-foot wide on the site plan. At points where bicyclists and pedestrian traffic may conflict, (for example, near external trail access points) measures such as widening shall be taken to minimize those conflicts.
4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
6. Clearly marked and centrally located pedestrian accesses shall be provided between and through this development and the proposed complex adjacent to this site.

7. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
10. The type and color of the galvanized, aluminum metal roof shall be specified on the site plan. The roofs shall be matte finish.
11. Notes regarding the signage for this property shall state what siding is proposed on Sheet 7 and state what colors and materials will be used for the signage.
12. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
13. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All ground-mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
14. No chain link, razor wire or plastic/vinyl fencing is permitted.
15. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
16. All walls must conform to the City's Wall Design Standards publication.
17. Transportation Development Services:
  - A) The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
  - B) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets.
  - C) Proposed circulation drives and internal parking areas must be paved as per DPM standards.

UNAPPROVED

- D) The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
  - E) Location of refuse enclosures, walls, fences and signs must meet the clear sight distance requirements.
  - F) Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
  - G) Coordination with the Solid Waste Department with regard to refuse container location and access.
  - H) Street Trees are required along Eubank Boulevard.
18. Unobstructed pedestrian connection 6-foot clear shall be noted on the site plan between the apartments and the office.
19. The Utility plan appears to show the private water system with illegal looping connection to public lines. This must be corrected. A water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action. Request left turn bays be introduced on Eubank to allow good access to the project location.

MOVED BY COMMISSIONER JOHNSON  
SECONDED BY COMMISSIONER GARA

MOTION CARRIED  
UNANIMOUSLY 6-0

THERE BEING NO FURTHER BUSINESS TO COME BEFORE THE  
COMMISSION, THE HEARING WAS ADJOURNED AT 5:30 P.M.

1/30  
*Fran Tapia, Recording Secretary*

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City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: February 16, 2001


**OFFICIAL NOTIFICATION OF DECISION**

GSL Properties, Inc.  
2164 S.W. Park Place  
Portland, Or 97205

FILE: 00110 00000 01644/00128 00000  
01645/00128 00000 01646/00128 00000 01647  
LEGAL DESCRIPTION: for Tract G-3 &  
Tract H-1, Manzano Mesa Addition, located on  
Eubank SE between Central Avenue SE and  
Sandia National Labs SE, containing  
approximately 36.3 acres. (L-21) Debbie Stover,  
Staff Planner

On February 15, 2001, the Environmental Planning Commission voted to defer 00110 00000 01644/  
00128 00000 01645/00128 000000 01646/00128 00000 01647 to the Environmental Planning  
Commission Public Hearing on March 1, 2001 at 4:00 p.m. in the Plaza del Sol Hearing Room.

Sincerely,



Robert R. McCabe, AIA, APA  
Planning Director

RM/DS/ac

cc: Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123  
Joe Ando, 13200 Mountain Shadows Rd. NE, Albuquerque, NM 87111-5530  
Ray Baron, HC 75 Box 122 Chama, NM 87520  
Mark Burton, 12500 Charla Ct. SE, Albuquerque, NM 87123  
Ed Candelaria, 1053 Colt Ln. SE, Albuquerque, NM 87123  
Henry Crocket, 404 Rainbow Ct. SE, Apt. D, Albuquerque, NM 87123  
Diane Davidson, 12800 Piru SE, Albuquerque, NM 87123  
Marylyn Floro, 528 Eugene Ct. SE, Albuquerque, NM 87123

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OFFICE NOTICE OF DECISION

FEBRUARY 15, 2001

00110 00000 01644/ 00128 00000 01645/

00128 000000 01646/00128 00000 01647

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Frank Gallaspy, 1308 Kentucky SE, Albuquerque, NM 87108  
Joanne Gladin de la Fuente, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Susan Henderson, 1031 Los Padres SE, Albuquerque, NM 87123  
Dolores Keane, 828 Trading Pose Trail SE, Albuquerque, NM 87123  
Karen Kendall, 12924 Piru SE, Albuquerque, NM 87123  
Dave Orwat, 4600 Homestead Tr. NW, Albuquerque, NM 87120  
Dave Saxon, 10836 Wasatch Rd. SE, Albuquerque, NM 87123  
Rose & John Sena, 7820 Zuni SE, Albuquerque, NM 87123  
Dave Smith, 12536 Elyse Pl. SE, Albuquerque, NM 87123  
John Smokov, 608 Parkside Pl. SE, Albuquerque, NM 87123  
Janette Vanderkamp, 300 Dorado Pl. SE, Albuquerque, NM 87123  
Phil York, 12705 Elyse Pl. SE, Albuquerque, NM 87123

ENVIRONMENTAL PLANNING COMMISSION  
MINUTES

February 15, 2001

COMMISSION MEMBERS PRESENT:

Elizabeth Begay, Chair  
Chuck Gara  
Alan Schwartz  
Larry Chavez  
Camilla Serrano

UNAPPROVED

COMMISSIONER MEMBERS ABSENT:

Susan Johnson  
Mick McMahan

STAFF PRESENT:

Richard Dineen, Planning Department  
Russell Brito, Planning Department  
Simon Shima, Planning Department  
Debbie Stover, Planning Department  
Cynthia Borrego-Archuleta, Planning Department  
April Candelaria, Recording Secretary  
Joe David Montano, Transportation, Public Works Dept.  
Don Newton, Planning Department, Neighborhood Coordination  
Leigh Matthewson, Planning Department  
Mary Piscitelli, Planning Department  
Loretta Naranjo-Lopez, Planning Department  
Lola Bird, Planning Department

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1. Call to Order. 8:19 a.m.

A. Announcement of changes and/or Additions to the Agenda

00110 00000 01644 Consensus Planning, Inc., agents for GSL Properties, Inc. request a  
00128 00000 01645 zone map amendment from SU-1 for O-1, SU-1 for R-2 to SU-1 for O-  
00128 00000 01646 1, SU-1 for R-2 plus approval of a site development plan for  
00128 00000 01647 subdivision purposes and approval of a site development plan for  
Project # 1000938 building permit for Tract G-3 & Tract H-1, Manzano Mesa Addition,  
located on Eubank SE between Central Avenue SE and Sandia  
National Labs SE, containing approximately 36.3 acres. (L-21)  
Debbie Stover, Staff Planner (DEFERRED TO MARCH 1, 2001.)

STAFF PRESENT:

Debbie Stover, Planning Department



David Suffling, Legal Department

**PERSONS PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:**

Karen Marcotte, 924 Park SW

MR. BRITO: Back on page two of the agenda, item 1D, 00110 00000 01644/00128 00000 01645/00128 00000 01646/00128 00000 01647. This case was scheduled to be heard last week February 8 but there was not a quorum of Commissioners at that hearing. It could not be heard. So it was rescheduled, deferred to today. Unfortunately we did not send out correct notice of this deferral to all interested parties and we have been advised by legal staff that this case should be deferred and readvertised.

COMMISSIONER GARA: On a deferral like that what is the requirement? Is the City required to notify? Or is it common courtesy to notify? What is the issue?

MR. BRITO: Madam Chair, Commissioner Gara, the City should notify all interested parties by mail with a written notification. Mr. Suffling from the Legal Department is here and I believe he could clarify that.

COMMISSIONER GARA: But you (INAUDIBLE). Because I would assume that the interested parties were here last Thursday when the item was scheduled and were informed of the deferral.

CHAIR BEGAY: Mr. Suffling?

MR. SUFFLING: Madam Chair and Commissioner Gara, I do not think that is the problem. Initially I did think that was the problem the deferral and saw they were not notified around the time of the deferral. But Debbie Stover advises me that there was a problem with the actual original notice was not sent. Now, when it was on the agenda for the 8<sup>th</sup> if the notices were all done and the advertising was all done correctly like any other case and it was scheduled for the 8<sup>th</sup> and there was not a quorum then if the Chair or the Acting Chair or whoever if the Commissioners who are present would announce that there is not a quorum and announce that the item cannot be heard and announce the future hearing date and place there is notice problem. But evidently there was more of a notice problem then that. So that was the reason, and then Debbie is here she can answer probably more specifically what exactly the original notice problem was.

CHAIR BEGAY: I would like to hear what the original notice problem was because was not informed of this yesterday.

MS. STOVER: Madam Chair, Commissioners, I think there is a misunderstanding. There was not a problem with the original notice. The problem was that last Thursday on the 8<sup>th</sup> when we heard that there was not going to be a quorum we called the interested parties and let them know that the case was not going to be heard that evening so they would not show up and waste their time. And I told them it would be rescheduled to this date.

CHAIR BEGAY: You did tell them that?

MS. STOVER: I did tell them that. And I think we intended to notify the people who where signed up and the neighborhoods in writing also but there was a clerical error and that did not happen. People were not notified in writing that it was rescheduled to this date. However in the meantime the client for the apartments canceled his flight to be here today and also the neighbors that were going to be here today were told that it was going to be deferred as well. So again not everyone is here who probably wants to be here.

CHAIR BEGAY: Commissioner Gara?

COMMISSIONER GARA: I guess for future reference you said some people that had signed up were not notified?

MS. STOVER: They were notified by phone but not in writing.

COMMISSIONER GARA: But if they signed up they had to be here to sign up?

MS. STOVER: That was for the original hearing last month.

COMMISSIONER GARA: Right, last month or last week?

MS. STOVER: Last month in January. Last week nobody showed. Right, last week people were notified by phone that it was not going to be heard.

CHAIR BEGAY: So you technically notified everybody by telephone and the people who were not notified and had something to say would have been there last Thursday and at that point I made the announcement the way I was directed by our attorney to do. I read it into the record. So there would have been proper notification? So are we back to the point where the applicant is requesting a deferral?

MS. STOVER: No.

COMMISSIONER GARA: Again I think it becomes the responsibility of all interested parties to be aware of what is going on. I think if we have attempted and the City has attempted I would like to hear from the applicant as to what they have done or where they are before I would vote on a deferral. And anyone else who wants to speak on the deferral.

CHAIR BEGAY: Karen?

MS. MARCOTTE: Madam Chair and Commissioners, we were informed yesterday by the City staff that there would be a deferral based on the advice of City Legal and that they had called the neighborhood association members and told them that there would be a deferral. So, we in turn called the apartment developer and told him not to get on the plane because this would have been his third trip over here without a meeting. So, we went ahead and did

that. However if you choose to hear it I am prepared to make that presentation. But I think the Planning staff has notified the neighborhood members that the meeting would be deferred. So there will probably be people who are not here today who would otherwise been here.

CHAIR BEGAY: Well it is my opinion that if the Planning would not have notified everybody we could have heard this case today. Since the neighborhoods were notified and the applicant themselves is not here I think it is probably in everyone's best interest that we defer it. It is very unfortunate. What does everybody else think? Any body else in the audience that wants to speak to the deferral? Commissioner Serrano?

COMMISSIONER SERRANO: Chair Begay, I do agree. I think we have to defer. If the neighborhoods have been notified by planning staff in all fairness I do think we have to defer.

CHAIR BEGAY: We are deferring until what date Debbie?

MS. CANDELARIA: March 15.

CHAIR BEGAY: Do we have a date before then? Anything before then?

MS. CANDELARIA: You do not have anything scheduled. You have the first.

CHAIR BEGAY: Does the Commission want to come in for one case on March 1<sup>st</sup> or what until the fifteenth which is going to be bumped I think because everybody is coming back from New Orleans that is going. So it will be bumped another week back. March 22.

COMMISSIONER GARA: Understanding that time is money I would prefer to hold it sooner.

CHAIR BEGAY: March 1.

COMMISSIONER GARA: I think by an error on staff to call the neighborhood people and tell them that there is going to be a deferral when that decision had not been made by this Commission. It is unfair to the applicant in my opinion.

UNKNOWN SPEAKER: (INAUDIBLE) proper notice between now and March 1.

COMMISSIONER GARA: I do not know that from the standpoint of required to give proper notice I think staff can notify the people just like they notified them there was going to be a deferral today they can notify everybody that there is going to be a hearing on the first. I do not see that is a problem.

CHAIR BEGAY: All right. Okay. Lets move it to March 1. What time?

MS. CANDELARIA: Whatever time you want. Four or five? It is up to you.

CHAIR BEGAY: Four? Four o'clock, March 1.

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## UNAPPROVED

UNKNOWN SPEAKER: And location?

CHAIR BEGAY: It is here, I hope. Go ahead.

COMMISSIONER SCHWARTZ: Thank you Madam Chair. I do not really know, it seems to me this is one of these you cannot win because if we know we are not going to have a quorum and we do not call people we are going to get a lot of flack for that. But the problem here is I think is trying to accommodate people and not just letting the rules of-- you know just carry their course because my understanding is once you notice the meeting and that item is deferred or continued your notice continues. You could have gone to that meeting at which point you would have heard that the meeting was being-- the item was being deferred or continued or cannot be heard for lack of a quorum. So as long as you do not start calling people you do not interrupt that process. So again I can understand if we had not called people and knowing that there was not going to be a quorum and they all showed up they would all be upset about that. Now, we have people upset because we did call them. So, I guess we have to just maybe sit down and rethink if we really want to start calling people or not. Or just let them show up.

CHAIR BEGAY: I agree. Thank you. Okay. Next agenda item? Commissioner Schwartz?

COMMISSIONER SCHWARTZ: Agenda item 1D, 00110 00000 01644/ 00128 00000 01645/00128 00000 01646/ 00128 00000 01647, I move for a deferral to March 1, 2001 at four o'clock.

COMMISSIONER CHAVEZ: Second.

CHAIR BEGAY: A motion and a second. All those in favor? Opposed? Motion passes unanimously.

### FINAL ACTION TAKEN

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to defer 00110 00000 01644/ 00128 00000 01645/00128 000000 01646/00128 00000 01647 to the Environmental Planning Commission Public Hearing on March 1, 2001 at 4:00 p.m. in the Plaza del Sol Hearing Room.

MOVED BY COMMISSIONER SCHWARTZ  
SECONDED BY COMMISSIONER CHAVEZ

MOTION CARRIED UNANIMOUSLY

**LAND USE, PLANNING, AND ZONING COMMITTEE  
Of THE  
CITY COUNCIL**

**April 25, 2001**

**LAND USE, PLANNING, AND ZONING COMMITTEE REPORT ON:**

AC-01-08, Philip York, Agent for Singing Arrow NA - Appeals the EPC's Approvals of Zone Map Amendment, Site Plan for Subdivision and Site Plans for Building Permit; Located on Eubank SE Between Central Avenue SE and Sandia National Labs SE

**MEMBERS PRESENT:**

Mike McEntee  
Alan Armijo  
Hess Yntema

**MEMBERS EXCUSED:**

Brad Winter  
Adele Baca-Hundley

**MEMBERS ALTERNATE:**

Tim Kline Alternate for Brad Winter

**OTHERS PRESENT:**

Philip York, Agent for Singing Arrow NA  
Dave Houck, Appellant  
John Myers, Agent for GSL Properties  
David Bantz, GSL Properties  
John Martch, Independent Real Estate Broker (Representing APS)  
David Bell, GSL Properties  
Susan Henderson, Willow Wood NA  
Mick McMahan, Environmental Planning Commission  
Deborah Stover, Planning Department  
Laura Mason, Senior Policy Analyst  
Karen Baca-Moya, Senior Administrative Assistant

Councillor McEntee swore in all interested parties concerning AC-01-08. Councillor McEntee explained that AC-01-08 is an appeal of the Environmental Planning Commission's approval of a zone map amendment, a site plan for subdivision and site plans for building permit, located on Eubank SE between Central Avenue SE and Sandia National Labs SE.

Philip York stated that the basis of the appeal is the zoning and the detrimental social economic impact the zoning will have on the neighborhood. Mr. York stated that the City of Albuquerque has a responsibility to the community to examine the zoning in this case and to determine if it is in the best interest of the community to deny a project even if the zoning is permitted. Mr. York added that any high density rental dwelling development will have considerable negative impact on the adjacent neighborhoods, Singing Arrow in particular. Mr. York stated that there are already too many vacant apartments in the area. Mr. York stated that this area is grossly over built in high density rental property, the project is not needed, and should not be approved. Mr. York stated that Mr. Houck was not permitted to speak at the Environmental Planning Commission hearing and requested that Mr. Houck be allowed to speak and his testimony considered as new evidence.



City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: February 12, 2001


**OFFICIAL NOTIFICATION OF  
DECISION**

Consensus Planning, Inc.  
Agents for GSL Properties, Inc.  
2164 S.W. Park Place  
Portland, Or 97205

FILE: 00110 00000 01644/00128-00000-01645  
00128-00000-01646/00128-00000-01647  
Project # 1000938  
*Consensus Planning, Inc., agents for GSL  
Properties, Inc., request a zone map amendment  
from SU-1 for O-1, SU-1 for R-2 plus approval of a  
site development plan for subdivision purposes and  
approval of a site development plan for building  
permit for Tract G-3 & Tract H-1, Manzano Mesa  
Addition, located on Eubank SE between Central  
Avenue SE and Sandia National Labs SE,  
containing approximately 36.3 acres. (L-21) Debbie  
Stover, Staff Planner (CONTINUED FROM  
JANUARY 18, 2001)*

On February 8, 2001, the Environmental Planning Commission deferred 00110 00000 01644/00128-00000-01645/00128-00000-01646/00128-00000-01647 to the Environmental Planning Commission Public Hearing on February 15, 2001, due to lack of quorum.

Sincerely,

  
for Robert R. McCabe, AIA, APA  
Planning Director

RM/RB/fmt

cc: Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123  
Joe Ando, 13200 Mountain Shadows Rd. NE, Albuquerque, NM 87111-5530

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OFFICIAL NOTIFICATION OF DECISION

00110 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

FEBRUARY 12, 2001

PAGE 2

Ray Baron, HC 75 Box 122 Chama, NM 87520  
Mark Burton, 12500 Charla Ct. SE, Albuquerque, NM 87123  
Ed Candelaria, 1053 Colt Ln. SE, Albuquerque, NM 87123  
Henry Crocket, 404 Rainbow Ct. SE, Apt. D, Albuquerque, NM 87123  
Diane Davidson, 12800 Piru SE, Albuquerque, NM 87123  
Marylyn Floro, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Frank Gallaspy, 1308 Kentucky SE, Albuquerque, NM 87108  
Joanne Gladin de la Fuente, Box 10A, Taos Hwy 68, Embudo NM 87531  
Susan Henderson, 1031 Los Padres SE, Albuquerque, NM 87123  
Dolores Keane, 828 Trading Pose Trail SE, Albuquerque, NM 87123  
Karen Kendall, 12924 Piru SE, Albuquerque, NM 87123  
Dave Orwat, 4600 Homestead Tr. NW, Albuquerque, NM 87120  
Dave Saxon, 10836 Wasatch Rd. SE, Albuquerque, NM 87123  
Rose & John Sena, 7820 Zuni SE, Albuquerque, NM 87123  
Dave Smith, 12536 Elyse Pl. SE, Albuquerque, NM 87123  
John Smokov, 608 Parkside Pl. SE, Albuquerque, NM 87123  
Janette Vanderkamp, 300 Dorado Pl. SE, Albuquerque, NM 87123  
Phil York, 12705 Elyse Pl. SE, Albuquerque, NM 87123

# ENVIRONMENTAL PLANNING COMMISSION

## MINUTES

Thursday, February 8, 2001

### COMMISSION MEMBERS PRESENT:

Elizabeth Begay, Chair  
Alan Schwartz, Vice-Chair  
Camilla Serrano

### COMMISSION MEMBERS ABSENT:

Larry Chavez  
Chuck Gara  
Susan Johnson  
Mick McMahan

UNAPPROVED

### STAFF PRESENT:

Russell Brito, Staff Planner  
Debbie Stover, Staff Planner  
Richard Dineen, Planning Department  
Fran Tapia, Recording Secretary

\*\*\*\*\*

1. The Hearing was called to order at 4:40 p.m.
2. 00110 00000 01644      Consensus Planning, Inc., agents for GSL Properties, Inc. request a  
00128 00000 01645      zone map amendment from SU-1 for O-1, SU-1 for R-2 to SU-1 for  
00128 00000 01646      O-1, SU-1 for R-2 plus approval of a site development plan for  
00128 00000 01647      subdivision purposes and approval of a site development plan for  
    Project # 1000938      building permit for Tract G-3 & Tract H-1, Manzano Mesa Addition,  
    located on Eubank SE between Central Avenue SE and Sandia National  
    Labs SE, containing approximately 36.3 acres. (L-21) Debbie Stover,  
    Staff Planner

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission deferred 00110-00000-01644/00128-00000-01645/00128-00000-01646/00128-00000-01647 to the Environmental Planning Commission Public Hearing on February 15, 2001, due to lack of quorum.

NOW, THEREFORE, THERE BEING NO OTHER ITEMS IN FRONT OF THE ENVIRONMENTAL PLANNING COMMISSION WE ADJOURN AT 4:45 P.M.

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City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: January 19, 2001


**OFFICIAL NOTIFICATION OF DECISION**

GSL Properties, Inc.  
2164 S.W. Park Place  
Portland, Or 97205

FILE: 00110 00000 01644/00128 00000  
01645/00128 00000 01646/00128 00000 01647  
LEGAL DESCRIPTION: for Tract G-3 & Tract  
H-1, Manzano Mesa Addition, located on Eubank  
SE between Central Avenue SE and Sandia  
National Labs SE, containing approximately 36.3  
acres. (L-21) Debbie Stover, Staff Planner

On January 18, 2001, the Environmental Planning Commission voted to continue 00110 00000  
01644/00128 00000 01645/00128 00000 01646/00128 00000 01647 to the Environmental Planning  
Commission Public Hearing on February 8, 2001.

Sincerely,

  
for Robert R. McCabe, AIA, APA  
Planning Director

RM/DS/ac

cc: Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123

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UNAPPROVED

- f. Dedication of right-of-way for Unser Boulevard per the Long Range Roadway System map, 78 foot minimum from the street centerline.
  - g. Access to McMahon Boulevard shall be limited to a full access at Bandelier Drive (the westernmost access shown on the site plan) and a right-in/right-out access at approximately 400 feet west of Unser Boulevard.
  - h. Access to Unser Boulevard shall be limited to a full access approximately 1,200 feet north of McMahon Boulevard, and an additional right-in, right-out, left-in access approximately 700 feet north of McMahon Boulevard.
  - i. Dedication of additional right-of-way along McMahon Boulevard and Unser Boulevard as required by the City Engineer to provide for on-street bicycle lanes and an adjoining 10-foot multi-purpose trail facility.
4. The 2 monument village signs shall have a maximum height of 12 feet.
5. The SU-1 for R-2 zoned area and the residential portion of the SU-1 for Mixed Use zoned area (Parcel B) are delegated to the DRB if they are developed at RT densities or less.

MOVED BY COMMISSIONER JOHNSON

SECONDED BY COMMISSIONER McMAHAN

MOTION CARRIED UNANIMOUSLY

7. 00110 00000 01644 Consensus Planning, Inc., agents for GSL Properties, Inc. request a  
00128 00000 01645 zone map amendment from SU-1 for O-1, SU-1 for R-2 to SU-1 for  
00128 00000 01646 O-1, SU-1 for R-2 plus approval of a site development plan for  
00128 00000 01647 subdivision purposes and approval of a site development plan for  
Project # 1000938 building permit for Tract G-3 & Tract H-1, Manzano Mesa Addition,  
located on Eubank SE between Central Avenue SE and Sandia  
National Labs SE, containing approximately 36.3 acres. (L-21)  
Debbie Stover, Staff Planner (**CONTINUED TO FEBRUARY 8,  
2001**)

**STAFF PRESENT:**

Debbie Stover, Planning Department  
Don Newton, Planning Department, Neighborhood Coord.  
Russell Brito, Planning Department

**PERSON PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:**

Karen Marcotte, 924 Park SW  
Jorge De La Torre, 2400 Louisiana NE

**PERSONS PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:**

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Ruth Francis, 217 Hanosh Ct. SE, #D,  
Calvin Irwin, 10819 Wolf Creek Rd. SE,

MS. STOVER: Madam Chair, Commissioners, this is item number thirteen. Case 00110 00000 01644 which is a request for a zone map amendment, 00128 00000 01645 which is a request for site plan for subdivision approval, 00128 00000 01646, a request for site plan for building permit for a two hundred and twenty-four unit apartment complex and 00128 00000 01647, a site plan for building permit for a two hundred and eighty unit apartment complex. The subject site consists of two existing tracts, tract G3 and H1 and is approximately thirty-six acres in size. The requested zoning is consistent with what currently exists on the site but we switched the residential zoning to the north of the site and office portion to the south of the site closer to the proposed Technology Park. The zoning that currently exists allows all of the uses requested in this application and the requested zone change is consistent with Resolution 270-1980.

Staff has received some phone calls related to the request. Some have been request for information only and some have been concerned about the proposal of apartments in this area. Staff has not received materials in writing from neighbors regarding this request however.

The site plans for building permit are for the residential portions of the subject site only and meet the requirements and applicable plans and city policies for the area. Also staff would like to point out that I neglected to include conditions of approval written by Transportation Planning, which should be included as written in the agency review comments. In addition I would like to add to the condition about lighting that the shoebox cutoff comment be added and as regard to the parking I had inadvertently stated that the spaces needed to be nine feet wide when in fact they only need to be eight and half which they are on the site plan so I need to change that in the findings and conditions as well. In addition to that the applicant is asking for the interior sidewalks to be only four feet in width whereas staff had stated they should be six feet. Staff has no problem with this, as long they are interior and not adjacent to any parking areas.

And with that and other minor modifications as stated in the conditions of approval staff recommends approval of the request.

CHAIR BEGAY: Thank you Ms. Stover. Any questions? Thank you. Commissioner Schwartz?

COMMISSIONER SCHWARTZ: The parking, the number of parking spaces. Where you able to independently verify that number? I mean I can kind of make up a formula to get there but I do no know, I mean I do not know are they over a thousand square feet, under a thousand square feet.

MS. STOVER: The units?

COMMISSIONER SCHWARTZ: I mean I can get to that number by giving two parking spaces for each two bedroom unit and one and a half parking spaces for the one bedroom units.

CHAIR BEGAY: One and a half?

COMMISSIONER SCHWARTZ: Well there is a one and a half minimum.

CHAIR BEGAY: Okay.

COMMISSIONER SCHWARTZ: Okay, I just now figured that. That is why I had the question written down. Thank you.

CHAIR BEGAY: Any other questions for Ms. Stover? Thank you. All those who are going to speak on this case. Do you swear to tell the truth? Thank you.

MS. MARCOTTE: Madam Chair, members of the Commission my name is Karen Marcotte, principal with Consensus Planning. My address is 924 Park Avenue Southwest, 87102. I am here representing GSL Properties today regarding the four request before you with this item. As noted by staff we are proposing that the existing office and multi family parcels be switched from their current zoning so that the multi family parcels to the north and the office parcel will be immediately adjacent to the Sandia Science and Technology Park to the south. Once the Science and Tech Park was created it did not make sense to separate the office parcel from the Science and Tech Park any longer and we believe there are some advantages in switching the location for both of those sites.

Staff has received some comments from neighborhood residents as the staff planner noted so I would like to briefly address those. We did notify the adjacent neighborhoods and post the site as required. We also have been working with Councilor Brasher's office to get on the agenda for the District Nine Coalition of Neighborhood meetings that Council Brasher's periodically holds in his district. He did not schedule one prior to this hearing largely because they meet at the end of the month and they canceled the December one due to the holidays. But we understand that there has been a concern expressed that apartments are not allowed in this area and obviously that is not true since the apartment zoning has been there since 1990. we are simply switching the location as I said. Another resident apparently called staff with a concern that more apartments are not needed in this part of town. We would disagree. In fact we believe that having apartments next to the Science and Technology Park on a major transportation corridor is really a very good planning idea. We do have walking distances from this site to the regional park to the new elementary school and to nearby commercial services so the build out of the site helps to establish all the goals for mixed uses that have always been envisioned at Manzano Mesa.

We agree with the findings and conditions of staff as amended. We have worked hard to come up with a plan and a project that has good pedestrian access not only to the park and the adjacent office parcel but to nearby commercial uses.

We did originally include, we did not originally include a pedestrian access between the two apartment sites because they are to completely separate projects and they have separate recreational complexes. And we did not want to encourage lots of pass through foot traffic between a neighboring sites amenity package with residents who did not live in that complex. Most apartment complexes in fact do not encourage outside visitors to walk through their pool or

clubhouse areas for that reason. They try and keep their amenities for their own residents. However, if the city feels strongly about allowing that pedestrian access directly across the property line instead of around the sites the developer has said that he would agree to allow that. The developer was here since has got on a plane. The architect and engineer are also here today if you have any questions about the project. And if you need any background on the Manzano Mesa plan or other things going on in the south Eubank corridor I will be happy to talk about those issues as well.

Otherwise we would just ask for your support in approving the request for the zone map amendment request, for the site plan for subdivision, and the two requests for site plan for building permit.

CHAIR BEGAY: Thank you. Any questions? Commissioner Gara?

COMMISSIONER GARA: Ms. Marcotte, the Sandia Science Park is across the street, is that correct?

MS. MARCOTTE: It actually starts directly south of tract G3. I have a vicinity map of the Science and Tech Park if I can put that up. The dark blue boundary shows where the Science and Technology Park is and that area right to the north of it is where the apartment site and office parcel are switching locations.

COMMISSIONER GARA: I guess one of the things that I noticed about the site plan is that we are spending millions of dollars in improving Eubank Boulevard to put the backs of garages there. One project in particular that sticks in my mind and that is the one over on Coors. If you are familiar with that just north of Montano I think it is. Where we have garage backs facing Coors and it really is not a pretty site. Has any thought been given to why we have all those blank walls backing up to Eubank?

MS. MARCOTTE: Madam Chair, Commissioner Gara, really the thought was to try and orient the projects towards the park, towards the interior of Manzano Mesa. There is going to be a significant entrance at the beginning of the Sandia Science and Technology Park to lead visitors into the Science and Tech Park and you will be seeing that proposal fairly soon. But the thought was that the multi family projects would be orienting towards Manzano Mesa rather than towards the arterial.

CHAIR BEGAY: Commissioner Johnson?

COMMISSIONER JOHNSON: Thank you Madam Chair. Ms. Marcotte I was kind of caught by the concept of shingle roofing in an entirely different look and feel to the apartment complexes. Was any thought given to making the ranch style project a little more southwestern with say metal roofs and something that blended a little better with the pueblo style of the other apartment project.

MS. MARCOTTE: Madam Chair, Commissioner Johnson, I think the goal was to try and establish two very separate projects because they will be separately owned, separately

operated, separately built and developed. I do not know if the architect would like to address it, the roofing materials.

MR. DE LA TORRE: Madam Chair, ladies and gentlemen my name is Jorge DeLaTorre with De La Torre Architects.

CHAIR BEGAY: Did I swear you in? Do you swear to tell the truth?

MR. DE LA TORRE: I do.

CHAIR BEGAY: Thank you.

MR. DE LA TORRE: If I could discuss first the reason why the garages were placed where they were is we were aware of this project on Coors except what we wanted to do is that between this high walk and the apartment we have landscaping to soften this. And gated community would have about an eight-foot wall anyway and the reason why we wanted to use this device is to cut the noise from this very heavy traffic street into the apartments and also give this privacy. And the one thing we have done which is different then the one on Coors is that we have varied the widths and the lengths and the spacing so it does not become a monotonous element. That was the reason. As for the shingles you know you deal with developers of all parts of the country and they are proud because of where they have done a project similar that looks beautiful. And they tell the architect we would like to repeat this because this is going to be our market apartment instead of the subsidize cost apartment and we want to make them different.

COMMISSIONER GARA: What kind of shingles are they?

MR. DE LA TORRE: We have not selected them yet and I know that is one of the comments that our selection should be made before the DRB.

COMMISSIONER GARA: I assuming they are not wood.

MR. DE LA TORRE: No. They will be something like a good GAF timberline lined that will withstand the wind. But then again you as a Commission can help the architect in several ways.

CHAIR BEGAY: Are you finished?

MS. MARCOTTE: Yes, if there are any other questions.

CHAIR BEGAY: Commissioner Schwartz?

COMMISSIONER SCHWARTZ: I can tell that speaking for myself I feel very strongly about that east/west connection and I think the reason is because over on the east you have this park, Zia Park.

MS. MARCOTTE: Manzano Mesa Park.

COMMISSIONER SCHWARTZ: Is that what it is, okay, that is a little league field right there and there is a park and then there is going to be a school also further to the east. And under the current configuration of the property as it is right now where there is all one residential parcel if that had been developed as one parcel then I think there would have been a reasonable expectation that you would have this access. And had you decided to divide the property the other way instead of north/south divided east/west then I probably wouldn't, you know each component would have that access. It is really the access to the east that I think because of the facilities that are going to be out there. Where it should go I do not know, I mean I made a note you might even want to, I do not know if it is useful to talk to APS to see if they would have like a crossing guard there or something for the school. I do not know, I do not know what their guidelines are but that might be a logical point to funnel all this. These are not gated right?

MS. MARCOTTE: Correct.

COMMISSIONER SCHWARTZ: People could walk through anyways. I mean so yes I feel strongly about that. Let me ask you I forgot to ask Deborah what is the difference between limited O-1 and straight O-1?

MS. MARCOTTE: I am sorry?

COMMISSIONER SCHWARTZ: The difference between limited O-1 and straight O-1 because the existing zoning now is limited O-1 and you are asking for straight O-1?

MS. MARCOTTE: Correct. Madam Chair, Commissioner Schwartz, back when the Manzano Mesa zoning was done in 1989 and 1990 the master plan was not adopted by the city it was an internal APS master plan and they wanted to make sure that certain uses did not develop in Manzano Mesa that would depreciate the land values or make it less desirable as it built out. Subsequently as the area has been building out and now that the Sandia Science and Technology Park is being established to the south as a neighbor I think there is less concern about uses that may end up coming in on that office parcel. What was primarily limited from it was parking and antennas and things that are controlled through the design guidelines now anyway.

COMMISSIONER SCHWARTZ: Okay, on the O-1 parcel is there any mention of freestanding telecommunications?

MS. MARCOTTE: It is addressed in the design guidelines consistent with the city requirements for that.

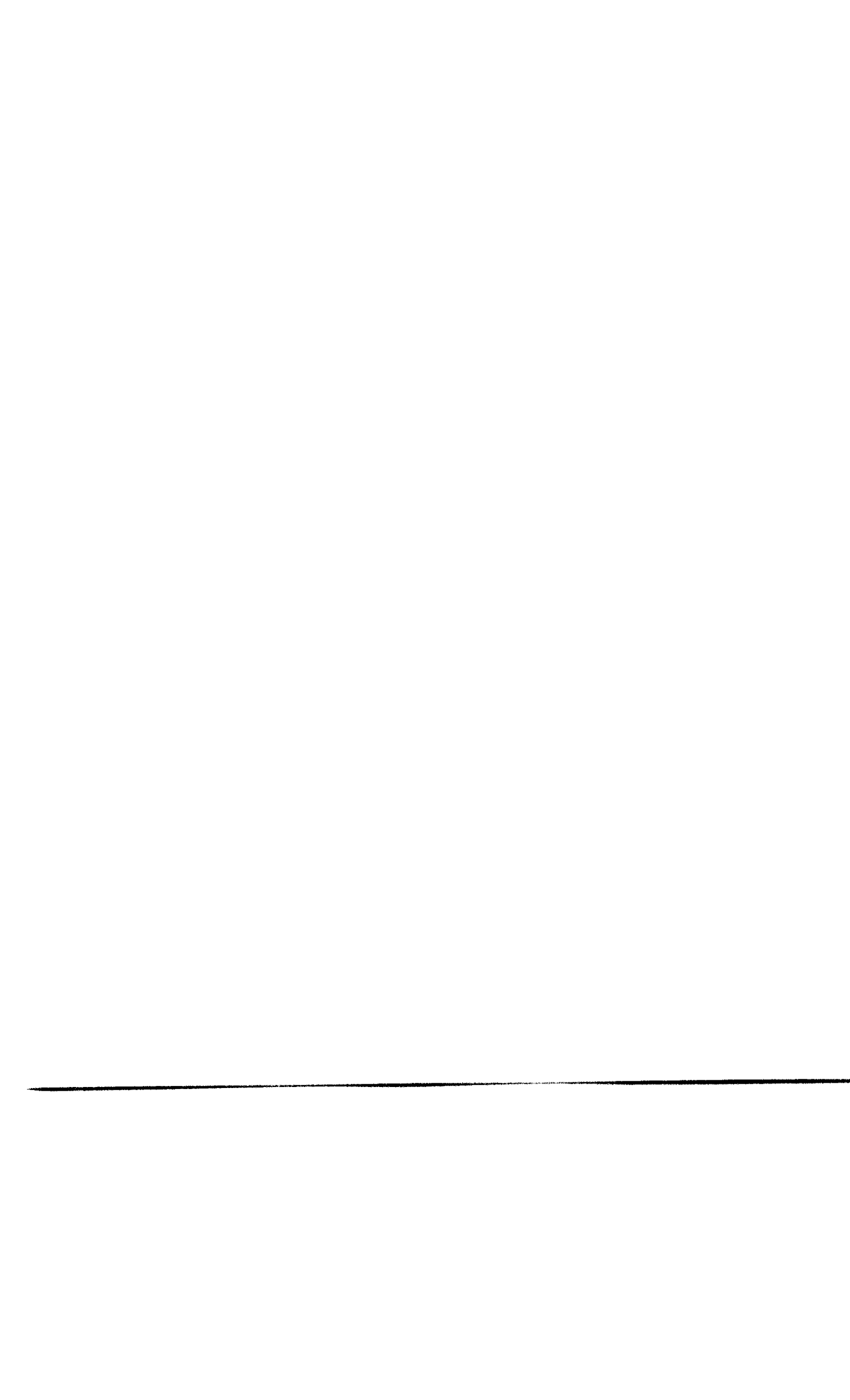
COMMISSIONER SCHWARTZ: Well it would be permissive in straight O-1 I believe.

MS. MARCOTTE: Yes, it would be permissive in straight O-1. That was one of the things that had been limited in the limited O-1 uses.

COMMISSIONER SCHWARTZ: Maybe you might want to still limit that to concealed on the O-1 parcel.

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MS. MARCOTTE: Commissioner Schwartz I think our feeling was that the city ordinance covers that issue. Unless staff has a concern about that.

MR. DINEEN: Madam Chair, Commissioner we had no concern about that. We think it is covered under the City Zoning Code.

COMMISSIONER SCHWARTZ: So basically the only restriction then would have to be eighty-five feet from the residential zone. Thank you.

CHAIR BEGAY: Commissioner Gara?

COMMISSIONER GARA: Madam Chair, I guess I am not very bright. When I look at the site plan I see two apartment complexes. Where is the O-1? Where do I see O-1 buildings or do I?

MS. MARCOTTE: The O-1 is just a site plan for subdivision to create that parcel. There is no, it is not a site plan for building permit. The site plan for building permits are just for the apartment sites. The O-1 parcel has just been created has a bulk parcel.

COMMISSIONER GARA: Where is it on my site plan? On this drawing that I am looking at here where is the O-1 parcels?

MS. MARCOTTE: On the second page.

COMMISSIONER GARA: Okay, I guess I am used to seeing the site plan first so I apologize. I was looking for the big picture and then go down to the little picture and I kept looking at this and looking at this and looking at the other one thinking you are not seeing it and I was not.

CHAIR BEGAY: Any other questions? Thank you. April?

MS. CANDELARIA: Ruth Francis.

MS. FRANCIS: Madam Chair, members of the Commission I am Ruth Francis and I am a resident owner of a multi dwelling building at 217 Hannish Court. I have been the owner and a resident of that building for twenty-five years. Did you want to swear me in?

CHAIR BEGAY: Excuse me?

MS. FRANCIS: Do I need to be sworn in.

CHAIR BEGAY: Yes. Do you swear to tell the truth?

MS. FRANCIS: Yes.

CHAIR BEGAY: Thank you.

MS. FRANCIS: I have come here today in the capacity as executive board member for the Swinging Arrow Neighborhood Association. I want to call your attention to a letter contained in the development action. This is a letter dated November 15 from I believe it is a Darlina Carmono. In the second paragraph it states that there were no recognized neighborhood associations in this area. That is not a true statement. There are two recognized active associations in this area. Willow Wood and Singing Arrow Neighborhood Association. Neither of these associations was sent a notice of this proposed plan. Both associations have been very active in the development of the multi generation center and the community park, which is mentioned in this proposal. These neighborhoods will be highly impacted by this request. The area that these neighborhoods and golf is considered one of the highest crime areas in the city. The high crime ratio is due to multi dwellings the ratio of the multi dwelling facilities there as compared to the single-family residents. This is a main contributor to the crime in this area. This area is between, this proposal is squashed between two of the largest highest crime areas in this city. The vacancy rates, there is plenty of multi dwelling facilities in these areas. The vacancy rates of those multi dwellings is reaching close to thirty percent. The City of Albuquerque itself is the owner of two hundred units in that area and it would neglectively impact your very own properties.

I do not see that this plan is really consistent with an infill plan. A true infill plan would enhance the use of existing housing, which is already there. It would make sure that you are making full use of what is already there before it would allow additional facilities to be built. By approving this plan I feel the City will be laying waste to already existing multi dwellings that are having a very difficult time keeping themselves filled with decent people. And I believe that you will contribute to adding more and more to the ghetto atmosphere of this area. And do to the failure of being notified both Willow Wood and Singing Arrow Neighborhood Association I would like to ask you to allow, the Commission to allow these neighborhoods time to review this proposal and to determine any positive or negative impacts to their neighborhoods.

CHAIR BEGAY: Thank you. Ms. Francis can you show me on a map where Singing Arrow and Willow Wood is in relation?

MS. FRANCIS: Yes, Willow Wood neighborhood is shown right there.

CHAIR BEGAY: Singing Arrow?

MS. FRANCIS: What?

CHAIR BEGAY: Singing Arrow?

MS. FRANCIS: Singing Arrow is just adjacent, see where Four Hills Mobile Home Park is?

CHAIR BEGAY: Yes.

MS. FRANCIS: My property is just on the other side of that wall for Four Hills Mobile Park.

COMMISSIONER SCHWARTZ: West or east?

MS. FRANCIS: East.

CHAIR BEGAY: Mr. Dineen can you go through the notification requirements.

MR. DINEEN: Madam Chair, I believe Don Newton is here from the Office of Neighborhood...

COMMISSIONER McMAHAN: Don just walked out.

CHAIR BEGAY: He was but he stepped out.

COMMISSIONER McMAHAN: Madam Chair may I interrupt? I think the problem is that the boundaries of those associations are not within the boundaries defined for notification.

MR. DINEEN: That it right.

COMMISSIONER McMAHAN: And that is a guess on my part and I was surprised...

CHAIR BEGAY: ...that was what I was getting to.

COMMISSIONER McMAHAN: ...I was surprised when I did not see any comments from Cindy Reves or Phil York from Singing Arrow because I have known them for years...

MS. FRANCIS: ...that is who I am representing. Phil York is out of town and Cindy is, as you probably know very active in the development of the park and needs a little time off.

COMMISSIONER McMAHAN: So I would agree that you probably should have gotten notification and there was a notice, the standard notice from the Office of Neighborhood Coordination in there. Another comment I would like to make since you talked about the apartments is there are a number of apartments all over town that are having the same kind of problem, they are vacant. And they are in dense areas; the density of apartments there is pretty high. And what I have noticed is the reason they are vacant is because the landlords do not keep them up. This has distressed more then one neighborhood association and lots of them are trying to do things about it. What this project might do is to force those landlords to upgrade their apartments to modernize them so that they can attract tenants to keep them occupied. It is a chicken and egg kind of situation but I...

MS. FRANCIS: ...it definitely is.

COMMISSIONER McMAHAN: But I have spent more time dealing with recalcitrant slum lords then I really care to count in both my neighborhood and a couple of adjoining ones. I am all for not over building the market, which this can certainly do but this may be one way to solve the problem that is simply an epidemic proportions in this town. That landlords are not keeping their properties up and they are not screening tenants and so they are getting people in who trash their properties and all they do is take the money and go the bank. This maybe the lever that the rest of us are looking for to get these guys attention.

MS. FRANCIS: I am have been very active in this progress for twenty- five years. I have had to purchase properties in order to evict drug dealers. I have had to renovate, totally renovate the properties. In association actually a partnership I that I formed was notably recognized by the City for its efforts in that. One of the things that I agree with you that yes you do get bad tenants if you do not offer them any thing but a bad piece of property. However, we have to admit that a landlord has to be able fill his properties in order to be able to afford to keep them up. It is a chicken and an egg merry go round. It is a merry go around. And many many landlords are very conscientious but they have a vacancy, we are talking about four plexes, it hurts one single owner in a four plex to have one vacancy. It does not hurt a complex of this magnitude to have a thirty percent vacancy rate. That is the difference.

CHAIR BEGAY: Commissioner Gara?

COMMISSIONER GARA: I will disagree with that. If this person has a thirty percent vacancy he has a real problem. I am in the commercial real estate business and I think what I see is the biggest problem and I do not certainly profess to know you are anywhere near the way you do and the work you have done in it. But the typical problems are in the quads and duplexes is where the landlords do not have the money to maintain and upkeep as opposed to a project of the size we are talking about here of two hundred plus units where you have a sizable investment and it is a big difference. The economy is a scale on a large project versus a small project is enormous. I have been in real estate business twenty-six years and I have owned duplexes and quads and I have owned and operated one hundred and sixty-seven to two hundred apartment projects and I will take the two hundred unit project any time over a quad. It is...

MS. FRANCIS: Absolutely.

COMMISSIONER GARA: I do not like going to unlock doors at midnight or unclog toilets at three o'clock in the morning whereas on a size of scale where you have a two hundred and twenty-five unit apartment community you have onsite maintenance, onsite management and it is all taken care of typically. I do not know that you would have the same problems matriculated into these types of projects as you do in a quadruplex and a duplex that see a lot of that in a lot of that area.

MS. FRANCIS: It is the competition. We have made a very very good effort in the Singing Arrow Neighborhood to keep the crime out of our neighborhood. It is impossible, it is impossible but we have done a very good turnaround. We are on our way back. We are getting conscientious property owners and the overall look has well of course when I first bought there twenty-five years ago it was a really nice neighborhood and then it went downhill. We are on the back. It is clawing our way back up the ladder.

COMMISSIONER GARA: I think more importantly with regards to this case today we are moving the zoning but we are not changing the zoning.

MS. FRANCIS: I realize that.

COMMISSIONER GARA: The zoning is in place. They can go in and build apartments on this property today and really what we are looking at in my opinion is more of a site plan issue than a zoning issue because the zoning is already here.

MS. FRANCIS: All right.

CHAIR BEGAY: Thank you.

MS. CANDELARIA: Calvin Irwin.

MR. IRWIN: Madam Chair, Commissioners, I am Calving W. Irving, I live at 10819 Wolf Creek and I swear to tell the truth.

CHAIR BEGAY: Thank you.

MR. IRWIN: Actually I am here as part of the executive board for Willow Wood Homeowners Association and the Willow Wood Neighborhood Association. And what we are here for basically is there are a few things that did not happen I think. First off we are in the area, the adjacent area. Willow Wood if I may, as you can see the Willow Wood Association actually encompasses this area through here. There has been another which was Willow Wood North which has been turned into what is now called Marabella to the north of us there. And you are also talking about extending which is item number fifteen tonight further on up into the area north of Southern. We feel that we should have been notified and this item discussed with us specifically in some reasons because of the amount of traffic that is in the area. I think that there has been some significant changes throughout this area since the master plan was originally made such that there are impacts to the traffic infrastructure here. We went through a tremendous amount of problems with cut through traffic and until we finally got the Police to help us and Michael Brasher and to get them routed around us and ultimately with the support of Cosco coming in there we were able to get a traffic light up there. The intersection of Eubank and Central is overloaded, it is completely overloaded as well with this amount of traffic going out into Southern and going around over to the Central and Eubank I would propose that that intersection is going to be overloaded. Even the improvements on the roadway there is going to cost significant issues during the time of the day when we are having inbound traffic to Kirtland and outbound traffic from Kirtland Air Force Base and Sandia. Additionally I think the map is incorrect because the area to the west of the area they are proposing is actually Department of Energy land not Sandia or the Kirtland Air Force Base.

There are other neighborhood associations in the vicinity that probably have some interest in this including Four Hill Trailer Park, it think they would be interested as well as south of us is a trailer park which has to egress through this same area to get out there where these additional homes will be placed there. So I think we need to look at that very closely. Even though the City said that there was no impact to or need for a traffic study I propose there is a need for a traffic study prior to this being completed. I also propose that the water and sewage since the establishment and the houses being built in Marabella which has reduced, they have not been completed yet but we have probably about thirty to forty percent of those homes built now. The

water pressure has started to drop in our area. I think that will continue unless they can improve the water and sewer infrastructure. And I do not think there is enough assets there to do that. And that will cause problems over here.

I also want to point that I have been very active as a board member with the Sandia Research Park. I do not think this, the Sandia Research Park is being designed as such to be kind of a college campus nice area with parks and walkways and areas to go through to make that a very how can I say this individual and public place they want to be at. I do not think these apartment buildings meet that requirement. We are to look at the design of that and possibly see how we can integrate those better into the design of the area. As well as into our area because we have southwest and other types of homes in our area and we want it to look real nice there. We had Costco change their layouts specifically for that. I think that this apartment building design should be changed to meet the southwest design also if we go that far.

I would like to recommend that we make a delay in approval and bring this back at a latter time after District Nine Coalition has met to discuss this. I had a meeting with Michael Brasher today and he is concerned from the neighborhood perspective since we took and brought this to him. It was not on this specific topic but I did have a meeting with him at ten o'clock today and he is concerned about this. So we should probably delay this.

I think also the traffic issue needs to be addressed and a traffic study done before it is brought back again. I think the infrastructure issues as far as water and sewage needs to be addressed in detail so that we can understand that the pressure and the water and sewage rights there are not going to be over burdened or taxed. As well as I want to interface with Sandia Research Park and find out what their specific take of this is with moving the office buildings down, changing the location of where the apartment buildings are. Because I am not sure they are line with this either. And I do not see any of those representatives here tonight either. So that is my recommendation.

CHAIR BEGAY: Thank you. Any questions? Thank you. Mr. Newton clarify for us how you determine if there is a recognized neighborhood association close enough.

MR. NEWTON: The ordinance O-92 specifically says that the subject property needs to be adjacent to the neighborhood association boundaries. And they mean adjacent. This has been to the Legal Department for many many years many many times. Neither one of these associations that have been mentioned Singing Arrow is a good almost a mile away. Their closest boundary is a mile away from this project. And I would say Willow Wood is probably one thousand fifteen hundred feet away from this project. What we recommend always to the associations is when they get their monthly newsletter and the two contact people definitely get that many, board members of associations get them and the first thing they do is they look in their monthly newsletter under the article in here about EPC hearings. I mean it is broken down by the four quadrants of the city. I am also surprised having known Cindy Reves and Phil York for many many years before I even worked for the city that they missed this one but they did. That is it.

CHAIR BEGAY: Thank you. Ms. Marcotte?

COMMISSIONER SCHWARTZ: I have a question for Mr. Newton.

CHAIR BEGAY: Mr. Newton?

COMMISSIONER SCHWARTZ: What is adjacency is that a pre-requisite to be entitled to mediation?

MR. NEWTON: No.

COMMISSIONER SCHWARTZ: So what triggers the mediation?

MR. NEWTON: Usually request.

COMMISSIONER SCHWARTZ: Just request?

MR. NEWTON: By either the neighborhood or citizens or the developers, in many cases it is the developer that request.

COMMISSIONER SCHWARTZ: I guess and I am asking about is standing to request mediation.

MR. NEWTON: I am not going to be able to answer that.

COMMISSIONER GARA: Mediation or facilitated meeting?

COMMISSIONER SCHWARTZ: I guess facilitated meeting. In other words you know Taylor Ranch says we want a facilitated meeting about this project are you just going to tell them forget it.

MR. NEWTON: No.

COMMISSIONER SCHWARTZ: Even though they are on the other side of the river on total opposite sides of the city.

MR. NEWTON: Excuse me on this particular project?

COMMISSIONER SCHWARTZ: Yes that is what I am saying.

MR. NEWTON: They would have no standing.

COMMISSIONER SCHWARTZ: Where is that line?

CHAIR BEGAY: They are standing on the wrong side.

MR. NEWTON: They are standing on the wrong side.



COMMISSIONER SCHWARTZ: How far away do you, at what point do you say no you are to far away you are not entitled to this.

MR. NEWTON: One of the things my office we did some years ago the actual ordinance says that the recognized associations are the ones that are going to get certified mail and get notification from our office. And Mary Lou and I some years ago came up with an idea that because of this Body's constantly having to hassle with that we decided and got approval from Administration and the Legal Department that we send notification letters to both recognized and unrecognized and we have been doing that about three years now. This one just got by me.

CHAIR BEGAY: Thank you.

COMMISSIONER SCHWARTZ: But you only send them to the adjacent?

MR. NEWTON: To the adjacent.

COMMISSIONER SCHWARTZ: Right.

MR. NEWTON: And there have been request from the neighborhood sometimes that we gee whiz we ought to change the ordinance and it ought to be within a quarter mile. And I teasingly say well then that association that is just outside the quarter of a mile is going to be upset. All right lets take it to a half-mile; I mean you can go on forever on this.

CHAIR BEGAY: Thank you Mr. Newton. Commissioner Chavez?

COMMISSIONER CHAVEZ: Question of staff regarding notice was the proper advertising and posting of signs taken care of.

MS. STOVER: To my knowledge all those things were followed.

CHAIR BEGAY: Ms. Marcotte?

MS. MARCOTTE: Thank you Madam Chair, Commissioners. I would just like to address the concerns of the neighborhoods real briefly. First of all we have made four offers to Councilor Brashers office to come to his neighborhood coalition meeting starting in early December for this project. Secondly if any of these neighborhoods had called our office and expressed a desire for a meeting we would have done it in a minute. We have never turned down a neighborhood who is interested in meeting. With regards to the proximity to the Sandia Science and Technology Park the STPDC and the landowners in the Sandia Science and Technology Park are very much aware of this proposal. They support it; they support the development of multi family apartments in proximity the park. they are hoping that especially when they have short term employees in town that they will be able to rent space within walking distance of their new jobs and they are very much in support of those multi family apartments being there. They also support the switching of the units so that the office zoned is proximate to the Sandia Science

and Technology Parks so that if expansion space is needed for the Sandia Science and Technology Park it has somewhere to go to the north.

With regards to the multi family as noted by several of the Commissioners the zoning already allows multi family. And in fact if we can switch back to this you can see the multi family area but the park the northern part of Manzano Mesa Community Park was zoned for apartments before it became a park. there were forty-five acres of multi family zoning and Manzano Mesa originally which has been reduced to the twenty five-acres of this current site. So we have actually lost twenty acres of apartment zoning at Manzano Mesa so we have not been encroaching on the neighborhoods in that regard.

With regards to transportation there is a traffic study that is being done that is due by DRB. I would note that this area has been studied to death from a traffic study standpoint. There have been so many traffic studies done on this corridor that it is amazing. Certainly the Gibson Corridor recognizes all of these land uses, the big study that is currently under way. The Eubanks corridor is currently in design for improvements by the City so it has also been extensively studied with these land uses in mind. I also think in regards to traffic that a significant amount of the residents of these apartment complexes will in fact be traveling north in opposition to the peak hour traffic that the neighborhoods currently experience coming into the base. And so we believe that the traffic will be going in large part in opposition to the current peak hour flows and I think that will actually be a benefit.

I think you know we are sorry that the neighborhood association did not get timely notice. The signs were posted usually the newsletter is out and as I said we tried to get on the coalition of neighborhood associations agenda and have not been there in spite of our attempts to get there.

CHAIR BEGAY: Thank you. Commissioner Johnson?

COMMISSIONER JOHNSON: Ms. Marcotte, this is not on the neighborhood issues but in response to what I think was an excellent observation by Commissioner Schwartz that you really cut off one of the projects from the park and it really needs to be ability to transit through the other site. Does it make you want to think about redoing it?

MS. MARCOTTE: Madam Chair, Commissioner Johnson no it does not. It does make me agree to making that connection and we have looked on the site plan and places where we can make those connections internal to the site. We do not really want to go back and redesign the site plan. But I think the current plan can accommodate those connections and we will accept that condition and we will show that when we go to DRB.

COMMISSIONER JOHNSON: I do think that we will want to see it be a very direct, I do not mean it has to be a straight line but it should be very easy to travel from the one in the back through to the park.

MS. MARCOTTE: To the park, correct, I understand.

CHAIR BEGAY: Any other questions for Ms. Marcotte?

COMMISSIONER McMAHAN: Thank you Madam Chair. I am not sure if this is for Karen or not but Mr. Irwin alluded to a drop in water pressure. Do we have any information; we know that can occur when you suddenly bring on line an awful lot of residences. Do we have any indication as to what the capacity of the water service out there is? Karen have you looked at that?

MS. MARCOTTE: Commissioner McMahan I would like the civil engineer to address that.

COMMISSIONER McMAHAN: We have a civil engineer here good.

MR. TOPMILLER: I am James Topmiller with Bohannon Huston and I swear to tell the truth. I have not heard that. The system is at its tail end out there but there are major thirty-inch waterlines running through. There is a loop system that needs to be constructed as Steven Moody constructs there will be a ten inch water line or so put in there which should help the situation. It happens to be at the lower part of a water pressure zone which gives you at least an ecstatic condition high pressures. In a dynamic situation where everybody is using water pressures begin to fall. I just simply have not heard that that's difficult. We have just requested and received back a water and sewer availability letter from the City for the Science and Tech Park to the south. No mention of water pressure difficulties were there and if that project goes through there will be additional looped waterlines which will help any problem that may exist today.

COMMISSIONER McMAHAN: That is fine, that helps. Thank you very much. Thank you Madam Chair.

CHAIR BEGAY: Commissioner Gara?

COMMISSIONER GARA: Mr. De La Torre I have a couple of questions for you. When I measure a couple of the garages that you have I measure one hundred and thirty one hundred and forty feet of blank walls and I know that you say it is going to be landscaped but landscaping can die and it may not be mature for a longtime. Is there way that stuff can be broken up? The justification is it is going to be a noise inhibitor when you have multi store apartments behind it you know it does not carry all the way it needs to be and especially when you get to the street three story units that I saw on (INAUDIBLE) I believe. And that is not as busy as Eubank but you still have garages backing up but it is certainly not in a number and then along Steven Moody again across from the park as I understand it you have all these blank garage walls. Based on upon my experience for the Westside that bothers me a lot. It has been an eyesore we have talked about it many times at this Commission about blank walls of the garages and all of sudden you see the ... banners going along the whole thing and it becomes a billboard if you will. Any recommendations?

MR. DE LA TORRE: I guess what we could do is be if you will a little bit more playful and very decisive and play with setbacks because I think really that if we had a blank wall and a sidewalk lets say like every masonry wall that you have around every neighborhood you see then I will

Councillor McEntee moved that the Committee accept the new evidence (Dan Houck to speak-letter handed out) - [Exhibit 1-In permanent file]. Seconded. The motion carried by a vote of 3 FOR AND 1 AGAINST.

For: 3 - Council Members: McEntee, Armijo and Yntema

Against: 1 - Council Member: Kline

Excused: 2 - Council Members: Winter and Hundley

Dan Houck stated that he is a small apartment owner, having 72 units located in the Singing Arrow Neighborhood. Mr. Houck stated that his property has been praised by the Singing Arrow community for its condition and tight management. High vacancy and huge increases in water, sewer, and gas rates and property taxes are making rental units uneconomic. Mr. Houck added that this is the same problem that has severely impacted the Trumbull and La Mesa Neighborhoods. When owners can no longer afford to maintain their properties because rents are too low and vacancies are too high, blight spreads rapidly. Mr. Houck stated that he would like to correct something in the record from the Environmental Planning Commission hearing about the project not being tax subsidized. Mr. Houck stated that the project will be financed with tax free bonds. Tax free means taxpayers subsidize the difference between market and tax free bond rates. The project also has resalable federal income tax credits attached. Mr. Houck stated that there is a time and a place where tax incentive affordable housing makes sense. Singing Arrow and the southeast part of the City is clearly the wrong place for this project.

Councillor Yntema asked Mr. Houck to address whether changed community conditions justifies the zone change. Mr. Houck responded that the best thing that could happen in the Singing Arrow Neighborhood is more owner occupied housing. Councillor McEntee asked if an unsubsidized apartment complex would be better. Mr. Houck responded that he does not think that it is an economically viable investment given the surrounding area, but it would be better than adding lower income apartments. Councillor McEntee asked what harm this project will cause to the area. Mr. York responded that the apartments will increase the vacancy rates of existing apartments. The R-2 zoning is inappropriate, and any complex is going to have a detrimental effect on the neighborhood.

John Myers stated that the appellant, Singing Arrow Neighborhood Association does not have standing, and Singing Arrow has not met the appeal requirements of the Zoning Ordinance. Mr. Myers stated that the application for appeals clearly states that "criteria for standing as an appellant are given in the Zone Code, and an appeal must meet these criteria." Mr. Myers stated in the Zoning Code that an organized neighborhood association, if the boundaries of the association include any part of the subject-site or any land within 600 feet (excluding public right-of-way) has standing." Singing Arrow Neighborhood Association's boundaries are approximately 3600 feet from the subject site, which is about six times the distance required. Mr. Myers stated that there is a neighborhood association that does have standing, and that is the Willow Wood Neighborhood Association. Mr. Myers stated that this appeal makes no effort to establish a basis for appeal under the Zoning Code. There are no City plans, policies, or ordinances which the neighbors alleged where there was an error. There is not an assertion that there was abuse of discretion or arbitrary or capricious action. Mr. Myers stated that prior to this action, there were 25 acres of apartment zoning and after this action, there are 25 acres of apartment zoning. Therefore, basing the appeal on the quantity of apartment zoned land is without merit. Mr. Myers stated that GSL Properties respectfully requests that this Committee determine that this appeal not be heard.

Councillor Yntema asked why the existing zoning for this parcel is inappropriate. Mr. Myers responded that you determine if it is inappropriate if you have satisfied one of the three tests: 1) that there was an error in the zoning; 2) that there is a changed community condition; 3) that a zone change is more beneficial to the community. Councillor Yntema asked if the existing zoning is appropriate. Mr. Myers stated that the zoning is more appropriate having adjusted the zoning configuration, so that the office zoning is adjacent to Technology Park, and the multi-family zoning is located to the north. Councillor Yntema asked if there was a Master Plan where all of the proposed uses would be considered together. Mr. Myers responded there was a Master Plan that APS prepared, but he did not think that it was approved by the City. However the zoning was approved.

David Bantz stated that the 75% to 80% vacancy rates that Singing Arrow Neighborhood Association stated could be correct for their units which are 4 and 8 plexes, but for over 100 units, the rate is 5.8%. Mr. Bantz addressed the issue of tax free bonds. Mr. Bantz stated that was incorrect. The majority of the project would be market rate. A smaller portion of the site is financed by tax free bonds. Mr. Bantz added that the request for the zone change is at the request of the property owner, which is the school district.

Councillor McEntee asked whether the property was bought contingent on the zone change. Mr. Myers stated that APS sold the property contingent upon the zone change. John Martch stated that it was APS's demand that the switch in zoning take place so the O-1 zoning would go over to the multi-family area and the O-1 would be placed closer to Technology Park. Councillor McEntee asked if the O-1 section under the new proposal is being sold, and the other part

agree one hundred percent with you. But that is going to be separated by landscaping and as you say it is also going to be maintained it is not just going to be left. We also want to put as much landscaping as possible like pyracanthias and things like that to discourage people going to the walls and when we have the grading some of those are sunken into our parking lots so it is not going to be as brutal as you are picturing by looking just at the plan.

COMMISSIONER GARA: That also becomes a tablet for graffiti too.

MR. DE LA TORRE: True. But then again it comes to if we had a gated community with three hundred thousand dollar homes you have an adobe wall that is eight feet and it is subject to that but for some reason it looks okay there but it does not look okay now. So, based on that we were very careful not to have just a if you will a wall of China there but break it with a wrought iron and landscaping and having in and outs that can be very interesting.

COMMISSIONER GARA: But you have, if I am reading the plan wrong please tell me. How tall is the garage rear wall? It looks like it is fourteen feet?

MR. DE LA TORRE: Yes.

COMMISSIONER GARA: And then between the garages you have a nine foot CMU wall or is that three foot.

MR. DE LA TORRE: It is just three feet, yes.

COMMISSIONER GARA: It looked like a nine without my glasses on. And then I tend to agree with the, there seems to be a vast difference between the two projects as far as the architecture is concerned. I guess that bothers me. You have three story walks up and (INAUDIBLE). That would be the eastern most project?

MR. DE LA TORRE: Correct. I do not know if you are familiar with the other project that we did a long time ago for Trammel Crow and that is on the entrance to Corrales it is called River Walk Apartments. That is the intent that we have on this project. And it is as northern New Mexico as it can be and that one happens to have concrete flat tile roof and we wanted to mimic something in that nature and with the color of the stucco and the windows we thought that we could accomplish something similar.

COMMISSIONER GARA: That is on the front project?

MR. DE LA TORRE: No that would be also on the east. The project that we did in Porto de Corrales, which was Porto de Corrales, called at that time it is a three story with pitched roofs. It has a two story and a three story with pitched roofs and that is what we had in mind when we were doing this. It is not that we are going to a sighting or something that looks totally out of New Mexico. It will keep that character of northern New Mexico if you will.

COMMISSIONER GARA: Do you have color renditions just by any chance?

MR. DE LA TORRE: No.

CHAIR BEGAY: A lot of northern New Mexico have tin roofs. Commissioner Johnson?

COMMISSIONER JOHNSON: I am a little bit confused Mr. De La Torre. I do not think this looks like the Corrales project. Are you saying that it will when you change it?

MR. DE LA TORRE: I think once that you use the right colors it is not that different because we have the balconies with the wrought iron and they were painted white. I mean with the right coloring and you see we have nice trim around the windows I think we can have a very handsome project.

COMMISSIONER JOHNSON: Is the right coloring specified in here?

MR. DE LA TORRE: Well at this point I just said that we will like to be able to play with three different beige colors if you will. So not all of them are the same color and then one of the questions from staff was what parts are going to be what beige and I said the answer is the whole building would be one color we are not going to be trying to create an apartment like Central near the river with neon lights.

COMMISSIONER JOHNSON: Thank you very much.

CHAIR BEGAY: Any other questions?

MR. DE LA TORRE: Trust me.

CHAIR BEGAY: Okay. Thank you Mr. De La Torre. Staff, did we have one more person signed up? No, okay.

COMMISSIONER SCHWARTZ: Ms. Marcotte each of these projects that there is a single mailbox location is that correct? Is that a post office requirement?

MS. MARCOTTE: Yes. They come through the rain and the sleet and the snow but not all the way to your door.

COMMISSIONER SCHWARTZ: I know but is it a post office requirement that it kind of be sited off I mean wouldn't it be more practical to have it kind of more centrally located or maybe up by the office where there is someone around to kind of discourage break ins, mail box thefts.

MR. DE LA TORRE: Our preference would have been to have two or three different locations and distribute the mail but in several projects that we have done the Post Office says no to that. And the intent of where the location is we put them right were we have the biggest amount possible stacking for several cars and most people will be going to check the mail either on the way out or the way in. So that is really we did not want to bring as much traffic as possible to the center and try and get rid of the problem as soon as possible as well as like if you can see with the refuse.

CHAIR BEGAY: Thank you. Commissioner Gara?

COMMISSIONER GARA: Mr. De La Torre if you are going to connect the project on Eubank to the park to the east how would you propose we do that?

MR. DE LA TORRE: Talking as a planner, as an architect it would be nice if everybody respected everybody and then the children from the west apartment complex do not go and start swimming on the east complex and then there is a war between the two entities because that is absolutely ....anymore and no control of anybody. So if I was going to be a partner and buy any project on the east I would be very reluctant to have this foot traffic over my property because things will happen and they can happen.

What I had thought also is I would like to be able to connect the west property to the park and maybe benefit also the O-1 since maybe developed as a campus and do a walkway that could be shared by both properties if you will. But still keep the security of the west project so the people from the west, the Eubank side can walk along the property line and end up at the park. And also they can use the north street because who are you satisfying if you put one right in the middle there are always some people that are away from that. So if we have a nice walk on the front on La Entrada Street and one between the O-1 that also can benefit as a nice walk in the future development I think that would be my preference.

COMMISSIONER GARA: And would you have access from the east apartment community to this walk also?

MR. DE LA TORRE: Yes.

COMMISSIONER SCHWARTZ: He already has that shown.

MR. DE LA TORRE: Yes, there will be like a turn site from the zoo that you go in one direction. Because we still want to avoid people just coming...

COMMISSIONER GARA: So if I work at the Sandia Research Park I can go to work walking but I cannot get back in right?

MR. DE LA TORRE: No, you can go out through the park but not to the apartments.

COMMISSIONER GARA: But I guess the whole concept of the benefit of this to the Sandia Research Park is people can live here and work here and they can even walk to work or bike to work but if you close it all off you are not going to have that access. They are going to have to around and circumvent in order to get to work.

MR. DE LA TORRE: Again and so far management and things like that maybe we can think of a system where the owners of the apartments can freely walk in and out but there are certain restrictions just for everybody. Then again who are we kidding they can always walk through the drives everywhere but this discourages just what I picture happening. If I was a kid like I

used to be and I lived on the Westside I would like to see what I can get away on the east side in their swimming pool because it is going to be a little...

COMMISSIONER GARA: (INADUIBLE).

MR. DE LA TORRE: I am afraid so. So that is what I try to avoid from the beginning but I also realize it is very important to have a path for the west apartment to the park.

CHAIR BEGAY: Thank you. Ms. Stover, do you have any closing comments?

MS. STOVER: No.

CHAIR BEGAY: Applicant closing comments?

MS. MARCOTTE: If I can put another thing up here. I think Commissioners what Mr. De La Torre was talking about was just having an easement of some kind access along here that gets you from the eastern multi family site back into the western one right along the edge between the office parcel. And I believe that is what he was talking about it gets you straight out to Steven Moody Street into the park along that side or alternatively if you lived on this side of the complex you can a long trot over. You know we can as several Commissioners have talked about we can make a direct connection through the middle connecting through one of the other drive aisles through the apartment complex to the east from the west. But as Mr. De La Torre noted I think it will probably encourage people to go back and forth and use each other's amenity packages.

CHAIR BEGAY: Thank you.

MS. MARCOTTE: Whether or not you think that is important I think that is the problem.

COMMISSIONER GARA: I think that is a management issue not a Planning Commission issue.

MS. MARCOTTE: Well there are ways to get out of this site in all directions. You could put in an easement along the edge along the property line. You can get directly out to Steven Moody on the east, you can get out to Eubank and out to La Entrada from the west so there is quite a bit of connectivity from this site.

CHAIR BEGAY: Thank you. Okay lets close the floor.

COMMISSIONER McMAHAN: I have a question. Karen, I am concerned about the fact that Councilor Brasher has not taken the opportunity I did not say he has not had the chance, has not taken the opportunity to get in the middle of this and look at it. I guess my question is what would a thirty or sixty day deferral do to this from your point of view if this Commission were to say lets defer it so Councilor Brasher can get his constituents together to take a look at this for those who had not had a chance to for whatever reason? It is a very long involved sentence but I think it makes sense.



MS. MARCOTTE: Madam Chair, Commissioner McMahan we would obviously prefer to not have a deferral especially being we did make four attempts to get on the agenda for Councilor Brasher's meetings in the neighborhood. And tried to follow all of the rules to the letter time is money the developer would in fact like to go forward. He is paying option cost for the land while we are waiting for the approval so it will cost the applicant money for a problem that was not of the applicants making I believe but if that is your desire we will accept it.

COMMISSIONER McMAHAN: I keep thinking that knowing Councilor Brasher he might stand up at a Council meeting and make all kinds of nasty comments if not given the opportunity to respond to what his constituents feels are very strong needs.

COMMISSIONER GARA: The only way he can comment is if it was appealed.

CHAIR BEGAY: Right.

COMMISSIONER McMAHAN: No, he can bring it up in Council to comment about it and then could encourage...

CHAIR BEGAY: I am kind of leery though about opening the door to allow every project to be reviewed by their Councilperson.

COMMISSIONER McMAHAN: I understand that for sure.

MS. MARCOTTE: Madam Chair, the architect informed me that actually we loose the financing package in the next thirty days if we do not have an approval. So the applicant would not like a deferral.

COMMISSIONER GARA: I guess based upon the testimony of the neighborhood associations on whether they were do notification or not if they determine that they are going to appeal that can take a longer time then a thirty day deferral here possible in my opinion.

COMMISSIONER McMAHAN: That is my thought.

COMMISSIONER GARA: And if you satisfied the neighborhood concerns that are affected may not be adjacent but are affected at the same time. Is that something, I know it is not something you want to do but I guess if I saw a better site plan I would be less inclined to say we need a deferral but the connectivity I think is lacking. I think the long expanses of garages are lacking and those are areas of concern to me simply because of the experience in this community and what have seen happen when we have situations like that.

CHAIR BEGAY: Commissioner Johnson?

COMMISSIONER JOHNSON: I would agree with Commissioner Gara. I would not propose a deferral or a continuance for the sake of having Commissioner Brasher look at it I do not think that is good policy.

COMMISSIONER McMAHAN: I am sorry I brought his name in.

COMMISSIONER JOHNSON: Yes, probably that was a mistake but I am concerned about the integration of the two sites in terms of look and feel although I realize they have different architecture they appear very different to me and I would like to see better drawings, perhaps color renderings. Something that gives us more than the architect's request to trust me on what these will look like. I am also concerned about the connectivity and I think this site has wonderful potential for being just what we want the world to be like. We keep saying we want a mixture of uses and we want people to be able to walk and ride. But I cannot tell from this how that works. I cannot see how you get clearly from these residential sites to the work place and these residential sites to the play place. And I think that is very key part of what we are looking for here. And if you can do it very quickly I think we would be interested in seeing it as soon as you could make those kinds, show us those kinds of things on the site plan and in terms of the architecture. I am less concerned because I think we have met the requirements of notification and I am less concerned about the Councilor and those reasons for deferral but these other ones I would really like to see.

CHAIR BEGAY: If I may we have a study session February 8 at four o'clock. Is that correct April? Would that give you enough time? You can invite Councilor Brasher if you want but I mean would that give you enough time?

MS. MARCOTTE: Madam Chair, yes we would prefer to come back to the study session and try and very clearly show the issues that the Commissioners have raised rather than accept a thirty day deferral because that will help keep us within our financing schedule for the project.

CHAIR BEGAY: Right. Great. What does the Commission think? Are we clear on what we want them to bring back? Are you clear on?

MS. MARCOTTE: Yes I think so.

COMMISSIONER JOHNSON: I guess I will just add that I would like to see the possibility for the foot traffic, I mean how do you get there on foot? How do you get there on bike? And how do you get there if you have to pack all the kids in the car and go to the park? So those are the roots I would like to.

MS. MARCOTTE: A multi model transportation diagram.

COMMISSIONER JOHNSON: Yes maybe. And the architecture, thank you.

CHAIR BEGAY: Would someone like to make the motion to that affect? Russell Brito?

MR. BRITO: Madam Chair, in regards to a deferral to February 8 that would mean that we would have to have a staff report by February 1<sup>st</sup> or 2<sup>nd</sup> and we would like at least a few days before that to be able to review any revised site plans that come in and we would ask that the applicant get us revisions by the end of next week if that is possible.

COMMISSIONER SCHWARTZ: What is on that agenda?

CHAIR BEGAY: We have a study session and what else April? That is it.

COMMISSIONER SCHWARTZ: Is the study session a public meeting?

COMMISSIONER GARA: No, you can have a public hearing immediately following the study session. We have a meeting...

COMMISSIONER SCHWARTZ: Okay so the study session can be closed to the...

COMMISSIONER GARA: No, the study session is open we just do not conduct business at a study session.

COMMISSIONER SCHWARTZ: Okay.

COMMISSIONER GARA: So we would end the study session and go into an open meeting.

MS. MARCOTTE: Madam Chair, we would be willing to turn everything in by the end of next week.

CHAIR BEGAY: Great.

COMMISSIONER GARA: Mr. Newton has question or a comment.

MR. NEWTON: Did I hear they want a facilitated meeting.

CHAIR BEGAY: I do not know ask them.

MR. NEWTON: If the instruction comes from the EPC it always pushes the people that have the contract for the facilitation. And they have given us real fast service in the past.

COMMISSIONER GARA: So instructed.

CHAIR BEGAY: Great. Commissioner Gara?

COMMISSIONER GARA: Madam Chair, in the matter of agenda item number thirteen 00110 00000 01644/00128 00000 01645/00128 00000 01646/00128 00000 01647 I recommend a continuance to the February 8<sup>th</sup> meeting so that the applicant has time to review the site plan and talk and address the issues concerned by this Commission, expressed by this Commission concerning pedestrian access, bicycle access, vehicle access to the park, to work, and to the apartments and the architecture and the garages and other issues that were brought up. And to have a facilitated meeting with the affected neighborhood associations in that time frame.

COMMISSIONER McMAHAN: Second.

**UNAPPROVED**

CHAIR BEGAY: Motion and a second. All those in favor? Motion passes unanimously.

**FINAL ACTION TAKEN**

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to continue 00110 00000 01644/00128 00000 01645/00128 00000 01646/00128 00000 01647 to the Environmental Planning Commission Public Hearing on February 8, 2001.

MOVED BY COMMISSIONER GARA  
SECONDED BY COMMISSIONER McMAHAN                      MOTION CARRIED UNANIMOUSLY

~~8. 00110 00000 01626      Consensus Planning, Inc., agents for Curb West, Inc. request a zone  
00128 00000 01625      map from SU-1 for C-1 and R-1 to SU-1 for Church and related  
Project #1000931      facilities O- 1, and R-2 Permissive Uses; SU-1 for C-1 O-1 and R-2,  
(with restaurants with full service liquor and liquor sales for off site  
consumption) and R-LT for Tract B-2 & Lots 1-28 & Lots 1-29, Block  
15 & 16, Paradise Heights Addition, located on Irving Boulevard  
between Universe Boulevard and Unser Boulevard, containing  
approximately 146.8 acres. (A-10) Mary Piscitelli, Staff Planner  
(CONTINUED TO FEBRUARY 15, 2001)~~

**STAFF PRESENT:**

Mary Piscitelli, Planning Department

**PERSON PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:**

Jim Strozier, 924 Park SW

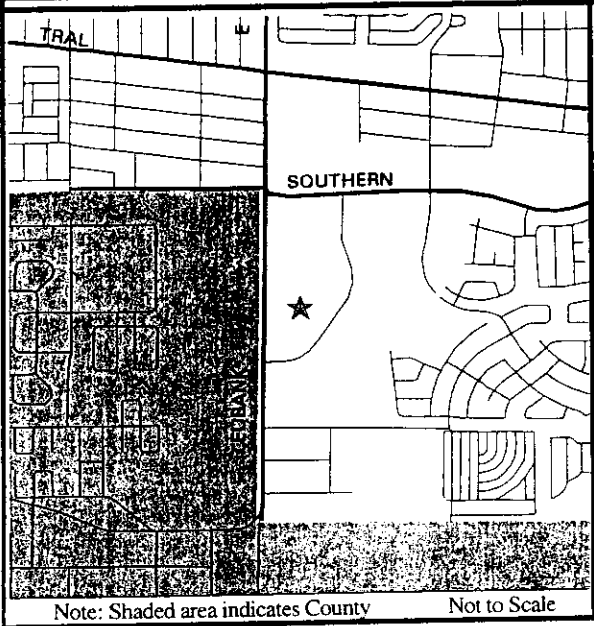
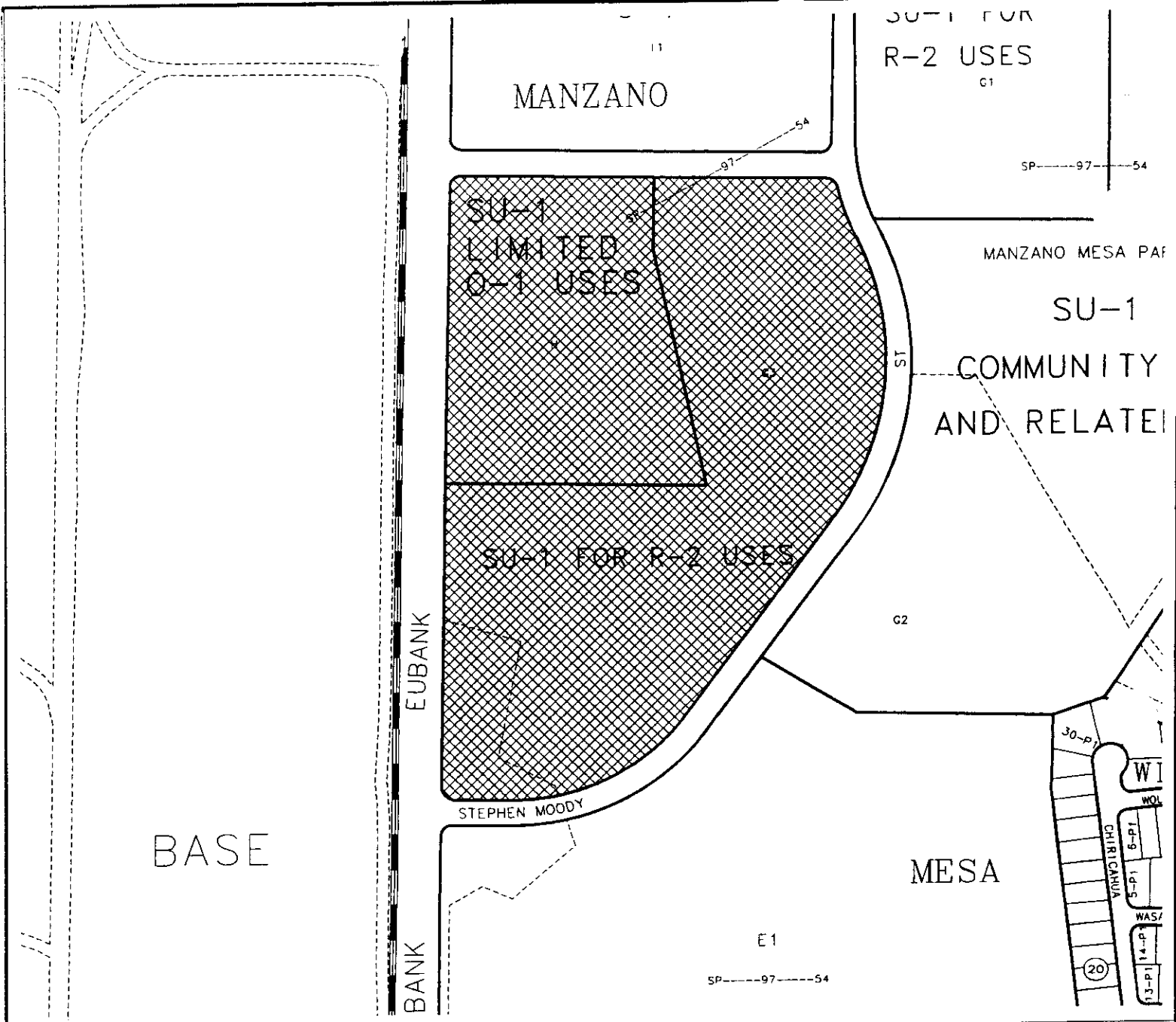
**THERE WAS NO ONE PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:**

MS. PISCITELLI: Reiterated comments made in the staff report in which denial was recommended.

**FINAL ACTION TAKEN**


NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to continue 00110 00000 01626/00128 00000 01625 to the Environmental Planning Commission Public Hearing on February 15, 2001.

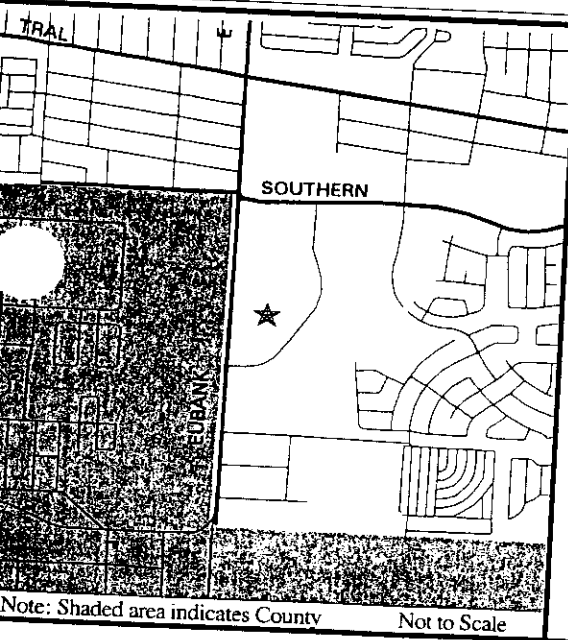
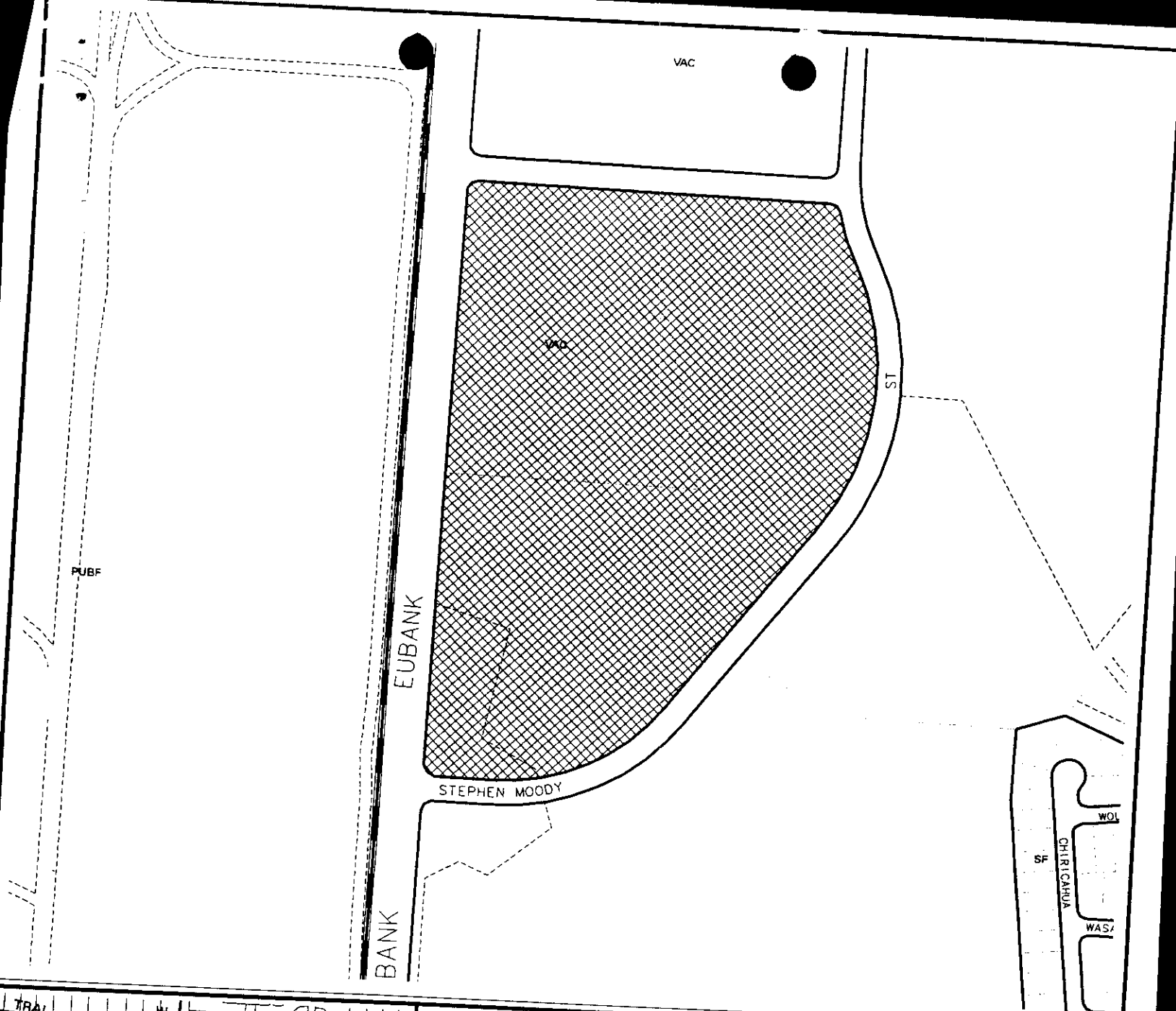
-165-



ZONING MAP

-166-

 <p>Scale 1" = 377'</p>
<p>PROJECT NO 1000938</p>
<p>HEARING DATE 01-08-01</p>
<p>MAP NO. L-21</p>
<p>APPLICATION NO. 00110-00000-06144 00128-00000-01645 00128-00000-01646 00128-00000-01647</p>



## LAND USE MAP

### KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial -Retail, Service, Wholesale
- DRNG Drainage
- EDUC Public or Private School
- GOLF Golf Course
- MED Medical Office or Facility
- MFG Manufacturing or Mining
- MH Mobile Home
- MULT Multi-Family or Group Home
- OFF Office
- ORG Social or Civic Organization
- PARK Park, Recreation or Open Space
- PRKG Parking
- PUBF Public Facility
- RELG Religious Facility
- SF Single Family
- TRAN Transportation Facility
- UTIL Utility
- VAC Vacant Land or Abandoned Bldgs
- WH Warehouse & Storage

-167-



Scale 1" = 377'

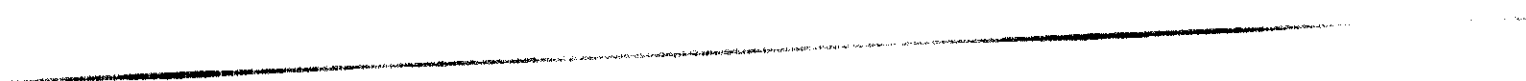
PROJECT NO.  
1000938

HEARING DATE  
01-08-01

MAP NO.  
L-21

APPLICATION NO.  
00110-00000-06144  
00128-00000-01645  
00128-00000-01646  
00128-00000-01647

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AC-01-08

# City of Albuquerque



## DEVELOPMENT REVIEW APPLICATION

Supplemental form **S**      Supplemental form **Z**

**SUBDIVISION**

\_\_\_ Major Subdivision action

\_\_\_ Minor Subdivision action

\_\_\_ Vacation

\_\_\_ Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

\_\_\_ ...for Subdivision Purposes

\_\_\_ ...for Building Permit

\_\_\_ IP Master Development Plan

\_\_\_ Cert. of Appropriateness (LUCC)

**ZONING**

\_\_\_ Annexation & Zone Establishment

\_\_\_ Sector Plan

\_\_\_ Zone Change

\_\_\_ Text Amendment

\_\_\_ Special Exception

**APPEAL / PROTEST of...**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: SINGING ARROW N.A. PHONE: 299-8611

ADDRESS: 12614 SINGING ARROW SE FAX: \_\_\_\_\_

CITY: ALB STATE NM ZIP 87123 E-MAIL: \_\_\_\_\_

Proprietary interest in site: \_\_\_\_\_

AGENT (if any): PHILIP YORIK PHONE: 241-7721

ADDRESS: 12705 ELYSE PL SE FAX: 241-0516

CITY: ALB STATE NM ZIP 87123 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: APPEAL OF EPC TO CITY COUNCIL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? \_\_\_ Yes. \_\_\_ No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. G-3 & H-1 Block: \_\_\_\_\_ Unit: \_\_\_\_\_

Subdiv. / Adn. MANZANO MESA

Current Zoning: SU-1, LMTD 01 & SU-1 for R-2 Proposed zoning: SU-1, SITE PLAN FOR SUBDIVISION

Zone Atlas page(s): L-21 No. of existing lots: 2 No. of proposed lots: ?

Total area of site (acres): 36.3 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_

Within city limits?  Yes. No, but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 102105603321730314 MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: ON EUBANK BETWEEN CENTRAL &

Between: \_\_\_\_\_ and SANDIA LABS

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): Project #

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE Philip Yorik DATE 3/16/01

(Print) PHILIP YORIK Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised December 2000

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>01218 - 00000 - 00356</u>	<u>AP-EPC</u>	<u>A</u>	<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 50.00</u>

Boyer 3/16/01  
Planner signature / date

Project # 1000938



FORM A: APPEAL

Appeal to the Zoning Board of Appeals regarding:

DECISION OF THE ZONING HEARING EXAMINER

Appeal to the Landmarks and Urban Conservation Commission regarding:

CERTIFICATE OF APPROPRIATENESS DECISION OF THE PLANNING DIRECTOR OR STAFF

Appeal to the Environmental Planning Commission regarding:

ADMINISTRATIVE AMENDMENT OR DECISION OF THE PLANNING DIRECTOR OR STAFF

DECLARATORY RULING OF THE ZONING ENFORCEMENT OFFICER

DETERMINATION OR ACTION OF THE DEVELOPMENT REVIEW BOARD

Appeal to the City Council regarding:

DETERMINATION OR ACTION OF THE ENVIRONMENTAL PLANNING COMMISSION

ACTION OF THE ZONING BOARD OF APPEALS REGARDING AN APPEAL

DECISION OF THE LANDMARKS AND URBAN CONSERVATION COMMISSION

Project number of case being appealed; 1000938

Application number of case being appealed; 00110 00000 01644 / 00128 00000

Reason for the appeal \* 01645 / 00128 00000 01646 / 00128 00000

Appellant's basis of standing as an appellant \* 01647

Letter of authorization from the appellant if this application for appeal is submitted by an agent

Copy of the Official Notification of Decision regarding the matter being appealed

Fee (see schedule)

\* Criteria for reasonable appeals and criteria for standing as an appellant are given in Zoning Code §14-16-4-4. Any appeal must meet these criteria to be heard. The applicant should review these and other relevant documents carefully before preparing an application for appeal.

SEE ATTACHMENT

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

PHILIP YORK  
Applicant name (print)

Philip York  
Applicant signature / date

Form revised December, 2000



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
01218 - 00000 - 00356  
 \_\_\_\_\_  
 \_\_\_\_\_

B. Benbert 3/16/01  
 Planner signature / date

Project # 1000938

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CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
LAND DEVELOPMENT COORDINATION DIVISION  
PAID RECEIPT

APPLICANT NAME: SINGING ARROW NEIGHBORHOOD ASSOC.


AGENT: PHILIP YORK

ADDRESS: 12705 ELYSE PL. SE ALBU. NM 87123  
(w/zip code)

CASE NUMBER: 1000938  
01218-00000-00356

AMOUNT DUE: \$ 50<sup>00</sup>

✓ 441006/4981000 (City Cases)

<b>SINGING ARROW NEIGHBORHOOD ASSOC.</b>		12-98	[REDACTED]
12614 SINGING ARROW S.E. ALBUQUERQUE, NM 87123		Date <u>3-16-01</u>	95-27/1070 638
Pay to the Order of	<u>CITY OF ALBUQUERQUE</u>	\$ <u>50.00</u>	
	<u>FIFTY AND 00/100</u>	Dollars	
<b>First Security Bank</b>	First Security Bank of New Mexico, N.A. 1-505-765-4810	<b>TWO SIGNATURES REQUIRED OVER \$100.00</b>	
For	<u>[REDACTED]</u>	<u>Philip York</u>	MP

Rev  
x/st

FOR DEPOSIT TO  
CITY OF ALBUQUERQUE  
COMMON FUND ACCT 1051038894  
Loc: ANEX WS 009 Trans: 0019  
Tra Date 03/16/2001 00003413 00003413  
Journal 24 (Misc) TRSTAG  
Trans Amt \$50.00  
CK \$50.00

[REDACTED]

[REDACTED]

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12614 Singing Arrow Avenue SE  
Albuquerque, New Mexico 87123

March 15, 2001

City of Albuquerque  
Planning Department  
Development Services  
P. O. Box 1293  
Albuquerque NM 87103

### APPEAL TO THE CITY COUNCIL

RE: File 00110 00000 01644/00128 00000 01645/00128 00000 01646/00128  
00000 01647 Project # 1000938

It is the unanimous vote and strong unwavering position of the Board of the Singing Arrow Neighborhood Association that approval of any type of development with this zoning density is highly detrimental to this area and should not be permitted to occur!

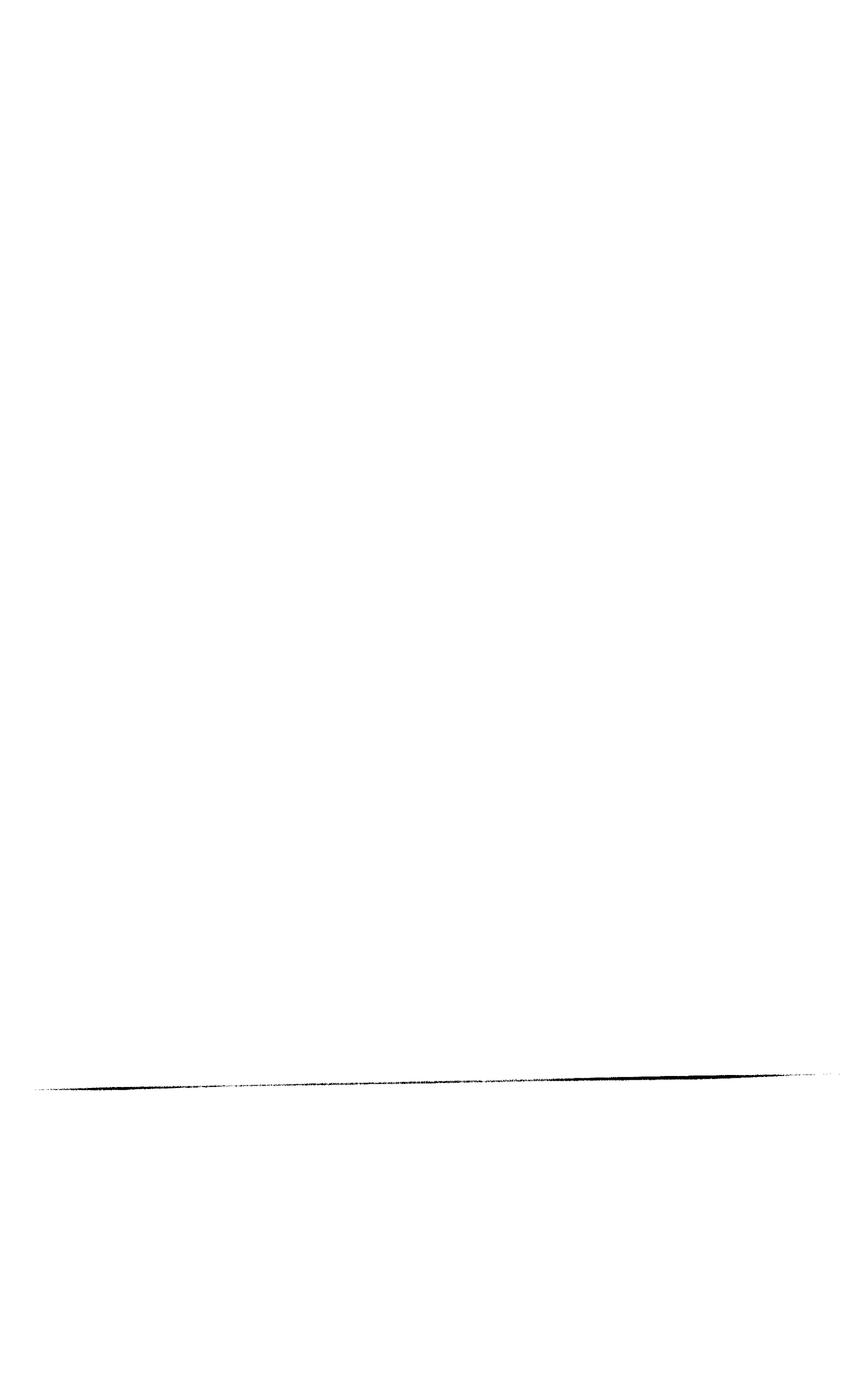
The current zoning is totally inappropriate for this portion of the city, as any high-density rental dwelling development will have considerable negative impact on the adjacent neighborhoods and in particular Singing Arrow.

There are already too many vacant apartments less than one mile away from this proposal. Statistics indicating a need for any form of rental dwellings are terribly inaccurate and do not in any way correctly reflect the situation regarding occupancy in this area.

Permitting this development to occur will result in the need for more from the Albuquerque Police due to drug and gang activity. More work for the Code Enforcement Team due to poorly maintained rental property, more calls for large and unscheduled item pick up from Solid Waste. And the need for Singing Arrow Neighborhood applying for Federal money for CPTED Programs.

This portion of Albuquerque is grossly over built in high-density rental property, this project is not needed, not necessary and should not be permitted to proceed.

*BASIS OF STANDING AS APPELLANT IS POSITION OF PRESIDENT  
OF NEIGHBORHOOD ASSOCIATION THERE BY REQUESTING THAT BODY  
BY AUTHORITY OF SECTION 14-16-4-4 (B)(2)(C) CITY OF  
ALBUQUERQUE ZONING CODE*





City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: March 2, 2001

GSL Properties, Inc.  
2164 S.W. Park Place  
Portland, Or 97205

**OFFICIAL NOTIFICATION OF DECISION**

FILE: 00110 00000 01644/00128 00000  
01645/00128 00000 01646/00128 00000  
01647 Proj. # 1000938

LEGAL DESCRIPTION: for Tract G-3 &  
Tract H-1, Manzano Mesa Addition, located  
on Eubank SE between Central Avenue SE  
and Sandia National Labs SE, containing  
approximately 36.3 acres. (L-21) Debbie  
Stover, Staff Planner

On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000  
01644, request for zone map amendments based on the following Findings and subject to the following  
Conditions of Approval:

**FINDINGS:**

1. This is a request for a zone map amendment for Tract H and Tract G-3, Manzano Mesa Addition.
2. The request meets the requirements of applicable City plans and policies.
3. The request has been justified under Resolution 270-1980 by the applicant under the changed community conditions and the more advantageous to the community policies.
4. A site plan accompanies this request for SU-1 zoning.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
  2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines
-

not being sold. Mr. Martch stated that the O-1 was formerly O-1 further away from the Tecnology Park. Councillor McEntee asked whether APS is selling the 25 acres under the new plan as proposed and not selling the 11 acres that are SU-1. Mr. Martch responded "no". Councillor Yntema asked if the existing zoning is inappropriate. Mr. Martch responded that it is inappropriate because APS wants all the multi-family to be adjacent to the park and school area so that GSL can have the office zoning adjacent to Sandia Technology Park. Councillor McEntee asked if this multi-family unit is economically viable or is it only viable because of the tax credit. Mr. Bantz stated that the advantage of larger units would be the lower vacancy rates. The size of these units allow for full time on-site management, full-time maintenance, adequate parking, and amenities that are not available from smaller units. Councillor McEntee asked why a project of this size needs a tax credit. Mr. Bantz responded, "to provide affordable housing." David Bell stated the Mortgage Finance Authority has determined that there is sufficient need for this project.

John Myers requested that Susan Henderson be allowed to speak.

Councillor Yntema moved that the Committee allow two minutes for Susan Henderson to speak. Seconded. The motion carried by a vote of 3 FOR AND 1 AGAINST.

For: 3 - Council Members: Armijo, Yntema and Kline  
Against: 1 - Council Member: McEntee  
Excused: 2 - Council Members: Winter and Hundley

Susan Henderson stated that the Willow Wood Neighborhood Association strongly supports the zone change. Ms. Henderson stated that it would be to their neighborhood's advantage because it consolidates the apartment community, it provides a buffer, and it will be an improvement to the neighborhood.

Councillor Kline asked if the neighborhood went through mediation. Ms. Henderson responded that they had, and GSL has been responsive to their concerns and needs.

Mick McMahan stated that the Environmental Planning Commission agreed with the Planning staff that the request be approved.

Debbie Stover stated that the Planning Department recommended approval because they felt that the request was reasonable. There was no increase in acreage in O-1 or R-2. Ms. Stover stated that there is the residential component to the north and the office component to the south, which would be near to the soon to be approved Sandia Technology Park.

Philip York and Dan Houck stated that this project is detrimental and will have a negative impact on the neighborhood.

Councillor McEntee moved that the Committee recommend that AC-01-08 be Sent to Council with a recommendation of Not Be Heard. Seconded. The motion carried by a vote of 3 FOR AND 1 AGAINST.

For: 3 - Council Members: McEntee, Armijo and Kline  
Against: 1 - Council Member: Yntema  
Excused: 2 - Council Members: Winter and Hundley

Councillor McEntee moved the following findings:

1. The requested zone map amendment will not change the uses already allowed on the subject site, but will reconfigure the same uses.
2. The Environmental Planning Commission found that the applicant met the burden of showing that Resolution 270-1980 requirements had been satisfied based on the changed community conditions. The proposed zoning configuration was also found to be more advantageous to the community than the existing zoning configuration as articulated by the Comprehensive Plan and the Manzano Mesa Master Plan.
3. The proposed zoning encourages better compatibility among existing and proposed uses in the area than the existing zoning.
4. The site plans, as amended, will meet the requirements of applicable City ordinances.
5. The zoning and density opposed by the appellant are already allowed on the subject site.

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OFFICIAL NOTIFICATION OF DECISION

00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

MARCH 2, 2000

PAGE 2

On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01645, request for site plan for subdivision, based on the following findings 1-4.

**FINDINGS:**

1. This is a request for a site plan for subdivision for Tracts H and G-3, an approximately 36.3 acre site and which is located on Eubank Boulevard south of Southern SE. The intent is to subdivide into three new tracts to be called Tract G-3-A, Tract G-3-B and Tract H-1.
  2. A site plan for subdivision is required for approval of SU-1 zoning.
  3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
  3. The site development plan for subdivision meets all of the requirements of the Zoning Code.
- 

On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01646, request for site plan for building permit, based on the following findings 1-5, and subject to the following conditions 1-18.

**FINDINGS:**

1. The site development plan for building permit furthers the applicable goals and policies of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed for the connections between the two complexes.
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.

\_\_\_\_\_

OFFICIAL NOTIFICATION OF DECISION

00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

MARCH 2, 2000

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5. The submittal will be adequate with some changes and additions.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
3. All exterior sidewalks and internal walkways shall be marked as a minimum 6-foot wide on the site plan. At points where bicyclists and pedestrian traffic may conflict, (for example, near external trail access points) measures such as widening shall be taken to minimize those conflicts.
4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
6. Clearly marked and centrally located pedestrian access shall be provided between and through this development and the proposed apartment complex adjacent to this site.
7. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
10. Lettering, colors, and content of the monument sign shall be shown on the site plan for building permit.
11. Pool and equipment room elevations that compliment the architecture of the apartment buildings shall be shown on the site plan.
12. Design of the 10-foot asphalt trail along Eubank in this area shall be coordinated with the Trails Planner Diane Scena.

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13. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
  14. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
  15. No chainlink, razor wire or plastic/vinyl fencing is permitted.
  16. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
  17. All walls must conform to the City's Wall Design Standards publication.
  - 18. Transportation Development Services:**
    - A) The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
    - B) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets.
    - C) Proposed circulation drives and internal parking areas must be paved as per DPM standards.
    - D) The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
    - E) Location of refuse enclosures, walls, fences and signs must meet the clear sight distance requirements.
    - F) Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
    - G) Coordination with the Solid Waste Department with regard to refuse container location and access.
    - H) Street Trees are required along Eubank Boulevard.
  19. The Utility plan appears to show the private water system with illegal looping connection to public lines. This must be corrected. A water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action. Request left turn bays be introduced on Eubank to allow good access to the project location.
- 

On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01647, request for site plan for building permit, based on the following findings 1-4, and subject to the following conditions 1-6.





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**FINDINGS:**

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed at the connections between the two complexes.
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
3. All exterior sidewalks and internal walkways shall be marked as 6-foot wide on the site plan. At points where bicyclists and pedestrian traffic may conflict, (for example, near external trail access points) measures such as widening shall be taken to minimize those conflicts.
4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
6. Clearly marked and centrally located pedestrian access shall be provided between and through this development and the proposed complex adjacent to this site.
- 7.



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7. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
10. The type and color of the galvanized, aluminum metal roof shall be specified on the site plan. The roofs shall be matte finish.
11. Notes regarding the signage for this property shall state what siding is proposed on Sheet 7 and state what colors and materials will be used for the signage.
12. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
13. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
14. No chainlink, razor wire or plastic/vinyl fencing is permitted.
15. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
16. All walls must conform to the City's Wall Design Standards publication.
- 17. Transportation Development Services:**
  - A) The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
  - B) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets.
  - C) Proposed circulation drives and internal parking areas must be paved as per DPM standards.
  - D) The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
  - E) Location of refuse enclosures, walls, fences and signs must meet the clear sight distance requirements.
  - F) Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.

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PAGE 7

- G) Coordination with the Solid Waste Department with regard to refuse container location and access.
  - H) Street Trees are required along Eubank Boulevard.
18. Unobstructed pedestrian connection 6-foot clear shall be noted on the site plan between the apartments and the office.
19. The Utility plan appears to show the private water system with illegal looping connection to public lines. This must be corrected. A water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action. Request left turn bays be introduced on Eubank to allow good access to the project location.

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IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY **MARCH 16, 2001** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

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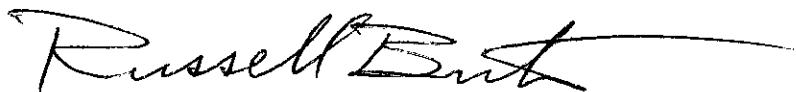
OFFICIAL NOTIFICATION OF DECISION

00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

MARCH 2, 2000

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Sincerely,



Robert R. McCabe, AIA, APA  
Planning Director

RM/DS/fmt

cc: Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123  
Joe Ando, 13200 Mountain Shadows Rd. NE, Albuquerque, NM 87111-5530  
Ray Baron, HC 75 Box 122 Chama, NM 87520  
Mark Burton, 12500 Charla Ct. SE, Albuquerque, NM 87123  
Ed Candelaria, 1053 Colt Ln. SE, Albuquerque, NM 87123  
Henry Crocket, 404 Rainbow Ct. SE, Apt. D, Albuquerque, NM 87123  
Diane Davidson, 12800 Piru SE, Albuquerque, NM 87123  
Marylyn Floro, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Frank Gallaspy, 1308 Kentucky SE, Albuquerque, NM 87108  
Joanne Gladin de la Fuente, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Susan Henderson, 1031 Los Padres SE, Albuquerque, NM 87123  
Dolores Keane, 828 Trading Pose Trail SE, Albuquerque, NM 87123  
Karen Kendall, 12924 Piru SE, Albuquerque, NM 87123  
Dave Orwat, 4600 Homestead Tr. NW, Albuquerque, NM 87120  
Dave Saxon, 10836 Wasatch Rd. SE, Albuquerque, NM 87123  
Rose & John Sena, 7820 Zuni SE, Albuquerque, NM 87123  
Dave Smith, 12536 Elyse Pl. SE, Albuquerque, NM 87123  
John Smokov, 608 Parkside Pl. SE, Albuquerque, NM 87123  
Janette Vanderkamp, 300 Dorado Pl. SE, Albuquerque, NM 87123  
Phil York, 12705 Elyse Pl. SE, Albuquerque, NM 87123

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# ENVIRONMENTAL PLANNING COMMISSION

## A G E N D A

Thursday, March 1, 2001

### MEMBERS

Elizabeth Begay, Chair  
Alan Schwartz, Vice Chair

Larry Chavez  
Chuck Gara  
Mick McMahan

Susan Johnson  
Camilla Serrano

\*\*\*\*\*

### **PUBLIC HEARING** **Plaza del Sol Hearing Room** **Plaza del Sol Building – Lower Level** **600 2<sup>nd</sup> Street, NW** **4:00 P.M.**

1. Call to Order
2. 00110 00000 01644  
00128 00000 01645  
00128 00000 01646  
28 00000 01647  
Project # 1000938  
Consensus Planning, Inc., agents for GSL Properties, Inc. request a zone map amendment from SU-1 for O-1, SU-1 for R-2 to SU-1 for O-1, SU-1 for R-2 plus approval of a site development plan for subdivision purposes and approval of a site development plan for building permit for Tract G-3 & Tract H-1, Manzano Mesa Addition, located on Eubank SE between Central Avenue SE and Sandia National Labs SE, containing approximately 36.3 acres. (L-21) Debbie Stover, Staff Planner  
**(DEFERRED FROM FEBRUARY 15, 2001)**
3. Other Matters.
4. Adjournment.





March 1, 2001

## Staff Report

<b>Agent</b>	Consensus Planning
<b>Applicant</b>	GSL Properties
<b>Requests</b>	<b>Zone Map Amendment</b> <b>Site Plan for Subdivision</b> <b>Two Site Plans for Building Permit</b>
<b>Legal Description</b>	Tracts G-3 and H-1
<b>Location</b>	Eubank between Central Avenue and Sandia National Laboratories SE
<b>Size</b>	Approximately 36.3 acres
<b>Existing Zoning</b>	SU-1 for O-1, SU-1 for R-2
<b>Proposed Zoning</b>	SU-1 for R-2, SU-1 for O-1

### Staff Recommendation

**APPROVAL** of 00110 00000 01644, request for zone map amendment based on the findings on page 21, and subject to the conditions of approval on page 22.

**APPROVAL** of 00128 00000 01645, request for site plan for subdivision, based on the findings on page 22.

**APPROVAL** of 00128 00000 01646, request for site plan for building permit, based on the findings on page 23, and subject to the conditions of approval on page 24.

**APPROVAL** of 00128 00000 01647, request for site plan for building permit, based on the findings on page 26, and subject to the conditions of approval on page 27.

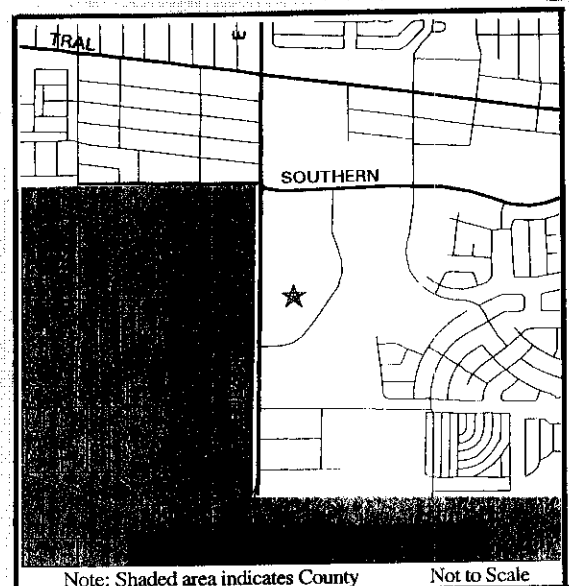
Staff Planner

Deborah L. Stover

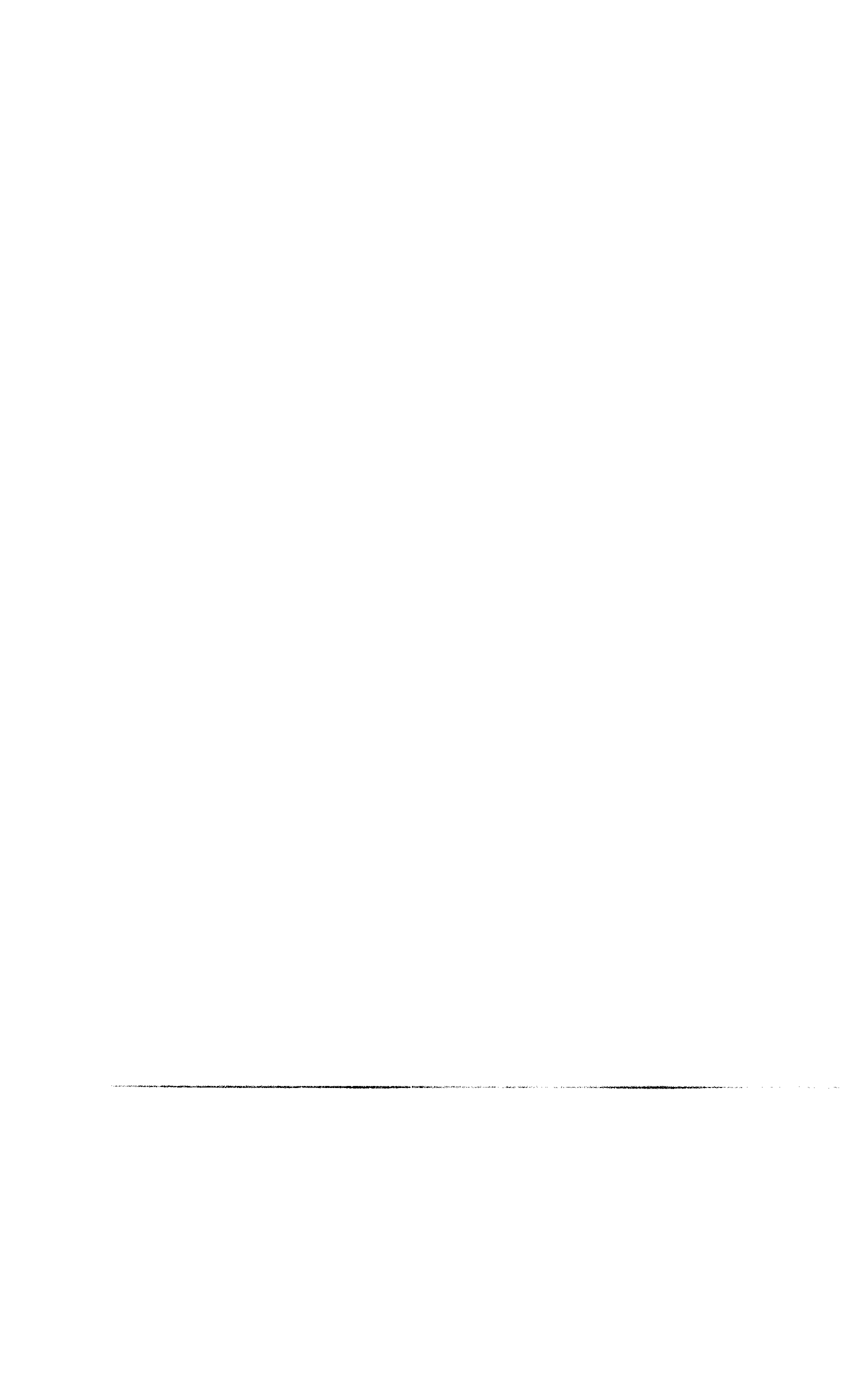
### Summary of Analysis

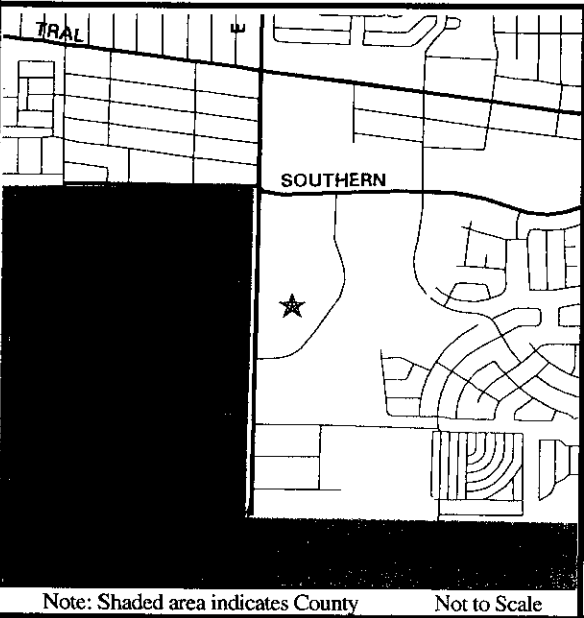
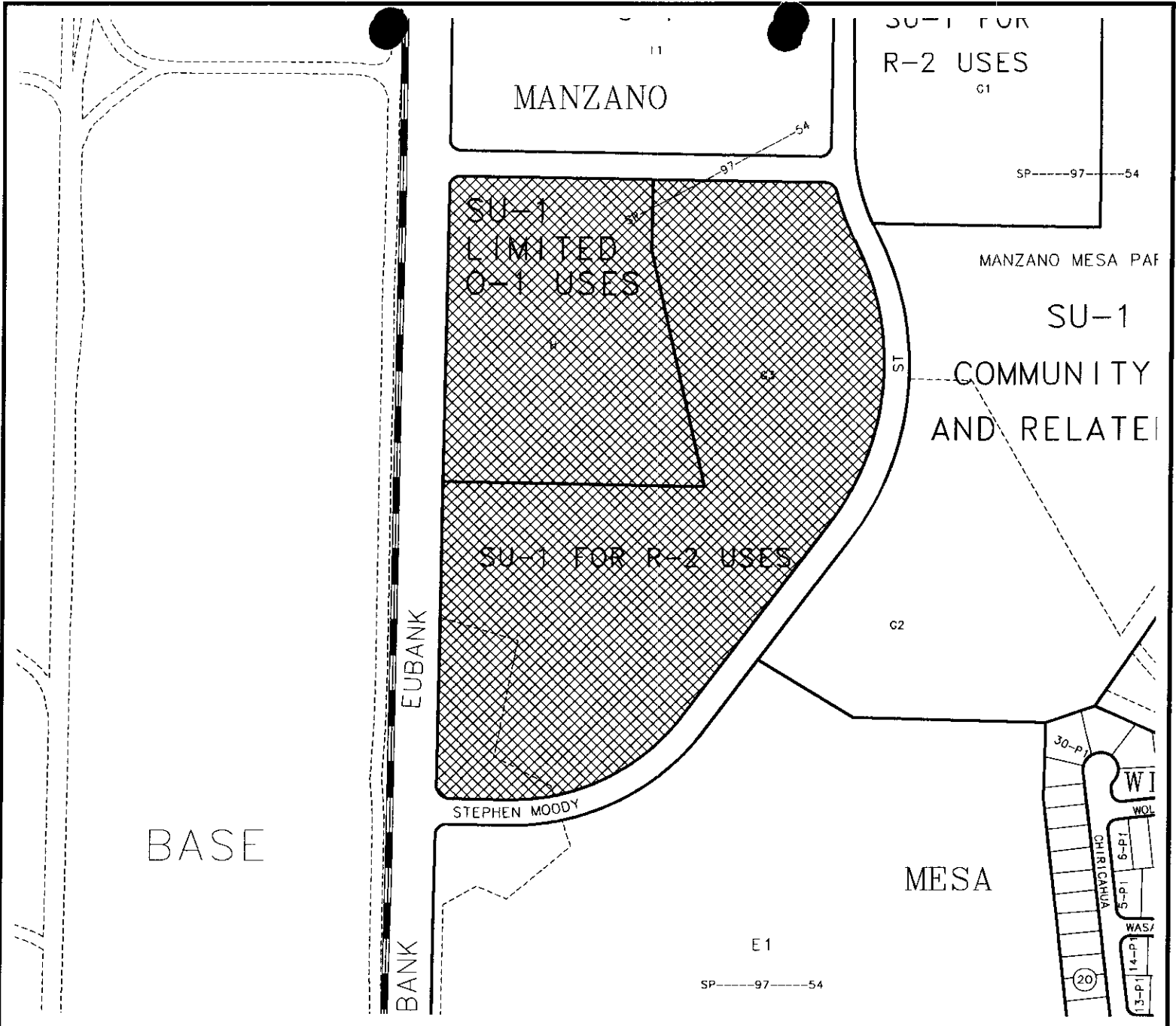
This request was heard at the January 18, 2001 EPC hearing and was deferred to the February 8, 2001 hearing. The request is for a zone map amendment, approval for site plan for subdivision and approval for two site plans for building permit for two separate multi-family residential complexes. The zone change request is not inconsistent with the existing zoning on the subject site, but if approved would move the residential area to the north of the parcels and the office uses to the southern portion of the area, nearer the proposed technology park. The proposed subdivision creates three tracts from the existing two. The request is consistent with applicable policies and plans.

Updated staff comments begin on page 20 of this report. All previous comments and analysis apply as well. Staff recommends approval of this request.



City Departments and other interested agencies reviewed this application from 12/1/00 to 12/15/00. Agency comments were used in the preparation of this report, and begin on page 30.





Note: Shaded area indicates County Not to Scale

ZONING MAP



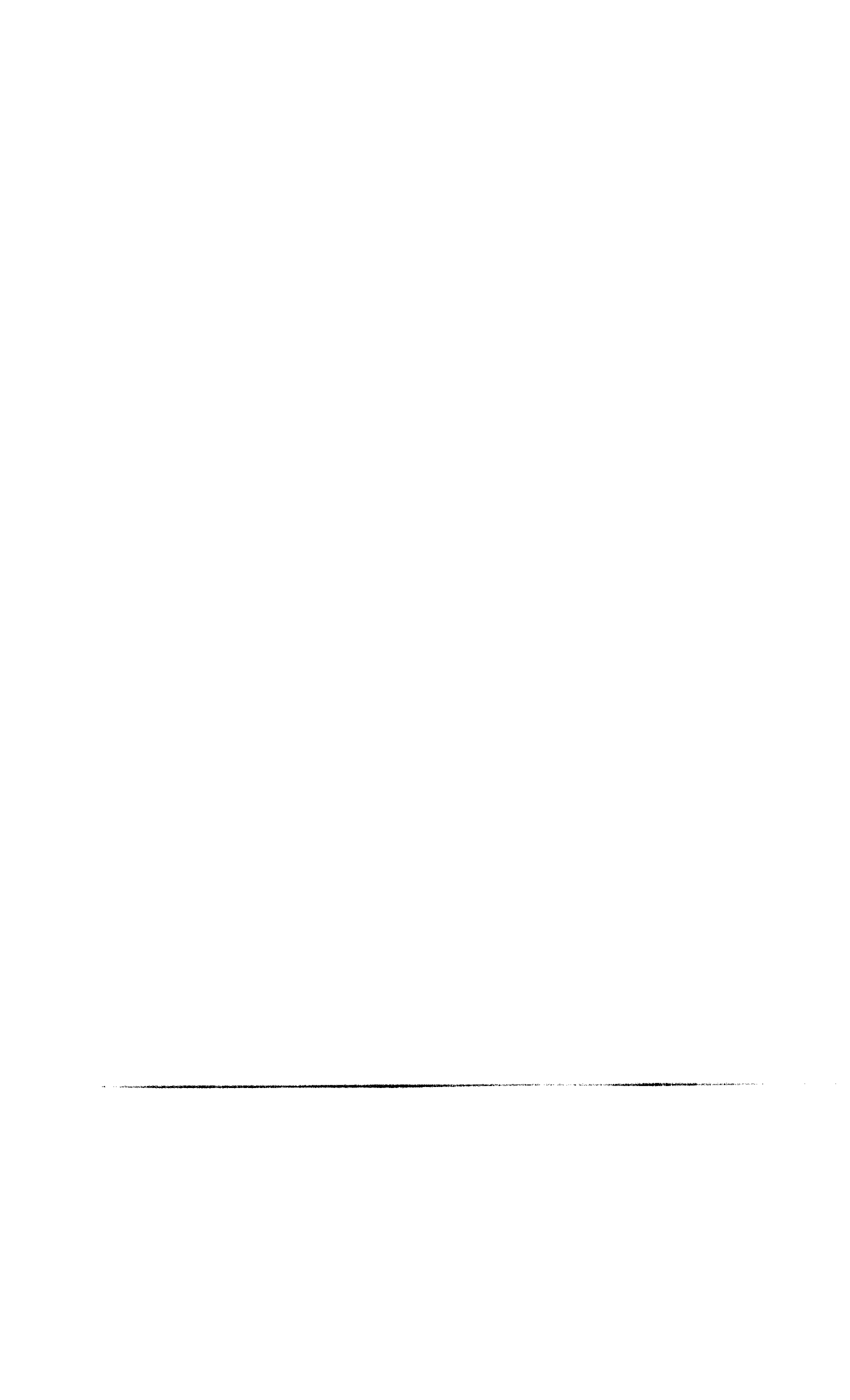
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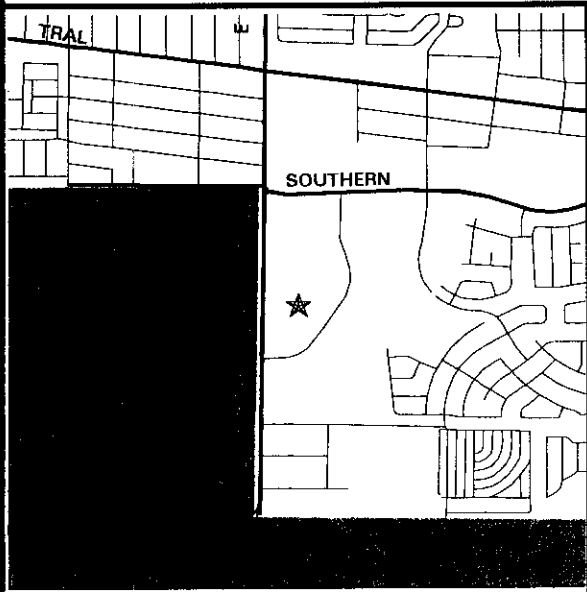
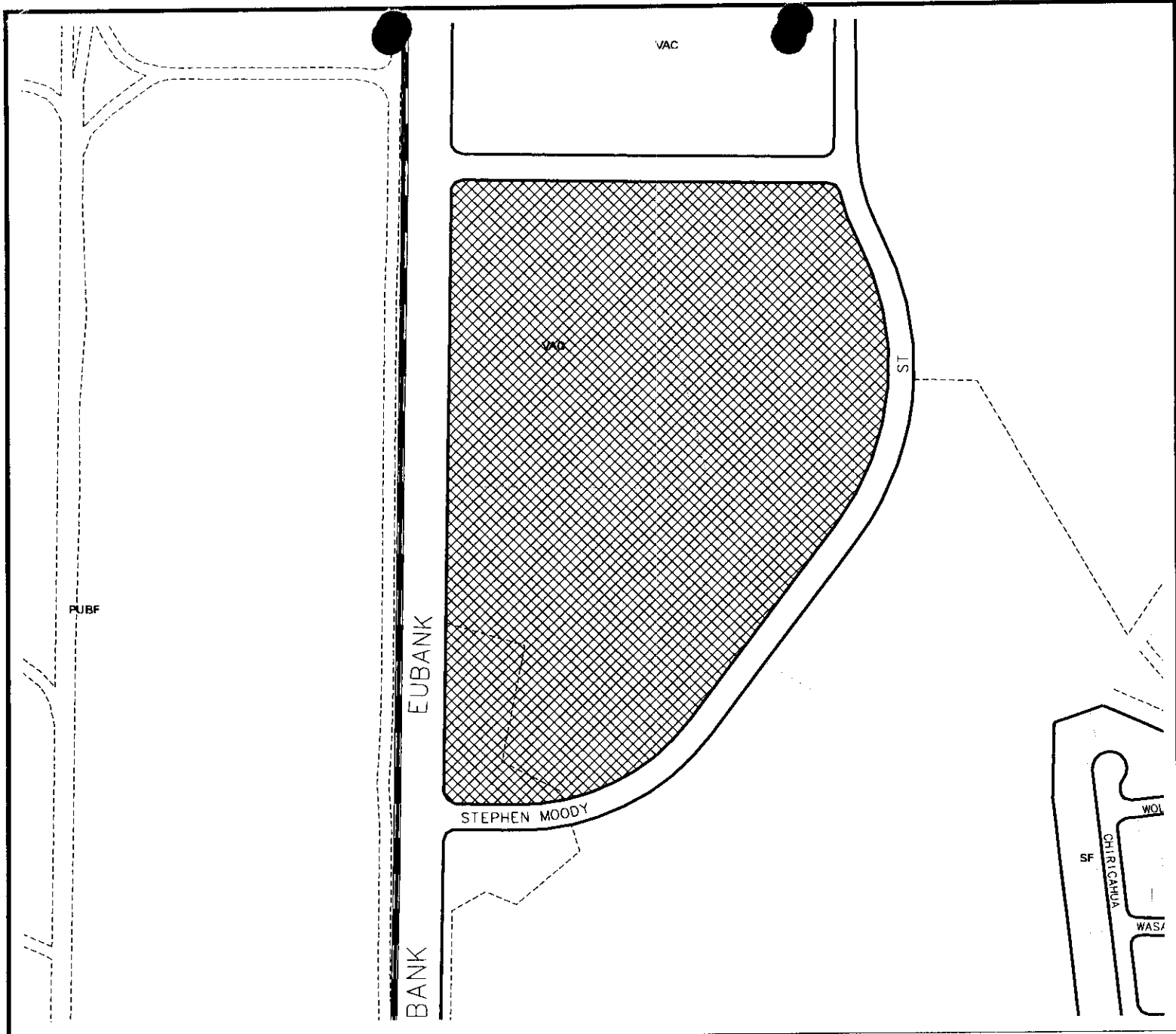
PROJECT NO. 1000938
HEARING DATE 01-08-01
MAP NO. L-21
APPLICATION NO. 00110-00000-06144 00128-00000-01645 00128-00000-01646 00128-00000-01647

6. The appellant has not demonstrated why the zoning should not be reconfigured. Rather, the applicant's opposition is directed toward the existing zoning and the particular proposed multi-family project.
7. The arguments regarding the subsidy of the proposed apartments and the number of apartments in the general area are not relevant to issue of whether the subject site should be rezoned as proposed.
8. The Environmental Planning Commission properly applied adopted City plans, policies and ordinances in arriving at its decisions to approve the zone map amendment and the site plans.
9. The Environmental Planning Commission did not err in its decisions, including the stated facts.
10. The Environmental Planning Commission did not act arbitrarily or capriciously or in manifest abuse of its discretion in approving the map amendment and the site plans. Seconded. The motion carried by a vote of 3 FOR AND 1 AGAINST.

For: 3 - Council Members: McEntee, Armijo and Kline  
Against: 1 - Council Member: Yntema  
Excused: 2 - Council Members: Winter and Hundley







Note: Shaded area indicates County Not to Scale

### LAND USE MAP

KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial-Retail, Service, Wholesale
- DRNG Drainage
- EDUC Public or Private School
- GOLF Golf Course
- MED Medical Office or Facility
- MFG Manufacturing or Mining
- MH Mobile Home
- MULT Multi-Family or Group Home
- OFF Office
- ORG Social or Civic Organization
- PARK Park, Recreation or Open Space
- PRKG Parking
- PUBF Public Facility
- RELG Religious Facility
- SF Single Family
- TRAN Transportation Facility
- UTIL Utility
- VAC Vacant Land or Abandoned Bldgs
- WH Warehousing & Storage



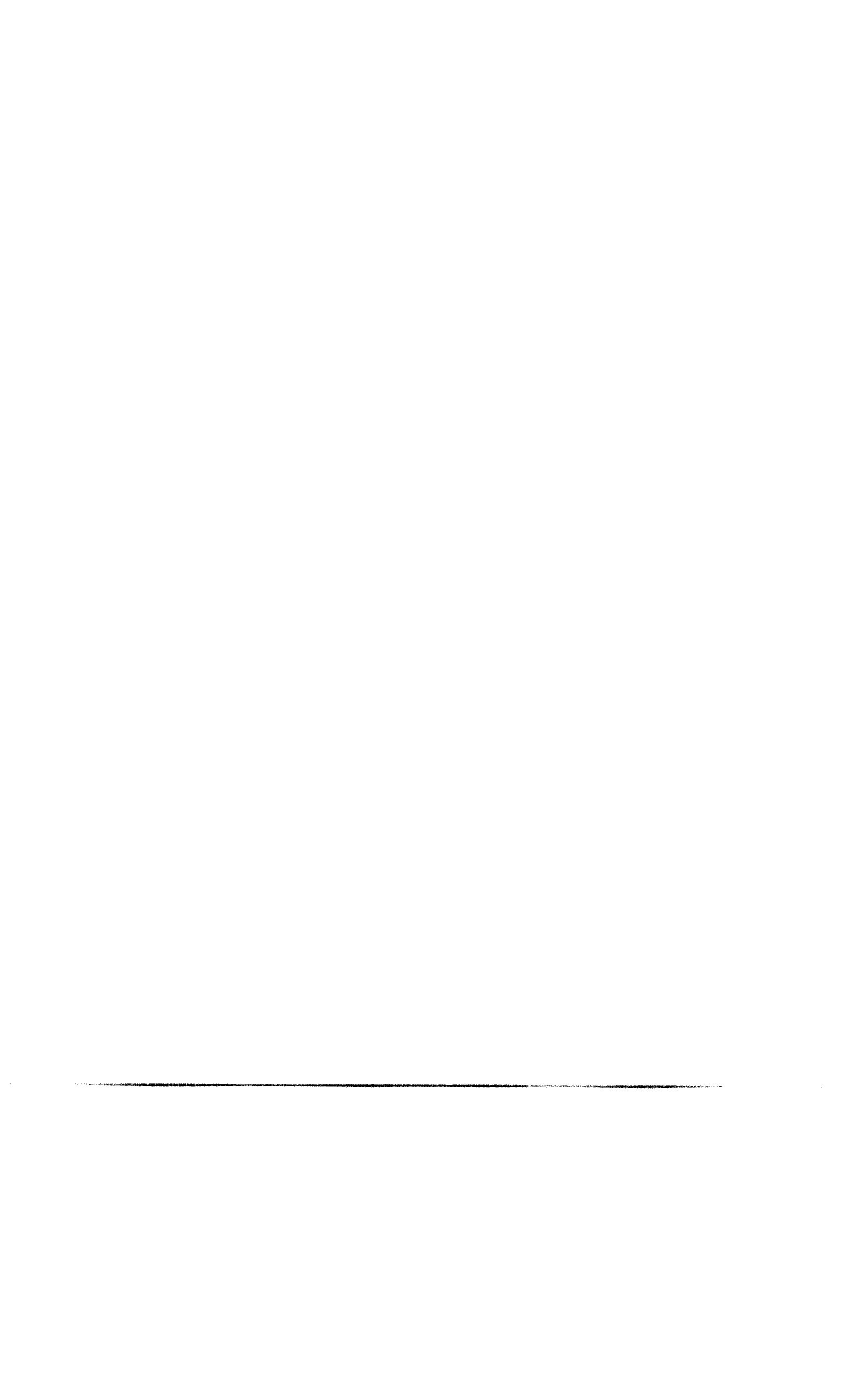
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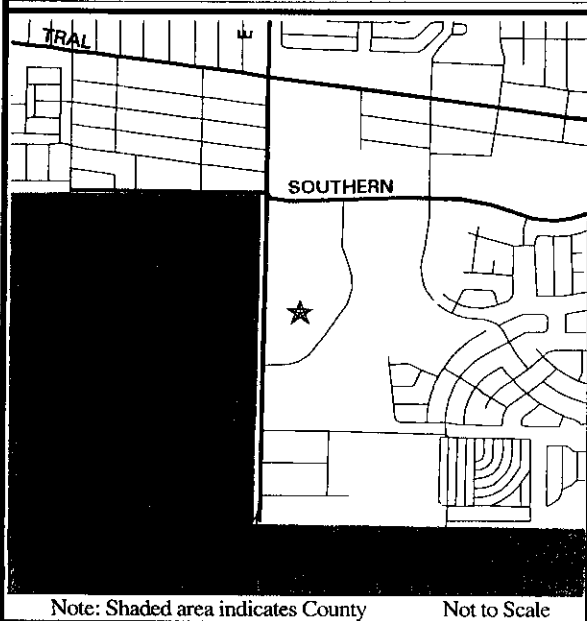
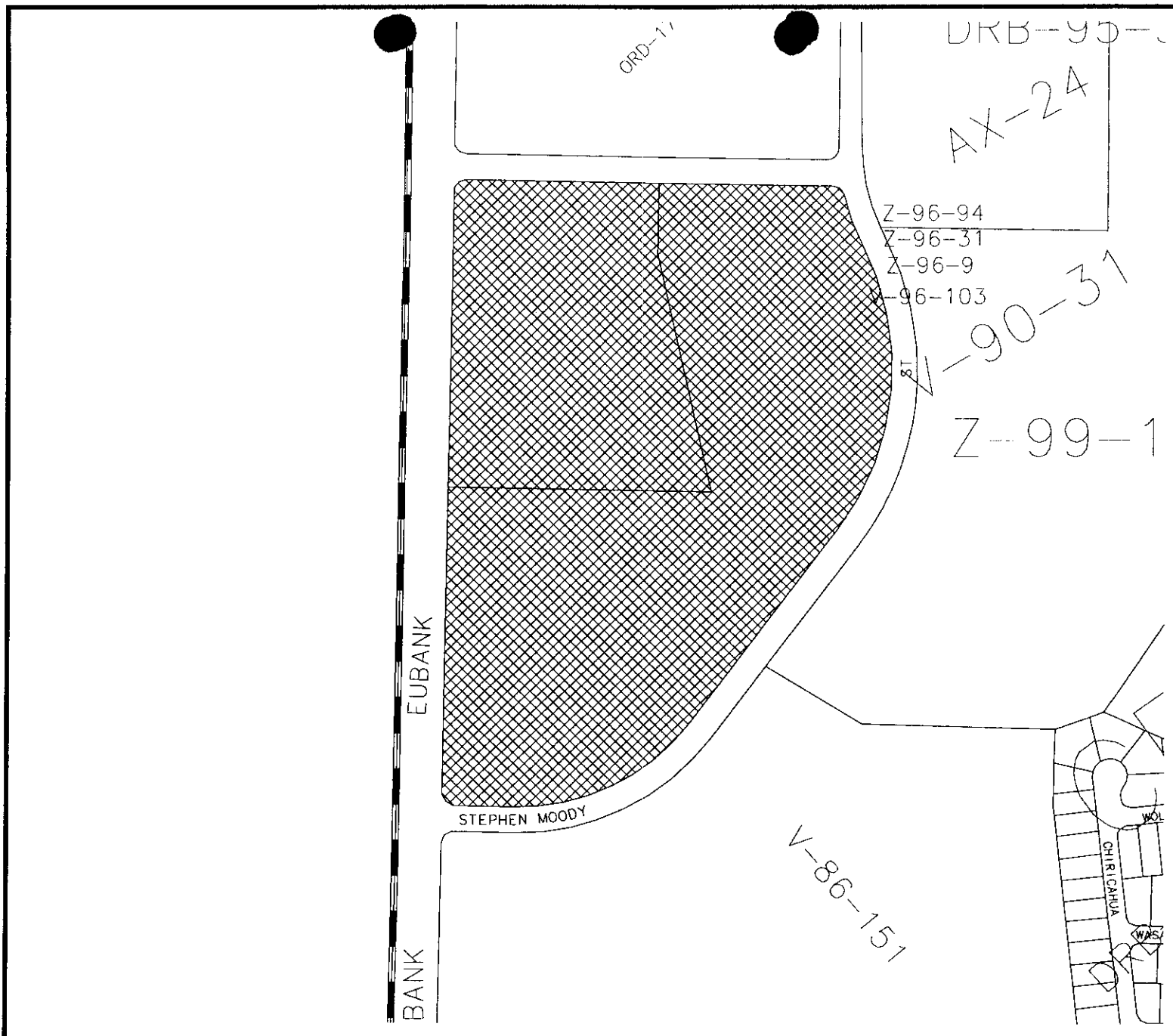
**PROJECT NO.**  
**1000938**

**HEARING DATE**  
**01-08-01**

**MAP NO.**  
**L-21**

**APPLICATION NO.**  
**00110-00000-06144**  
**00128-00000-01645**  
**00128-00000-01646**  
**00128-00000-01647**





Note: Shaded area indicates County Not to Scale

### HISTORY MAP



Scale 1"= 377'

PROJECT NO.  
1000938

HEARING DATE  
01-08-01

MAP NO.  
L-21

APPLICATION NO.  
00110-00000-06144  
00128-00000-01645  
00128-00000-01646  
00128-00000-01647

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**Development Services Report**

**SUMMARY OF REQUEST**

<b>Requests</b>	Zone Map Amendment Site Plan for Subdivision Two Site Plans for Building Permit
<b>Location</b>	Eubank Boulevard SE between Central Avenue and Sandia National Laboratories SE

**AREA CHARACTERISTICS AND ZONING HISTORY**

*Surrounding zoning, plan designations, and land uses:*

	Zoning	Comprehensive Plan Area; Applicable Rank II & III Plans	Land Use
<b>Site</b>	SU-1 Limited O-1 Uses/SU-1 for R-2 Uses	Established Urban	Vacant
<b>North</b>	C-1		Vacant
<b>South</b>	SU-1 Limited IP Uses		Vacant
<b>East</b>	SU-1 Community Park & Related Uses		Vacant
<b>West</b>	US Government Land		Kirtland Air Force Base

**Background, History and Context**

This request is for a zone map amendment, site plan for subdivision and site plans for building permit for two tracts of land that total 36.3 acres. Tract G-3 is currently zoned SU-1 for R-2 Uses and Tract H-1 is zoned SU-1 Limited O-1 Uses. The request is to subdivide the tract, creating three parcels instead of two. The southern tract of land Tract H-1 would acquire the SU-1 Limited O-1 Uses zone, while the two northern tracts would be designated for R-2 Uses for two separate apartment complex developments. The area surrounding the subject site is vacant on all sides. Eubank Boulevard borders the site on the west and across Eubank to the west appears to be vacant land that is part of Kirtland Air Force Base. Further south of the site is Kirtland Air Force Base, as well. East of the site is a large parcel of land designated to become a community park. Tennis courts have been constructed and other construction related to the park is underway in the area. North of the site across Southern Boulevard is the newly built Costco and further north is Home Depot.

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**APPLICABLE PLANS AND POLICIES**

***Albuquerque / Bernalillo County Comprehensive Plan***

The subject site is located in the Established Urban area of the Comprehensive Plan with a Goal "to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment." Applicable policies include:

Policy a The Established and Developing Urban Areas . . . shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

Policy d The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

Policy e New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

Policy g Development shall be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.

Policy k Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

Policy l Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

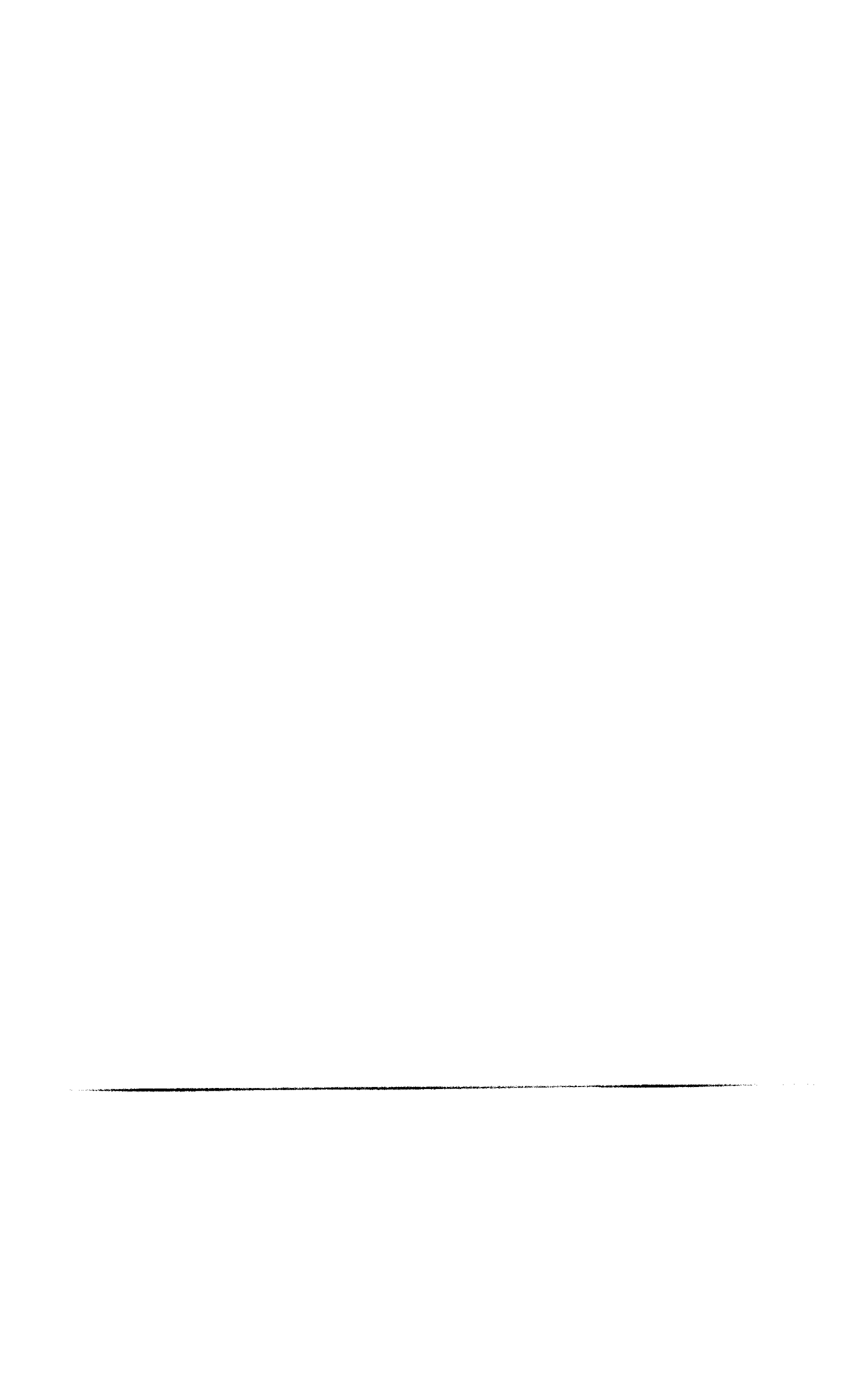
Policy m Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

***Resolution 270-1980 (Policies for Zone Map Change Applications)***

This Resolution outlines policies and requirements for deciding zone map change applications pursuant to the Comprehensive City Zoning Code. There are several tests that must be met and the applicant must provide sound justification for the change. The burden is on the applicant to show why a change should be made, not on the City to show why the change should not be made.

The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: there was an error when the existing zone map pattern was created; or changed neighborhood or community conditions justify the change; or a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan.





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***Resolution 91-1998 (R-70)***

This Resolution establishes an overall direction for implementation of the City's growth policies, with a framework emphasizing:

- development of community and regional activity centers and major transportation corridors (high capacity corridors); encourage increased densities and mixed uses in activity centers and corridors; meet the needs of residents closer to their homes or employment to decrease Vehicle Miles Traveled and automobile dependence.
- maintenance, enhancements and upgrades of roads and utilities in the core area, to prevent deterioration of existing communities and to encourage infill; diversify the Downtown land use mix with public facilities, hotels, office and retail development, more and higher density housing; generate more activity and attract more private investment in the Downtown area.
- enhance transit system performance, consistent with the principles of a compact urban form and a network of centers and corridors; improve the viability of transit as an alternative to the single-occupancy vehicle and reduce Vehicle Miles Traveled; improve pedestrian mobility and the character of the pedestrian environment, transit orientation and bicycle connections, within centers and corridors.
- plan the timing of road and utility construction to ensure orderly growth, and coordinate capacity increases and street extensions; transportation improvement programs must recognize the significance of natural, historic, and cultural resources and include strategies for minimizing adverse impacts on them.

***Long Range Roadway System***

The Long Range Roadway System designates Eubank Boulevard SE as a Principal Arterial.

***ANALYSIS***

***ZONE MAP AMENDMENT***

***Conformance to Adopted Plans, Policies, and Ordinances***

The request for a zone map amendment is essentially a request for a change in location of existing zoning on the subject site. A subdivision from two tracts to three and renaming of the tracts would occur concurrently. The parcel that is currently called H and is zoned SU-1 for Limited O-1 Uses would be reconfigured, called Tract G-3-A, and the requested zoning is SU-1 for R-2 Uses. The parcel that is currently called Tract G-3 would be divided into two parcels. The northern portion would be called G-3-B and the requested zoning is SU-1 for R-2 Uses. The southern portion would be called Tract H-1 and

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the requested zoning is SU-1 for O-1 Uses. One notable fact is that the current Tract H is zoned for *Limited* O-1 Uses while the new request for office zoning is straight O-1.

According to the applicant, the impetus behind the change in zoning is to allow the office uses to be in closer proximity to the developing Sandia Science and Technology Park. This 200-acre industrial park is developing to the south of this site and will greatly impact the area as it builds out. The applicant states in a letter that the reconfiguration and zone map amendment is advantageous to the community in that it allows the office uses to be placed next to the developing park area and locates the multi-family housing adjacent to a buffered area of O-1 uses instead of placing them adjacent to the Park.

According to Resolution 270-1980, the applicant must justify a request for a zone change as inappropriate under any of the following conditions: That there was an error when the existing zone map pattern was created, or; changed neighborhood or community conditions justify the change, or; a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan, even though the other two conditions do not apply.

The applicant has submitted that there have been changed neighborhood or community conditions and that a different use category would be more advantageous to the community.

There have been changed community conditions in this area within the last few years. The Willow Wood subdivision to the east of the site continues its expansion to the west. A new Regional Park has been designated for the property east of the subject site. The Sandia Science and Technology park represents yet another change in the area as does the development of the Costco and Home Depot stores located north of Southern Boulevard. The south Eubank area is experiencing growth in both residential and commercial and office uses.

The change from having multi-family residential units near the industrial park to locating them closer to Southern is advantageous to the community in that location next to the C-1 and Park uses would be preferable in terms of land use than having them located next to IP uses that are proposed for the industrial park. Several requests have been received by the Planning Department for annexation and establishment of IP zoning for parcels to the south of the subject site. In addition, a Master Plan for the Science and Technology Park is expected for review in the near future. These changes make the change in zoning more advantageous for the community and more compatible in for the surrounding area.

In addition, the zone change is consistent with Resolution 270-1980 in that the request is not in conflict with adopted elements of the Comprehensive Plan or other City master plans and amendments which have been adopted by the City. The request is not inconsistent with the health, safety, morals and general welfare of the City. By allowing this change, the residential portions of the site may be located in a more desirable setting, yet still give employees of the technology park, Kirtland Air Force Base and Sandia Laboratories the opportunity to live near their places of employment.

In the letter submitted with the application, the applicant mentions the Manzano Mesa Master Plan several times. This plan, which has been included with the packet, is not a City of Albuquerque adopted Master Plan. Rather, it is a plan prepared for Albuquerque Public Schools to establish zoning in the lands around south Eubank in an effort to facilitate the goal of selling portions of the property by 1990. This report was prepared in 1989 and contains the "highest and best" land use recommendations,

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preferred zoning classifications, and individual land use allocations. It is significant that some of these early determinations have already been amended and are no longer reflected as shown on the map contained within the master plan.

The applicant has justified the request for zone map amendment and staff recommends approval of this request.

## **ANALYSIS**

### **SITE PLAN FOR SUBDIVISION**

#### ***Conformance to Adopted Plans, Policies, and Ordinances***

The site plan for subdivision shows an accurate plan at a scale that matches 1 inch to 100 feet. A bar scale is provided but a scale stating that 1"=100' should be included on the plan. The site is shown on the east side of south Eubank and between the future La Entrada Avenue and Stephen Moody Street. The proposed uses are stated as multi-family residential uses for Tract G-3-A and multi-family residential uses for Tract C-3-B with requested zoning of SU-1 for R2 for both tracts. Proposed Tract H-1 is stated as SU-1 for O-1 Uses.

#### ***Pedestrian and Vehicular Access and Internal Circulation***

Pedestrian connections and circulation are shown on the site plan. Vehicular ingress and egress are shown on the plan with a full intersection shown at the boundary area of Tracts G-3-A and H-1. No pedestrian connection is shown between the two proposed multi-family residential complexes. This will be discussed in more detail in the analysis for site plans for building permit.

The plan states that internal circulation shall be developed in accordance with the individual site plans for building permit. Pedestrian access between the sites should be provided. This will be addressed in that portion of staff's analysis.

#### ***Architectural and Landscape***

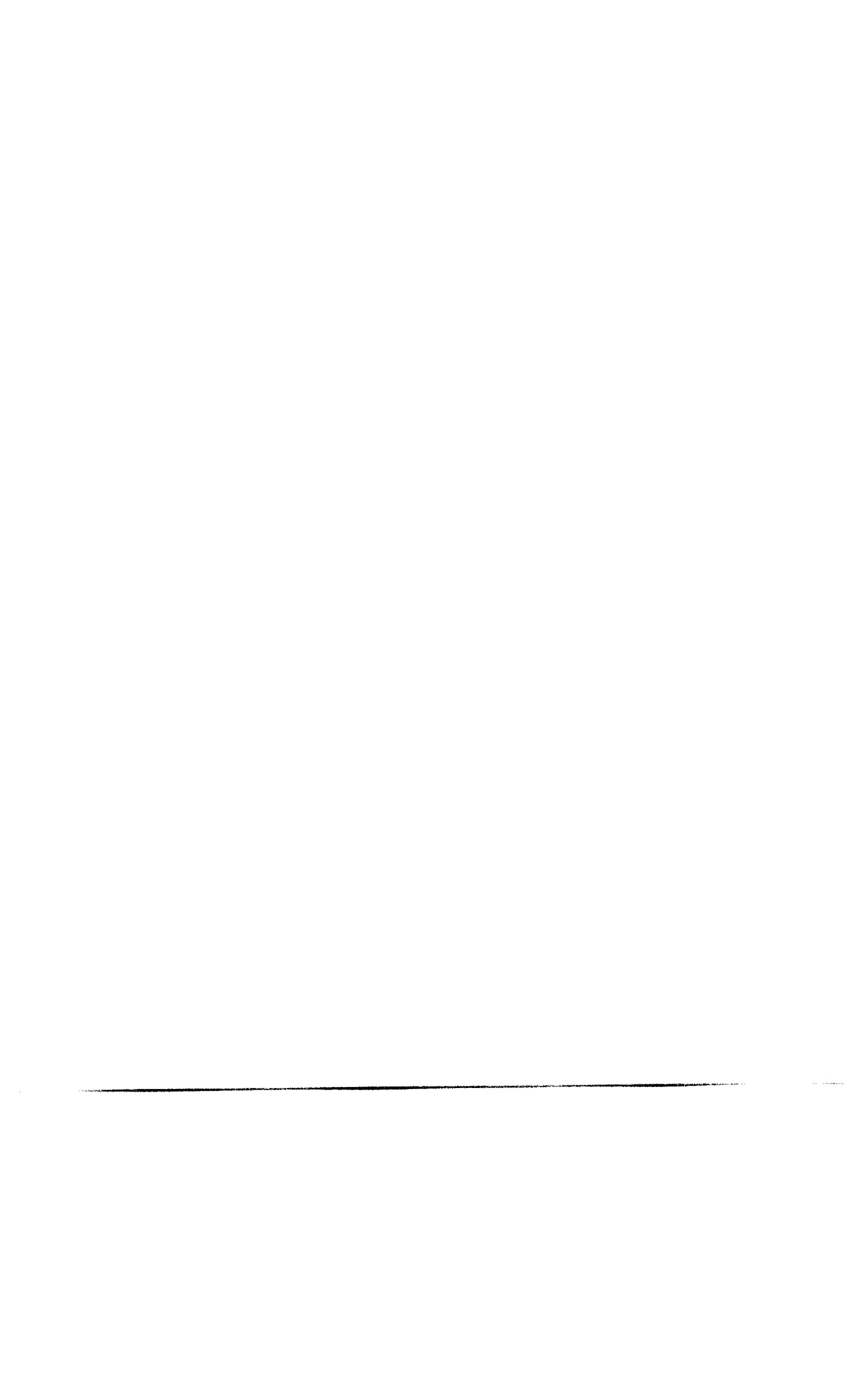
Building heights and setbacks will be pursuant to the R-2 or O-1 zoning, depending on the specific land use. The maximum floor area ratio for the O-1 will be 35. Landscape plans are developed for each of the two individual site plans for building permit and will be discussed in those analyses.

## **ANALYSIS**

### **SITE PLAN FOR BUILDING PERMIT for Manzano Mesa West**

#### ***Conformance to Adopted Plans, Policies, and Ordinances***

This is a request for site development plan for building permit for a 224 unit multi-family residential development along Eubank Boulevard SE. It meets the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. There are no adopted sector plans for this area.





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***Site Plan Layout / Configuration***

The West complex is situated along Eubank Boulevard and the future La Entrada Avenue. La Entrada Avenue should be labeled as such on the site plan for building permit. The layout of the complex consists of 14 separate multi-family structures containing 16 dwelling units per building and a 2400 square foot office/recreation building located adjacent to a swimming pool and outdoor, landscaped park/recreation space. The residential buildings contain even numbers of 1 and 2 bedroom units, according to the site plan.

***Vehicular Access, Circulation and Parking***

Vehicular access to the site is from one main entrance Eubank Boulevard at the southern end of the complex and two smaller entrances from La Entrada Avenue at the east and west ends of the complex. Staff did not observe any gates proposed at these entrances. Vehicular circulation is available throughout the site with 24-foot drive-aisles in all areas.

Vehicular parking for the site is ample and includes some garaged parking. The required number of vehicular parking spaces for the site is 404, including 12 for the 2400 square foot office/recreation room and 12 handicap spaces. Total parking provided for the site is 435, which includes 14 handicap spaces and 54-garaged spaces. The typical parking space is shown as 8.5-foot wide and 18-foot long. The standard size for a parking space is 9-foot wide and 20-foot long.

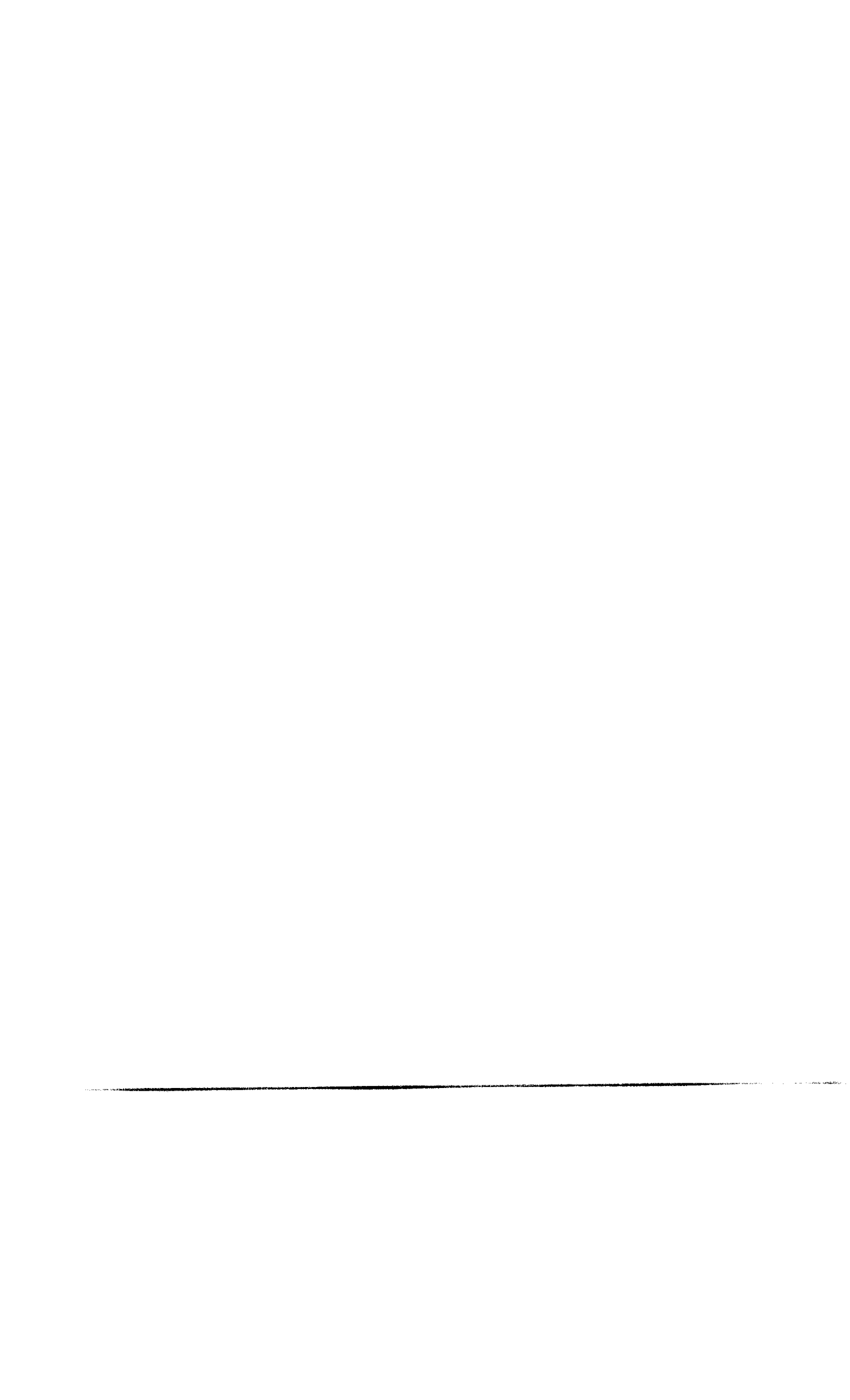
***Pedestrian and Bicycle Access and Circulation, Transit Access***

Pedestrian access is provided throughout the site and into the site from sidewalks along Eubank Boulevard and the future La Entrada Avenue. These sidewalks, as well as the internal walkways should be marked as 6-foot wide. Most of the areas where pedestrians will need to cross parking and driving areas are marked with crossing areas but some of these spaces show no cross walk areas. *All* crossing areas should provide a walkway from one pedestrian point to another that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.

Additionally, clearly marked and centrally located pedestrian access should be provided between this development and the proposed complex adjacent to this site. Pedestrian access should be provided to allow access from the East complex to Eubank without detouring around the block. This access would allow visitation between the inhabitants of the two developments. Also, access to the community park to the east of these developments would be made more convenient for the residents of the West complex if there were pedestrian access between the two developments.

Route #2, a local transit route, serves this area along Eubank Boulevard.

Bicycle access is available to the site through the access points mentioned above at Eubank and the future La Entrada Avenue. Bicycle parking has been provided with 15 bicycle racks located throughout the site, one for each building. One bicycle space per two dwelling units has been provided for this development, as required per the zone code.



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### ***Lighting and Security***

Under Design Guidelines for the Site Plan for Subdivision, notes 26 and 27 address lighting issues. As per these notes, lighting shall be limited to 16-feet in height and shall be fully shielded fixtures that prevent fugitive light. A lighting detail for the proposal has not been included with the submittal and should be provided prior to final DRB approval.

The site is enclosed by a 5-foot wall that consists of a mix of solid concrete block wall with standard CMU and split-face CMU combined and a wrought iron with split-face CMU combination. The area around the swimming pool has been surrounded with 6-foot high wrought iron fencing.

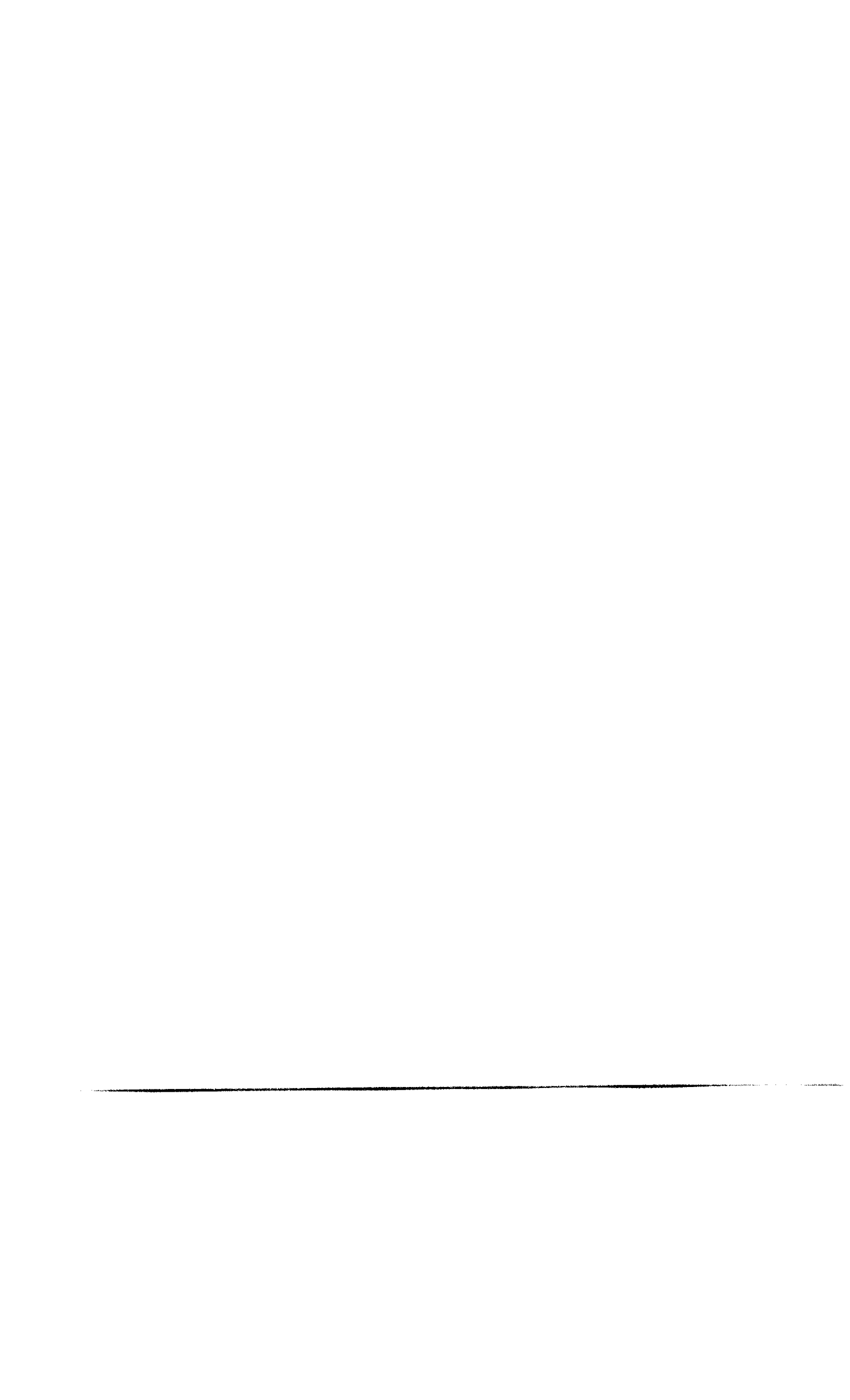
### ***Landscaping***

The landscaping plan shows an attractive mix of plant materials that includes shade, flowering and ornamental trees along with some Austrian pine as well as a mix of deciduous and evergreen shrubs. Boston ivy is also shown as part of the plant palette. Oversized boulders and gravel are shown along with Santa Fe Tan gravel. Sod is mentioned as a groundcover in certain areas, however, the type of sod has not been provided on the plan. The species and type of sod should be included on the landscape plan. An on-site ponding area is shown as having crimp straw native seed planted within it and the entire area along the eastern wall of the complex. The type of seed should also be specified on the landscape plan.

Street trees have been adequately provided for. Unfortunately, 59 of these trees are to be of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle. Apparently this insect is prevalent in the area and is causing a significant amount of damage to all types of ash, but especially green ash. If ash trees are planted, there is a high likelihood that they will not become viable street/shade trees. The County Extension is recommending substitutions for ash in the form of London plane trees, Chinese pistache or Honey locust. In this case, since Honey locust are also being used for this landscape, Chinese pistache or London Plane or similar shade producing trees are recommended as substitutes.

The landscape plan shows a play and recreation area for the residents of the complex. This space is north of the office and swimming pool area and is shown as having a grassy area, sand volleyball pit and play area. A winding path is shown among the trees and shrubs east of the volleyball area. Tables or benches in this area would be an additional amenity for the resident's enjoyment. Also, only a small portion south and west of the play area is sod and the remainder of the space to the north is shown as gravel. Assuming the play area is for children, grassy spaces north of this area would be more beneficial to safe play and less conducive to skinned knees.

### ***Grading, Drainage, Utility Plans***



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A grading and drainage plan has been submitted for review by the Hydrology Division of the Public Works Department.

The Utility Development Division of Public Works states that the utility plan appears to show the private water system with illegal looping connection to public lines. Utility Division requires that this be corrected and that a water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action.

#### ***Architecture and Signage***

The buildings in this development are fairly rectangular in shape and shown as pueblo-style architecture with flat roofs, exposed wooden beams and stucco finish. Fourteen, two-story, sixteen-plex buildings are proposed with trellis covered balconies for the upper level dwellings and covered patios for the lower levels. The building heights are shown as 23-foot tall with 24-foot high chimneys. The stucco colors are called out on the plans as light beige, medium beige, and dark beige. The exposed wood beams will be stained with "complimentary colors" which are not called out. The office/recreation building is depicted as a one-story structure with the same pueblo-style architecture, stucco colors and exposed wood beam treatment. The entries are shaded with covered porches and windows are treated with trellises above them.

No elevations are shown for the pool/equipment room. Elevations should be shown on the site plan.

Signage consists of one 2-foot high, stucco finished monument sign with 60 square feet of face and accented with split-face CMU. Lettering, colors, and content of the sign are not shown.

#### ***Concerns of Reviewing Agencies / Pre-Hearing Discussion***

The applicant was in attendance at the pre-hearing discussion.

#### ***Neighborhood Concerns***

Staff received one phone call inquiry regarding the development.

#### ***Conclusions***

The site plan for building permit meets the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. The plan is an attractive proposal for the area. With minor modifications as stated in the conditions of approval, staff recommends approval of this request.

### ***ANALYSIS***

#### ***SITE PLAN FOR BUILDING PERMIT for Manzano Mesa East***

##### ***Conformance to Adopted Plans, Policies, and Ordinances***

This is a request for site development plan for building permit for a 280 unit multi-family residential development along the future La Entrada Avenue SE and the future Stephen Moody

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**CITY OF ALBUQUERQUE**  
**CITY COUNCIL**

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**INTEROFFICE MEMORANDUM**

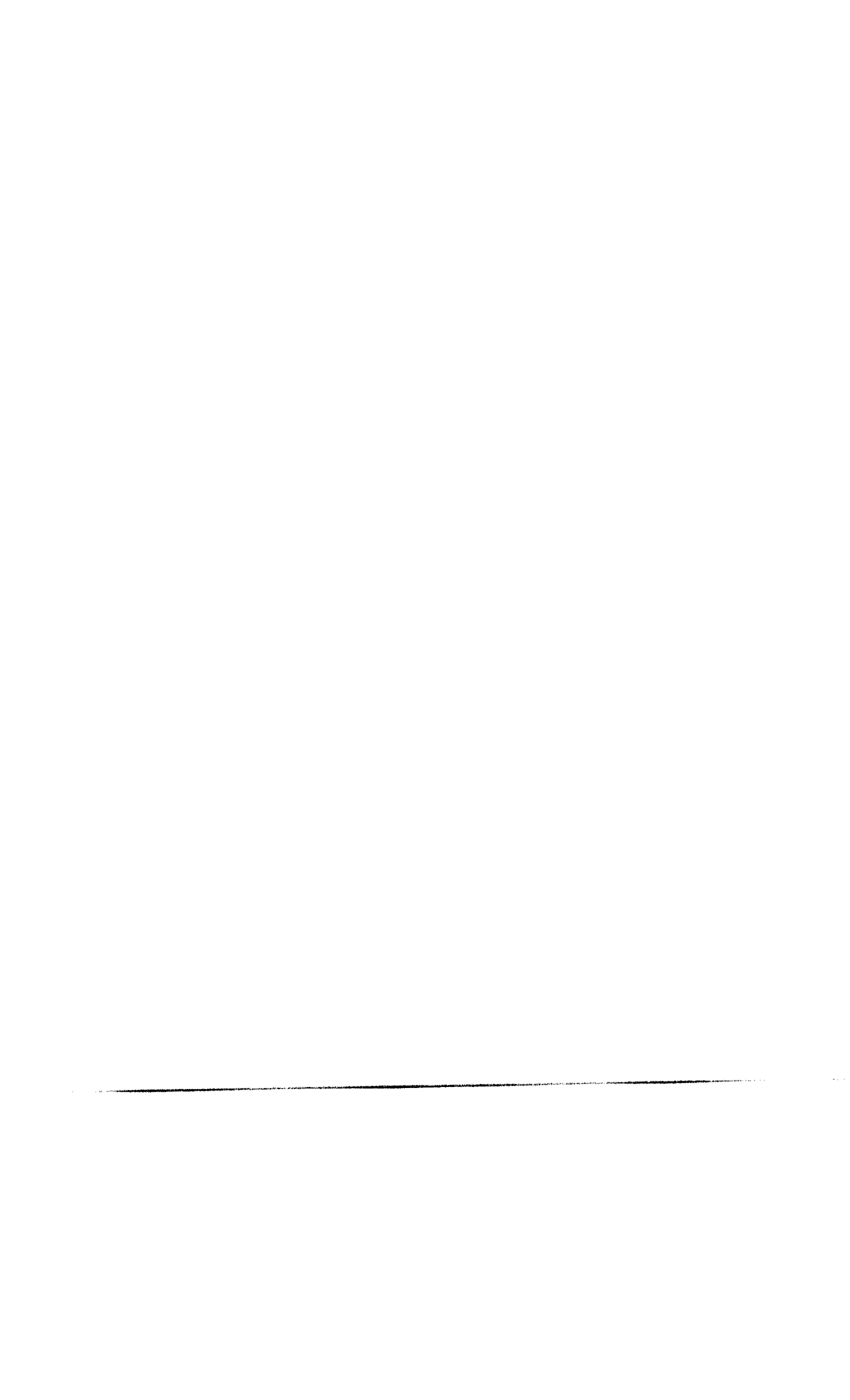
**TO:** Mike McEntee, Chairman, Land Use, Planning and Zoning Committee  
**FROM:** Laura Mason, Senior Policy Analyst *LM*  
**SUBJECT:** Staff Report for April 25, 2001 Agenda  
**DATE:** April 19, 2001  
**CC:** LUPZ Committee Members, Mark Sanchez, Lou Colombo

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**Item No. 1 O-01-90 Amending ROA 1994, Zoning Code, to Allow Transit Shelters and Transit Shelter Signs as Specially Regulated Signs (Armijo)**

This bill is related to the following two bills and together they have a somewhat lengthy procedural background. They all pertain to allowing advertising signs on bus shelters. The following bill (O-33) creates a process that would allow transit shelters to be built, installed and maintained by a private entity in return for that entity's right to lease space on the shelter for an advertisement. The City would take ownership of the shelter at some point during or after the 10 year contract period and would be responsible for maintenance after the contract ended. These three bills are similar to bills that were initiated by the Transit Department and voted down by the Council in 1996.

The bills were presented again in January, 2000 as O-6, O-7, and O-8. Two of the bills (O-6 and O-8) were resubmitted in April, 2000 as O-33 and O-35. Because O-7 proposed to amend the Zoning Code, it was sent to the EPC for the Commission's recommendations. In June, 2000, the Finance Committee sent all three bills to Council without recommendation. When the bills got to the full Council, all three were substituted. The floor substitutes contained only minor changes from the original bills. Bill O-7 was also amended by a floor amendment. There was discussion at the Council meeting to send all three bills to the LUPZ Committee for further discussion, however, Bill O-7 was moved first and the sponsor made a motion for "do pass." The motion failed on a vote of 4 to 5. The accompanying bills, O-33 and O-35, did receive the votes to send them to LUPZ, but the Zoning Code text amendment that was voted down as O-7 was a necessary part of the transit shelter proposal. The Administration indicated that a new bill to replace O-7 would be sent to Council to be heard at LUPZ with the remaining two bills. This (O-01-90) is that bill which was introduced last month on March 19<sup>th</sup>. Though this bill is a Zoning Code text amendment which must receive EPC review and recommendation, the bill is similar to the bill that was reviewed by the EPC last year, so this bill was not sent to the EPC. The EPC comments from the review of O-7 are pertinent and are included in the packet for consideration of this bill. The new bill incorporates certain comments and recommendations from the EPC.



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Street SE. It meets the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. There are no adopted sector plans for this area.

***Site Plan Layout / Configuration***

The site plan shows a layout of 14 clusters of fairly rectangular shaped buildings and one office/recreation building. The East complex is situated along the future La Entrada Avenue and Stephen Moody Street SE. La Entrada Avenue should be labeled as such on the site plan for building permit. The layout of the complex consists of 14 separate multi-family structures. Seven two-story structures contain 16 dwelling units per building and 7 three-story structures contain 24 dwelling units per building. Additionally, a 5194 square foot office/recreation building is located near the entrance to the complex adjacent to a swimming pool and outdoor, landscaped park space. The residential buildings contain even numbers of 1 and 2 bedroom units, according to the site plan.

***Vehicular Access, Circulation and Parking***

Vehicular access to the site is from the north at one entrance from the future La Entrada Avenue and the east from two entrances on Stephen Moody Street. The plan shows 24-foot drive aisles throughout the complex and circulation is fine throughout the site.

Required parking for the 280 unit complex is 502 spaces including 26 spaces for the 5194 square foot office/recreation building. The site plan shows spaces for 516 vehicles, including 66 garaged spaces and 16 handicap spaces. The typical parking space is called out in size as 8.5-foot wide and 18-foot long. The usual size for parking spaces is 9-foot wide and 20-foot long.

***Pedestrian and Bicycle Access and Circulation, Transit Access***

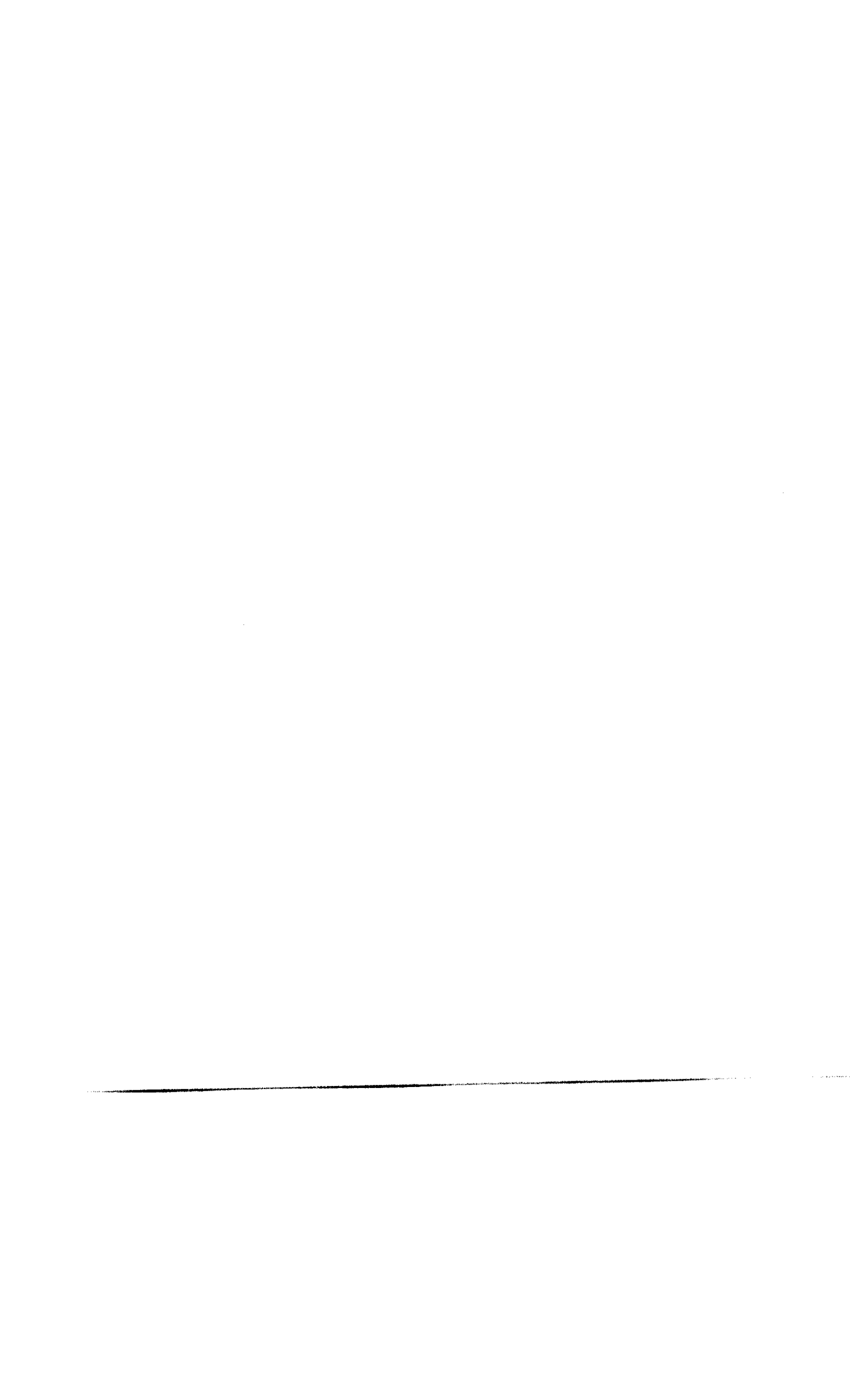
Pedestrian access is provided throughout the site and into the site from sidewalks along the future La Entrada Avenue and Stephen Moody Street. These sidewalks, as well as the internal walkways should be marked as 6-foot wide. Areas where pedestrians will need to cross parking and driving areas should be marked with crossing areas. *All* crossing areas should provide a walkway from one pedestrian point to another that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.

Additionally, clearly marked and centrally located pedestrian access should be provided between this development and the proposed complex adjacent to this site. Pedestrian access should be provided to allow access from the East complex to Eubank without detouring around the block. This access would allow visitation between the inhabitants of the two developments. Also, access to the community park to the east of these developments would be made more convenient for the residents of the West complex if there were pedestrian access between the two developments.

Route #2, a local transit route, serves this area along Eubank Boulevard.

Bicycle access is available to the site through the access points mentioned above at the future La Entrada Avenue and Stephen Moody Street. Bicycle parking has been provided with 15 bicycle





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racks located throughout the site, one for each building. One bicycle space per two dwelling units has been provided for this development, as required per the zone code.

#### ***Lighting and Security***

Under Design Guidelines for the Site Plan for Subdivision, notes 26 and 27 address lighting issues. As per these notes, lighting shall be limited to 16-feet in height and shall be fully shielded fixtures that prevent fugitive light. A lighting detail for the proposal has not been included with the submittal and should be provided prior to final DRB approval.

The site is enclosed by a 5-foot wall that consists of a mix of solid concrete block wall with standard CMU and split-face CMU combined and a wrought iron with split-face CMU combination. The area around the swimming pool has been surrounded with 6-foot high wrought iron fencing.

#### ***Landscaping***

The landscaping plan is similar to the Manzano Mesa West and shows an identical plant palette. The site plan shows a mix of plant materials that include shade, flowering and ornamental trees along with some Austrian pine as well as a mix of deciduous and evergreen shrubs and vines. Oversized boulders and gravel are to be employed in the landscape as well as Santa Fe Tan gravel. Sod is mentioned as a groundcover in certain areas, however, the type of sod has not been provided on the plan. The species and type of sod should be included on the landscape plan. An on-site ponding area which corresponds with the ponding area of the development to the west is shown as having crimp straw native seed planted within it and much of the area along the western wall of the complex. The type of seed should also be specified on the landscape plan.

Street trees have been adequately provided for. Unfortunately, 46 of these trees are to be of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle. Apparently this insect is prevalent in the area and is causing a significant amount of damage to all types of ash, but especially green ash. If ash trees are planted, there is a high likelihood that they will not become viable street/shade trees. The County Extension is recommending substitutions for ash in the form of London plane trees, Chinese pistache or Honey locust. In this case, since Honey locust trees are also being used for this landscape, Chinese pistache or London Plane or similar shade producing trees are recommended as substitutes.

The landscape plan shows a park-like area for the residents of the complex. This space is west of the office and swimming pool area and is shown as having a sodded, grassy area. The species of sod should be called out on the landscape plan. Tables or benches in this area would be an additional amenity for the resident's enjoyment.

#### ***Grading, Drainage, Utility Plans***

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A grading and drainage plan has been submitted for review by the Hydrology Division of the Public Works Department.

The Utility Development Division of Public Works states that the utility plan appears to show the private water system with illegal looping connection to public lines. Utility Division requires that this be corrected and that a water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action.

### ***Architecture and Signage***

The elevations show a typical rectangular building of a contemporary ranch style. There are a total of 14 residential buildings and one office/recreational building. Seven of the buildings are three-story, containing 24 dwelling units each. Seven of the buildings are two-story, containing 16 dwellings units each. The units are shown with pitched, shingled roofing with gabled, covered, outdoor stairways with wrought iron guard rails. The type, color and material of the shingles are not specified. The structures are to be frame stucco in light beige, medium beige and dark beige. The two-story building heights are shown as 31-feet tall at the peak of the pitch of the roof. The three-story structures are 41-feet 6-inches at the peak of the pitch. The notes on the plan state that there will be exposed wood beams as part of the development but they are not called out on the elevations. The exposed wood beams shall be shown on the elevations and will be stained with "complimentary colors" which should be called out. The office/recreation building is depicted as a one-story structure with the same contemporary ranch style architecture. A wrought iron grid is shown as accent décor above windows and covered porches. Elevations are also shown for the pool/equipment room for this complex. These elevations depict flat-roof stucco structures that are 14-feet in height. The pool/equipment room is depicted in a similar fashion with a flat-roof, stucco structure that is 12-feet in height with wrought iron fencing behind and beyond to enclose to pool area.

Requested signage consists of 18-inch high by 24-inches wide aluminum signs with acrylic letters mounted on a wood trim back. Notes on Sheet 7 state that the trim is to be painted to match siding, but staff is unclear as to what siding is meant and what color that might be. These signs are to display the building designations and apartment numbers. No signage for the complex itself is shown or requested.

### ***Concerns of Reviewing Agencies / Pre-Hearing Discussion***

The applicant was in attendance at the pre-hearing discussion.

Transportation Planning had concerns regarding the site plans and wanted additional and definitive information about the Eubank Boulevard right-of-way. The applicant met with staff and submitted plans that meet the concerns of this agency.

Parks and Recreation comments that the Trails & Bikeways Facility Plan proposes a Primary Trail along the east side of Eubank Blvd. in this location and that they will require construction of a 10' asphalt trail in-lieu of sidewalk. Additionally, allow for at least 5' of separation between the trail and face of curb and a minimum of 3' between the trail and wall or other vertical

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element. Landscaping improvements along the asphalt trail must not encroach on the trail itself. Trees must be a minimum of 3' away from the trail and shrubs, at their mature spread and must not encroach on the trail. The proposed landscaping along Eubank appears to encroach into the sidewalk/trail area. Therefore, design of the trail should be coordinated with the Trails Planner Diane Scena.

***Neighborhood Concerns***

Staff received on phone call inquiry regarding this proposal.

***Conclusions***

The site plan for building permit meets the requirements of the applicable city policies and plans for this area and will provide further multi-family housing for a growing area of the city. With minor modifications as stated in the conditions of approval, staff recommends approval of this request.



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***FINDINGS – 00110-00000-01644 – January 18, 2001 – Zone Map Amendment***

1. This is a request for a zone map amendment for Tract H and Tract G-3, Manzano Mesa Addition.
2. The request meets the requirements of applicable City plans and policies.
3. The request has been justified under Resolution 270-1980 by the applicant under the changed community conditions and the more advantageous to the community policies.
4. A site plan accompanies this request for SU-1 zoning.

***RECOMMENDATION - 00110-00000-01644 – January 18, 2001 – Zone Map Amendment***

**APPROVAL of 00110-00000-01644 a request for a zone map amendment for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Condition of Approval.**

***CONDITIONS OF APPROVAL - 00110-00000-01644 – January 18, 2001 – Zone Map Amendment***

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines.

***FINDINGS – 00128-00000-01645 – January 18, 2001 – Site Plan for Subdivision***



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1. This is a request for a site plan for subdivision for Tracts H and G-3, an approximately 36.3 acre site and which is located on Eubank Boulevard south of Southern SE. The intent is to subdivide into three new tracts to be called Tract G-3-A, Tract G-3-B and Tract H-1.
  2. A site plan for subdivision is required for approval of SU-1 zoning.
  3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
  4. The site development plan for subdivision meets all of the requirements of the Zoning Code.

***RECOMMENDATION - 00128-00000-01645 - January 18, 2001 - Site Plan for Subdivision***

**APPROVAL of 00128-00000-01645 a request for a site plan for subdivision for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

***FINDINGS - 00110-00000-01646 - January 18, 2001 - Site Plan for Building Permit (West)***

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex.



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4. The standard size for a parking space is 9-feet wide and 20-feet long. Parking spaces shown on the current submittal are 8.5-feet wide by 18-feet long.
  5. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.
  6. The submittal will be adequate with some changes and additions.

***RECOMMENDATION - 00110-00000-01646 – January 18, 2001 – Site Plan for Building Permit (West)***

**APPROVAL of 00110-00000-01646 a request for a site plan for building permit for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

***CONDITIONS OF APPROVAL - 00110-00000-01646 – January 18, 2001 – Site Plan for Building Permit (West)***

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
3. All exterior sidewalks and internal walkways shall be marked as a minimum 6-foot wide on the site plan.

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4. All crossing areas shall provide a walkway from one pedestrian point to another that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.
  5. Clearly marked and centrally located pedestrian access shall be provided between this development and the proposed apartment complex adjacent to this site.
  6. A lighting detail for the proposal shall be included on the site plan and shall be provided prior to final DRB approval.
  7. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
  8. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
  9. Lettering, colors, and content of the monument sign shall be shown on the site plan for building permit.
  10. The pool and equipment room elevations shall be shown on the site plan.
  11. Parking space dimensions shall be 9-feet wide and 20-feet long and shall be noted as such on the site plan.
  12. Design of the trail along Eubank in this area shall be coordinated with the Trails Planner Diane Scena.

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***FINDINGS – 00110-00000-01647 – January 18, 2001 – Site Plan for Building Permit (East)***

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex.
4. The standard size for a parking space is 9-feet wide and 20-feet long. Parking spaces shown on the current submittal are 8.5-feet wide by 18-feet long.
5. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.

***RECOMMENDATION - 00110-00000-01647 – January 18, 2001 – Site Plan for Building Permit (East)***

**APPROVAL DENIAL DEFERRAL** of 00110-00000-01647 a request for a site plan for building permit for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.

**CONDITIONS OF APPROVAL - 00110-00000-01647 – January 18, 2001 – Site Plan for Building Permit (East)**

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1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
  2. All parking space dimensions shall be called out as 9-foot wide and 20-foot long.
  3. La Entrada Avenue shall be labeled as such on the site plan for building permit.
  4. All exterior sidewalks and internal walkways shall be marked as 6-foot wide on the site plan.
  5. All crossing areas shall provide a walkway from one pedestrian point to another that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.
  6. Clearly marked and centrally located pedestrian access shall be provided between this development and the proposed complex adjacent to this site.
  7. A lighting detail for the proposal shall be included on the site plan and shall be provided prior to final DRB approval.
  8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
  9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.

To make matters more complicated, O-33 and O-35 sat in committee so long waiting for the Zoning Code text amendment to be reintroduced, that they died on April 17 under the new Council rule and cannot be acted upon by the Committee. O-33 and O-35 can be reintroduced on May 7 and can then be given the opportunity to "catch up" with O-01-90. In order to save time, the Committee may want to entertain public comment on the "dead" bills and to give direction to the Administration or Council staff regarding any changes that should be included in the bills when they are reintroduced, but the Committee cannot vote on O-33 or O-35, even to defer them. (The bills will be reported in the next Council journal as having "died on expiration.") The Committee should also take public comment on this bill, but may want to hold off on action until the other two bills are reintroduced.

As stated above, this bill amends the Zoning Code provisions regarding signs to allow "Transit Shelter Signs" to be placed on certain transit shelters in the right-of-way or on private property abutting the right-of-way. Such signs may not exceed 24 square feet in size and 7 feet in height and there may be no more than one sign per shelter. The lighting of such signs would follow the same regulations that apply to other signs. The signs may not be placed on a transit shelter that:

1. faces or abuts a house or townhouse;
2. is located along a "local" street (as classified by the City);
3. is within 100 feet of a residentially zoned lot located on a "collector" street;
4. is within 50 feet of a dwelling unit located on an "arterial" street.

Finally, the signs may not advertise alcoholic beverages, tobacco products, weapons and firearms, or depict physical violence against a person or animal or contain sexually explicit advertising if they are within 1000 feet of a school, day care center, church, City park, recreational or cultural facility, or a residential zone. No sign may be placed without the prior approval of the Transit Department.

The issues raised during the prior discussions related to the increase in "visual clutter" within the City, which some argued, was contrary to the goals of the Comprehensive Plan, the questions about the City's ability to restrict the content of the signs, the prior experience of the City when it had, and then cancelled, a bus bench advertising program, the questions about how the contracts would be structured and when the City would take ownership. The transmittal memo from the Transit Department with this bill states that the purpose of the program is to provide shelters for transit users without having to spend taxpayer dollars to build and maintain them, and that the program is not intended to be primarily a revenue generating program. The transmittal memo also states that it is the Department's intent to have a private contractor "construct and maintain shelters in parts of town where advertising is not allowed (for example, Old Town) using revenues which would have come to the City." This last statement is what has caused concern on the part of those who oppose the bill based on aesthetic reasons.

There was some discussion during the review of the preceding bills regarding the regulation of the content of the signs. This bill is the first one to actually include a list of topics that cannot be advertised on the transit shelters. Including the language in the ordinance, rather than in a negotiated contract or RFP terms, may not be legally supportable. That issue should be addressed by the Legal Department.

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10. The type, color and material of the shingles shall be specified on the site plan.
  
  11. Notes regarding the signage for this property shall state what siding is proposed on Sheet 7 and state what colors and materials will be used for the signage.
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*Deborah L. Stover*  
*Planner*

cc: GSL Properties, Inc., 2164 S.W. Park Place, Portland, Or 97205  
Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102

EPC ACTION JANUARY 18, 2001:

On January 18, 2001, the Environmental Planning Commission voted to continue 00110 00000 01644/00128 00000 01645/00128 00000 01646/00128 00000 01647 to the Environmental Planning Commission Public Hearing on February 8, 2001.

## UPDATED STAFF COMMENTS FOR FEBRUARY 8, 2001

This case was heard by the Environmental Planning Commission on January 18, 2001. It is a request for a zone map amendment, approval for site plan for subdivision and approval for two site plans for building permit for two separate multi-family residential complexes. The zone change request is not inconsistent with the existing zoning on the subject site, but if approved would move the residential area to the north of the parcels and the office uses to the southern

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portion of the area, nearer the proposed technology park. The proposed subdivision creates three tracts from the existing two. The request is consistent with applicable policies and plans.

The EPC ordered a continuance of this case in order to allow the applicant to make changes to the site plan and to meet with neighborhood residents to discuss issues that arose at the January 18 hearing. A new site plan has been submitted that addresses the EPC's concerns regarding access between the adjoining apartment complexes, contextual appropriateness of the elevations for the east complex and articulation of the garages.

#### *Access*

Access has been made available between the two complexes by providing two separate walkways at either end of the dividing wall. The connections are shown on both the site plan for subdivision and the site plans for building permit. Both access points are proposed to be 6-foot wide with gates provided and are connected by continuous 6-foot sidewalks. A detail of the gate showing colors and materials should be provided prior to DRB approval. One connection is near the southern portion of the sites and follows a fairly direct path between apartment units to the sidewalk on Stephen Moody Street. The other connection is in the northern portion of the site and follows a fairly circuitous route past the play area on the east side and around buildings to the office and onto Stephen Moody Street. Both are clearly marked as pedestrian connections and provide access for residents of both complexes to the park and to Eubank Boulevard. These connections are an improvement over the previous plan and satisfy one of the EPC's concerns about the submittal.

#### *Architectural Context and Garages*

At the January 18 hearing, the EPC expressed concern regarding the placement of garages next to the walled area of the apartment complexes. The garages have been modified to a height of 12-feet from the original 14-feet. Further articulation of the walls should be employed to reduce the blank façade presented by these structures.

The apartment complex to the east was originally shown as having shingled roofing material. In an effort to provide a more contextual product the roofing material has been modified to aluminum, galvanized metal roof as a nod to a territorial style. The color has not been called out on the plans and should be noted.

#### *Neighborhood Meeting*

A facilitated meeting was held on January 25, 2001. A copy of the report is included in the packet. Neighbors raised issues regarding the aesthetics of the apartment buildings and other neighbors expressed concern that more apartments are not needed in this area. Another





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facilitated meeting is being held at 5:30 p.m., February 1, 2001. Staff will provide a copy of the report for that meeting prior to the February 8 meeting of the EPC.

***Concerns of Reviewing Agencies/Neighborhood Concerns***

No additional comments were received from reviewing agencies.

No phone calls or letters from neighbors have been received by staff since the hearing on January 18, 2001.

***Conclusion***

The applicant has justified the zone map amendment request. The site plan for subdivision is adequate. The site plans for building permit meet the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. The plan is an attractive proposal for the area. With minor modifications as stated in the conditions of approval, staff recommends approval of this request.

***FINDINGS – 00110-00000-01644 – February 8, 2001 – Zone Map Amendment***

1. This is a request for a zone map amendment for Tract H and Tract G-3, Manzano Mesa Addition.
2. The request meets the requirements of applicable City plans and policies.
3. The request has been justified under Resolution 270-1980 by the applicant under the changed community conditions and the more advantageous to the community policies.
4. A site plan accompanies this request for SU-1 zoning.

***RECOMMENDATION - 00110-00000-01644 – February 8, 2001 – Zone Map Amendment***

**APPROVAL** of 00110-00000-01644 a request for a zone map amendment from SU-1 for O-1, SU-1 for R-2 to SU-1 for R-2, SU-1 for O1 for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Condition of Approval.



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**CONDITIONS OF APPROVAL - 00110-00000-01644 - February 8, 2001 - Zone Map Amendment**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines.

**FINDINGS - 00128-00000-01645 - February 8, 2001 - Site Plan for Subdivision**

1. This is a request for a site plan for subdivision for Tracts H and G-3, an approximately 36.3 acre site and which is located on Eubank Boulevard south of Southern SE. The intent is to subdivide into three new tracts to be called Tract G-3-A, Tract G-3-B and Tract H-1.
2. A site plan for subdivision is required for approval of SU-1 zoning.
3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
4. The site development plan for subdivision meets all of the requirements of the Zoning Code.

**RECOMMENDATION - 00128-00000-01645 - February 8, 2001 - Site Plan for Subdivision**

**APPROVAL of 00128-00000-01645 a request for a site plan for subdivision for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

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***FINDINGS – 00110-00000-01646 – February 8, 2001 – Site Plan for Building Permit (West)***

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed for the connections between the two complexes.
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.
5. The submittal will be adequate with some changes and additions.

***RECOMMENDATION - 00110-00000-01646 – February 8, 2001 – Site Plan for Building Permit (West)***

**APPROVAL of 00110-00000-01646 a request for a site plan for building permit for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

***CONDITIONS OF APPROVAL - 00110-00000-01646 – February 8, 2001 – Site Plan for Building Permit (West)***

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC

Notice of Decision  
City Council  
City of Albuquerque  
May 8, 2001

**AC-01-08, Philip York, Agent for Singing Arrow Neighborhood Association – Appeals the Environmental Planning Commission's Approval of a Zone Map Amendment, Site Plan for Subdivision and Site Plans for Building Permit, located on Eubank SE between Central Avenue SE and Sandia National Labs SE.**

**Decision**

On April 25, 2001, by a vote of 3 FOR and 1 AGAINST, the Land Use, Planning and Zoning Committee of the City Council voted to recommend that Appeal No. AC-01-08 not be heard by the full Council.

Yes: 3  
No: Yntema  
Excused: Hundley, Winter  
Alternate: Kline

On May 7, 2001, the City Council voted, by a vote of 9 FOR and 0 AGAINST, to accept the Land Use, Planning and Zoning Committee's recommendation that Appeal No. AC-01-08 not be heard by the full Council.

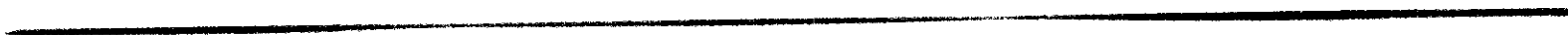
**IT IS THEREFORE ORDERED THAT THE ZONE MAP AMENDMENT, SITE PLAN FOR SUBDIVISION AND SITE PLANS FOR BUILDING PERMIT ARE APPROVED.**

**Adopted Findings**

On April 25, 2001, by a vote of 3 FOR 1 AGAINST, the Land Use, Planning and Zoning Committee of the City Council voted to adopt the following findings in support of its decision that the appeal not be heard by the full Council:

1. The requested zone map amendment will not change the uses already allowed on the subject site, but will reconfigure the same uses.
2. The Environmental Planning Commission found that the applicant met the burden of showing that Resolution 270-1980 requirements had been satisfied based on the changed community conditions. The proposed zoning configuration was also found to be more advantageous to the community than the existing zoning configuration as articulated by the Comprehensive Plan and the Manzano Mesa Master Plan.
3. The proposed zoning encourages better compatibility among existing and proposed uses in the area than the existing zoning.
4. The site plans, as amended, will meet the requirements of applicable City ordinances.
5. The zoning and density opposed by the appellant are already allowed on the subject site.
6. The appellant has not demonstrated why the zoning should not be reconfigured. Rather, the applicant's opposition is directed toward the existing zoning and the particular proposed multi-family project.
7. The arguments regarding the subsidy of the proposed apartments and the number of apartments in the general area are not relevant to issue of whether the subject site should be rezoned as proposed.
8. The Environmental Planning Commission properly applied adopted City plans, policies and ordinances in arriving at its decisions to approve the zone map amendment and the site plans.
9. The Environmental Planning Commission did not err in its decisions, including the stated facts.
10. The Environmental Planning Commission did not act arbitrarily or capriciously or in manifest abuse of its discretion in approving the map amendment and the site plans.

Yes: 3  
No: Yntema  
Excused: Hundley, Winter  
Alternate: Kline





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conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
3. All exterior sidewalks and internal walkways shall be marked as a minimum 6-foot wide on the site plan.
4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
6. Clearly marked and centrally located pedestrian access shall be provided between this development and the proposed apartment complex adjacent to this site.
7. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.

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10. Lettering, colors, and content of the monument sign shall be shown on the site plan for building permit.
  11. Pool and equipment room elevations that compliment the architecture of the apartment buildings shall be shown on the site plan.
  12. Design of the trail along Eubank in this area shall be coordinated with the Trails Planner Diane Scena.
  13. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
  14. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
  15. No chainlink, razor wire or plastic/vinyl fencing is permitted.
  16. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
  17. All walls must conform to the City's Wall Design Standards publication.

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**FINDINGS – 00110-00000-01647 – February 8, 2001 – Site Plan for Building Permit (East)**

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed at the connections between the two complexes.
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.

**RECOMMENDATION - 00110-00000-01647 – February 8, 2001 – Site Plan for Building Permit (East)**

**APPROVAL of 00110-00000-01647 a request for a site plan for building permit for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

**CONDITIONS OF APPROVAL - 00110-00000-01647 – February 8, 2001 – Site Plan for Building Permit (East)**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

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2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
  3. All exterior sidewalks and internal walkways shall be marked as 6-foot wide on the site plan.
  4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
  5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
  5. Clearly marked and centrally located pedestrian access shall be provided between this development and the proposed complex adjacent to this site.
  6. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
  7. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
  8. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
  9. The type and color of the galvanized, aluminum metal roof shall be specified on the site plan.



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10. Notes regarding the signage for this property shall state what siding is proposed on Sheet 7 and state what colors and materials will be used for the signage.
  
  11. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
  
  12. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
  
  13. No chainlink, razor wire or plastic/vinyl fencing is permitted.
  
  14. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
  
  15. All walls must conform to the City's Wall Design Standards publication.

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*Deborah L. Stover*  
Planner

The following is a portion of the Finance Committee staff report for O-7, O-33 and O-35:

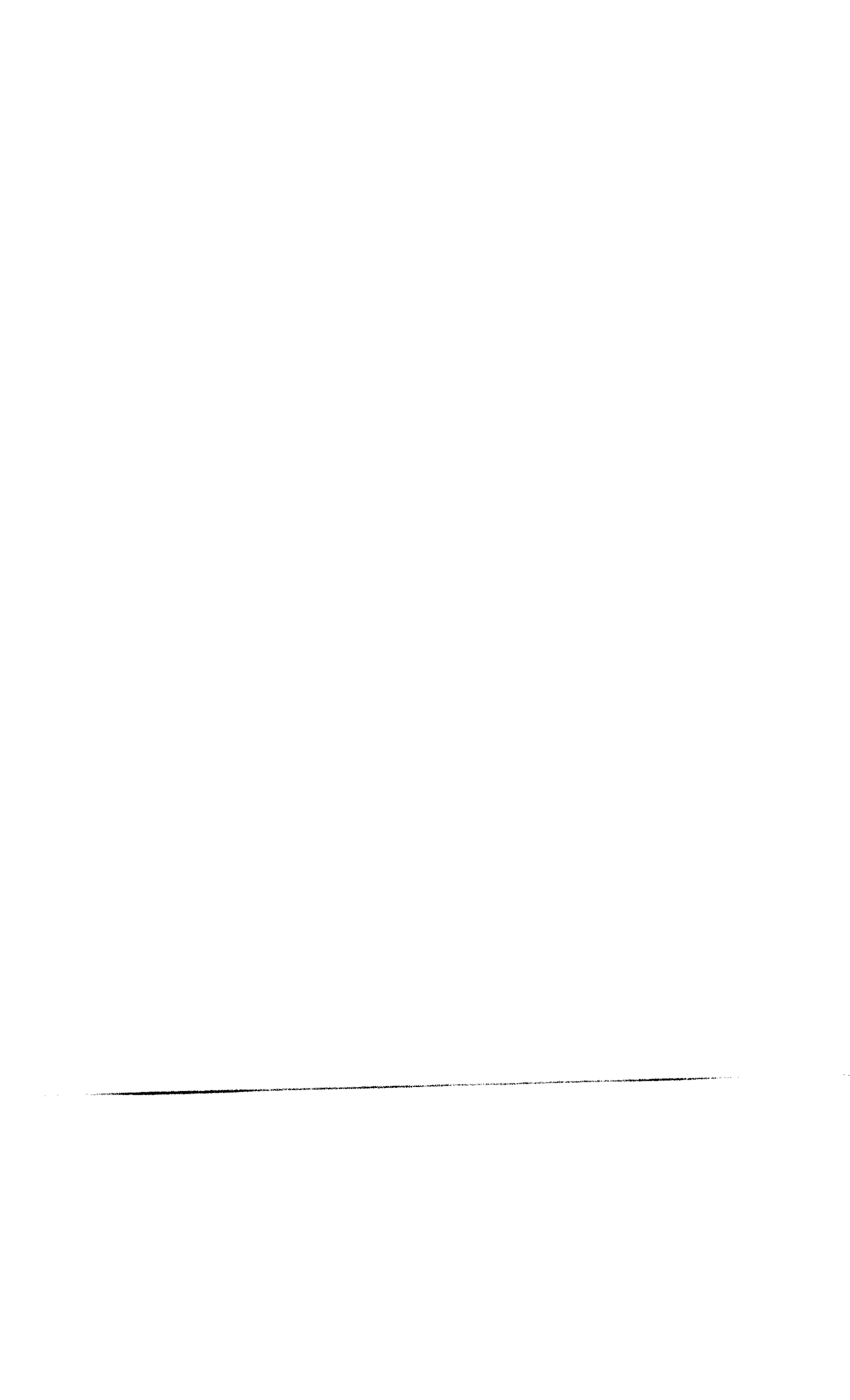
**Fiscal Impact.** This set of bills predicts a revenue stream sufficient to provide for the construction of 250 transit shelters at an estimated cost of \$10,950 per shelter. The proposal involves a contract between the City and a private contractor for a period of 10 years to construct and maintain transit shelters for the period of the contract. The contractor would handle all advertising on the shelters, which will be the source of funding for construction. When the contract expires, the shelters then become property of the City. The department anticipates that there will be enough revenue to pay for construction of some shelters without advertising.

Estimated cost of the transit shelter construction program for a 10-year period is \$4,992,500, including capital costs, land acquisition, and engineering for 250 shelters. Based on comparisons with four "peer" cities (Oklahoma City, Tulsa, Colorado Springs, and Pueblo), potential revenue estimates from advertising are at approximately \$7.5 million over the 10-year period. This assumes 2 panels per shelter at a rate of \$240/month per panel (national average is \$370), and a 65% occupancy rate for advertising. Maintenance costs are estimated at a total of \$3.2 million over the same time frame\*. (\*Note: This figure appears to have been updated in the most recent memo from Transit attached to the bill.) Maintenance estimates include personnel, truck and supplies to inspect, remove trash and graffiti and repair damaged shelters, and are comparable to maintenance programs in Phoenix, Riverside, CA, and San Diego. These cities have stressed that adequate budgeting for maintenance, especially graffiti and trash removal, is critical to a successful shelter program.

**Comments.** The Planning Commission found that certain types of advertising should be restricted from transit shelter signs, either through prohibition in the Zoning Code, restrictions outlined in the RFP process for a contractor, by prohibiting specific locations for certain advertising, or through a combination of these strategies.

This amendment would allow only one sign at each shelter (two-sided), not to exceed twenty-four square feet in size, or seven feet in height. Signs can be on public right of way, or on private property abutting the right of way. They may not be placed without prior approval of the Transit Department. They will be prohibited on transit shelters that face or abut a house or townhouse, and shall not encroach on the clear sight triangle.

A similar set of bills was reviewed by the City Council in 1996 and was not approved due to concerns raised by the public regarding the effect of shelters and signs on visual appearance of the City. Advertising was allowed on Albuquerque bus benches until the late 1970's when the City purchased the existing, contracted benches and discontinued such advertising as a matter of policy. In 1991, an ordinance further limited bus bench, bus shelter and kiosk advertising "solely to informing the public that it is a City bus stop." This clarification was a response to the chaining of free print media racks to City benches that contained advertising space. As previously mentioned, a similar text amendment was heard by EPC and failed at the City Council level in 1996. This group of bills was compiled with the benefit from the comments, questions and concerns raised during the 1996 review. One letter was received in opposition to this proposal. This set of bills proposes advertising on shelters only, and significantly reduces the number of signs involved by excluding advertising on benches.



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cc: GSL Properties, Inc., 2164 S.W. Park Place, Portland, Or 97205  
Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123  
Joe Ando, 13200 Mountain Shadows Rd. NE, Albuquerque, NM 87111-5530  
Ray Baron, HC 75 Box 122 Chama, NM 87520  
Mark Burton, 12500 Charla Ct. SE, Albuquerque, NM 87123  
Ed Candelaria, 1053 Colt Ln. SE, Albuquerque, NM 87123  
Henry Crockett, 404 Rainbow Ct. SE, Apt. D, Albuquerque, NM 87123  
Diane Davidson, 12800 Piru SE, Albuquerque, NM 87123  
Marylyn Floro, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Frank Gallaspy, 1308 Kentucky SE, Albuquerque, NM 87108  
Joanne Gladin de la Fuente, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Susan Henderson, 1031 Los Padres SE, Albuquerque, NM 87123  
Dolores Keane, 828 Trading Pose Trail SE, Albuquerque, NM 87123  
Karen Kendall, 12924 Piru SE, Albuquerque, NM 87123  
Dave Orwat, 4600 Homestead Tr. NW, Albuquerque, NM 87120  
Dave Saxon, 10836 Wasatch Rd. SE, Albuquerque, NM 87123  
Rose & John Sena, 7820 Zuni SE, Albuquerque, NM 87123  
Dave Smith, 12536 Elyse Pl. SE, Albuquerque, NM 87123  
John Smokov, 608 Parkside Pl. SE, Albuquerque, NM 87123  
Janette Vanderkamp, 300 Dorado Pl. SE, Albuquerque, NM 87123  
Phil York, 12705 Elyse Pl. SE, Albuquerque, NM 87123

*Attachments*

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## ***CITY OF ALBUQUERQUE AGENCY COMMENTS***

### ***PLANNING DEPARTMENT***

#### ***Zoning Code Services***

“Reviewed, no comment.”

### ***PUBLIC WORKS DEPARTMENT***

#### **Transportation Development Services:**

No adverse comment on the proposed zone change request.

Conditions of approval for the proposed site plan for subdivision purposes should include:

- A) A TIS for this site plan was not required due to its previous inclusion in the Manzano Mesa Development. However, this subdivision must participate in the off-site improvements as determined by the DRB. Including intersection improvements, signalization, etc., at remote locations.
- B) Dedication of rights-of-way for and construction of Eubank Boulevard, Stephen Moody Street, and La Entrada Avenue. Construction of appropriate bicycle facilities as required by newly approved Bikeway Master Plan.
- C) Provision of cross-access and reciprocal parking easements, between the proposed parcels, and with the adjacent parcels is needed.

Conditions of approval for the proposed site plans for building permit for should include:

- A) The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
- B) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets.
- C) Proposed circulation drives and internal parking areas must be paved as per DPM standards.
- D) The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
- E) Location of refuse enclosures, walls, fences and signs must meet the clear sight distance requirements.
- F) Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
- G) Coordination with the Solid Waste Department with regard to refuse container location and access.
- H) Street Trees are required along Eubank Boulevard.

#### **Utility Development:**

No comment on use. The utility plan appears to show the private water system with illegal looping connection to public lines. This must be corrected. A water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action.

#### **Traffic Engineering Operations:**

Request left turn bays be introduced on Eubank to allow good access to the project location.

#### **Hydrology:**

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The Hydrology Section has no objection to the zone map amendment request. An approved conceptual grading and drainage plan is required for site plan sign-off by the City Engineer / AMAFCA.

**Transportation Planning:**

No objection to zone map amendment. However, at this time we cannot recommend approval of "site plan for subdivision" or "site plan for building permit". The site plans need to show additional and definitive information about the Eubank Boulevard right-of-way. Eubank is a designated Principal Arterial on the Long Range Roadway System map, to have a 156-foot right-of-way. At the present time, however, the width and location of the right-of-way are under study by the Public Works Department. In any case, the applicant's site plan does not show a definitive property line or right-of-way line. This matter must be resolved before continuing; we do not want the resolution of this matter to be stated as a condition of approval

**ENVIRONMENTAL HEALTH DEPARTMENT**

**Air Quality Division**

"No Comment."

**Environmental Services Division**

**NEIGHBORHOOD SERVICES**

"no association."

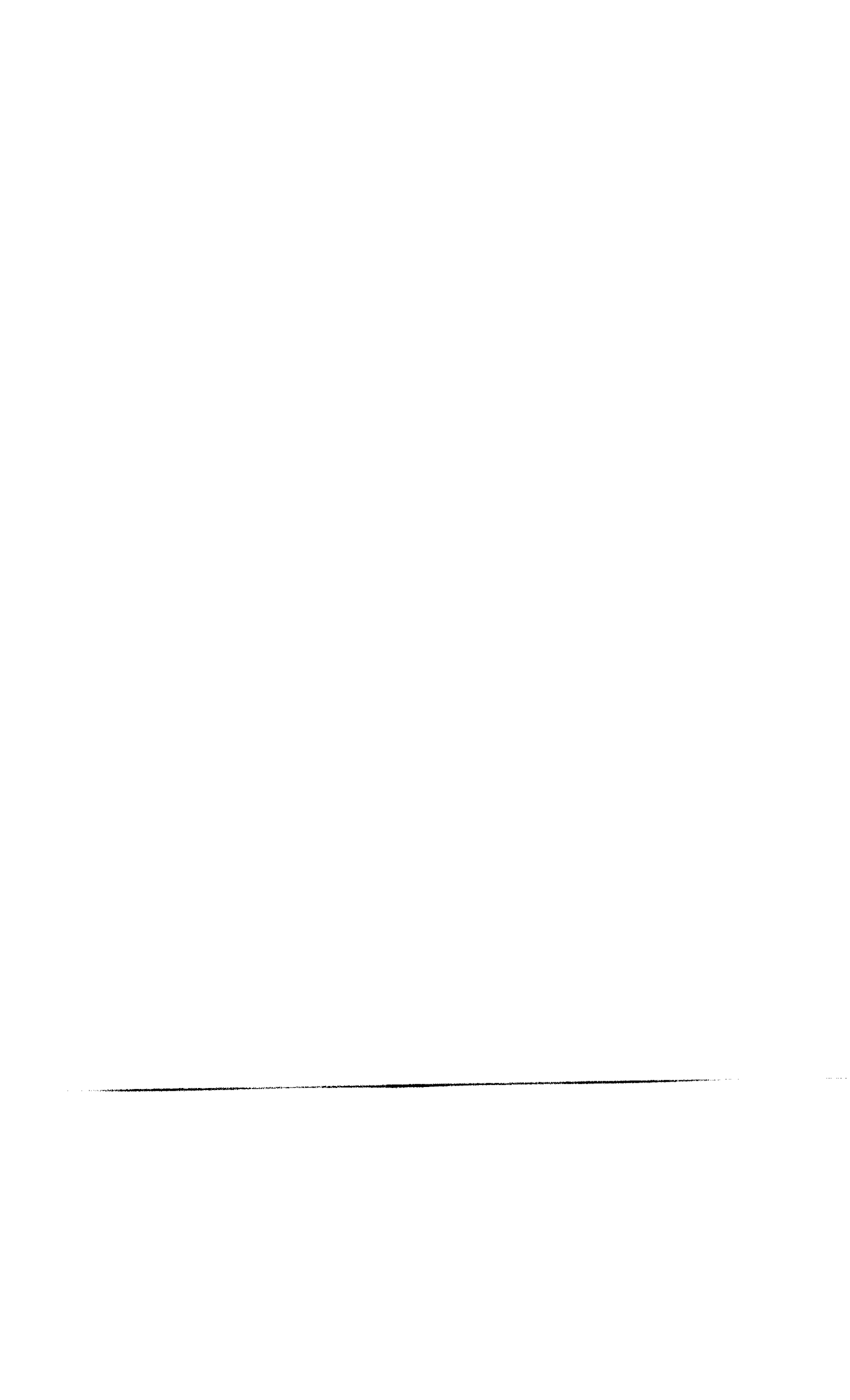
**PARKS AND RECREATION**

**Planning and Design**

Future platting action will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Dedication of land suitable for development of a neighborhood park or a fee in-lieu of and equal to the value of the required park land dedication will be required. The Manzano Mesa Subdivision met its park dedication requirement through the original dedication of lands related to Manzano Mesa Park in 1990.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.



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The Trails & Bikeways Facility Plan proposes a Primary Trail along the east side of Eubank Blvd. in this location. In this case, we will require construction of a 10' asphalt trail in-lieu of sidewalk. Additionally, please allow for at least 5' of separation between the trail and face of curb and a minimum of 3' between the trail and wall or other vertical element. Be advised that landscaping improvements along the asphalt trail must not encroach on the trail itself. Trees must be a minimum of 3' away from the trail and shrubs, at their mature spread, must not encroach on the trail. The proposed landscaping along Eubank appears to encroach into the sidewalk/trail area. Design of the trail shall be coordinated with the Trails Planner Diane Scena.

***OPEN SPACE DIVISION***

***POLICE DEPARTMENT/Planning***

"No Adverse Comment."

***SOLID WASTE MANAGEMENT DEPARTMENT***

***Refuse Division***

Approved on condition will have self contained compactor. Centrally located cart/container enclosures should be placed throughout the complex. Call T.L. Baca 761-8142

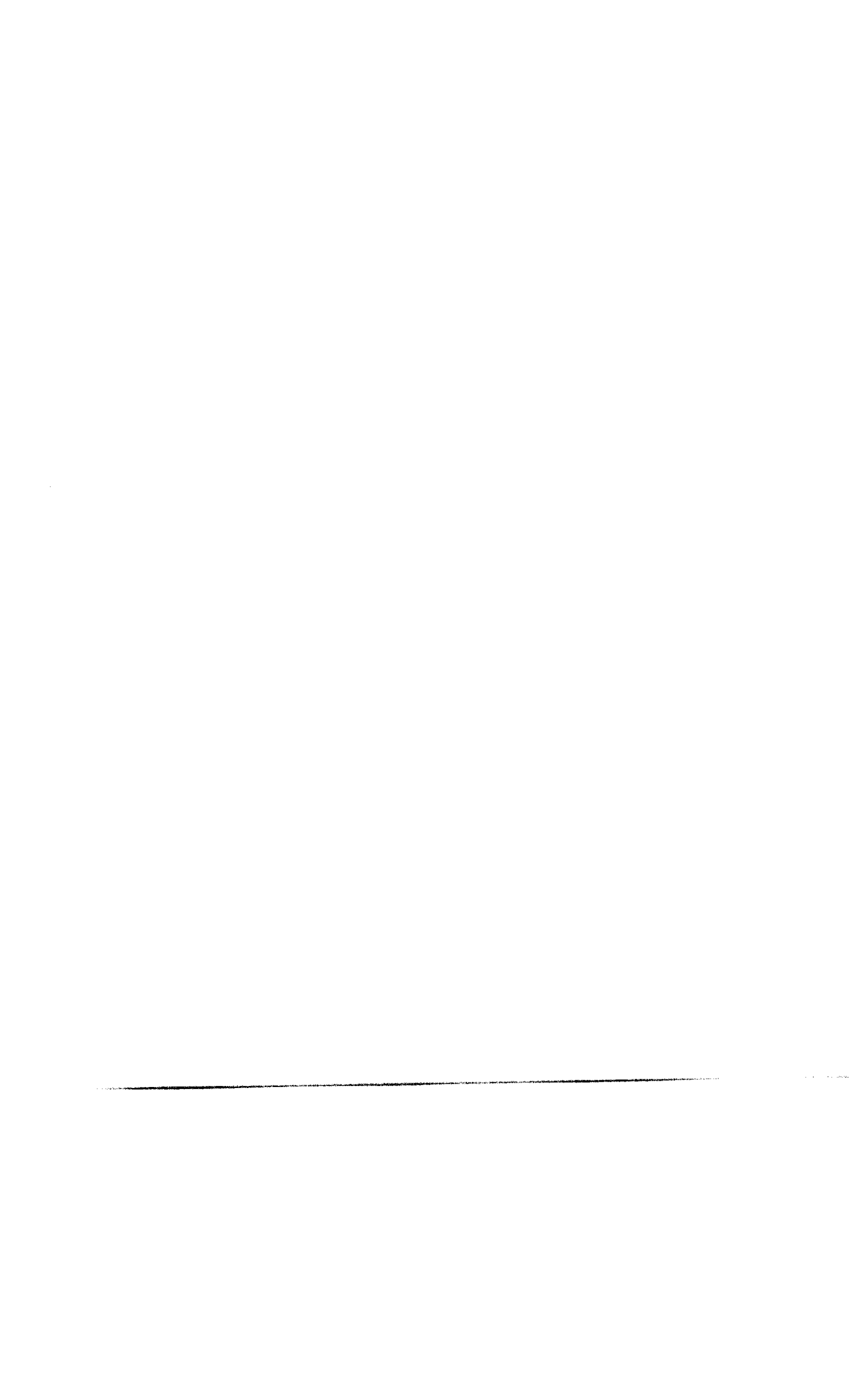
***FIRE DEPARTMENT/Planning***

***TRANSIT DEPARTMENT***

Comments pending

***COMMENTS FROM OTHER AGENCIES***

***BERNALILLO COUNTY***



**ALBUQUERQUE METROPOLITAN FLOOD CONTROL AUTHORITY**

"No objection."

**ALBUQUERQUE PUBLIC SCHOOLS**

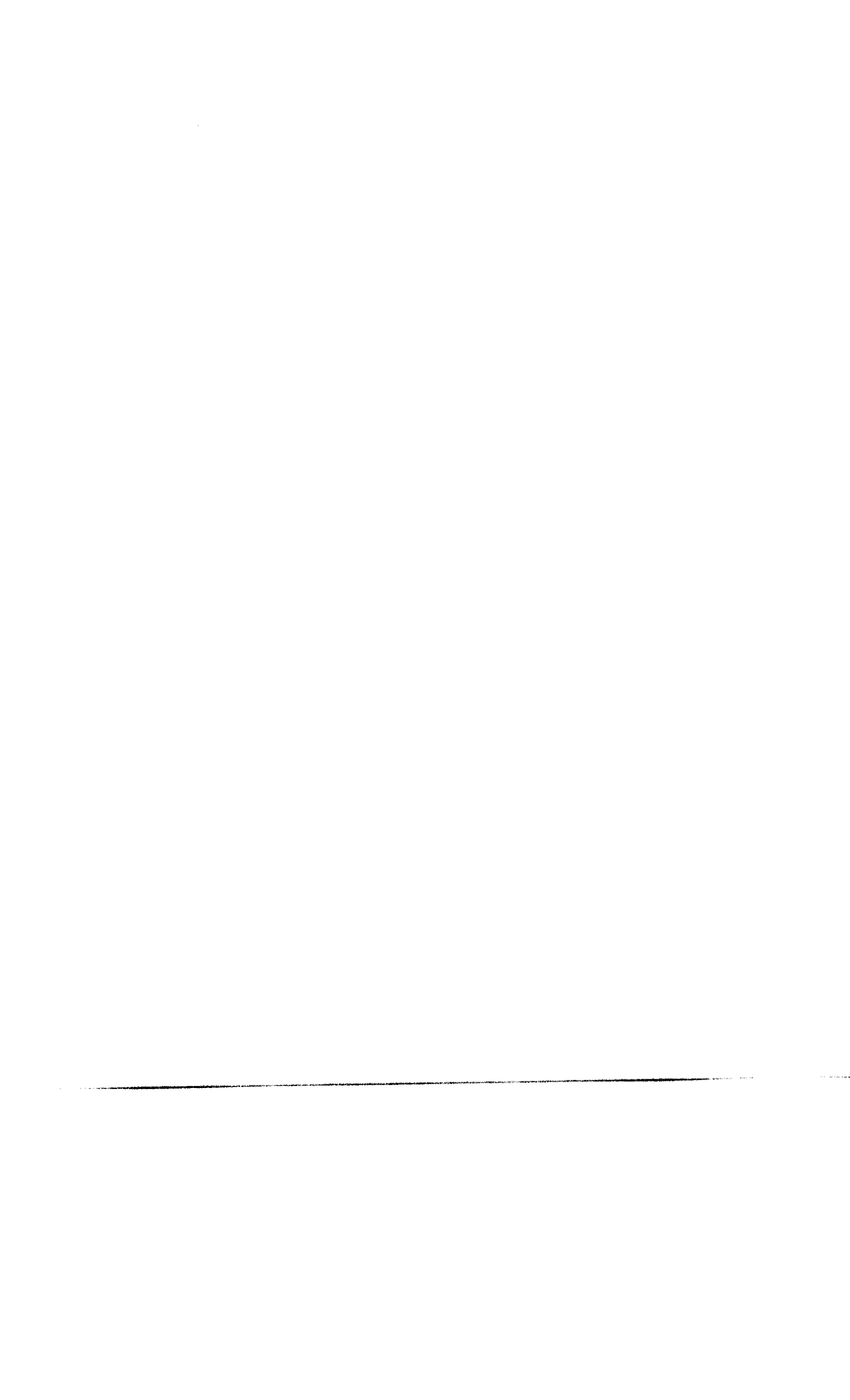
The **Manzano Mesa Apartments** within the Manzano Mesa subdivision will affect Wherry Elementary School, Van Buren School, and Highland High School. The elementary school should be able to accommodate the students potentially generated by the development. *The APS Facilities Master Plan includes a new elementary school in the Manzano Mesa subdivision slated to open in the fall of 2002. There will be a wholesale change in elementary school boundaries in the area leading up to fall 2002.*

If enrollment at schools continues to increase, APS policy requires that the district examine boundary changes, alternative schedules, transportation to less crowded schools, and/or combinations of the above strategies to relieve overcrowded facilities.

**MIDDLE RIO GRANDE COUNCIL OF GOVERNMENTS**

No adverse comment. For information, the Long Range Roadway System designates Eubank Boulevard as a principal arterial. In addition, the Long Range Bikeway System proposes a bike lane on Eubank.

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**ENVIRONMENTAL PLANNING COMMISSION  
MINUTES**

February 15, 2001

COMMISSION MEMBERS PRESENT:

Elizabeth Begay, Chair  
Chuck Gara  
Alan Schwartz  
Larry Chavez  
Camilla Serrano

COMMISSIONER MEMBERS ABSENT:

Susan Johnson  
Mick McMahan

STAFF PRESENT:

Richard Dineen, Planning Department  
Russell Brito, Planning Department  
Simon Shima, Planning Department  
Debbie Stover, Planning Department  
Cynthia Borrego-Archuleta, Planning Department  
April Candelaria, Recording Secretary  
Joe David Montano, Transportation, Public Works Dept.  
Don Newton, Planning Department, Neighborhood Coordination  
Leigh Matthewson, Planning Department  
Mary Piscitelli, Planning Department  
Loretta Naranjo-Lopez, Planning Department  
Lola Bird, Planning Department

\*\*\*\*\*

1. Call to Order. 8:19 a.m.

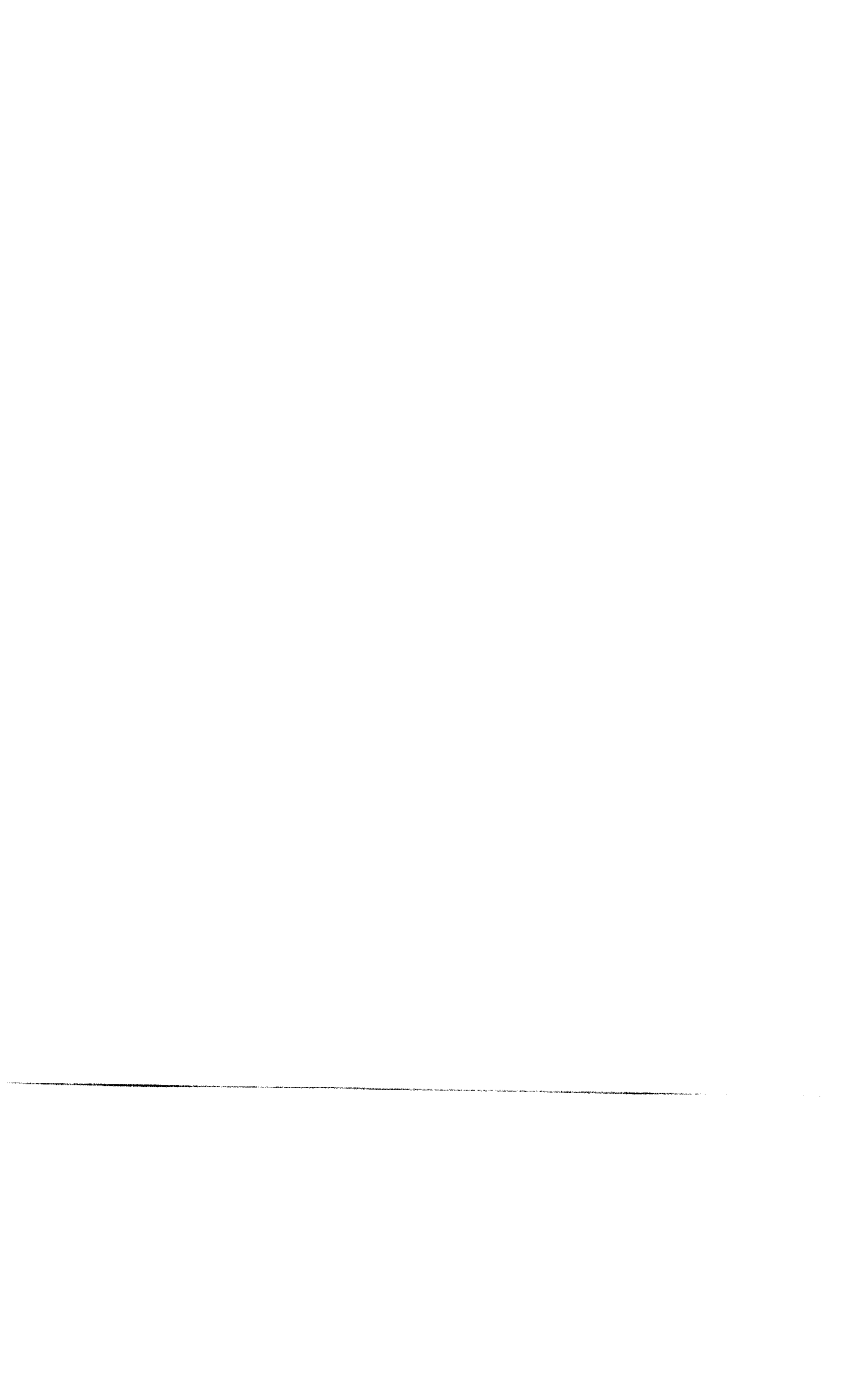
A. Announcement of changes and/or Additions to the Agenda

00110 00000 01644	Consensus Planning, Inc., agents for GSL Properties, Inc. request a
00128 00000 01645	zone map amendment from SU-1 for O-1, SU-1 for R-2 to SU-1 for O-
00128 00000 01646	1, SU-1 for R-2 plus approval of a site development plan for
00128 00000 01647	subdivision purposes and approval of a site development plan for
Project # 1000938	building permit for Tract G-3 & Tract H-1, Manzano Mesa Addition,
	located on Eubank SE between Central Avenue SE and Sandia
	National Labs SE, containing approximately 36.3 acres. (L-21)
	Debbie Stover, Staff Planner ( <b>DEFERRED TO MARCH 1, 2001.</b> )

STAFF PRESENT:

Debbie Stover, Planning Department





David Suffling, Legal Department

**PERSONS PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:**

Karen Marcotte, 924 Park SW

MR. BRITO: Back on page two of the agenda, item 1D, 00110 00000 01644/00128 00000 01645/00128 00000 01646/00128 00000 01647. This case was scheduled to be heard last week February 8 but there was not a quorum of Commissioners at that hearing. It could not be heard. So it was rescheduled, deferred to today. Unfortunately we did not send out correct notice of this deferral to all interested parties and we have been advised by legal staff that this case should be deferred and readvertised.

COMMISSIONER GARA: On a deferral like that what is the requirement? Is the City required to notify? Or is it common courtesy to notify? What is the issue?

MR. BRITO: Madam Chair, Commissioner Gara, the City should notify all interested parties by mail with a written notification. Mr. Suffling from the Legal Department is here and I believe he could clarify that.

COMMISSIONER GARA: But you (INAUDIBLE). Because I would assume that the interested parties were here last Thursday when the item was scheduled and were informed of the deferral.

CHAIR BEGAY: Mr. Suffling?

MR. SUFFLING: Madam Chair and Commissioner Gara, I do not think that is the problem. Initially I did think that was the problem the deferral and saw they were not notified around the time of the deferral. But Debbie Stover advises me that there was a problem with the actual original notice was not sent. Now, when it was on the agenda for the 8<sup>th</sup> if the notices were all done and the advertising was all done correctly like any other case and it was scheduled for the 8<sup>th</sup> and there was not a quorum then if the Chair or the Acting Chair or whoever if the Commissioners who are present would announce that there is not a quorum and announce that the item cannot be heard and announce the future hearing date and place there is notice problem. But evidently there was more of a notice problem than that. So that was the reason, and then Debbie is here she can answer probably more specifically what exactly the original notice problem was.

CHAIR BEGAY: I would like to hear what the original notice problem was because was not informed of this yesterday.

MS. STOVER: Madam Chair, Commissioners, I think there is a misunderstanding. There was not a problem with the original notice. The problem was that last Thursday on the 8<sup>th</sup> when we heard that there was not going to be a quorum we called the interested parties and let them know that the case was not going to be heard that evening so they would not show up and waste their time. And I told them it would be rescheduled to this date.



CHAIR BEGAY: You did tell them that?

MS. STOVER: I did tell them that. And I think we intended to notify the people who where signed up and the neighborhoods in writing also but there was a clerical error and that did not happen. People were not notified in writing that it was rescheduled to this date. However in the meantime the client for the apartments canceled his flight to be here today and also the neighbors that were going to be here today were told that it was going to be deferred as well. So again not everyone is here who probably wants to be here.

CHAIR BEGAY: Commissioner Gara?

COMMISSIONER GARA: I guess for future reference you said some people that had signed up were not notified?

MS. STOVER: They were notified by phone but not in writing.

COMMISSIONER GARA: But if they signed up they had to be here to sign up?

MS. STOVER: That was for the original hearing last month.

COMMISSIONER GARA: Right, last month or last week?

MS. STOVER: Last month in January. Last week nobody showed. Right, last week people were notified by phone that it was not going to be heard.

CHAIR BEGAY: So you technically notified everybody by telephone and the people who were not notified and had something to say would have been there last Thursday and at that point I made the announcement the way I was directed by our attorney to do. I read it into the record. So there would have been proper notification? So are we back to the point where the applicant is requesting a deferral?

MS. STOVER: No.

COMMISSIONER GARA: Again I think it becomes the responsibility of all interested parties to be aware of what is going on. I think if we have attempted and the City has attempted I would like to hear from the applicant as to what they have done or where they are before I would vote on a deferral. And anyone else who wants to speak on the deferral.

CHAIR BEGAY: Karen?

MS. MARCOTTE: Madam Chair and Commissioners, we were informed yesterday by the City staff that there would be a deferral based on the advice of City Legal and that they had called the neighborhood association members and told them that there would be a deferral. So, we in turn called the apartment developer and told him not to get on the plane because this would have been his third trip over here without a meeting. So, we went ahead and did



that. However if you choose to hear it I am prepared to make that presentation. But I think the Planning staff has notified the neighborhood members that the meeting would be deferred. So there will probably be people who are not here today who would otherwise been here.

CHAIR BEGAY: Well it is my opinion that if the Planning would not have notified everybody we could have heard this case today. Since the neighborhoods were notified and the applicant themselves is not here I think it is probably in everyone's best interest that we defer it. It is very unfortunate. What does everybody else think? Any body else in the audience that wants to speak to the deferral? Commissioner Serrano?

COMMISSIONER SERRANO: Chair Begay, I do agree. I think we have to defer. If the neighborhoods have been notified by planning staff in all fairness I do think we have to defer.

CHAIR BEGAY: We are deferring until what date Debbie?

MS. CANDELARIA: March 15.

CHAIR BEGAY: Do we have a date before then? Anything before then?

MS. CANDELARIA: You do not have anything scheduled. You have the first.

CHAIR BEGAY: Does the Commission want to come in for one case on March 1<sup>st</sup> or what until the fifteenth which is going to be bumped I think because everybody is coming back from New Orleans that is going. So it will be bumped another week back. March 22.

COMMISSIONER GARA: Understanding that time is money I would prefer to hold it sooner.

CHAIR BEGAY: March 1.

COMMISSIONER GARA: I think by an error on staff to call the neighborhood people and tell them that there is going to be a deferral when that decision had not been made by this Commission. It is unfair to the applicant in my opinion.

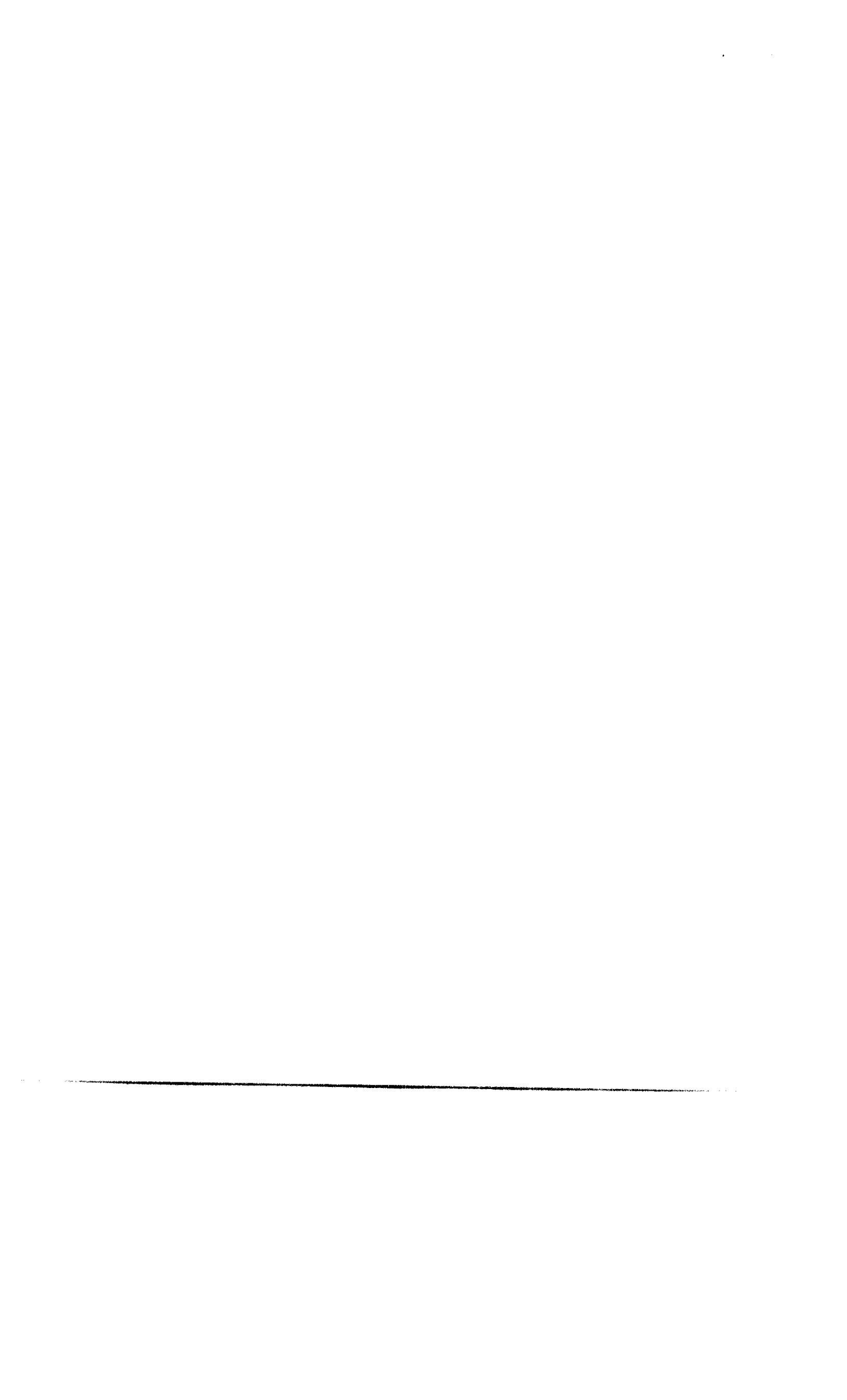
UNKNOWN SPEAKER: (INAUDIBLE) proper notice between now and March 1.

COMMISSIONER GARA: I do not know that from the standpoint of required to give proper notice I think staff can notify the people just like they notified them there was going to be a deferral today they can notify everybody that there is going to be a hearing on the first. I do not see that is a problem.

CHAIR BEGAY: All right. Okay. Lets move it to March 1. What time?

MS. CANDELARIA: Whatever time you want. Four or five? It is up to you.

CHAIR BEGAY: Four? Four o'clock, March 1.



UNKNOWN SPEAKER: And location?

CHAIR BEGAY: It is here, I hope. Go ahead.

COMMISSIONER SCHWARTZ: Thank you Madam Chair. I do not really know, it seems to me this is one of these you cannot win because if we know we are not going to have a quorum and we do not call people we are going to get a lot of flack for that. But the problem here is I think is trying to accommodate people and not just letting the rules of-- you know just carry their course because my understanding is once you notice the meeting and that item is deferred or continued your notice continues. You could have gone to that meeting at which point you would have heard that the meeting was being-- the item was being deferred or continued or cannot be heard for lack of a quorum. So as long as you do not start calling people you do not interrupt that process. So again I can understand if we had not called people and knowing that there was not going to be a quorum and they all showed up they would all be upset about that. Now, we have people upset because we did call them. So, I guess we have to just maybe sit down and rethink if we really want to start calling people or not. Or just let them show up.

CHAIR BEGAY: I agree. Thank you. Okay. Next agenda item? Commissioner Schwartz?

COMMISSIONER SCHWARTZ: Agenda item 1D, 00110 00000 01644/ 00128 00000 01645/00128 00000 01646/ 00128 00000 01647, I move for a deferral to March 1, 2001 at four o'clock.

COMMISSIONER CHAVEZ: Second.

CHAIR BEGAY: A motion and a second. All those in favor? Opposed? Motion passes unanimously.

#### FINAL ACTION TAKEN

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to defer 00110 00000 01644/ 00128 00000 01645/00128 00000 01646/00128 00000 01647 to the Environmental Planning Commission Public Hearing on March 1, 2001 at 4:00 p.m. in the Plaza del Sol Hearing Room.

MOVED BY COMMISSIONER SCHWARTZ  
SECONDED BY COMMISSIONER CHAVEZ

MOTION CARRIED UNANIMOUSLY



There are a number of variables associated with the plan before you, which will remain unknown until an RFP is issued and bids come in. If the department determines that a workable contract can be brought forth, it will come to Council for review and approval. The concept of advertising on transit shelters to pay for the construction and maintenance of the shelters does have potential, and would allow for the City to provide a needed service to transit users.

**Questions.**

1. Will political advertising be allowed?
2. What will determine whether the installation of the improvement or the expiration of the contract will trigger the City's ownership?

**Item No. 2 O-00-33 F/S Amending ROA 1994, Pertaining to Duties of Mayor Regarding Courtesy Benches, Transit Benches and Transit Shelters; Providing for Advertising on Transit Shelters (Armijo)**

See discussion above. This bill has "died on expiration" and must be reintroduced.

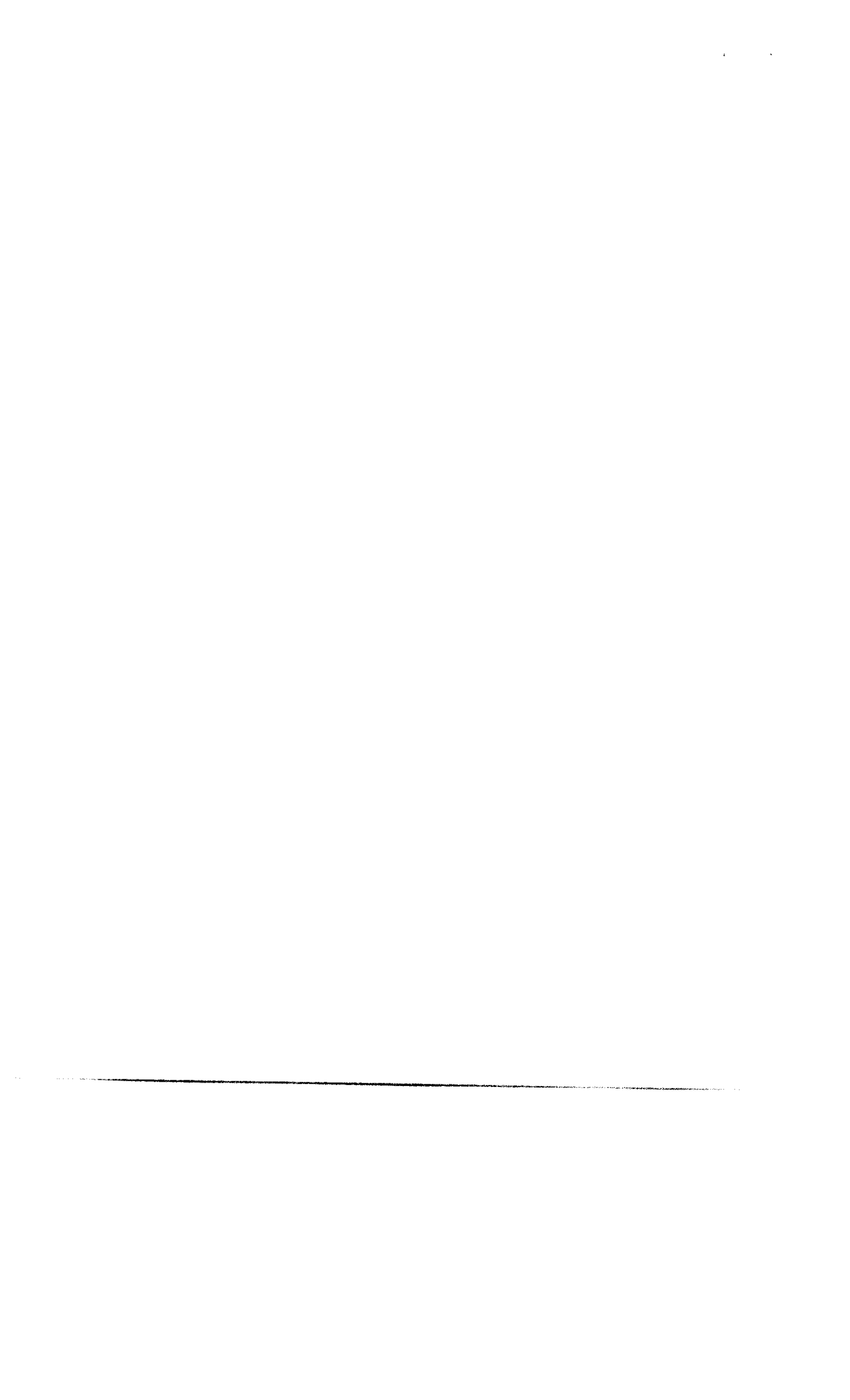
**Item No. 3 O-00-35 F/S Amending ROA 1994, Regarding Sidewalks, Drivepad, and Curb Ramp Repair and Maintenance; Permitting Commercial Advertising on Transit Shelters (Armijo)**

See discussion above. This bill has "died on expiration" and must be reintroduced.

**Item No. 4 AC-01-08 Philip York, Agent for Singing Arrow NA - Appeals the EPC's Approvals of Zone Map Amendments, Site Plan for Subdivision and Site Plans for Building Permit; Located on Eubank SE Between Central Avenue SE and Sandia National Labs SE**

This is an appeal from the Environmental Planning Commission resulting from several decisions made by the Commission regarding approximately 36 acres on Eubank SE south of Central and east of Kirtland Air Force Base. (See the map on page 14 of the record.) The area is currently zoned SU-1 for Limited O-1 Uses (Tract H) and SU-1 for R-2 Uses (Tract G3). R-2 zoning allows medium density apartments and townhouses. The applicant, GSL Properties, made the following four requests to reconfigure the 36 acres for two multi-family residential complexes and to locate the office zoning closer to the location of the Sandia Science and Technology park. (The Sandia Science and Technology Park is located at the southern edge of Tract G3.)

1. To the zone map to change the locations and sizes of the SU-1 for O-1 tract and the SU-1 for R-2 tract;
  2. To approve a site plan for subdivision;
  3. To approve a site plan for building permit for one portion of the site;
  4. To approve a site plan for building permit for another portion of the site.
- The EPC approved all four requests (3 with conditions). The Official Notification of Decision is on pages 5 - 12 of the record.



City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: February 16, 2001

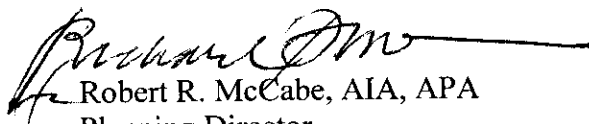
**OFFICIAL NOTIFICATION OF DECISION**

GSL Properties, Inc.  
2164 S.W. Park Place  
Portland, Or 97205

FILE: 00110 00000 01644/00128 00000  
01645/00128 00000 01646/00128 00000 01647  
LEGAL DESCRIPTION: for Tract G-3 &  
Tract H-1, Manzano Mesa Addition, located on  
Eubank SE between Central Avenue SE and  
Sandia National Labs SE, containing  
approximately 36.3 acres. (L-21) Debbie Stover,  
Staff Planner

On February 15, 2001, the Environmental Planning Commission voted to defer 00110 00000 01644/  
00128 00000 01645/00128 000000 01646/00128 00000 01647 to the Environmental Planning  
Commission Public Hearing on March 1, 2001 at 4:00 p.m. in the Plaza del Sol Hearing Room.

Sincerely,

  
Robert R. McCabe, AIA, APA  
Planning Director

RM/DS/ac

cc: Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123  
Joe Ando, 13200 Mountain Shadows Rd. NE, Albuquerque, NM 87111-5530  
Ray Baron, HC 75 Box 122 Chama, NM 87520  
Mark Burton, 12500 Charla Ct. SE, Albuquerque, NM 87123  
Ed Candelaria, 1053 Colt Ln. SE, Albuquerque, NM 87123  
Henry Crocket, 404 Rainbow Ct. SE, Apt. D, Albuquerque, NM 87123  
Diane Davidson, 12800 Piru SE, Albuquerque, NM 87123  
Marylyn Floro, 528 Eugene Ct. SE, Albuquerque, NM 87123

OFFICE NOTICE OF DECISION

FEBRUARY 15, 2001

00110 00000 01644/ 00128 00000 01645/

00128 000000 01646/00128 00000 01647

PAGE 2

Frank Gallaspy, 1308 Kentucky SE, Albuquerque, NM 87108  
Joanne Gladin de la Fuente, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Susan Henderson, 1031 Los Padres SE, Albuquerque, NM 87123  
Dolores Keane, 828 Trading Pose Trail SE, Albuquerque, NM 87123  
Karen Kendall, 12924 Piru SE, Albuquerque, NM 87123  
Dave Orwat, 4600 Homestead Tr. NW, Albuquerque, NM 87120  
Dave Saxon, 10836 Wasatch Rd. SE, Albuquerque, NM 87123  
Rose & John Sena, 7820 Zuni SE, Albuquerque, NM 87123  
Dave Smith, 12536 Elyse Pl. SE, Albuquerque, NM 87123  
John Smokov, 608 Parkside Pl. SE, Albuquerque, NM 87123  
Janette Vanderkamp, 300 Dorado Pl. SE, Albuquerque, NM 87123  
Phil York, 12705 Elyse Pl. SE, Albuquerque, NM 87123

# ENVIRONMENTAL PLANNING COMMISSION

## MINUTES

Thursday, February 8, 2001

### COMMISSION MEMBERS PRESENT:

Elizabeth Begay, Chair  
Alan Schwartz, Vice-Chair  
Camilla Serrano

### COMMISSION MEMBERS ABSENT:

Larry Chavez  
Chuck Gara  
Susan Johnson  
Mick McMahan

### STAFF PRESENT:

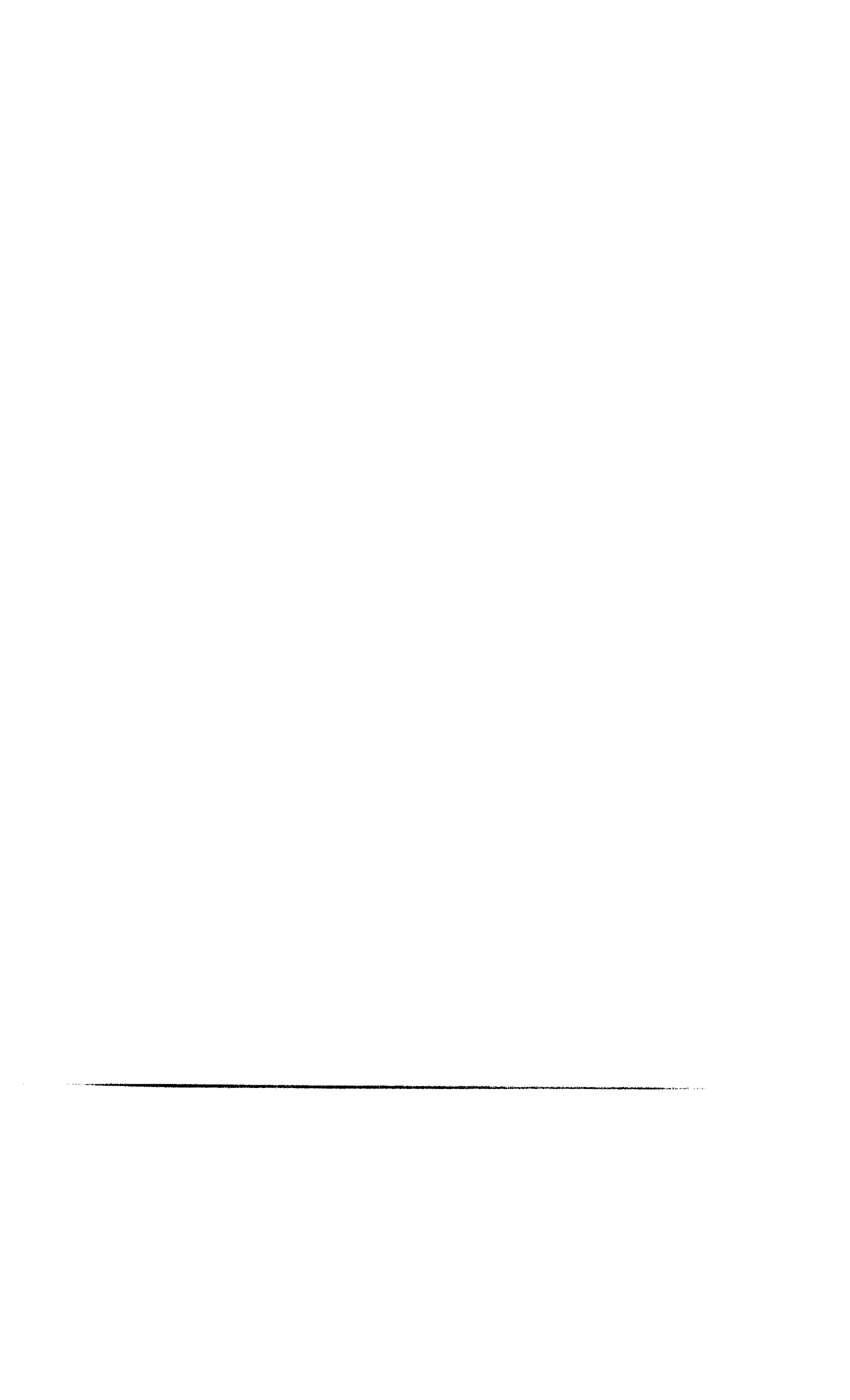
Russell Brito, Staff Planner  
Debbie Stover, Staff Planner  
Richard Dineen, Planning Department  
Fran Tapia, Recording Secretary

\*\*\*\*\*

1. The Hearing was called to order at 4:40 p.m.
2. 00110 00000 01644      Consensus Planning, Inc., agents for GSL Properties, Inc. request a  
00128 00000 01645      zone map amendment from SU-1 for O-1, SU-1 for R-2 to SU-1 for  
00128 00000 01646      O-1, SU-1 for R-2 plus approval of a site development plan for  
00128 00000 01647      subdivision purposes and approval of a site development plan for  
Project # 1000938      building permit for Tract G-3 & Tract H-1, Manzano Mesa Addition,  
located on Eubank SE between Central Avenue SE and Sandia National  
Labs SE, containing approximately 36.3 acres. (L-21) Debbie Stover,  
Staff Planner

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission deferred 00110-00000-01644/00128-00000-01645/00128-00000-01646/00128-00000-01647 to the Environmental Planning Commission Public Hearing on February 15, 2001, due to lack of quorum.

NOW, THEREFORE, THERE BEING NO OTHER ITEMS IN FRONT OF THE ENVIRONMENTAL PLANNING COMMISSION WE ADJOURN AT 4:45 P.M.





City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: February 12, 2001

**OFFICIAL NOTIFICATION OF  
DECISION**

Consensus Planning, Inc.  
Agents for GSL Properties, Inc.  
2164 S.W. Park Place  
Portland, Or 97205

FILE: 00110 00000 01644/00128-00000-01645  
00128-00000-01646/00128-00000-01647  
Project # 1000938  
*Consensus Planning, Inc., agents for GSL  
Properties, Inc., request a zone map amendment  
from SU-1 for O-1, SU-1 for R-2 plus approval of a  
site development plan for subdivision purposes and  
approval of a site development plan for building  
permit for Tract G-3 & Tract H-1, Manzano Mesa  
Addition, located on Eubank SE between Central  
Avenue SE and Sandia National Labs SE,  
containing approximately 36.3 acres. (L-21) Debbie  
Stover, Staff Planner (CONTINUED FROM  
JANUARY 18, 2001)*

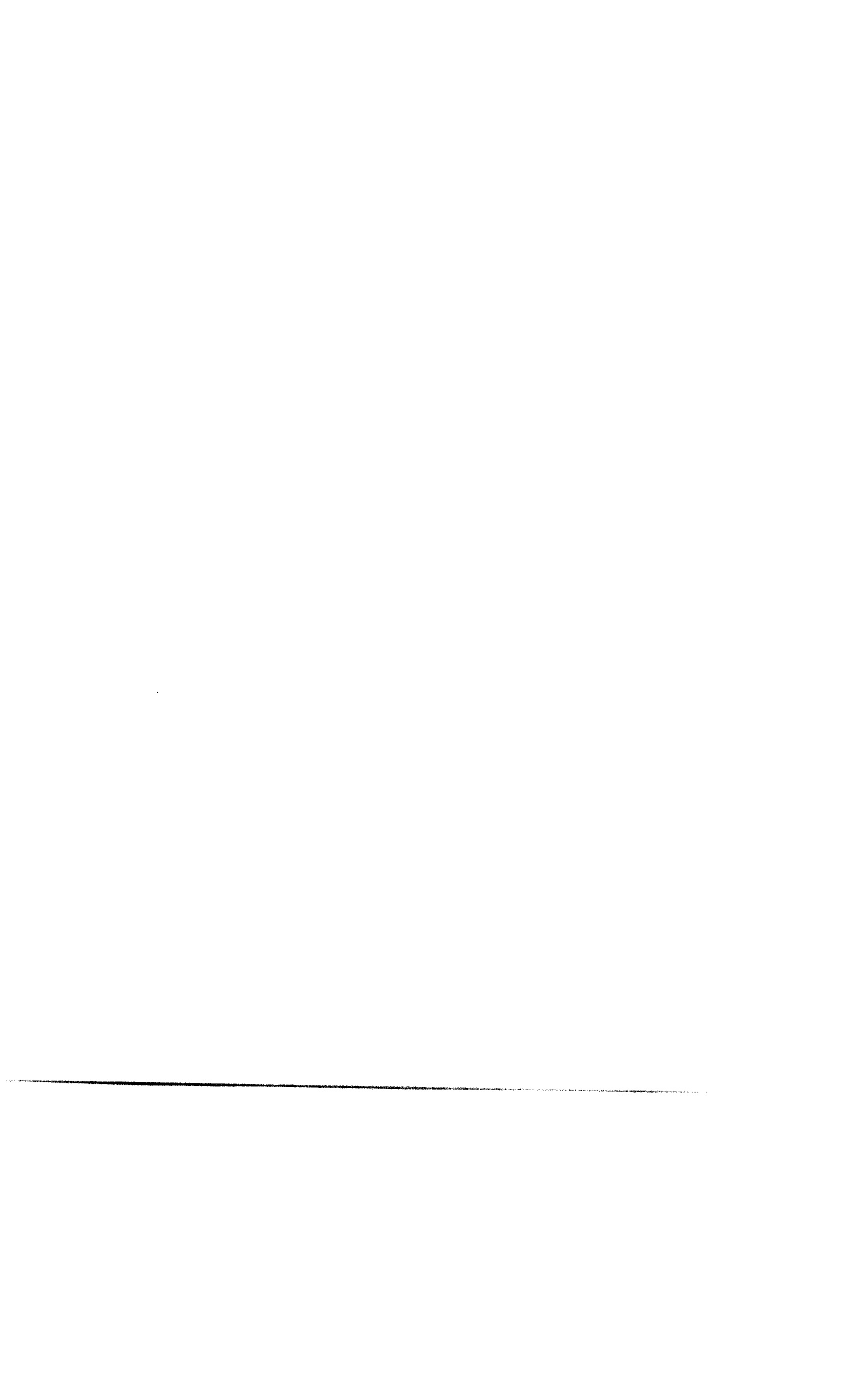
On February 8, 2001, the Environmental Planning Commission deferred 00110 00000  
01644/00128-00000-01645/00128-00000-01646/00128-00000-01647 to the  
Environmental Planning Commission Public Hearing on February 15, 2001, due to lack  
of quorum.

Sincerely,

  
for Robert R. McCabe, AIA, APA  
Planning Director

RM/RB/fmt

cc: Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123  
Joe Ando, 13200 Mountain Shadows Rd. NE, Albuquerque, NM 87111-5530





OFFICIAL NOTIFICATION OF DECISION

00110 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

FEBRUARY 12, 2001

PAGE 2

Ray Baron, HC 75 Box 122 Chama, NM 87520  
Mark Burton, 12500 Charla Ct. SE, Albuquerque, NM 87123  
Ed Candelaria, 1053 Colt Ln. SE, Albuquerque, NM 87123  
Henry Crocket, 404 Rainbow Ct. SE, Apt. D, Albuquerque, NM 87123  
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Frank Gallaspy, 1308 Kentucky SE, Albuquerque, NM 87108  
Joanne Gladin de la Fuente, Box 10A, Taos Hwy 68, Embudo NM 87531  
Susan Henderson, 1031 Los Padres SE, Albuquerque, NM 87123  
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Dave Smith, 12536 Elyse Pl. SE, Albuquerque, NM 87123  
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Janette Vanderkamp, 300 Dorado Pl. SE, Albuquerque, NM 87123  
Phil York, 12705 Elyse Pl. SE, Albuquerque, NM 87123





## Staff Report

<b>Agent</b>	Consensus Planning
<b>Applicant</b>	GSL Properties
<b>Requests</b>	<b>Zone Map Amendment</b> <b>Site Plan for Subdivision</b> <b>Two Site Plans for Building Permit</b>
<b>Legal Description</b>	Tracts G-3 and H-1
<b>Location</b>	Eubank between Central Avenue and Sandia National Laboratories SE
<b>Size</b>	Approximately 36.3 acres
<b>Existing Zoning</b>	SU-1 for O-1, SU-1 for R-2
<b>Proposed Zoning</b>	SU-1 for R-2, SU-1 for O-1

### Staff Recommendation

**APPROVAL** of 00110 00000 01644, request for zone map amendment based on the findings on page 21, and subject to the conditions of approval on page 22.

**APPROVAL** of 00128 00000 01645, request for site plan for subdivision, based on the findings on page 22.

**APPROVAL** of 00128 00000 01646, request for site plan for building permit, based on the findings on page 23, and subject to the conditions of approval on page 24.

**APPROVAL** of 00128 00000 01647, request for site plan for building permit, based on the findings on page 26, and subject to the conditions of approval on page 27.

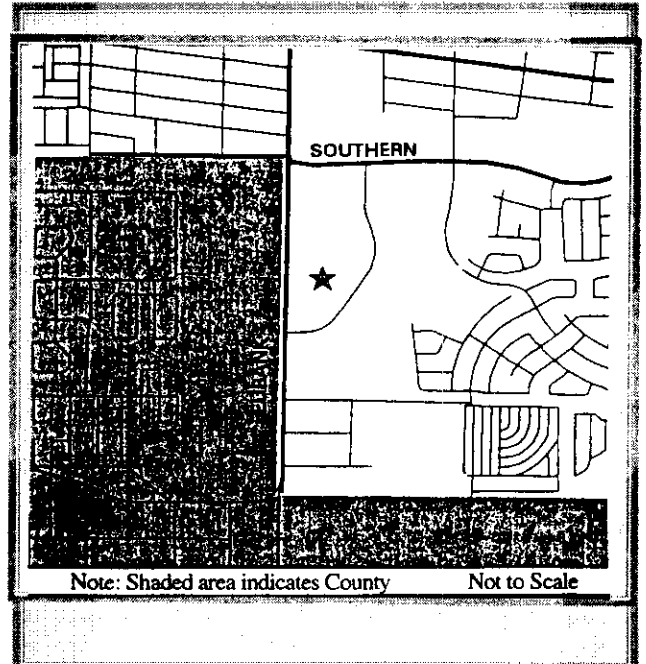
Staff Planner

Deborah I. Stover

### Summary of Analysis

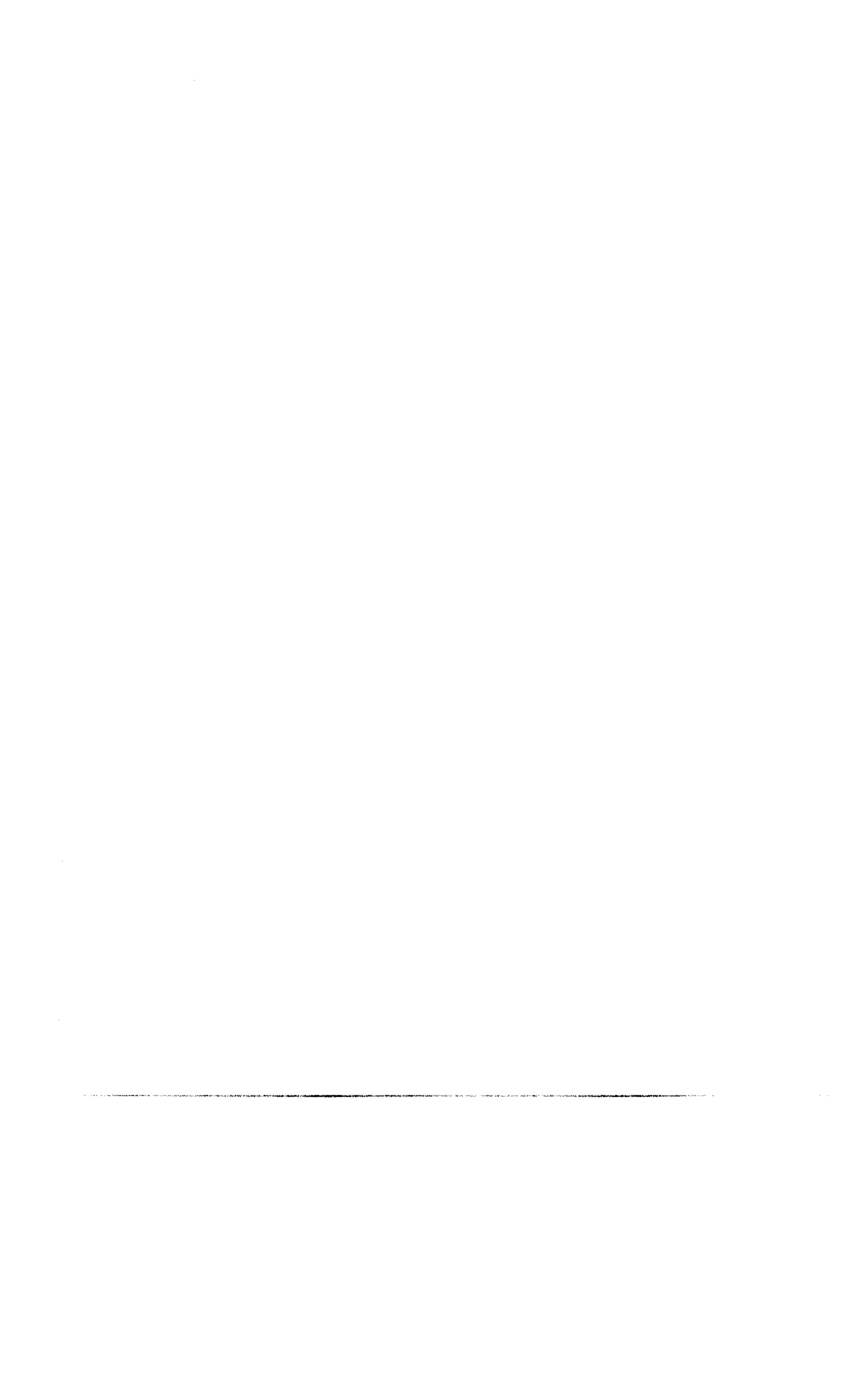
This request was heard at the January 18, 2001 EPC hearing and was deferred to the February 8, 2001 hearing. The request is for a zone map amendment, approval for site plan for subdivision and approval for two site plans for building permit for two separate multi-family residential complexes. The zone change request is not inconsistent with the existing zoning on the subject site, but if approved would move the residential area to the north of the parcels and the office uses to the southern portion of the area, nearer the proposed technology park. The proposed subdivision creates three tracts from the existing two. The request is consistent with applicable policies and plans.

Updated staff comments begin on page 20 of this report. All previous comments and analysis apply as well. Staff recommends approval of this request.



City Departments and other interested agencies reviewed this application from 12/1/00 to 12/15/00. Agency comments were used in the preparation of this report, and begin on page 30.





**Development Services Report**

**SUMMARY OF REQUEST**

<b>Requests</b>	Zone Map Amendment Site Plan for Subdivision Two Site Plans for Building Permit
<b>Location</b>	Eubank Boulevard SE between Central Avenue and Sandia National Laboratories SE

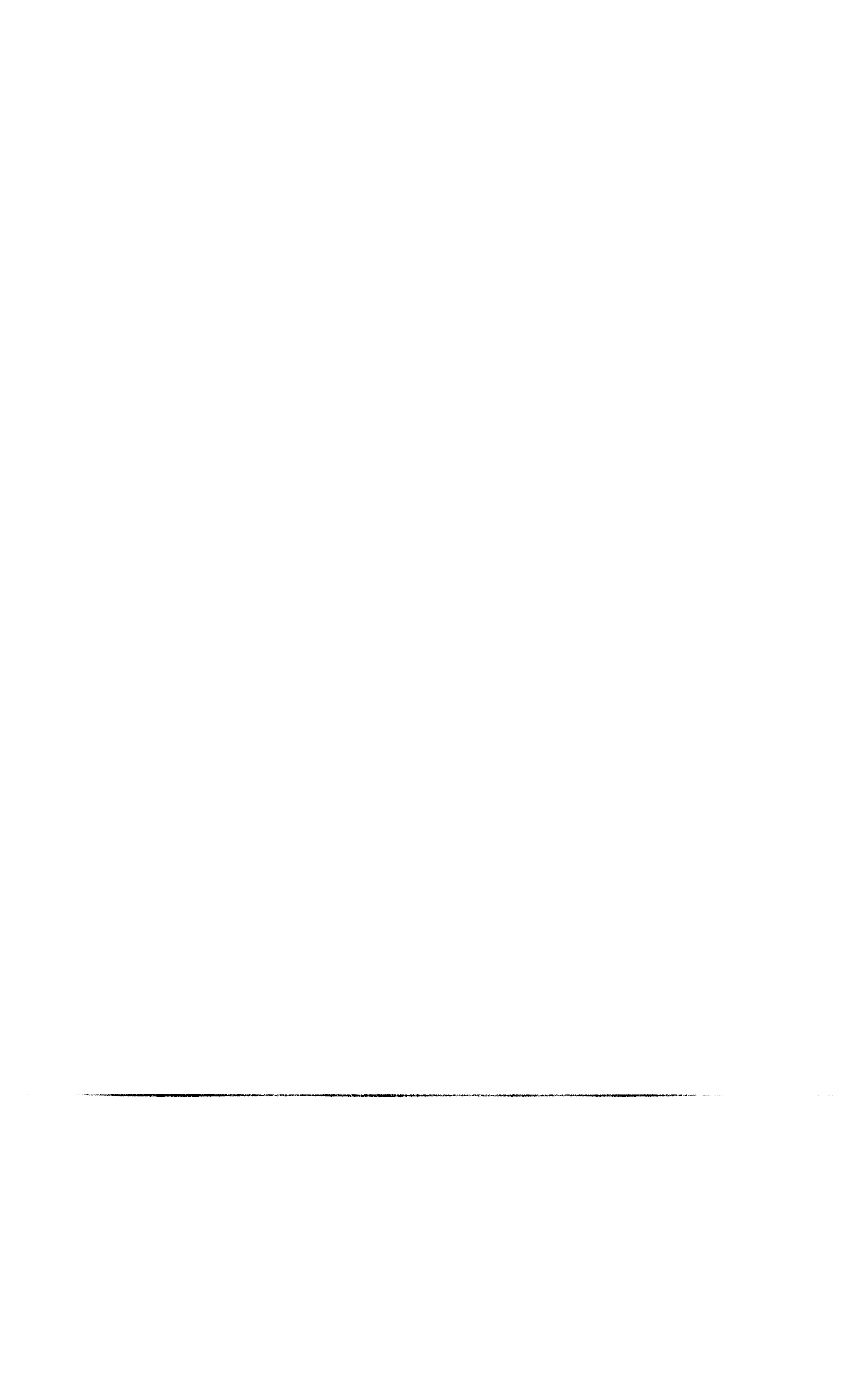
**AREA CHARACTERISTICS AND ZONING HISTORY**

*Surrounding zoning, plan designations, and land uses:*

	<b>Zoning</b>	<b>Comprehensive Plan Area; Applicable Rank II &amp; III Plans</b>	<b>Land Use</b>
<b>Site</b>	SU-1 Limited O-1 Uses/SU-1 for R-2 Uses	Established Urban	Vacant
<b>North</b>	C-1		Vacant
<b>South</b>	SU-1 Limited IP Uses		Vacant
<b>East</b>	SU-1 Community Park & Related Uses		Vacant
<b>West</b>	US Government Land		Kirtland Air Force Base

**Background, History and Context**

This request is for a zone map amendment, site plan for subdivision and site plans for building permit for two tracts of land that total 36.3 acres. Tract G-3 is currently zoned SU-1 for R-2 Uses and Tract H-1 is zoned SU-1 Limited O-1 Uses. The request is to subdivide the tract, creating three parcels instead of two. The southern tract of land Tract H-1 would acquire the SU-1 Limited O-1 Uses zone, while the two northern tracts would be designated for R-2 Uses for two separate apartment complex developments. The area surrounding the subject site is vacant on all sides. Eubank Boulevard borders the site on the west and across Eubank to the west appears to be vacant land that is part of Kirtland Air Force Base. Further south of the site is Kirtland Air Force Base, as well. East of the site is a large parcel of land designated to become a community park. Tennis courts have been constructed and other construction related to the park



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is underway in the area. North of the site across Southern Boulevard is the newly built Costco and further north is Home Depot.

### **APPLICABLE PLANS AND POLICIES**

#### ***Albuquerque / Bernalillo County Comprehensive Plan***

The subject site is located in the Established Urban area of the Comprehensive Plan with a Goal "to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment." Applicable policies include:

Policy a The Established and Developing Urban Areas . . . shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

Policy d The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

Policy e New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

Policy g Development shall be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.

Policy k Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

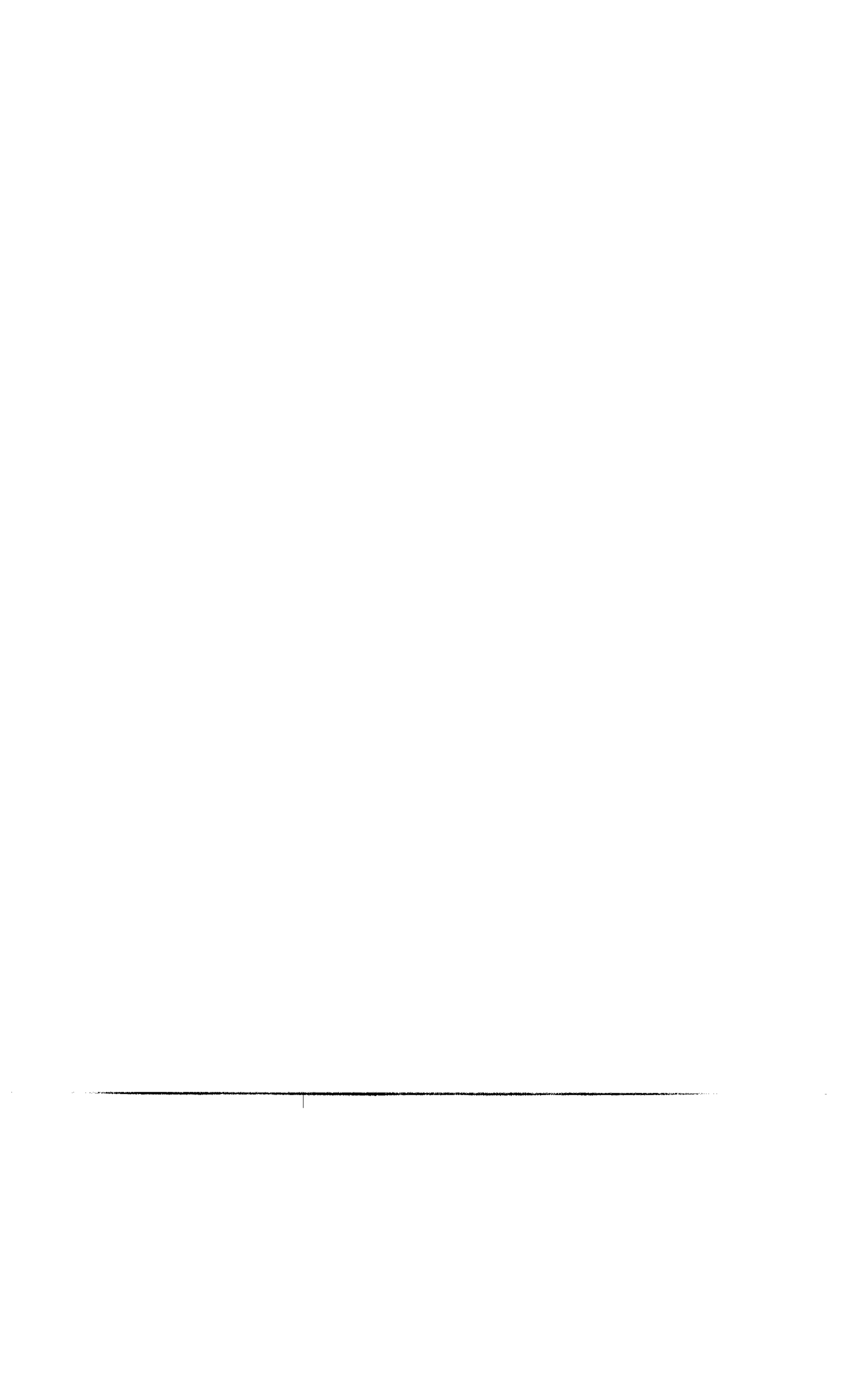
Policy l Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

Policy m Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

#### ***Resolution 270-1980 (Policies for Zone Map Change Applications)***

This Resolution outlines policies and requirements for deciding zone map change applications pursuant to the Comprehensive City Zoning Code. There are several tests that must be met and the applicant must provide sound justification for the change. The burden is on the applicant to show why a change should be made, not on the City to show why the change should not be made.





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The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: there was an error when the existing zone map pattern was created; or changed neighborhood or community conditions justify the change; or a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan.

**Resolution 91-1998 (R-70)**

This Resolution establishes an overall direction for implementation of the City's growth policies, with a framework emphasizing:

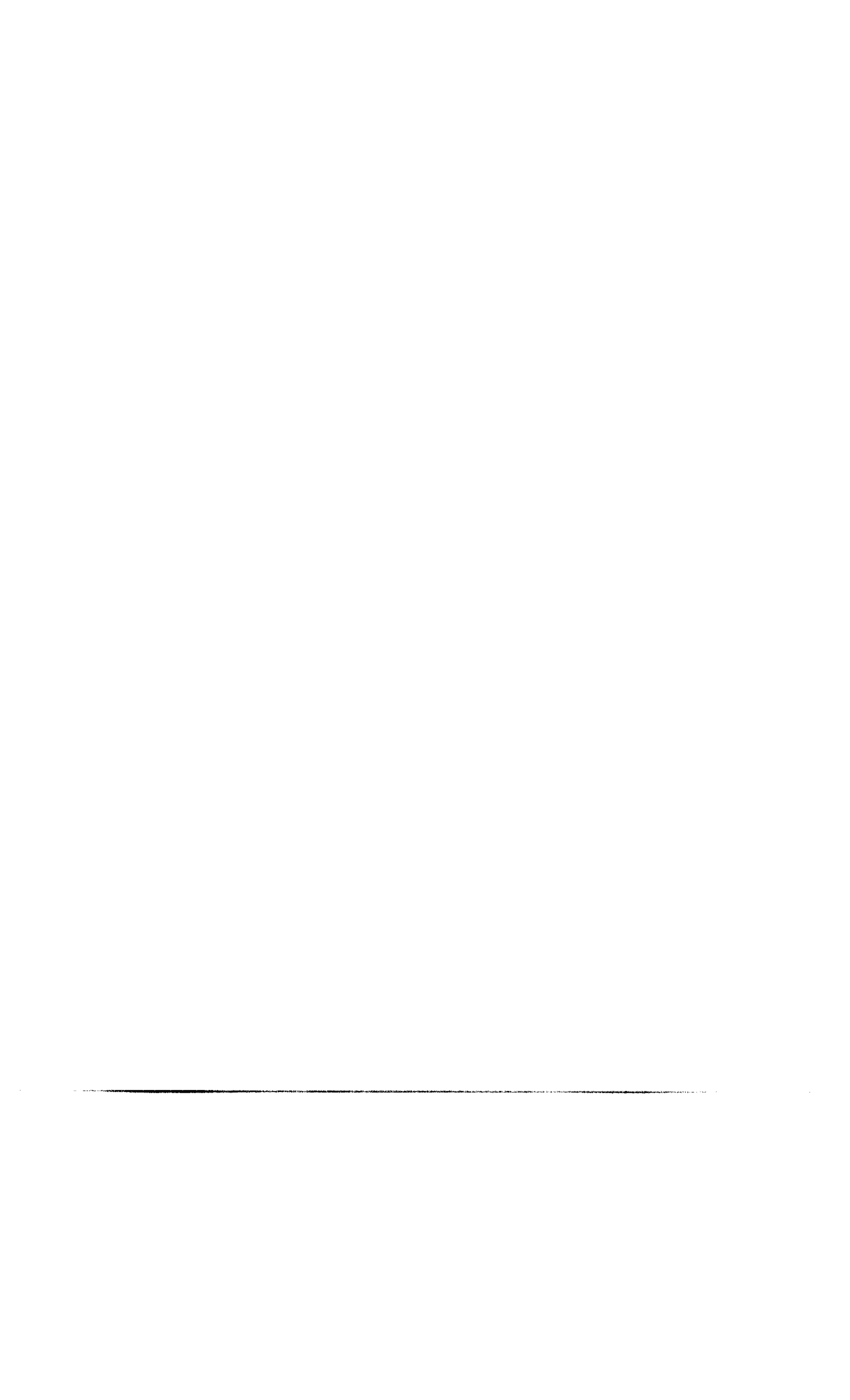
- development of community and regional activity centers and major transportation corridors (high capacity corridors); encourage increased densities and mixed uses in activity centers and corridors; meet the needs of residents closer to their homes or employment to decrease Vehicle Miles Traveled and automobile dependence.
- maintenance, enhancements and upgrades of roads and utilities in the core area, to prevent deterioration of existing communities and to encourage infill; diversify the Downtown land use mix with public facilities, hotels, office and retail development, more and higher density housing; generate more activity and attract more private investment in the Downtown area.
- enhance transit system performance, consistent with the principles of a compact urban form and a network of centers and corridors; improve the viability of transit as an alternative to the single-occupancy vehicle and reduce Vehicle Miles Traveled; improve pedestrian mobility and the character of the pedestrian environment, transit orientation and bicycle connections, within centers and corridors.
- plan the timing of road and utility construction to ensure orderly growth, and coordinate capacity increases and street extensions; transportation improvement programs must recognize the significance of natural, historic, and cultural resources and include strategies for minimizing adverse impacts on them.

**Long Range Roadway System**

The Long Range Roadway System designates Eubank Boulevard SE as a Principal Arterial.

**ANALYSIS**

**ZONE MAP AMENDMENT**



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***Conformance to Adopted Plans, Policies, and Ordinances***

The request for a zone map amendment is essentially a request for a change in location of existing zoning on the subject site. A subdivision from two tracts to three and renaming of the tracts would occur concurrently. The parcel that is currently called H and is zoned SU-1 for Limited O-1 Uses would be reconfigured, called Tract G-3-A, and the requested zoning is SU-1 for R-2 Uses. The parcel that is currently called Tract G-3 would be divided into two parcels. The northern portion would be called G-3-B and the requested zoning is SU-1 for R-2 Uses. The southern portion would be called Tract H-1 and the requested zoning is SU-1 for O-1 Uses. One notable fact is that the current Tract H is zoned for *Limited* O-1 Uses while the new request for office zoning is straight O-1.

According to the applicant, the impetus behind the change in zoning is to allow the office uses to be in closer proximity to the developing Sandia Science and Technology Park. This 200-acre industrial park is developing to the south of this site and will greatly impact the area as it builds out. The applicant states in a letter that the reconfiguration and zone map amendment is advantageous to the community in that it allows the office uses to be placed next to the developing park area and locates the multi-family housing adjacent to a buffered area of O-1 uses instead of placing them adjacent to the Park.

According to Resolution 270-1980, the applicant must justify a request for a zone change as inappropriate under any of the following conditions: That there was an error when the existing zone map pattern was created, or; changed neighborhood or community conditions justify the change, or; a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan, even though the other two conditions do not apply.

The applicant has submitted that there have been changed neighborhood or community conditions and that a different use category would be more advantageous to the community.

There have been changed community conditions in this area within the last few years. The Willow Wood subdivision to the east of the site continues its expansion to the west. A new Regional Park has been designated for the property east of the subject site. The Sandia Science and Technology park represents yet another change in the area as does the development of the Costco and Home Depot stores located north of Southern Boulevard. The south Eubank area is experiencing growth in both residential and commercial and office uses.

The change from having multi-family residential units near the industrial park to locating them closer to Southern is advantageous to the community in that location next to the C-1 and Park uses would be preferable in terms of land use than having them located next to IP uses that are proposed for the industrial park. Several requests have been received by the Planning Department for annexation and establishment of IP zoning for parcels to the south of the subject site. In addition, a Master Plan for the Science and Technology Park is expected for review in the near future. These changes make the change in zoning more advantageous for the community and more compatible in for the surrounding area.

In addition, the zone change is consistent with Resolution 270-1980 in that the request is not in conflict with adopted elements of the Comprehensive Plan or other City master plans and amendments which

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have been adopted by the City. The request is not inconsistent with the health, safety, morals and general welfare of the City. By allowing this change, the residential portions of the site may be located in a more desirable setting, yet still give employees of the technology park, Kirtland Air Force Base and Sandia Laboratories the opportunity to live near their places of employment.

In the letter submitted with the application, the applicant mentions the Manzano Mesa Master Plan several times. This plan, which has been included with the packet, is not a City of Albuquerque adopted Master Plan. Rather, it is a plan prepared for Albuquerque Public Schools to establish zoning in the lands around south Eubank in an effort to facilitate the goal of selling portions of the property by 1990. This report was prepared in 1989 and contains the "highest and best" land use recommendations, preferred zoning classifications, and individual land use allocations. It is significant that some of these early determinations have already been amended and are no longer reflected as shown on the map contained within the master plan.

The applicant has justified the request for zone map amendment and staff recommends approval of this request.

#### **ANALYSIS**

##### **SITE PLAN FOR SUBDIVISION**

###### ***Conformance to Adopted Plans, Policies, and Ordinances***

The site plan for subdivision shows an accurate plan at a scale that matches 1 inch to 100 feet. A bar scale is provided but a scale stating that 1"=100' should be included on the plan. The site is shown on the east side of south Eubank and between the future La Entrada Avenue and Stephen Moody Street. The proposed uses are stated as multi-family residential uses for Tract G-3-A and multi-family residential uses for Tract C-3-B with requested zoning of SU-1 for R2 for both tracts. Proposed Tract H-1 is stated as SU-1 for O-1 Uses.

###### ***Pedestrian and Vehicular Access and Internal Circulation***

Pedestrian connections and circulation are shown on the site plan. Vehicular ingress and egress are shown on the plan with a full intersection shown at the boundary area of Tracts G-3-A and H-1. No pedestrian connection is shown between the two proposed multi-family residential complexes. This will be discussed in more detail in the analysis for site plans for building permit.

The plan states that internal circulation shall be developed in accordance with the individual site plans for building permit. Pedestrian access between the sites should be provided. This will be addressed in that portion of staff's analysis.

The appellant, Singing Arrow Neighborhood Association appealed the decisions of the EPC. The basis of the appeal is set forth on page 4 of the record. The appellant stated that "any type of development with this zoning density is highly detrimental to this area and should not be permitted to occur." The appellant stated that any high-density rental dwelling development will have considerable negative impact on the adjacent neighborhoods, Singing Arrow in particular. The appellant stated that "there are already too many vacant apartments less than one mile away from [the subject location]... and "statistics indicating a need for any form of rental dwellings are terribly inaccurate...." The appellant listed more work for APD due to drug and gang activity, more work for the Code Enforcement Team due to poorly maintained rental property, more calls for large item and unscheduled pick-up from Solid Waste and more federal money needed for CPTED programs for Singing Arrow Neighborhood as negative results from the proposed development. Finally, the appellant stated that this portion of Albuquerque is grossly over built in high-density rental property, the project is not needed, and should not be permitted to proceed.

The standard of appeal is as follows and R-270-1980, the City's zone map amendment policy, is attached to this report:

**Standard of Appeal**

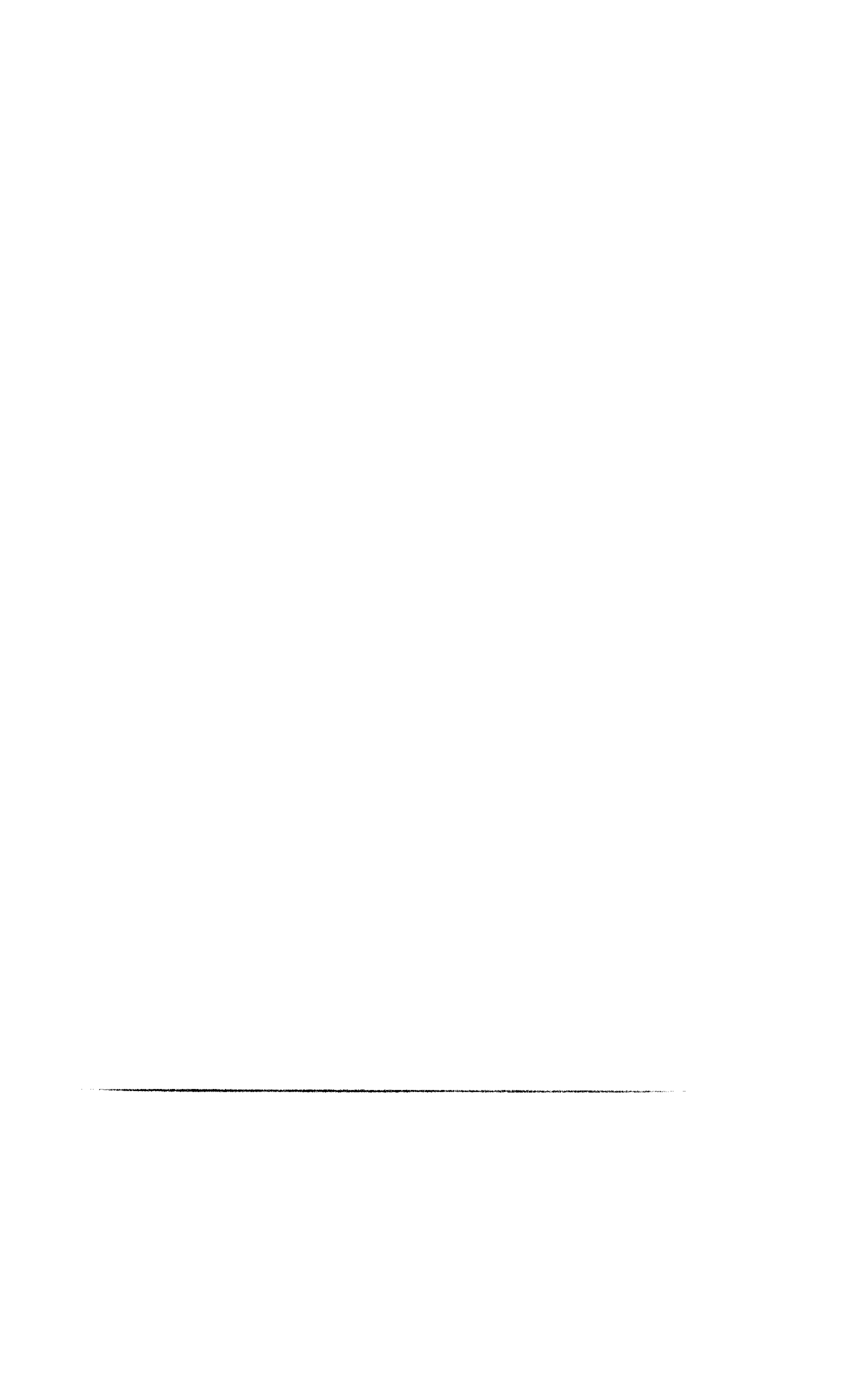
**The Council must determine if:**

- 1. The EPC made an error in applying adopted city plans, policies, and ordinances in arriving at its decision;**
- 2. There was an error in the EPC's decision including its stated facts; or**
- 3. The EPC acted arbitrarily or capriciously or it manifestly abused its discretion.**

The appellant appears to be raising issues about the current zoning and issues regarding density. The Council can review the those issues regarding density because the zoning is under consideration for this site, however, the applicant would be able to develop the density in question under the existing zoning. The appellant has not raised any specific issues regarding the site development plans.

If the Committee determines that the EPC properly decided the requests before it, the Committee may move that the appeal NOT BE HEARD, and must adopt findings consistent with the decision and supported by the record.

If the Committee determines that the EPC erred in approving the zone map amendment or its site plan approvals, the Committee should move that the appeal BE HEARD by the full Council, and no findings are necessary at this time.





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***Architectural and Landscape***

Building heights and setbacks will be pursuant to the R-2 or O-1 zoning, depending on the specific land use. The maximum floor area ratio for the O-1 will be 35. Landscape plans are developed for each of the two individual site plans for building permit and will be discussed in those analyses.

**ANALYSIS**

***SITE PLAN FOR BUILDING PERMIT for Manzano Mesa West***

***Conformance to Adopted Plans, Policies, and Ordinances***

This is a request for site development plan for building permit for a 224 unit multi-family residential development along Eubank Boulevard SE. It meets the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. There are no adopted sector plans for this area.

***Site Plan Layout / Configuration***

The West complex is situated along Eubank Boulevard and the future La Entrada Avenue. La Entrada Avenue should be labeled as such on the site plan for building permit. The layout of the complex consists of 14 separate multi-family structures containing 16 dwelling units per building and a 2400 square foot office/recreation building located adjacent to a swimming pool and outdoor, landscaped park/recreation space. The residential buildings contain even numbers of 1 and 2 bedroom units, according to the site plan.

***Vehicular Access, Circulation and Parking***

Vehicular access to the site is from one main entrance Eubank Boulevard at the southern end of the complex and two smaller entrances from La Entrada Avenue at the east and west ends of the complex. Staff did not observe any gates proposed at these entrances. Vehicular circulation is available throughout the site with 24-foot drive-aisles in all areas.

Vehicular parking for the site is ample and includes some garaged parking. The required number of vehicular parking spaces for the site is 404, including 12 for the 2400 square foot office/recreation room and 12 handicap spaces. Total parking provided for the site is 435, which includes 14 handicap spaces and 54-garaged spaces. The typical parking space is shown as 8.5-foot wide and 18-foot long. The standard size for a parking space is 9-foot wide and 20-foot long.

***Pedestrian and Bicycle Access and Circulation, Transit Access***

Pedestrian access is provided throughout the site and into the site from sidewalks along Eubank Boulevard and the future La Entrada Avenue. These sidewalks, as well as the internal walkways should be marked as 6-foot wide. Most of the areas where pedestrians will need to cross parking and driving areas are marked with crossing areas but some of these spaces show no cross walk areas. All crossing areas should provide a walkway from one pedestrian point to another



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that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.

Additionally, clearly marked and centrally located pedestrian access should be provided between this development and the proposed complex adjacent to this site. Pedestrian access should be provided to allow access from the East complex to Eubank without detouring around the block. This access would allow visitation between the inhabitants of the two developments. Also, access to the community park to the east of these developments would be made more convenient for the residents of the West complex if there were pedestrian access between the two developments.

Route #2, a local transit route, serves this area along Eubank Boulevard.

Bicycle access is available to the site through the access points mentioned above at Eubank and the future La Entrada Avenue. Bicycle parking has been provided with 15 bicycle racks located throughout the site, one for each building. One bicycle space per two dwelling units has been provided for this development, as required per the zone code.

#### ***Lighting and Security***

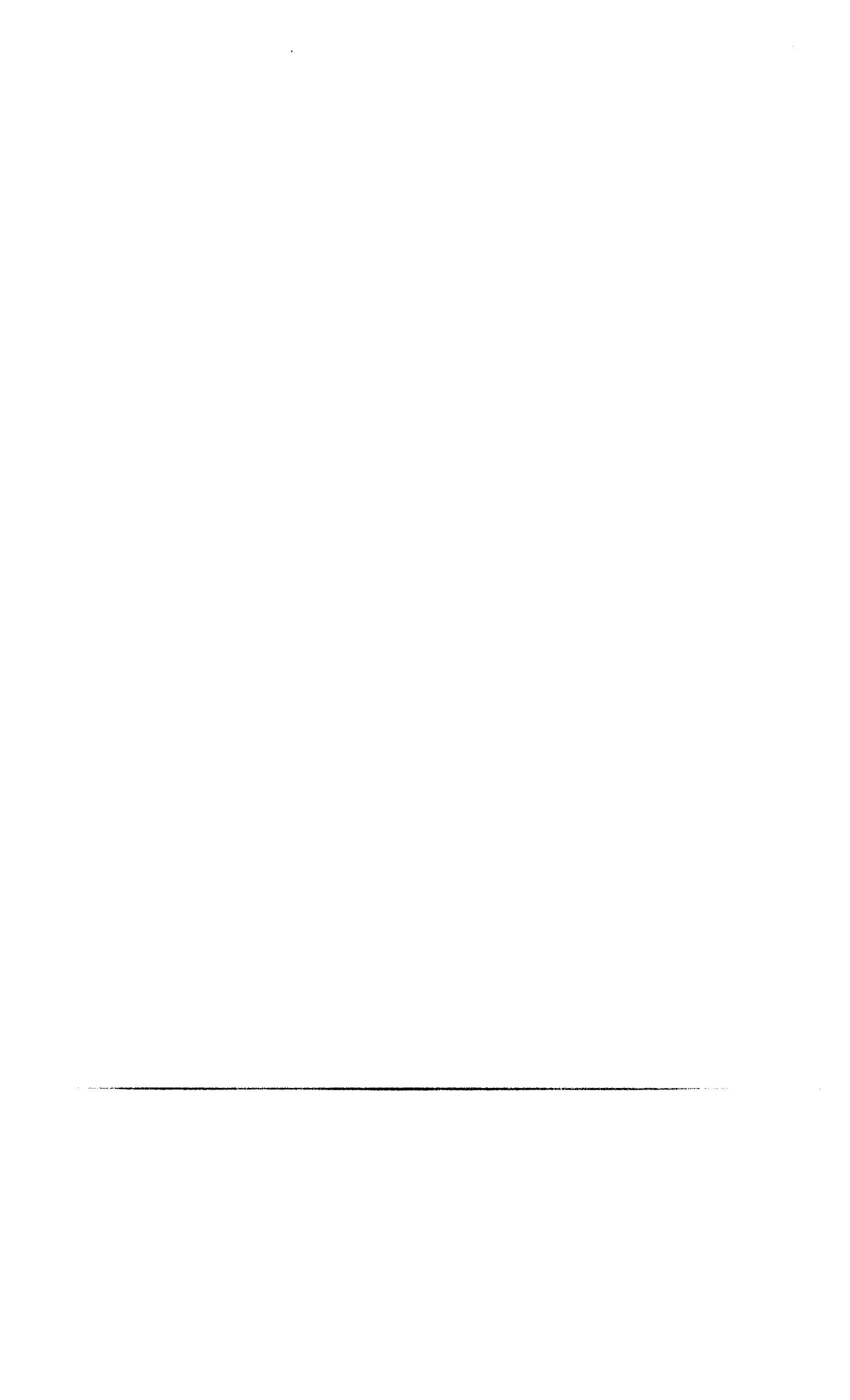
Under Design Guidelines for the Site Plan for Subdivision, notes 26 and 27 address lighting issues. As per these notes, lighting shall be limited to 16-feet in height and shall be fully shielded fixtures that prevent fugitive light. A lighting detail for the proposal has not been included with the submittal and should be provided prior to final DRB approval.

The site is enclosed by a 5-foot wall that consists of a mix of solid concrete block wall with standard CMU and split-face CMU combined and a wrought iron with split-face CMU combination. The area around the swimming pool has been surrounded with 6-foot high wrought iron fencing.

#### ***Landscaping***

The landscaping plan shows an attractive mix of plant materials that includes shade, flowering and ornamental trees along with some Austrian pine as well as a mix of deciduous and evergreen shrubs. Boston ivy is also shown as part of the plant palette. Oversized boulders and gravel are shown along with Santa Fe Tan gravel. Sod is mentioned as a groundcover in certain areas, however, the type of sod has not been provided on the plan. The species and type of sod should be included on the landscape plan. An on-site ponding area is shown as having crimp straw native seed planted within it and the entire area along the eastern wall of the complex. The type of seed should also be specified on the landscape plan.

Street trees have been adequately provided for. Unfortunately, 59 of these trees are to be of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local



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infestation of this beetle. Apparently this insect is prevalent in the area and is causing a significant amount of damage to all types of ash, but especially green ash. If ash trees are planted, there is a high likelihood that they will not become viable street/shade trees. The County Extension is recommending substitutions for ash in the form of London plane trees, Chinese pistache or Honey locust. In this case, since Honey locust are also being used for this landscape, Chinese pistache or London Plane or similar shade producing trees are recommended as substitutes.

The landscape plan shows a play and recreation area for the residents of the complex. This space is north of the office and swimming pool area and is shown as having a grassy area, sand volleyball pit and play area. A winding path is shown among the trees and shrubs east of the volleyball area. Tables or benches in this area would be an additional amenity for the resident's enjoyment. Also, only a small portion south and west of the play area is sod and the remainder of the space to the north is shown as gravel. Assuming the play area is for children, grassy spaces north of this area would be more beneficial to safe play and less conducive to skinned knees.

#### ***Grading, Drainage, Utility Plans***

A grading and drainage plan has been submitted for review by the Hydrology Division of the Public Works Department.

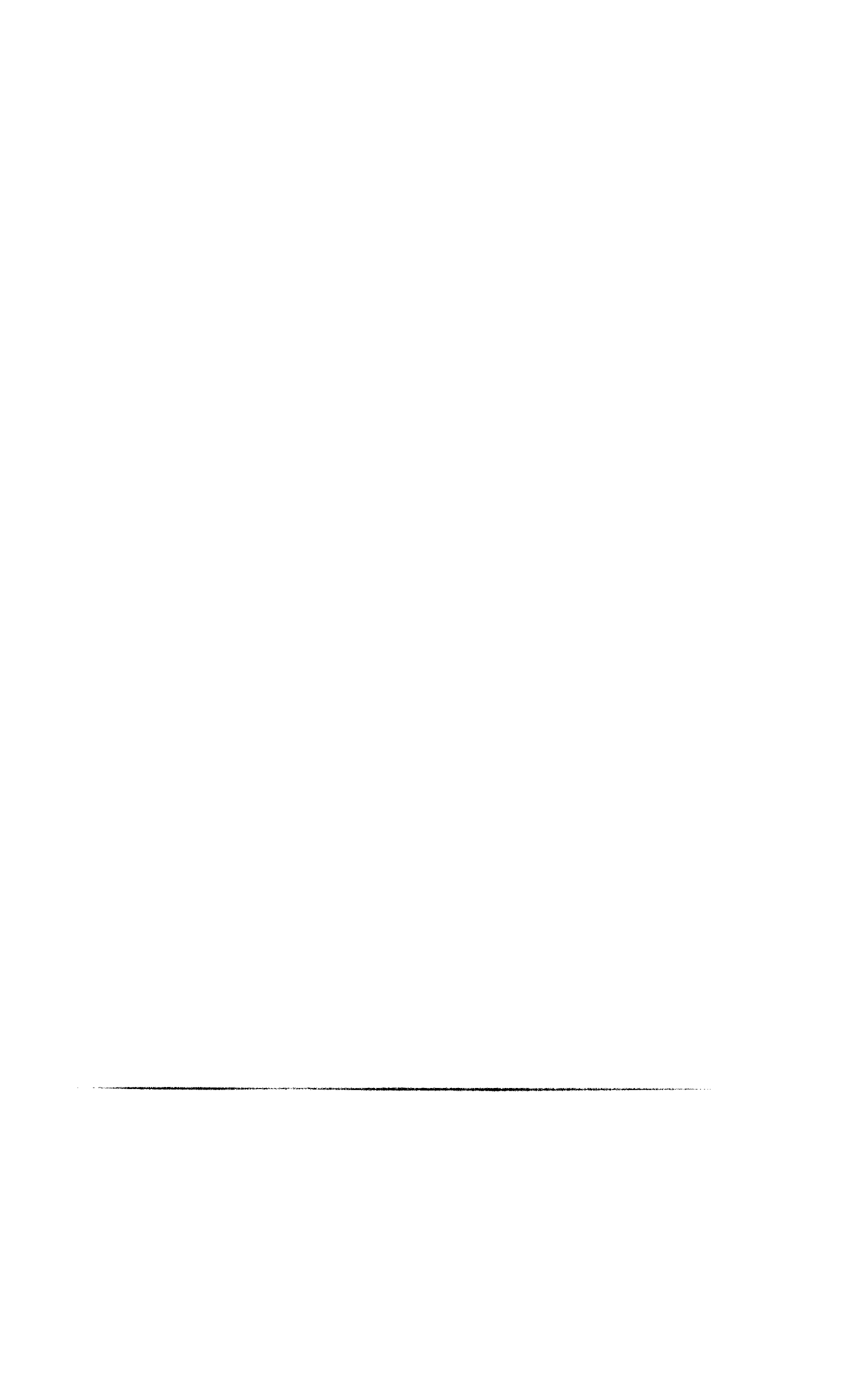
The Utility Development Division of Public Works states that the utility plan appears to show the private water system with illegal looping connection to public lines. Utility Division requires that this be corrected and that a water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action.

#### ***Architecture and Signage***

The buildings in this development are fairly rectangular in shape and shown as pueblo-style architecture with flat roofs, exposed wooden beams and stucco finish. Fourteen, two-story, sixteen-plex buildings are proposed with trellis covered balconies for the upper level dwellings and covered patios for the lower levels. The building heights are shown as 23-feet tall with 24-foot high chimneys. The stucco colors are called out on the plans as light beige, medium beige, and dark beige. The exposed wood beams will be stained with "complimentary colors" which are not called out. The office/recreation building is depicted as a one-story structure with the same pueblo-style architecture, stucco colors and exposed wood beam treatment. The entries are shades with covered porches and windows are treated with trellises above them.

No elevations are shown for the pool/equipment room. Elevations should be shown on the site plan.

Signage consists of one 2-foot high, stucco finished monument sign with 60 square feet of face and accented with split-face CMU. Lettering, colors, and content of the sign are not shown.



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***Concerns of Reviewing Agencies / Pre-Hearing Discussion***

The applicant was in attendance at the pre-hearing discussion.

***Neighborhood Concerns***

Staff received one phone call inquiry regarding the development.

***Conclusions***

The site plan for building permit meets the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. The plan is an attractive proposal for the area. With minor modifications as stated in the conditions of approval, staff recommends approval of this request.

**ANALYSIS**

***SITE PLAN FOR BUILDING PERMIT for Manzano Mesa East***

***Conformance to Adopted Plans, Policies, and Ordinances***

This is a request for site development plan for building permit for a 280 unit multi-family residential development along the future La Entrada Avenue SE and the future Stephen Moody Street SE. It meets the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. There are no adopted sector plans for this area.

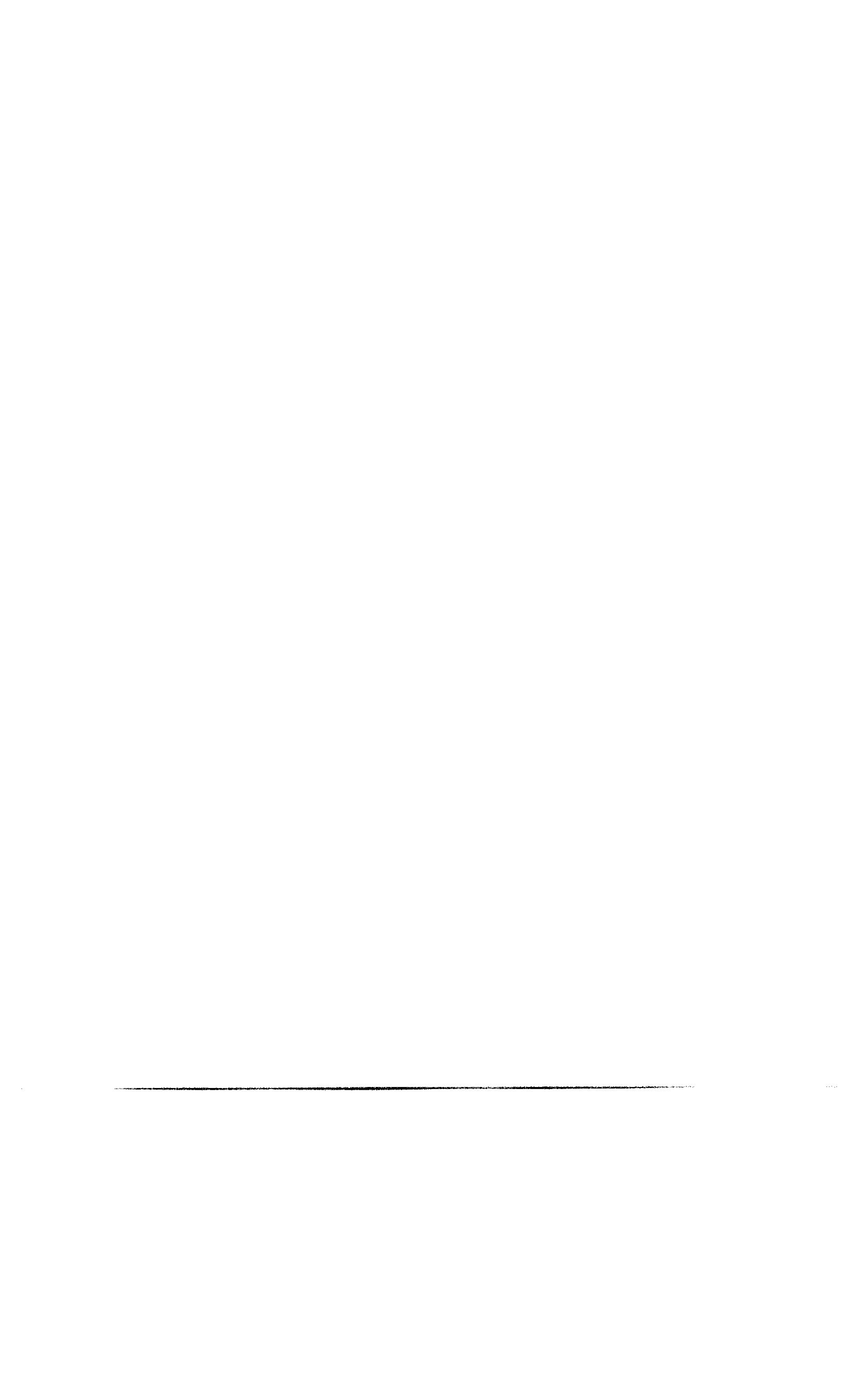
***Site Plan Layout / Configuration***

The site plan shows a layout of 14 clusters of fairly rectangular shaped buildings and one office/recreation building. The East complex is situated along the future La Entrada Avenue and Stephen Moody Street SE. La Entrada Avenue should be labeled as such on the site plan for building permit. The layout of the complex consists of 14 separate multi-family structures. Seven two-story structures contain 16 dwelling units per building and 7 three-story structures contain 24 dwelling units per building. Additionally, a 5194 square foot office/recreation building is located near the entrance to the complex adjacent to a swimming pool and outdoor, landscaped park space. The residential buildings contain even numbers of 1 and 2 bedroom units, according to the site plan.

***Vehicular Access, Circulation and Parking***

Vehicular access to the site is from the north at one entrance from the future La Entrada Avenue and the east from two entrances on Stephen Moody Street. The plan shows 24-foot drive aisles throughout the complex and circulation is fine throughout the site.

Required parking for the 280 unit complex is 502 spaces including 26 spaces for the 5194 square foot office/recreation building. The site plan shows spaces for 516 vehicles, including 66





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garaged spaces and 16 handicap spaces. The typical parking space is called out in size as 8.5-foot wide and 18-foot long. The usual size for parking spaces is 9-foot wide and 20-foot long.

***Pedestrian and Bicycle Access and Circulation, Transit Access***

Pedestrian access is provided throughout the site and into the site from sidewalks along the future La Entrada Avenue and Stephen Moody Street. These sidewalks, as well as the internal walkways should be marked as 6-foot wide. Areas where pedestrians will need to cross parking and driving areas should be marked with crossing areas. All crossing areas should provide a walkway from one pedestrian point to another that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.

Additionally, clearly marked and centrally located pedestrian access should be provided between this development and the proposed complex adjacent to this site. Pedestrian access should be provided to allow access from the East complex to Eubank without detouring around the block. This access would allow visitation between the inhabitants of the two developments. Also, access to the community park to the east of these developments would be made more convenient for the residents of the West complex if there were pedestrian access between the two developments.

Route #2, a local transit route, serves this area along Eubank Boulevard.

Bicycle access is available to the site through the access points mentioned above at the future La Entrada Avenue and Stephen Moody Street. Bicycle parking has been provided with 15 bicycle racks located throughout the site, one for each building. One bicycle space per two dwelling units has been provided for this development, as required per the zone code.

***Lighting and Security***

Under Design Guidelines for the Site Plan for Subdivision, notes 26 and 27 address lighting issues. As per these notes, lighting shall be limited to 16-feet in height and shall be fully shielded fixtures that prevent fugitive light. A lighting detail for the proposal has not been included with the submittal and should be provided prior to final DRB approval.

The site is enclosed by a 5-foot wall that consists of a mix of solid concrete block wall with standard CMU and split-face CMU combined and a wrought iron with split-face CMU combination. The area around the swimming pool has been surrounded with 6-foot high wrought iron fencing.

***Landscaping***

The landscaping plan is similar to the Manzano Mesa West and shows an identical plant palette. The site plan shows a mix of plant materials that include shade, flowering and ornamental trees along with some Austrian pine as well as a mix of deciduous and evergreen shrubs and vines. Oversized boulders and gravel are to be employed in the landscape as well as Santa Fe Tan gravel. Sod is mentioned as a groundcover in certain areas, however, the type of sod has not



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been provided on the plan. The species and type of sod should be included on the landscape plan. An on-site ponding area which corresponds with the ponding area of the development to the west is shown as having crimp straw native seed planted within it and much of the area along the western wall of the complex. The type of seed should also be specified on the landscape plan.

Street trees have been adequately provided for. Unfortunately, 46 of these trees are to be of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle. Apparently this insect is prevalent in the area and is causing a significant amount of damage to all types of ash, but especially green ash. If ash trees are planted, there is a high likelihood that they will not become viable street/shade trees. The County Extension is recommending substitutions for ash in the form of London plane trees, Chinese pistache or Honey locust. In this case, since Honey locust trees are also being used for this landscape, Chinese pistache or London Plane or similar shade producing trees are recommended as substitutes.

The landscape plan shows a park-like area for the residents of the complex. This space is west of the office and swimming pool area and is shown as having a sodded, grassy area. The species of sod should be called out on the landscape plan. Tables or benches in this area would be an additional amenity for the resident's enjoyment.

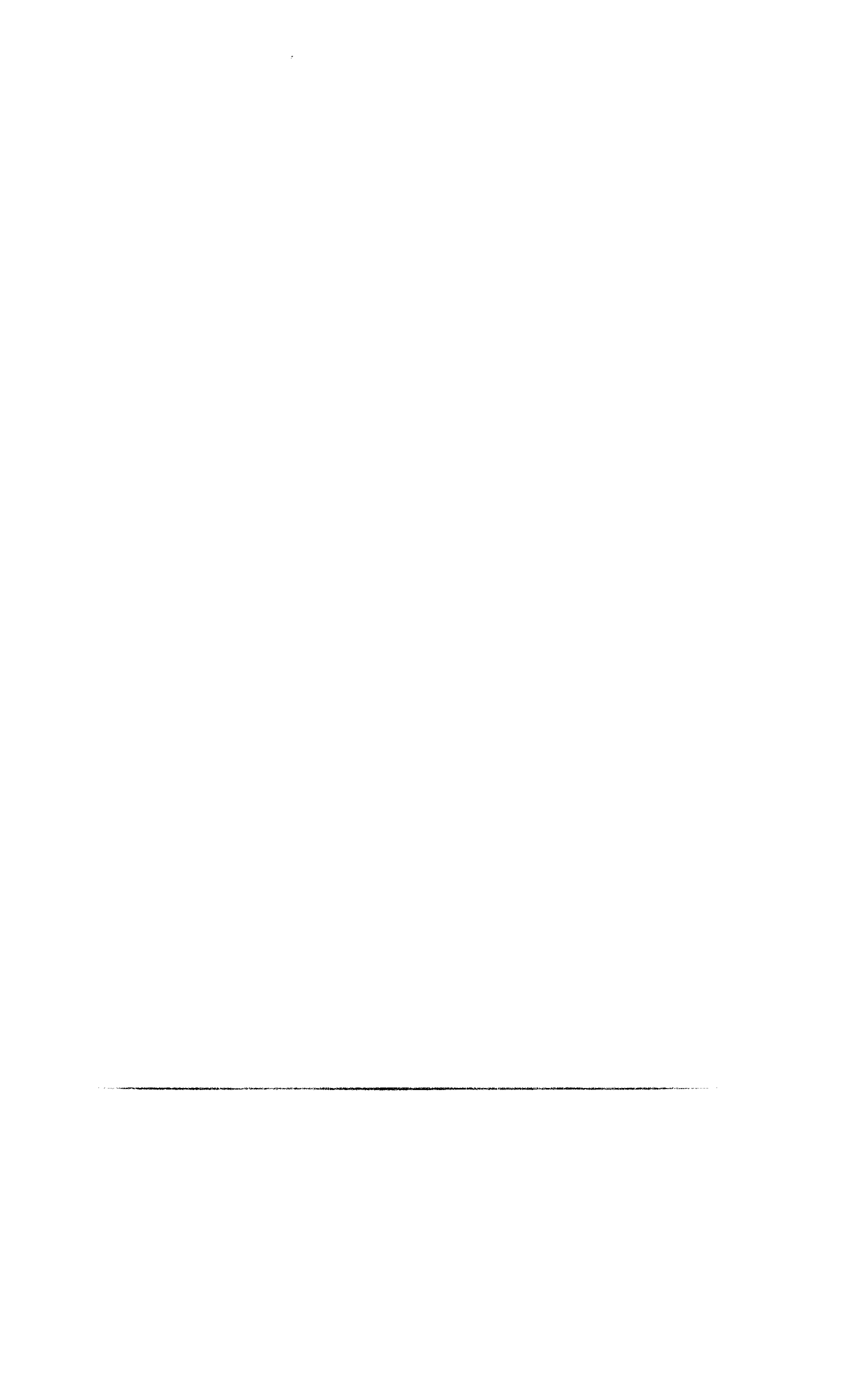
#### ***Grading, Drainage, Utility Plans***

A grading and drainage plan has been submitted for review by the Hydrology Division of the Public Works Department.

The Utility Development Division of Public Works states that the utility plan appears to show the private water system with illegal looping connection to public lines. Utility Division requires that this be corrected and that a water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action.

#### ***Architecture and Signage***

The elevations show a typical rectangular building of a contemporary ranch style. There are a total of 14 residential buildings and one office/recreational building. Seven of the buildings are three-story, containing 24 dwelling units each. Seven of the buildings are two-story, containing 16 dwelling units each. The units are shown with pitched, shingled roofing with gabled, covered, outdoor stairways with wrought iron guard rails. The type, color and material of the shingles are not specified. The structures are to be frame stucco in light beige, medium beige and dark beige. The two-story building heights are shown as 31-feet tall at the peak of the pitch of the roof. The three-story structures are 41-feet 6-inches at the peak of the pitch. The notes on the plan state that there will be exposed wood beams as part of the development but they are not



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called out on the elevations. The exposed wood beams shall be shown on the elevations and will be stained with "complimentary colors" which should be called out. The office/recreation building is depicted as a one-story structure with the same contemporary ranch style architecture. A wrought iron grid is shown as accent décor above windows and covered porches. Elevations are also shown for the pool/equipment room for this complex. These elevations depict flat-roof stucco structures that are 14-feet in height. The pool/equipment room is depicted in a similar fashion with a flat-roof, stucco structure that is 12-feet in height with wrought iron fencing behind and beyond to enclose to pool area.

Requested signage consists of 18-inch high by 24-inches wide aluminum signs with acrylic letters mounted on a wood trim back. Notes on Sheet 7 state that the trim is to be painted to match siding, but staff is unclear as to what siding is meant and what color that might be. These signs are to display the building designations and apartment numbers. No signage for the complex itself is shown or requested.

***Concerns of Reviewing Agencies / Pre-Hearing Discussion***

The applicant was in attendance at the pre-hearing discussion.

Transportation Planning had concerns regarding the site plans and wanted additional and definitive information about the Eubank Boulevard right-of-way. The applicant met with staff and submitted plans that meet the concerns of this agency.

Parks and Recreation comments that the Trails & Bikeways Facility Plan proposes a Primary Trail along the east side of Eubank Blvd. in this location and that they will require construction of a 10' asphalt trail in-lieu of sidewalk. Additionally, allow for at least 5' of separation between the trail and face of curb and a minimum of 3' between the trail and wall or other vertical element. Landscaping improvements along the asphalt trail must not encroach on the trail itself. Trees must be a minimum of 3' away from the trail and shrubs, at their mature spread and must not encroach on the trail. The proposed landscaping along Eubank appears to encroach into the sidewalk/trail area. Therefore, design of the trail should be coordinated with the Trails Planner Diane Scena.

***Neighborhood Concerns***

Staff received on phone call inquiry regarding this proposal.

***Conclusions***

The site plan for building permit meets the requirements of the applicable city policies and plans for this area and will provide further multi-family housing for a growing area of the city. With minor modifications as stated in the conditions of approval, staff recommends approval of this request.

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***FINDINGS – 00110-00000-01644 – January 18, 2001 – Zone Map Amendment***

1. This is a request for a zone map amendment for Tract H and Tract G-3, Manzano Mesa Addition.
2. The request meets the requirements of applicable City plans and policies.
3. The request has been justified under Resolution 270-1980 by the applicant under the changed community conditions and the more advantageous to the community policies.
4. A site plan accompanies this request for SU-1 zoning.

***RECOMMENDATION - 00110-00000-01644 – January 18, 2001 – Zone Map Amendment***

**APPROVAL of 00110-00000-01644 a request for a zone map amendment for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Condition of Approval.**

***CONDITIONS OF APPROVAL - 00110-00000-01644 – January 18, 2001 – Zone Map Amendment***

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines.





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***FINDINGS – 00128-00000-01645 – January 18, 2001 – Site Plan for Subdivision***

1. This is a request for a site plan for subdivision for Tracts H and G-3, an approximately 36.3 acre site and which is located on Eubank Boulevard south of Southern SE. The intent is to subdivide into three new tracts to be called Tract G-3-A, Tract G-3-B and Tract H-1.
2. A site plan for subdivision is required for approval of SU-1 zoning.
3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
4. The site development plan for subdivision meets all of the requirements of the Zoning Code.

***RECOMMENDATION - 00128-00000-01645 – January 18, 2001 – Site Plan for Subdivision***

**APPROVAL of 00128-00000-01645 a request for a site plan for subdivision for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

***FINDINGS – 00110-00000-01646 – January 18, 2001 – Site Plan for Building Permit (West)***

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.

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3. Gates are not proposed at the entrances to the apartment complex.
  4. The standard size for a parking space is 9-feet wide and 20-feet long. Parking spaces shown on the current submittal are 8.5-feet wide by 18-feet long.
  5. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.
  6. The submittal will be adequate with some changes and additions.

**RECOMMENDATION - 00110-00000-01646 – January 18, 2001 – Site Plan for Building Permit (West)**

**APPROVAL of 00110-00000-01646 a request for a site plan for building permit for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

**CONDITIONS OF APPROVAL - 00110-00000-01646 – January 18, 2001 – Site Plan for Building Permit (West)**

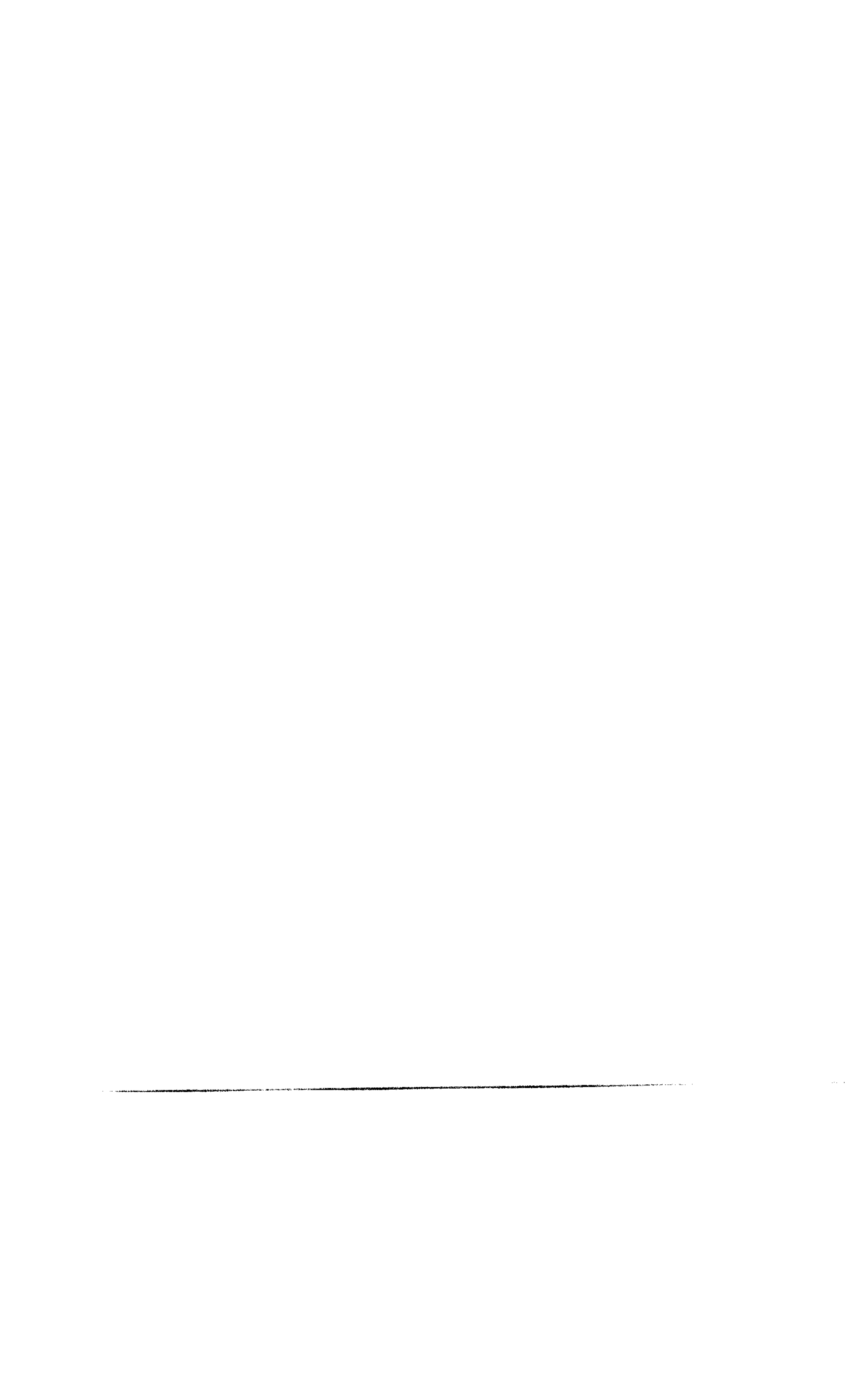
1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.

**CHAPTER 1: LAND USE / ARTICLE 1: GENERAL PROVISIONS / § 1-1-2  
POLICIES FOR ZONE MAP CHANGE APPLICATIONS.**

**§ 1-1-2 POLICIES FOR ZONE MAP CHANGE APPLICATIONS.**

The following policies for deciding zone map change applications pursuant to the Comprehensive City Zoning Code are hereby adopted:

- (A) A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the city.
- (B) Stability of land use and zoning is desirable; therefore the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the city to show why the change should not be made.
- (C) A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other city master plans and amendments there, to, including privately developed area plans which have been adopted by the city.
- (D) The applicant must demonstrate that the existing zoning is inappropriate because:
  - (1) There was an error when the existing zone map pattern was created; or
  - (2) Changed neighborhood or community conditions justify the change; or
  - (3) A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other city master plan, even though (D)(1) or (D)(2) above do not apply.
- (E) A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood, or the community.
- (F) A proposed zone change which, to be utilized through land development, requires major and unprogrammed capital expenditures by the city may be:
  - (1) Denied due to lack of capital funds; or
  - (2) Granted with the implicit understanding that the city is not bound to provide the capital improvements on any special schedule.
- (G) The cost of land or other economic considerations pertaining to the applicant shall



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3. All exterior sidewalks and internal walkways shall be marked as a minimum 6-foot wide on the site plan.
  4. All crossing areas shall provide a walkway from one pedestrian point to another that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.
  5. Clearly marked and centrally located pedestrian access shall be provided between this development and the proposed apartment complex adjacent to this site.
  6. A lighting detail for the proposal shall be included on the site plan and shall be provided prior to final DRB approval.
  7. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
  8. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
  9. Lettering, colors, and content of the monument sign shall be shown on the site plan for building permit.
  10. The pool and equipment room elevations shall be shown on the site plan.

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11. Parking space dimensions shall be 9-feet wide and 20-feet long and shall be noted as such on the site plan.
  
  12. Design of the trail along Eubank in this area shall be coordinated with the Trails Planner Diane Scena.

***FINDINGS – 00110-00000-01647 – January 18, 2001 – Site Plan for Building Permit (East)***

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
  
2. The submittal will be adequate with some minor changes and additions.
  
3. Gates are not proposed at the entrances to the apartment complex.
  
4. The standard size for a parking space is 9-feet wide and 20-feet long. Parking spaces shown on the current submittal are 8.5-feet wide by 18-feet long.
  
5. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.



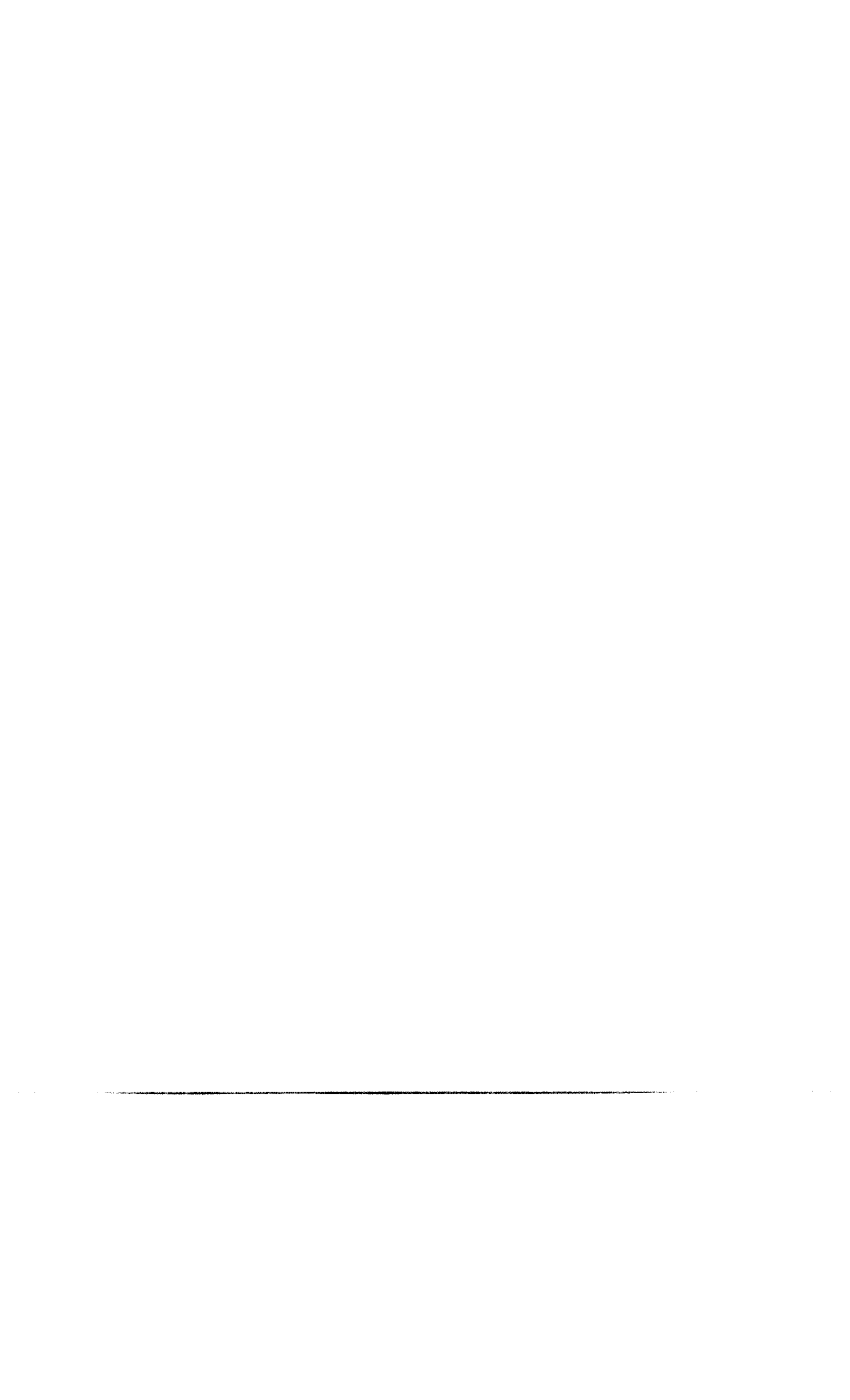
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**RECOMMENDATION - 00110-00000-01647 - January 18, 2001 - Site Plan for Building Permit (East)**

**APPROVAL DENIAL DEFERRAL of 00110-00000-01647 a request for a site plan for building permit for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

**CONDITIONS OF APPROVAL - 00110-00000-01647 - January 18, 2001 - Site Plan for Building Permit (East)**

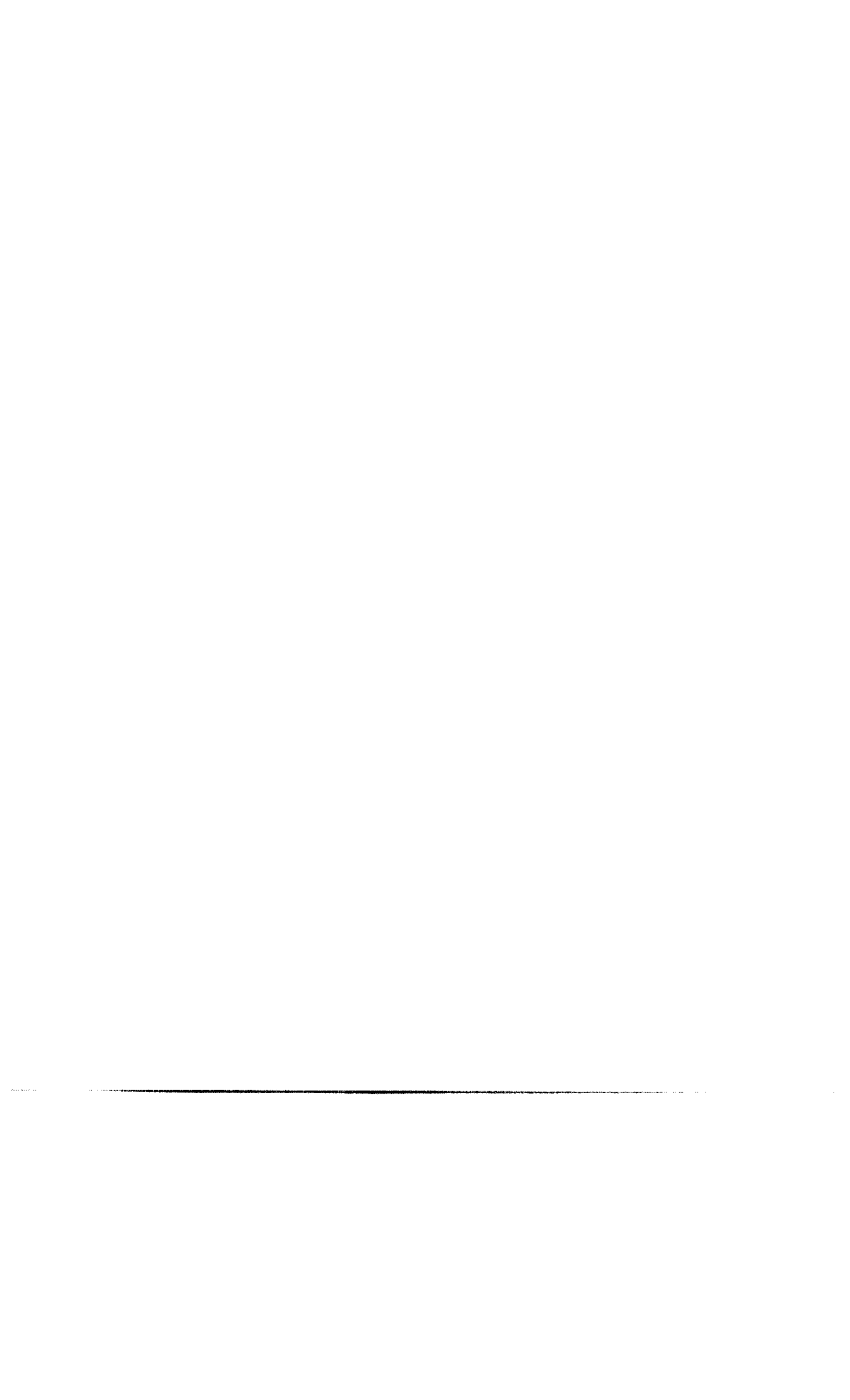
1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. All parking space dimensions shall be called out as 9-feet wide and 20-feet long.
3. La Entrada Avenue shall be labeled as such on the site plan for building permit.
4. All exterior sidewalks and internal walkways shall be marked as 6-foot wide on the site plan.
5. All crossing areas shall provide a walkway from one pedestrian point to another that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.
6. Clearly marked and centrally located pedestrian access shall be provided between this development and the proposed complex adjacent to this site.



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7. A lighting detail for the proposal shall be included on the site plan and shall be provided prior to final DRB approval.
  8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
  9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
  10. The type, color and material of the shingles shall be specified on the site plan.
  11. Notes regarding the signage for this property shall state what siding is proposed on Sheet 7 and state what colors and materials will be used for the signage.
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***Deborah L. Stover  
Planner***

cc: GSL Properties, Inc., 2164 S.W. Park Place, Portland, Or 97205  
Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102



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The apartment complex to the east was originally shown as having shingled roofing material. In an effort to provide a more contextual product the roofing material has been modified to aluminum, galvanized metal roof as a nod to a territorial style. The color has not been called out on the plans and should be noted.

***Neighborhood Meeting***

A facilitated meeting was held on January 25, 2001. A copy of the report is included in the packet. Neighbors raised issues regarding the aesthetics of the apartment buildings and other neighbors expressed concern that more apartments are not needed in this area. Another facilitated meeting is being held at 5:30 p.m., February 1, 2001. Staff will provide a copy of the report for that meeting prior to the February 8 meeting of the EPC.

***Concerns of Reviewing Agencies/Neighborhood Concerns***

No additional comments were received from reviewing agencies.

No phone calls or letters from neighbors have been received by staff since the hearing on January 18, 2001.

***Conclusion***

The applicant has justified the zone map amendment request. The site plan for subdivision is adequate. The site plans for building permit meet the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. The plan is an attractive proposal for the area. With minor modifications as stated in the conditions of approval, staff recommends approval of this request.

***FINDINGS – 00110-00000-01644 – February 8, 2001 – Zone Map Amendment***

1. This is a request for a zone map amendment for Tract H and Tract G-3, Manzano Mesa Addition.
2. The request meets the requirements of applicable City plans and policies.





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## EPC ACTION JANUARY 18, 2001:

On January 18, 2001, the Environmental Planning Commission voted to continue 00110 00000 01644/00128 00000 01645/00128 00000 01646/00128 00000 01647 to the Environmental Planning Commission Public Hearing on February 8, 2001.

## UPDATED STAFF COMMENTS FOR FEBRUARY 8, 2001

This case was heard by the Environmental Planning Commission on January 18, 2001. It is a request for a zone map amendment, approval for site plan for subdivision and approval for two site plans for building permit for two separate multi-family residential complexes. The zone change request is not inconsistent with the existing zoning on the subject site, but if approved would move the residential area to the north of the parcels and the office uses to the southern portion of the area, nearer the proposed technology park. The proposed subdivision creates three tracts from the existing two. The request is consistent with applicable policies and plans.

The EPC ordered a continuance of this case in order to allow the applicant to make changes to the site plan and to meet with neighborhood residents to discuss issues that arose at the January 18 hearing. A new site plan has been submitted that addresses the EPC's concerns regarding access between the adjoining apartment complexes, contextual appropriateness of the elevations for the east complex and articulation of the garages.

### *Access*

Access has been made available between the two complexes by providing two separate walkways at either end of the dividing wall. The connections are shown on both the site plan for subdivision and the site plans for building permit. Both access points are proposed to be 6-feet wide with gates provided and are connected by continuous 6-foot sidewalks. A detail of the gate showing colors and materials should be provided prior to DRB approval. One connection is near the southern portion of the sites and follows a fairly direct path between apartment units to the sidewalk on Stephen Moody Street. The other connection is in the northern portion of the site and follows a fairly circuitous route past the play area on the east side and around buildings to the office and onto Stephen Moody Street. Both are clearly marked as pedestrian connections and provide access for residents of both complexes to the park and to Eubank Boulevard. These connections are an improvement over the previous plan and satisfy one of the EPC's concerns about the submittal.

### *Architectural Context and Garages*

At the January 18 hearing, the EPC expressed concern regarding the placement of garages next to the walled area of the apartment complexes. The garages have been modified to a height of 12-feet from the original 14-feet. Further articulation of the walls should be employed to reduce the blank façade presented by these structures.



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The apartment complex to the east was originally shown as having shingled roofing material. In an effort to provide a more contextual product the roofing material has been modified to aluminum, galvanized metal roof as a nod to a territorial style. The color has not been called out on the plans and should be noted.

***Neighborhood Meeting***

A facilitated meeting was held on January 25, 2001. A copy of the report is included in the packet. Neighbors raised issues regarding the aesthetics of the apartment buildings and other neighbors expressed concern that more apartments are not needed in this area. Another facilitated meeting is being held at 5:30 p.m., February 1, 2001. Staff will provide a copy of the report for that meeting prior to the February 8 meeting of the EPC.

***Concerns of Reviewing Agencies/Neighborhood Concerns***

No additional comments were received from reviewing agencies.

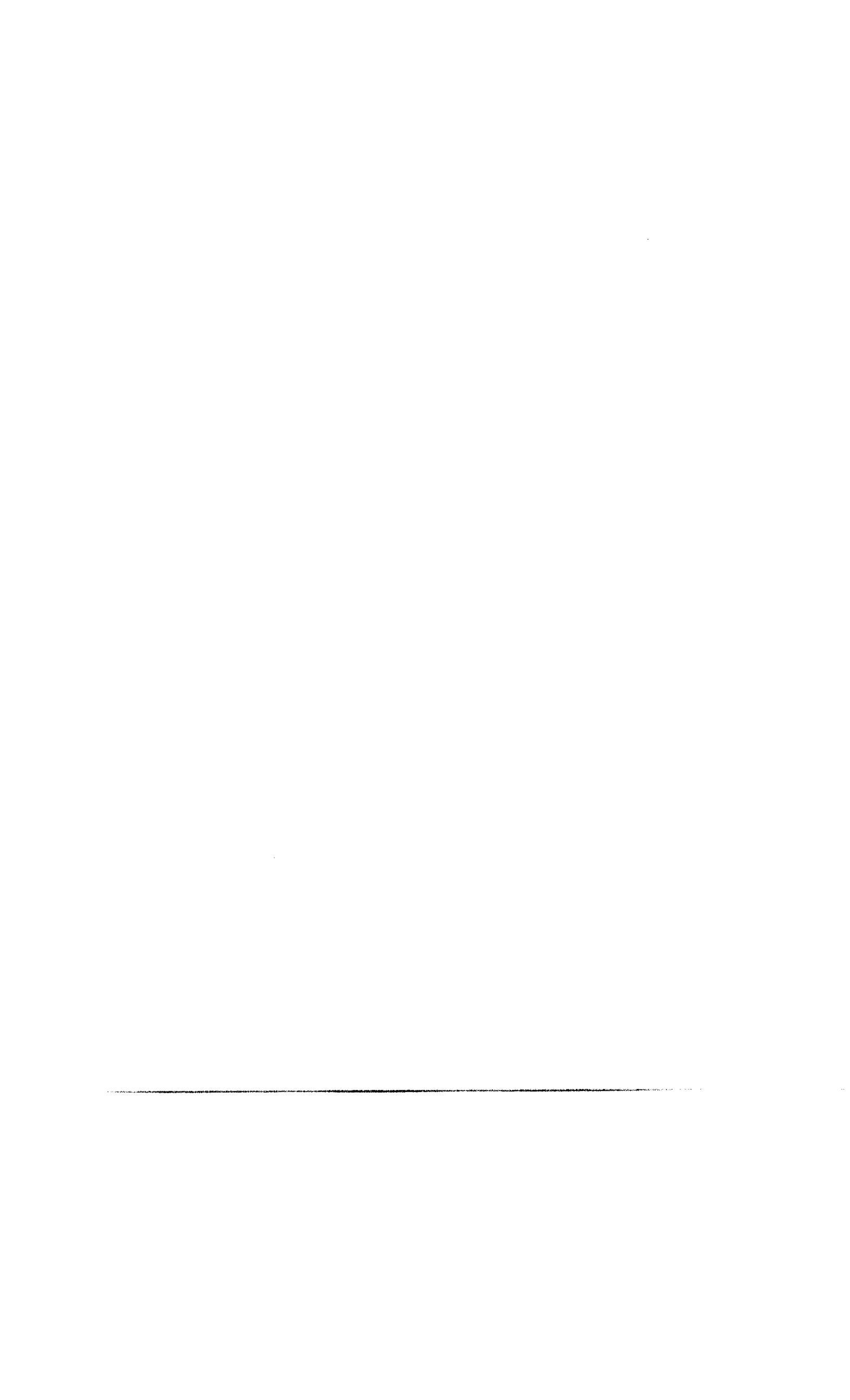
No phone calls or letters from neighbors have been received by staff since the hearing on January 18, 2001.

***Conclusion***

The applicant has justified the zone map amendment request. The site plan for subdivision is adequate. The site plans for building permit meet the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. The plan is an attractive proposal for the area. With minor modifications as stated in the conditions of approval, staff recommends approval of this request.

***FINDINGS – 00110-00000-01644 – February 8, 2001 – Zone Map Amendment***

1. This is a request for a zone map amendment for Tract H and Tract G-3, Manzano Mesa Addition.
2. The request meets the requirements of applicable City plans and policies.



- 
3. The request has been justified under Resolution 270-1980 by the applicant under the changed community conditions and the more advantageous to the community policies.
  4. A site plan accompanies this request for SU-1 zoning.

***RECOMMENDATION - 00110-00000-01644 – February 8, 2001 – Zone Map Amendment***

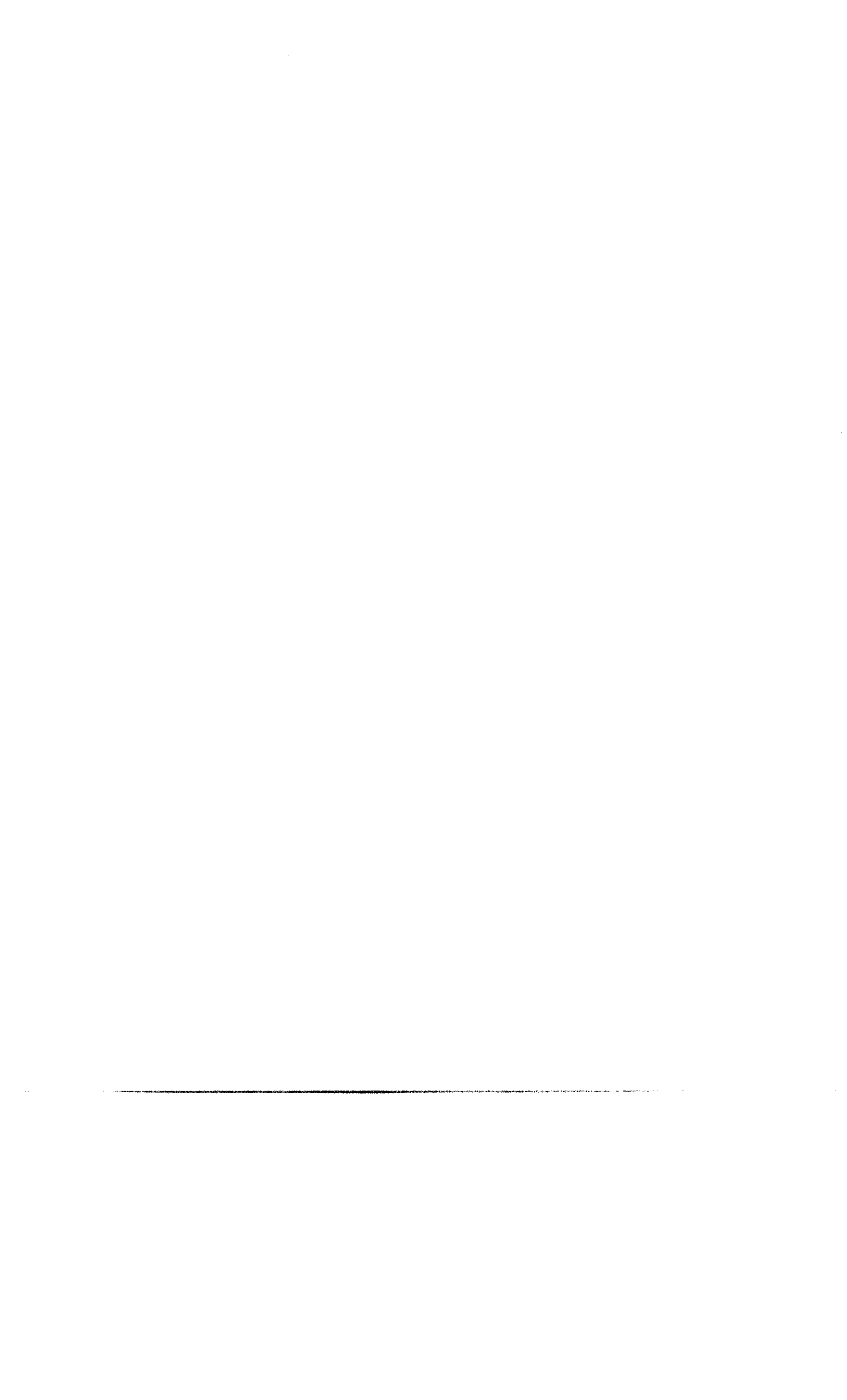
**APPROVAL of 00110-00000-01644 a request for a zone map amendment from SU-1 for O-1, SU-1 for R-2 to SU-1 for R-2, SU-1 for O1 for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Condition of Approval.**

***CONDITIONS OF APPROVAL - 00110-00000-01644 – February 8, 2001 – Zone Map Amendment***

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines.

***FINDINGS – 00128-00000-01645 – February 8, 2001 – Site Plan for Subdivision***

1. This is a request for a site plan for subdivision for Tracts H and G-3, an approximately 36.3 acre site and which is located on Eubank Boulevard south of Southern SE. The intent is to subdivide into three new tracts to be called Tract G-3-A, Tract G-3-B and Tract H-1.
2. A site plan for subdivision is required for approval of SU-1 zoning.



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3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
  
  4. The site development plan for subdivision meets all of the requirements of the Zoning Code.

***RECOMMENDATION - 00128-00000-01645 - February 8, 2001 - Site Plan for Subdivision***

**APPROVAL of 00128-00000-01645 a request for a site plan for subdivision for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

***FINDINGS - 00110-00000-01646 - February 8, 2001 - Site Plan for Building Permit (West)***

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
  
2. The submittal will be adequate with some minor changes and additions.
  
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed for the connections between the two complexes.
  
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.





- 
5. The submittal will be adequate with some changes and additions.

***RECOMMENDATION - 00110-00000-01646 – February 8, 2001 – Site Plan for Building Permit (West)***

**APPROVAL of 00110-00000-01646 a request for a site plan for building permit for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

***CONDITIONS OF APPROVAL - 00110-00000-01646 – February 8, 2001 – Site Plan for Building Permit (West)***

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
3. All exterior sidewalks and internal walkways shall be marked as a minimum 6-foot wide on the site plan.
4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.

EC-01-273

Mayor's Recommendation of Bentley & Associates, LLC to Provide Auctioneer Services for the Disposal and Salvage of City Property

Councillor Kline moved that this matter be Accepted with a recommendation Be Approved. Seconded. The motion carried by the following vote:

For: 9 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema, McEntee, Payne and Brasher  
Against: 0

R-01-252

Authorizing Mayor to Accept a Grant from U.S. Dept. of Energy, Public Services Company of NM Alternative Fuels Program and Various Motor Companies for 5th Annual 12 Western States Clean Cities Meeting; Appropriating Funds to Legal Department (Yntema)

Councillor Kline moved that this matter be Accepted with a Recommendation Do Pass. Seconded. The motion carried by the following vote:

For: 9 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema, McEntee, Payne and Brasher  
Against: 0

Councillor Kline moved that the Committee Reports (Exhibits 1-18) be accepted. Seconded. The motion carried by the following vote:

For: 9 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema, McEntee, Payne and Brasher  
Against: 0

**Land Use, Planning and Zoning Committee - April 25, 2001**

AC-01-08

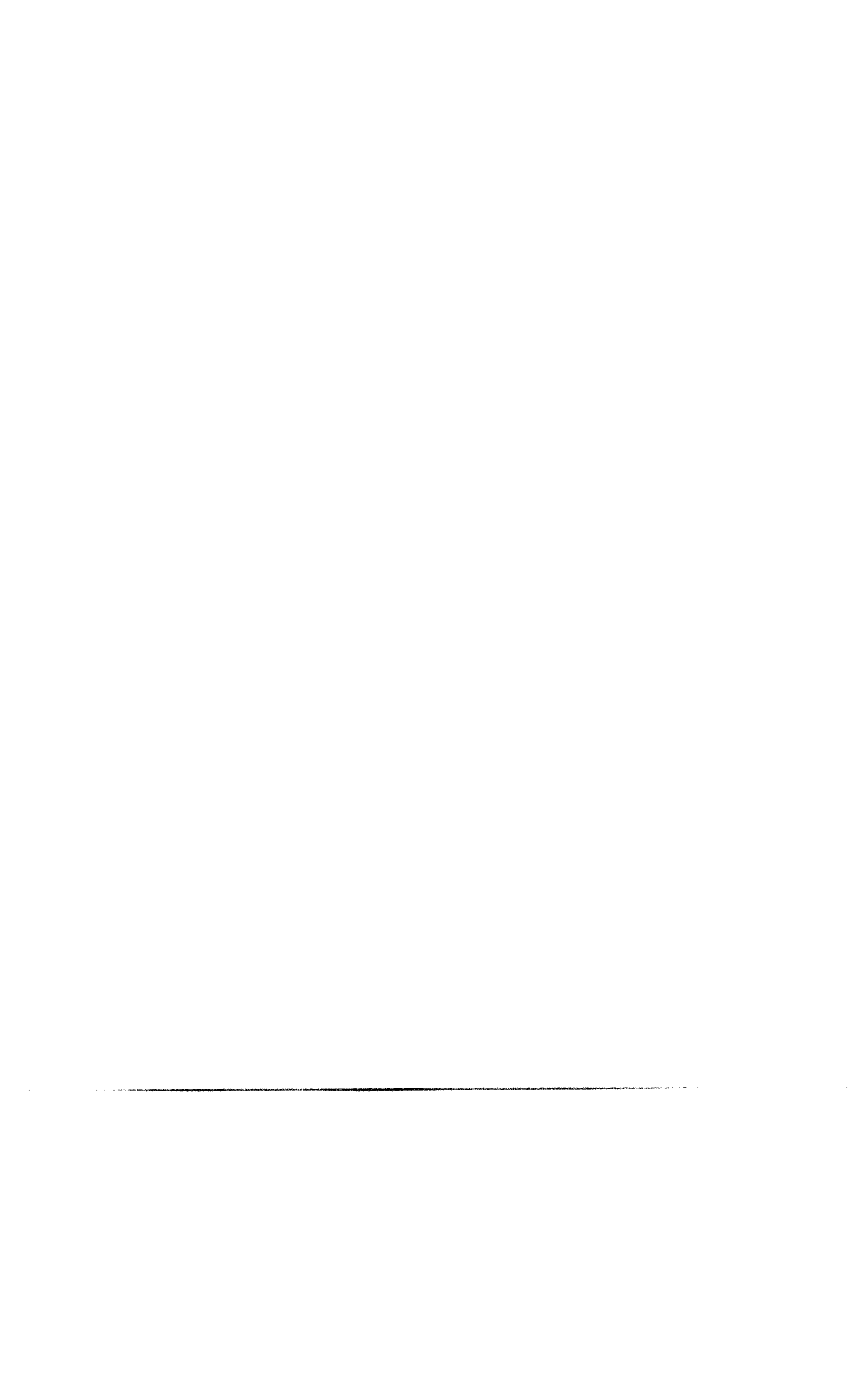
Philip York, Agent for Singing Arrow NA - Appeals the EPC's Approvals of Zone Map Amendment, Site Plan for Subdivision and Site Plans for Building Permit; Located on Eubank SE Between Central Avenue SE and Sandia National Labs SE

Councillor McEntee moved that this matter be Accepted with a recommendation Not Be Heard. Seconded. The motion carried by the following vote:

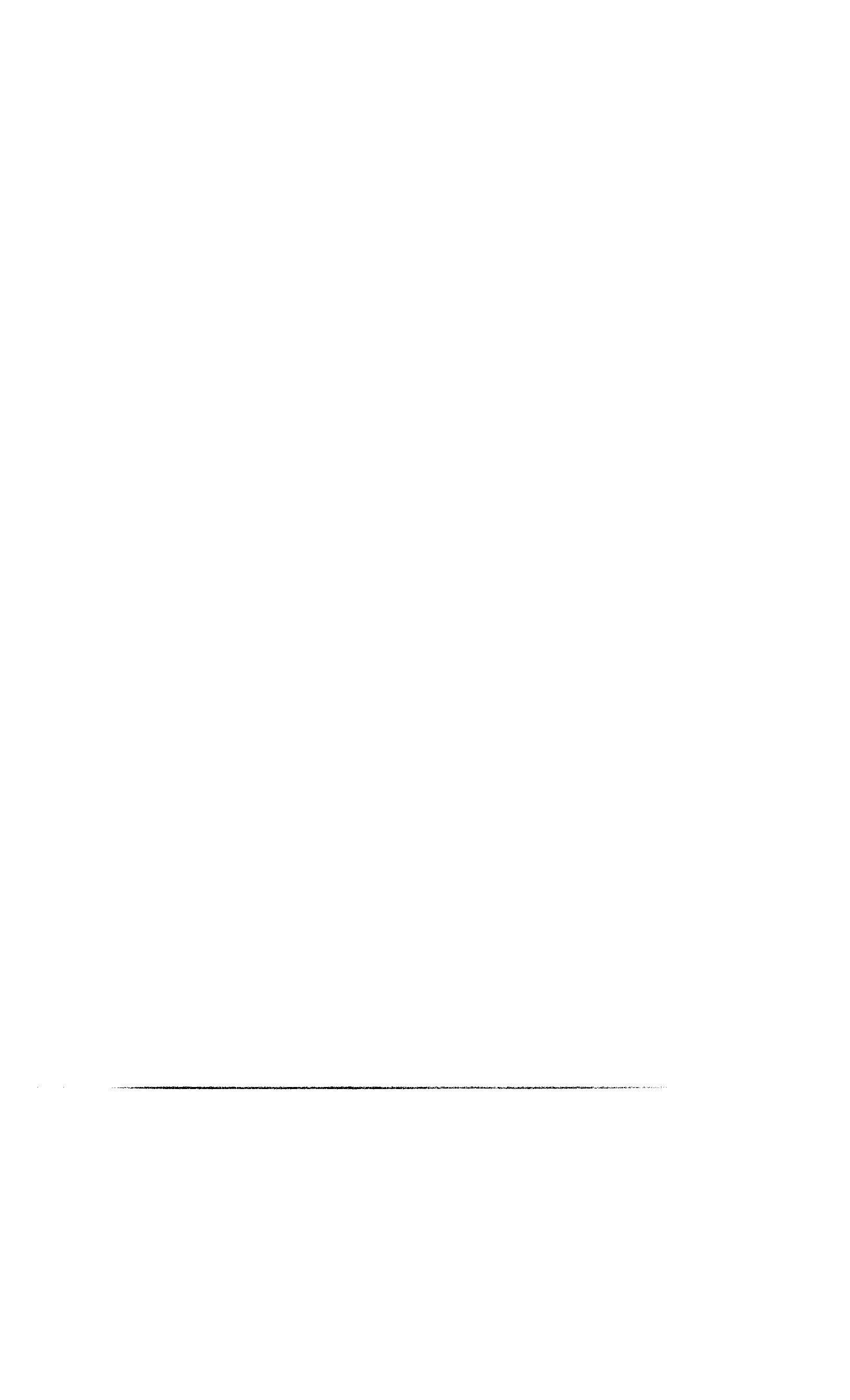
For: 9 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema, McEntee, Payne and Brasher  
Against: 0

Councillor McEntee moved that the Committee Report (Exhibit 19) be accepted. Seconded. The motion carried by the following vote:

For: 9 - Council Members: Winter, Hundley, Armijo, Griego, Kline, Yntema, McEntee, Payne and Brasher  
Against: 0



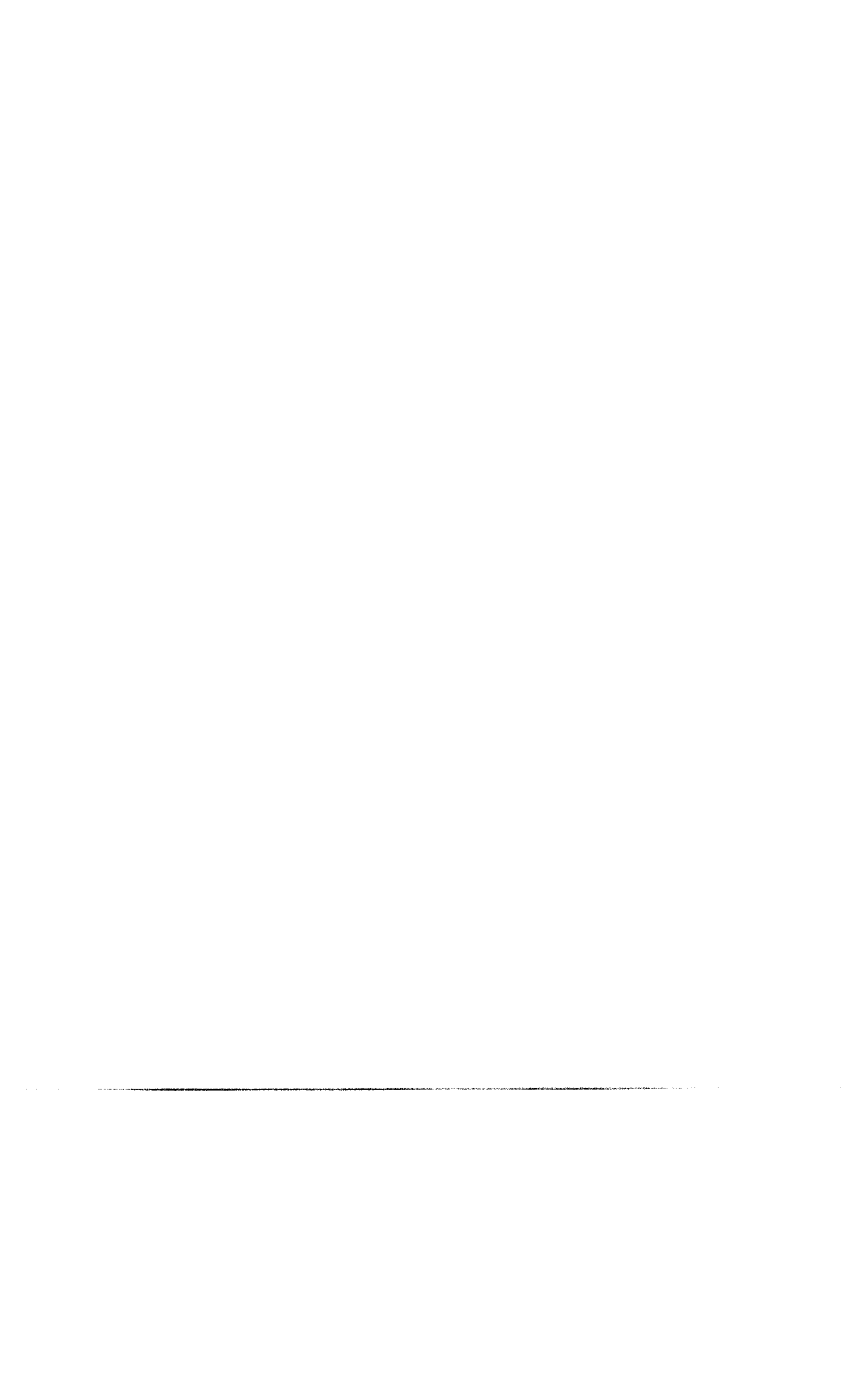
- 
6. Clearly marked and centrally located pedestrian access shall be provided between this development and the proposed apartment complex adjacent to this site.
  
  7. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
  
  8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
  
  9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
  
  10. Lettering, colors, and content of the monument sign shall be shown on the site plan for building permit.
  
  11. Pool and equipment room elevations that compliment the architecture of the apartment buildings shall be shown on the site plan.
  
  12. Design of the trail along Eubank in this area shall be coordinated with the Trails Planner Diane Scena.
  
  13. A detail of the gate showing colors and materials shall be provided prior to DRB approval.



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14. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
  
  15. No chainlink, razor wire or plastic/vinyl fencing is permitted.
  
  16. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
  
  17. All walls must conform to the City's Wall Design Standards publication.

***FINDINGS – 00110-00000-01647 – February 8, 2001 – Site Plan for Building Permit (East)***

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
  
2. The submittal will be adequate with some minor changes and additions.
  
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed at the connections between the two complexes.





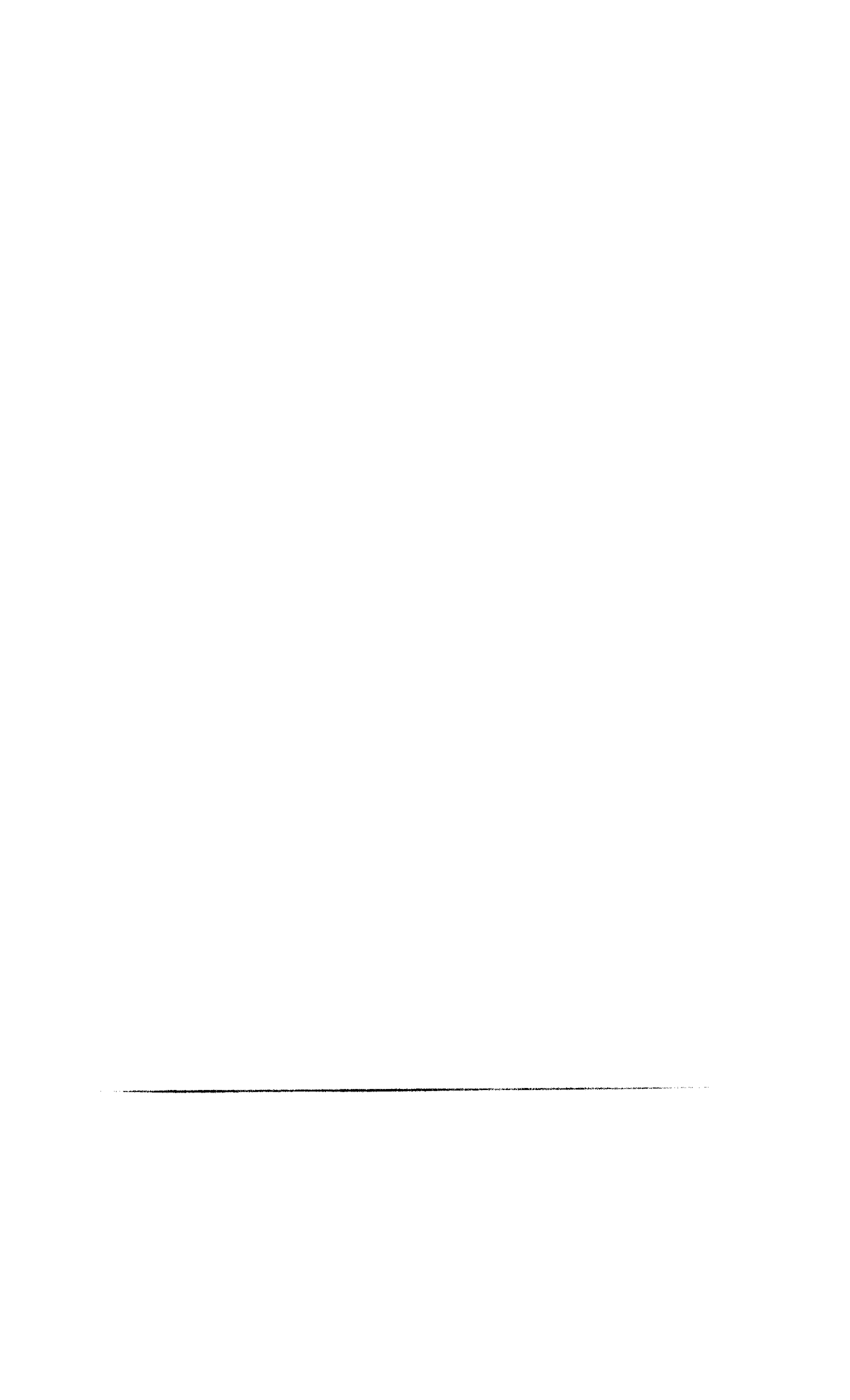
- 
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.

**RECOMMENDATION - 00110-00000-01647 – February 8, 2001 – Site Plan for Building Permit (East)**

**APPROVAL of 00110-00000-01647 a request for a site plan for building permit for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

**CONDITIONS OF APPROVAL - 00110-00000-01647 – February 8, 2001 – Site Plan for Building Permit (East)**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
3. All exterior sidewalks and internal walkways shall be marked as 6-foot wide on the site plan.
4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.



- 
5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
  
  5. Clearly marked and centrally located pedestrian access shall be provided between this development and the proposed complex adjacent to this site.
  
  6. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
  
  7. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
  
  8. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
  
  9. The type and color of the galvanized, aluminum metal roof shall be specified on the site plan.
  
  10. Notes regarding the signage for this property shall state what siding is proposed on Sheet 7 and state what colors and materials will be used for the signage.
  
  11. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
  
  12. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All

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ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.

13. No chainlink, razor wire or plastic/vinyl fencing is permitted.

14. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.

15. All walls must conform to the City's Wall Design Standards publication.

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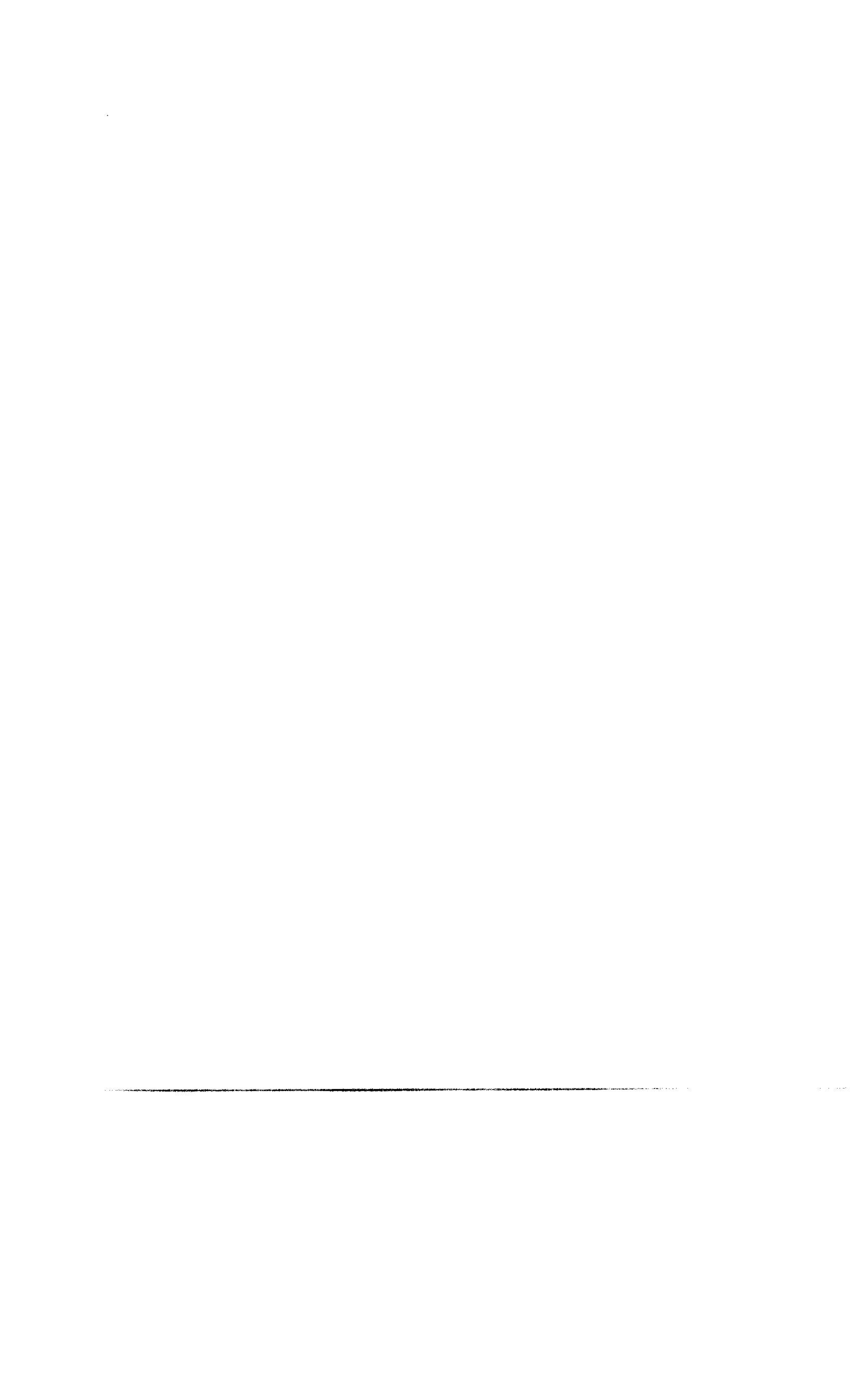
  
**Deborah L. Stover**  
**Planner**

cc: GSL Properties, Inc., 2164 S.W. Park Place, Portland, Or 97205  
Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102

**Attachments**

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## **CITY OF ALBUQUERQUE AGENCY COMMENTS**

### **PLANNING DEPARTMENT**

#### **Zoning Code Services**

"Reviewed, no comment."

### **PUBLIC WORKS DEPARTMENT**

#### **Transportation Development Services:**

No adverse comment on the proposed zone change request.

Conditions of approval for the proposed site plan for subdivision purposes should include:

- A) A TIS for this site plan was not required due to its previous inclusion in the Manzano Mesa Development. However, this subdivision must participate in the off-site improvements as determined by the DRB. Including intersection improvements, signalization, etc., at remote locations.
- B) Dedication of rights-of-way for and construction of Eubank Boulevard, Stephen Moody Street, and La Entrada Avenue. Construction of appropriate bicycle facilities as required by newly approved Bikeway Master Plan.
- C) Provision of cross-access and reciprocal parking easements, between the proposed parcels, and with the adjacent parcels is needed.

Conditions of approval for the proposed site plans for building permit for should include:

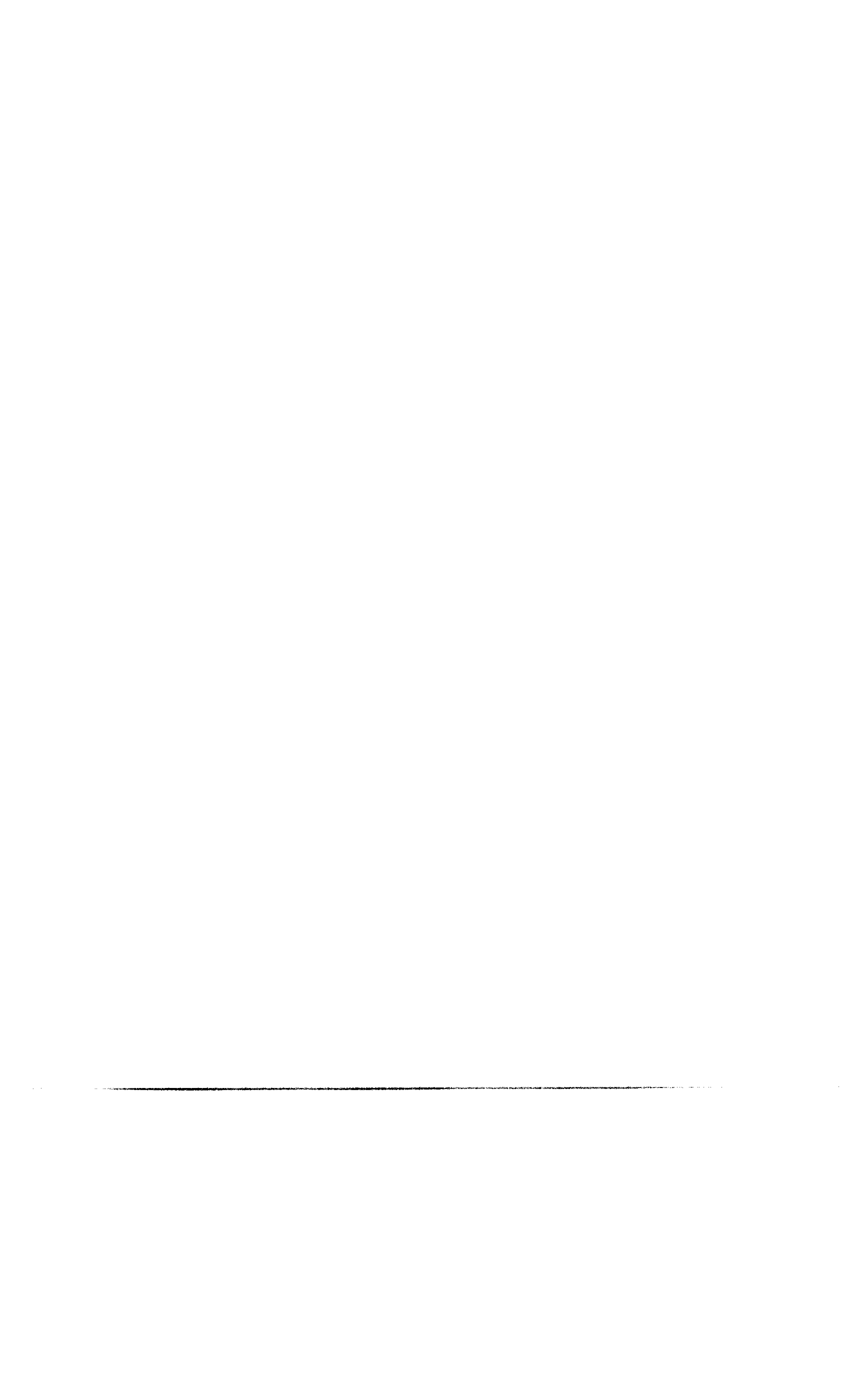
- A) The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
- B) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets.
- C) Proposed circulation drives and internal parking areas must be paved as per DPM standards.
- D) The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
- E) Location of refuse enclosures, walls, fences and signs must meet the clear sight distance requirements.
- F) Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
- G) Coordination with the Solid Waste Department with regard to refuse container location and access.
- H) Street Trees are required along Eubank Boulevard.

#### **Utility Development:**

No comment on use. The utility plan appears to show the private water system with illegal looping connection to public lines. This must be corrected. A water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action.

#### **Traffic Engineering Operations:**

Request left turn bays be introduced on Eubank to allow good access to the project location.



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**Hydrology:**

The Hydrology Section has no objection to the zone map amendment request. An approved conceptual grading and drainage plan is required for site plan sign-off by the City Engineer / AMAFCA.

**Transportation Planning:**

No objection to zone map amendment. However, at this time we cannot recommend approval of "site plan for subdivision" or "site plan for building permit". The site plans need to show additional and definitive information about the Eubank Boulevard right-of-way. Eubank is a designated Principal Arterial on the Long Range Roadway System map, to have a 156-foot right-of-way. At the present time, however, the width and location of the right-of-way are under study by the Public Works Department. In any case, the applicant's site plan does not show a definitive property line or right-of-way line. This matter must be resolved before continuing; we do not want the resolution of this matter to be stated as a condition of approval

**ENVIRONMENTAL HEALTH DEPARTMENT**

**Air Quality Division**

"No Comment."

**Environmental Services Division**

**NEIGHBORHOOD SERVICES**

"no association."

**PARKS AND RECREATION**

**Planning and Design**

Future platting action will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Dedication of land suitable for development of a neighborhood park or a fee in-lieu of and equal to the value of the required park land dedication will be required. The Manzano Mesa Subdivision met its park dedication requirement through the original dedication of lands related to Manzano Mesa Park in 1990.



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The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

The Trails & Bikeways Facility Plan proposes a Primary Trail along the east side of Eubank Blvd. in this location. In this case, we will require construction of a 10' asphalt trail in-lieu of sidewalk. Additionally, please allow for at least 5' of separation between the trail and face of curb and a minimum of 3' between the trail and wall or other vertical element. Be advised that landscaping improvements along the asphalt trail must not encroach on the trail itself. Trees must be a minimum of 3' away from the trail and shrubs, at their mature spread, must not encroach on the trail. The proposed landscaping along Eubank appears to encroach into the sidewalk/trail area. Design of the trail shall be coordinated with the Trails Planner Diane Scena.

**OPEN SPACE DIVISION**

**POLICE DEPARTMENT/Planning**

"No Adverse Comment."

**SOLID WASTE MANAGEMENT DEPARTMENT**

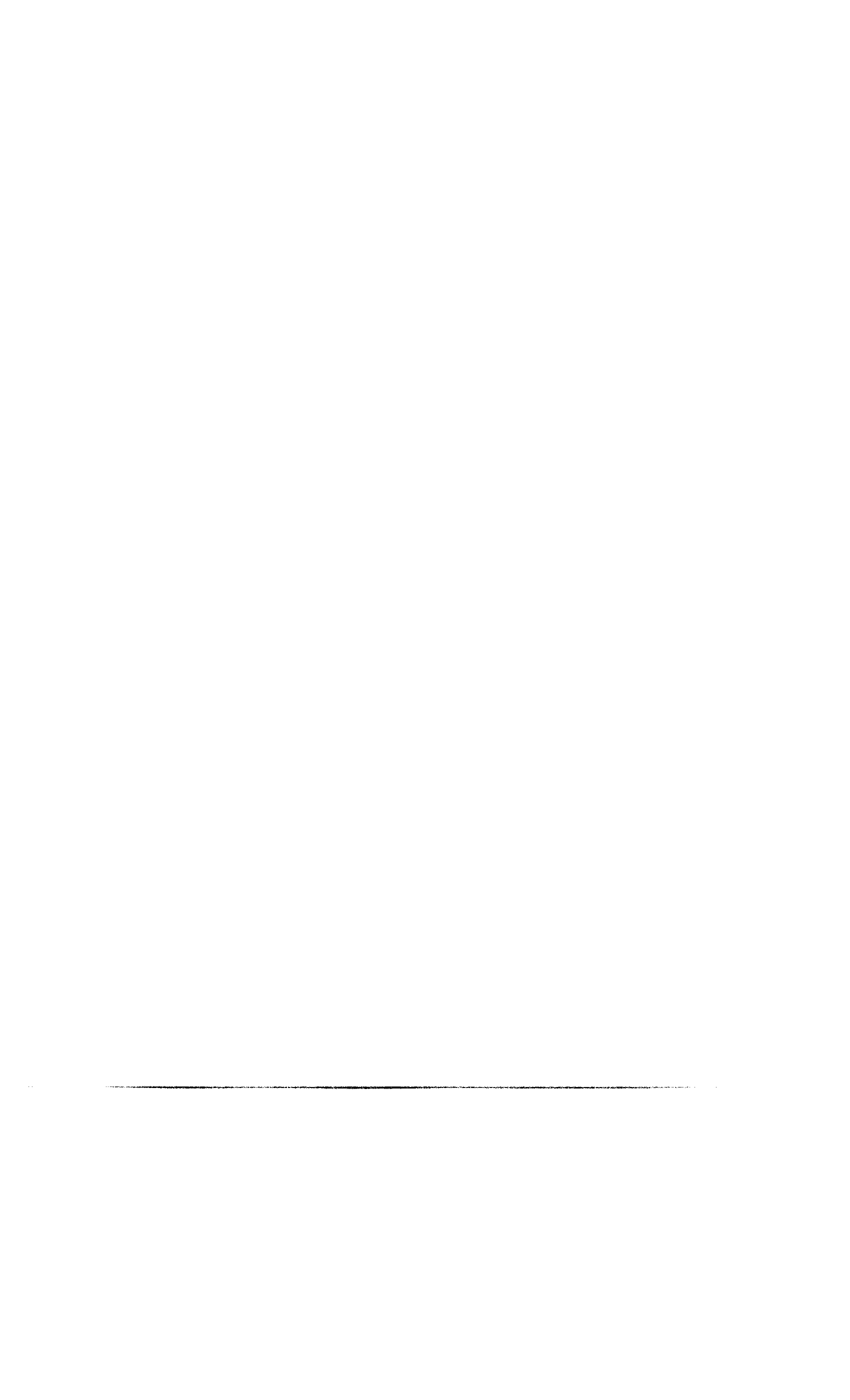
**Refuse Division**

Approved on condition will have self contained compactor. Centrally located cart/container enclosures should be placed throughout the complex. Call T.L. Baca 761-8142

**FIRE DEPARTMENT/Planning**

**TRANSIT DEPARTMENT**

Comments pending



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## ***COMMENTS FROM OTHER AGENCIES***

### ***BERNALILLO COUNTY***

#### ***ALBUQUERQUE METROPOLITAN FLOOD CONTROL AUTHORITY***

"No objection."

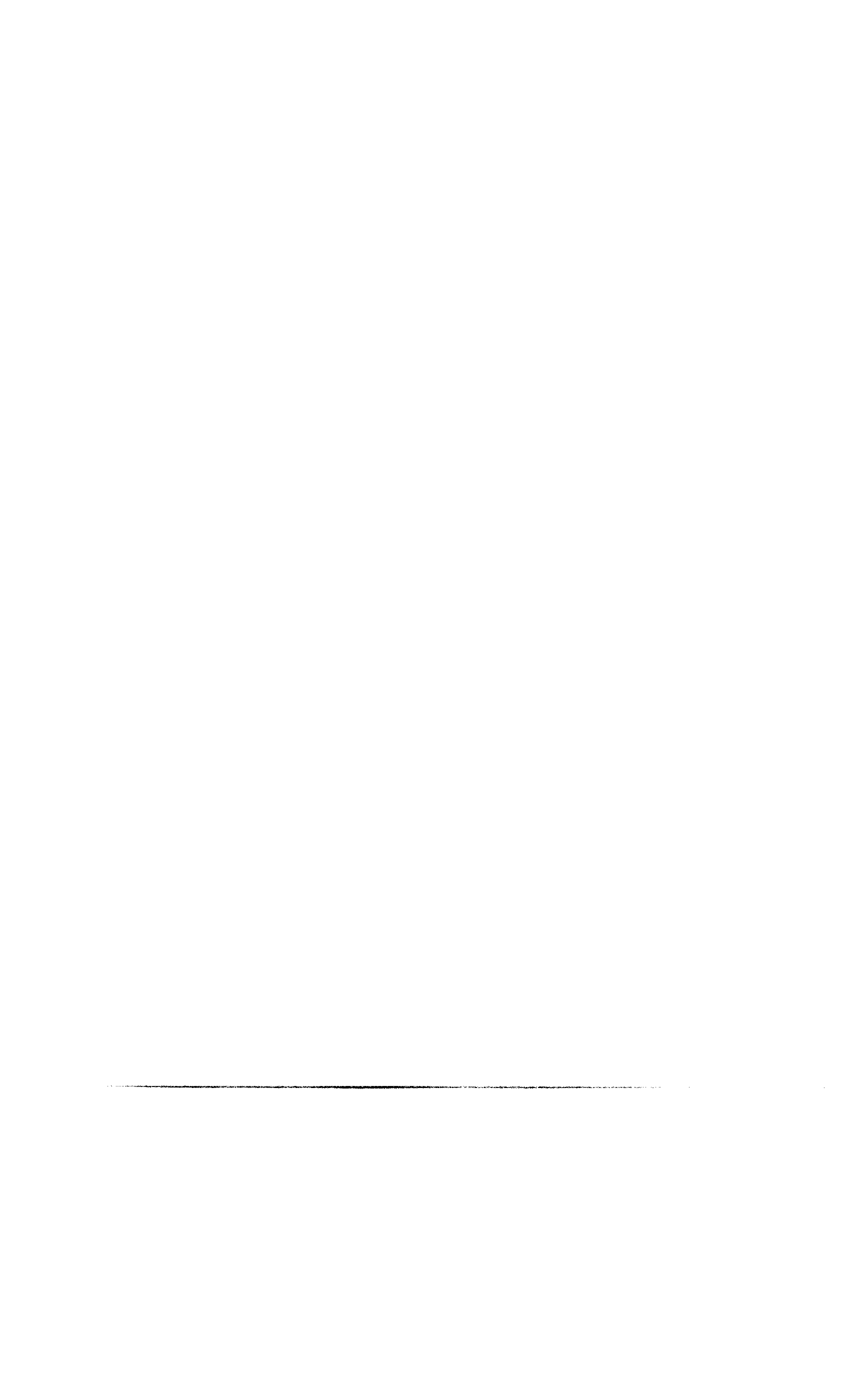
#### ***ALBUQUERQUE PUBLIC SCHOOLS***

The **Manzano Mesa Apartments** within the Manzano Mesa subdivision will affect Wherry Elementary School, Van Buren School, and Highland High School. The elementary school should be able to accommodate the students potentially generated by the development. *The APS Facilities Master Plan includes a new elementary school in the Manzano Mesa subdivision slated to open in the fall of 2002. There will be a wholesale change in elementary school boundaries in the area leading up to fall 2002.*

If enrollment at schools continues to increase, APS policy requires that the district examine boundary changes, alternative schedules, transportation to less crowded schools, and/or combinations of the above strategies to relieve overcrowded facilities.

#### ***MIDDLE RIO GRANDE COUNCIL OF GOVERNMENTS***

No adverse comment. For information, the Long Range Roadway System designates Eubank Boulevard as a principal arterial. In addition, the Long Range Bikeway System proposes a bike lane on Eubank.





- f. Dedication of right-of-way for Unser Boulevard per the Long Range Roadway System map, 78 foot minimum from the street centerline.
  - g. Access to McMahon Boulevard shall be limited to a full access at Bandelier Drive (the westernmost access shown on the site plan) and a right-in/right-out access at approximately 400 feet west of Unser Boulevard.
  - h. Access to Unser Boulevard shall be limited to a full access approximately 1,200 feet north of McMahon Boulevard, and an additional right-in, right-out, left-in access approximately 700 feet north of McMahon Boulevard.
  - i. Dedication of additional right-of-way along McMahon Boulevard and Unser Boulevard as required by the City Engineer to provide for on-street bicycle lanes and an adjoining 10-foot multi-purpose trail facility.
4. The 2 monument village signs shall have a maximum height of 12 feet.
  5. The SU-1 for R-2 zoned area and the residential portion of the SU-1 for Mixed Use zoned area (Parcel B) are delegated to the DRB if they are developed at RT densities or less.

MOVED BY COMMISSIONER JOHNSON

SECONDED BY COMMISSIONER McMAHAN

MOTION CARRIED UNANIMOUSLY

7. ~~00110 00000 01644~~ Consensus Planning, Inc., agents for GSL Properties, Inc. request a zone map amendment from SU-1 for O-1, SU-1 for R-2 to SU-1 for  
~~00128 00000 01645~~ O-1, SU-1 for R-2 plus approval of a site development plan for  
~~00128 00000 01646~~ subdivision purposes and approval of a site development plan for  
~~00128 00000 01647~~ building permit for Tract G-3 & Tract H-1, Manzano Mesa Addition,  
Project # 1000938 located on Eubank SE between Central Avenue SE and Sandia  
National Labs SE, containing approximately 36.3 acres. (L-21)  
Debbie Stover, Staff Planner (**CONTINUED TO FEBRUARY 8, 2001**)

**STAFF PRESENT:**

Debbie Stover, Planning Department  
Don Newton, Planning Department, Neighborhood Coord.  
Russell Brito, Planning Department

**PERSON PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:**

Karen Marcotte, 924 Park SW  
Jorge De La Torre, 2400 Louisiana NE

**PERSONS PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:**



file

**City of Albuquerque**  
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

**NOTICE OF HEARING**

April 11, 2001

Singing Arrow Neighborhood Association  
12614 Singing Arrow SE  
Albuquerque, NM 87123

**AC-01-08/00110-00000-01644/00128-00000-01645/00128-00000-01646/00128-00000-01647/Project #1000938** Philip York, Agent for Singing Arrow N.A. Appeals the EPC's Approvals of Zone Map Amendments, Site Plan for Subdivision and Site Plans for Building Permit; Located on Eubank SE Between Central Avenue SE and Sandia National Labs SE. Deborah Stover, Staff Planner.

The above appealed case will be heard by the Land Use, Planning and Zoning Committee (LUPZ) on **Wednesday, April 25, 2001**. The hearing begins at 5:00 p.m. and will be held in the Council/Committee Room, 9th Floor, City/County Government Center, One Civic Plaza, NW.

Please note that any information submitted after the final EPC hearing (other than the appeal application and related materials) is NOT part of the EPC record and is therefore not included in the record submitted to City Council. Submittal of new information should be directed to Council Services, c/o Karen Baca, 1 Civic Plaza NW, Albuquerque, NM 87102.

If you have any questions or if I can be of further assistance, you can contact me at (505) 924-3889.

Sincerely,

Crystal Ortega  
Administrative Assistant

cc: GSL Properties, Inc., 2164 S.W. Park Place, Portland, OR 97205  
Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123  
Joe Ando, 13200 Mountain Shadows Rd. NE, Albuquerque, NM 87111-5530  
Ray Baron, HC 75 Box 122 Chama, NM 87520  
Mark Burton, 12500 Charla Ct. SE, Albuquerque, NM 87123  
Ed Candelaria, 1053 Colt Ln. SE, Albuquerque, NM 87123  
Henry Crocket, 404 Rainbow Ct. SE, Apt. D, Albuquerque, NM 87123  
Diane Davidson, 12800 Piru SE, Albuquerque, NM 87123

==== THE CITY OF ALBUQUERQUE IS AN EQUAL OPPORTUNITY/REASONABLE ACCOMMODATION EMPLOYER ====



Ruth Francis, 217 Hanosh Ct. SE, #D,  
Calvin Irwin, 10819 Wolf Creek Rd. SE,

MS. STOVER: Madam Chair, Commissioners, this is item number thirteen. Case 00110 00000 01644 which is a request for a zone map amendment, 00128 00000 01645 which is a request for site plan for subdivision approval, 00128 00000 01646, a request for site plan for building permit for a two hundred and twenty-four unit apartment complex and 00128 00000 01647, a site plan for building permit for a two hundred and eighty unit apartment complex. The subject site consists of two existing tracts, tract G3 and H1 and is approximately thirty-six acres in size. The requested zoning is consistent with what currently exists on the site but we switched the residential zoning to the north of the site and office portion to the south of the site closer to the proposed Technology Park. The zoning that currently exists allows all of the uses requested in this application and the requested zone change is consistent with Resolution 270-1980.

Staff has received some phone calls related to the request. Some have been request for information only and some have been concerned about the proposal of apartments in this area. Staff has not received materials in writing from neighbors regarding this request however.

The site plans for building permit are for the residential portions of the subject site only and meet the requirements and applicable plans and city policies for the area. Also staff would like to point out that I neglected to include conditions of approval written by Transportation Planning, which should be included as written in the agency review comments. In addition I would like to add to the condition about lighting that the shoebox cutoff comment be added and as regard to the parking I had inadvertently stated that the spaces needed to be nine feet wide when in fact they only need to be eight and half which they are on the site plan so I need to change that in the findings and conditions as well. In addition to that the applicant is asking for the interior sidewalks to be only four feet in width whereas staff had stated they should be six feet. Staff has no problem with this, as long they are interior and not adjacent to any parking areas.

And with that and other minor modifications as stated in the conditions of approval staff recommends approval of the request.

CHAIR BEGAY: Thank you Ms. Stover. Any questions? Thank you. Commissioner Schwartz?

COMMISSIONER SCHWARTZ: The parking, the number of parking spaces. Where you able to independently verify that number? I mean I can kind of make up a formula to get there but I do no know, I mean I do not know are they over a thousand square feet, under a thousand square feet.

MS. STOVER: The units?

COMMISSIONER SCHWARTZ: I mean I can get to that number by giving two parking spaces for each two bedroom unit and one and a half parking spaces for the one bedroom units.

CHAIR BEGAY: One and a half?

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COMMISSIONER SCHWARTZ: Well there is a one and a half minimum.

CHAIR BEGAY: Okay.

COMMISSIONER SCHWARTZ: Okay, I just now figured that. That is why I had the question written down. Thank you.

CHAIR BEGAY: Any other questions for Ms. Stover? Thank you. All those who are going to speak on this case. Do you swear to tell the truth? Thank you.

MS. MARCOTTE: Madam Chair, members of the Commission my name is Karen Marcotte, principal with Consensus Planning. My address is 924 Park Avenue Southwest, 87102. I am here representing GSL Properties today regarding the four request before you with this item. As noted by staff we are proposing that the existing office and multi family parcels be switched from their current zoning so that the multi family parcels to the north and the office parcel will be immediately adjacent to the Sandia Science and Technology Park to the south. Once the Science and Tech Park was created it did not make sense to separate the office parcel from the Science and Tech Park any longer and we believe there are some advantages in switching the location for both of those sites.

Staff has received some comments from neighborhood residents as the staff planner noted so I would like to briefly address those. We did notify the adjacent neighborhoods and post the site as required. We also have been working with Councilor Brasher's office to get on the agenda for the District Nine Coalition of Neighborhood meetings that Council Brasher's periodically holds in his district. He did not schedule one prior to this hearing largely because they meet at the end of the month and they canceled the December one due to the holidays. But we understand that there has been a concern expressed that apartments are not allowed in this area and obviously that is not true since the apartment zoning has been there since 1990. we are simply switching the location as I said. Another resident apparently called staff with a concern that more apartments are not needed in this part of town. We would disagree. In fact we believe that having apartments next to the Science and Technology Park on a major transportation corridor is really a very good planning idea. We do have walking distances from this site to the regional park to the new elementary school and to nearby commercial services so the build out of the site helps to establish all the goals for mixed uses that have always been envisioned at Manzano Mesa.

We agree with the findings and conditions of staff as amended. We have worked hard to come up with a plan and a project that has good pedestrian access not only to the park and the adjacent office parcel but to nearby commercial uses.

We did originally include, we did not originally include a pedestrian access between the two apartment sites because they are to completely separate projects and they have separate recreational complexes. And we did not want to encourage lots of pass through foot traffic between a neighboring sites amenity package with residents who did not live in that complex. Most apartment complexes in fact do not encourage outside visitors to walk through their pool or

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clubhouse areas for that reason. They try and keep their amenities for their own residents. However, if the city feels strongly about allowing that pedestrian access directly across the property line instead of around the sites the developer has said that he would agree to allow that. The developer was here since has got on a plane. The architect and engineer are also here today if you have any questions about the project. And if you need any background on the Manzano Mesa plan or other things going on in the south Eubank corridor I will be happy to talk about those issues as well.

Otherwise we would just ask for your support in approving the request for the zone map amendment request, for the site plan for subdivision, and the two requests for site plan for building permit.

CHAIR BEGAY: Thank you. Any questions? Commissioner Gara?

COMMISSIONER GARA: Ms. Marcotte, the Sandia Science Park is across the street, is that correct?

MS. MARCOTTE: It actually starts directly south of tract G3. I have a vicinity map of the Science and Tech Park if I can put that up. The dark blue boundary shows where the Science and Technology Park is and that area right to the north of it is where the apartment site and office parcel are switching locations.

COMMISSIONER GARA: I guess one of the things that I noticed about the site plan is that we are spending millions of dollars in improving Eubank Boulevard to put the backs of garages there. One project in particular that sticks in my mind and that is the one over on Coors. If you are familiar with that just north of Montano I think it is. Where we have garage backs facing Coors and it really is not a pretty site. Has any thought been given to why we have all those blank walls backing up to Eubank?

MS. MARCOTTE: Madam Chair, Commissioner Gara, really the thought was to try and orient the projects towards the park, towards the interior of Manzano Mesa. There is going to be a significant entrance at the beginning of the Sandia Science and Technology Park to lead visitors into the Science and Tech Park and you will be seeing that proposal fairly soon. But the thought was that the multi family projects would be orienting towards Manzano Mesa rather than towards the arterial.

CHAIR BEGAY: Commissioner Johnson?

COMMISSIONER JOHNSON: Thank you Madam Chair. Ms. Marcotte I was kind of caught by the concept of shingle roofing in an entirely different look and feel to the apartment complexes. Was any thought given to making the ranch style project a little more southwestern with say metal roofs and something that blended a little better with the pueblo style of the other apartment project.

MS. MARCOTTE: Madam Chair, Commissioner Johnson, I think the goal was to try and establish two very separate projects because they will be separately owned, separately





operated, separately built and developed. I do not know if the architect would like to address it, the roofing materials.

MR. DE LA TORRE: Madam Chair, ladies and gentlemen my name is Jorge DeLaTorre with De La Torre Architects.

CHAIR BEGAY: Did I swear you in? Do you swear to tell the truth?

MR. DE LA TORRE: I do.

CHAIR BEGAY: Thank you.

MR. DE LA TORRE: If I could discuss first the reason why the garages were placed where they were is we were aware of this project on Coors except what we wanted to do is that between this high walk and the apartment we have landscaping to soften this. And gated community would have about an eight-foot wall anyway and the reason why we wanted to use this device is to cut the noise from this very heavy traffic street into the apartments and also give this privacy. And the one thing we have done which is different then the one on Coors is that we have varied the widths and the lengths and the spacing so it does not become a monotonous element. That was the reason. As for the shingles you know you deal with developers of all parts of the country and they are proud because of where they have done a project similar that looks beautiful. And they tell the architect we would like to repeat this because this is going to be our market apartment instead of the subsidize cost apartment and we want to make them different.

COMMISSIONER GARA: What kind of shingles are they?

MR. DE LA TORRE: We have not selected them yet and I know that is one of the comments that our selection should be made before the DRB.

COMMISSIONER GARA: I assuming they are not wood.

MR. DE LA TORRE: No. They will be something like a good GAF timberline lined that will withstand the wind. But then again you as a Commission can help the architect in several ways.

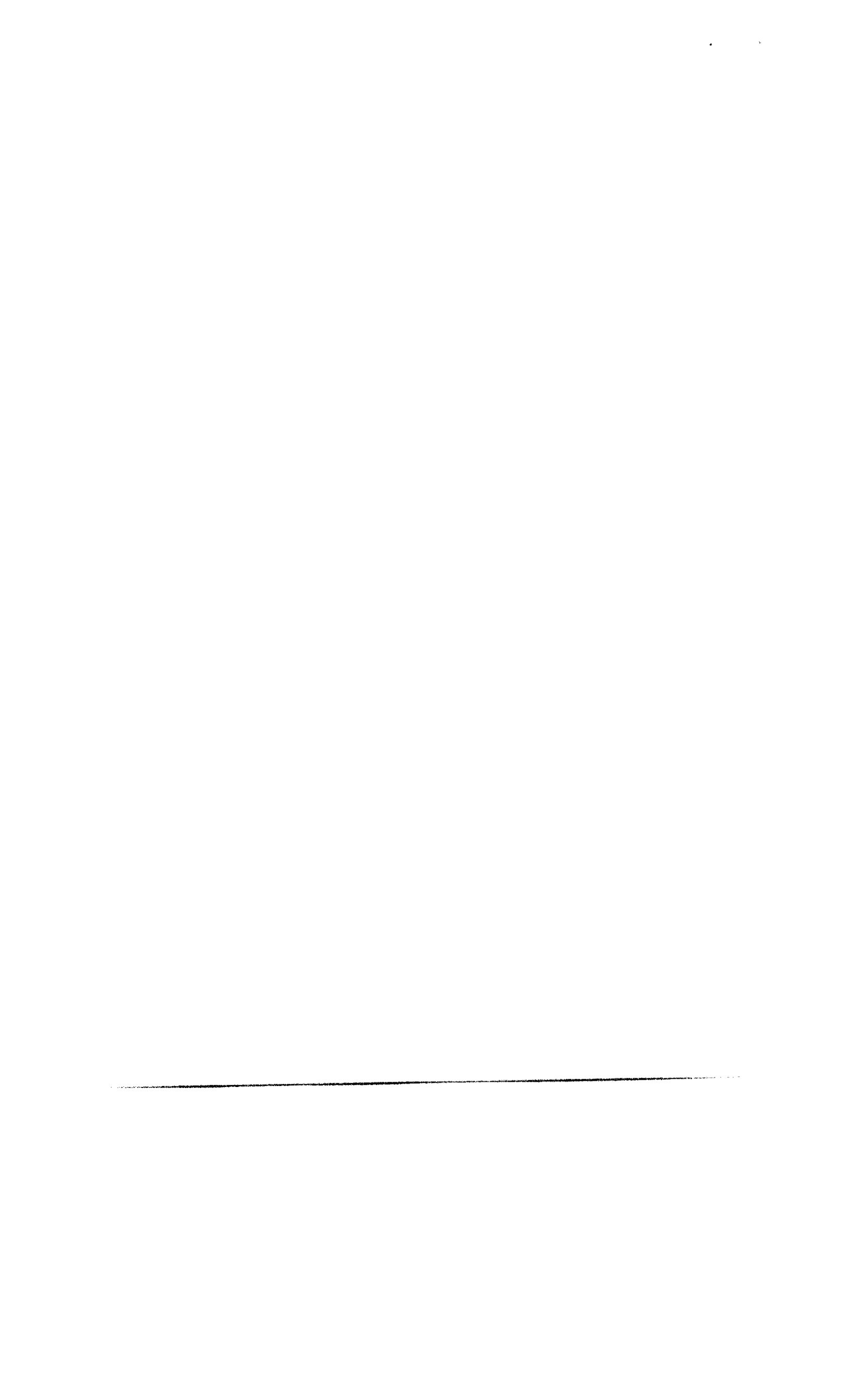
CHAIR BEGAY: Are you finished?

MS. MARCOTTE: Yes, if there are any other questions.

CHAIR BEGAY: Commissioner Schwartz?

COMMISSIONER SCHWARTZ: I can tell that speaking for myself I feel very strongly about that east/west connection and I think the reason is because over on the east you have this park, Zia Park.

MS. MARCOTTE: Manzano Mesa Park.



COMMISSIONER SCHWARTZ: Is that what it is, okay, that is a little league field right there and there is a park and then there is going to be a school also further to the east. And under the current configuration of the property as it is right now where there is all one residential parcel if that had been developed as one parcel then I think there would have been a reasonable expectation that you would have this access. And had you decided to divide the property the other way instead of north/south divided east/west then I probably wouldn't, you know each component would have that access. It is really the access to the east that I think because of the facilities that are going to be out there. Where it should go I do not know, I mean I made a note you might even want to, I do not know if it is useful to talk to APS to see if they would have like a crossing guard there or something for the school. I do not know, I do not know what their guidelines are but that might be a logical point to funnel all this. These are not gated right?

MS. MARCOTTE: Correct.

COMMISSIONER SCHWARTZ: People could walk through anyways. I mean so yes I feel strongly about that. Let me ask you I forgot to ask Deborah what is the difference between limited O-1 and straight O-1?

MS. MARCOTTE: I am sorry?

COMMISSIONER SCHWARTZ: The difference between limited O-1 and straight O-1 because the existing zoning now is limited O-1 and you are asking for straight O-1?

MS. MARCOTTE: Correct. Madam Chair, Commissioner Schwartz, back when the Manzano Mesa zoning was done in 1989 and 1990 the master plan was not adopted by the city it was an internal APS master plan and they wanted to make sure that certain uses did not develop in Manzano Mesa that would depreciate the land values or make it less desirable as it built out. Subsequently as the area has been building out and now that the Sandia Science and Technology Park is being established to the south as a neighbor I think there is less concern about uses that may end up coming in on that office parcel. What was primarily limited from it was parking and antennas and things that are controlled through the design guidelines now anyway.

COMMISSIONER SCHWARTZ: Okay, on the O-1 parcel is there any mention of freestanding telecommunications?

MS. MARCOTTE: It is addressed in the design guidelines consistent with the city requirements for that.

COMMISSIONER SCHWARTZ: Well it would be permissive in straight O-1 I believe.

MS. MARCOTTE: Yes, it would be permissive in straight O-1. That was one of the things that had been limited in the limited O-1 uses.

COMMISSIONER SCHWARTZ: Maybe you might want to still limit that to concealed on the O-1 parcel.

Marylyn Floro, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Frank Gallaspy, 1308 Kentucky SE, Albuquerque, NM 87108  
Joanne Gladin de la Fuente, Box 10A, Taos Hwy 68, Embudo NM 87531  
Susan Henderson, 1031 Los Padres SE, Albuquerque, NM 87123  
Dolores Keane, 828 Trading Pose Trail SE, Albuquerque, NM 87123  
Karen Kendall, 12924 Piru SE, Albuquerque, NM 87123  
Dave Orwat, 4600 Homestead Tr. NW, Albuquerque, NM 87120  
Dave Saxon, 10836 Wasatch Rd. SE, Albuquerque, NM 87123  
Rose & John Sena, 7820 Zuni SE, Albuquerque, NM 87123  
Dave Smith, 12536 Elyse Pl. SE, Albuquerque, NM 87123  
John Smokov, 608 Parkside Pl. SE, Albuquerque, NM 87123  
Janette Vanderkamp, 300 Dorado Pl. SE, Albuquerque, NM 87123  
Phil York, 12705 Elyse Pl. SE, Albuquerque, NM 87123

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MS. MARCOTTE: Commissioner Schwartz I think our feeling was that the city ordinance covers that issue. Unless staff has a concern about that.

MR. DINEEN: Madam Chair, Commissioner we had no concern about that. We think it is covered under the City Zoning Code.

COMMISSIONER SCHWARTZ: So basically the only restriction then would have to be eighty-five feet from the residential zone. Thank you.

CHAIR BEGAY: Commissioner Gara?

COMMISSIONER GARA: Madam Chair, I guess I am not very bright. When I look at the site plan I see two apartment complexes. Where is the O-1? Where do I see O-1 buildings or do I?

MS. MARCOTTE: The O-1 is just a site plan for subdivision to create that parcel. There is no, it is not a site plan for building permit. The site plan for building permits are just for the apartment sites. The O-1 parcel has just been created has a bulk parcel.

COMMISSIONER GARA: Where is it on my site plan? On this drawing that I am looking at here where is the O-1 parcels?

MS. MARCOTTE: On the second page.

COMMISSIONER GARA: Okay, I guess I am used to seeing the site plan first so I apologize. I was looking for the big picture and then go down to the little picture and I kept looking at this and looking at this and looking at the other one thinking you are not seeing it and I was not.

CHAIR BEGAY: Any other questions? Thank you. April?

MS. CANDELARIA: Ruth Francis.

MS. FRANCIS: Madam Chair, members of the Commission I am Ruth Francis and I am a resident owner of a multi dwelling building at 217 Hannish Court. I have been the owner and a resident of that building for twenty-five years. Did you want to swear me in?

CHAIR BEGAY: Excuse me?

MS. FRANCIS: Do I need to be sworn in.

CHAIR BEGAY: Yes. Do you swear to tell the truth?

MS. FRANCIS: Yes.

CHAIR BEGAY: Thank you.

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MS. FRANCIS: I have come here today in the capacity as executive board member for the Swinging Arrow Neighborhood Association. I want to call your attention to a letter contained in the development action. This is a letter dated November 15 from I believe it is a Darlina Carmono. In the second paragraph it states that there were no recognized neighborhood associations in this area. That is not a true statement. There are two recognized active associations in this area. Willow Wood and Singing Arrow Neighborhood Association. Neither of these associations was sent a notice of this proposed plan. Both associations have been very active in the development of the multi generation center and the community park, which is mentioned in this proposal. These neighborhoods will be highly impacted by this request. The area that these neighborhoods and golf is considered one of the highest crime areas in the city. The high crime ratio is due to multi dwellings the ratio of the multi dwelling facilities there as compared to the single-family residents. This is a main contributor to the crime in this area. This area is between, this proposal is squashed between two of the largest highest crime areas in this city. The vacancy rates, there is plenty of multi dwelling facilities in these areas. The vacancy rates of those multi dwellings is reaching close to thirty percent. The City of Albuquerque itself is the owner of two hundred units in that area and it would neglectively impact your very own properties.

I do not see that this plan is really consistent with an infill plan. A true infill plan would enhance the use of existing housing, which is already there. It would make sure that you are making full use of what is already there before it would allow additional facilities to be built. By approving this plan I feel the City will be laying waste to already existing multi dwellings that are having a very difficult time keeping themselves filled with decent people. And I believe that you will contribute to adding more and more to the ghetto atmosphere of this area. And do to the failure of being notified both Willow Wood and Singing Arrow Neighborhood Association I would like to ask you to allow, the Commission to allow these neighborhoods time to review this proposal and to determine any positive or negative impacts to their neighborhoods.

CHAIR BEGAY: Thank you. Ms. Francis can you show me on a map where Singing Arrow and Willow Wood is in relation?

MS. FRANCIS: Yes, Willow Wood neighborhood is shown right there.

CHAIR BEGAY: Singing Arrow?

MS. FRANCIS: What?

CHAIR BEGAY: Singing Arrow?

MS. FRANCIS: Singing Arrow is just adjacent, see where Four Hills Mobile Home Park is?

CHAIR BEGAY: Yes.

MS. FRANCIS: My property is just on the other side of that wall for Four Hills Mobile Park.

COMMISSIONER SCHWARTZ: West or east?

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MS. FRANCIS: East.

CHAIR BEGAY: Mr. Dineen can you go through the notification requirements.

MR. DINEEN: Madam Chair, I believe Don Newton is here from the Office of Neighborhood...

COMMISSIONER McMAHAN: Don just walked out.

CHAIR BEGAY: He was but he stepped out.

COMMISSIONER McMAHAN: Madam Chair may I interrupt? I think the problem is that the boundaries of those associations are not within the boundaries defined for notification.

MR. DINEEN: That it right.

COMMISSIONER McMAHAN: And that is a guess on my part and I was surprised...

CHAIR BEGAY: ...that was what I was getting to.

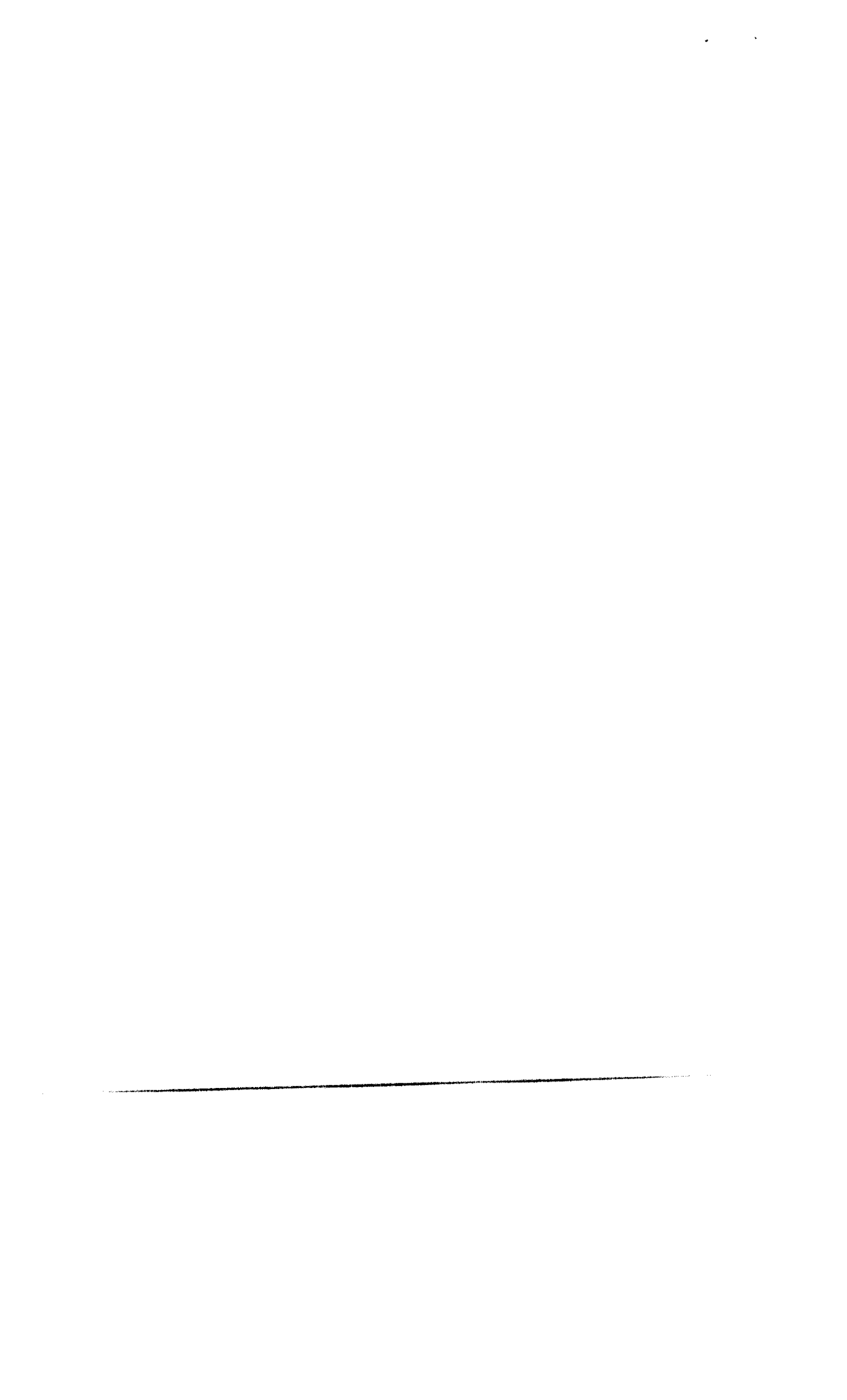
COMMISSIONER McMAHAN: ...I was surprised when I did not see any comments from Cindy Reves or Phil York from Singing Arrow because I have known them for years...

MS. FRANCIS: ...that is who I am representing. Phil York is out of town and Cindy is, as you probably know very active in the development of the park and needs a little time off.

COMMISSIONER McMAHAN: So I would agree that you probably should have gotten notification and there was a notice, the standard notice from the Office of Neighborhood Coordination in there. Another comment I would like to make since you talked about the apartments is there are a number of apartments all over town that are having the same kind of problem, they are vacant. And they are in dense areas; the density of apartments there is pretty high. And what I have noticed is the reason they are vacant is because the landlords do not keep them up. This has distressed more then one neighborhood association and lots of them are trying to do things about it. What this project might do is to force those landlords to upgrade their apartments to modernize them so that they can attract tenants to keep them occupied. It is a chicken and egg kind of situation but I...

MS. FRANCIS: ...it definitely is.

COMMISSIONER McMAHAN: But I have spent more time dealing with recalcitrant slum lords then I really care to count in both my neighborhood and a couple of adjoining ones. I am all for not over building the market, which this can certainly do but this may be one way to solve the problem that is simply an epidemic proportions in this town. That landlords are not keeping their properties up and they are not screening tenants and so they are getting people in who trash their properties and all they do is take the money and go the bank. This maybe the lever that the rest of us are looking for to get these guys attention.



MS. FRANCIS: I am have been very active in this progress for twenty- five years. I have had to purchase properties in order to evict drug dealers. I have had to renovate, totally renovate the properties. In association actually a partnership I that I formed was notably recognized by the City for its efforts in that. One of the things that I agree with you that yes you do get bad tenants if you do not offer them any thing but a bad piece of property. However, we have to admit that a landlord has to be able fill his properties in order to be able to afford to keep them up. It is a chicken and an egg merry go round. It is a merry go around. And many many landlords are very conscientious but they have a vacancy, we are talking about four plexes, it hurts one single owner in a four plex to have one vacancy. It does not hurt a complex of this magnitude to have a thirty percent vacancy rate. That is the difference.

CHAIR BEGAY: Commissioner Gara?

COMMISSIONER GARA: I will disagree with that. If this person has a thirty percent vacancy he has a real problem. I am in the commercial real estate business and I think what I see is the biggest problem and I do not certainly profess to know you are anywhere near the way you do and the work you have done in it. But the typical problems are in the quads and duplexes is where the landlords do not have the money to maintain and upkeep as opposed to a project of the size we are talking about here of two hundred plus units where you have a sizable investment and it is a big difference. The economy is a scale on a large project versus a small project is enormous. I have been in real estate business twenty-six years and I have owned duplexes and quads and I have owned and operated one hundred and sixty-seven to two hundred apartment projects and I will take the two hundred unit project any time over a quad. It is...

MS. FRANCIS: Absolutely.

COMMISSIONER GARA: I do not like going to unlock doors at midnight or unclog toilets at three o'clock in the morning whereas on a size of scale where you have a two hundred and twenty-five unit apartment community you have onsite maintenance, onsite management and it is all taken care of typically. I do not know that you would have the same problems matriculated into these types of projects as you do in a quadruplex and a duplex that see a lot of that in a lot of that area.

MS. FRANCIS: It is the competition. We have made a very very good effort in the Singing Arrow Neighborhood to keep the crime out of our neighborhood. It is impossible, it is impossible but we have done a very good turnaround. We are on our way back. We are getting conscientious property owners and the overall look has well of course when I first bought there twenty-five years ago it was a really nice neighborhood and then it went downhill. We are on the back. It is clawing our way back up the ladder.

COMMISSIONER GARA: I think more importantly with regards to this case today we are moving the zoning but we are not changing the zoning.

MS. FRANCIS: I realize that.

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COMMISSIONER GARA: The zoning is in place. They can go in and build apartments on this property today and really what we are looking at in my opinion is more of a site plan issue than a zoning issue because the zoning is already here.

MS. FRANCIS: All right.

CHAIR BEGAY: Thank you.

MS. CANDELARIA: Calvin Irwin.

MR. IRWIN: Madam Chair, Commissioners, I am Calving W. Irving, I live at 10819 Wolf Creek and I swear to tell the truth.

CHAIR BEGAY: Thank you.

MR. IRWIN: Actually I am here as part of the executive board for Willow Wood Homeowners Association and the Willow Wood Neighborhood Association. And what we are here for basically is there are a few things that did not happen I think. First off we are in the area, the adjacent area. Willow Wood if I may, as you can see the Willow Wood Association actually encompasses this area through here. There has been another which was Willow Wood North which has been turned into what is now called Marabella to the north of us there. And you are also talking about extending which is item number fifteen tonight further on up into the area north of Southern. We feel that we should have been notified and this item discussed with us specifically in some reasons because of the amount of traffic that is in the area. I think that there has been some significant changes throughout this area since the master plan was originally made such that there are impacts to the traffic infrastructure here. We went through a tremendous amount of problems with cut through traffic and until we finally got the Police to help us and Michael Brasher and to get them routed around us and ultimately with the support of Cosco coming in there we were able to get a traffic light up there. The intersection of Eubank and Central is overloaded, it is completely overloaded as well with this amount of traffic going out into Southern and going around over to the Central and Eubank I would propose that that intersection is going to be overloaded. Even the improvements on the roadway there is going to cost significant issues during the time of the day when we are having inbound traffic to Kirtland and outbound traffic from Kirtland Air Force Base and Sandia. Additionally I think the map is incorrect because the area to the west of the area they are proposing is actually Department of Energy land not Sandia or the Kirtland Air Force Base.

There are other neighborhood associations in the vicinity that probably have some interest in this including Four Hill Trailer Park, it think they would be interested as well as south of us is a trailer park which has to egress through this same area to get out there where these additional homes will be placed there. So I think we need to look at that very closely. Even though the City said that there was no impact to or need for a traffic study I propose there is a need for a traffic study prior to this being completed. I also propose that the water and sewage since the establishment and the houses being built in Marabella which has reduced, they have not been completed yet but we have probably about thirty to forty percent of those homes built now. The



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## NOTICE OF APPEAL

March 19, 2001

### TO WHOM IT MAY CONCERN:

The Planning Department received the attached appeal on **March 16, 2001**. You will be notified by mail when the appeal has been scheduled to be heard before the Land Use Planning & Zoning Committee (LUPZ).

If you have any questions, please contact Crystal Ortega, Administrative Assistant, Development Services Division at (505) 924-3889.

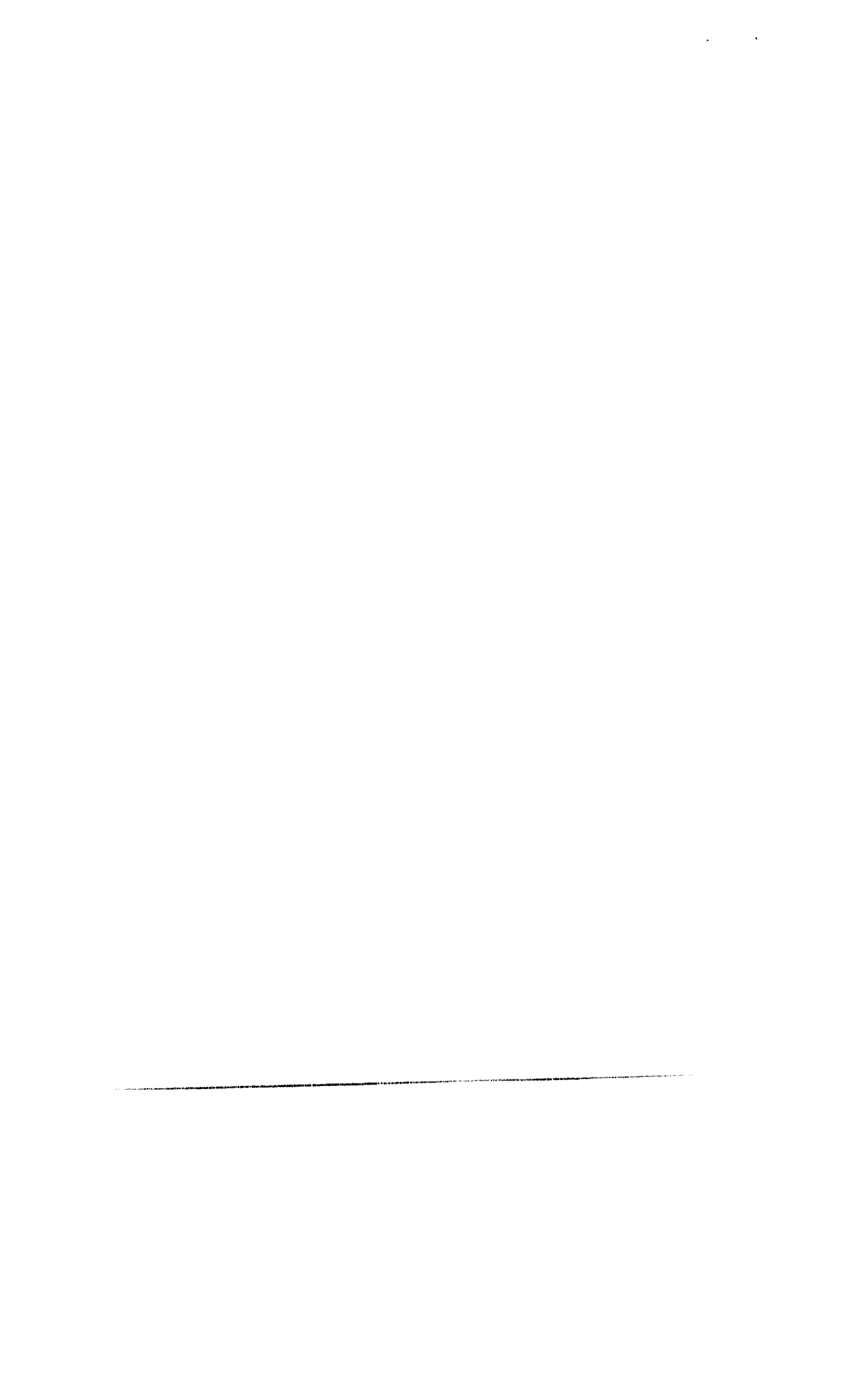
APPEAL NUMBER: AC-01-08/00110-00000-01644/00128-00000-01645/  
00128-00000-01646/00128-00000-01647/Project #1000938

APPELLANT: Singing Arrow Neighborhood Association  
12614 Singing Arrow SE  
Albuquerque, NM 87123

AGENT: Philip York  
12705 Elyse Pl. SE  
Albuquerque, NM 87123

cc: GSL Properties, Inc., 2164 S.W. Park Place, Portland, OR 97205  
Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123  
Joe Ando, 13200 Mountain Shadows Rd. NE, Albuquerque, NM 87111-5530  
Ray Baron, HC 75 Box 122 Chama, NM 87520  
Mark Burton, 12500 Charla Ct. SE, Albuquerque, NM 87123  
Ed Candelaria, 1053 Colt Ln. SE, Albuquerque, NM 87123  
Henry Crocket, 404 Rainbow Ct. SE, Apt. D, Albuquerque, NM 87123  
Diane Davidson, 12800 Piru SE, Albuquerque, NM 87123  
Marylyn Floro, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Frank Gallaspy, 1308 Kentucky SE, Albuquerque, NM 87108  
Joanne Gladin de la Fuente, Box 10A, Taos Hwy 68, Embudo, NM 87531  
Susan Henderson, 1031 Los Padres SE, Albuquerque, NM 87123  
Dolores Keane, 828 Trading Pose Trail SE, Albuquerque, NM 87123





water pressure has started to drop in our area. I think that will continue unless they can improve the water and sewer infrastructure. And I do not think there is enough assets there to do that. And that will cause problems over here.

I also want to point that I have been very active as a board member with the Sandia Research Park. I do not think this, the Sandia Research Park is being designed as such to be kind of a college campus nice area with parks and walkways and areas to go through to make that a very how can I say this individual and public place they want to be at. I do not think these apartment buildings meet that requirement. We are to look at the design of that and possibly see how we can integrate those better into the design of the area. As well as into our area because we have southwest and other types of homes in our area and we want it to look real nice there. We had Costco change their layouts specifically for that. I think that this apartment building design should be changed to meet the southwest design also if we go that far.

I would like to recommend that we make a delay in approval and bring this back at a latter time after District Nine Coalition has met to discuss this. I had a meeting with Michael Brasher today and he is concerned from the neighborhood perspective since we took and brought this to him. It was not on this specific topic but I did have a meeting with him at ten o'clock today and he is concerned about this. So we should probably delay this.

I think also the traffic issue needs to be addressed and a traffic study done before it is brought back again. I think the infrastructure issues as far as water and sewage needs to be addressed in detail so that we can understand that the pressure and the water and sewage rights there are not going to be over burdened or taxed. As well as I want to interface with Sandia Research Park and find out what their specific take of this is with moving the office buildings down, changing the location of where the apartment buildings are. Because I am not sure they are line with this either. And I do not see any of those representatives here tonight either. So that is my recommendation.

CHAIR BEGAY: Thank you. Any questions? Thank you. Mr. Newton clarify for us how you determine if there is a recognized neighborhood association close enough.

MR. NEWTON: The ordinance O-92 specifically says that the subject property needs to be adjacent to the neighborhood association boundaries. And they mean adjacent. This has been to the Legal Department for many many years many many times. Neither one of these associations that have been mentioned Singing Arrow is a good almost a mile away. Their closest boundary is a mile away from this project. And I would say Willow Wood is probably one thousand fifteen hundred feet away from this project. What we recommend always to the associations is when they get their monthly newsletter and the two contact people definitely get that many, board members of associations get them and the first thing they do is they look in their monthly newsletter under the article in here about EPC hearings. I mean it is broken down by the four quadrants of the city. I am also surprised having known Cindy Reves and Phil York for many many years before I even worked for the city that they missed this one but they did. That is it.

CHAIR BEGAY: Thank you. Ms. Marcotte?

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COMMISSIONER SCHWARTZ: I have a question for Mr. Newton.

CHAIR BEGAY: Mr. Newton?

COMMISSIONER SCHWARTZ: What is adjacency is that a pre-requisite to be entitled to mediation?

MR. NEWTON: No.

COMMISSIONER SCHWARTZ: So what triggers the mediation?

MR. NEWTON: Usually request.

COMMISSIONER SCHWARTZ: Just request?

MR. NEWTON: By either the neighborhood or citizens or the developers, in many cases it is the developer that request.

COMMISSIONER SCHWARTZ: I guess and I am asking about is standing to request mediation.

MR. NEWTON: I am not going to be able to answer that.

COMMISSIONER GARA: Mediation or facilitated meeting?

COMMISSIONER SCHWARTZ: I guess facilitated meeting. In other words you know Taylor Ranch says we want a facilitated meeting about this project are you just going to tell them forget it.

MR. NEWTON: No.

COMMISSIONER SCHWARTZ: Even though they are on the other side of the river on total opposite sides of the city.

MR. NEWTON: Excuse me on this particular project?

COMMISSIONER SCHWARTZ: Yes that is what I am saying.

MR. NEWTON: They would have no standing.

COMMISSIONER SCHWARTZ: Where is that line?

CHAIR BEGAY: They are standing on the wrong side.

MR. NEWTON: They are standing on the wrong side.

.....

COMMISSIONER SCHWARTZ: How far away do you, at what point do you say no you are to far away you are not entitled to this.

MR. NEWTON: One of the things my office we did some years ago the actual ordinance says that the recognized associations are the ones that are going to get certified mail and get notification from our office. And Mary Lou and I some years ago came up with an idea that because of this Body's constantly having to hassle with that we decided and got approval from Administration and the Legal Department that we send notification letters to both recognized and unrecognized and we have been doing that about three years now. This one just got by me.

CHAIR BEGAY: Thank you.

COMMISSIONER SCHWARTZ: But you only send them to the adjacent?

MR. NEWTON: To the adjacent.

COMMISSIONER SCHWARTZ: Right.

MR. NEWTON: And there have been request from the neighborhood sometimes that we gee whiz we ought to change the ordinance and it ought to be within a quarter mile. And I teasingly say well then that association that is just outside the quarter of a mile is going to be upset. All right lets take it to a half-mile; I mean you can go on forever on this.

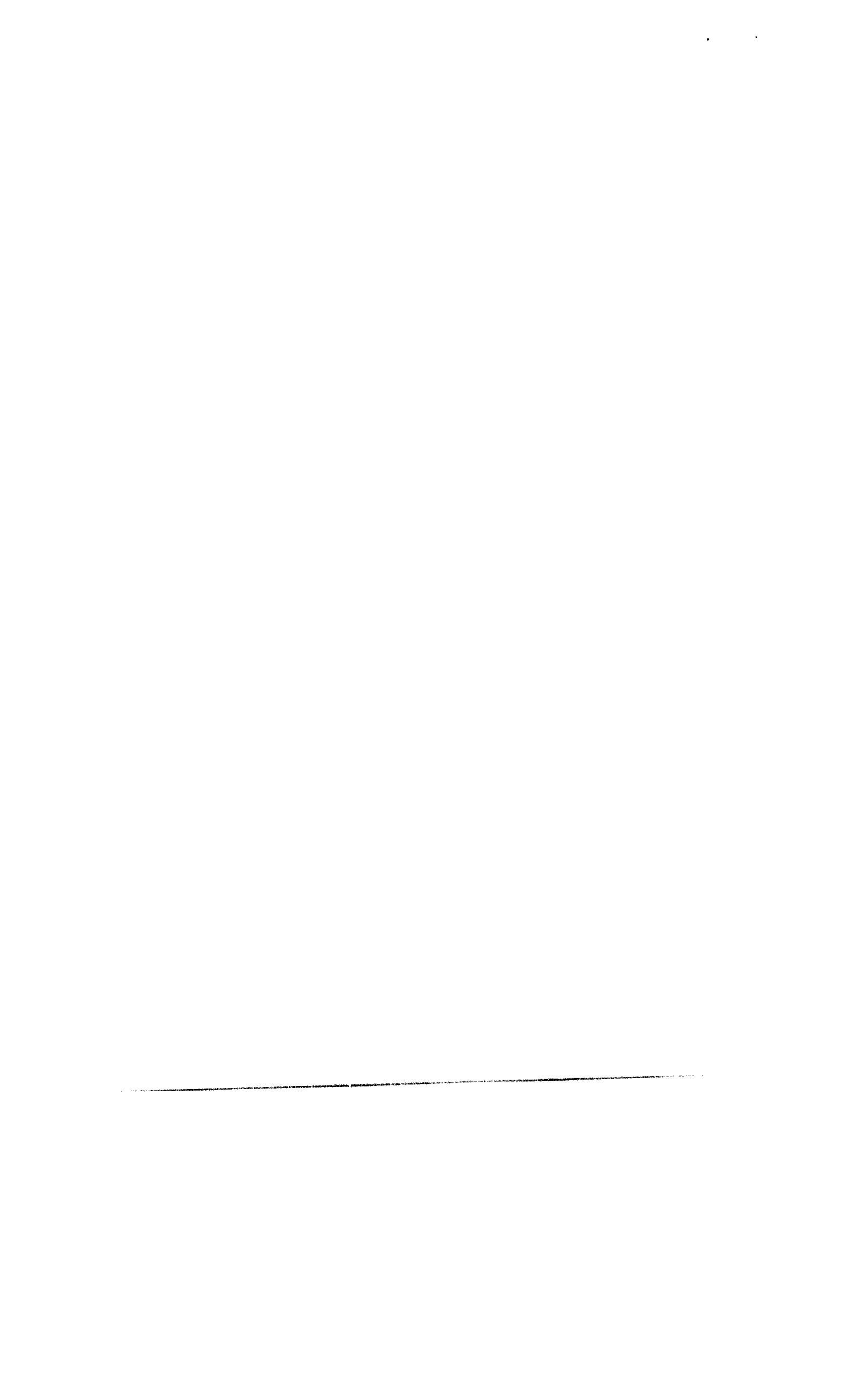
CHAIR BEGAY: Thank you Mr. Newton. Commissioner Chavez?

COMMISSIONER CHAVEZ: Question of staff regarding notice was the proper advertising and posting of signs taken care of.

MS. STOVER: To my knowledge all those things were followed.

CHAIR BEGAY: Ms. Marcotte?

MS. MARCOTTE: Thank you Madam Chair, Commissioners. I would just like to address the concerns of the neighborhoods real briefly. First of all we have made four offers to Councilor Brashers office to come to his neighborhood coalition meeting starting in early December for this project. Secondly if any of these neighborhoods had called our office and expressed a desire for a meeting we would have done it in a minute. We have never turned down a neighborhood who is interested in meeting. With regards to the proximity to the Sandia Science and Technology Park the STPDC and the landowners in the Sandia Science and Technology Park are very much aware of this proposal. They support it; they support the development of multi family apartments in proximity the park. they are hoping that especially when they have short term employees in town that they will be able to rent space within walking distance of their new jobs and they are very much in support of those multi family apartments being there. They also support the switching of the units so that the office zoned is proximate to the Sandia Science



and Technology Parks so that if expansion space is needed for the Sandia Science and Technology Park it has somewhere to go to the north.

With regards to the multi family as noted by several of the Commissioners the zoning already allows multi family. And in fact if we can switch back to this you can see the multi family area but the park the northern part of Manzano Mesa Community Park was zoned for apartments before it became a park. there were forty-five acres of multi family zoning and Manzano Mesa originally which has been reduced to the twenty five-acres of this current site. So we have actually lost twenty acres of apartment zoning at Manzano Mesa so we have not been encroaching on the neighborhoods in that regard.

With regards to transportation there is a traffic study that is being done that is due by DRB. I would note that this area has been studied to death from a traffic study standpoint. There have been so many traffic studies done on this corridor that it is amazing. Certainly the Gibson Corridor recognizes all of these land uses, the big study that is currently under way. The Eubanks corridor is currently in design for improvements by the City so it has also been extensively studied with these land uses in mind. I also think in regards to traffic that a significant amount of the residents of these apartment complexes will in fact be traveling north in opposition to the peak hour traffic that the neighborhoods currently experience coming into the base. And so we believe that the traffic will be going in large part in opposition to the current peak hour flows and I think that will actually be a benefit.

I think you know we are sorry that the neighborhood association did not get timely notice. The signs were posted usually the newsletter is out and as I said we tried to get on the coalition of neighborhood associations agenda and have not been there in spite of our attempts to get there.

CHAIR BEGAY: Thank you. Commissioner Johnson?

COMMISSIONER JOHNSON: Ms. Marcotte, this is not on the neighborhood issues but in response to what I think was an excellent observation by Commissioner Schwartz that you really cut off one of the projects from the park and it really needs to be ability to transit through the other site. Does it make you want to think about redoing it?

MS. MARCOTTE: Madam Chair, Commissioner Johnson no it does not. It does make me agree to making that connection and we have looked on the site plan and places where we can make those connections internal to the site. We do not really want to go back and redesign the site plan. But I think the current plan can accommodate those connections and we will accept that condition and we will show that when we go to DRB.

COMMISSIONER JOHNSON: I do think that we will want to see it be a very direct, I do not mean it has to be a straight line but it should be very easy to travel from the one in the back through to the park.

MS. MARCOTTE: To the park, correct, I understand.



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CHAIR BEGAY: Any other questions for Ms. Marcotte?

COMMISSIONER McMAHAN: Thank you Madam Chair. I am not sure if this is for Karen or not but Mr. Irwin alluded to a drop in water pressure. Do we have any information; we know that can occur when you suddenly bring on line an awful lot of residences. Do we have any indication as to what the capacity of the water service out there is? Karen have you looked at that?

MS. MARCOTTE: Commissioner McMahan I would like the civil engineer to address that.

COMMISSIONER McMAHAN: We have a civil engineer here good.

MR. TOPMILLER: I am James Topmiller with Bohannon Huston and I swear to tell the truth. I have not heard that. The system is at its tail end out there but there are major thirty-inch waterlines running through. There is a loop system that needs to be constructed as Steven Moody constructs there will be a ten inch water line or so put in there which should help the situation. It happens to be at the lower part of a water pressure zone which gives you at least an ecstatic condition high pressures. In a dynamic situation where everybody is using water pressures begin to fall. I just simply have not heard that that's difficult. We have just requested and received back a water and sewer availability letter from the City for the Science and Tech Park to the south. No mention of water pressure difficulties were there and if that project goes through there will be additional looped waterlines which will help any problem that may exist today.

COMMISSIONER McMAHAN: That is fine, that helps. Thank you very much. Thank you Madam Chair.

CHAIR BEGAY: Commissioner Gara?

COMMISSIONER GARA: Mr. De La Torre I have a couple of questions for you. When I measure a couple of the garages that you have I measure one hundred and thirty one hundred and forty feet of blank walls and I know that you say it is going to be landscaped but landscaping can die and it may not be mature for a longtime. Is there way that stuff can be broken up? The justification is it is going to be a noise inhibitor when you have multi store apartments behind it you know it does not carry all the way it needs to be and especially when you get to the street three story units that I saw on (INAUDIBLE) I believe. And that is not as busy as Eubank but you still have garages backing up but it is certainly not in a number and then along Steven Moody again across from the park as I understand it you have all these blank garage walls. Based on upon my experience for the Westside that bothers me a lot. It has been an eyesore we have talked about it many times at this Commission about blank walls of the garages and all of sudden you see the ... banners going along the whole thing and it becomes a billboard if you will. Any recommendations?

MR. DE LA TORRE: I guess what we could do is be if you will a little bit more playful and very decisive and play with setbacks because I think really that if we had a blank wall and a sidewalk lets say like every masonry wall that you have around every neighborhood you see then I will

Notice of Appeal

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AC-01-08

Karen Kendall, 12924 Piru SE, Albuquerque, NM 87123  
Dave Orwat, 4600 Homestead Tr. NW, Albuquerque, NM 87120  
Dave Saxon, 10836 Wasatch Rd. SE, Albuquerque, NM 87123  
Rose & John Sena, 7820 Zuni SE, Albuquerque, NM 87123  
Dave Smith, 12536 Elyse Pl. SE, Albuquerque, NM 87123  
John Smokov, 608 Parkside Pl. SE, Albuquerque, NM 87123  
Janette Vanderkamp, 300 Dorado Pl. SE, Albuquerque, NM 87123  
Phil York, 12705 Elyse Pl. SE, Albuquerque, NM 87123

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agree one hundred percent with you. But that is going to be separated by landscaping and as you say it is also going to be maintained it is not just going to be left. We also want to put as much landscaping as possible like pyracanthias and things like that to discourage people going to the walls and when we have the grading some of those are sunken into our parking lots so it is not going to be as brutal as you are picturing by looking just at the plan.

COMMISSIONER GARA: That also becomes a tablet for graffiti too.

MR. DE LA TORRE: True. But then again it comes to if we had a gated community with three hundred thousand dollar homes you have an adobe wall that is eight feet and it is subject to that but for some reason it looks okay there but it does not look okay now. So, based on that we were very careful not to have just a if you will a wall of China there but break it with a wrought iron and landscaping and having in and outs that can be very interesting.

COMMISSIONER GARA: But you have, if I am reading the plan wrong please tell me. How tall is the garage rear wall? It looks like it is fourteen feet?

MR. DE LA TORRE: Yes.

COMMISSIONER GARA: And then between the garages you have a nine foot CMU wall or is that three foot.

MR. DE LA TORRE: It is just three feet, yes.

COMMISSIONER GARA: It looked like a nine without my glasses on. And then I tend to agree with the, there seems to be a vast difference between the two projects as far as the architecture is concerned. I guess that bothers me. You have three story walks up and (INAUDIBLE). That would be the eastern most project?

MR. DE LA TORRE: Correct. I do not know if you are familiar with the other project that we did a long time ago for Trammel Crow and that is on the entrance to Corrales it is called River Walk Apartments. That is the intent that we have on this project. And it is as northern New Mexico as it can be and that one happens to have concrete flat tile roof and we wanted to mimic something in that nature and with the color of the stucco and the windows we thought that we could accomplish something similar.

COMMISSIONER GARA: That is on the front project?

MR. DE LA TORRE: No that would be also on the east. The project that we did in Porto de Corrales, which was Porto de Corrales, called at that time it is a three story with pitched roofs. It has a two story and a three story with pitched roofs and that is what we had in mind when we were doing this. It is not that we are going to a sighting or something that looks totally out of New Mexico. It will keep that character of northern New Mexico if you will.

COMMISSIONER GARA: Do you have color renditions just by any chance?

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MR. DE LA TORRE: No.

CHAIR BEGAY: A lot of northern New Mexico have tin roofs. Commissioner Johnson?

COMMISSIONER JOHNSON: I am a little bit confused Mr. De La Torre. I do not think this looks like the Corrales project. Are you saying that it will when you change it?

MR. DE LA TORRE: I think once that you use the right colors it is not that different because we have the balconies with the wrought iron and they were painted white. I mean with the right coloring and you see we have nice trim around the windows I think we can have a very handsome project.

COMMISSIONER JOHNSON: Is the right coloring specified in here?

MR. DE LA TORRE: Well at this point I just said that we will like to be able to play with three different beige colors if you will. So not all of them are the same color and then one of the questions from staff was what parts are going to be what beige and I said the answer is the whole building would be one color we are not going to be trying to create an apartment like Central near the river with neon lights.

COMMISSIONER JOHNSON: Thank you very much.

CHAIR BEGAY: Any other questions?

MR. DE LA TORRE: Trust me.

CHAIR BEGAY: Okay. Thank you Mr. De La Torre. Staff, did we have one more person signed up? No, okay.

COMMISSIONER SCHWARTZ: Ms. Marcotte each of these projects that there is a single mailbox location is that correct? Is that a post office requirement?

MS. MARCOTTE: Yes. They come through the rain and the sleet and the snow but not all the way to your door.

COMMISSIONER SCHWARTZ: I know but is it a post office requirement that it kind of be sited off I mean wouldn't it be more practical to have it kind of more centrally located or maybe up by the office where there is someone around to kind of discourage break ins, mail box thefts.

MR. DE LA TORRE: Our preference would have been to have two or three different locations and distribute the mail but in several projects that we have done the Post Office says no to that. And the intent of where the location is we put them right where we have the biggest amount possible stacking for several cars and most people will be going to check the mail either on the way out or the way in. So that is really we did not want to bring as much traffic as possible to the center and try and get rid of the problem as soon as possible as well as like if you can see with the refuse.

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CHAIR BEGAY: Thank you. Commissioner Gara?

COMMISSIONER GARA: Mr. De La Torre if you are going to connect the project on Eubank to the park to the east how would you propose we do that?

MR. DE LA TORRE: Talking as a planner, as an architect it would be nice if everybody respected everybody and then the children from the west apartment complex do not go and start swimming on the east complex and then there is a war between the two entities because that is absolutely ....anymore and no control of anybody. So if I was going to be a partner and buy any project on the east I would be very reluctant to have this foot traffic over my property because things will happen and they can happen.

What I had thought also is I would like to be able to connect the west property to the park and maybe benefit also the O-1 since maybe developed as a campus and do a walkway that could be shared by both properties if you will. But still keep the security of the west project so the people from the west, the Eubank side can walk along the property line and end up at the park. And also they can use the north street because who are you satisfying if you put one right in the middle there are always some people that are away from that. So if we have a nice walk on the front on La Entrada Street and one between the O-1 that also can benefit as a nice walk in the future development I think that would be my preference.

COMMISSIONER GARA: And would you have access from the east apartment community to this walk also?

MR. DE LA TORRE: Yes.

COMMISSIONER SCHWARTZ: He already has that shown.

MR. DE LA TORRE: Yes, there will be like a turn site from the zoo that you go in one direction. Because we still want to avoid people just coming...

COMMISSIONER GARA: So if I work at the Sandia Research Park I can go to work walking but I cannot get back in right?

MR. DE LA TORRE: No, you can go out through the park but not to the apartments.

COMMISSIONER GARA: But I guess the whole concept of the benefit of this to the Sandia Research Park is people can live here and work here and they can even walk to work or bike to work but if you close it off you are not going to have that access. They are going to have to go around and circumvent in order to get to work.

MR. DE LA TORRE: Again and so far management and things like that maybe we can think of a system where the owners of the apartments can freely walk in and out but there are certain restrictions just for everybody. Then again who are we kidding they can always walk through the drives everywhere but this discourages just what I picture happening. If I was a kid like I

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used to be and I lived on the Westside I would like to see what I can get away on the east side in their swimming pool because it is going to be a little...

COMMISSIONER GARA: (INADUIBLE).

MR. DE LA TORRE: I am afraid so. So that is what I try to avoid from the beginning but I also realize it is very important to have a path for the west apartment to the park.

CHAIR BEGAY: Thank you. Ms. Stover, do you have any closing comments?

MS. STOVER: No.

CHAIR BEGAY: Applicant closing comments?

MS. MARCOTTE: If I can put another thing up here. I think Commissioners what Mr. De La Torre was talking about was just having an easement of some kind access along here that gets you from the eastern multi family site back into the western one right along the edge between the office parcel. And I believe that is what he was talking about it gets you straight out to Steven Moody Street into the park along that side or alternatively if you lived on this side of the complex you can a long trot over. You know we can as several Commissioners have talked about we can make a direct connection through the middle connecting through one of the other drive aisles through the apartment complex to the east from the west. But as Mr. De La Torre noted I think it will probably encourage people to go back and forth and use each other's amenity packages.

CHAIR BEGAY: Thank you.

MS. MARCOTTE: Whether or not you think that is important I think that is the problem.

COMMISSIONER GARA: I think that is a management issue not a Planning Commission issue.

MS. MARCOTTE: Well there are ways to get out of this site in all directions. You could put in an easement along the edge along the property line. You can get directly out to Steven Moody on the east, you can get out to Eubank and out to La Entrada from the west so there is quite a bit of connectivity from this site.

CHAIR BEGAY: Thank you. Okay lets close the floor.

COMMISSIONER McMAHAN: I have a question. Karen, I am concerned about the fact that Councilor Brasher has not taken the opportunity I did not say he has not had the chance, has not taken the opportunity to get in the middle of this and look at it. I guess my question is what would a thirty or sixty day deferral do to this from your point of view if this Commission were to say lets defer it so Councilor Brasher can get his constituents together to take a look at this for those who had not had a chance to for whatever reason? It is a very long involved sentence but I think it makes sense.

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MS. MARCOTTE: Madam Chair, Commissioner McMahan we would obviously prefer to not have a deferral especially being we did make four attempts to get on the agenda for Councilor Brasher's meetings in the neighborhood. And tried to follow all of the rules to the letter time is money the developer would in fact like to go forward. He is paying option cost for the land while we are waiting for the approval so it will cost the applicant money for a problem that was not of the applicants making I believe but if that is your desire we will accept it.

COMMISSIONER McMAHAN: I keep thinking that knowing Councilor Brasher he might standup at a Council meeting and make all kinds of nasty comments if not given the opportunity to respond to what his constituents feels are very strong needs.

COMMISSIONER GARA: The only way he can comment is if it was appealed.

CHAIR BEGAY: Right.

COMMISSIONER McMAHAN: No, he can bring it up in Council to comment about it and then could encourage...

CHAIR BEGAY: I am kind of leery though about opening the door to allow every project to be reviewed by their Councilperson.

COMMISSIONER McMAHAN: I understand that for sure.

MS. MARCOTTE: Madam Chair, the architect informed me that actually we loose the financing package in the next thirty days if we do not have an approval. So the applicant would not like a deferral.

COMMISSIONER GARA: I guess based upon the testimony of the neighborhood associations on whether they were do notification or not if they determine that they are going to appeal that can take a longer time then a thirty day deferral here possible in my opinion.

COMMISSIONER McMAHAN: That is my thought.

COMMISSIONER GARA: And if you satisfied the neighborhood concerns that are affected may not be adjacent but are affected at the same time. Is that something, I know it is not something you want to do but I guess if I saw a better site plan I would be less inclined to say we need a deferral but the connectivity I think is lacking. I think the long expanses of garages are lacking and those are areas of concern to me simply because of the experience in this community and what have seen happen when we have situations like that.

CHAIR BEGAY: Commissioner Johnson?

COMMISSIONER JOHNSON: I would agree with Commissioner Gara. I would not propose a deferral or a continuance for the sake of having Commissioner Brasher look at it I do not think that is good policy.

City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: March 2, 2001

GSL Properties, Inc.  
2164 S.W. Park Place  
Portland, Or 97205

**OFFICIAL NOTIFICATION OF DECISION**

FILE: 00110 00000 01644/00128 00000  
01645/00128 00000 01646/00128 00000  
01647

LEGAL DESCRIPTION: for Tract G-3 &  
Tract H-1, Manzano Mesa Addition, located  
on Eubank SE between Central Avenue SE  
and Sandia National Labs SE, containing  
approximately 36.3 acres. (L-21) Debbie  
Stover, Staff Planner

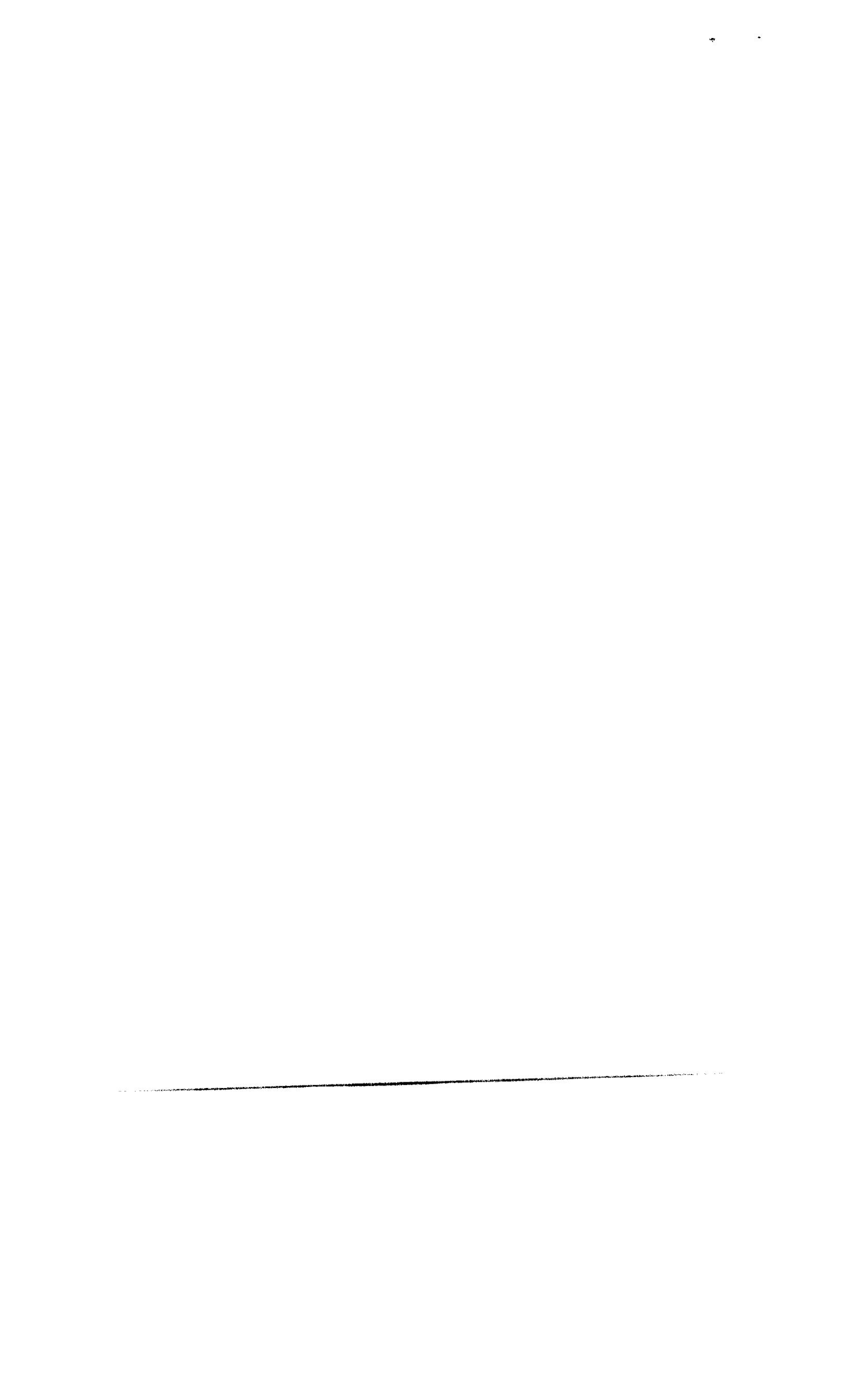
On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01644, request for zone map amendments based on the following Findings and subject to the following Conditions of Approval:

**FINDINGS:**

1. This is a request for a zone map amendment for Tract H and Tract G-3, Manzano Mesa Addition.
2. The request meets the requirements of applicable City plans and policies.
3. The request has been justified under Resolution 270-1980 by the applicant under the changed community conditions and the more advantageous to the community policies.
4. A site plan accompanies this request for SU-1 zoning.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
  2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines
-



COMMISSIONER McMAHAN: I am sorry I brought his name in.

COMMISSIONER JOHNSON: Yes, probably that was a mistake but I am concerned about the integration of the two sites in terms of look and feel although I realize they have different architecture they appear very different to me and I would like to see better drawings, perhaps color renderings. Something that gives us more than the architect's request to trust me on what these will look like. I am also concerned about the connectivity and I think this site has wonderful potential for being just what we want the world to be like. We keep saying we want a mixture of uses and we want people to be able to walk and ride. But I cannot tell from this how that works. I cannot see how you get clearly from these residential sites to the work place and these residential sites to the play place. And I think that is very key part of what we are looking for here. And if you can do it very quickly I think we would be interested in seeing it as soon as you could make those kinds, show us those kinds of things on the site plan and in terms of the architecture. I am less concerned because I think we have met the requirements of notification and I am less concerned about the Councilor and those reasons for deferral but these other ones I would really like to see.

CHAIR BEGAY: If I may we have a study session February 8 at four o'clock. Is that correct April? Would that give you enough time? You can invite Councilor Brasher if you want but I mean would that give you enough time?

MS. MARCOTTE: Madam Chair, yes we would prefer to come back to the study session and try and very clearly show the issues that the Commissioners have raised rather than accept a thirty day deferral because that will help keep us within our financing schedule for the project.

CHAIR BEGAY: Right. Great. What does the Commission think? Are we clear on what we want them to bring back? Are you clear on?

MS. MARCOTTE: Yes I think so.

COMMISSIONER JOHNSON: I guess I will just add that I would like to see the possibility for the foot traffic, I mean how do you get there on foot? How do you get there on bike? And how do you get there if you have to pack all the kids in the car and go to the park? So those are the roots I would like to.

MS. MARCOTTE: A multi model transportation diagram.

COMMISSIONER JOHNSON: Yes maybe. And the architecture, thank you.

CHAIR BEGAY: Would someone like to make the motion to that affect? Russell Brito?

MR. BRITO: Madam Chair, in regards to a deferral to February 8 that would mean that we would have to have a staff report by February 1<sup>st</sup> or 2<sup>nd</sup> and we would like at least a few days before that to be able to review any revised site plans that come in and we would ask that the applicant get us revisions by the end of next week if that is possible.



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COMMISSIONER SCHWARTZ: What is on that agenda?

CHAIR BEGAY: We have a study session and what else April? That is it.

COMMISSIONER SCHWARTZ: Is the study session a public meeting?

COMMISSIONER GARA: No, you can have a public hearing immediately following the study session. We have a meeting...

COMMISSIONER SCHWARTZ: Okay so the study session can be closed to the...

COMMISSIONER GARA: No, the study session is open we just do not conduct business at a study session.

COMMISSIONER SCHWARTZ: Okay.

COMMISSIONER GARA: So we would end the study session and go into an open meeting.

MS. MARCOTTE: Madam Chair, we would be willing to turn everything in by the end of next week.

CHAIR BEGAY: Great.

COMMISSIONER GARA: Mr. Newton has question or a comment.

MR. NEWTON: Did I hear they want a facilitated meeting.

CHAIR BEGAY: I do not know ask them.

MR. NEWTON: If the instruction comes from the EPC it always pushes the people that have the contract for the facilitation. And they have given us real fast service in the past.

COMMISSIONER GARA: So instructed.

CHAIR BEGAY: Great. Commissioner Gara?

COMMISSIONER GARA: Madam Chair, in the matter of agenda item number thirteen 00110 00000 01644/00128 00000 01645/00128 00000 01646/00128 00000 01647 I recommend a continuance to the February 8<sup>th</sup> meeting so that the applicant has time to review the site plan and talk and address the issues concerned by this Commission, expressed by this Commission concerning pedestrian access, bicycle access, vehicle access to the park, to work, and to the apartments and the architecture and the garages and other issues that were brought up. And to have a facilitated meeting with the affected neighborhood associations in that time frame.

COMMISSIONER McMAHAN: Second.

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ENVIRONMENTAL PLANNING COMMISSION  
AMENDED A G E N D A

Thursday, January 18, 2001, 8:00 a.m.

Plaza del Sol Hearing Room  
Lower Level  
600 2nd Street NW

MEMBERS

Elizabeth Begay, Chairman  
Alan Schwartz, Vice Chair

Chuck Gara  
Mick McMahan  
Camilla Serrano

Susan Johnson  
Larry Chavez

\*\*\*\*\*

**NOTE: A LUNCH BREAK AND DINNER BREAK WILL BE ANNOUNCED AS NECESSARY.**  
Agenda items will be heard in the order indicated below unless modifications to the Agenda are approved by the EPC at the beginning of the hearing (see item 1A and 1B below); deferral and withdrawal requests (by applicants) are generally reviewed at this time.

There is no set time for cases to be heard; however, interested parties can monitor the progress of the hearing by calling the Planning Department at 924-3860. All parties wishing to address the Commission must sign-in with the Commission Secretary at the front table prior to the case being heard. In the interest of time, the Chairman may establish time limitations on speakers. Please be prepared to provide brief and concise testimony to the Commission if you intend to speak.

1. Call to Order.

- A. Announcement of changes and/or Additions to the Agenda.
- B. Approval of the Amended Agenda.

- 1C. 00138-00000-01761 Recommendation to the City Council of the Mayor's proposed *Decade Plan for Capital Improvements, 2001 - 2010*, including the General Obligation Bond Programs of the Departments of: Cultural Services; Environmental Health, Family and Community Services, Finance and Administrative Services, Fire, Parks and Recreation, Planning, Police, Public Works, Senior Affairs and Transit. Also included are the Enterprise Fund Capital Programs for the Departments of: Aviation, Solid Waste Management and Public Works Water and Wastewater; and the Urban Enhancement Trust Fund two year program. Barbara Taylor, Staff
2. 00128 00000 00915  
00128 00000 00917  
Project #1000651 Tierra West LLC, agents for SCM Properties Co., requests approval of a site development plan for subdivision purposes plus approval of a site development plan for building permit for Tract A-29A, Town of Atrisco Grant Northeast, zoned SU-1 for PDA C-1 Uses and Office located on Coors Boulevard between Redlands Road and Pheasant Avenue, containing approximately 3.4116 acres. (G-11) Bob Torres, Staff Planner **(DEFERRED FROM OCTOBER 19, 2000)**
3. 00128 00000 01383  
Project # 1000603 Charles L. Henry, Architect, agent for Furr's Supermarkets, Inc., requests approval of an amendment to a site development plan for building permit for Lots MA & NA, Town of Atrisco Grant, Northeast Unit, zoned C-1, located on Coors Boulevard NW between Sequoia and Redlands Roads, containing approximately 15 acres. (G-11) Russell Brito, Staff Planner **(DEFERRED FROM NOVEMBER 16, 2000)**
4. 00114 00000 01343  
00110 00000 01344  
Project # 1000824 Lucille Gonzales, agent for Helen Armstrong requests annexation and establishment of zoning A-1 (county) to C-1 (city) for Lot 2, Block 44, Unit 1, Knolls of Paradise Hills, located on Golf Course Road NW between Paradise Boulevard NW and Green Avenue NW, containing approximately .27 acres. (B-12) Debbie Stover, Staff Planner **(DEFERRED FROM NOVEMBER 16, 2000)**
5. 00114 00000 01345  
00110 00000 01346  
Project # 1000824 Lucille Gonzales requests annexation and establishment of zoning R-1 (county) to C-1 (city) for Lot 1, Block 44, Unit 1, Knolls of Paradise Hills, located on Golf Course Road NW between Paradise Boulevard NW and Green Avenue NW, containing approximately .33 acres. (B-12) Debbie Stover, Staff Planner **(DEFERRED FROM NOVEMBER 16, 2000)**

6. 00110 00000 01022  
00128 00000 01023  
Project # 1000695  
Sites Southwest, agents for Kmart Corp., request a zone map amendment from C-1 to SU-1 for C-1 Uses with sales of liquor for off-premise consumption plus approval of a site development plan for building permit for Tract A, Netherwood Park, second filing, located on Carlisle Boulevard NE between I-40 and Indian School Road, containing approximately 10.06 acres. (H-17) Russell Brito, Staff Planner **(DEFERRED FROM NOVEMBER 16, 2000)**
  
7. 00128 00000 01512  
Project 1000899  
George Montgomery, Architect, PC, agents for Mesa View United Methodist Church, Inc., request approval of a site development plan for building permit for Tracts 27-A1 and 27-A2, Taylor Ranch Subdivision, zoned SU-1 for Church and Related Facilities/office and daycare center, located on the northeast corner of Taylor Ranch Road and Montano NW, containing approximately 8.072 acres. (E-11 & E-12) Mary Piscitelli, Staff Planner **(DEFERRED FROM DECEMBER 21, 2000)**
  
8. 00110 00000 01515  
00128 00000 01516  
00128 00000 01523  
Project # 1000651  
Herb Denish and Associates, Inc., agents for Tijeras Place, LLC request a zone map amendment from SU-1 PDA C-1 Uses & Office to SU-1 PDA C-1 Uses & Office & Auto Sales plus approval of a site development plan for subdivision purposes and approval of a site development plan for building permit for Tract A29A, Town of Atrisco Grant Northeast, located on Coors Boulevard NW between Pheasant Avenue NW and Redlands Road NW, containing approximately 3.41 acres. (G-11) Debbie Stover, Staff Planner **(DEFERRED FROM DECEMBER 21, 2001)**
  
9. 00110 00000 01500  
00138 00000 01501  
00128 00000 01502  
Project # 1000892  
Garcia Kraemer, agents for Charles Benzaquen, request a zone map amendment from SU-2/TH to SU-2/SU-1 Single Family Residence & Restaurant plus an amendment to the Sector Development Plan and approval of a site development plan for building permit for Lots 47 & 48, Perea Addition, located on the northeast corner of Tijeras Avenue and 13<sup>th</sup> Street, containing approximately .11 acres. (J-13) Simon Shima, Staff Planner
  
10. 00128 00000 01633  
Project # 1000699  
Garcia/Kraemer & Associates, agents for Dr. Sharon Holland request approval of a site development plan for building permit for Tract 67A3, MRGCD Map No. 29, located on Fourth Street NW, between Vineyard Road and Willow Road, containing approximately 1.15 acres. (E-15) Leigh Matthewson, Staff Planner



OFFICIAL NOTIFICATION OF DECISION

00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

MARCH 2, 2000

PAGE 2

On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01645, request for site plan for subdivision, based on the following findings 1-4.

**FINDINGS:**

1. This is a request for a site plan for subdivision for Tracts H and G-3, an approximately 36.3 acre site and which is located on Eubank Boulevard south of Southern SE. The intent is to subdivide into three new tracts to be called Tract G-3-A, Tract G-3-B and Tract H-1.
  2. A site plan for subdivision is required for approval of SU-1 zoning.
  3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
  3. The site development plan for subdivision meets all of the requirements of the Zoning Code.
- 

On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01646, request for site plan for building permit, based on the following findings 1-5, and subject to the following conditions 1-18.

**FINDINGS:**

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
  2. The submittal will be adequate with some minor changes and additions.
  3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed for the connections between the two complexes.
  4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.
-

11. 00110 00000 01623  
00128 00000 01514  
Project # 1000898  
Consensus Planning, Inc., agents for Richard Smith request a zone map amendment from R-1 to SU-1 for SU-1 for Mixed Use Development including: C-1 Permissive uses excluding automobile related and service uses and drive up facilities and including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on-premise consumption (1.4 acres max); O-1 permissive uses; and R-2 permissive uses (minimum of 35% of the gross property area) and SU-1 for R-2 uses (16 acres), plus approval of a site development plan for subdivision purposes for Paradise Heights, Unit 3, located on the northeast corner of Unser and McMahan, containing approximately 20 acres. (A-11) Russell Brito, Staff Planner
  
12. 00110 00000 01639  
00128 00000 01640  
Project #1000936  
Consensus Planning, Inc., agents for Bob Kunath and Howard Zolin request a zone map amendment from R-1 to SU-1 for Mixed Use Development (13.4 acres) including: C-1 Permissive uses excluding automobile related and service uses and drive up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on-premise consumption (4.5 acres max); O-1 permissive uses; and R-2 permissive uses (minimum of 35% of the gross property area) and SU-1 for R-2 uses (4.5 acres) located approval of a site development plan for subdivision purposes for the SE ¼ of NW ¼ T115, R2E, and portion of SE ¼ of NW ¼ of SE T11N, R2E, located on the northwest corner of Unser and McMahan, containing approximately 21 acres. (A-11) Russell Brito, Staff Planner
  
13. 00110 00000 01644  
00128 00000 01645  
00128 00000 01646  
00128 00000 01647  
Project # 1000938  
Consensus Planning, Inc., agents for GSL Properties, Inc. request a zone map amendment from SU-1 for O-1, SU-1 for R-2 to SU-1 for O-1, SU-1 for R-2 plus approval of a site development plan for subdivision purposes and approval of a site development plan for building permit for Tract G-3 & Tract H-1, Manzano Mesa Addition, located on Eubank SE between Central Avenue SE and Sandia National Labs SE, containing approximately 36.3 acres. (L-21) Debbie Stover, Staff Planner
  
14. 00110 00000 01626  
00128 00000 01625  
Project #1000931  
Consensus Planning, Inc., agents for Curb West, Inc. request a zone map from SU-1 for C-1 and R-1 to SU-1 for Church and related facilities O-1, and R-2 Permissive Uses; SU-1 for C-1 O-1 and R-2, (with restaurants with full service liquor and liquor sales for off site consumption) and R-LT for Tract B-2 & Lots 1-28 & Lots 1-29, Block 15 & 16, Paradise Heights Addition, located on Irving Boulevard between Universe Boulevard and Unser Boulevard, containing approximately 146.8 acres. (A-10) Mary Piscitelli, Staff Planner

15. 00110 00000 01631  
00128 00000 01632  
Project #1000933  
Consensus Planning, Inc., agents for Royalty Investment Company/  
Manzano Mesa Limited Partnership request a zone map amendment  
from SU-1 for limited IP to R-T SU-1 for C-1 & SU-1 for C-2, plus  
approval of a site development plan for subdivision purposes for Tract B,  
Manzano Mesa located on Southern Boulevard between Eubank SE and  
Juan Tabo SE, containing approximately 37.87 acres. (L-21) Debbie  
Stover, Staff Planner
  
16. 00128 00000 01624  
Project #1000930  
HDR Engineering, agents for Bernalillo County PWD request approval  
of a site development plan for building permit for Lot B, Tracts A & B  
Pajarito Elementary School, zoned RO-1, located on Don Felipe Road  
SW between Coors Boulevard and Don Felipe Court, containing  
approximately .26 acres. (R-10 & Q-10) Loretta Naranjo-Lopez, Staff  
Planner
  
17. 00110 00000 01628  
00128 00000 01629  
00128 00000 01630  
Project # 1000662  
Tierra West LLC, agents for Union Pension Transaction Trust 93-2 NM  
request a zone map amendment from SU-1 for C-2 to SU-1 for IP plus  
approval of a site development plan for subdivision purposes and site  
development plan for building permit for Tract 3A3-A, N. Renaissance  
Center, located on Mission Avenue between Alexander Blvd. NE and  
Culture Drive NE, containing approximately 7.980 acres. (F-16) Debbie  
Stover, Staff Planner
  
18. 00128 00000 0638  
Project # 1000762  
Herbert M. Denish & Associates, Inc., agents for Newfoundland  
Investment Company, LLC, request approval of a site development plan  
for subdivision purposes for Lots 10A1, 10A2, C & portions of Lots B &  
F, Albuquerque West Subdivision and Lot B, Richland Hills Unit 1,  
zoned SU-1 for C-3 Uses with Exceptions and SU-1 for IP Uses with  
Exceptions, located on Paseo del Norte NW between Eagle Ranch Road  
and Richland Hills Road, containing approximately 27.3 acres. (C-12)  
Russell Brito, Staff Planner
  
19. 00114 00000 01637  
00110 00000 01649  
Project #1000935  
Consensus Planning, Inc., agents for Albuquerque Public Schools  
request annexation and establishment of SU-1 for IP zoning for Section  
33, T10N, R4E, Tract SE ¼, NW ¼, located on Eubank Blvd. SE  
between Southern SE and KAFB, containing approximately 40 acres.  
(M-21) Makita Hill, Staff Planner

20. 00114 00000 01643  
00110 00000 01650  
00128 00000 01641  
00128 00000 01642  
Project #1000937
- City of Albuquerque, Transit Department request annexation and establishment of SU-1 for Transit Facility and Daycare zoning plus approval of a site development plan for subdivision purposes and site development plan for building permit for Tracts B-15, B-16, B-17, B-18 and B-19, Town of Atrisco Grant, located on Daytona between Unser and 90<sup>th</sup> Street, containing approximately 20 acres. (J-9) Debbie Stover, Staff Planner
21. 00114 00000 01634  
00110 00000 01635  
00138 00000 01636  
Project #1000934
- Mark Goodwin & Associates, agents for 106<sup>th</sup> Street Partner, Ltd. request annexation and establishment of R-D/20 du zoning plus an amendment to the Tower Unser Sector Development Plan for Lots 2-5, Block 9, Town of Atrisco Grant, located on 106<sup>th</sup> Street between Sunset Gardens Road and Eucariz Avenue, containing approximately 19.7 acres. (L-8) Loretta Naranjo-Lopez, Staff Planner
22. Other Matters.



January 18, 2000

## Staff Report

<b>Agent</b>	Consensus Planning
<b>Applicant</b>	GSL Properties
<b>Requests</b>	<b>Zone Map Amendment</b> <b>Site Plan for Subdivision</b> <b>Two Site Plans for Building Permit</b>
<b>Legal Description</b>	Tracts G-3 and H-1
<b>Location</b>	Eubank between Central Avenue and Sandia National Laboratories SE
<b>Size</b>	Approximately 36.3 acres
<b>Existing Zoning</b>	SU-1 for O-1, SU-1 for R-2
<b>Proposed Zoning</b>	SU-1 for R-2, SU-1 for O-1

### Staff Recommendation

**APPROVAL** of 00110 00000 01644, request for zone map amendment based on the findings on page 13, and subject to the conditions of approval on page 13.

**APPROVAL** of 00128 00000 01645, request for site plan for subdivision, based on the findings on page 14.

**APPROVAL** of 00128 00000 01646, request for site plan for building permit, based on the findings on page 14, and subject to the conditions of approval on page 15.

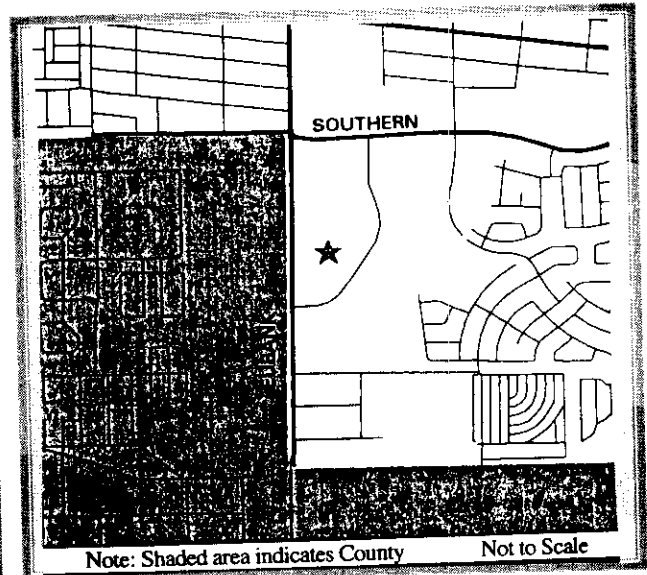
**APPROVAL** of 00128 00000 01647, request for site plan for building permit, based on the findings on page 17, and subject to the conditions of approval on page 18.

Staff Planner

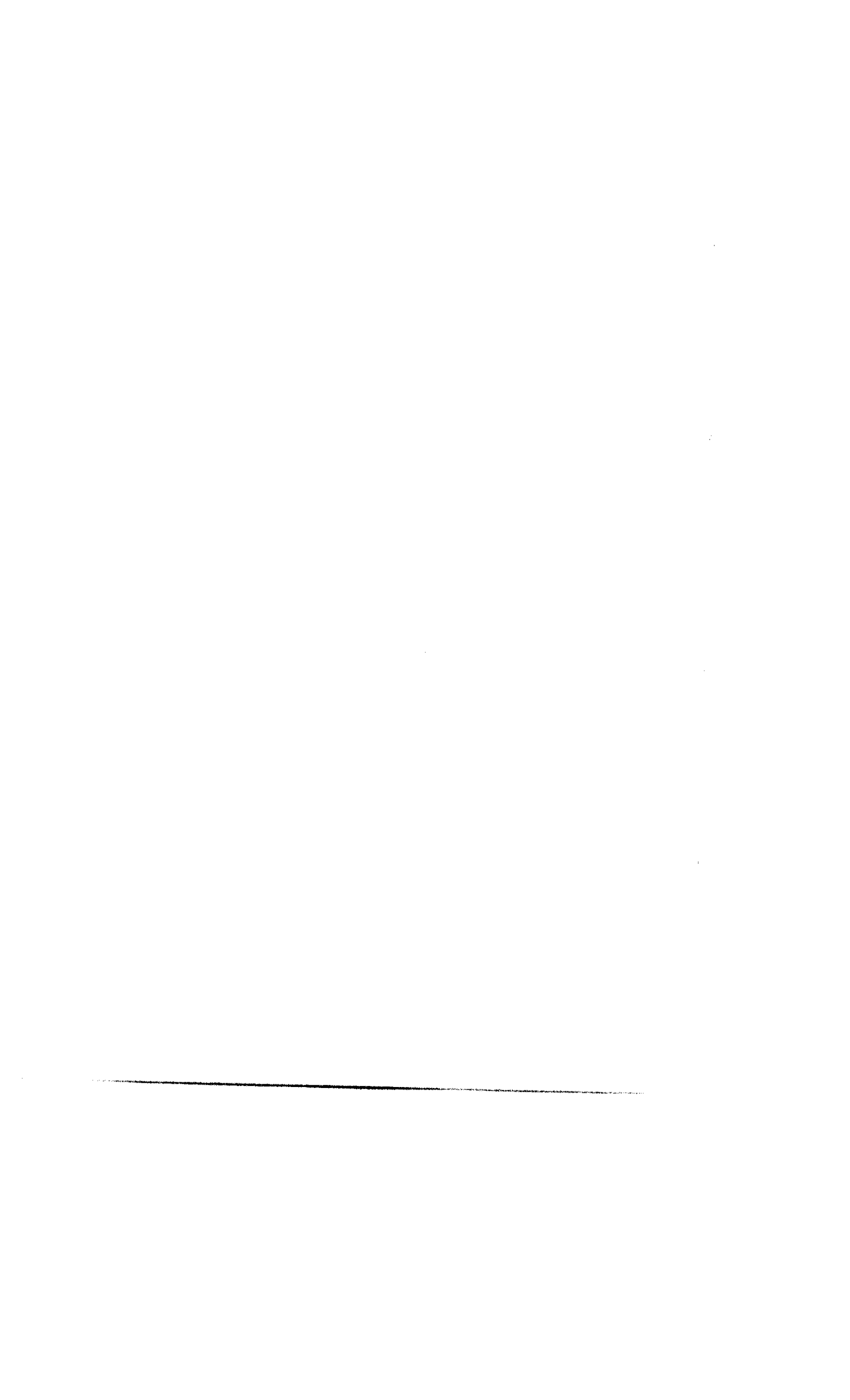
Deborah L. Stover

### Summary of Analysis

This request is for a zone map amendment, approval for site plan for subdivision and approval for two site plans for building permit for two separate multi-family residential complexes. The zone change request is not inconsistent with the existing zoning on the subject site, but if approved would move the residential area to the north of the parcels and the office uses to the southern portion of the area, nearer the proposed technology park. The proposed subdivision creates three tracts from the existing two. The request is consistent with applicable policies and plans.



City Departments and other interested agencies reviewed this application from 12/1/00 to 12/15/00. Agency comments were used in the preparation of this report, and begin on page 20.



**Development Services Report**

**SUMMARY OF REQUEST**

<b>Requests</b>	Zone Map Amendment Site Plan for Subdivision Two Site Plans for Building Permit
<b>Location</b>	Eubank Boulevard SE between Central Avenue and Sandia National Laboratories SE

**AREA CHARACTERISTICS AND ZONING HISTORY**

*Surrounding zoning, plan designations, and land uses:*

	<b>Zoning</b>	<b>Comprehensive Plan Area; Applicable Rank II &amp; III Plans</b>	<b>Land Use</b>
<b>Site</b>	SU-1 Limited O-1 Uses/SU-1 for R-2 Uses	Established Urban	Vacant
<b>North</b>	C-1		Vacant
<b>South</b>	SU-1 Limited IP Uses		Vacant
<b>East</b>	SU-1 Community Park & Related Uses		Vacant
<b>West</b>	US Government Land		Kirtland Air Force Base

**Background, History and Context**

This request is for a zone map amendment, site plan for subdivision and site plans for building permit for two tracts of land that total 36.3 acres. Tract G-3 is currently zoned SU-1 for R-2 Uses and Tract H-1 is zoned SU-1 Limited O-1 Uses. The request is to subdivide the tract, creating three parcels instead of two. The southern tract of land Tract H-1 would acquire the SU-1 Limited O-1 Uses zone, while the two northern tracts would be designated for R-2 Uses for two separate apartment complex developments. The area surrounding the subject site is vacant on all sides. Eubank Boulevard borders the site on the west and across Eubank to the west appears to be vacant land that is part of Kirtland Air Force Base. Further south of the site is Kirtland Air Force Base, as well. East of the site is a large parcel of land designated to become a community park. Tennis courts have been constructed and other construction related to the park





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is underway in the area. North of the site across Southern Boulevard is the newly built Costco and further north is Home Depot.

Recent land use/zoning changes in the area include:

#### **APPLICABLE PLANS AND POLICIES**

##### ***Albuquerque / Bernalillo County Comprehensive Plan***

The subject site is located in the Established Urban area of the Comprehensive Plan with a Goal "to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment." Applicable policies include:

Policy a The Established and Developing Urban Areas . . . shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

Policy d The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

Policy e New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

Policy g Development shall be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.

Policy k Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

Policy l Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

Policy m Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

##### ***Resolution 270-1980 (Policies for Zone Map Change Applications)***

This Resolution outlines policies and requirements for deciding zone map change applications pursuant to the Comprehensive City Zoning Code. There are several tests that must be met and the applicant must provide sound justification for the change. The burden is on the applicant to

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show why a change should be made, not on the City to show why the change should not be made.

The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: there was an error when the existing zone map pattern was created; or changed neighborhood or community conditions justify the change; or a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan.

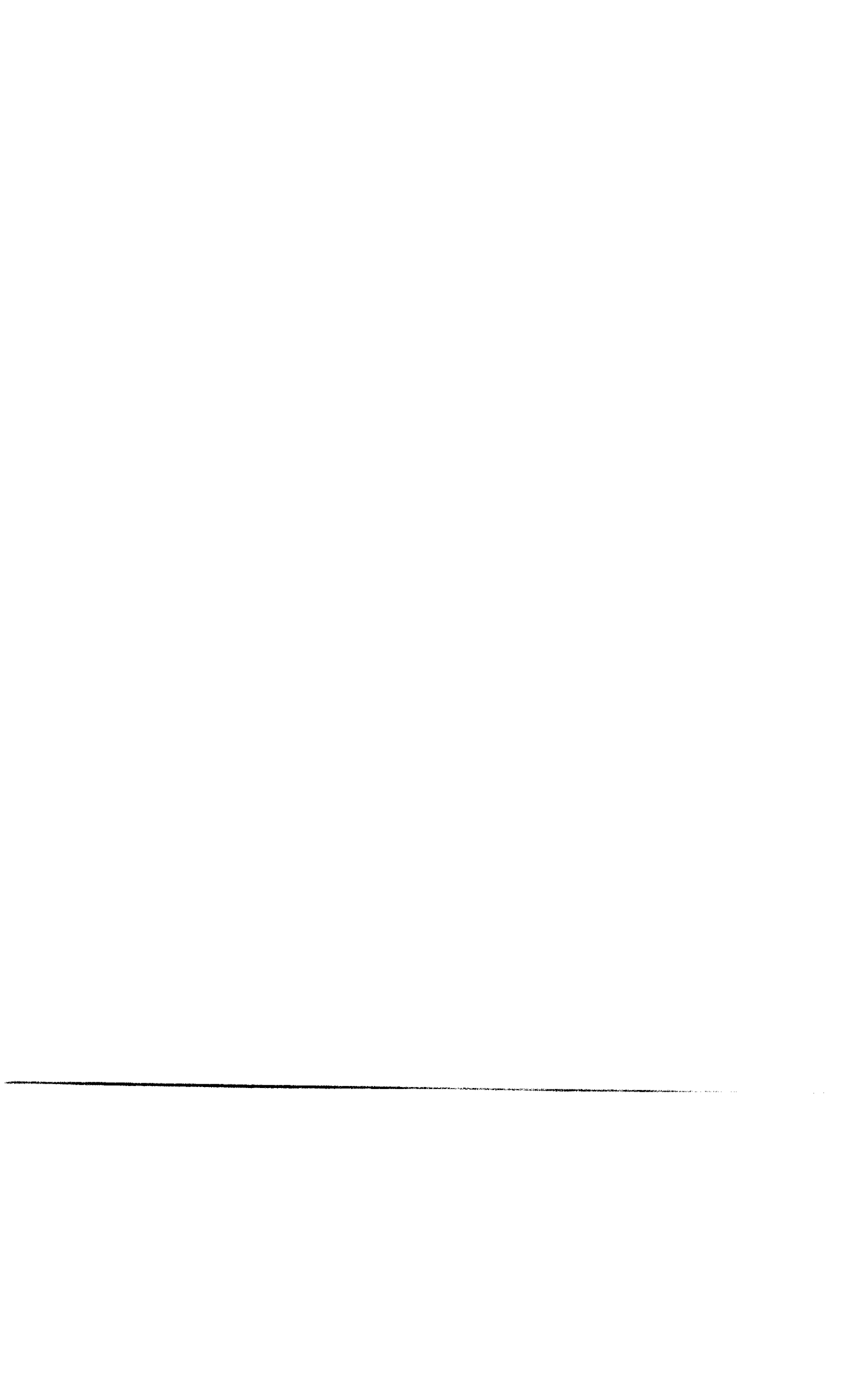
***Resolution 91-1998 (R-70)***

This Resolution establishes an overall direction for implementation of the City's growth policies, with a framework emphasizing:

- development of community and regional activity centers and major transportation corridors (high capacity corridors); encourage increased densities and mixed uses in activity centers and corridors; meet the needs of residents closer to their homes or employment to decrease Vehicle Miles Traveled and automobile dependence.
- maintenance, enhancements and upgrades of roads and utilities in the core area, to prevent deterioration of existing communities and to encourage infill; diversify the Downtown land use mix with public facilities, hotels, office and retail development, more and higher density housing; generate more activity and attract more private investment in the Downtown area.
- enhance transit system performance, consistent with the principles of a compact urban form and a network of centers and corridors; improve the viability of transit as an alternative to the single-occupancy vehicle and reduce Vehicle Miles Traveled; improve pedestrian mobility and the character of the pedestrian environment, transit orientation and bicycle connections, within centers and corridors.
- plan the timing of road and utility construction to ensure orderly growth, and coordinate capacity increases and street extensions; transportation improvement programs must recognize the significance of natural, historic, and cultural resources and include strategies for minimizing adverse impacts on them.

***Long Range Roadway System***

The Long Range Roadway System designates Eubank Boulevard SE as a Principal Arterial.



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5. The submittal will be adequate with some changes and additions.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
3. All exterior sidewalks and internal walkways shall be marked as a minimum 6-foot wide on the site plan. At points where bicyclists and pedestrian traffic may conflict, (for example, near external trail access points) measures such as widening shall be taken to minimize those conflicts.
4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
6. Clearly marked and centrally located pedestrian access shall be provided between and through this development and the proposed apartment complex adjacent to this site.
7. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
10. Lettering, colors, and content of the monument sign shall be shown on the site plan for building permit.
11. Pool and equipment room elevations that compliment the architecture of the apartment buildings shall be shown on the site plan.
12. Design of the 10-foot asphalt trail along Eubank in this area shall be coordinated with the Trails Planner Diane Scena.

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**ANALYSIS**

**ZONE MAP AMENDMENT**

***Conformance to Adopted Plans, Policies, and Ordinances***

The request for a zone map amendment is essentially a request for a change in location of existing zoning on the subject site. A subdivision from two tracts to three and renaming of the tracts would occur concurrently. The parcel that is currently called H and is zoned SU-1 for Limited O-1 Uses would be reconfigured, called Tract G-3-A, and the requested zoning is SU-1 for R-2 Uses. The parcel that is currently called Tract G-3 would be divided into two parcels. The northern portion would be called G-3-B and the requested zoning is SU-1 for R-2 Uses. The southern portion would be called Tract H-1 and the requested zoning is SU-1 for O-1 Uses. One notable fact is that the current Tract H is zoned for Limited O-1 Uses while the new request for office zoning is straight O-1.

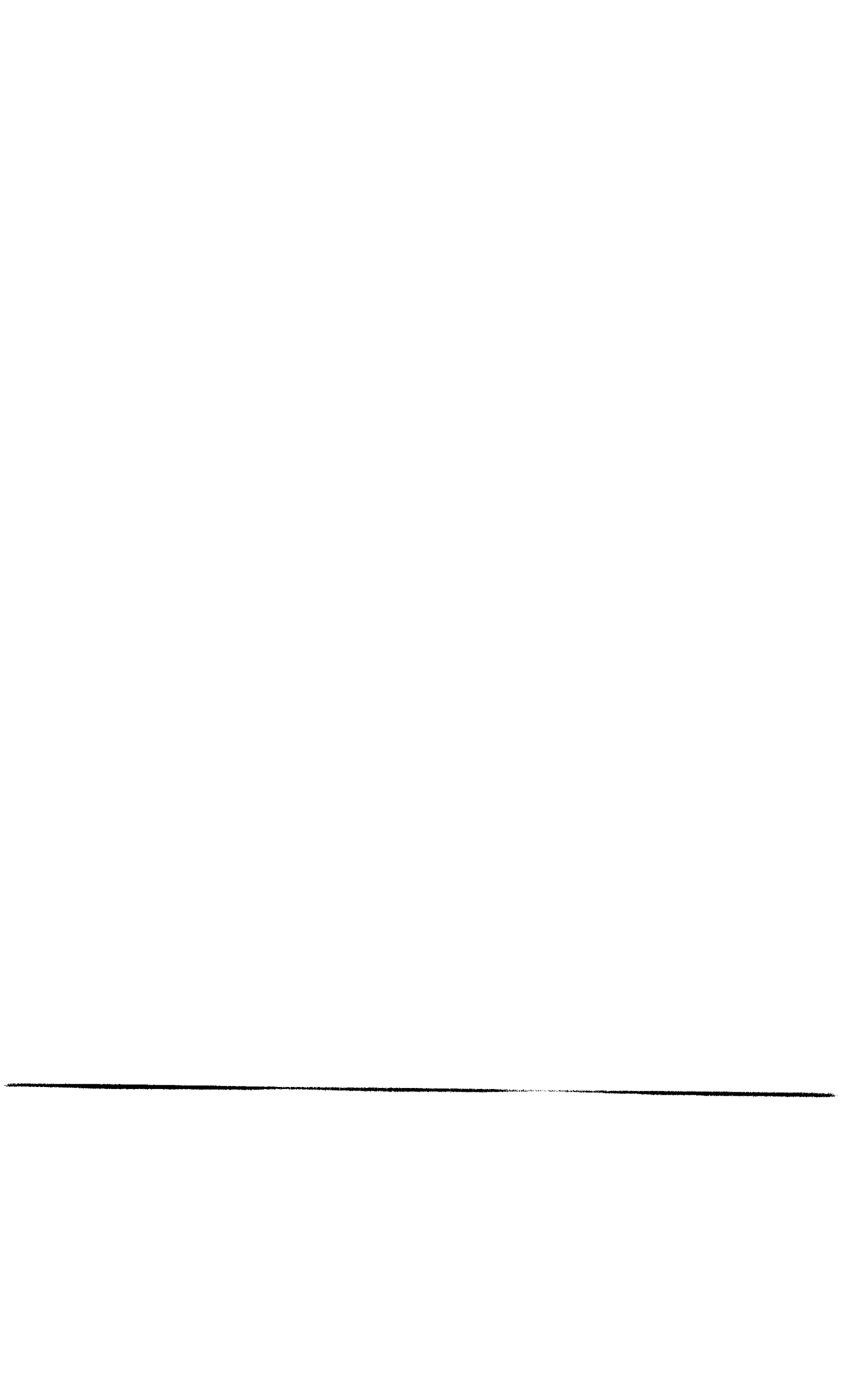
According to the applicant, the impetus behind the change in zoning is to allow the office uses to be in closer proximity to the developing Sandia Science and Technology Park. This 200-acre industrial park is developing to the south of this site and will greatly impact the area as it builds out. The applicant states in a letter that the reconfiguration and zone map amendment is advantageous to the community in that it allows the office uses to be placed next to the developing park area and locates the multi-family housing adjacent to a buffered area of O-1 uses instead of placing them adjacent to the Park.

According to Resolution 270-1980, the applicant must justify a request for a zone change as inappropriate under any of the following conditions: That there was an error when the existing zone map pattern was created, or; changed neighborhood or community conditions justify the change, or; a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan, even though the other two conditions do not apply.

The applicant has submitted that there have been changed neighborhood or community conditions and that a different use category would be more advantageous to the community.

There have been changed community conditions in this area within the last few years. The Willow Wood subdivision to the east of the site continues its expansion to the west. A new Regional Park has been designated for the property east of the subject site. The Sandia Science and Technology park represents yet another change in the area as does the development of the Costco and Home Depot stores located north of Southern Boulevard. The south Eubank area is experiencing growth in both residential and commercial and office uses.

The change from having multi-family residential units near the industrial park to locating them closer to Southern is advantageous to the community in that location next to the C-1 and Park uses would be preferable in terms of land use than having them located next to IP uses that are proposed for the industrial park. Several requests have been received by the Planning Department for annexation and establishment of IP zoning for parcels to the south of the subject site. In addition, a Master Plan for the Science and Technology Park is expected for review in the near future. These changes make the change in zoning more advantageous for the community and more compatible in for the surrounding area.



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In addition, the zone change is consistent with Resolution 270-1980 in that the request is not in conflict with adopted elements of the Comprehensive Plan or other City master plans and amendments which have been adopted by the City. The request is not inconsistent with the health, safety, morals and general welfare of the City. By allowing this change, the residential portions of the site may be located in a more desirable setting, yet still give employees of the technology park, Kirtland Air Force Base and Sandia Laboratories the opportunity to live near their places of employment.

In the letter submitted with the application, the applicant mentions the Manzano Mesa Master Plan several times. This plan, which has been included with the packet, is not a City of Albuquerque adopted Master Plan. Rather, it is a plan prepared for Albuquerque Public Schools to establish zoning in the lands around south Eubank in an effort to facilitate the goal of selling portions of the property by 1990. This report was prepared in 1989 and contains the "highest and best" land use recommendations, preferred zoning classifications, and individual land use allocations. It is significant that some of these early determinations have already been amended and are no longer reflected as shown on the map contained within the master plan.

The applicant has justified the request for zone map amendment and staff recommends approval of this request.

## **ANALYSIS**

### **SITE PLAN FOR SUBDIVISION**

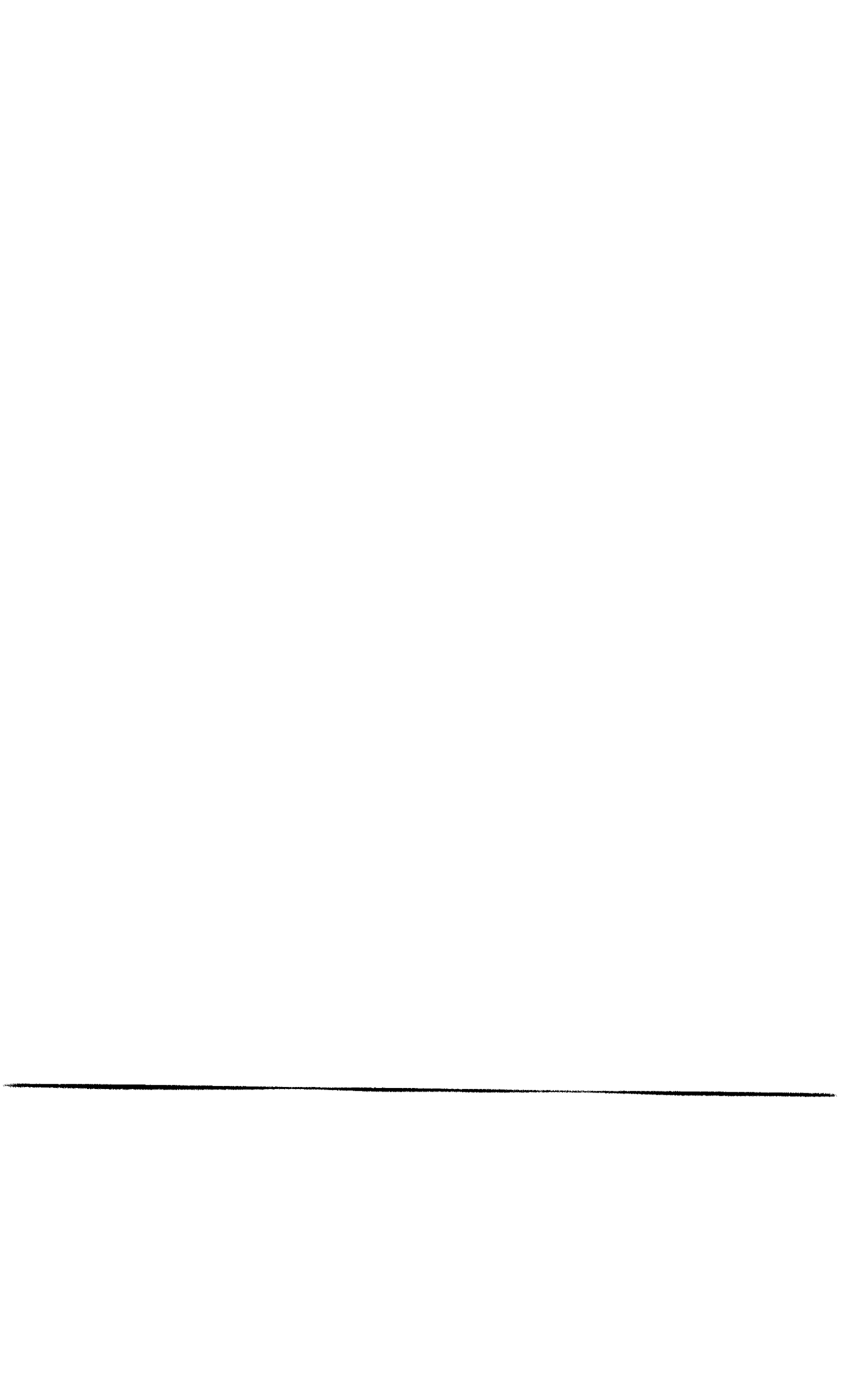
#### ***Conformance to Adopted Plans, Policies, and Ordinances***

The site plan for subdivision shows an accurate plan at a scale that matches 1 inch to 100 feet. A bar scale is provided but **a scale stating that 1"=100' should be included on the plan.** The site is shown on the east side of south Eubank and between the future La Entrada Avenue and Stephen Moody Street. The proposed uses are stated as multi-family residential uses for Tract G-3-A and multi-family residential uses for Tract C-3-B with requested zoning of SU-1 for R2 for both tracts. Proposed Tract H-1 is stated as SU-1 for O-1 Uses.

#### ***Pedestrian and Vehicular Access and Internal Circulation***

Pedestrian connections and circulation are shown on the site plan. Vehicular ingress and egress are shown on the plan with a full intersection shown at the boundary area of Tracts G-3-A and H-1. No pedestrian connection is shown between the two proposed multi-family residential complexes. This will be discussed in more detail in the analysis for site plans for building permit.

The plan states that internal circulation shall be developed in accordance with the individual site plans for building permit. Pedestrian access between the sites should be provided. This will be addressed in that portion of staff's analysis.





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***Architectural and Landscape***

Building heights and setbacks will be pursuant to the R-2 or O-1 zoning, depending on the specific land use. The maximum floor area ratio for the O-1 will be 35. Landscape plans are developed for each of the two individual site plans for building permit and will be discussed in those analyses.

**ANALYSIS**

***SITE PLAN FOR BUILDING PERMIT for Manzano Mesa West***

***Conformance to Adopted Plans, Policies, and Ordinances***

This is a request for site development plan for building permit for a 224 unit multi-family residential development along Eubank Boulevard SE. It meets the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. There are no adopted sector plans for this area.

***Site Plan Layout / Configuration***

The West complex is situated along Eubank Boulevard and the future La Entrada Avenue. La Entrada Avenue should be labeled as such on the site plan for building permit. The layout of the complex consists of 14 separate multi-family structures containing 16 dwelling units per building and a 2400 square foot office/recreation building located adjacent to a swimming pool and outdoor, landscaped park/recreation space. The residential buildings contain even numbers of 1 and 2 bedroom units, according to the site plan.

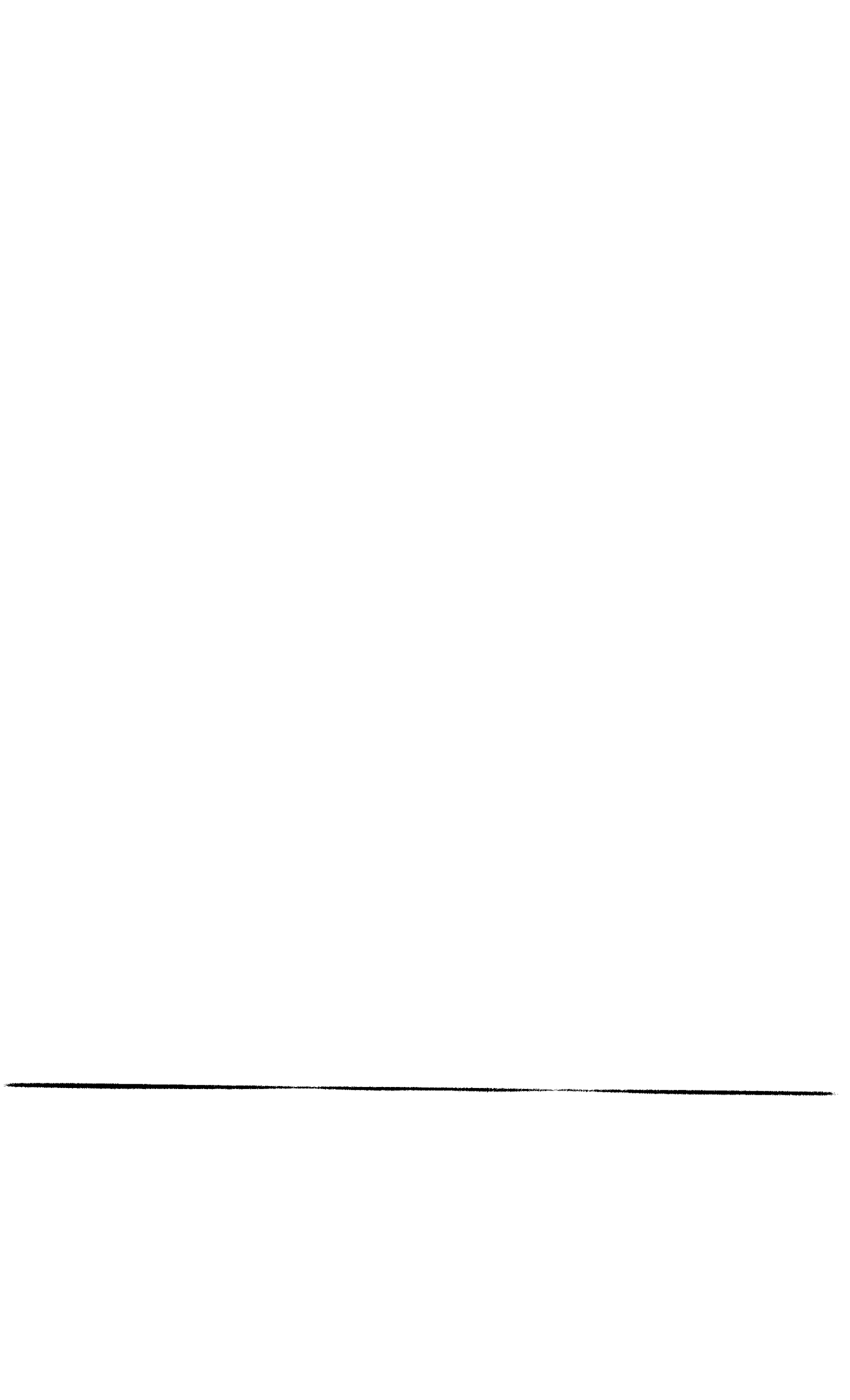
***Vehicular Access, Circulation and Parking***

Vehicular access to the site is from one main entrance Eubank Boulevard at the southern end of the complex and two smaller entrances from La Entrada Avenue at the east and west ends of the complex. Staff did not observe any gates proposed at these entrances. Vehicular circulation is available throughout the site with 24-foot drive-aisles in all areas.

Vehicular parking for the site is ample and includes some garaged parking. The required number of vehicular parking spaces for the site is 404, including 12 for the 2400 square foot office/recreation room and 12 handicap spaces. Total parking provided for the site is 435, which includes 14 handicap spaces and 54-garaged spaces. The typical parking space is shown as 8.5-foot wide and 18-foot long. The standard size for a parking space is 9-foot wide and 20-foot long.

***Pedestrian and Bicycle Access and Circulation, Transit Access***

Pedestrian access is provided throughout the site and into the site from sidewalks along Eubank Boulevard and the future La Entrada Avenue. These sidewalks, as well as the internal walkways should be marked as 6-foot wide. Most of the areas where pedestrians will need to cross parking and driving areas are marked with crossing areas but some of these spaces show no cross walk areas. All crossing areas should provide a walkway from one pedestrian point to another



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that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.

Additionally, clearly marked and centrally located pedestrian access should be provided between this development and the proposed complex adjacent to this site. Pedestrian access should be provided to allow access from the East complex to Eubank without detouring around the block. This access would allow visitation between the inhabitants of the two developments. Also, access to the community park to the east of these developments would be made more convenient for the residents of the West complex if there were pedestrian access between the two developments.

Route #2, a local transit route, serves this area along Eubank Boulevard.

Bicycle access is available to the site through the access points mentioned above at Eubank and the future La Entrada Avenue. Bicycle parking has been provided with 15 bicycle racks located throughout the site, one for each building. One bicycle space per two dwelling units has been provided for this development, as required per the zone code.

#### ***Lighting and Security***

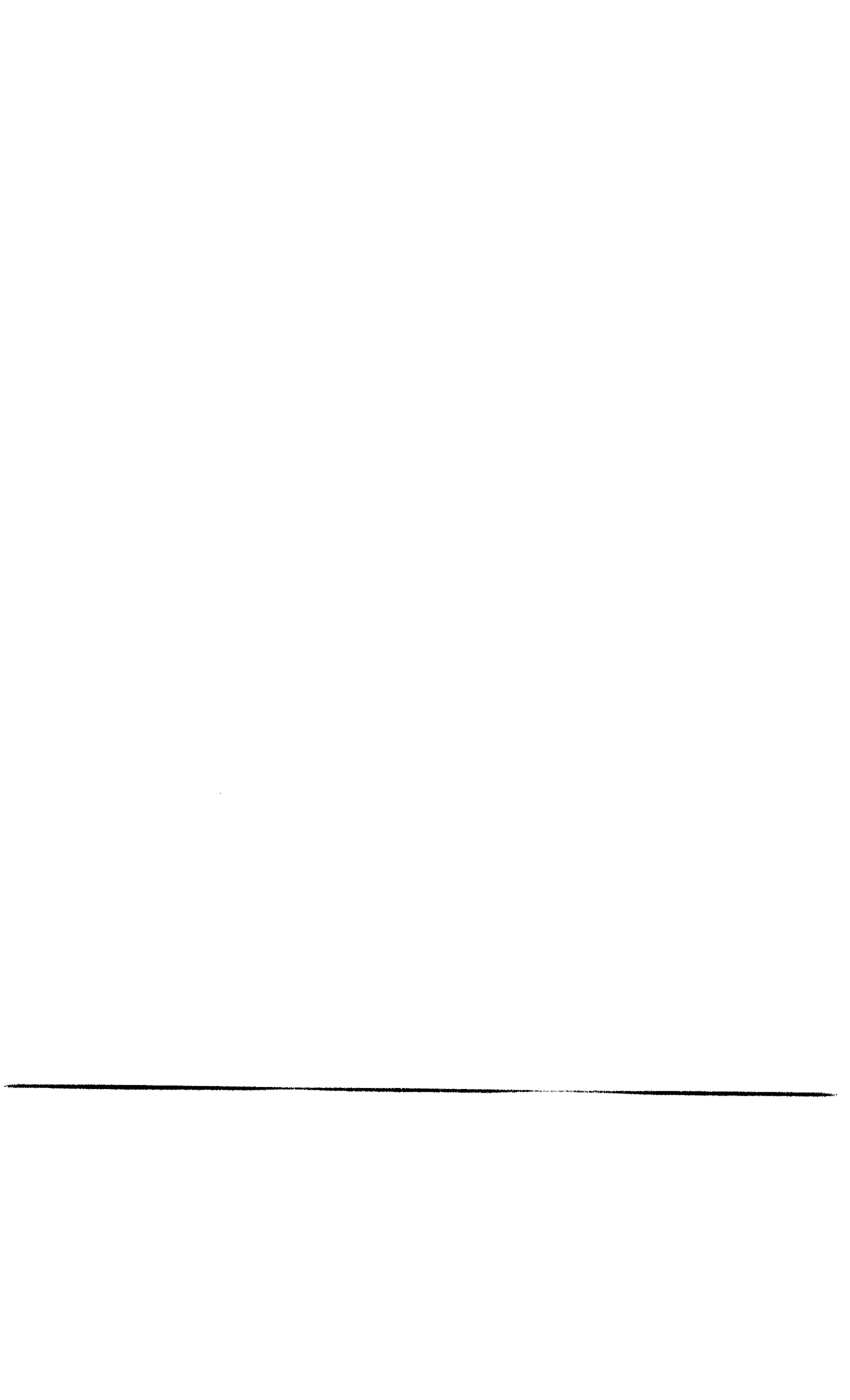
Under Design Guidelines for the Site Plan for Subdivision, notes 26 and 27 address lighting issues. As per these notes, lighting shall be limited to 16-feet in height and shall be fully shielded fixtures that prevent fugitive light. A lighting detail for the proposal has not been included with the submittal and should be provided prior to final DRB approval.

The site is enclosed by a 5-foot wall that consists of a mix of solid concrete block wall with standard CMU and split-face CMU combined and a wrought iron with split-face CMU combination. The area around the swimming pool has been surrounded with 6-foot high wrought iron fencing.

#### ***Landscaping***

The landscaping plan shows an attractive mix of plant materials that includes shade, flowering and ornamental trees along with some Austrian pine as well as a mix of deciduous and evergreen shrubs. Boston ivy is also shown as part of the plant palette. Oversized boulders and gravel are shown along with Santa Fe Tan gravel. Sod is mentioned as a groundcover in certain areas, however, the type of sod has not been provided on the plan. The species and type of sod should be included on the landscape plan. An on-site ponding area is shown as having crimp straw native seed planted within it and the entire area along the eastern wall of the complex. The type of seed should also be specified on the landscape plan.

Street trees have been adequately provided for. Unfortunately, 59 of these trees are to be of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local



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infestation of this beetle. Apparently this insect is prevalent in the area and is causing a significant amount of damage to all types of ash, but especially green ash. If ash trees are planted, there is a high likelihood that they will not become viable street/shade trees. The County Extension is recommending substitutions for ash in the form of London plane trees, Chinese pistache or Honey locust. In this case, since Honey locust are also being used for this landscape, Chinese pistache or London Plane or similar shade producing trees are recommended as substitutes.

The landscape plan shows a play and recreation area for the residents of the complex. This space is north of the office and swimming pool area and is shown as having a grassy area, sand volleyball pit and play area. A winding path is shown among the trees and shrubs east of the volleyball area. Tables or benches in this area would be an additional amenity for the resident's enjoyment. Also, only a small portion south and west of the play area is sod and the remainder of the space to the north is shown as gravel. Assuming the play area is for children, grassy spaces north of this area would be more beneficial to safe play and less conducive to skinned knees.

#### ***Grading, Drainage, Utility Plans***

A grading and drainage plan has been submitted for review by the Hydrology Division of the Public Works Department.

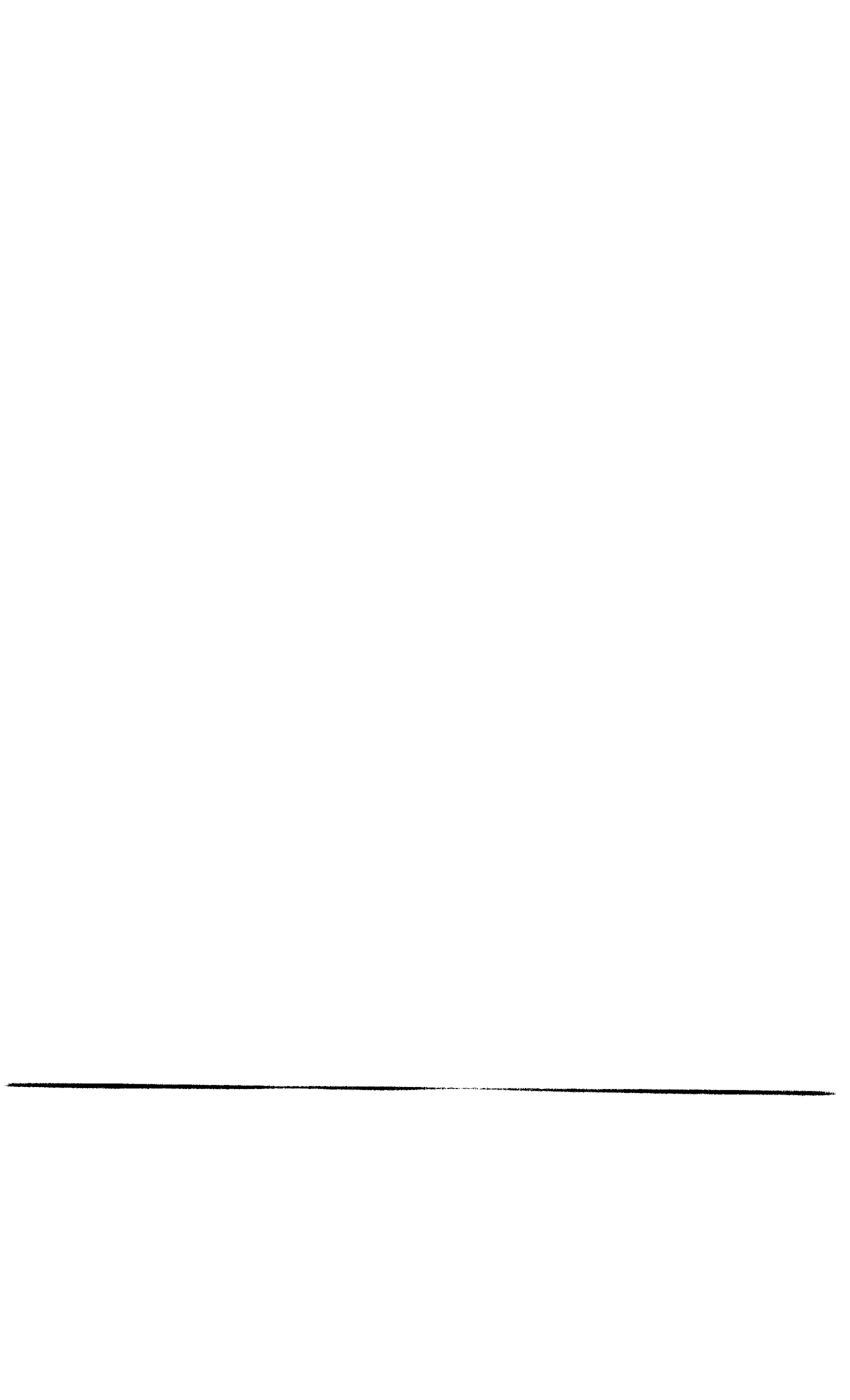
The Utility Development Division of Public Works states that the utility plan appears to show the private water system with illegal looping connection to public lines. Utility Division requires that this be corrected and that a water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action.

#### ***Architecture and Signage***

The buildings in this development are fairly rectangular in shape and shown as pueblo-style architecture with flat roofs, exposed wooden beams and stucco finish. Fourteen, two-story, sixteen-plex buildings are proposed with trellis covered balconies for the upper level dwellings and covered patios for the lower levels. The building heights are shown as 23-feet tall with 24-foot high chimneys. The stucco colors are called out on the plans as light beige, medium beige, and dark beige. The exposed wood beams will be stained with "complimentary colors" which are not called out. The office/recreation building is depicted as a one-story structure with the same pueblo-style architecture, stucco colors and exposed wood beam treatment. The entries are shades with covered porches and windows are treated with trellises above them.

No elevations are shown for the pool/equipment room. Elevations should be shown on the site plan.

Signage consists of one 2-foot high, stucco finished monument sign with 60 square feet of face and accented with split-face CMU. Lettering, colors, and content of the sign are not shown.



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13. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
  14. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
  15. No chainlink, razor wire or plastic/vinyl fencing is permitted.
  16. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
  17. All walls must conform to the City's Wall Design Standards publication.
  - 18. Transportation Development Services:**
    - A) The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
    - B) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets.
    - C) Proposed circulation drives and internal parking areas must be paved as per DPM standards.
    - D) The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
    - E) Location of refuse enclosures, walls, fences and signs must meet the clear sight distance requirements.
    - F) Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
    - G) Coordination with the Solid Waste Department with regard to refuse container location and access.
    - H) Street Trees are required along Eubank Boulevard.
  19. The Utility plan appears to show the private water system with illegal looping connection to public lines. This must be corrected. A water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action. Request left turn bays be introduced on Eubank to allow good access to the project location.
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On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01647, request for site plan for building permit, based on the following findings 1-4, and subject to the following conditions 1-6.

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***Concerns of Reviewing Agencies / Pre-Hearing Discussion***

The applicant was in attendance at the pre-hearing discussion.

***Neighborhood Concerns***

Staff received one phone call inquiry regarding the development.

***Conclusions***

The site plan for building permit meets the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. The plan is an attractive proposal for the area. With minor modifications as stated in the conditions of approval, staff recommends approval of this request.

**ANALYSIS**

***SITE PLAN FOR BUILDING PERMIT for Manzano Mesa East***

***Conformance to Adopted Plans, Policies, and Ordinances***

This is a request for site development plan for building permit for a 280 unit multi-family residential development along the future La Entrada Avenue SE and the future Stephen Moody Street SE. It meets the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. There are no adopted sector plans for this area.

***Site Plan Layout / Configuration***

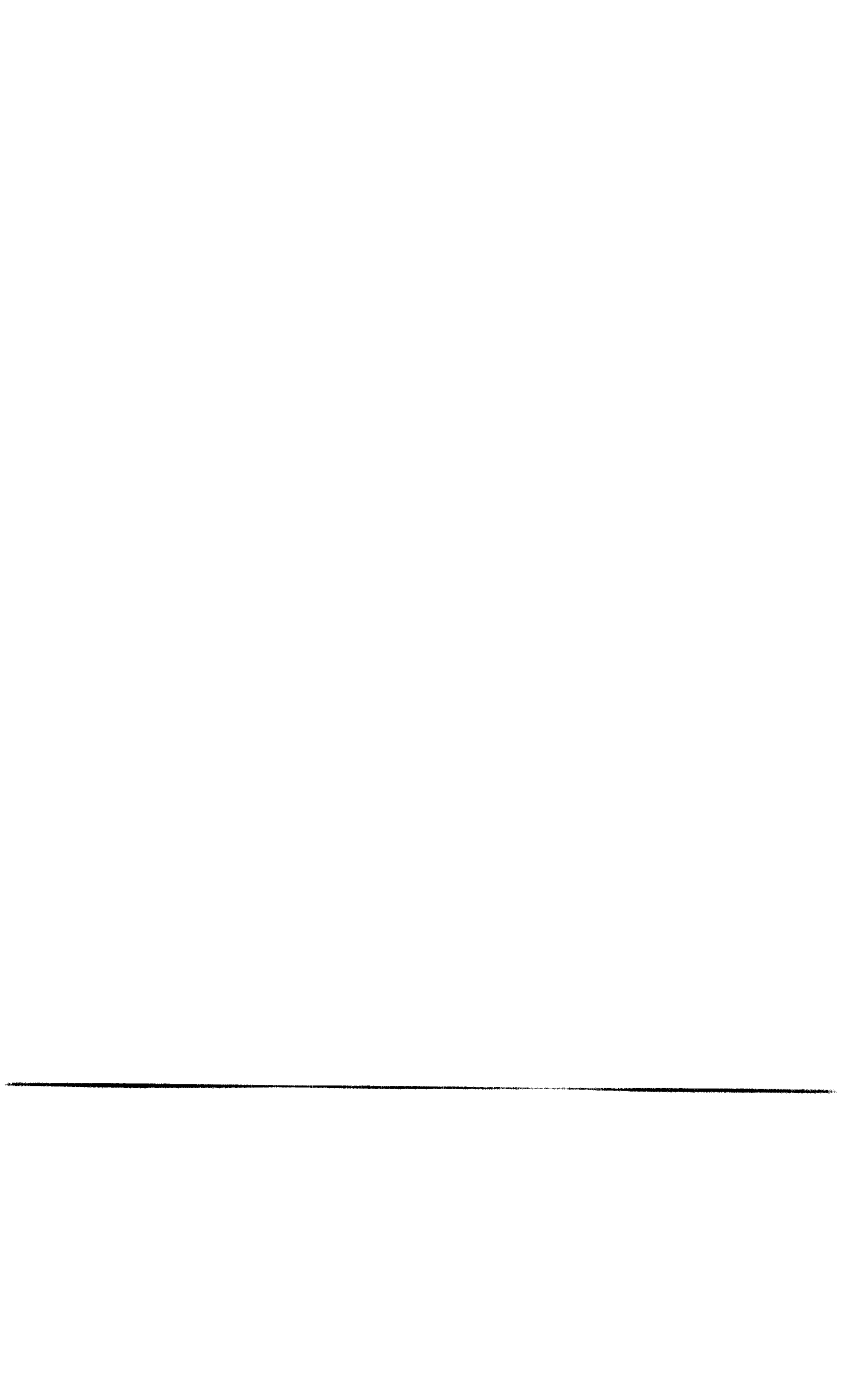
The site plan shows a layout of 14 clusters of fairly rectangular shaped buildings and one office/recreation building. The East complex is situated along the future La Entrada Avenue and Stephen Moody Street SE. La Entrada Avenue should be labeled as such on the site plan for building permit. The layout of the complex consists of 14 separate multi-family structures. Seven two-story structures contain 16 dwelling units per building and 7 three-story structures contain 24 dwelling units per building. Additionally, a 5194 square foot office/recreation building is located near the entrance to the complex adjacent to a swimming pool and outdoor, landscaped park space. The residential buildings contain even numbers of 1 and 2 bedroom units, according to the site plan.

***Vehicular Access, Circulation and Parking***

Vehicular access to the site is from the north at one entrance from the future La Entrada Avenue and the east from two entrances on Stephen Moody Street. The plan shows 24-foot drive aisles throughout the complex and circulation is fine throughout the site.

Required parking for the 280 unit complex is 502 spaces including 26 spaces for the 5194 square foot office/recreation building. The site plan shows spaces for 516 vehicles, including 66





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garaged spaces and 16 handicap spaces. The typical parking space is called out in size as 8.5-foot wide and 18-foot long. The usual size for parking spaces is 9-foot wide and 20-foot long.

***Pedestrian and Bicycle Access and Circulation, Transit Access***

Pedestrian access is provided throughout the site and into the site from sidewalks along the future La Entrada Avenue and Stephen Moody Street. These sidewalks, as well as the internal walkways should be marked as 6-foot wide. Areas where pedestrians will need to cross parking and driving areas should be marked with crossing areas. All crossing areas should provide a walkway from one pedestrian point to another that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.

Additionally, clearly marked and centrally located pedestrian access should be provided between this development and the proposed complex adjacent to this site. Pedestrian access should be provided to allow access from the East complex to Eubank without detouring around the block. This access would allow visitation between the inhabitants of the two developments. Also, access to the community park to the east of these developments would be made more convenient for the residents of the West complex if there were pedestrian access between the two developments.

Route #2, a local transit route, serves this area along Eubank Boulevard.

Bicycle access is available to the site through the access points mentioned above at the future La Entrada Avenue and Stephen Moody Street. Bicycle parking has been provided with 15 bicycle racks located throughout the site, one for each building. One bicycle space per two dwelling units has been provided for this development, as required per the zone code.

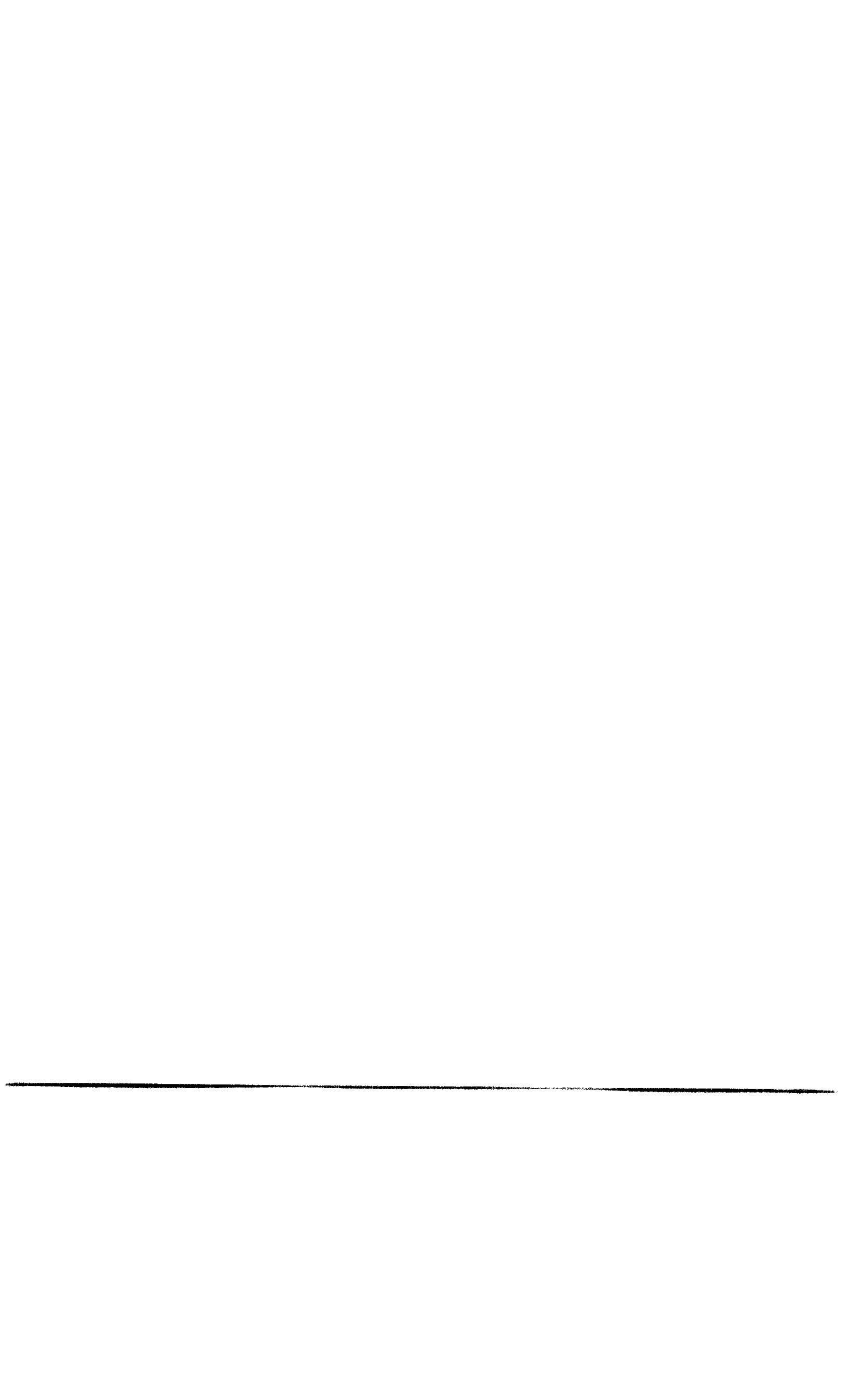
***Lighting and Security***

Under Design Guidelines for the Site Plan for Subdivision, notes 26 and 27 address lighting issues. As per these notes, lighting shall be limited to 16-feet in height and shall be fully shielded fixtures that prevent fugitive light. A lighting detail for the proposal has not been included with the submittal and should be provided prior to final DRB approval.

The site is enclosed by a 5-foot wall that consists of a mix of solid concrete block wall with standard CMU and split-face CMU combined and a wrought iron with split-face CMU combination. The area around the swimming pool has been surrounded with 6-foot high wrought iron fencing.

***Landscaping***

The landscaping plan is similar to the Manzano Mesa West and shows an identical plant palette. The site plan shows a mix of plant materials that include shade, flowering and ornamental trees along with some Austrian pine as well as a mix of deciduous and evergreen shrubs and vines. Oversized boulders and gravel are to be employed in the landscape as well as Santa Fe Tan gravel. Sod is mentioned as a groundcover in certain areas, however, the type of sod has not



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been provided on the plan. The species and type of sod should be included on the landscape plan. An on-site ponding area which corresponds with the ponding area of the development to the west is shown as having crimp straw native seed planted within it and much of the area along the western wall of the complex. The type of seed should also be specified on the landscape plan.

Street trees have been adequately provided for. Unfortunately, 46 of these trees are to be of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle. Apparently this insect is prevalent in the area and is causing a significant amount of damage to all types of ash, but especially green ash. If ash trees are planted, there is a high likelihood that they will not become viable street/shade trees. The County Extension is recommending substitutions for ash in the form of London plane trees, Chinese pistache or Honey locust. In this case, since Honey locust trees are also being used for this landscape, Chinese pistache or London Plane or similar shade producing trees are recommended as substitutes.

The landscape plan shows a park-like area for the residents of the complex. This space is west of the office and swimming pool area and is shown as having a sodded, grassy area. The species of sod should be called out on the landscape plan. Tables or benches in this area would be an additional amenity for the resident's enjoyment.

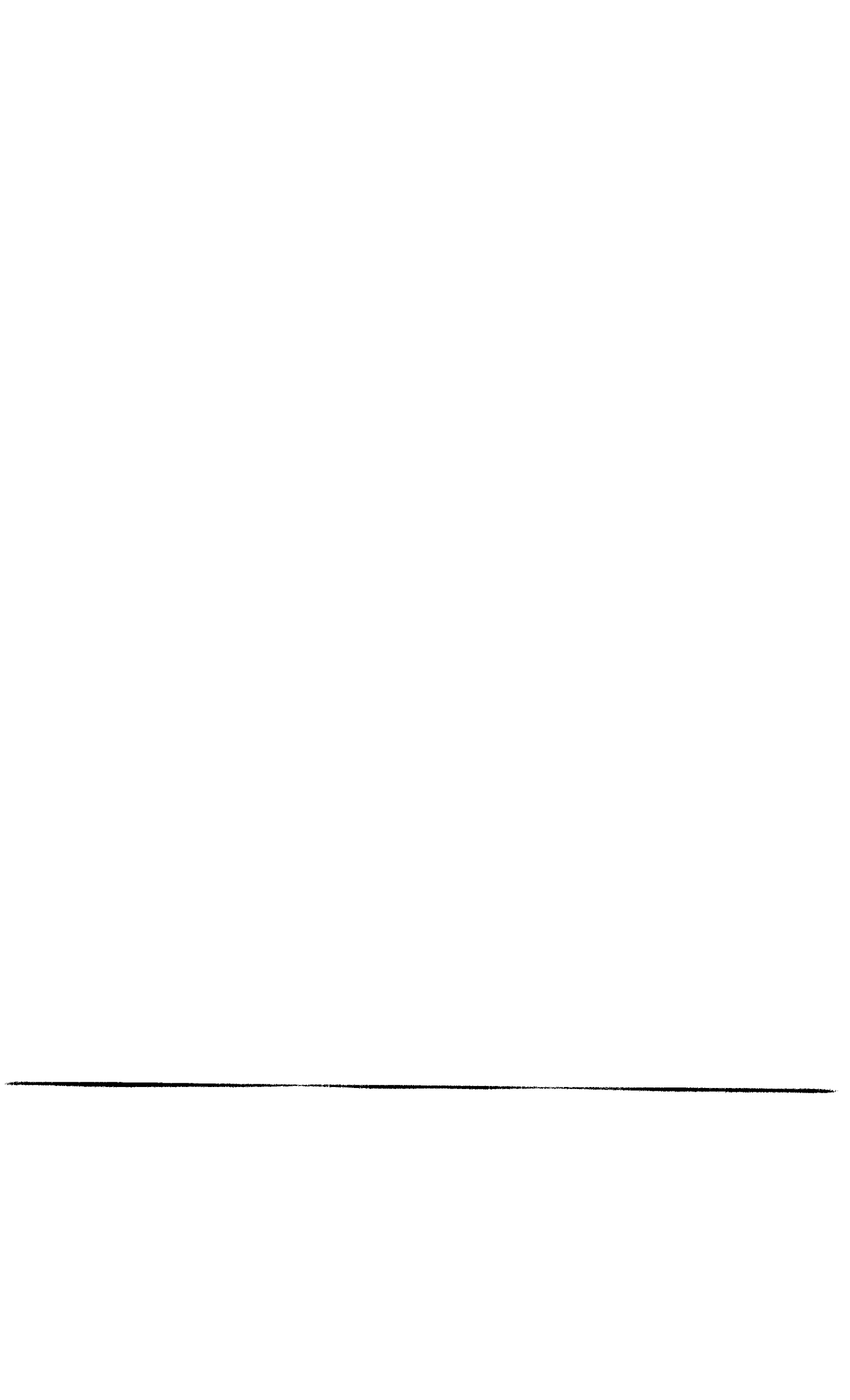
#### ***Grading, Drainage, Utility Plans***

A grading and drainage plan has been submitted for review by the Hydrology Division of the Public Works Department.

The Utility Development Division of Public Works states that the utility plan appears to show the private water system with illegal looping connection to public lines. Utility Division requires that this be corrected and that a water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action.

#### ***Architecture and Signage***

The elevations show a typical rectangular building of a contemporary ranch style. There are a total of 14 residential buildings and one office/recreational building. Seven of the buildings are three-story, containing 24 dwelling units each. Seven of the buildings are two-story, containing 16 dwellings units each. The units are shown with pitched, shingled roofing with gabled, covered, outdoor stairways with wrought iron guard rails. The type, color and material of the shingles are not specified. The structures are to be frame stucco in light beige, medium beige and dark beige. The two-story building heights are shown as 31-feet tall at the peak of the pitch of the roof. The three-story structures are 41-feet 6-inches at the peak of the pitch. The notes on the plan state that there will be exposed wood beams as part of the development but they are not



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called out on the elevations. The exposed wood beams shall be shown on the elevations and will be stained with "complimentary colors" which should be called out. The office/recreation building is depicted as a one-story structure with the same contemporary ranch style architecture. A wrought iron grid is shown as accent décor above windows and covered porches. Elevations are also shown for the pool/equipment room for this complex. These elevations depict flat-roof stucco structures that are 14-feet in height. The pool/equipment room is depicted in a similar fashion with a flat-roof, stucco structure that is 12-feet in height with wrought iron fencing behind and beyond to enclose to pool area.

Requested signage consists of 18-inch high by 24-inches wide aluminum signs with acrylic letters mounted on a wood trim back. Notes on Sheet 7 state that the trim is to be painted to match siding, but staff is unclear as to what siding is meant and what color that might be. These signs are to display the building designations and apartment numbers. No signage for the complex itself is shown or requested.

#### ***Concerns of Reviewing Agencies / Pre-Hearing Discussion***

The applicant was in attendance at the pre-hearing discussion.

Transportation Planning had concerns regarding the site plans and wanted additional and definitive information about the Eubank Boulevard right-of-way. The applicant met with staff and submitted plans that meet the concerns of this agency.

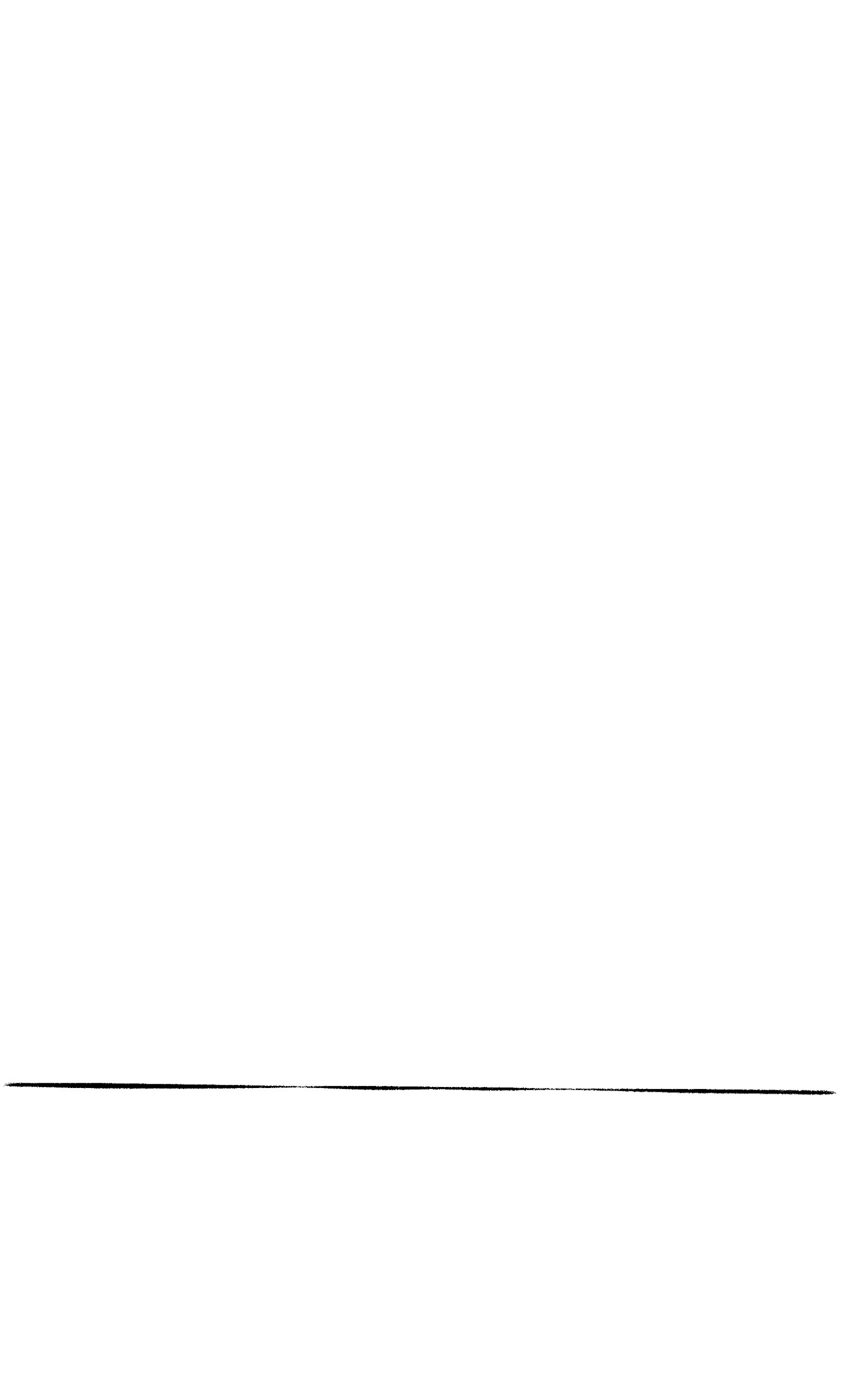
Parks and Recreation comments that the Trails & Bikeways Facility Plan proposes a Primary Trail along the east side of Eubank Blvd. in this location and that they will require construction of a 10' asphalt trail in-lieu of sidewalk. Additionally, allow for at least 5' of separation between the trail and face of curb and a minimum of 3' between the trail and wall or other vertical element. Landscaping improvements along the asphalt trail must not encroach on the trail itself. Trees must be a minimum of 3' away from the trail and shrubs, at their mature spread and must not encroach on the trail. The proposed landscaping along Eubank appears to encroach into the sidewalk/trail area. Therefore, design of the trail should be coordinated with the Trails Planner Diane Scena.

#### ***Neighborhood Concerns***

Staff received on phone call inquiry regarding this proposal.

#### ***Conclusions***

The site plan for building permit meets the requirements of the applicable city policies and plans for this area and will provide further multi-family housing for a growing area of the city. With minor modifications as stated in the conditions of approval, staff recommends approval of this request.



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***FINDINGS - 00110-00000-01644 - January 18, 2001 - Zone Map Amendment***

1. This is a request for a zone map amendment for Tract H and Tract G-3, Manzano Mesa Addition.
2. The request meets the requirements of applicable City plans and policies.
3. The request has been justified under Resolution 270-1980 by the applicant under the changed community conditions and the more advantageous to the community policies.
4. A site plan accompanies this request for SU-1 zoning.

***RECOMMENDATION - 00110-00000-01644 - January 18, 2001 - Zone Map Amendment***

**APPROVAL of 00110-00000-01644 a request for a zone map amendment for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Condition of Approval.**

***CONDITIONS OF APPROVAL - 00110-00000-01644 - January 18, 2001 - Zone Map Amendment***

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines.



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OFFICIAL NOTIFICATION OF DECISION

00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

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**FINDINGS:**

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed at the connections between the two complexes.
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
3. All exterior sidewalks and internal walkways shall be marked as 6-foot wide on the site plan. At points where bicyclists and pedestrian traffic may conflict, (for example, near external trail access points) measures such as widening shall be taken to minimize those conflicts.
4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
6. Clearly marked and centrally located pedestrian access shall be provided between and through this development and the proposed complex adjacent to this site.
- 7.

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***FINDINGS – 00128-00000-01645 – January 18, 2001 – Site Plan for Subdivision***

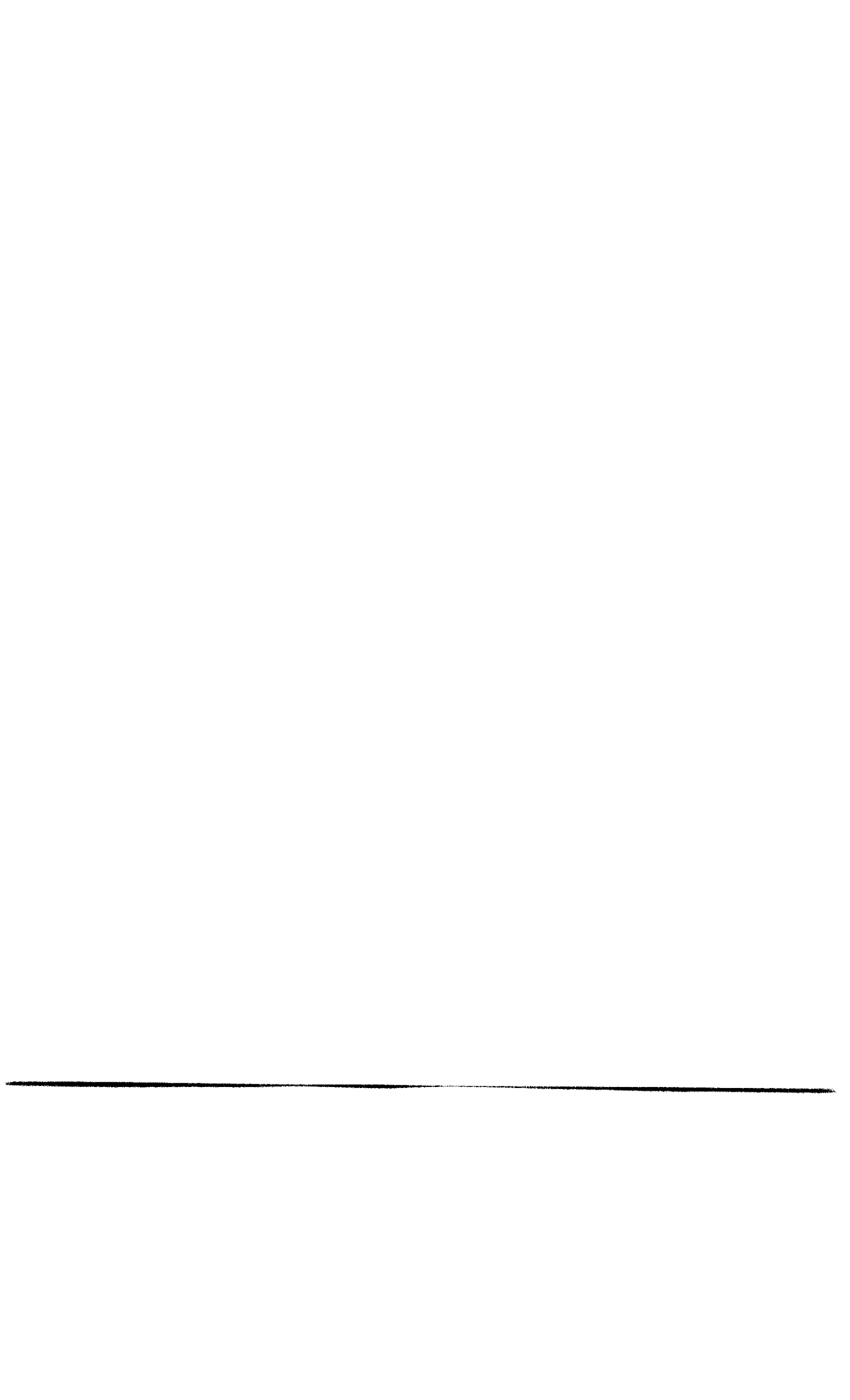
1. This is a request for a site plan for subdivision for Tracts H and G-3, an approximately 36.3 acre site and which is located on Eubank Boulevard south of Southern SE. The intent is to subdivide into three new tracts to be called Tract G-3-A, Tract G-3-B and Tract H-1.
2. A site plan for subdivision is required for approval of SU-1 zoning.
3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
4. The site development plan for subdivision meets all of the requirements of the Zoning Code.

***RECOMMENDATION - 00128-00000-01645 – January 18, 2001 – Site Plan for Subdivision***

**APPROVAL of 00128-00000-01645 a request for a site plan for subdivision for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

***FINDINGS – 00110-00000-01646 – January 18, 2001 – Site Plan for Building Permit (West)***

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.



- 
3. Gates are not proposed at the entrances to the apartment complex.
  4. The standard size for a parking space is 9-feet wide and 20-feet long. Parking spaces shown on the current submittal are 8.5-feet wide by 18-feet long.
  5. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.
  6. The submittal will be adequate with some changes and additions.

**RECOMMENDATION - 00110-00000-01646 – January 18, 2001 – Site Plan for Building Permit (West)**

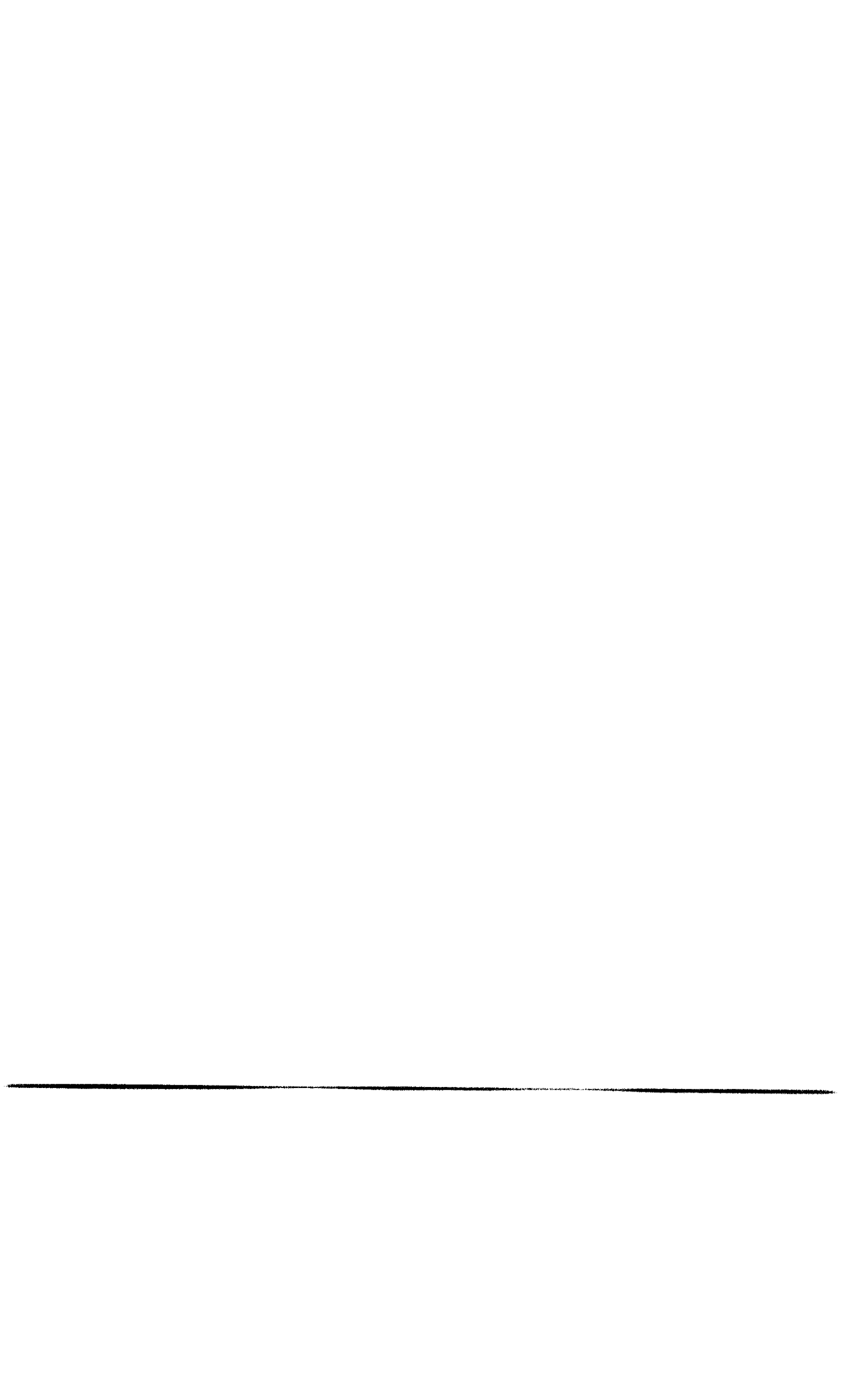
**APPROVAL of 00110-00000-01646 a request for a site plan for building permit for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

**CONDITIONS OF APPROVAL - 00110-00000-01646 – January 18, 2001 – Site Plan for Building Permit (West)**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.

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3. All exterior sidewalks and internal walkways shall be marked as a minimum 6-foot wide on the site plan.
  
  4. All crossing areas shall provide a walkway from one pedestrian point to another that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.
  
  5. Clearly marked and centrally located pedestrian access shall be provided between this development and the proposed apartment complex adjacent to this site.
  
  6. A lighting detail for the proposal shall be included on the site plan and shall be provided prior to final DRB approval.
  
  7. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
  
  8. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
  
  9. Lettering, colors, and content of the monument sign shall be shown on the site plan for building permit.
  
  10. The pool and equipment room elevations shall be shown on the site plan.

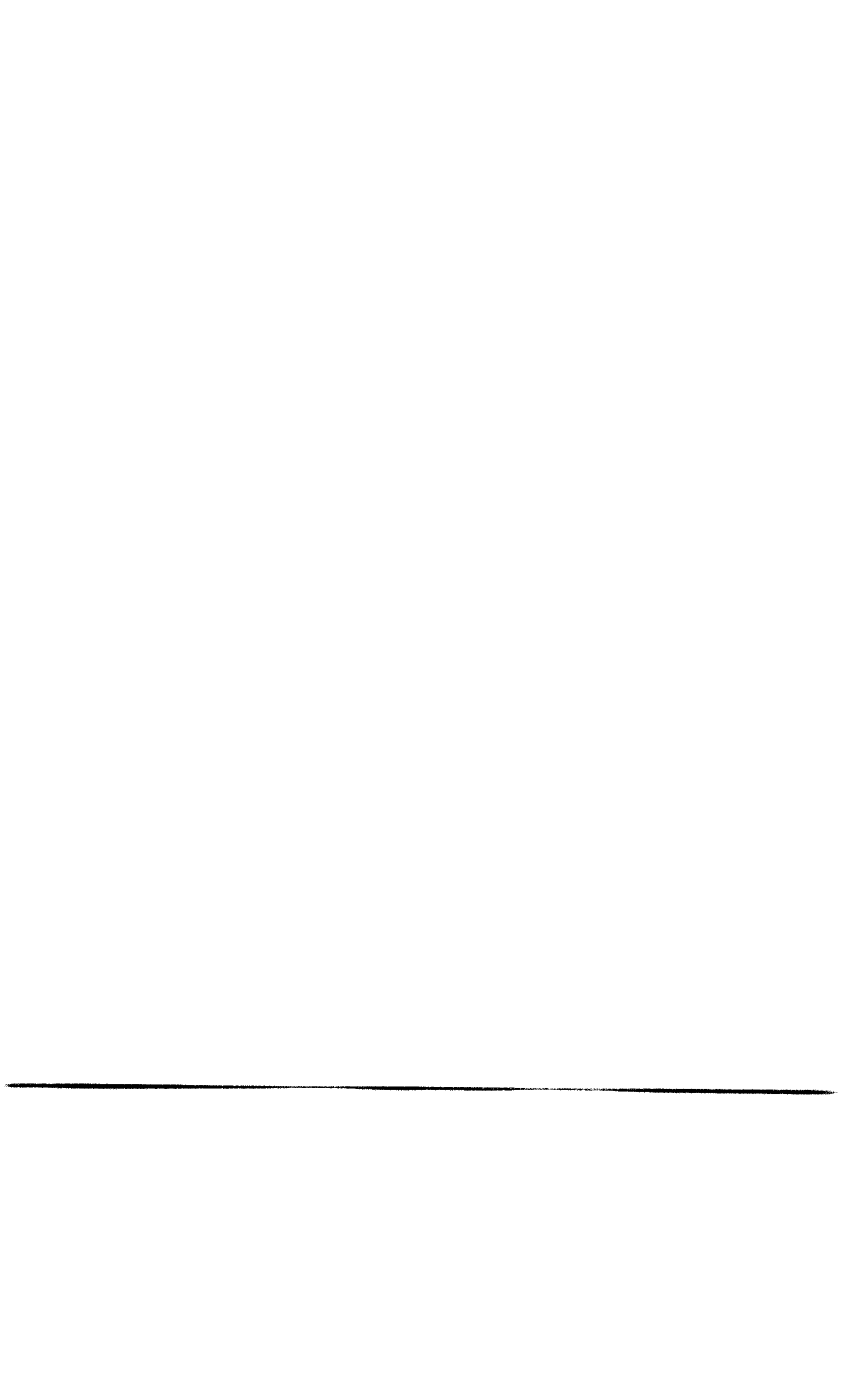




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11. Parking space dimensions shall be 9-feet wide and 20-feet long and shall be noted as such on the site plan.
  
  12. Design of the trail along Eubank in this area shall be coordinated with the Trails Planner Diane Scena.

***FINDINGS – 00110-00000-01647 – January 18, 2001 – Site Plan for Building Permit (East)***

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
  
2. The submittal will be adequate with some minor changes and additions.
  
3. Gates are not proposed at the entrances to the apartment complex.
  
4. The standard size for a parking space is 9-feet wide and 20-feet long. Parking spaces shown on the current submittal are 8.5-feet wide by 18-feet long.
  
5. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.



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**RECOMMENDATION - 00110-00000-01647 - January 18, 2001 - Site Plan for Building Permit (East)**

**APPROVAL DENIAL DEFERRAL of 00110-00000-01647 a request for a site plan for building permit for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

**CONDITIONS OF APPROVAL - 00110-00000-01647 - January 18, 2001 - Site Plan for Building Permit (East)**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. All parking space dimensions shall be called out as 9-feet wide and 20-feet long.
3. La Entrada Avenue shall be labeled as such on the site plan for building permit.
4. All exterior sidewalks and internal walkways shall be marked as 6-foot wide on the site plan.
5. All crossing areas shall provide a walkway from one pedestrian point to another that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.
6. Clearly marked and centrally located pedestrian access shall be provided between this development and the proposed complex adjacent to this site.

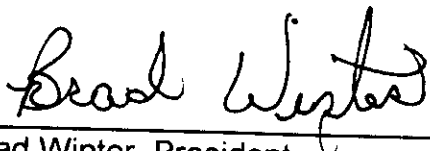
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**Attachments**

1. Action Summary from May 7, 2001 City Council Meeting
2. April 25, 2001 Land Use, Planning and Zoning Committee Report
3. April 25, 2001 Staff Report

**Appeal of Final Decision**

A person aggrieved by this decision may appeal the decision to the Second Judicial District Court by filing in the Court a notice of appeal within thirty (30) days from the date this decision is filed with the City Clerk.



\_\_\_\_\_  
Brad Winter, President  
City Council

Date: \_\_\_\_\_

5/14/01

Received by: \_\_\_\_\_

  
City Clerk's Office

Date: \_\_\_\_\_

5-15-01

OFFICIAL NOTIFICATION OF DECISION

00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

MARCH 2, 2000

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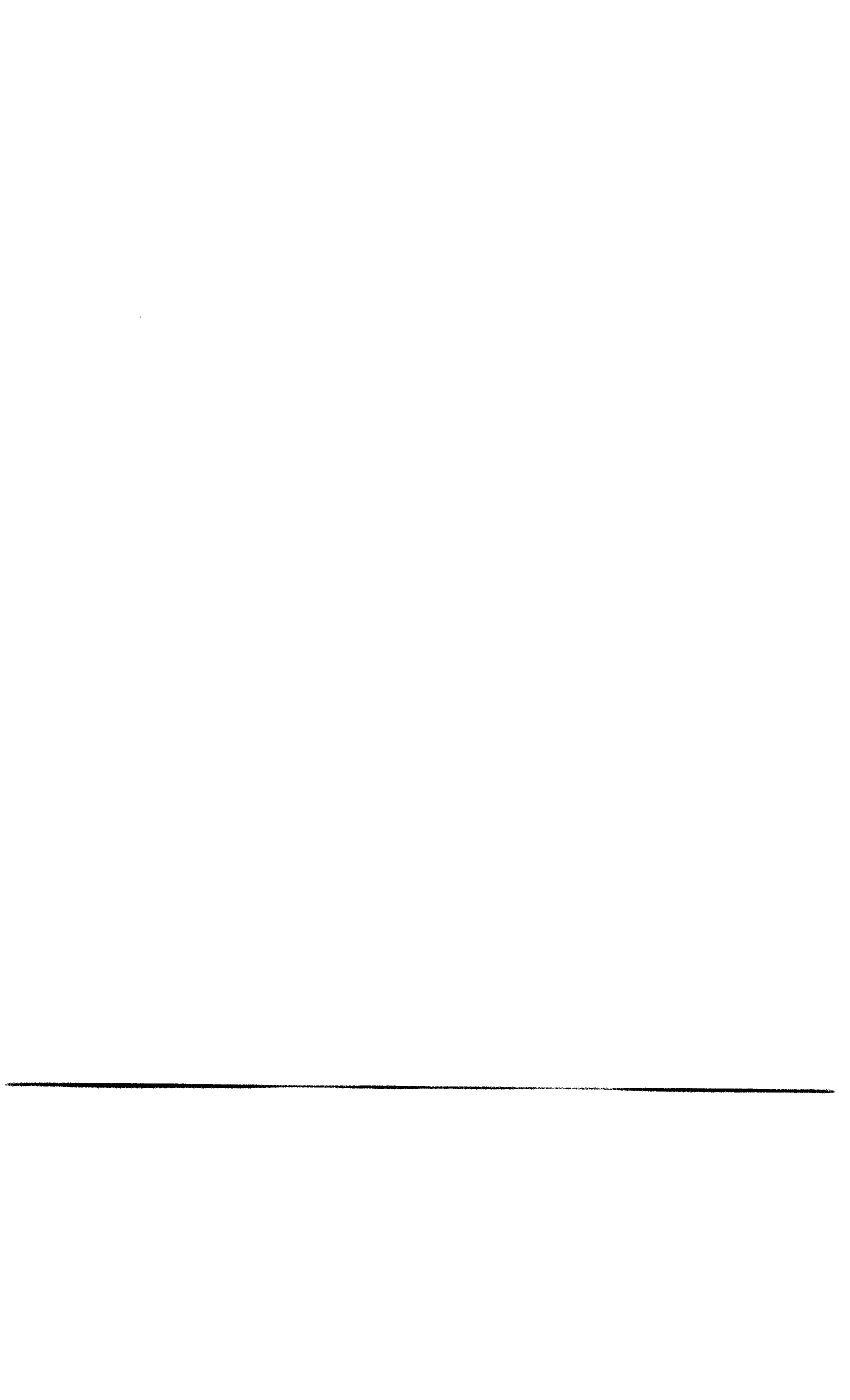
7. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
  8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
  9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
  10. The type and color of the galvanized, aluminum metal roof shall be specified on the site plan. The roofs shall be matte finish.
  11. Notes regarding the signage for this property shall state what siding is proposed on Sheet 7 and state what colors and materials will be used for the signage.
  12. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
  13. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
  14. No chainlink, razor wire or plastic/vinyl fencing is permitted.
  15. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
  16. All walls must conform to the City's Wall Design Standards publication.
  - 17. Transportation Development Services:**
    - A) The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
    - B) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets.
    - C) Proposed circulation drives and internal parking areas must be paved as per DPM standards.
    - D) The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
    - E) Location of refuse enclosures, walls, fences and signs must meet the clear sight distance requirements.
    - F) Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
-

- 
7. A lighting detail for the proposal shall be included on the site plan and shall be provided prior to final DRB approval.
  
  8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
  
  9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
  
  10. The type, color and material of the shingles shall be specified on the site plan.
  
  11. Notes regarding the signage for this property shall state what siding is proposed on Sheet 7 and state what colors and materials will be used for the signage.

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**Deborah L. Stover**  
**Planner**

cc: GSL Properties, Inc., 2164 S.W. Park Place, Portland, Or 97205  
Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102





**CITY OF ALBUQUERQUE  
COMMISSION  
PLANNING DEPARTMENT**

**ENVIRONMENTAL PLANNING**

**Number: 00110 00000 01644/00128 00000  
01645/00128 00000 01646/00128 00000 01647**

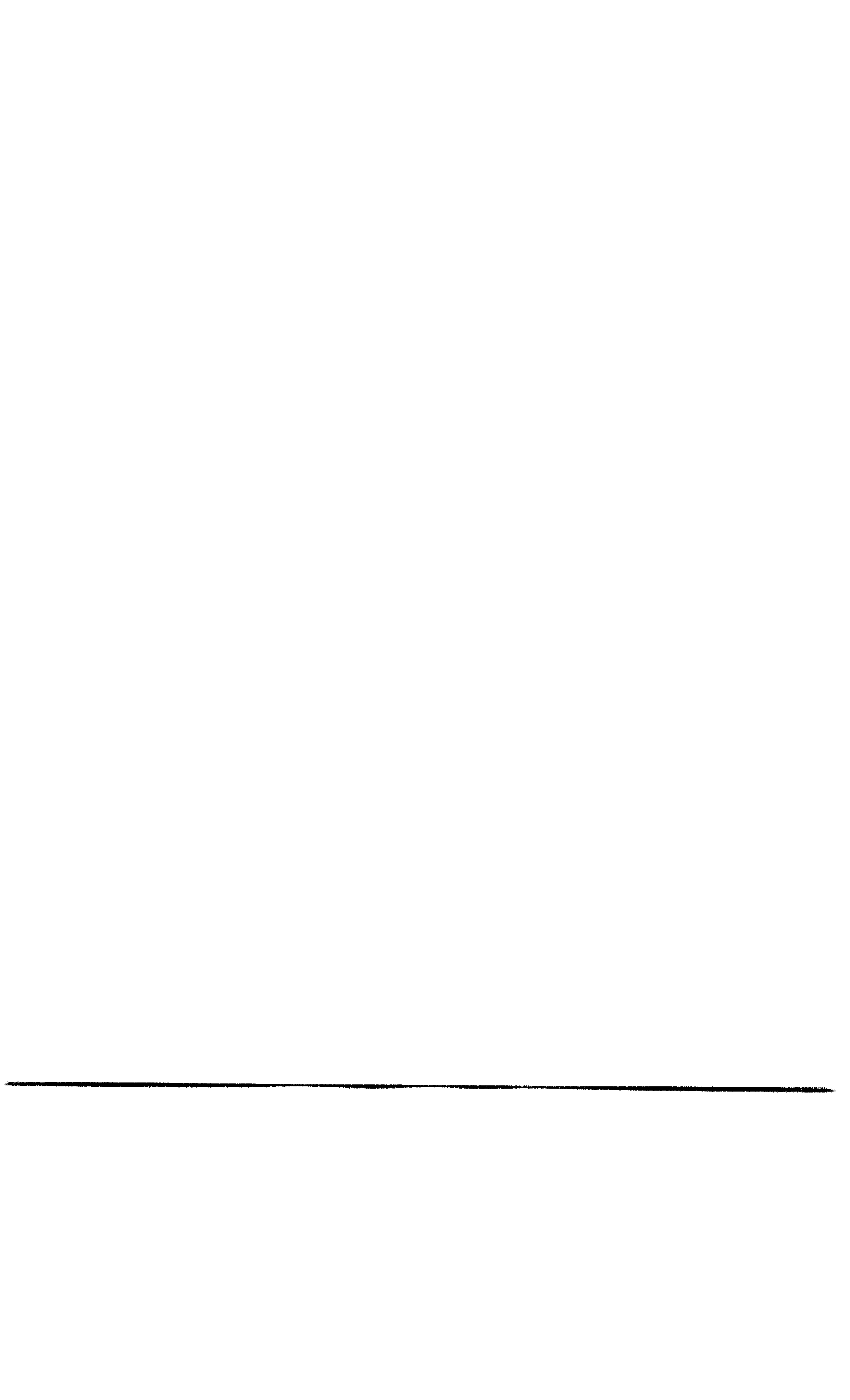
**DEVELOPMENT SERVICES DIVISION  
18,2000**

**January**

Page 20

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*Attachments*



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## **CITY OF ALBUQUERQUE AGENCY COMMENTS**

### **PLANNING DEPARTMENT**

#### **Zoning Code Services**

“Reviewed, no comment.”

### **PUBLIC WORKS DEPARTMENT**

#### **Transportation Development Services:**

No adverse comment on the proposed zone change request.

Conditions of approval for the proposed site plan for subdivision purposes should include:

- A) A TIS for this site plan was not required due to its previous inclusion in the Manzano Mesa Development. However, this subdivision must participate in the off-site improvements as determined by the DRB. Including intersection improvements, signalization, etc., at remote locations.
- B) Dedication of rights-of-way for and construction of Eubank Boulevard, Stephen Moody Street, and La Entrada Avenue. Construction of appropriate bicycle facilities as required by newly approved Bikeway Master Plan.
- C) Provision of cross-access and reciprocal parking easements, between the proposed parcels, and with the adjacent parcels is needed.

Conditions of approval for the proposed site plans for building permit for should include:

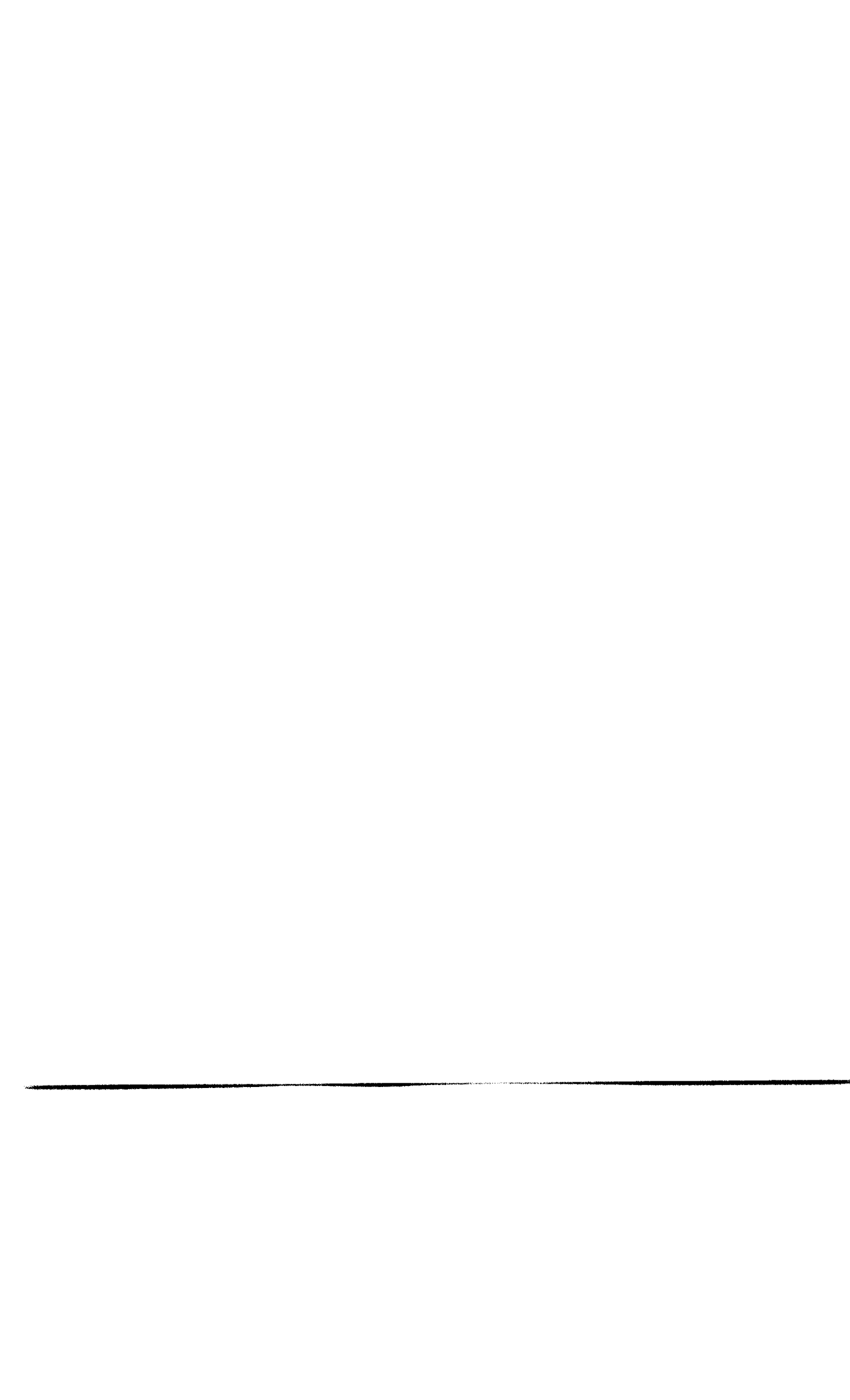
- A) The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
- B) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets.
- C) Proposed circulation drives and internal parking areas must be paved as per DPM standards.
- D) The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
- E) Location of refuse enclosures, walls, fences and signs must meet the clear sight distance requirements.
- F) Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
- G) Coordination with the Solid Waste Department with regard to refuse container location and access.
- H) Street Trees are required along Eubank Boulevard.

#### **Utility Development:**

No comment on use. The utility plan appears to show the private water system with illegal looping connection to public lines. This must be corrected. A water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action.

#### **Traffic Engineering Operations:**

Request left turn bays be introduced on Eubank to allow good access to the project location.



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**Hydrology:**

The Hydrology Section has no objection to the zone map amendment request. An approved conceptual grading and drainage plan is required for site plan sign-off by the City Engineer / AMAFCA.

**Transportation Planning:**

No objection to zone map amendment. However, at this time we cannot recommend approval of "site plan for subdivision" or "site plan for building permit". The site plans need to show additional and definitive information about the Eubank Boulevard right-of-way. Eubank is a designated Principal Arterial on the Long Range Roadway System map, to have a 156-foot right-of-way. At the present time, however, the width and location of the right-of-way are under study by the Public Works Department. In any case, the applicant's site plan does not show a definitive property line or right-of-way line. This matter must be resolved before continuing; we do not want the resolution of this matter to be stated as a condition of approval

**ENVIRONMENTAL HEALTH DEPARTMENT**

**Air Quality Division**

"No Comment."

**Environmental Services Division**

**NEIGHBORHOOD SERVICES**

"no association."

**PARKS AND RECREATION**

**Planning and Design**

Future platting action will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Dedication of land suitable for development of a neighborhood park or a fee in-lieu of and equal to the value of the required park land dedication will be required. The Manzano Mesa Subdivision met its park dedication requirement through the original dedication of lands related to Manzano Mesa Park in 1990.

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The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

The Trails & Bikeways Facility Plan proposes a Primary Trail along the east side of Eubank Blvd. in this location. In this case, we will require construction of a 10' asphalt trail in-lieu of sidewalk. Additionally, please allow for at least 5' of separation between the trail and face of curb and a minimum of 3' between the trail and wall or other vertical element. Be advised that landscaping improvements along the asphalt trail must not encroach on the trail itself. Trees must be a minimum of 3' away from the trail and shrubs, at their mature spread, must not encroach on the trail. The proposed landscaping along Eubank appears to encroach into the sidewalk/trail area. Design of the trail shall be coordinated with the Trails Planner Diane Scena.

***OPEN SPACE DIVISION***

***POLICE DEPARTMENT/Planning***

"No Adverse Comment."

***SOLID WASTE MANAGEMENT DEPARTMENT***

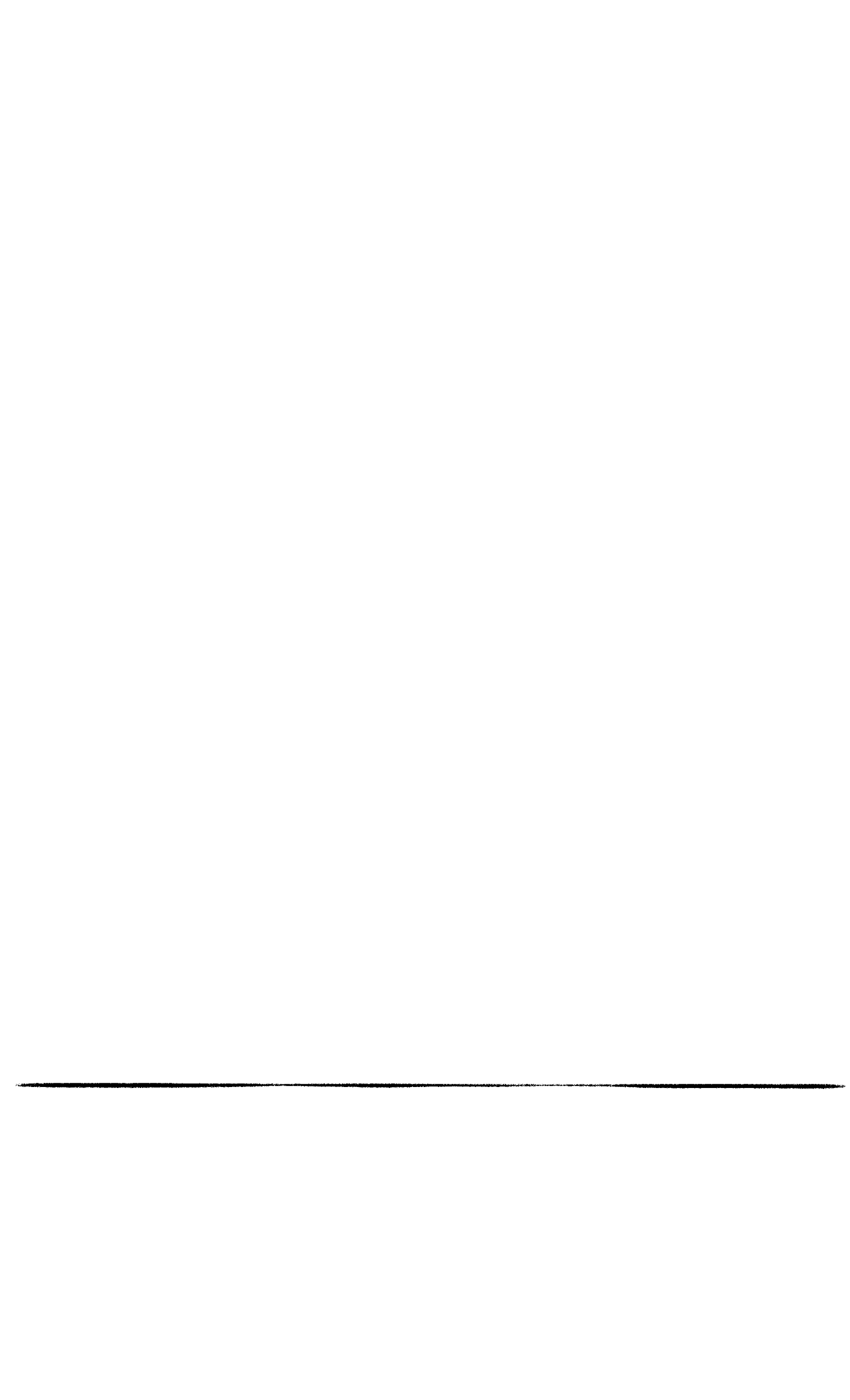
***Refuse Division***

Approved on condition will have self contained compactor. Centrally located cart/container enclosures should be placed throughout the complex. Call T.L. Baca 761-8142

***FIRE DEPARTMENT/Planning***

***TRANSIT DEPARTMENT***

Comments pending





OFFICIAL NOTIFICATION OF DECISION

00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

MARCH 2, 2000

PAGE 7

- G) Coordination with the Solid Waste Department with regard to refuse container location and access.
  - H) Street Trees are required along Eubank Boulevard.
18. Unobstructed pedestrian connection 6-foot clear shall be noted on the site plan between the apartments and the office.
19. The Utility plan appears to show the private water system with illegal looping connection to public lines. This must be corrected. A water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action. Request left turn bays be introduced on Eubank to allow good access to the project location.

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IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY **MARCH 16, 2001** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

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## **COMMENTS FROM OTHER AGENCIES**

### **BERNALILLO COUNTY**

#### **ALBUQUERQUE METROPOLITAN FLOOD CONTROL AUTHORITY**

"No objection."

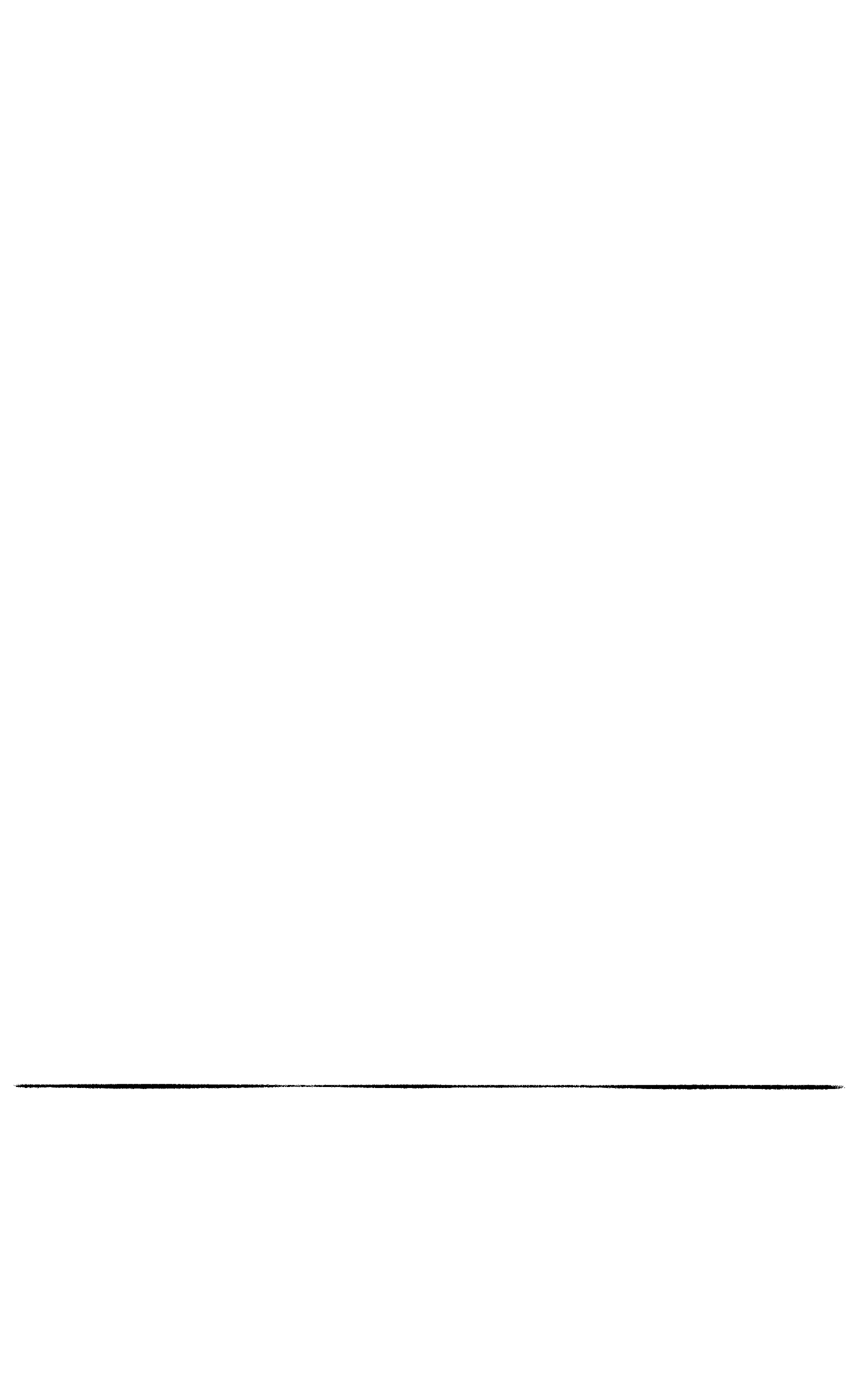
#### **ALBUQUERQUE PUBLIC SCHOOLS**

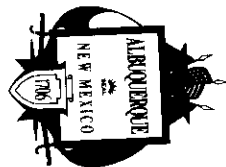
The **Manzano Mesa Apartments** within the Manzano Mesa subdivision will affect Wherry Elementary School, Van Buren School, and Highland High School. The elementary school should be able to accommodate the students potentially generated by the development. *The APS Facilities Master Plan includes a new elementary school in the Manzano Mesa subdivision slated to open in the fall of 2002. There will be a wholesale change in elementary school boundaries in the area leading up to fall 2002.*

If enrollment at schools continues to increase, APS policy requires that the district examine boundary changes, alternative schedules, transportation to less crowded schools, and/or combinations of the above strategies to relieve overcrowded facilities.

#### **MIDDLE RIO GRANDE COUNCIL OF GOVERNMENTS**

No adverse comment. For information, the Long Range Roadway System designates Eubank Boulevard as a principal arterial. In addition, the Long Range Bikeway System proposes a bike lane on Eubank.



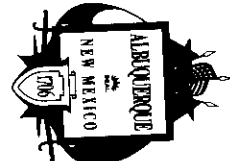
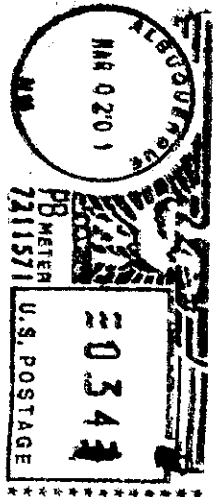
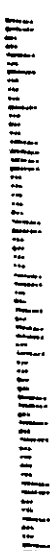


**City of Albuquerque**  
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103  
 PLANNING DEPARTMENT

Joanne Gladin de la Fuente  
 528 Eugene Ct. SE  
 Albuq. NM 87123

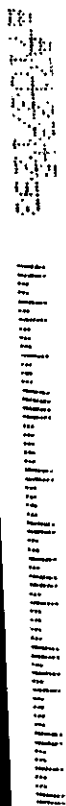
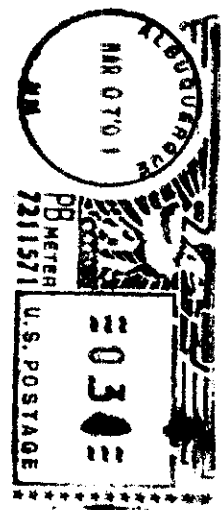
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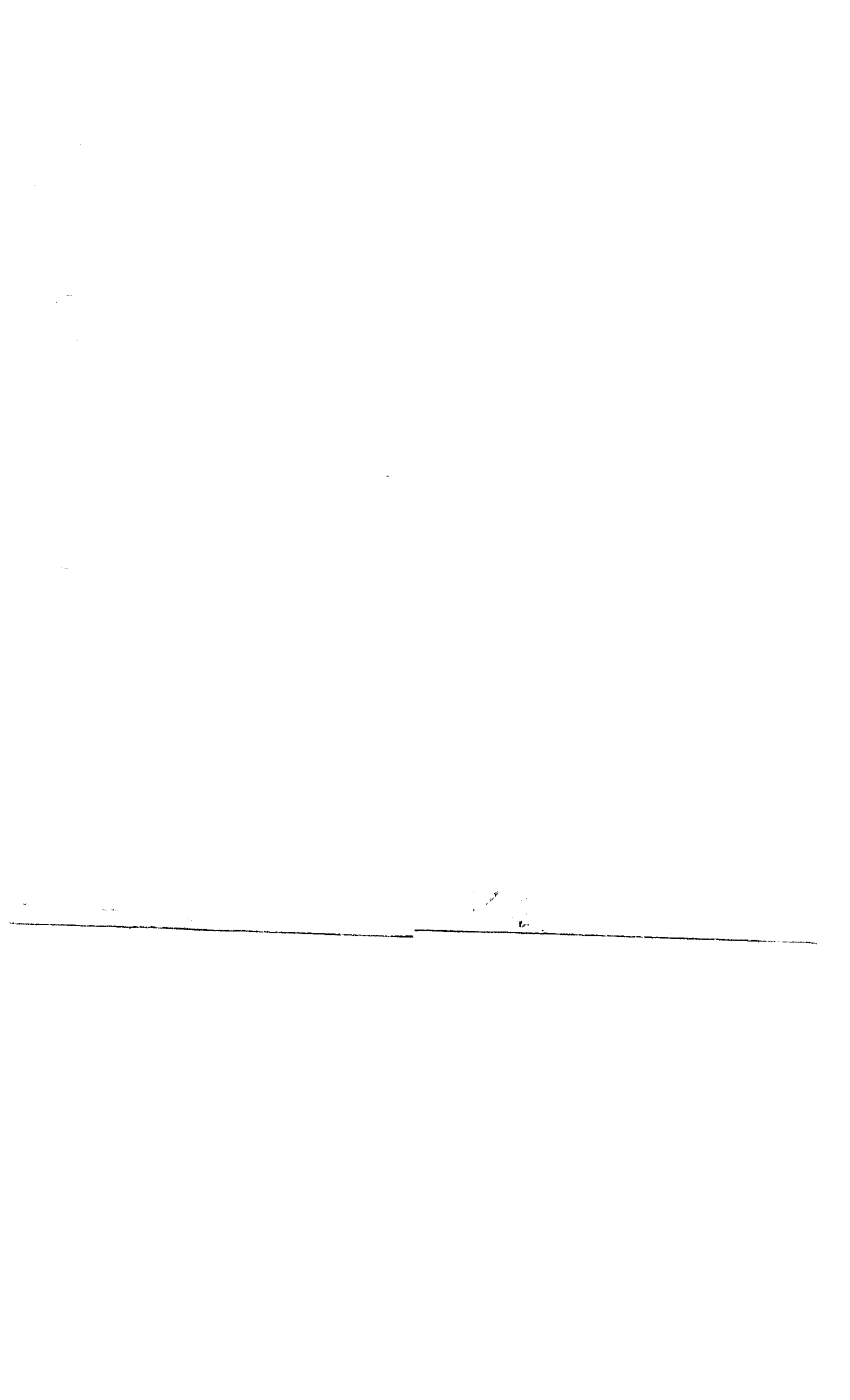
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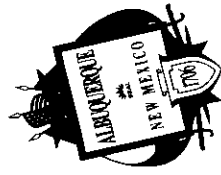


**City of Albuquerque**  
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103  
 PLANNING DEPARTMENT

Joanne Gladin de la Fuente  
 528 Eugene Ct. SE  
 Albuq. Nimi 87123



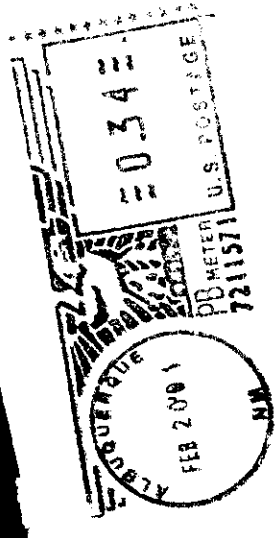




**City of Albuquerque**  
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103  
PLANNING DEPARTMENT

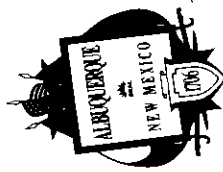
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*Joanne Gladin*

*Joanne Gladin*  
*528 Eugene Ct. SE*  
*Albuc. NM 87423*



87123-8638 73

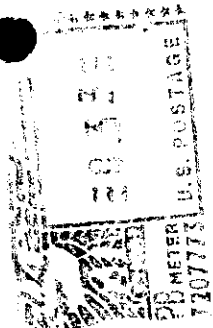
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**City of Albuquerque**  
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

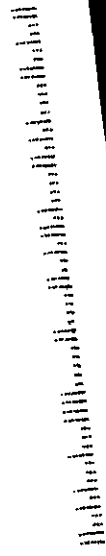
PLANNING DEPARTMENT

RETURNED TO SENDER  
EPC UNDELIVERABLE AS ADDRESS  
REFUSED



102005641904540122

U S A DEPT OF ARMY HDQRS  
2050 WYOMING BL SE  
KIRTLAND AFB NM 87117



27103/1293



Bill Tafoya, being duly sworn, declares and says that he is Classified Advertising Manager of **The Albuquerque Journal**, and that this newspaper is duly qualified to publish legal notices or advertisements within the meaning of Section 3, Chapter 167, Session Laws of 1937, and that payment therefore has been made of assessed as court cost; that the notice, copy of which is hereto attached, was published in said paper in the regular daily edition, for 7 times, the first publication being on the 3 day of Jan, 2001, and the subsequent consecutive publications on \_\_\_\_\_, 2001.

*[Signature]*

Sworn and subscribed to before me, a Notary Public, in and for the County of Bernalillo and State of New Mexico this 3 day Jan of 2001.

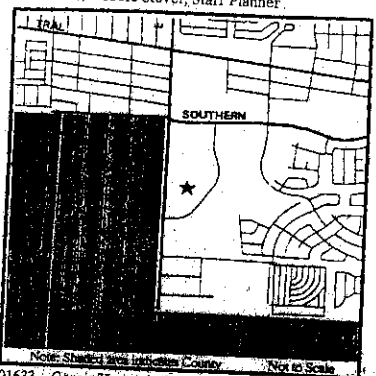
PRICE 273.74

Statement to come at end of month.

ACCOUNT NUMBER 680583

CLA-22-A (R-1/93)

00110 00000 01634  
00128 00000 01635  
00128 00000 01646  
00128 00000 01647  
Project # 1000938  
Consensus Planning, Inc., agents for G&L Properties, Inc. request a zone map amendment from SU-1 for O-1, SU-1 for R-2 to SU-1 for O-1, SU-1 for R-2 plus approval of a site development plan for subdivision purposes and approval of a site development plan for building permit for Tract G-3 & Tract H-1, Manzano Mesa Addition, located on Eubank SE between Central Avenue SE and Sandia National Labs SE, containing approximately 36.3 acres. (L-21) Debbie Stover, Staff Planner.



00128 00000 01633  
Project # 1000699  
Garcia/Kraemer & Associates, agents for Dr. Sharon Holland request approval of a site development plan for building permit for Tract 67A3, MRGCD Map No. 29, located on Fourth Street NW, between Vineyard Road and Willow Road, containing approximately 1.15 acres. (E-15) Leigh Mathewson, Staff Planner

00114 00000 01634  
00110 00000 01635  
00138 00000 01636  
Project #1000934  
Mark Goodwin & Associates, agents for 106th Street Partner, Ltd. request annexation and establishment of R-D 20 du zoning plus an amendment to the Tower Unser Sector Development Plan for Lots 2-5, Block 9, Town of Atrisco Grant, located on 106th Street between Sunset Gardens Road and Eucaria Avenue, containing approximately 19.7 acres. (L-8) Loretta Naranjo-Lopez, Staff Planner

00114 00000 01637  
00110 00000 01649  
Project #1000935  
Consensus Planning, Inc., agents for Albuquerque Public Schools request annexation and establishment of SU-1 for IP zoning for Section 33, T10N, R4E, Tract SE 1/4, NW 1/4, located on Eubank Blvd. SE between Southern SE and KAFB, containing approximately 40 acres. (M-21) Makhta Hill, Staff Planner



00114 00000 01643  
00110 00000 01650  
00128 00000 01641  
00128 00000 01642  
Project #1000937  
City of Albuquerque, Transit Department request annexation and establishment of SU-1 for Transit Facility and Daycare zoning plus approval of a site development plan for building permit for Tracts B-15, B-16, B-17, B-19 and B-19, Town of Atrisco Grant, located on Daytona between Unser and 90th Street, containing approximately 20 acres. (J-9) Debbie Stover, Staff Planner.

Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00 and between 2:00 and 4:00 p.m., Monday through Friday, or you may call April Candelaria at 924-3886. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at the public hearing should contact April Candelaria at 924-3886 (VOICE) or 924-3861 (TTY). TTY users may also access the voice number via the New Mexico Relay Network by calling toll free: 1-800-659-8331.

APPROVED  
Chuck Gara, Chairman  
Environmental Planning Commission

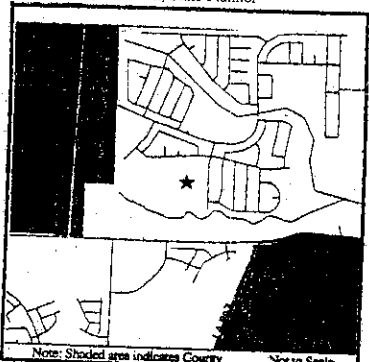
s/Russell Brito, Senior Planner  
Development Services Division,  
Planning Department

Journal: January 3, 2001  
Call: 505-434-6064

### NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a public hearing on Thursday, January 18, 2001 at 8:00 a.m., in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following items: (Note: these items are not in the order they will be heard)

- 00110 00000 01500 Garcia Kraemer, agents for Charles Benzaquen, request a zone map amendment: from SU-2/TH to SU-2/SU-1 Single Family Residence & Restaurant plus an amendment to the Sector Development Plan and approval of a site development plan for building permit for Lots 47 & 48, Perea Addition, located on the northeast corner of Tijeras Avenue and 13th Street, containing approximately .11 acres. (J-13) Simon Shima, Staff Planner
- 00110 00000 01623 Consensus Planning, Inc., agents for Richard Smith request a zone map amendment from R-1 to SU-1 for SU-1 for Mixed Use Development including: C-1 Permissive uses excluding automobile related and service uses and drive up facilities and including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on-premise consumption (1.4 acres max); O-1 permissive uses; and R-2 permissive uses (minimum of 35% of the gross property area) and SU-1 for R-2 uses (16 acres), plus approval of a site development plan for subdivision purposes for Paradise Heights, Unit 3, located on the northeast corner of Unser and McMahon, containing approximately 20 acres. (A-11) Russell Brito, Staff Planner
- 00110 00000 01626 Consensus Planning, Inc., agents for Curb West, Inc. request a zone map from SU-1 for C-1 and R-1 to SU-1 for Church and related facilities O-1, and R-2 Permissive Uses; SU-1 for C-1 O-1 and R-2, (with restaurants with full service liquor and liquor sales for off site consumption) and R-LT for Tract B-2 & Lots 1-28 & Lots 1-29, Block 15 & 16, Paradise Heights Addition, located on Irving Boulevard between Universe Boulevard and Unser Boulevard, containing approximately 146.8 acres. (A-10) Mary Piscitelli, Staff Planner



00110 00000 01631  
00128 00000 01632  
Project #1000933  
Consensus Planning, Inc., agents for Royalty Investment Company/ Manzano Mesa Limited Partnership request a zone map amendment from SU-1 for limited IP to R-T SU-1 for C-1 & SU-1 for C-2, plus approval of a site development plan for subdivision purposes for Tract B, Manzano Mesa located on Southern Boulevard between Eubank SE and Juan Tabo SE, containing approximately 37.87 acres. (L-21) Debbie Stover, Staff Planner

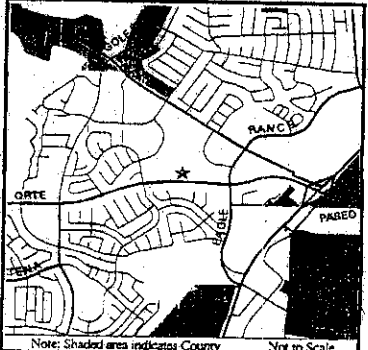


00110 00000 01639  
00128 00000 01640  
Project #1000936  
Consensus Planning, Inc., agents for Bob Kunath and Howard Zolin request a zone map amendment from R-1 to SU-1 for Mixed Use Development (13.4 acres) including: C-1 Permissive uses excluding automobile related and service uses and drive up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on-premise consumption (4.5 acres max); O-1 permissive uses; and R-2 permissive uses (minimum of 35% of the gross property area) and SU-1 for R-2 uses (4.5 acres) located approval of a site development plan for subdivision purposes for the SE 1/4 of NW 1/4 T11N, R2E, and portion of SE 1/4 of NW 1/4 of SE T11N, R2E, located on the northwest corner of Unser and McMahon, containing approximately 21 acres. (A-11) Russell Brito, Staff Planner

00128 00000 01624  
Project #1000930  
HDR Engineering, agents for Bernalillo County PWD request approval of a site development plan for building permit for Lot B, Tracts A & B Pajarito Elementary School, zoned RO-1, located on Don Felipe Road SW between Coors Boulevard and Don Felipe Court, containing approximately .26 acres. (R-10 & Q-10) Loretta Naranjo-Lopez, Staff Planner

00110 00000 01628  
00128 00000 01629  
00128 00000 01630  
Project # 1000662  
Tierra West LLC, agents for Union Pension Transaction Trust 93-2 NM request a zone map amendment from SU-1 or C-2 to SU-1 for IP plus approval of a site development plan for subdivision purposes and site development plan for building permit for Tract 3A3-A, N. Renaissance Center, located on Mission Avenue between Alexander Blvd. NE and Culture Drive NE, containing approximately 7.980 acres. (F-16) Debbie Stover, Staff Planner

00128 00000 0638  
Project # 1000762  
Herbert M. Denish & Associates, Inc., agents for Newfoundland Investment Company, LLC, request approval of a site development plan for subdivision purposes for Lots 10A1, 10A2, C & portions of Lots B & F, Albuquerque West Subdivision and Lot B, Richland Hills Unit 1, zoned SU-1 for C-3 Uses with Exceptions and SU-1 for IP Uses with Exceptions, located on Paseo del Norte NW between Eagle Ranch Road and Richland Hills Road, containing approximately 27.3 acres. (C-12) Russell Brito, Staff Planner







## NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a public hearing on Thursday, January 18, 2001 at 8:00 a.m., in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following items:  
[Note: these items are not in the order they will be heard]

- 00110 000000 01500 Garcia Kraemer, agents for Charles Benzaquen, request a zone map  
00138 00000 01501 amendment from SU-2/TH to SU-2/SU-1 Single Family Residence &  
00128 00000 01502 Restaurant plus an amendment to the Sector Development Plan and  
Project # 1000892 approval of a site development plan for building permit for Lots 47 & 48, Perea  
Addition, located on the northeast corner of Tijeras Avenue and 13<sup>th</sup> Street,  
containing approximately .11 acres. (J-13) Simon Shima, Staff Planner
- 00110 00000 01623 Consensus Planning, Inc., agents for Richard Smith request a zone map  
00128 00000 01514 amendment from R-1 to SU-1 for SU-1 for Mixed Use Development  
Project # 1000898 including: C-1 Permissive uses excluding automobile related and service uses  
and drive up facilities and including package liquor sales ancillary to a retail  
grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales  
for on-premise consumption (1.4 acres max); O-1 permissive uses; and R-2  
permissive uses (minimum of 35% of the gross property area) and SU-1 for R-2  
uses (16 acres), plus approval of a site development plan for subdivision  
purposes for Paradise Heights, Unit 3, located on the northeast corner of Unser  
and McMahon, containing approximately 20 acres. (A-11) Russell Brito, Staff  
Planner
- 00110 00000 01626 Consensus Planning, Inc., agents for Curb West, Inc. request a zone map  
00128 00000 01625 from SU-1 for C-1 and R-1 to SU-1 for Church and related facilities O-  
Project #1000931 1, and R-2 Permissive Uses; SU-1 for C-1 O-1 and R-2, (with restaurants with  
full service liquor and liquor sales for off site consumption) and R-LT for Tract  
B-2 & Lots 1-28 & Lots 1-29, Block 15 & 16, Paradise Heights Addition,  
located on Irving Boulevard between Universe Boulevard and Unser Boulevard,  
containing approximately 146.8 acres. (A-10) Mary Piscitelli, Staff Planner

OFFICIAL NOTIFICATION OF DECISION

00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

MARCH 2, 2000

PAGE 8

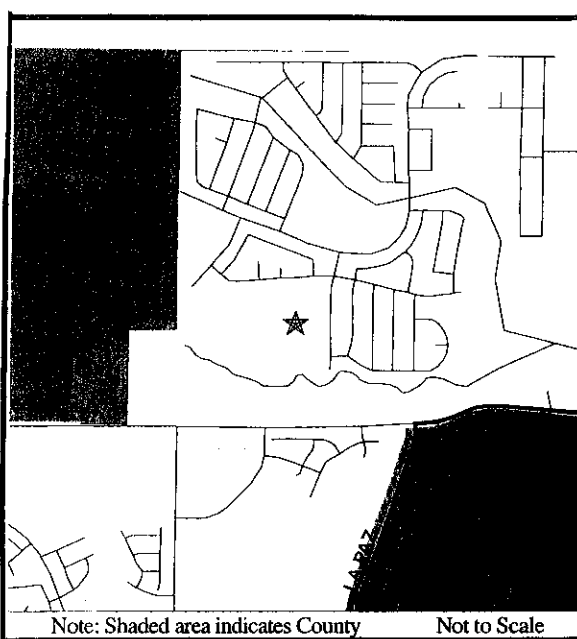
Sincerely,



Robert R. McCabe, AIA, APA  
Planning Director

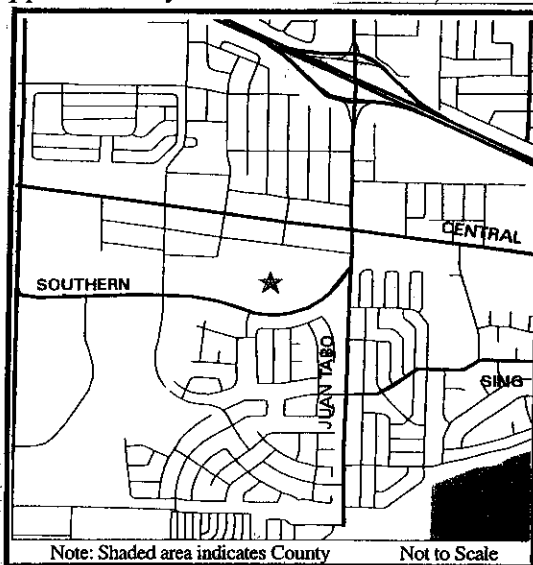
RM/DS/fmt

cc: Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123  
Joe Ando, 13200 Mountain Shadows Rd. NE, Albuquerque, NM 87111-5530  
Ray Baron, HC 75 Box 122 Chama, NM 87520  
Mark Burton, 12500 Charla Ct. SE, Albuquerque, NM 87123  
Ed Candelaria, 1053 Colt Ln. SE, Albuquerque, NM 87123  
Henry Crockett, 404 Rainbow Ct. SE, Apt. D, Albuquerque, NM 87123  
Diane Davidson, 12800 Piru SE, Albuquerque, NM 87123  
Marylyn Floro, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Frank Gallaspy, 1308 Kentucky SE, Albuquerque, NM 87108  
Joanne Gladin de la Fuente, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Susan Henderson, 1031 Los Padres SE, Albuquerque, NM 87123  
Dolores Keane, 828 Trading Pose Trail SE, Albuquerque, NM 87123  
Karen Kendall, 12924 Piru SE, Albuquerque, NM 87123  
Dave Orwat, 4600 Homestead Tr. NW, Albuquerque, NM 87120  
Dave Saxon, 10836 Wasatch Rd. SE, Albuquerque, NM 87123  
Rose & John Sena, 7820 Zuni SE, Albuquerque, NM 87123  
Dave Smith, 12536 Elyse Pl. SE, Albuquerque, NM 87123  
John Smokov, 608 Parkside Pl. SE, Albuquerque, NM 87123  
Janette Vanderkamp, 300 Dorado Pl. SE, Albuquerque, NM 87123  
Phil York, 12705 Elyse Pl. SE, Albuquerque, NM 87123



00110 00000 01631  
 00128 00000 01632  
 Project #1000933

Consensus Planning, Inc., agents for Royalty Investment Company/ Manzano Mesa Limited Partnership request a zone map amendment from SU-1 for limited IP to R-T SU-1 for C-1 & SU-1 for C-2, plus approval of a site development plan for subdivision purposes for Tract B, Manzano Mesa located on Southern Boulevard between Eubank SE and Juan Tabo SE, containing approximately 37.87 acres. (L-21) Debbie Stover, Staff Planner



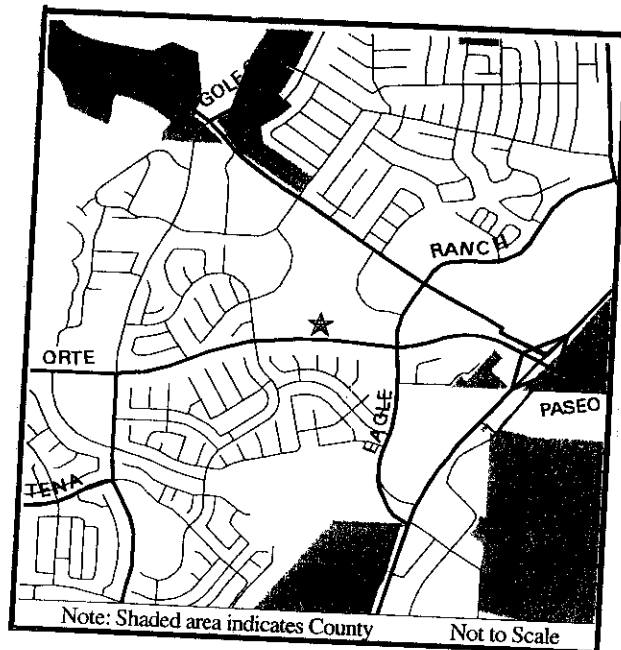
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 Project #1000936

Consensus Planning, Inc., agents for Bob Kunath and Howard Zolin request a zone map amendment from R-1 to SU-1 for Mixed Use Development (13.4 acres) including: C-1 Permissive uses excluding automobile related and service uses and drive up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on-premise consumption (4.5 acres max); O-1 permissive uses; and R-2 permissive uses (minimum of 35% of the gross property area) and SU-1 for R-2 uses (4.5 acres) located approval of a site development plan for subdivision purposes for the SE ¼ of NW ¼ T115, R2E, and portion of SE ¼ of NW ¼ of SE T11N, R2E, located on the northwest corner of Unser and McMahon, containing approximately 21 acres. (A-11) Russell Brito, Staff Planner

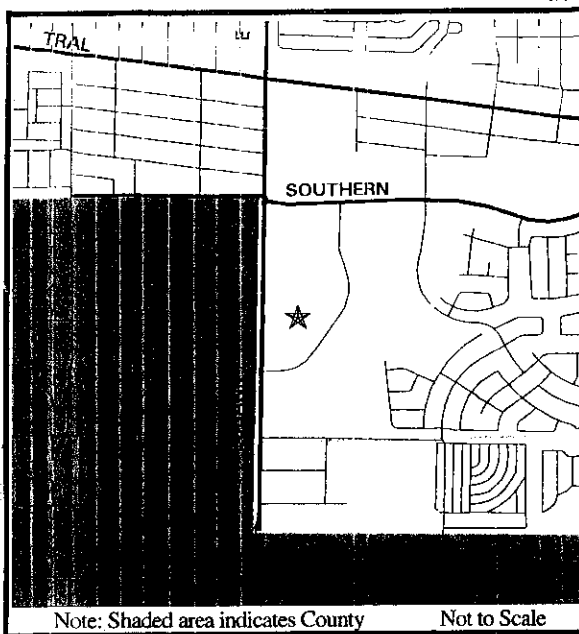
00128 00000 01624 HDR Engineering, agents for Bernalillo County PWD request approval  
Project #1000930 of a site development plan for building permit for Lot B, Tracts A & B Pajarito Elementary School, zoned RO-1, located on Don Felipe Road SW between Coors Boulevard and Don Felipe Court, containing approximately .26 acres. (R-10 & Q-10) Loretta Naranjo-Lopez, Staff Planner

00110 00000 01628 Tierra West LLC, agents for Union Pension Transaction Trust 93-2 NM  
00128 00000 01629 request a zone map amendment from SU-1 for C-2 to SU-1 for IP plus  
00128 00000 01630 approval of a site development plan for subdivision purposes and site  
Project # 1000662 development plan for building permit for Tract 3A3-A, N. Renaissance Center, located on Mission Avenue between Alexander Blvd. NE and Culture Drive NE, containing approximately 7.980 acres. (F-16) Debbie Stover, Staff Planner

00128 00000 0638 Herbert M. Denish & Associates, Inc., agents for Newfoundland  
Project # 1000762 Investment Company, LLC, request approval of a site development plan for subdivision purposes for Lots 10A1, 10A2, C & portions of Lots B & F, Albuquerque West Subdivision and Lot B, Richland Hills Unit 1, zoned SU-1 for C-3 Uses with Exceptions and SU-1 for IP Uses with Exceptions, located on Paseo del Norte NW between Eagle Ranch Road and Richland Hills Road, containing approximately 27.3 acres. (C-12) Russell Brito, Staff Planner



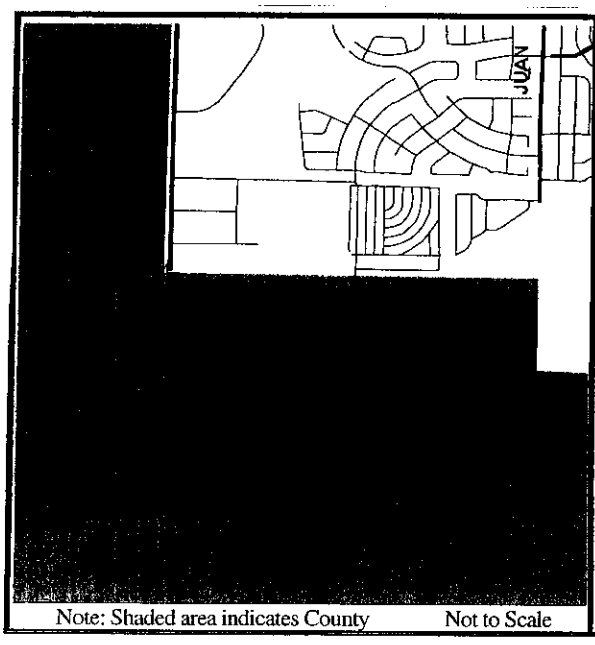
00110 00000 01644 Consensus Planning, Inc., agents for GSL Properties, Inc. request a zone  
00128 00000 01645 map amendment from SU-1 for O-1, SU-1 for R-2 to SU-1 for O-1, SU-  
00128 00000 01646 1 for R-2 plus approval of a site development plan for subdivision  
00128 00000 01647 purposes and approval of a site development plan for building permit for  
Project # 1000938 Tract G-3 & Tract H-1, Manzano Mesa Addition, located on Eubank SE between Central Avenue SE and Sandia National Labs SE, containing approximately 36.3 acres. (L-21) Debbie Stover, Staff Planner



00128 00000 01633 Garcia/Kraemer & Associates, agents for Dr. Sharon Holland request approval of a site development plan for building permit for Tract 67A3, MRGCD Map No. 29, located on Fourth Street NW, between Vineyard Road and Willow Road, containing approximately 1.15 acres. (E-15) Leigh Matthewson, Staff Planner  
 Project # 1000699

00114 00000 01634 Mark Goodwin & Associates, agents for 106<sup>th</sup> Street Partner, Ltd.  
 00110 00000 01635 request annexation and establishment of R-D/20 du zoning plus an  
 00138 00000 01636 amendment to the Tower Unser Sector Development Plan for Lots 2-5,  
 Project #1000934 Block 9, Town of Atrisco Grant, located on 106<sup>th</sup> Street between Sunset Gardens Road and Eucariz Avenue, containing approximately 19.7 acres. (L-8) Loretta Naranjo-Lopez, Staff Planner

00114 00000 01637 Consensus Planning, Inc., agents for Albuquerque Public Schools  
 00110 00000 01649 request annexation and establishment of SU-1 for IP zoning for Section  
 Project #1000935 33, T10N, R4E, Tract SE ¼, NW ¼, located on Eubank Blvd. SE between Southern SE and KAFB, containing approximately 40 acres. (M-21) Makita Hill, Staff Planner



00114 00000 01643 City of Albuquerque, Transit Department request annexation and  
00110 00000 01650 establishment of SU-1 for Transit Facility and Daycare zoning plus  
00128 00000 01641 approval of a site development plan for subdivision purposes and site  
00128 00000 01642 development plan for building permit for Tracts B-15, B-16, B-17, B-18  
Project #1000937 and B-19, Town of Atrisco Grant, located on Daytona between Unser  
and 90<sup>th</sup> Street, containing approximately 20 acres. (J-9) Debbie  
Stover, Staff Planner

Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00 and between 2:00 and 4:00 p.m., Monday through Friday, or you may call April Candelaria at 924-3886. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at the public hearing should contact April Candelaria at 924-3886 (VOICE) or 924-3361 (TTY). TTY users may also access the voice number via the New Mexico Relay Network by calling toll free: 1-800-659-8331.

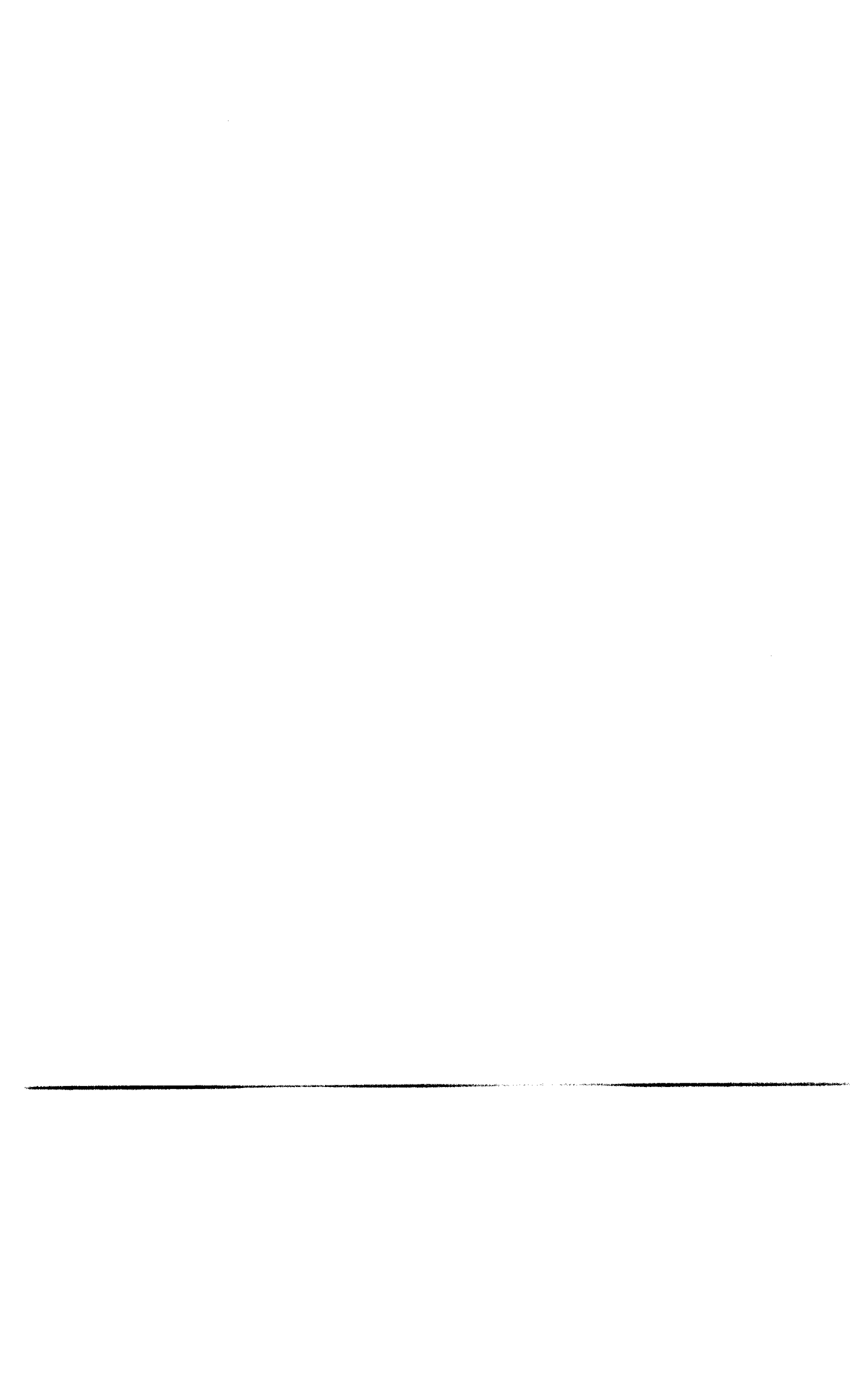
Chuck Gara, Chairman  
Environmental Planning Commission

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL JANUARY 3, 2000.**

APPROVED

  
Russell Brito, Senior Planner  
Development Services Division, Planning Department





CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT - DEVELOPMENT SERVICES DIVISION  
PROPERTY OWNERSHIP LIST

Meeting Date: Jan 18, 2001

Zone Atlas Page: 1-21-2

Notification Radius: 100 Ft.

App#	00110 0000 01014
Proj#	1000938
Other#	00128 0000 01014 00128 0000 01014 00128 0000 01014

Cross Reference and Location: \_\_\_\_\_

Applicant: CSI Properties, Inc. ✓

Address: 2104 SW Park St., Portland, OR 97205

Agent: Consensus Planning, Inc. ✓

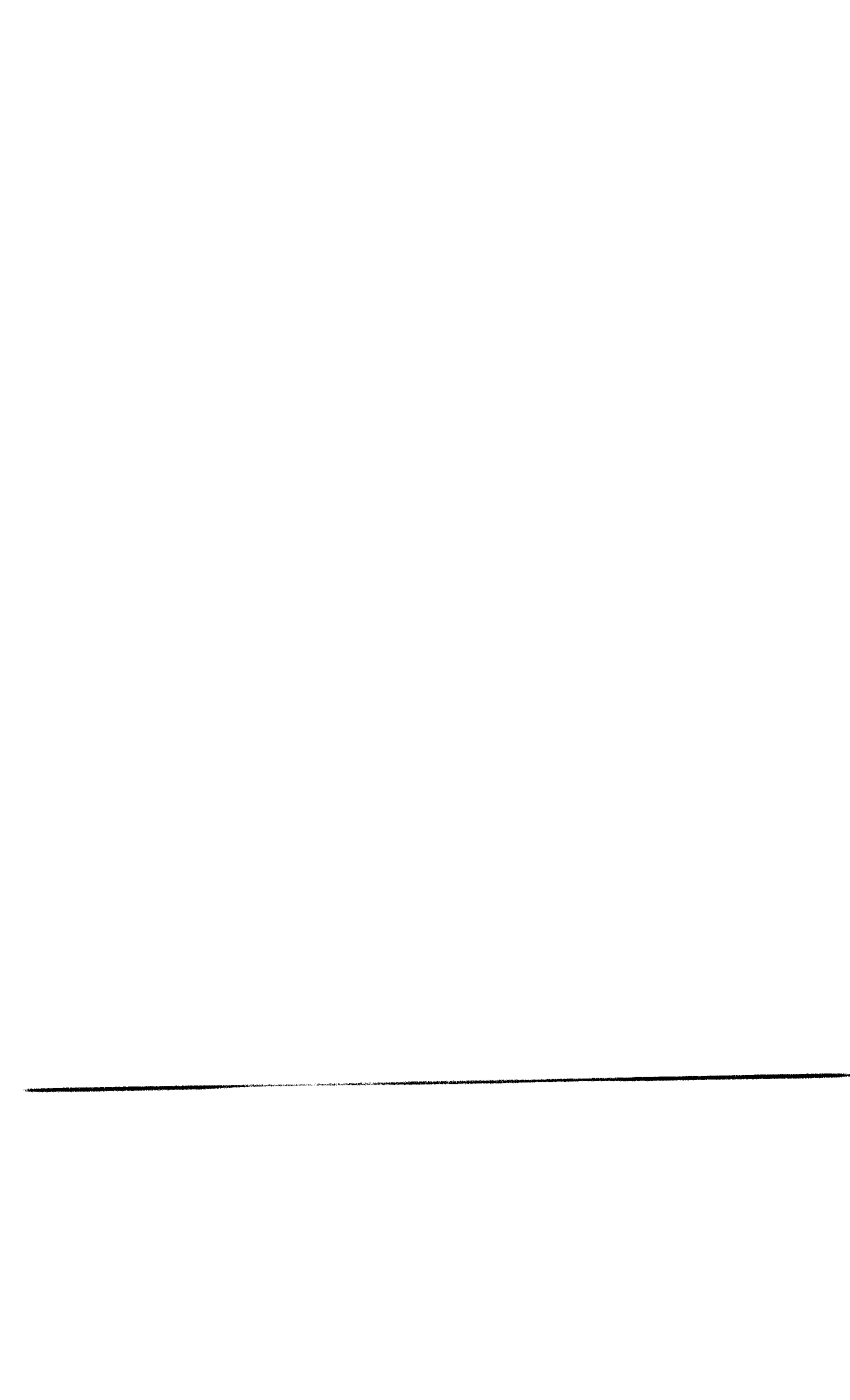
Address: 974 Park SW, 97206

SPECIAL INSTRUCTIONS

Notices Must be mailed from the  
City 15 days prior to the meeting.

Date Mailed: 1-3-01

Signature: K Tsethlikai







1021056	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
102105603321730314	LEGAL: PROPERTY ADDR: 00000 OWNER NAME: OWNER ADDR: 00000	LAND USE:	
102105606915330301	LEGAL: PROPERTY ADDR: 00000 OWNER NAME: OWNER ADDR: 00000	LAND USE:	
102105605429030315	LEGAL: PROPERTY ADDR: 00000 OWNER NAME: OWNER ADDR: 00000	LAND USE:	
102105622715030316	LEGAL: PROPERTY ADDR: 00000 OWNER NAME: OWNER ADDR: 00000	LAND USE:	
102105617217030110	LEGAL: PROPERTY ADDR: 00000 OWNER NAME: OWNER ADDR: 00000	LAND USE:	
102105606508030111	LEGAL: PROPERTY ADDR: 00000 OWNER NAME: OWNER ADDR: 00000	LAND USE:	
102005641904540122	LEGAL: SE/4 SEC 29 T10N R4E CONT 52.72 AC PROPERTY ADDR: 00000 N/A OWNER NAME: U S A DEPT OF ARMY HDQRS OWNER ADDR: 02050 WYOMING	LAND USE:	BL SE KIRTLAND AFB NM 87117
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102005640623140166	LEGAL: TR O F LA ND IN SE/4 SEC 29 CONT 52.72 AC PROPERTY ADDR: 00000 SOUTHERN AVE SE OWNER NAME: U S A DEPT OF ARMY HDQRS OWNER ADDR: 02050 WYOMING	LAND USE:	BL SE KIRTLAND AFB NM 87117
102005648628940177	LEGAL: TR 5 1 SE /4 SE/4 NE/4 EXC E 30 FT & S 1/2 * PROPERTY ADDR: 00000 SOUTHERN AVE SE OWNER NAME: U S A DEPT OF ARMY HDQRS OWNER ADDR: 02050 WYOMING	LAND USE:	BL SE KIRTLAND AFB NM 87117

# CITY OF ALBUQUERQUE

## Albuquerque, New Mexico

March 29, 2001

### INTER-OFFICE CORRESPONDENCE

**TO:** Brad Winter, President, City Council

**FROM:** Robert R. McCabe, AIA, ~~APA~~ Planning Director

**SUBJECT:** AC-01-08/00110-00000-01644/00128-00000-01645/00128-00000-01646/00128-00000-01647/Project #1000938 Philip York, Agent for Singing Arrow N.A. Appeals the EPC's Approvals of Zone Map Amendments, Site Plan for Subdivision and Site Plans for Building Permit; Located on Eubank SE Between Central Avenue SE and Sandia National Labs SE. Deborah Stover, Staff Planner.

This is an appeal of the March 1 2001 Environmental Planning Commission (EPC) unanimous approvals of a Zone Map Amendment, Site Plan for Subdivision and two Site Plans for Building Permit for an approximately 36 acre site located on Eubank Boulevard SE between Southern Boulevard and Sandia National Laboratories. The current zoning consists of approximately 25 acres of SU-1 for R-2 zoning located in the southern and eastern portion of the site and 11 acres of SU-1 for O-1 zoning in the northwestern portion of the site.

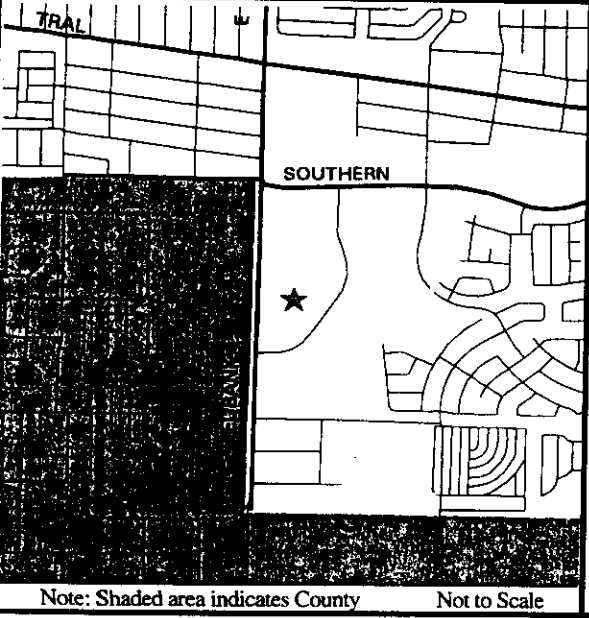
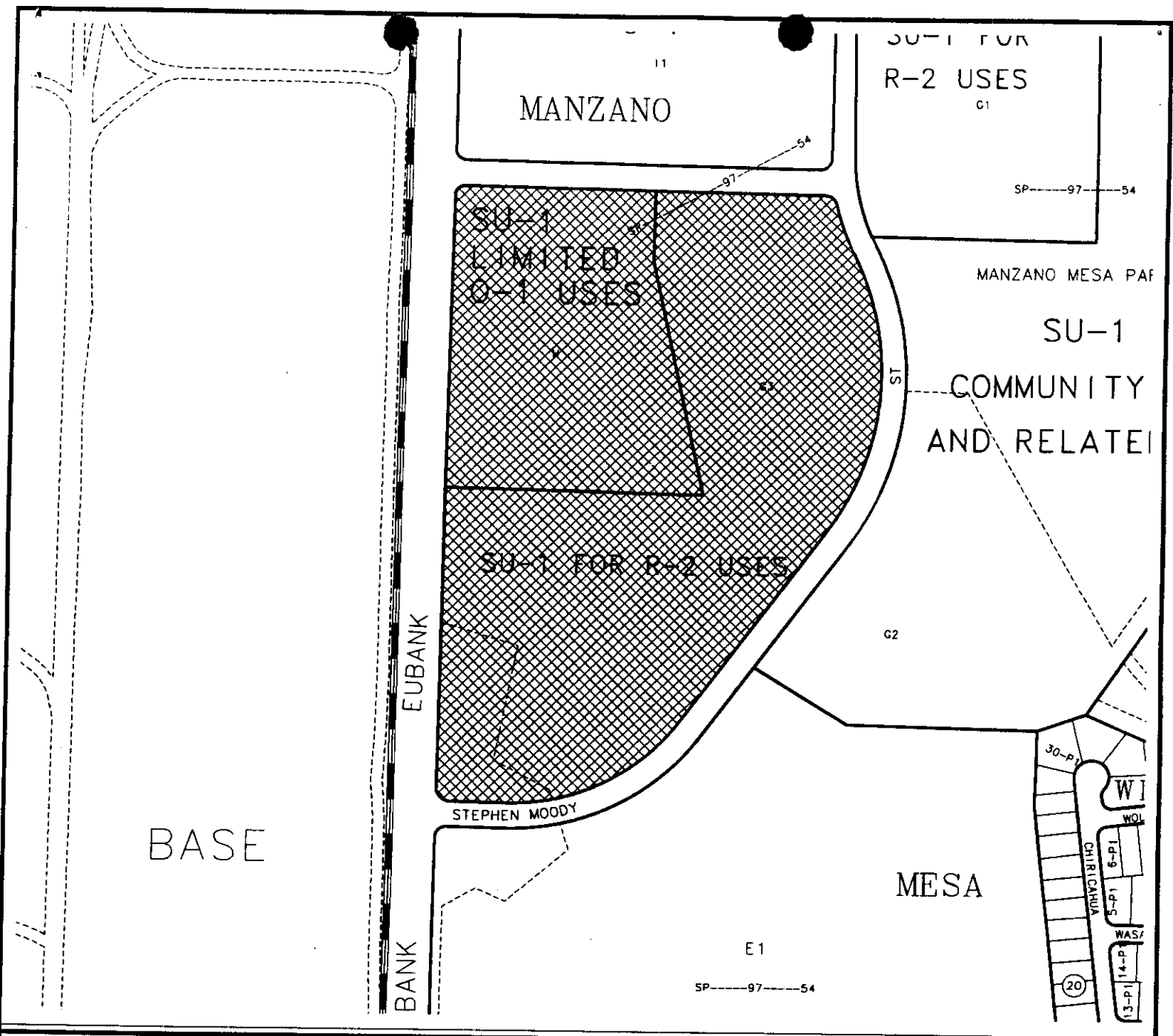
The zone map amendment approved by the EPC alters the existing zoning, but in a way that essentially just changes the location of existing zoning within the site. After the EPC approval, the SU-1 for R-2 zoned area (after right-of-way dedication) is decreased to approximately 23 acres and relocated to the northern portion of the site and the SU-1 for O-1 portion remains 11 acres but is relocated to the southern portion of the site. The site development plan for subdivision is required to accompany any request for SU-1 zoning and the site plans for building permit are for two separate apartment complexes.

The EPC initially deferred the request in order to allow the applicant to make changes to the site plans and to allow further discussions with the neighborhoods. Several neighbors spoke in opposition to the proposed apartments. A special public hearing was held on March 1 2001 to hear the request. The EPC approved the request based on Findings that include justification under Resolution 270-1980.


The appellant cites as reasons for the appeal that the current zoning is inappropriate for this area of the city and that any "high-density rental dwelling development" would have considerable negative impact on the adjacent neighborhoods. The zone map amendment request approved by the EPC did not create the zoning that allows

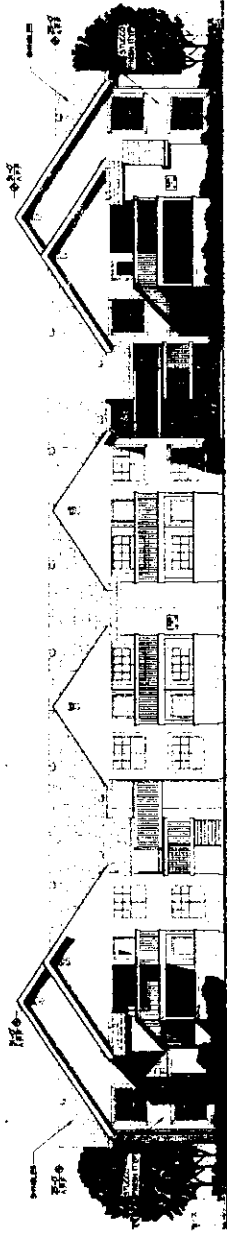




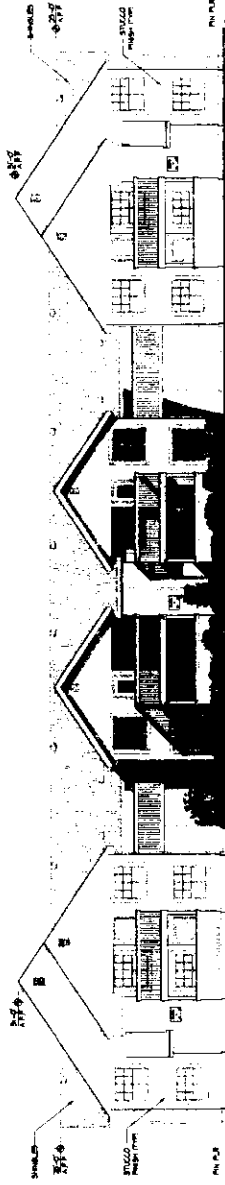


**ZONING MAP**

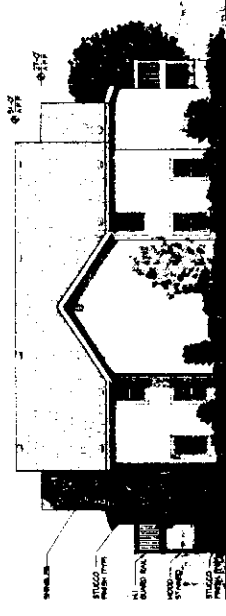
 Scale 1" = 377'
<b>PROJECT NO.</b> 1000938
<b>HEARING DATE</b> 01-08-01
<b>MAP NO.</b> L-21
<b>APPLICATION NO.</b> 00110-00000-06144 00128-00000-01645 00128-00000-01646 00128-00000-01647



16- PLEX BUILDING - FRONT ELEVATION



16- PLEX BUILDING - REAR ELEVATION



16- PLEX BUILDING - SIDE ELEVATION

BLDG  
H

BUILDING SIGNAGE

	<p>7</p>
<p>MANZANO MESA EAST BLANK NE ALVARO G. NEH-NECO 0723 30021 MANZANO ZONA DE LA TIERRA, SAJ. CALLE 1124</p>	<p>de la Domo Archiboscas p.a.s.a. ALVARO G. NEH-NECO 0723 BLVD. MANZANO CALLE 1124</p>

PARKING/REGULATION

- The maximum allowed parking shall be equal to the required parking plus 10%.
- Any required parking shall be located adjacent to the building entry.
- For multi-story buildings, pedestrian crossings shall be a minimum width of 6 feet. They shall be crosswalks with textured paving and shall be provided where pedestrian paths cross sidewalks, streets and drive drives.
- Shaded pedestrian routes shall be provided including a clear 6-foot-wide path with interior dimensions spaced every 20 feet on center within buildings that have a minimum interior dimension of 5 feet, signage and lighting.
- For office buildings, a shaded sidewalk shall be provided with a minimum width of 6 feet along the entrance side of the building. Signage shall be provided with architecturally integrated panels or canopies, or light fixtures.
- For buildings on outdoor patio spaces that is a minimum of 1000 square feet (approximately 20 feet on center in plan) with a minimum interior dimension of 5 feet, signage and lighting shall be provided. The patio shall have adequate shading provided by trees and/or shade structures that integrate with building architecture.
- For multi-story buildings, pedestrian crossings shall be provided from each building to the adjacent sidewalk system and to adjacent roadways.
- Public ramps or landings shall be provided for building entrances that are not within 20 feet of a sidewalk or other pedestrian path to connect Tract G-3-A to H-1-A and Tract G-3-B to Tract H-1-A.

LANDSCAPING & SCREENING

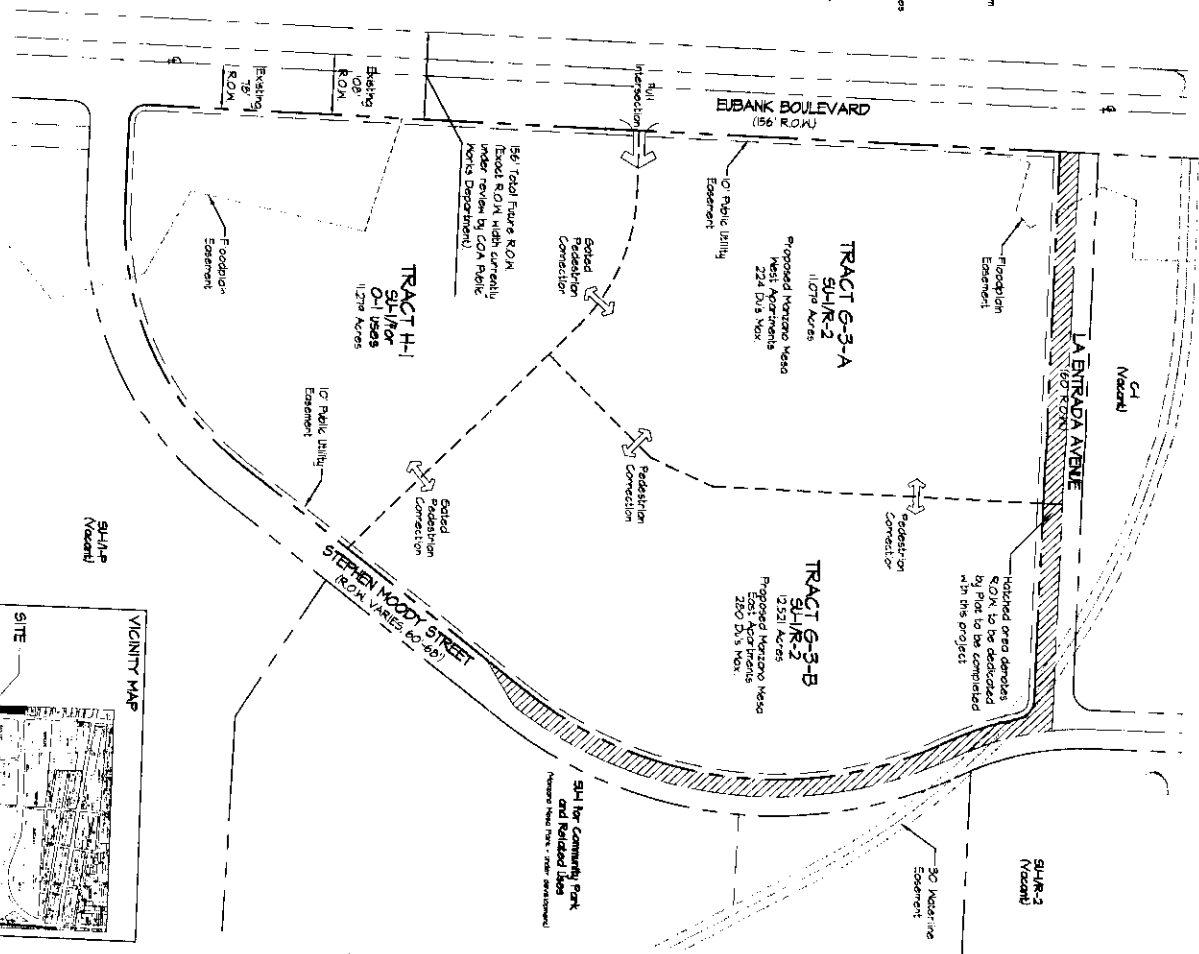
- A mix of evergreen (coniferous) and deciduous trees shall be used with parking areas.
- Landscaping regulations require that 75% of landscapes screen over 56 square feet in the open area to 20% of the landscape area. High-density evergreen shall be used in 12' minimum spacing and comply with the Planning Department's guidelines for perimeter walls.
- No double-line, row or or plastic vinyl fencing is permitted.

ARCHITECTURE

- The top of all rooftop equipment shall be below the top of parapet and screened from view from nearby properties. Screen walls shall screen all ground-mounted equipment and the top of equipment below the top of screen wall.
- No plastic or vinyl building panels, awnings, or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
- No cantilevered awnings or canopies shall be permitted. Awnings shall be integrated into the building architecture.
- Leading signs shall be screened by walls and covers that are architecturally integrated with the building.
- No generic franchise architecture shall be allowed.
- All air conditioning and exhaust shall be architecturally integrated and compatible in materials and design.
- Exterior enclosures shall be compatible in design, color and material with building architecture.
- If gates are provided, they shall be opaque, electric, gates are not allowed.

SIGNAGE

- Monument signs shall be integrated with building colors and materials are the only free standing signs allowed.
- Building-mounted signs shall consist of individual character letters. No illuminated plastic panel signs are allowed except signage for a maximum of 10 feet in height, 60 square feet per face. Building-mounted signage shall be a maximum of 6 feet of the facade to which is applied. Signage shall be a maximum of 3 building facades. Minimum letter size shall be 3" x 3".
- The location of the sign panels shall be included on the Sign Plan for Building Permit. Signs shall be a maximum of 20 feet high. The sign height shall be 10 feet above the ground level to prevent nighttime light, no light source shall be visible from the site.



SITE DEVELOPMENT PLAN FOR SUBDIVISION REQUIRED INFORMATION

THE SITE: The site consists of 2 existing lots (Tracts H-1 & 5) Historic Vanda Addition. The site shall be subdivided into 3 lots (Tracts G-3-A, G-3-B and G-3-C). The site contains approximately 346 acres. Tract H-1 is approximately 11.2 acres, Tract G-3-A is approximately 11.2 acres and Tract G-3-B is approximately 12.6 acres.

PROPOSED USE: The zoning for Tract H-1 shall remain SU-1 for Office. The zoning for Tract G-3-A and G-3-B shall be multi-family residential.

PEDESTRIAN AND VEHICULAR NETWORKS AND EGRESS: There will be a 6 foot wide sidewalk along Eubank Boulevard. Sidewalks shall be provided along La Berrada Avenue, Interior Building Front. There is a proposed multi-use trail adjacent to the site along Eubank Boulevard. The primary access to Tract H-1 and G-3-B shall be the proposed multi-use trail. A walkway will be developed from Eubank Boulevard to provide access to Tract H-1 and G-3-A. Secondary access to Tract G-3-A and G-3-B will be provided off of La Berrada Avenue.

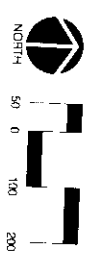
INTERNAL CIRCULATION REQUIREMENTS: Internal circulation shall be developed in accordance with the individual site plans for Building Permit.

BUILDING HEIGHTS AND SETBACKS: Pursuant to the R-2, R-3 or O-1 zoning an appropriate height and setbacks shall be developed in accordance with the individual site plans for Building Permit.

MANUFACTURING: Manufacturing shall be developed in accordance with the individual site plans for Building Permit and consistent with these landscaping and screening requirements.

APPROVALS (00128 00000 01645)

Planning Director	Date
Transportation Development	Date
City Engineer/ANACCA	Date
Utility Development	Date
Forest and Recreation Department	Date



**CONSERGIS PLANNING, INC.**  
 15000 E. McDowell Ave., Suite 100  
 Mesa, AZ 85206  
 Phone: 480-944-9800 Fax: 480-944-1495  
 Website: www.consergisplanning.com

**MANIZANO MESA**  
 15000 E. McDowell Ave., Suite 100  
 Mesa, AZ 85206  
 Phone: 480-944-9800 Fax: 480-944-1495  
 Website: www.consergisplanning.com

**OBITO CORTEO ARCHITECTURE**  
 3000 BUCKINGHAM DR. #100  
 CHANDLER, AZ 85226  
 Phone: 480-944-9800 Fax: 480-944-1495  
 Website: www.obitocorreo.com

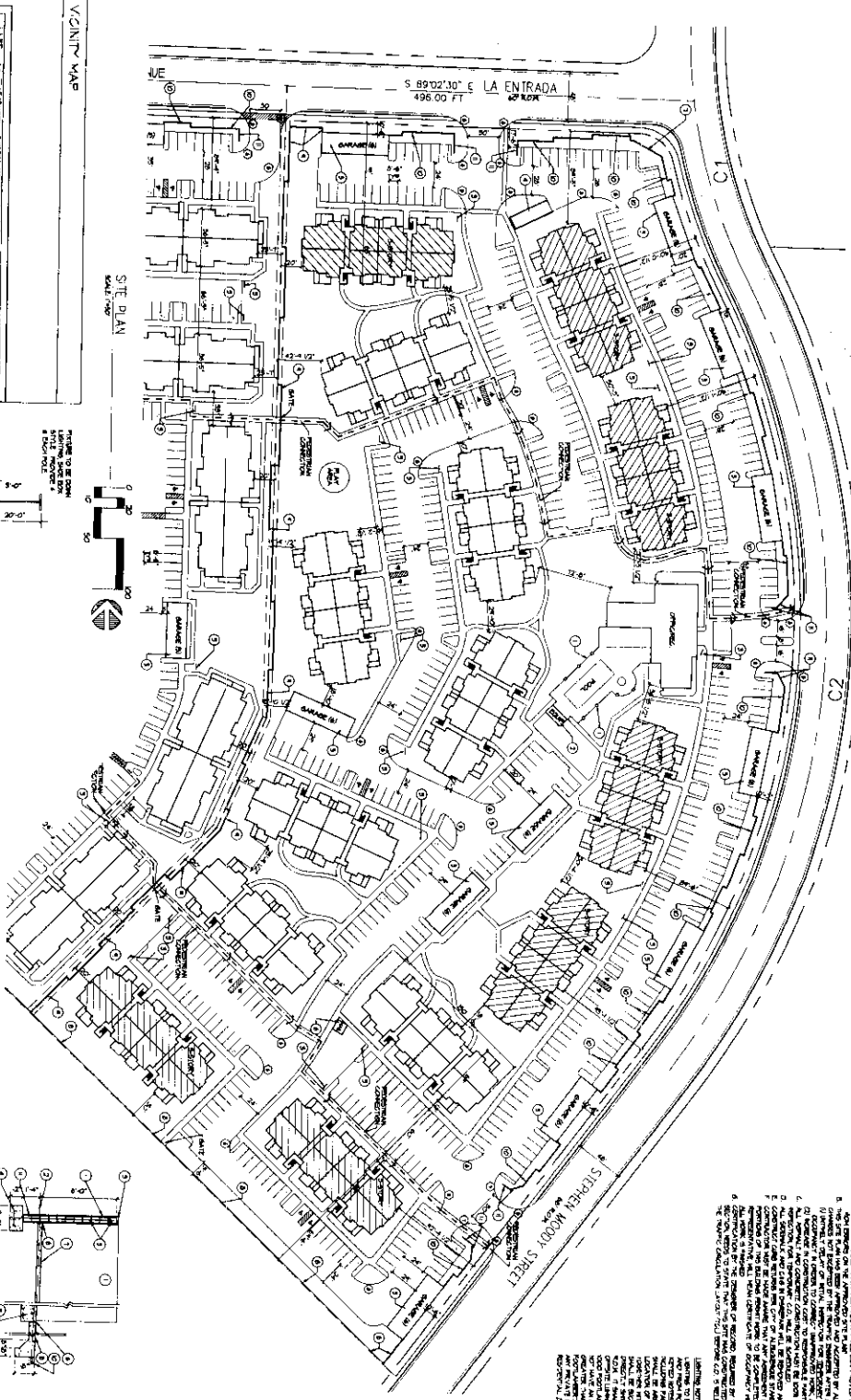


**GENERAL NOTES - CITY REQUIRED**

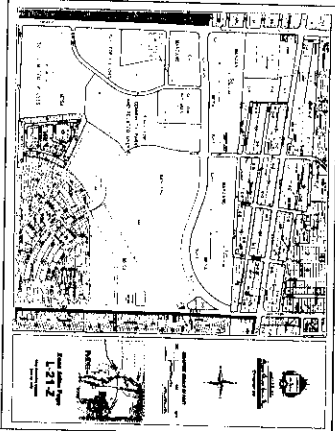
1. ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN ANTONIO.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO SPECIFICATIONS AND STANDARDS.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
6. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL CONSTRUCTION ACTIVITIES.
8. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND STRUCTURES.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO SPECIFICATIONS AND STANDARDS.

**PROJECT INFORMATION**

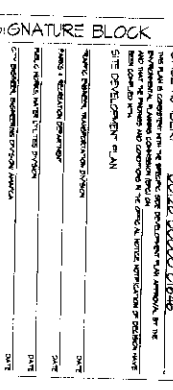
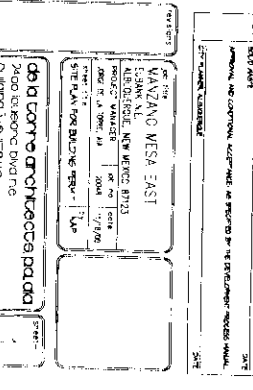
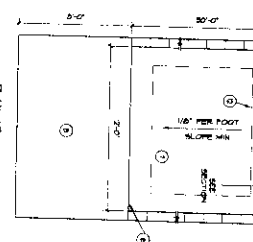
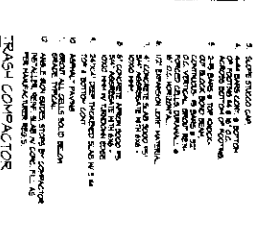
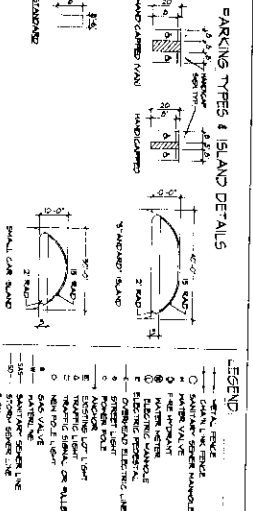
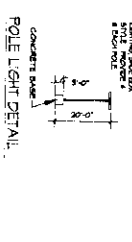
**MANZANO MESA WEST**  
 PROJECT INFORMATION  
 PROJECT NO. 2022-000002-01646  
 DATE: 07/19/2024  
 PROJECT LOCATION: 2000 LA ENTRADA ROAD, SAN ANTONIO, TX 78208  
 CLIENT: MANZANO MESA WEST  
 DESIGNER: [Firm Name]  
 PROJECT MANAGER: [Name]  
 PROJECT ENGINEER: [Name]



VACUITY MAP



SITE PLAN



**SIGNATURE BLOCK**

CASE NUMBER: 2022-000002-01646

PROJECT NAME: MANZANO MESA WEST

PROJECT LOCATION: 2000 LA ENTRADA ROAD, SAN ANTONIO, TX 78208

CLIENT: MANZANO MESA WEST

DESIGNER: [Firm Name]

PROJECT MANAGER: [Name]

PROJECT ENGINEER: [Name]

DATE: 07/19/2024

MANZANO MESA WEST  
 2000 LA ENTRADA ROAD  
 SAN ANTONIO, TX 78208











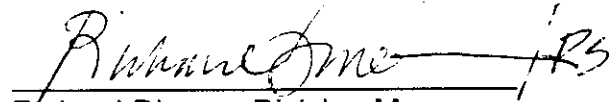
apartments. This SU-1 for R-2 zoning is already in existence.

The appellant further states that there are already too many vacant apartments less than one mile away from this proposal. The developer has an existing right to develop the property as allowed within the existing zoning. The developer believes this to be a viable area for apartments.

The appellant states that permitting this development to occur will result in the need for more from the Albuquerque Police Department due to drug and gang activity and more work for the Code Department due to poorly maintained rental property as well as other increased crime prevention services for the neighborhood. There is no evidence that the proposed apartments will cause an increase in crime, nor that the property will be poorly maintained.

The EPC found that the requests further the applicable goals and policies of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment. The Planning Department supports the Environmental Planning Commission and its zone map and site development plan actions.

APPROVED:

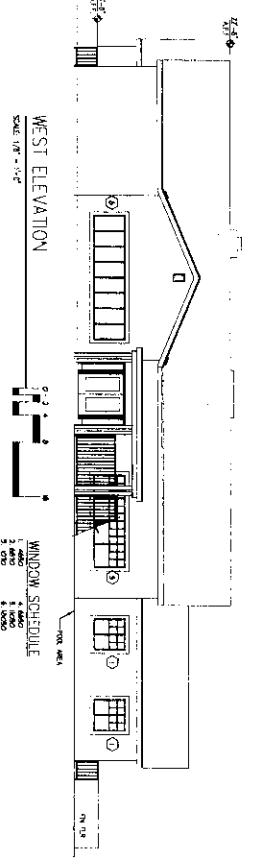
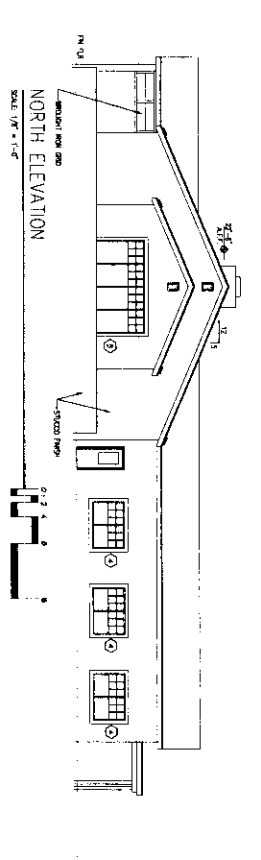
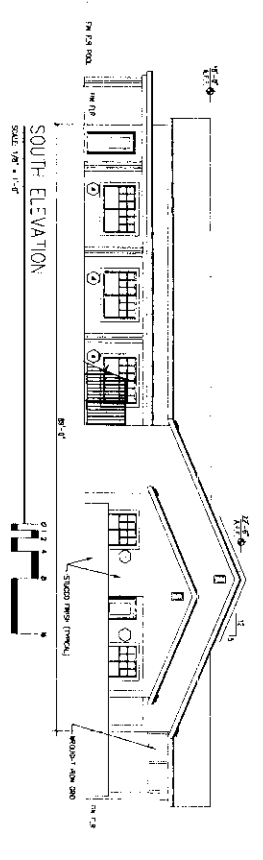
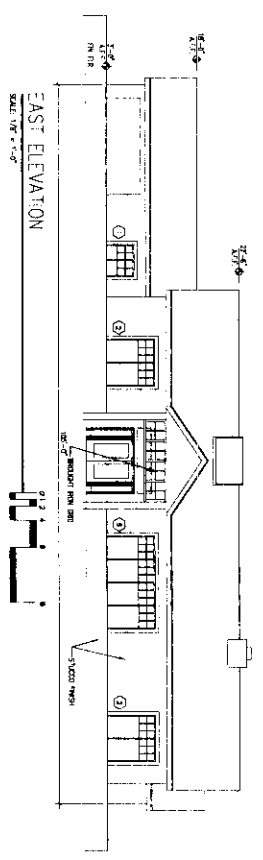
A handwritten signature in cursive script, appearing to read "Richard Dineen", with a horizontal line underneath it. To the right of the signature, the initials "RS" are written.

Richard Dineen, Division Manager  
Development Services Division  
Planning Department









OFFICE/REC. ELEVATIONS

WINDOW SCHEDULE

1	2	3	4	5	6	7	8	9	10
3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"
1	2	3	4	5	6	7	8	9	10

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. ALL UTILITIES SHALL BE PROTECTED AND DEEPLY REPAIRED OR REPLACED AS NECESSARY.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

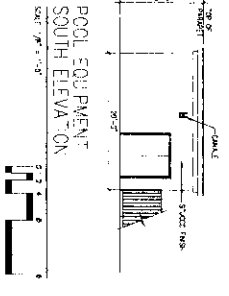
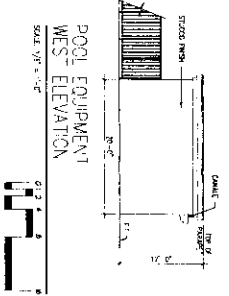
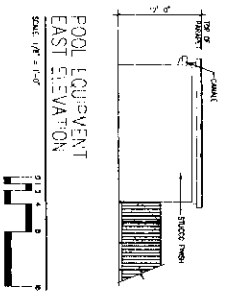
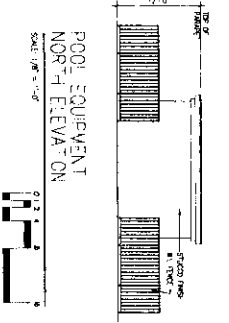
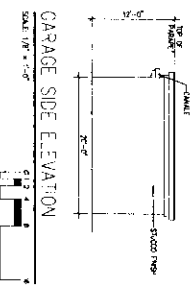
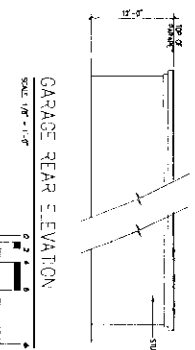
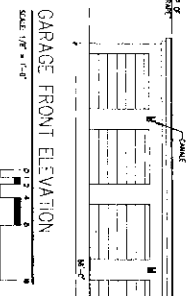
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

7. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.

8. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

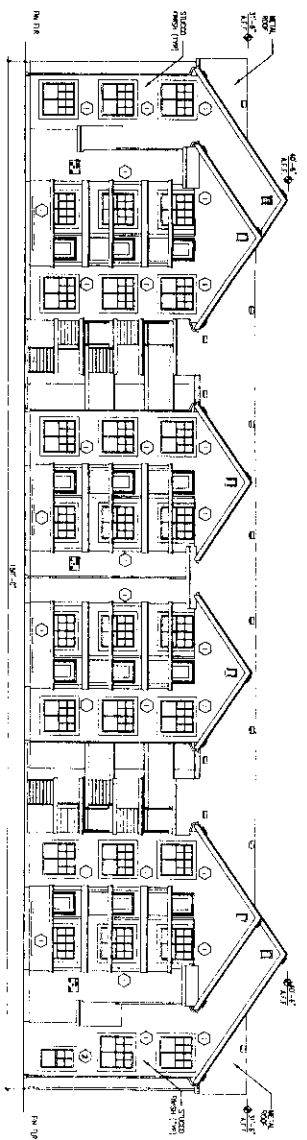
9. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

10. ALL UTILITIES SHALL BE PROTECTED AND DEEPLY REPAIRED OR REPLACED AS NECESSARY.

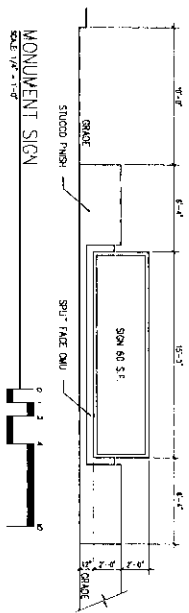


<p>FOR THE:</p> <p><b>VAZIANO WESA EAST</b></p> <p>1800 W. WASHINGTON AVENUE</p> <p>ARLINGTON, NEW JERSEY 07012</p> <p>PHONE: (201) 328-1111</p> <p>FAX: (201) 328-1112</p> <p>PROJECT NO. 100-1000</p> <p>DATE: 10/15/00</p>		<p>BY:</p> <p><b>DAVID CORIO ARCHITECTS P.A.</b></p> <p>2000 QUACKERBUSH ROAD</p> <p>ROSELAND, NEW JERSEY 07068</p> <p>PHONE: (201) 991-0000</p> <p>FAX: (201) 991-0001</p> <p>WWW.DCCORIO.COM</p>	
<p>PROJECT NO. 100-1000</p> <p>DATE: 10/15/00</p>		<p>SCALE: 1/8" = 1'-0"</p>	

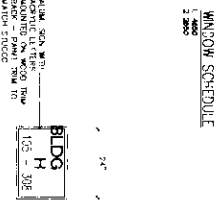




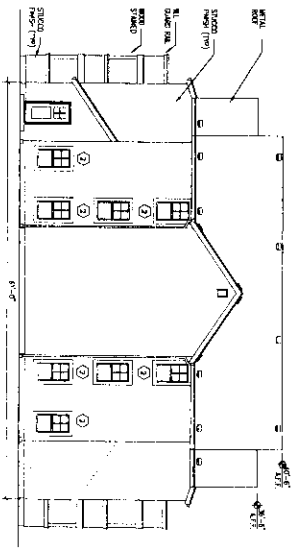
24-PLEX BUILDING - FRONT / REAR ELEVATION  
SCALE 1/8" = 1'-0"



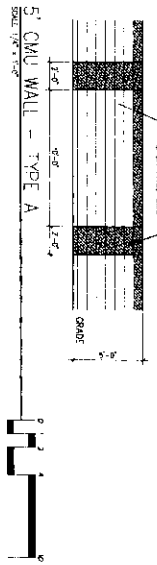
MONUMENT SIGN  
SCALE 1/8" = 1'-0"



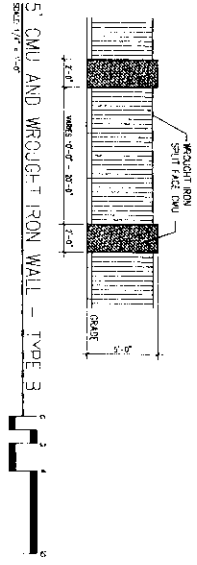
WINDOW SCHEDULE  
SCALE 1/8" = 1'-0"



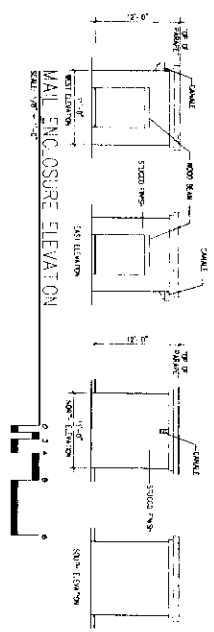
24-PLEX BUILDING - SIDE ELEVATION  
SCALE 1/8" = 1'-0"



ST. CMU WALL - TYPE A  
SCALE 1/8" = 1'-0"



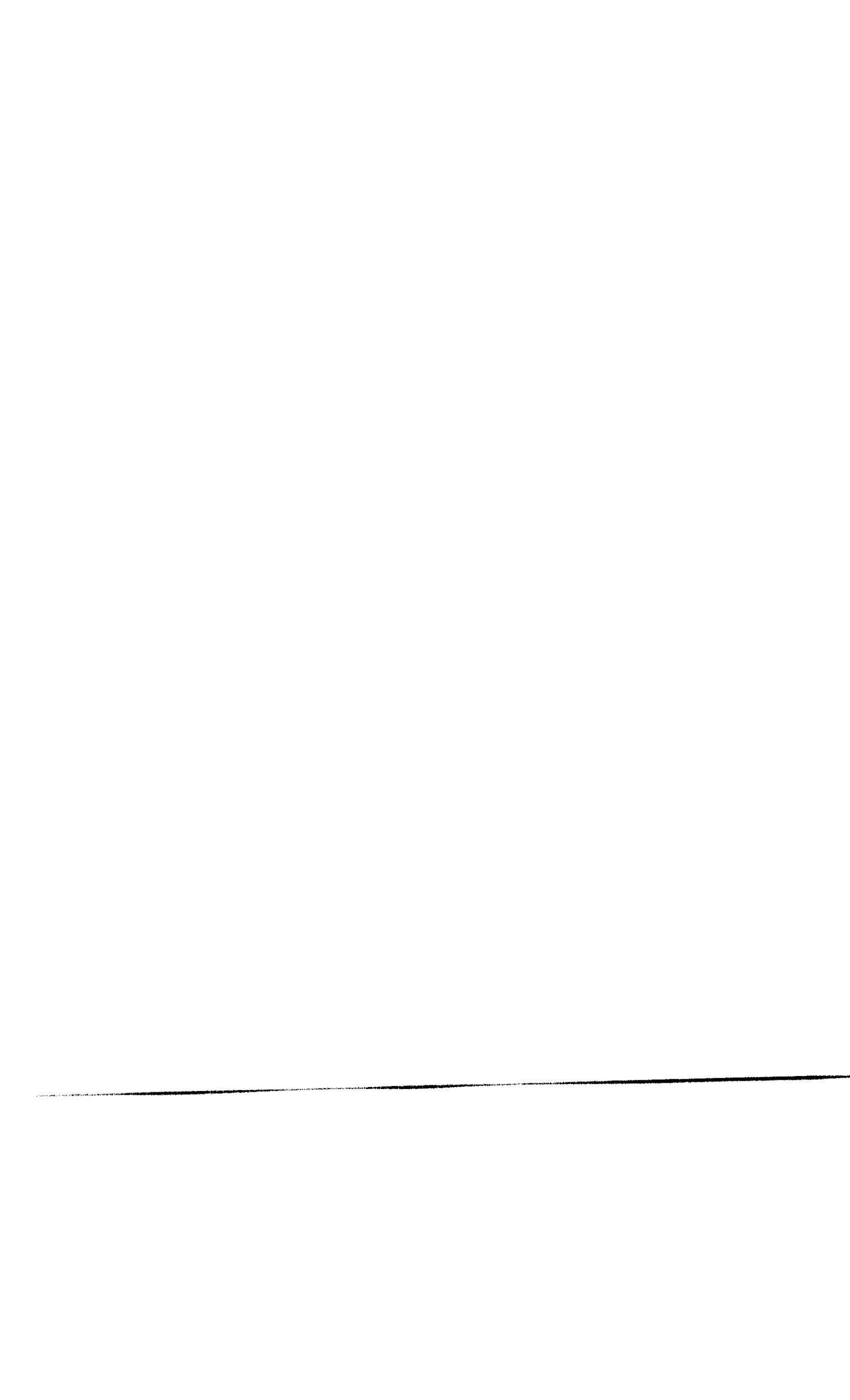
ST. CMU AND WROUGHT IRON WALL - TYPE B  
SCALE 1/8" = 1'-0"

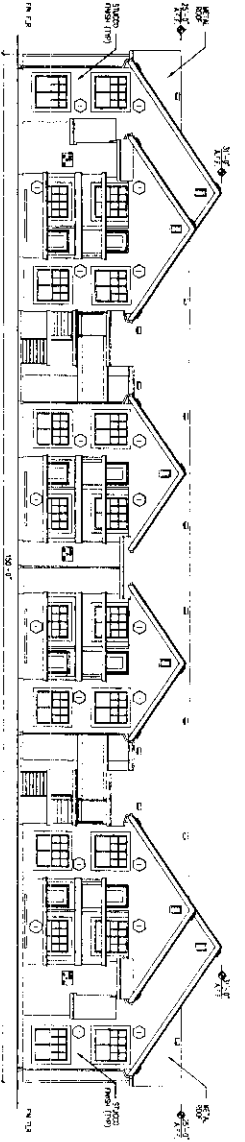


MALE ENCLOSURE ELEVATION  
SCALE 1/8" = 1'-0"

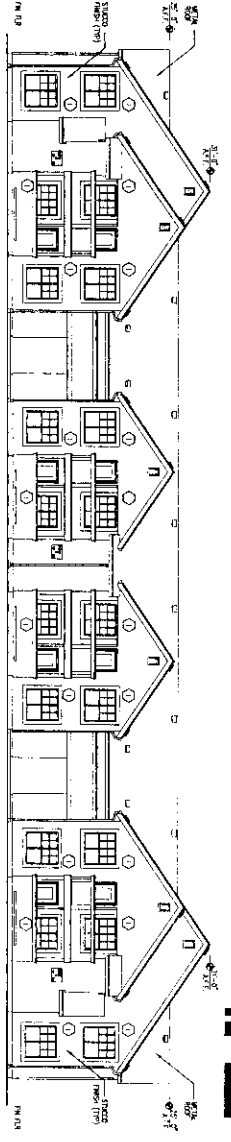
<p>NO. 1116</p> <p><b>VAZIANO WESA ASS.</b></p> <p>1000 W. 10TH ST. SUITE 100 DENVER, CO 80202</p> <p>PHONE: 303.733.1116 FAX: 303.733.1117</p>		<p>DATE: 11/1/00</p> <p>SCALE: 1/8" = 1'-0"</p> <p>PROJECT: VAZIANO</p> <p>OWNER: WESA ASS.</p> <p>DESIGNER: WESA ASS.</p> <p>CONTRACTOR: WESA ASS.</p>
<p>DATE: 11/1/00</p> <p>SCALE: 1/8" = 1'-0"</p> <p>PROJECT: VAZIANO</p> <p>OWNER: WESA ASS.</p> <p>DESIGNER: WESA ASS.</p> <p>CONTRACTOR: WESA ASS.</p>		
<p>DATE: 11/1/00</p> <p>SCALE: 1/8" = 1'-0"</p> <p>PROJECT: VAZIANO</p> <p>OWNER: WESA ASS.</p> <p>DESIGNER: WESA ASS.</p> <p>CONTRACTOR: WESA ASS.</p>		<p>DATE: 11/1/00</p> <p>SCALE: 1/8" = 1'-0"</p> <p>PROJECT: VAZIANO</p> <p>OWNER: WESA ASS.</p> <p>DESIGNER: WESA ASS.</p> <p>CONTRACTOR: WESA ASS.</p>







16-PLEX BUILDING -- FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



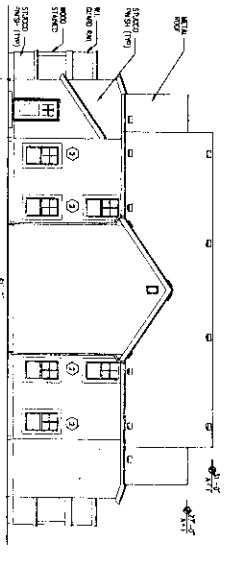
16-PLEX BUILDING -- REAR ELEVATION  
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE

BLDG	105 - H	308
------	---------	-----

ALL DIM. WITH  
UNLESS NOTED  
MEASURED TO  
FINISH SURF

BUILDING SIGNAGE  
SCALE: 1/2" = 1'-0"



16-PLEX BUILDING -- SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

<p>MANZANO VESPA EAST          11000 S. MANZANO AVENUE          ALBUQUERQUE, NEW MEXICO 87123          PROJECT MANAGER: [REDACTED]          DATE: 10/10/2008          AREA OF CONTRACT: 17,600          CONTRACT NO.: 105-308</p>	<p>DE DI CONNO ARCHITECTURA P.A. S.p.A.          24001 BARRONE DIVO 16          01105/013/0408110          CHIAVARI (LA SPEZIA) ITALIA - 5005 000 7000</p>
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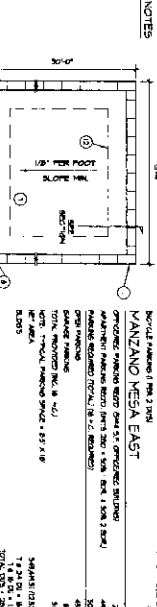
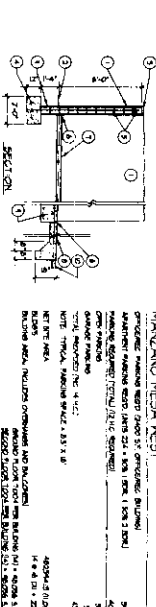
GENERAL NOTES - CITY REQUIREMENTS

CITY REQUIREMENTS

1. ALL NOTES SHALL BE READ AND UNDERSTOOD BY THE CONTRACTOR BEFORE COMMENCING WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
6. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND FLOOD CONTROL MEASURES.
7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE TRAFFIC CONTROL MEASURES.
8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES.
9. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDING AND DOCUMENTATION.
10. THE CONTRACTOR SHALL MAINTAIN ADEQUATE COMMUNICATIONS.

**PROJECT INFORMATION**

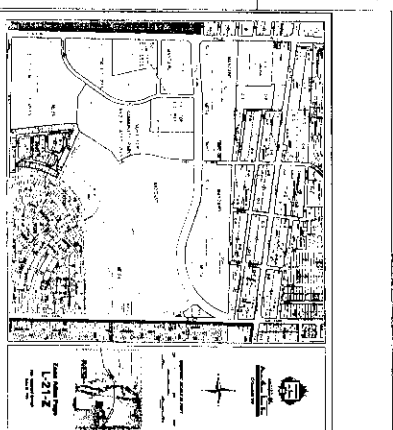
PROJECT NAME: MANZANO VESPA WEST  
 LOCATION: 1100 S. LA BREA AVE., LOS ANGELES, CA 90019  
 OWNER: MANZANO VESPA WEST  
 ARCHITECT: OBI CORNE ARCHITECTS  
 DATE: 01/10/2024



**TRASH COMPACTOR NOTES**

1. THE TRASH COMPACTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOS ANGELES REQUIREMENTS.
2. THE TRASH COMPACTOR SHALL BE MAINTAINED AT ALL TIMES.
3. THE TRASH COMPACTOR SHALL BE PROTECTED FROM VANDALISM AND THEFT.
4. THE TRASH COMPACTOR SHALL BE MAINTAINED AT ALL TIMES.
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8. THE TRASH COMPACTOR SHALL BE MAINTAINED AT ALL TIMES.
9. THE TRASH COMPACTOR SHALL BE PROTECTED FROM VANDALISM AND THEFT.
10. THE TRASH COMPACTOR SHALL BE MAINTAINED AT ALL TIMES.

VCINITY MAP



SIGNATURE BLOCK

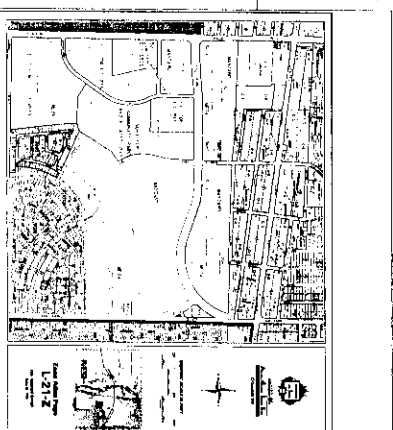
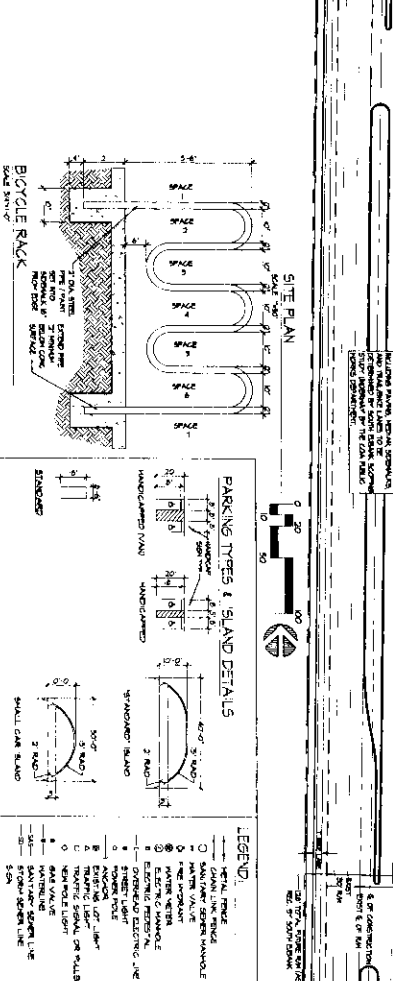
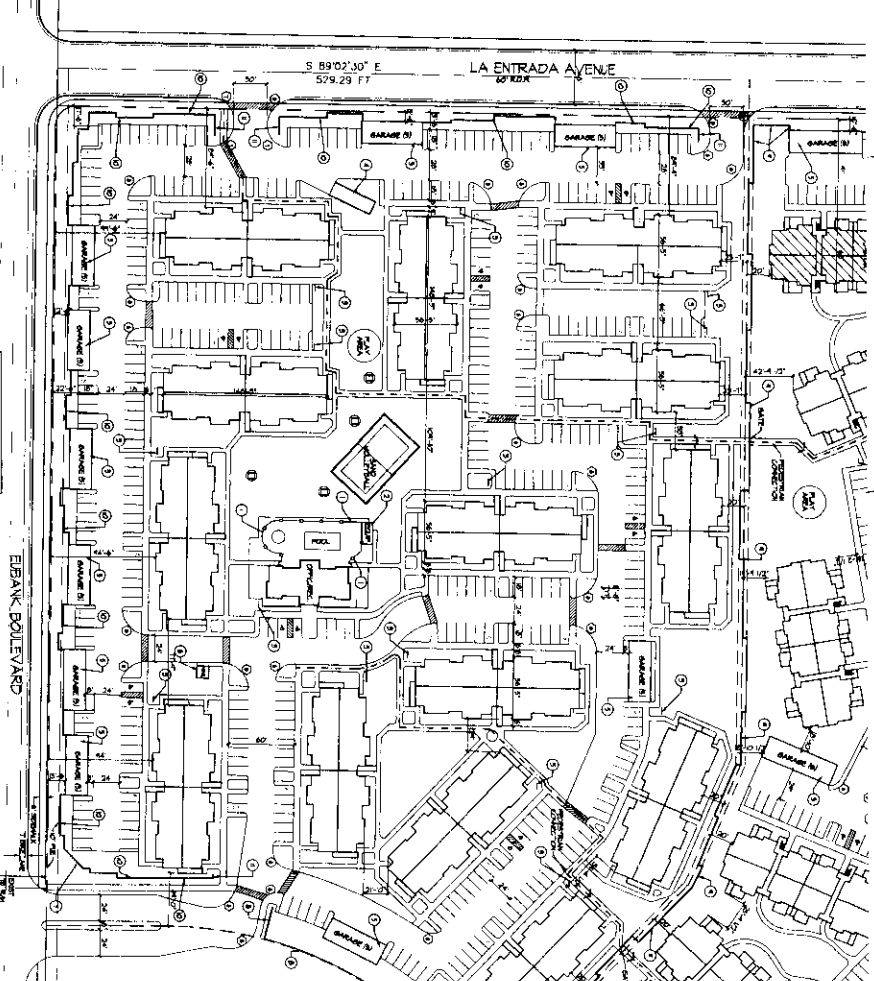
CASE NUMBER: 00128-020000-01646

DATE: 01/10/2024

PROJECT: MANZANO VESPA WEST

ARCHITECT: OBI CORNE ARCHITECTS

OWNER: MANZANO VESPA WEST



**LEGEND**

1. METAL FENCE  
 2. ASPHALT DRIVE  
 3. ASPHALT DRIVE  
 4. ASPHALT DRIVE  
 5. ASPHALT DRIVE  
 6. ASPHALT DRIVE  
 7. ASPHALT DRIVE  
 8. ASPHALT DRIVE  
 9. ASPHALT DRIVE  
 10. ASPHALT DRIVE

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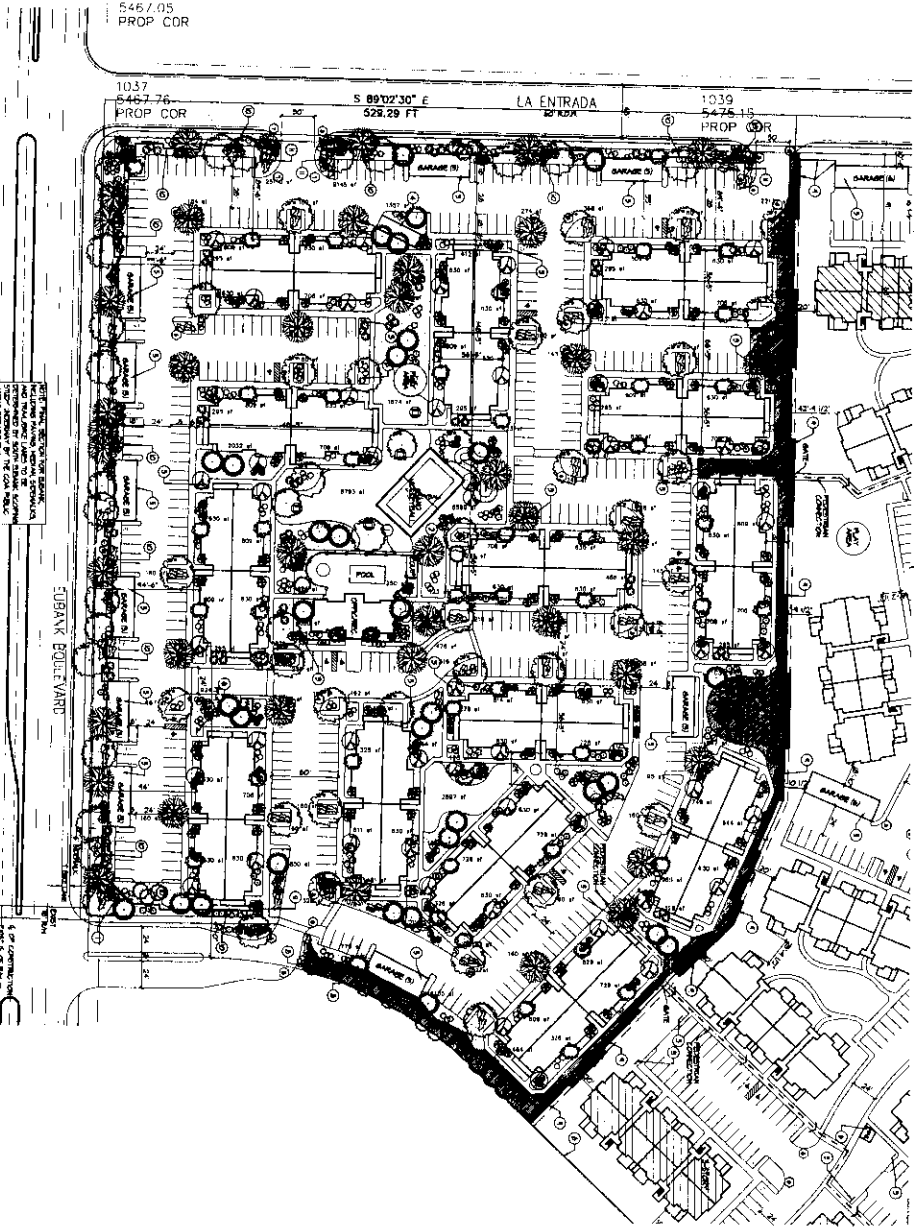
## AC-01-08

00110-00000-01644/00128-00000-01645/ 00128-00000-01646/  
00128-00000-01647/Project #1000938

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1036  
5467.05  
PROP COR



**LANDSCAPE NOTES**

1. The Owner of this plan to comply with the City of Albuquerque's Ordinance 12.10.01.01 regarding water conservation and water use efficiency. The Owner shall be responsible for the design and installation of the water conservation and water use efficiency measures. The Owner shall be responsible for the design and installation of the water conservation and water use efficiency measures. The Owner shall be responsible for the design and installation of the water conservation and water use efficiency measures.

**IRRIGATION NOTES**

Irrigation shall be a complete underground drip system with 1/2" (1/2") diameter drip lines spaced 12" (12") on center. The system shall be designed to provide 1.0 (1.0) inches of water per week. The system shall be designed to provide 1.0 (1.0) inches of water per week. The system shall be designed to provide 1.0 (1.0) inches of water per week.

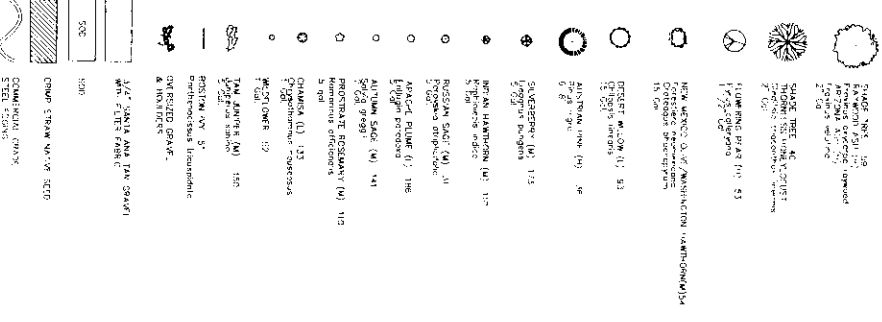
**LANDSCAPE CALCULATIONS**

NET LANDSCAPE AREA	4788.0	SQUARE FEET
TOTAL LOT AREA	5302.27	SQUARE FEET
TOTAL BUILDINGS AREA	0	SQUARE FEET
OFFSITE AREA	3789.3	SQUARE FEET
NET LOT AREA	5302.27	SQUARE FEET
TOTAL LANDSCAPE REQUIREMENT	5302.27	SQUARE FEET
TOTAL LANDSCAPE PROVIDED	5302.27	SQUARE FEET
TOTAL LANDSCAPE DEFICIT	0	SQUARE FEET

**The Hilltop**  
Landscape Architecture & Construction  
1111 11th Street, N.W.  
Albuquerque, NM 87104  
Tel: (505) 888-7121  
Fax: (505) 888-7122  
www.thehilltop.com

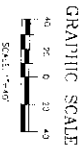
**STREET TREE REQUIREMENTS**  
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:  
Name of Street: Entrance  
Required # 25  
Provided # 23

**PLANT LEGEND**



**KAVANCO-MESA AP'S**  
1111 11th Street, N.W.  
Albuquerque, NM 87104  
Tel: (505) 888-7121  
Fax: (505) 888-7122  
www.thehilltop.com

**2000 QUINCY DRIVE**  
ALBUQUERQUE, NM 87106





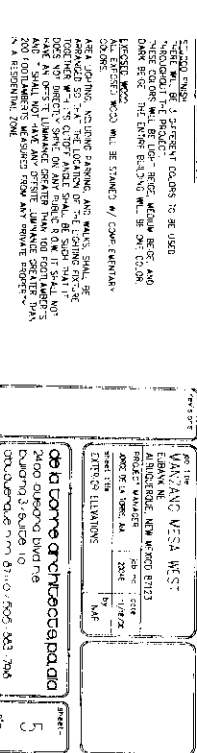
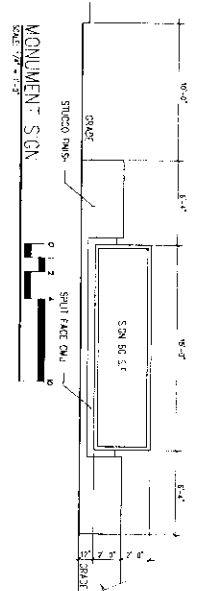
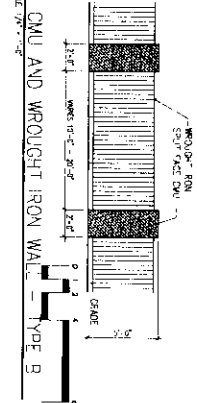
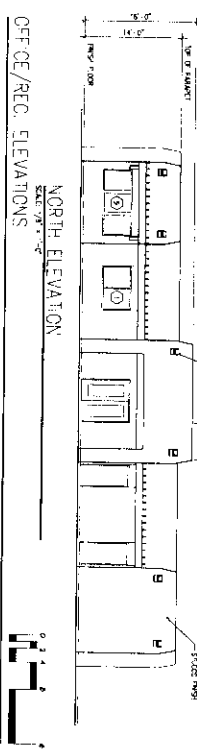
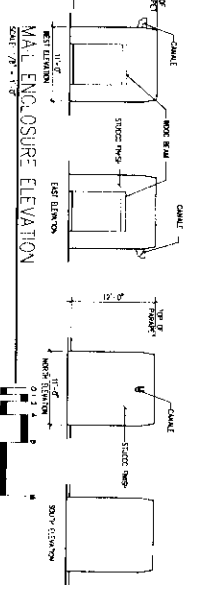
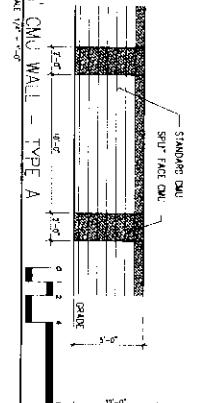
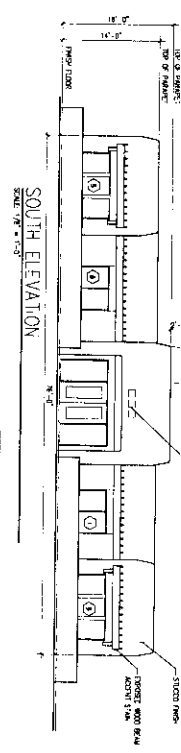
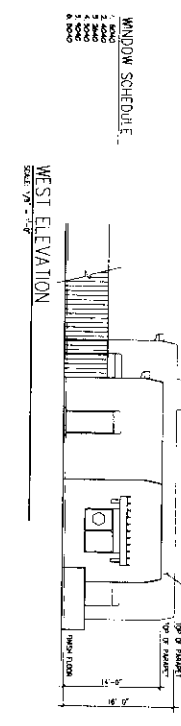
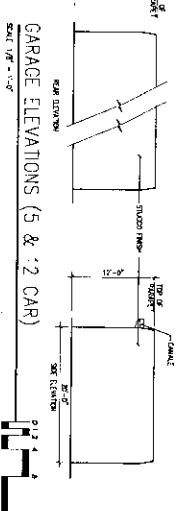
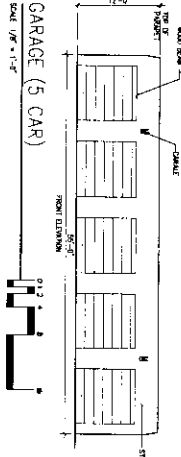
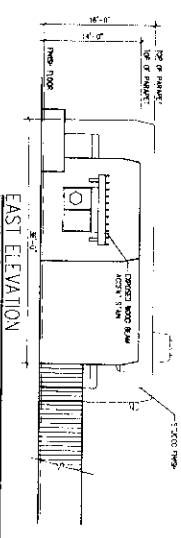
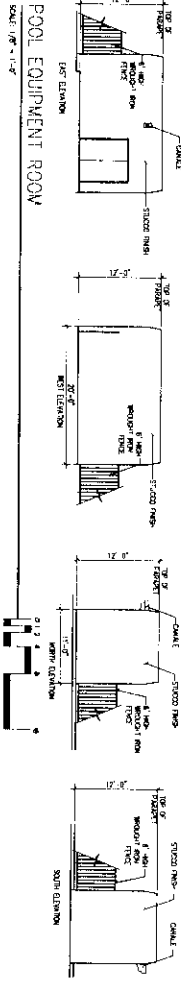
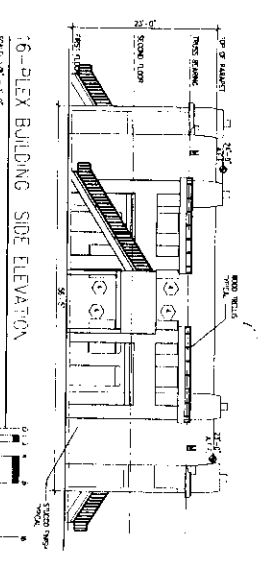
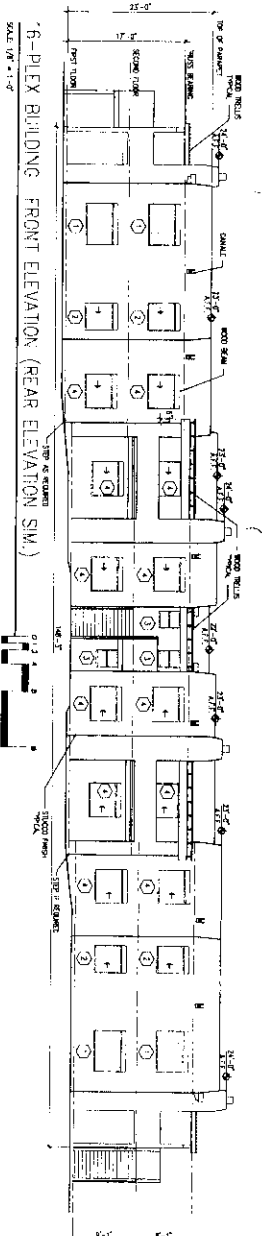












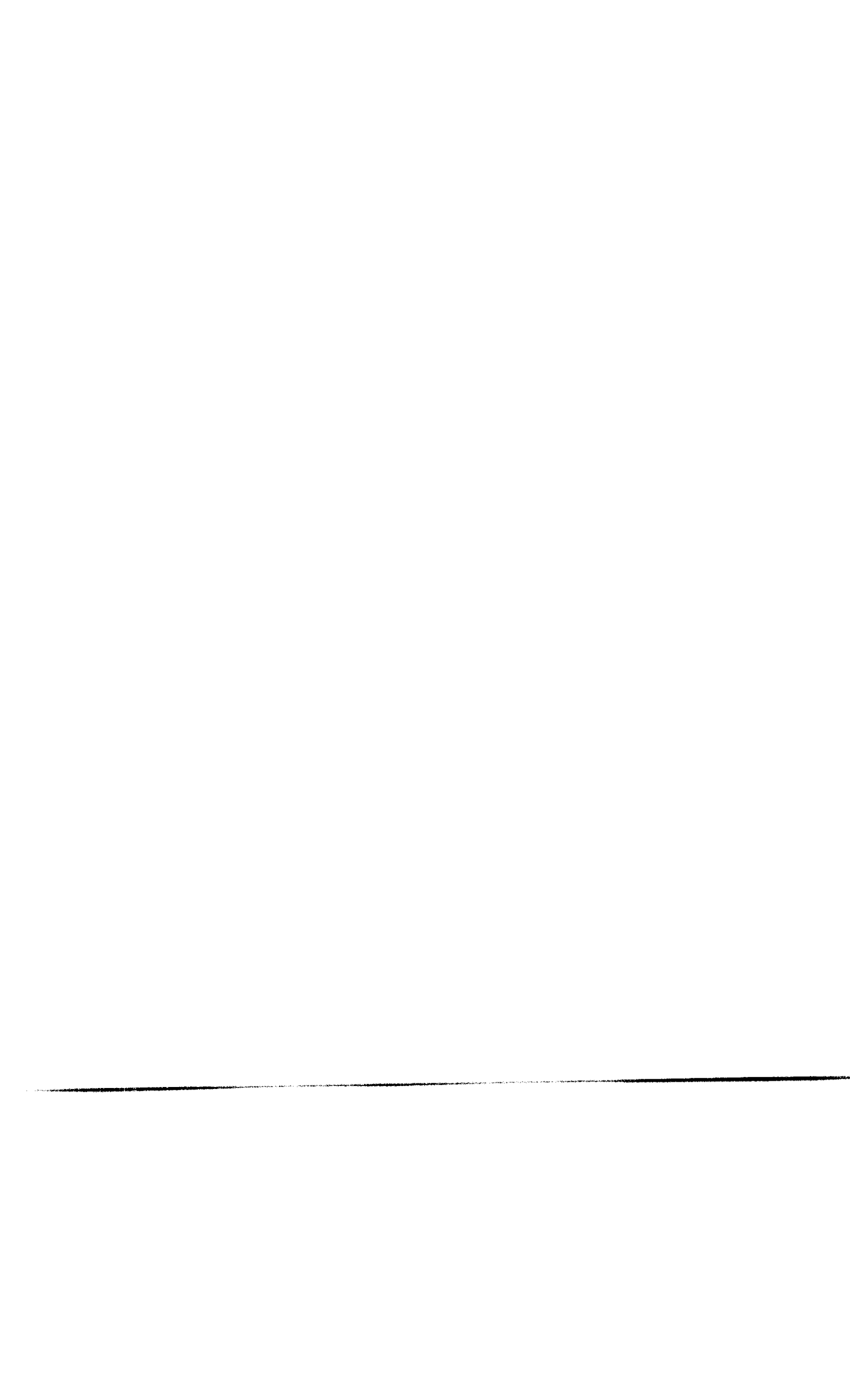
WINDOW SCHEDULE

1	2	3	4
2	2	2	2
2	2	2	2
2	2	2	2
2	2	2	2
2	2	2	2

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS. 2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE. 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS. 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS. 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS. 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS. 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS. 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS. 9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS. 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

VAN VANE WEST  
 PROJECT MANAGER  
 2400 OUBONG DRIVE  
 DUBLIN, CA 94568  
 916-481-1000 FAX 916-481-1001  
 5



Bill Fox - Albuquerque Office  
Phone: 505-872-4024  
Fax: 505-837-1061  
E-mail: bfox@hpapts.com

RECENT NEWS ARTICLE

Hendricks & Partners

sports business entertainment health clean/tech science dining opinion  
Printer Friendly Email | Other Stories by Diane Velasco

Thursday, December 21, 2000

## Labor Influx Is Filling Apartments

By Diane Velasco  
*Journal Staff Writer*

An influx of construction workers and a slowdown in building, coupled with stable rental rates, have helped Albuquerque's apartment occupancy rate climb to its highest level since 1995.

A report by the Apartment Association of New Mexico shows the average occupancy rate hit 93.9 percent by Sept. 30. The report was based on a survey of 25,645 of the 63,537 multi-family units in the city.

New units built during 2000 totaled 98, the fewest since 56 were built in 1992. The slowdown offsets the aggressive building of 6,238 units between 1994 and 1997, causing declining occupancy rates that hit bottom in March 1999 at 88.1 percent.

But the good times are in the eye of the beholder, said apartment expert Steve Monroe of CB Richard Ellis Inc. Some managers and owners are experiencing good times, while others are still struggling — depending on size, type and location of the properties.

"If they are managing properties that are suffering and they have to give away concessions, as far as they are concerned (the market) hasn't improved," he said.

Apartment developer and manager Tom Shannon of Renaissance Capital Group says he has put off developing any more Albuquerque projects. His company manages seven projects, with 700 units, in the metro area.

His group built a 100-unit tax credit apartment complex at 1200 Union Way NE at the Renaissance Center. He rents to people who earn at or less than 60 percent of the area's median income, which he says is \$49,000 for a family of four.

Received at the  
1 March 2001  
EPC Hearing

UC-01-08

# City of Albuquerque



## DEVELOPMENT REVIEW APPLICATION

<b>SUBDIVISION</b>	Supplemental form <b>S</b>	<b>ZONING</b>	Supplemental form <b>Z</b>
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation & Zone Establishment	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> Sector Plan	
<input type="checkbox"/> Vacation	<b>V</b>	<input type="checkbox"/> Zone Change	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Text Amendment	
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<input type="checkbox"/> Special Exception	<b>E</b>
<input type="checkbox"/> ...for Subdivision Purposes		<b>APPEAL / PROTEST of...</b>	<b>A</b>
<input type="checkbox"/> ...for Building Permit		<input checked="" type="checkbox"/> Decision by: DRB, EPC,	
<input type="checkbox"/> IP Master Development Plan		LUCC, Planning Director or Staff,	
<input type="checkbox"/> Cert. of Appropriateness (LUCC) L		ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: SINGING ARROW N.A. PHONE: 299-8611  
 ADDRESS: 12614 SINGING ARROW SE FAX: \_\_\_\_\_  
 CITY: ALB STATE NM ZIP 87123 E-MAIL: \_\_\_\_\_

Proprietary interest in site:  
 AGENT (if any): PHILIP YORIK PHONE: 241-7721  
 ADDRESS: 12705 ELYSE PL SE FAX: 241-0516  
 CITY: ALB STATE NM ZIP 87123 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: APPEAL OF EPC TO CITY COUNCIL

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. G-3 & H-1 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. MANZANO MESA  
 Current Zoning: SU-1, LMTD 01 & SU-1 for R-2 Proposed zoning: SU-1, SITE PLAN FOR SUBDIVISION  
 Zone Atlas page(s): L-21 No. of existing lots: 2 No. of proposed lots: ?  
 Total area of site (acres): 36.3 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO  
 UPC No. 102105603321730314 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: ON EUBANK BETWEEN CENTRAL &  
 Between: \_\_\_\_\_ and SANIA LABS

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): Project #  
1000938 FILE 00110 00000 01644 / 00128 00000 01645 / 00128 00000

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE Philip Yorik DATE 3/16/01  
(Print) PHILIP YORIK Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised December 2000

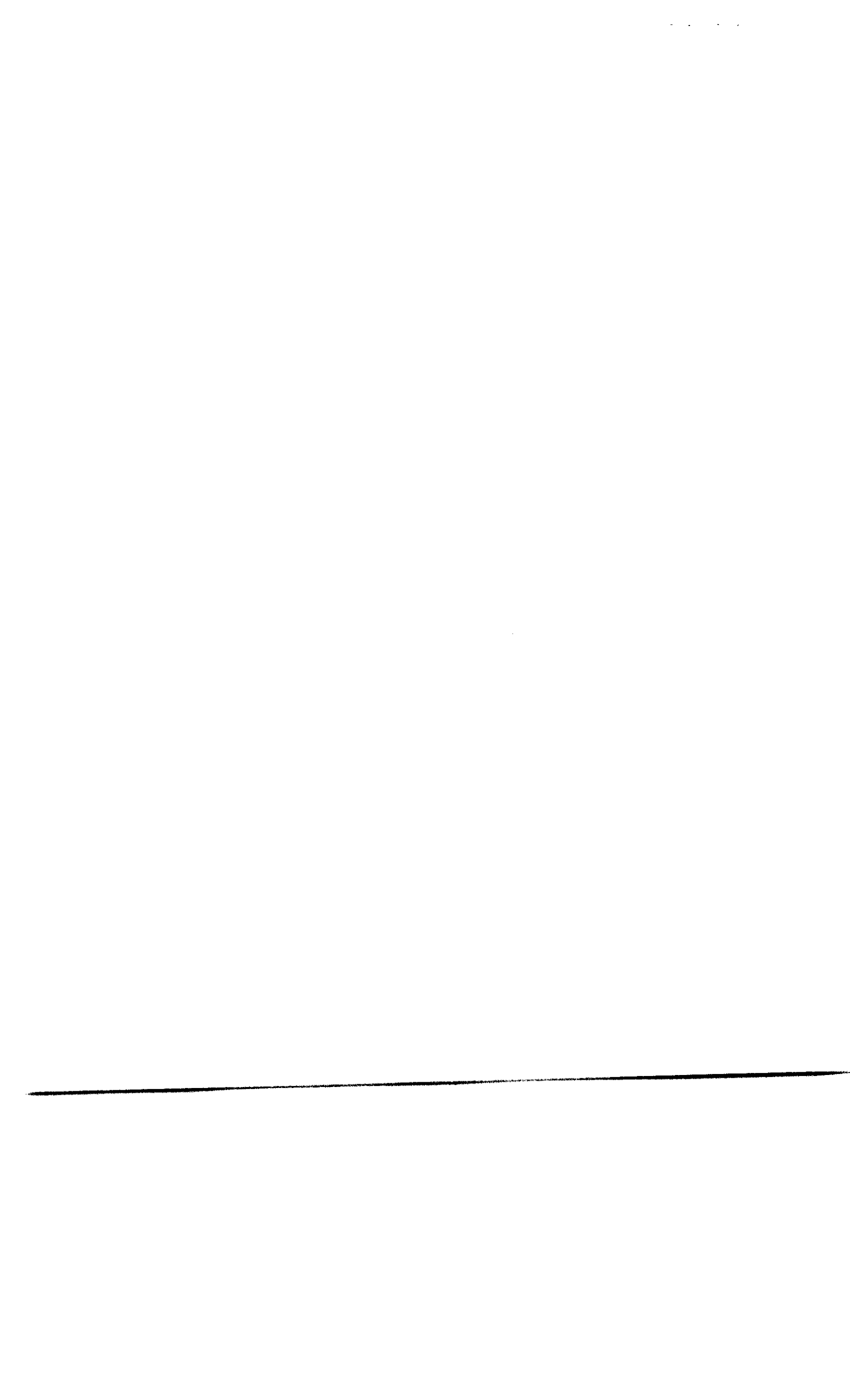
<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>01219 - 00000 - 00356</u>	<u>AP-EPC</u>	<u>A</u>	<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. density bonus	Hearing date _____	_____	_____	<u>\$ 50.00</u>
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	_____

Philip Yorik 3/16/01  
Planner signature / date

Project # 1000938

-/-





RECENT NEWS ARTICLE

## Hendricks & Partners

Bill Fox -- Albuquerque Office

Phone: 505-872-4024

Fax: 505-837-1061

E-mail: bfox@hpapts.com

The group ditched plans to build a 154-unit phase 2 of the project when the first phase took 12 weeks to lease, the longest of any tax credit project Shannen had built.

Shannen says he is facing dropping occupancy and has trouble collecting rent from tenants. The Renaissance property was 100 percent leased but dropped to 80 percent this summer. His subsidized rents, usually 20 to 25 percent lower than market rates, were on par with Albuquerque's market rates.

"It's a very bad market," he said. "There are more apartments than people."

He blames several factors: declining population base, weak job market and demographics.

"We don't have the 20-something single, high-income demographic in Albuquerque," Shannen said. "We have a family community, generally. People in that demographic want to have their own home."

The combination of factors makes it difficult to attract investors to tax credit properties, he said.

CB Richard Ellis does not count tax credit properties when it surveys the market, Monroe said.

"Those properties are not doing as well as everyone had thought because we had too many of them built," he said. "They are cannibalizing each other."

Also, the new subsidized rentals, with their amenities and low rents, have hurt older properties leasing for similar amounts, Monroe said.

Both Shannen and Monroe say apartments have had to compete with affordable housing, especially on the West Side, although the apartment market was helped by higher mortgage rates.

Joe Romero with First Commercial Real Estate Services thinks the market is softer than the 93.8 percent reported because owners are still offering concessions. One month's free rent a year equals 4.6 percent added to the vacancy factor, he said. But he sees improvement.

"We are out of the swamps," he said.

The market has been helped by the 2,000 workers who descended on the city for the Big I construction project and other developments going on since the summer.

"It was very grim until June or July. Then things started changing," Romero said.

Although the apartment market is generally believed to run in a seven-year cycle, with the last hot one being in 1993, Romero said it doesn't make sense to build now because rents per square foot don't justify building. He estimates rents to be 65 cents per square foot, lower than the 73 cents reported by the apartment association.

Stephen English with the apartment association admits there's been no growth in rents for three or four years while operating costs have increased.

"We will see rents continue to stay reasonably stable over the next year," he said.

But as overall occupancy tightens, increases in rents will most likely follow, he said.

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---

WE'RE A SMALL APARTMENT OWNER, HAVING JUST 72 UNITS. WE'RE LOCATED IN THE AREA OF THIS PROPOSED PROJECT, THE FAR SOUTHEAST. TODAY, THIS AREA HAS SOME OF THE LOWEST OCCUPANCY AND CHEAPEST RENTS IN THE CITY.

THIS PROPOSAL WOULD PUT HUNDREDS MORE TAXPAYER-SUBSIDIZED UNITS IN A NEIGHBORHOOD WHERE APARTMENT OCCUPANCY IS AS LOW AS 75% NOW.

THE APARTMENT ASSOCIATION DATA WHICH SAYS VACANCY IS LESS THAN 8 PERCENT IS WAY OFF. IT COMES FROM A DATA BASE MADE UP ONLY OF THE 25 PERCENT LARGEST, NEWEST AND/OR MOST SUCCESSFUL PROJECTS.

BUT 54% OF THE APARTMENTS IN ALBUQUERQUE ARE OWNED BY INDIVIDUALS AND SMALL BUSINESSES THAT HAVE 19 UNITS OR LESS. THEY ARE VIRTUALLY LEFT OUT OF THE DATA. THEY ARE MOSTLY OLDER, CHEAPER AND MORE VACANT.

JUST PICK UP THE PAPER ON SUNDAY AND LOOK AT COLUMN AFTER COLUMN OF APARTMENT ADS OFFERING FREE RENT, FREE THIS, FREE THAT. THAT TELLS YOU LOUD AND CLEAR THIS APARTMENT MARKET IS FAR FROM HEALTHY.

BUT WE ARE NOT THE ONLY ONES WHO PAY WHEN GOVERNMENT POLICIES UNWISELY ALLOW TOO MANY TAXPAYER SUBSIDIZED UNITS.

OUR PROPERTY VALUES ARE BASED ON OUR INCOME. WHEN THE CITY CAUSES THAT INCOME TO FALL BY FLOODING THE AREA WITH TAX-SUBSIDIZED COMPETITION, WE GO TO THE ASSESSOR AND GET OUR ASSESSMENTS REDUCED.

LAST YEAR, WE GOT OUR ASSESSMENT ON ONE PROPERTY CUT BY 40%. OUR OTHER PROPERTY NEXT DOOR WAS CUT 50% JUST BEFORE WE ACQUIRED IT.

THE ONLY WAY PROPERTY VALUES AND TAX REVENUES CAN GO UP INSTEAD OF DOWN IS IF THE MARKET IS ALLOWED TO TIGHTEN TO THE POINT WHERE WE CAN RENT MORE OF OUR



APARTMENTS AND BEGIN TO RECOVER THE HUGE COST INCREASES OF THE LAST FOUR YEARS.

IF YOU APPROVE THIS PROJECT AND THEREBY TRIPLE THE TAX PAYER SUBSIDIZED COMPETITION IN OUR AREA, THAT'S JUST NOT GOING TO HAPPEN!

TODAY, THERE ARE FOUR BUILDINGS IN OUR IMMEDIATE AREA IN FORECLOSURE. THEIR OWNERS JUST COULDN'T SURVIVE THIS MARKET ANY LONGER. THIS PROJECT WILL CREATE MORE FORECLOSURES AND MORE BOARDED UP BUILDINGS!

HERE'S WHAT A WELL-KNOWN EXPERT IN THE LOCAL APARTMENT MARKET SAID JUST LAST DECEMBER ABOUT TAX-SUBSIDY PROJECTS IN ALBUQUERQUE:

"THOSE PROPERTIES ARE NOT DOING AS WELL AS EVERYONE HAD THOUGHT BECAUSE WE HAD TOO MANY OF THEM BUILT. THEY ARE CANNIBALIZING EACH OTHER. HE WENT ON TO SAY THE NEW SUBSIDIZED RENTALS, WITH THEIR AMENITIES AND LOW RENTS, HAVE HURT OLDER PROPERTIES LEASING FOR SIMILAR AMOUNTS."

LET ME REPEAT THAT LAST PART—NEW SUBSIDIZED RENTALS WITH THEIR AMENITIES AND LOW RENTS HAVE HURT OLDER PROPERTIES. THAT IS EXACTLY WHAT HAS HAPPENED AROUND TOWN AND WILL HAPPEN AGAIN HERE.

IF YOU APPROVE THIS PROJECT YOU WILL SET IN MOTION A MIGRATION OF TENANTS FROM OLDER PROPERTIES TO THIS ONE. YOU WON'T BE CREATING MORE AFFORDABLE APARTMENTS, YOU'LL JUST BE REPLACING EXISTING UNITS AND DRIVING THE OLDER PROPERTIES TO ABANDONMENT.

TODAY, WE RENT NICELY RENOVATED 800 SQUARE FOOT 2 BEDROOM APARTMENTS COMPLETE WITH DISHWASHERS AND FROST FREE REFRIGERATORS FOR LESS THAN \$500 PER MONTH. AND WE HAVE VACANCIES.

---

WE RENT SIMILARLY EQUIPPED ONE BEDROOM APARTMENTS  
FOR 375 PER MONTH. AND WE HAVE VACANCIES.

ALL THE PROPERTIES AROUND US THAT RENT FOR SIMILAR OR  
EVEN LOWER PRICES HAVE VACANCIES. THESE RENTS ARE  
LOWER THAN THIS PROJECT WILL RENT FOR. BUT WE CAN'T  
SUPPLY ALL THE LUXURIES AND AMENITIES A TAXPAYER  
SUBSIDIZED PROJECT CAN. SO OUR TENANTS WILL MOVE.

RESPECTFULLY, THIS IS SIMPLY THE WRONG PROJECT IN THE  
WRONG PLACE AT THE WRONG TIME. IT CAN NOT BE  
ABSORBED BY THE APARTMENT MARKET NOW OR FOR YEARS  
TO COME. INSTEAD, IT WILL DISPLACE AND DEGRADE THE  
SOUTHEAST COMMUNITY. PLEASE TURN IT DOWN.

THANK YOU.



---

## CONTACT INFORMATION FOR CONCERNED CITIZENS/RE: 00114 00000 01763

00110 00000 01764  
01110 00000 00007

Ando, Joe	13200 Mountain Shadows Rd NE 87111-5530	292-1858	
Baron, Ray	H.C. 75 Box 122 Chama, NM 87520	459-5288	
Burton, Mark	12500 Charla Ct. SE 87123	294-7609	846-0344
Candelaria, ED	1053 Coit Ln. SE 87123	293-6810	
Crockett, Henry	404 Rainbow Ct. SE Apt. D	323-1824	256-1531
Davidson, Diane	12800 Piru SE 87123	298-3039	877-5188
Floro, Marilyn	528 Eugene Ct. SE 87123	275-5469	
Francis, Ruth	217 Hanosh Ct. SE #D 87123	299-2483	
Gallaspy, Frank G.	1308 Kentucky SE 87108		
Gladin de la Fuente, Joanne	Box 10 A Taos Hwy. 68, Embudo, NM 87531	505-579-4466	
Henderson, Susan	1031 Los Padres SE 87123	332-9561	
Inwin, Calvin	10819 Wolfcreek Rd. SE 87123	332-3516	845-5283
Keane, Dolores	828 Trading Post Trail SE 87123	293-7884	
Kendall, Karen	12924 Piru SE 87123	275-1005	
Orwat, Dave	4600 Homestead Tr. NW		
Saxon, Dave	10836 Wasatch Rd. SE 87123	271-1738	855-5140
Sena, Rose & John	7820 Zuni SE 87123	266-1033	
Smith, Dave	12536 Elyse Pl. SE 87123	292-6684	845-7141
Smokov, John	608 Parkside Pl. SE 87123	296-6409	
Vandekamp, Janette	300 Dorado Pl. SE, Office 87123	298-5486	332-3029
York, Phil	12705 Elyse Pl. SE 87123	299-8611	241-7721

FORM A: APPEAL

Appeal to the Zoning Board of Appeals regarding:

DECISION OF THE ZONING HEARING EXAMINER

Appeal to the Landmarks and Urban Conservation Commission regarding:

CERTIFICATE OF APPROPRIATENESS DECISION OF THE PLANNING DIRECTOR OR STAFF

Appeal to the Environmental Planning Commission regarding:

ADMINISTRATIVE AMENDMENT OR DECISION OF THE PLANNING DIRECTOR OR STAFF

DECLARATORY RULING OF THE ZONING ENFORCEMENT OFFICER

DETERMINATION OR ACTION OF THE DEVELOPMENT REVIEW BOARD

Appeal to the City Council regarding:

DETERMINATION OR ACTION OF THE ENVIRONMENTAL PLANNING COMMISSION

ACTION OF THE ZONING BOARD OF APPEALS REGARDING AN APPEAL

DECISION OF THE LANDMARKS AND URBAN CONSERVATION COMMISSION

Project number of case being appealed; 1000938

Application number of case being appealed; 00110 00000 01644 / 00128 00000

Reason for the appeal \* 01645 / 00128 00000 01646 / 00128 00000

Appellant's basis of standing as an appellant \* 01647

Letter of authorization from the appellant if this application for appeal is submitted by an agent

Copy of the Official Notification of Decision regarding the matter being appealed

Fee (see schedule)

\* Criteria for reasonable appeals and criteria for standing as an appellant are given in Zoning Code §14-16-4-4. Any appeal must meet these criteria to be heard. The applicant should review these and other relevant documents carefully before preparing an application for appeal.

SEE ATTACHMENT

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

PHILIP YORIK  
Philip York Applicant name (print)  
3/16/01  
Applicant signature / date

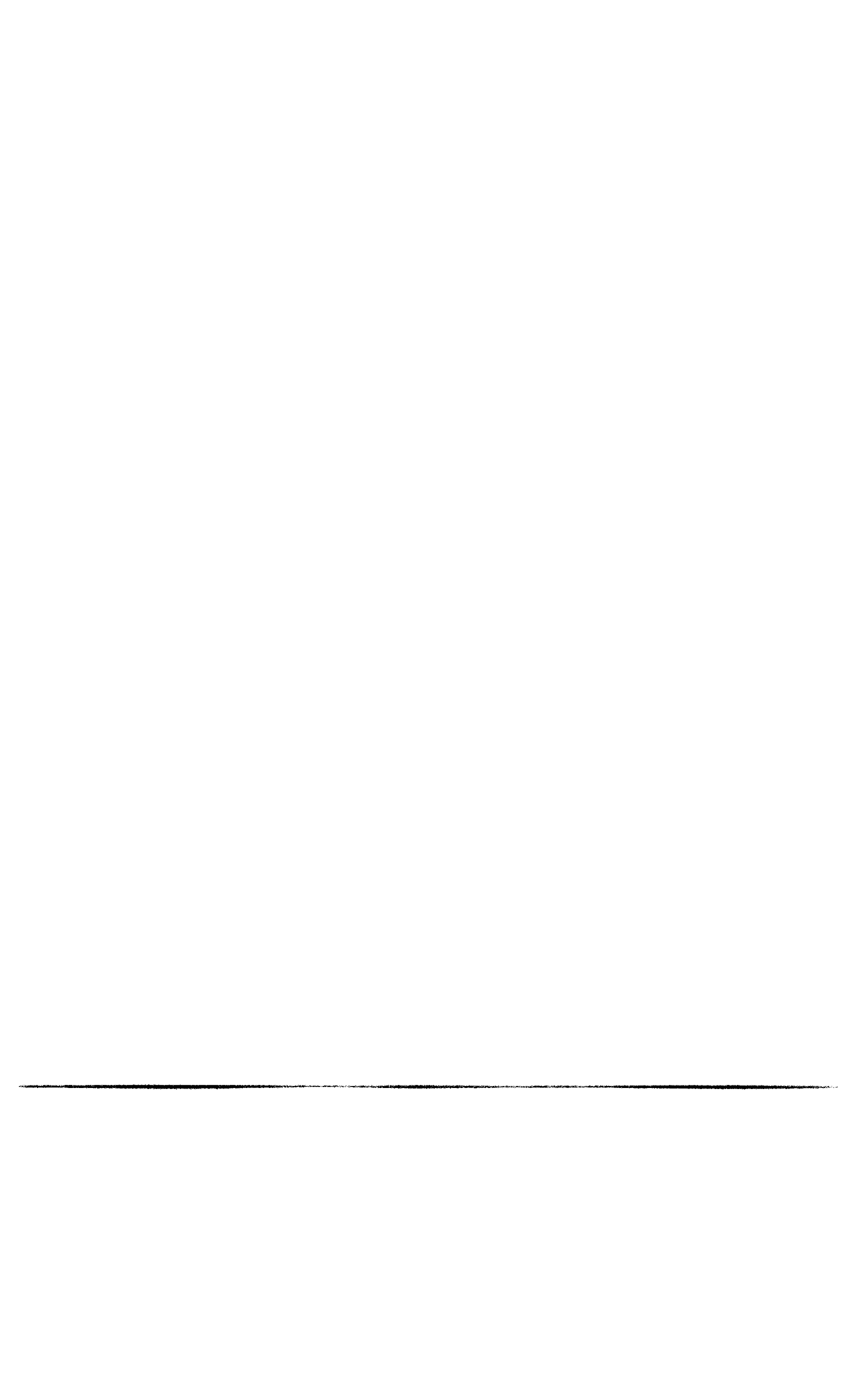


Form revised December, 2000

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
01218 - 00000 - 00356  
\_\_\_\_\_  
\_\_\_\_\_

Robert 3/16/01  
Planner signature / date  
Project # 1000938





Rayanna Anaya

02/14/2001 11:44 AM

To: Deborah L. Stover/PLN/CABQ@COA

cc:

Subject:

From David Suffling:

RE: 00110 00000 01644  
00128 00000 01645  
00128 00000 01646  
00128 00000 01647  
Project# 1000938

This case needs to be deferred for 30 days and readvertised because of notice problems.

---

Wednesday, February 14, 2001 11:57 AM

Paul Splett (505) 332-1453

Tel: (505) 298-3544  
Fax (505) 332-1453

10412 Bellamah Ave. NE  
Albuquerque, NM. 87112

# Mediation Works, Inc.

Project # 1000938

dated: 02/01/2001

Facilitator's Report

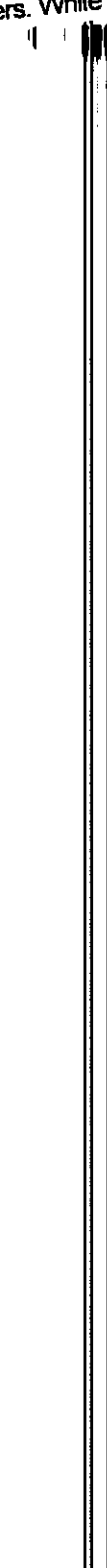
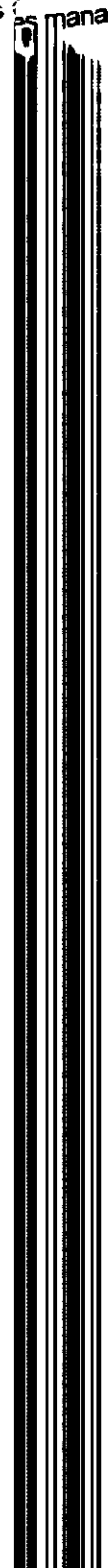
Facilitated Meeting Held

February 1, 2001

5:30 p.m.

Between  
Applicant/Agent: GSL Properties, Inc./Consensus Planning, Inc.  
and  
Neighborhood Association(s): Willow Wood & Singing Arrow Neighborh Associations

RE: Project #1000 which requests zone map amendment to reconfigure properties so that the 11.3 acres of SU-1 for Office is located to southern portion of the site, while 25 acres of SU-1 for R-2 is located to the north, concurrent site plan for subdivision, and two separate site plan for building permits in approximately 36.3 acres in southeast Albuquerque



parties was attended by several more  
as managers. While the parties  
partying

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10412 Bellamah Ave. NE  
Albuquerque, NM. 87112

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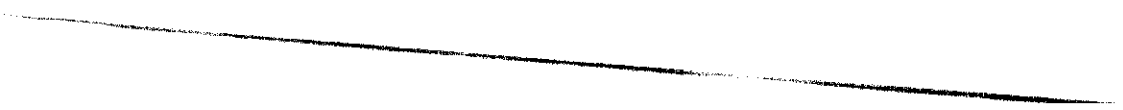
Facilitator: Paul Splett

**Summary:** This was the second meeting between these parties and was attended by several more people including the developer, David Bantz, and GSL area and properties managers. While the parties were able to discuss, in considerably more detail, the issues raised at the first meeting, the overlying tone of this meeting was set by the neighborhood associations' concern with the timing and subsequent effects building these apartments would have on the surrounding neighborhoods. The primary concern was whether adequate research had been performed to accurately predict such outcomes. Referring to a number of apartment projects in the area that had presented similar projections, the neighborhood associations expressed the concern that, like those before them, the GSL project might ultimately fail to satisfy its expectations and, thus, be forced to rely solely on low-income rentals to survive, subsequently attracting more crime in an area already short on adequate law enforcement. These concerns persisted despite GSL's presentation of their track record indicating their thoroughness with detail in such research and very little, if any, failures in such ventures. Details of the meeting are discussed below.

**Notes From Meeting:**

- 1) On the topic of rental rates and the targeted income group for tenants, GSL explained the following:
  - a) The more affordable section would be comprised of single and two bedroom units with the single units limited to three residents (excepting small children under the age of two), and the two bedroom units limited to a family of five.
    - i) the single bedroom units would be approximately 574 square feet and the two bedroom units would be approximately 839 square feet.
    - ii) The single bedroom units would rent for \$490/mo., and the two bedroom units would rent for \$595/mo.

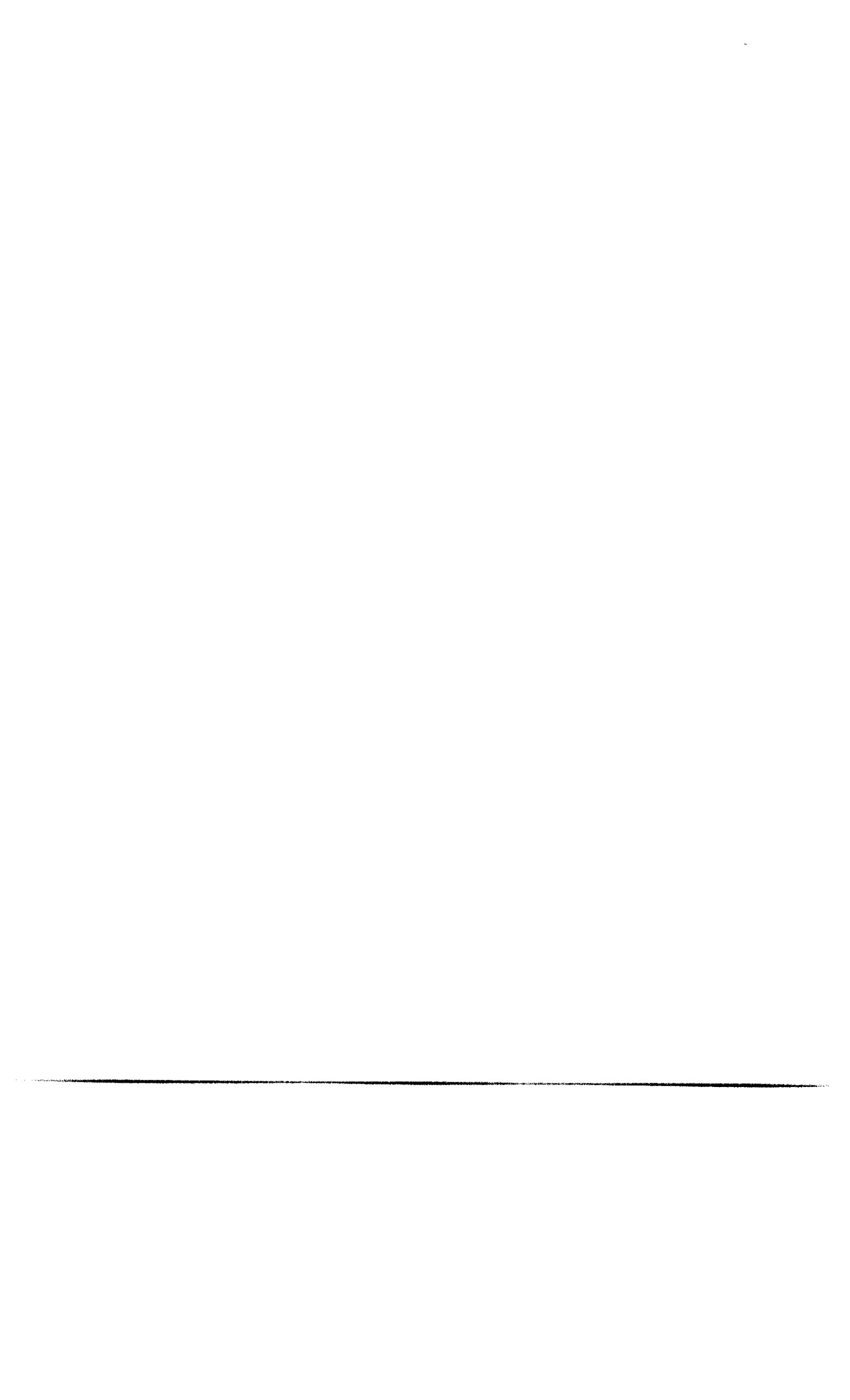




● Page 2

February 14, 2001

- iii) To qualify for the single bedroom units, applicants would generally make up to \$20,280/yr. or combined income. To qualify for the two bedroom units, applicants would generally make up to \$31,320/yr. of combined income.
- b) b) The upper-priced section would be comprised of single and two bedroom units with the single units limited to three residents (excepting small children under the age of two), and the two bedroom units limited to a family of five.
  - i) the single bedroom units would be approximately 625 square feet and the two bedroom units would be approximately 900 square feet.
  - ii) The single bedroom units would rent for \$650/mo., and the two bedroom units would rent for \$795-825/mo.
- c) When asked whether problems might arise from mixing the two price levels, GSL explained that they had had no such problems from their complex in Portland, Or. Both the GSL area and properties managers expressed similar results in the Desert Willows complex (another GSL property) in NE Albuquerque.
- d) GSL explained that, according to an Albuquerque study, there was only a 5.5% vacancy rate for complexes with over 100 units, and that number fell to 4% in the SE quadrant.
- e) GSL stated that they were very thorough with their screening process on potential renters.
- f) When asked how GSL will square its claim that the complex was to be designed to accommodate employees of the Sandia Science and Technology Park (SSTP) while employees of that organization make well over the stated qualifying amounts and might very well seek much higher priced living arrangements, GSL responded with the following:
  - i) It was never the purpose of the project to accommodate solely SSTP employees;
  - ii) There are, in fact, lower income employees of SSTP that make around \$30,000/yr.;
  - iii) The project may very well appeal to the re-locating employees of M-Corp.; and
  - iv) It may turn out that some of the higher-level income employees of SSTP may be attracted to the lower priced apartments provided by the project simply for its convenient location near the Park.
- 2) On the issue of timing, GSL explained that the 1<sup>st</sup> Phase of the project was the building of the more affordable units to be occupied by sometime in the Spring of 2002. The 2<sup>nd</sup> Phase would take place about one year later.
  - a) When asked if GSL might consider reversing the order of the Phases, GSL responded that it would not as a matter of financial/business decisions.
  - b) John March of West Wood Realty explained that the current owners of the property, Albuquerque Schools, were allowed only to spend the proceeds directly on the needs of schools, not on administration costs, and that the plan was presently to commit much of that money to the planned Manzano Mesa Elementary School.
- 3) On the issue of the exterior aesthetics of the project, the following was discussed:
  - a) regarding the conceptual landscaping, Willow Wood HOA explained that they were ok with the way GSL had designed the layout, but were concerned that it would not actually turn out that proposed. GSL assured them that it would and that, if they noticed any discrepancy between



February 14, 2001

- the actual layout and those as projected, they were to contact GSL and GSL would guarantee rectifying the problem to result in that projected.
- b) Regarding the 14-foot wall, GSL explained that they had reduced it to 12 feet, broken it up into smaller clusters with varying setbacks, and planned to front the fence with different "bushy trees" to break up any monotony in the wall.
  - c) Regarding the back wall facing Tramway, GSL explained that they would consider planting vegetation that would grow higher along the wall and/or using different colors of stucco.
  - 4) Willow Wood HOA asked if anything could be done with the banisters along the stairwells. The architect for GSL explained that they were designed the way they were to allow light to flow to the lower floors at night.
  - 5) GSL stated that the roofs would be anti-reflective.
  - 6) On the issue of the project's effects on water pressure, the neighborhood associations were advised to address this issue with the City of Albuquerque, and the neighborhood associations agreed that this would be ok.
  - 7) On the issue of the project's effects on traffic in the area, Consensus Planning distributed a letter written by the engineers on the project regarding traffic studies in the area (they were unable to attend as they had another meeting to attend at the same time). There were still questions that the neighborhood associations had regarding getting in and out of the complex and residual effects on secondary neighborhood streets caused by motorists trying to avoid the possibly congested main arteries. Many of these questions were answered to the satisfaction of the neighborhood associations, and Consensus Planning invited anyone still not satisfied to contact the engineer personally to answer their specific concerns.
  - 8) On the issue of whether there would be adequate law enforcement to accommodate the increase in residents in the area, GSL referred to page 23 of the Staff Report that stated "no adverse comments" regarding that concern.

## Attendees

Name	Organization	Contact
Karin Marcotte	Consensus Planning	764-9801
David Bantz	GSL Properties	(503) 944-6503
Jorge de la Torre	De La Torre Architecture	883-7918
John March	West Wood Realty	(505) 792-3713
Lex Pegues	Willow Wood HOA	761-9700
Susan Henderson	Willow Wood HOA	332-9561
David Saxon	Willow Wood HOA	271-1738
Ruth Francis	Singing Arrow NA	299-2483
Henry Crockett	Singing Arrow NA	323-1824
Ronald Paiz	Paiz Properties	480-7311
Bernadine Paiz	Paiz Properties	873-3008
Ken Ohman	Willow Wood HOA	323-6940
Patricia Werner	Willow Wood HOA	294-9598
Chris Green	Consensus Planning	764-9801
David Buchman	GSL Area Manager	856-6900
Susan Buchman	GSL Properties, Management	856-6900
Cynthia Staat	City of Albuquerque	764-0037
Jeanette Vandekamp	Manzano Vista	298-5486

Wednesd



CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
LAND DEVELOPMENT COORDINATION DIVISION  
PAID RECEIPT

APPLICANT NAME: SINGING ARROW NEIGHBORHOOD ASSOC.

AGENT: PHILIP YORK

ADDRESS: 12705 ELYSE PL. SE ALBU. NM 87123  
(w/zip code)

1000938

CASE NUMBER: 01218-00000-00356

AMOUNT DUE: \$ 50<sup>00</sup>

✓ 441006/4981000 (City Cases)

**SINGING ARROW NEIGHBORHOOD ASSOC.** 12-98  
12614 SINGING ARROW S.E.  
ALBUQUERQUE, NM 87123

Date 3-16-01 95-27/1070  
638

Pay to the Order of CITY OF ALBUQUERQUE \$ 50.00  
FIFTY AND 00/100 Dollars

**First Security Bank** First Security Bank of New Mexico, N.A.  
1-505-765-4810

**TWO SIGNATURES REQUIRED OVER \$100.00**  
Philip York

For \_\_\_\_\_

Rev x/st

GUARDIAN® SAFETY GREEN WOOD

FOR DEPOSIT TO  
CITY OF ALBUQUERQUE  
COMMON FUND ACCT 1061038394  
Loc: ANEX WS 008 Trans: 0019  
Tra Date 03/16/2001 00003413 00003413  
Journal 24 (Misc) TRSTAG  
Trans Amt \$50.00  
DK \$50.00

● Page 4

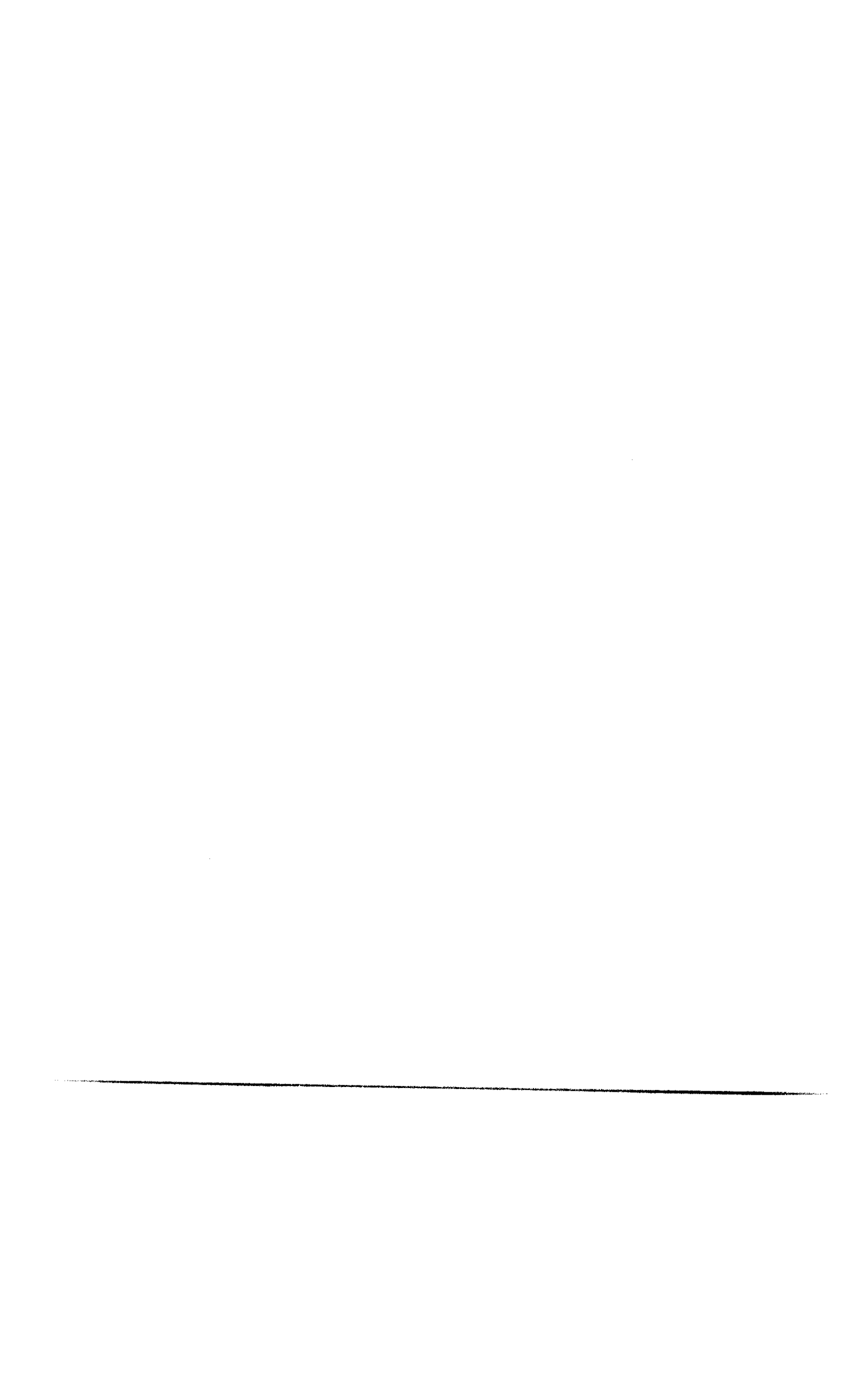
John Sena  
Rose Sena

Facilitator: Paul Splett

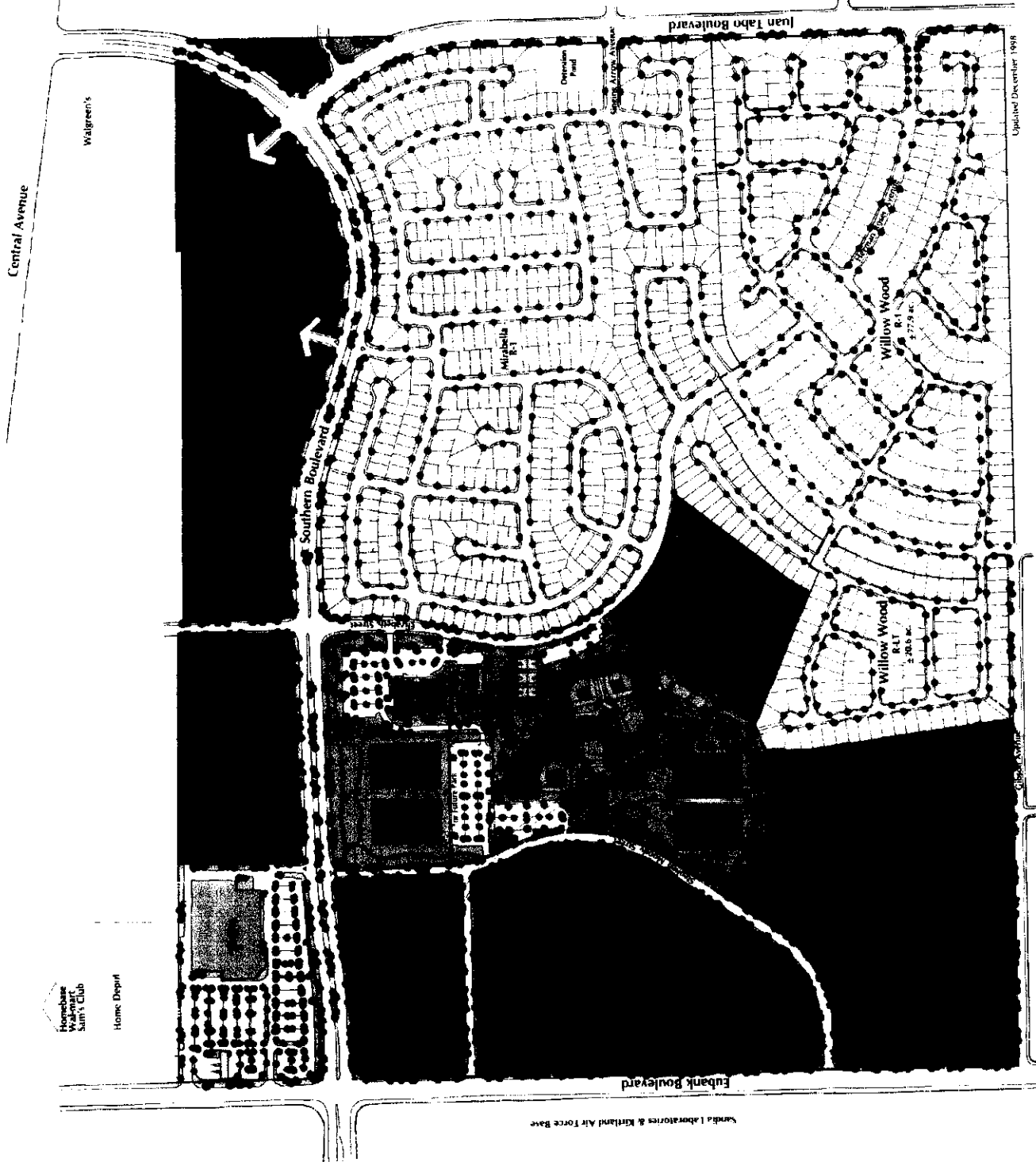
Singing Arrow NA  
Singing Arrow NA

February 14, 2001



266-1033  
266-1033

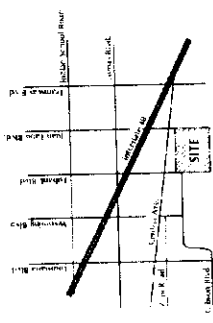






Updated December 1998


 North  

 Mature Sandra Science and Technology Park Tract Boundary

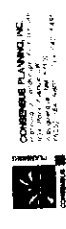


SITE VICINITY

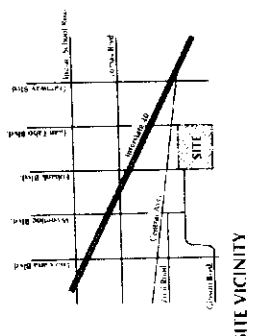
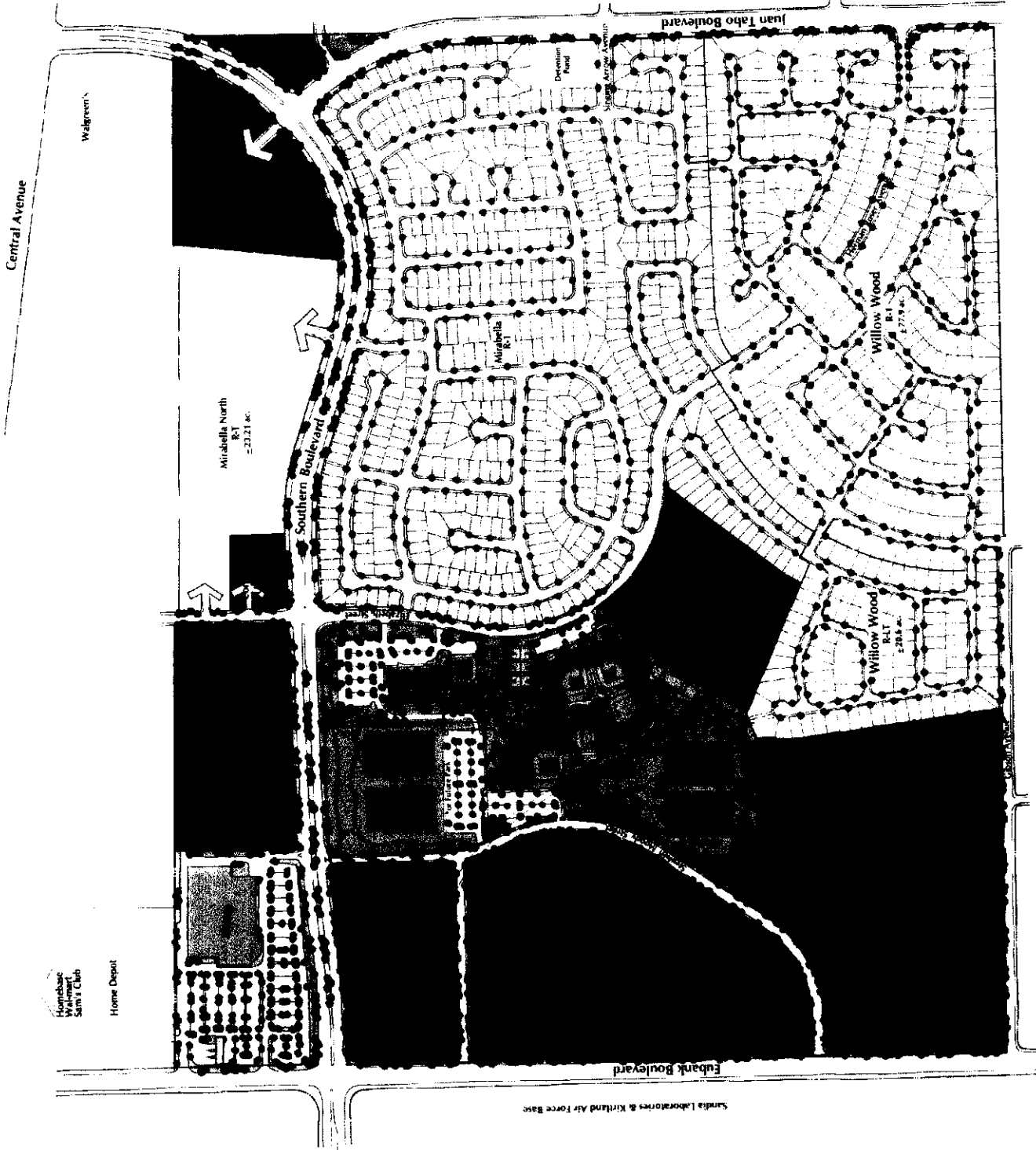
SITE DATA

LAND USE	BASELINE ZONING	ACRES	DENSITY	DWELLING UNITS
Single Family Residential	R-1	193.6	5.0 DU/AC	968
Single Family Residential	R-1.1	28.6	2.0 DU/AC	57
Multi-Family Residential	M-F-1	84.8	24.0 DU/AC	405
Commercial	C-1	1.2		
Commercial	C-2	2.0		
Office	AO-1	1.1		
Employment	AO-1P	10.0		
Community Park	N-1	86.6		
Reserved for School Purposes	R-1	17.6		
Right-of-Way		14.4		
<b>Total</b>		<b>486.0</b>		<b>1,444</b>

MASTER PLAN  
**Manzano Mesa**  
 ALBUQUERQUE PUBLIC SCHOOL



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**SITE DATA**

LAND USE	EXISTING ZONING	ACRES	DENSITY	DWELLING UNITS
Single Family Residential	R-1	193.8	5.0/dw. ac.	969
Single Family Residential	R-1	79.1	3.0/dw. ac.	237
Single Family Residential	MS-PR-2	36.8	24.0/dw. ac.	881
Commercial	C-3	13.7		
Commercial	C-2	2.0		
Office	NO-10-1	11.3		
Employment	SO-10-P	118.0		
Community Park	MS-1	86.6		
Reserved for School Purpose	R-1	12.8		
Subtotal		513.4		
Total		480.0		1,207

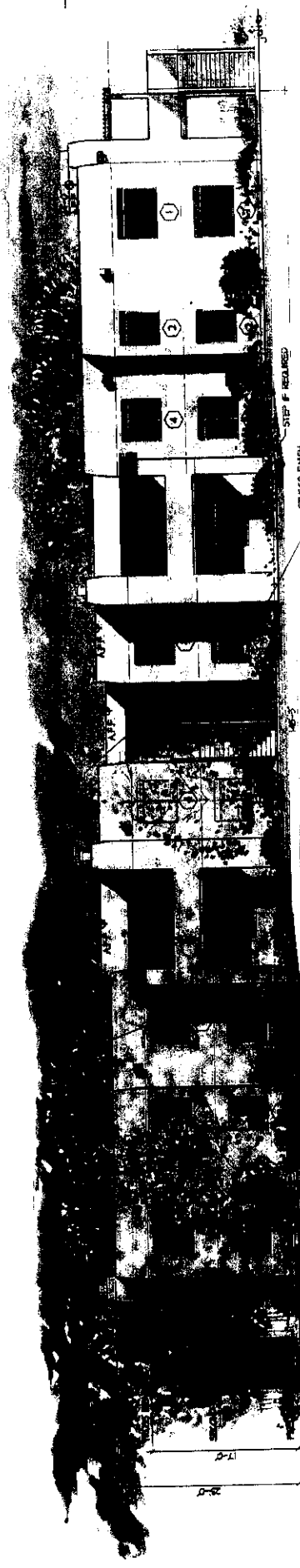
**PROPOSED AMENDMENT  
MASTER PLAN**

**Manzano Mesa  
YES ALBUQUERQUE PUBLIC SCHOOL!**



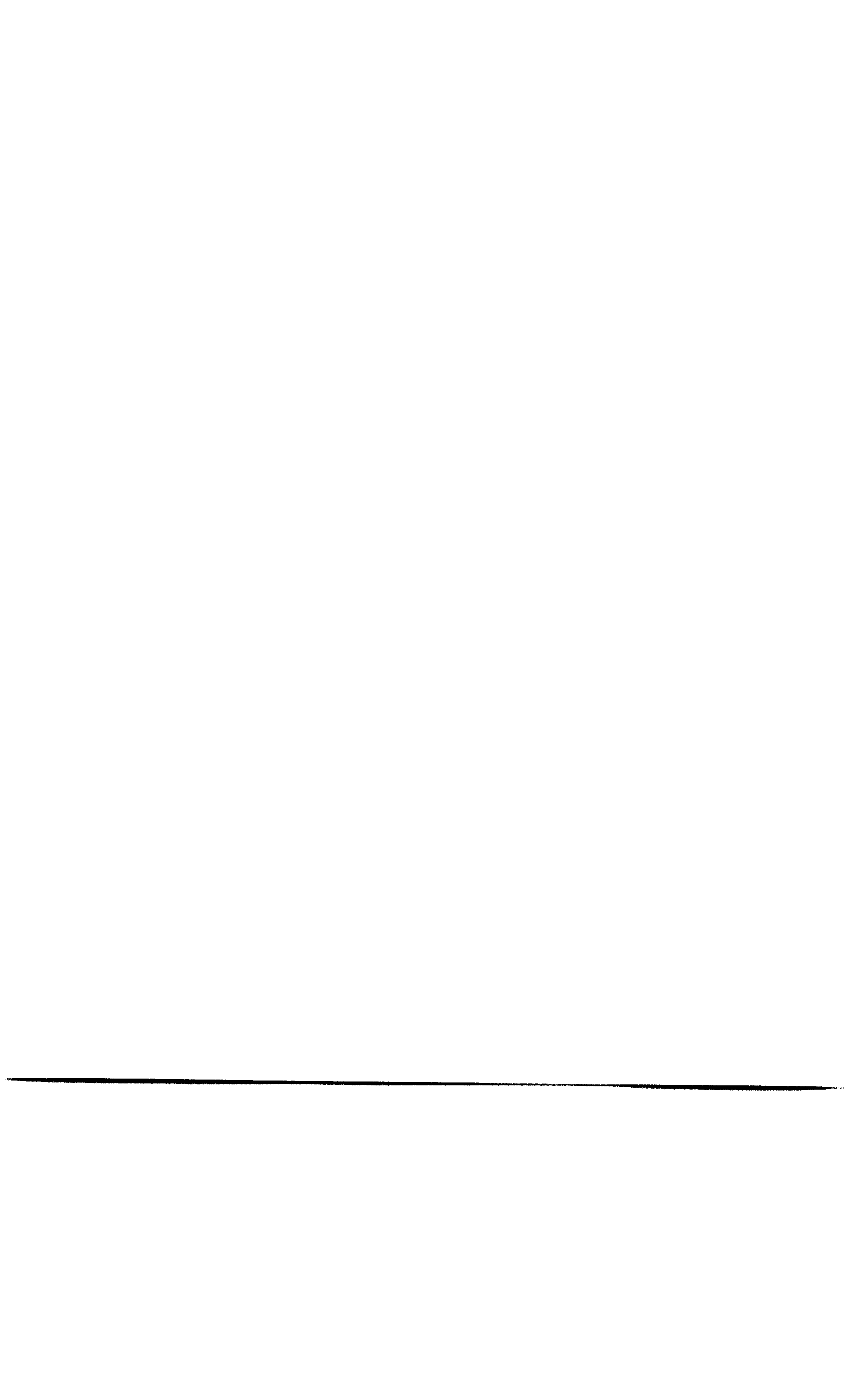
**CONSERVATIVE PLANNING, INC.**  
 10000 ALBUQUERQUE BLVD. N.W.  
 SUITE 100  
 ALBUQUERQUE, NM 87112  
 (505) 885-1000  
 January 16, 2001

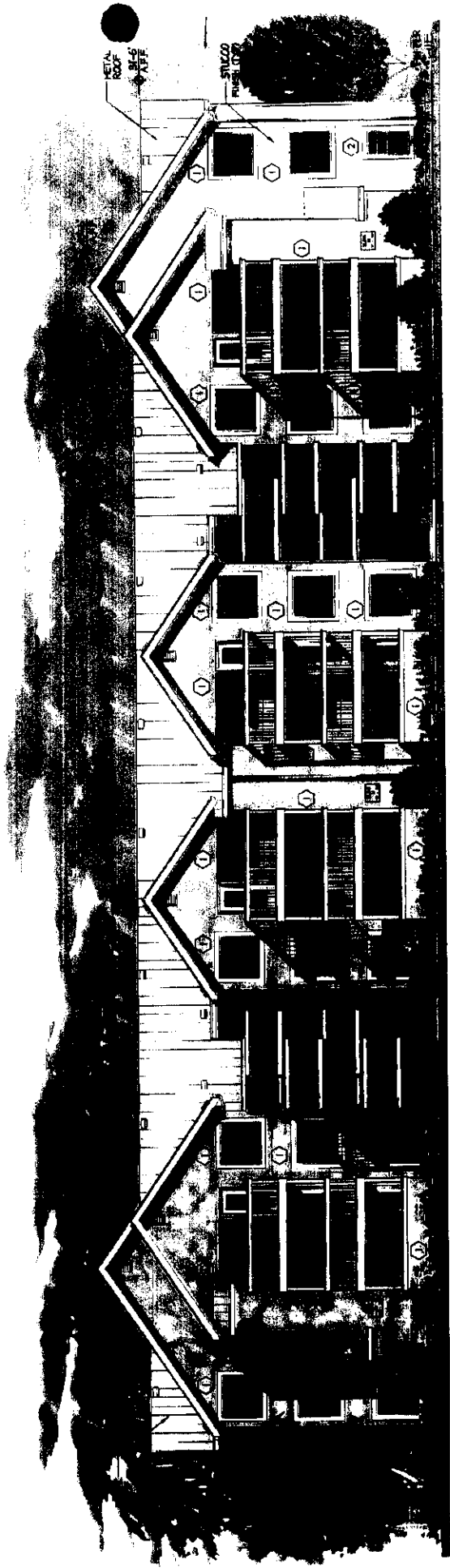
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16-PLEX BUILDING FRONT ELEVATION (REAR ELEVATION SIM.)

SCALE 1/8" = 1'-0"

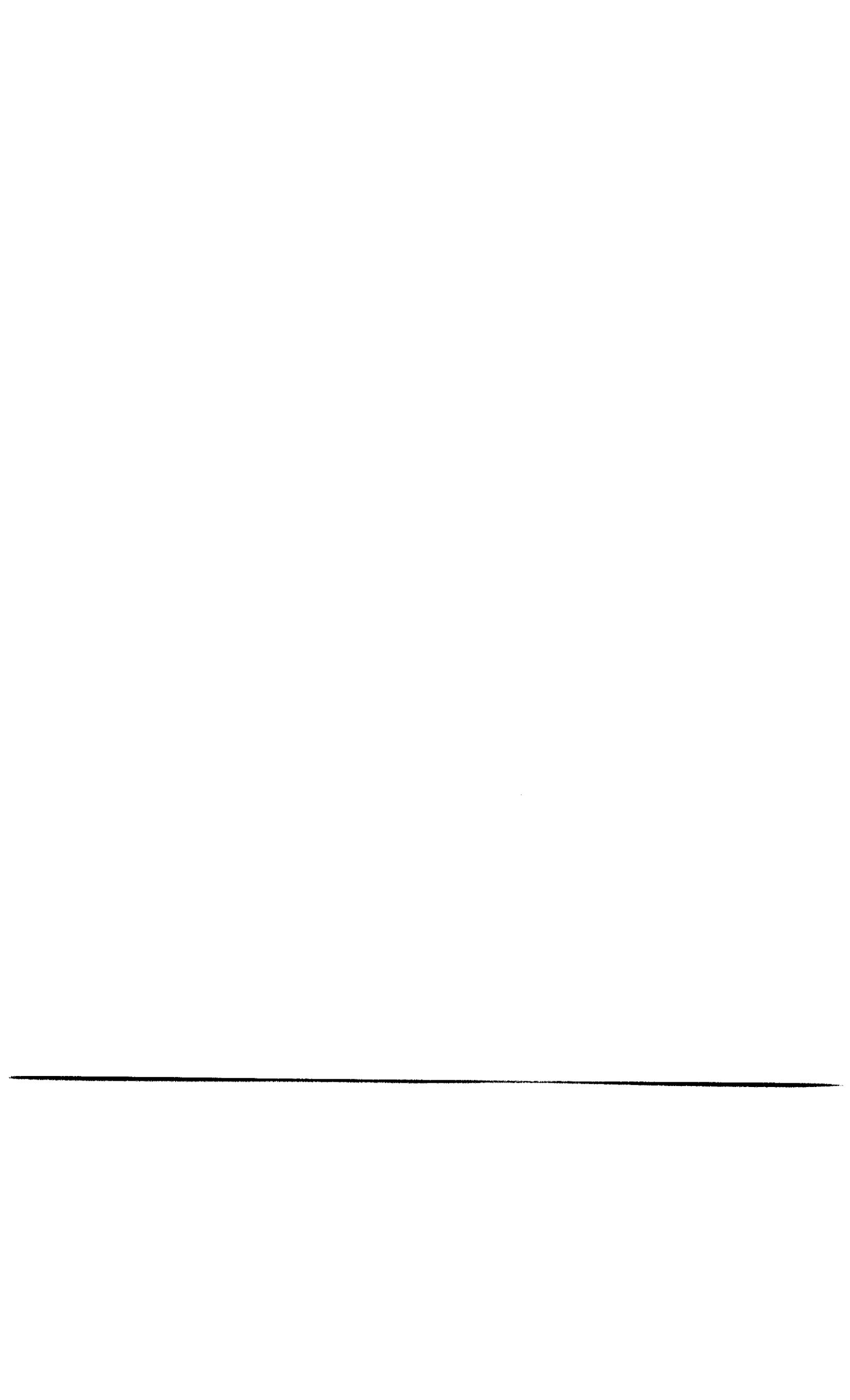




24-PLEX BUILDING - FRONT / REAR ELEVATION

SCALE 1/8" = 1'-0"









12614 Singing Arrow Avenue SE  
Albuquerque, New Mexico 87123  
March 15, 2001

City of Albuquerque  
Planning Department  
Development Services  
P. O. Box 1293  
Albuquerque NM 87103

### APPEAL TO THE CITY COUNCIL

RE: File 00110 00000 01644/00128 00000 01645/00128 00000 01646/00128  
00000 01647 Project # 1000938

It is the unanimous vote and strong unwavering position of the Board of the Singing Arrow Neighborhood Association that approval of any type of development with this zoning density is highly detrimental to this area and should not be permitted to occur!

The current zoning is totally inappropriate for this portion of the city, as any high-density rental dwelling development will have considerable negative impact on the adjacent neighborhoods and in particular Singing Arrow.

There are already too many vacant apartments less than one mile away from this proposal. Statistics indicating a need for any form of rental dwellings are terribly inaccurate and do not in any way correctly reflect the situation regarding occupancy in this area.

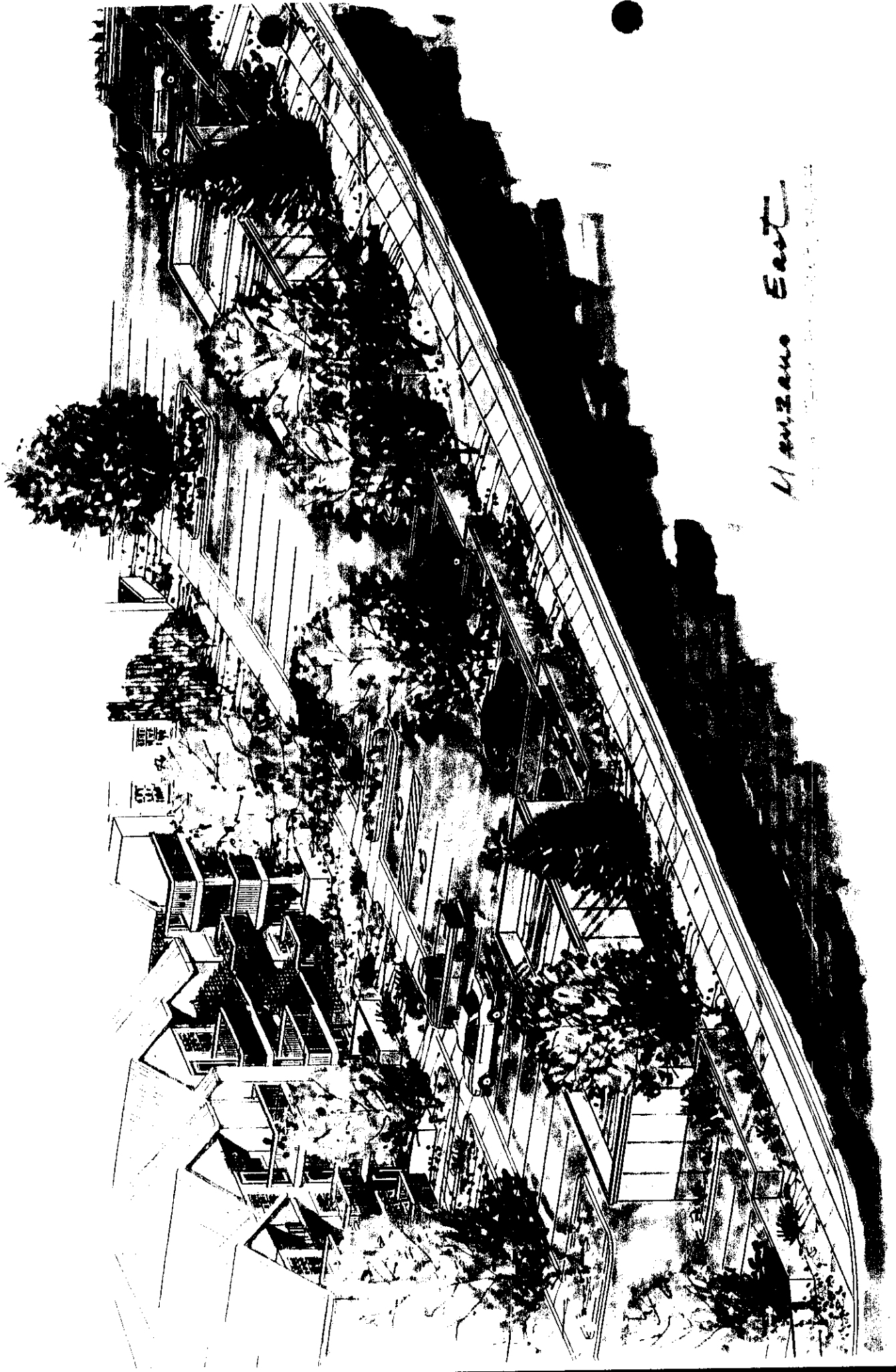
Permitting this development to occur will result in the need for more from the Albuquerque Police due to drug and gang activity. More work for the Code Enforcement Team due to poorly maintained rental property, more calls for large and unscheduled item pick up from Solid Waste. And the need for Singing Arrow Neighborhood applying for Federal money for CPTED Programs.

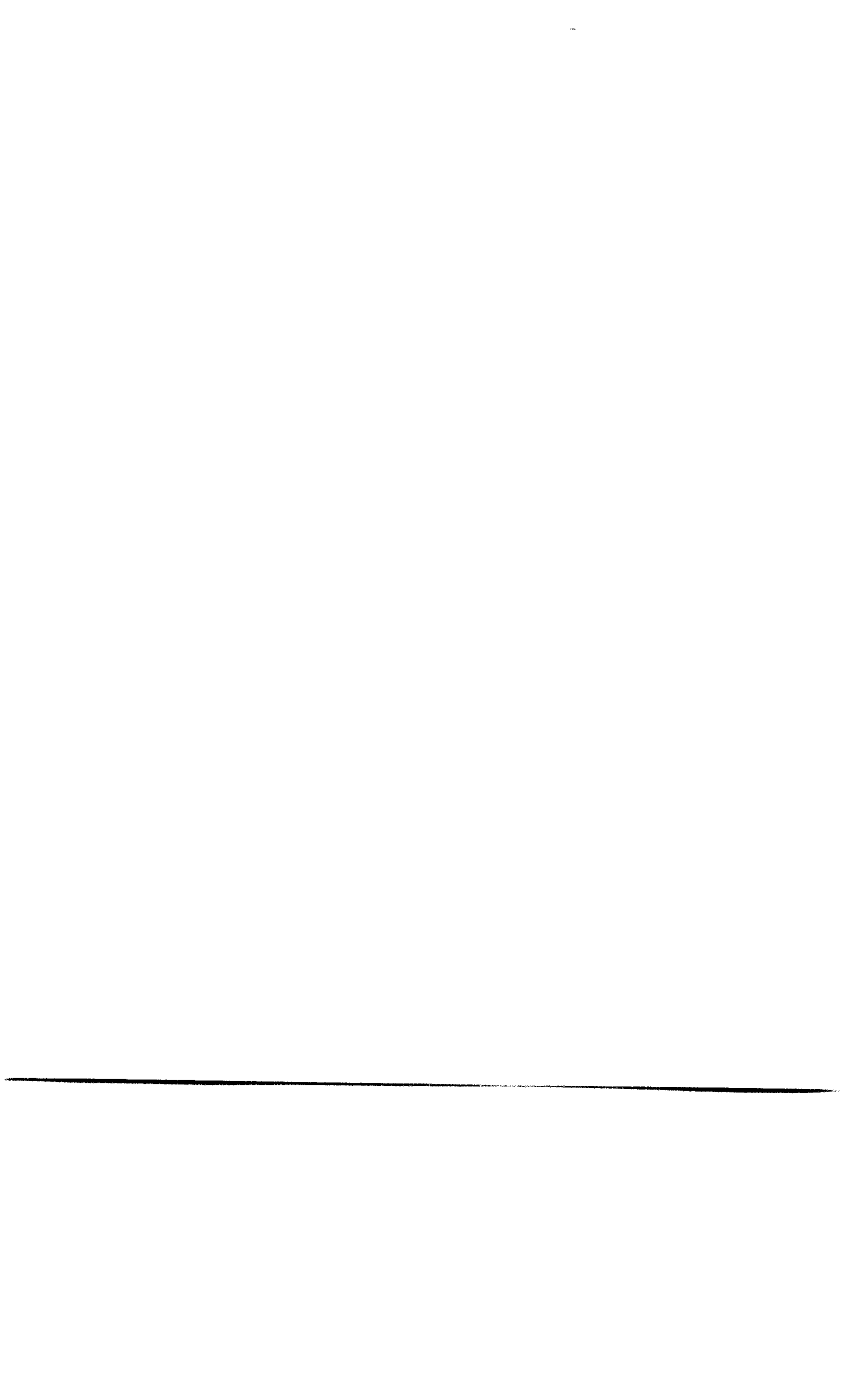
This portion of Albuquerque is grossly over built in high-density rental property, this project is not needed, not necessary and should not be permitted to proceed.

*BASIS OF STANDING AS APPELLANT IS POSITION OF PRESIDENT  
OF NEIGHBORHOOD ASSOCIATION THERE BY REQUESTING THAT BODY  
BY AUTHORITY OF SECTION 14-16-4-4 (B)(2)(C) CITY OF  
ALBUQUERQUE ZONING CODE*

*-4-*

Manzano East





# A City of Albuquerque



## DEVELOPMENT REVIEW APPLICATION

Supplemental form		Supplemental form	
<b>SUBDIVISION</b>	<b>S</b>	<b>ZONING</b>	<b>Z</b>
___ Major Subdivision Plat		___ Annexation & Zone Establishment	
___ Minor Subdivision Plat		___ Sector Plan	
___ Vacation	<b>V</b>	<u>X</u> Zone Change	
___ Variance (Non-Zoning)		___ Text Amendment	
		___ Special Exception	<b>E</b>
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<b>APPEAL / PROTEST of...</b>	<b>A</b>
<u>X</u> ...for Subdivision Purposes		___ Decision by: Planning Director	
(2) <u>X</u> ...for Building Permit		or Staff, DRB, EPC, Zoning Board of	
___ IP Master Development Plan		Appeals, LUCC	
___ Cert. of Appropriateness (LUCC) L			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: GSL Properties, Inc. PHONE: (503) 224-2554  
 ADDRESS: 2164 S.W. Park Place FAX: (503) 223-4463  
 CITY: Portland STATE OR ZIP 97205 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner  
 AGENT (if any): Consensus Planning, Inc. PHONE: (505) 764-9801  
 ADDRESS: 924 Park Avenue SW FAX: (505) 842-5495  
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

DESCRIPTION OF REQUEST: Zone change, Site Plan for Subdivision, two Site Plans for building permit

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract G-3 & Tract H-1 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Adn. Manzano Mesa Addition  
 Current Zoning: SU-1 for O-1, SU-1 for R-2 Proposed zoning: Same, only relocate current zoning to other area  
 Zone Atlas page(s): L-21 No. of existing lots: 2 No. of proposed lots: 2  
 Total area of site (acres): 36.3 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits? X Yes. No \_\_\_\_\_, but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? No  
 UPC No. 102105603321730314/102105606915330301 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: Eubank SE  
 Between: Central SE and Sandia National Labs SE

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): Z-910 AX-24, Z-96-94, Z-96-31, Z-96-9,

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 9/14/00

SIGNATURE [Signature] DATE 11/27/00  
 (Print) James K. Strozier \_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised September 2000

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>00110 -00000 -01644</u>	<u>AZM</u>	<u>Z</u>	<u>\$ 1603.55</u>
<input type="checkbox"/> All fees have been collected	<u>00128 -00000 -01645</u>	<u>SDPS</u>	<u>PI</u>	<u>\$</u>
<input type="checkbox"/> All case #s are assigned	<u>00228 -00000 -01646</u>	<u>SDPB</u>	<u>PI</u>	<u>\$</u>
<input type="checkbox"/> AGIS copy has been sent	<u>00228 -00000 -01647</u>	<u>SDPB</u>	<u>PI</u>	<u>\$</u>
<input type="checkbox"/> Case history #s are listed				<u>\$</u>
<input type="checkbox"/> Site is within 1000ft of a landfill				<u>\$</u>
<input type="checkbox"/> F.H.D.P. density bonus				<u>\$</u>
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>1-18-01</u>			Total <u>\$ 1603.55</u>

[Signature] 11/27/00  
 Planner signature / date

Project # 1000938



**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**IP MASTER DEVELOPMENT PLAN**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings. For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
  - Site plans and related drawings reduced to 8.5" x 11" format
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility development)
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT OF WIRELESS TELECOM FACILITY**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **30** copies for EPC public hearings.
  - Site plans and related drawings reduced to 8.5" x 11" format
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility development) *in drawing sets*
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- NOTE:** For wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required in addition to those listed above for application submittal:
- Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
  - Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
  - Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
  - Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
  - Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
  - Registered Engineer's stamp on the Site Development Plans
  - Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30** copies for EPC public hearings
  - Site plans and related drawings reduced to 8.5" x 11" format
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozier (agent)  
 Applicant name (print)  
[Signature] 11/27/00  
 Applicant signature / date



Form revised September 2000

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
00128 - 00000 - 01643 SDPS  
00128 - 00000 - 01646 SBP  
00128 - 00000 - 01647 SDPB  
 Project # 1000938  
[Signature] 11/27/00  
 Planner signature / date



**FORM Z: ZONE MAP AMENDMENT AND ZONING CODE TEXT AMENDMENT**

**ANNEXATION AND ESTABLISHMENT OF ZONING**

- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)  
NOTE: The Zone Atlas must show that the site is in County jurisdiction, but is contiguous to City limits.
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Property Boundary Survey prepared by a licensed professional surveyor
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

- SECTOR DEVELOPMENT PLAN PHASE I - DRB CONCEPTUAL PLAN REVIEW** (Unadvertised)
- SECTOR DEVELOPMENT PLAN PHASE II - EPC FINAL REVIEW & APPROVAL** (Public Hearing)

- SECTOR DEVELOPMENT PLAN PHASE II - DRB FINAL SIGN-OFF** (Unadvertised)
    - Copy of findings from required pre-application meeting (for the DRB conceptual plan review only)
    - Proposed Sector Plan (30 copies for EPC, 6 copies for DRB)
    - Zone Atlas map with the entire plan area precisely and clearly outlined and crosshatched (to be photocopied)
    - Letter briefly describing, explaining, and justifying the request
    - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
(for EPC final review and approval public hearing only)
    - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form  
(for EPC final review and approval public hearing only)
    - Fee for final review and approval only (see schedule)
    - Any original and/or related file numbers are listed on the cover application
- Refer to the schedules for the dates, times and places of D.R.B. unadvertised meetings and E.P.C. hearings. **Your attendance is required.**

**AMENDMENT TO ZONE MAP (ZONE CHANGE)**

- Application for sector development plan amendment (required only if site is within a sector plan's boundaries.)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request  
NOTE: Justifications must adhere to the policies contained in "Resolution 270-1980"
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

**AMENDMENT TO SECTOR DEVELOPMENT PLAN**

- Proposed Amendment referenced to the materials in the sector plan being amended
  - Sector Plan to be amended with materials to be changed noted and marked
  - Zone Atlas map with the entire plan area precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

**AMENDMENT TO ZONING CODE OR SUBDIVISION REGULATIONS TEXT**

- Amendment referenced to the sections of the Zone Code being amended
  - Sections of the Zone Code to be amended with text to be changed noted and marked
  - Letter briefly describing, explaining, and justifying the request
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozier (agent)  
Applicant name (print)

[Signature] 11/27/00  
Applicant signature / date



Form revised September 2000

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
00110-00000-01644

J. Chavez 11/27/00  
Planner signature / date

**Project # 1000938**



**DESIGN GUIDELINES**  
PARK REGULATION

- The maximum allowed parking shall be equal to the required parking as shown on the site plan.
- ADA-compliant parking shall be located adjacent to the building entry.
- For off-street parking, a minimum of 100 spaces shall be provided.
- For on-street parking, a minimum of 100 spaces shall be provided.
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**LANDSCAPING & SCREENS**

- A mix of evergreen, deciduous, and palm trees shall be used within parking areas.
- Landscaping shall be designed to provide a minimum of 20% of the parking area.
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**ARCHITECTURE**

- The use of architectural equipment shall be on the top of parapet and screened from view.
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**SIGNAGE**

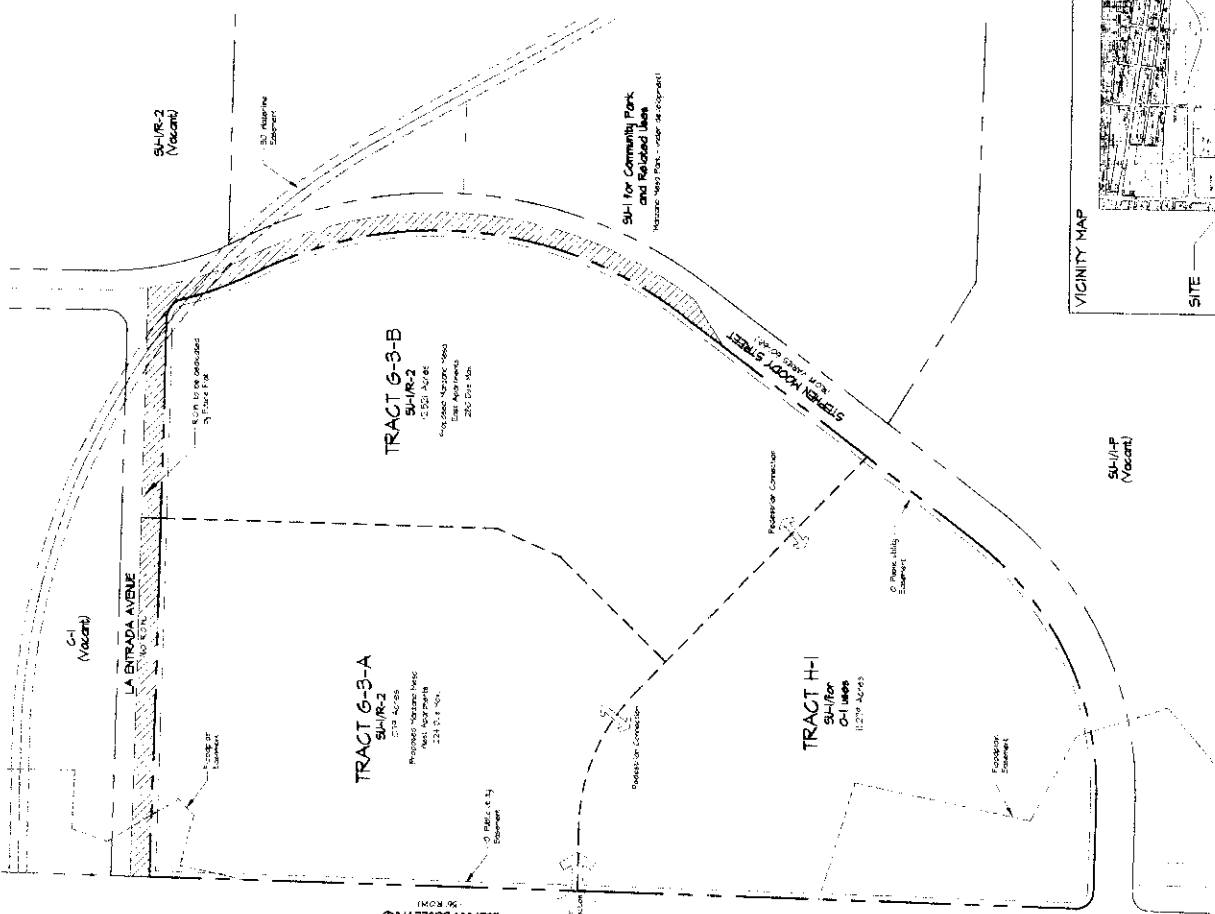
- Signage shall be designed to be aesthetically integrated and compatible with the building.
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**SITE DEVELOPMENT PLAN FOR SUBDIVISION**  
REQUIRED INFORMATION

THE SITE: The site consists of 2 existing lots (Tracts 6-3-A and 6-3-B) located in the City of El Paso, Texas. The site is bounded by La Entrada Avenue to the north, El Paso Street to the east, and El Paso Street to the south. The site is currently vacant and is being developed for residential use. The site is being developed in accordance with the City of El Paso's Comprehensive Zoning Ordinance, which requires a minimum of 20% of the site to be landscaped. The site is being developed in accordance with the City of El Paso's Comprehensive Zoning Ordinance, which requires a minimum of 20% of the site to be landscaped. The site is being developed in accordance with the City of El Paso's Comprehensive Zoning Ordinance, which requires a minimum of 20% of the site to be landscaped.

APPROVALS

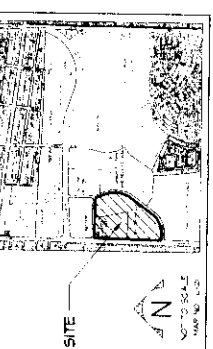
Planning Director	Date
Transportation Development	Date
City Engineer/AH/PCA	Date
Utility Development	Date
Tennis and Recreation Department	Date



**CONSENSUS PLANNING, INC.**  
505 North Avenue, Suite 100  
El Paso, Texas 79901  
Phone: (915) 762-1111  
Fax: (915) 762-1112  
www.consensusplanning.com

**MANZANO MESA**  
TRACTS 6-3-A, 6-3-B, 6-3-C  
ALBUQUERQUE, NEW MEXICO 87133  
PROJECT NUMBER: 2008-11/27/08  
DATE IN EL PASO, TX: 2008-11/27/08  
BY: [Signature]

**CONSENSUS PLANNING, INC.**  
505 North Avenue, Suite 100  
El Paso, Texas 79901  
Phone: (915) 762-1111  
Fax: (915) 762-1112  
www.consensusplanning.com



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City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: March 2, 2001

**OFFICIAL NOTIFICATION OF DECISION**

GSL Properties, Inc.  
2164 S.W. Park Place  
Portland, Or 97205

FILE: 00110 00000 01644/00128 00000  
01645/00128 00000 01646/00128 00000  
01647 Proj.# 1000938

LEGAL DESCRIPTION: for Tract G-3 &  
Tract H-1, Manzano Mesa Addition, located  
on Eubank SE between Central Avenue SE  
and Sandia National Labs SE, containing  
approximately 36.3 acres. (L-21) Debbie  
Stover, Staff Planner

On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01644, request for zone map amendments based on the following Findings and subject to the following Conditions of Approval:

**FINDINGS:**

1. This is a request for a zone map amendment for Tract H and Tract G-3, Manzano Mesa Addition.
2. The request meets the requirements of applicable City plans and policies.
3. The request has been justified under Resolution 270-1980 by the applicant under the changed community conditions and the more advantageous to the community policies.
4. A site plan accompanies this request for SU-1 zoning.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines

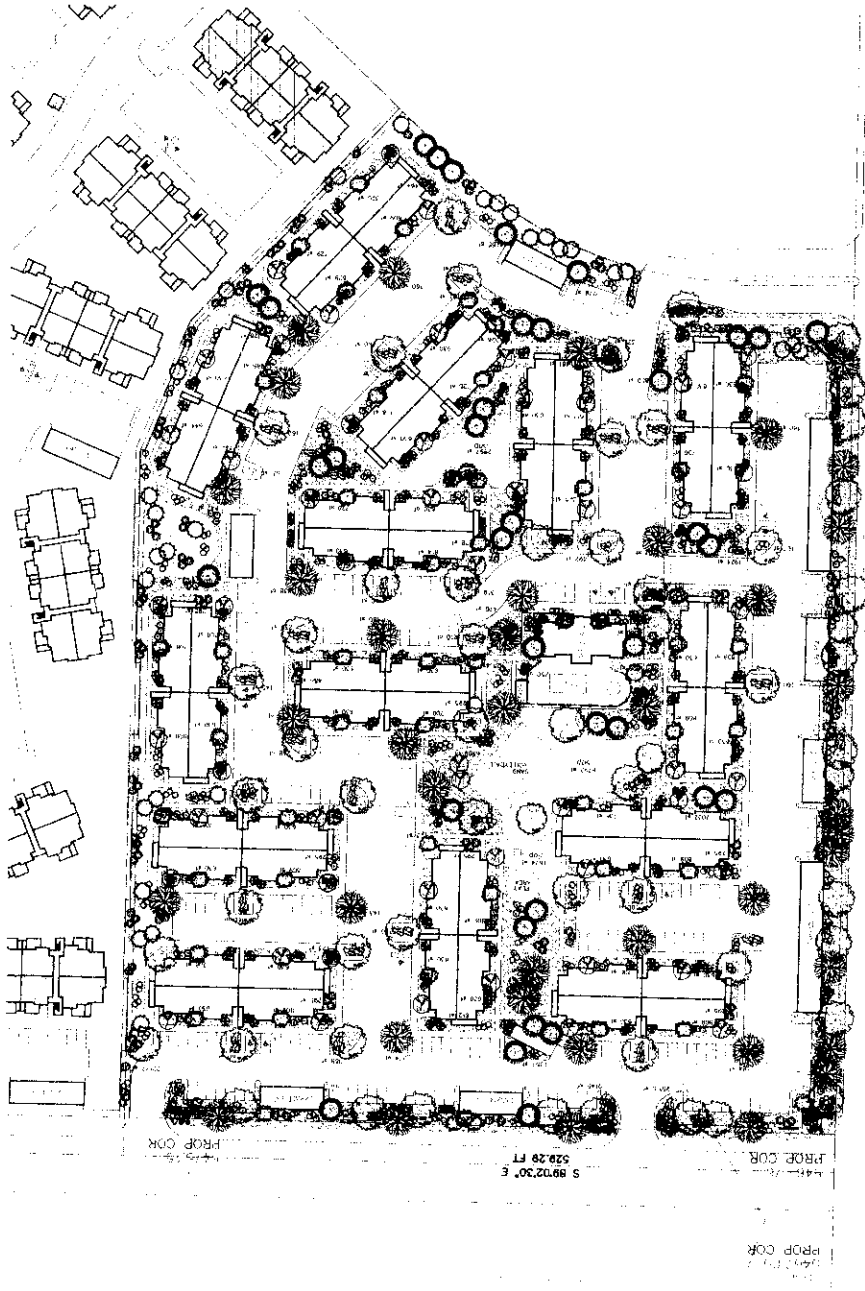
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**STREET TREE REQUIREMENTS**

Street trees required under the City of Albuquerque  
street tree ordinance are as follows:

Name of Street: Edwain  
Measured # 23 Proposed # 23

Total number of trees on site as required on  
the City of Albuquerque are as follows:  
Number of 1st story apartment units: 112  
Number of 2nd story apartment units: 112  
Number of trees required: 112  
Number of trees on site as maturely provided: 165  
Number of trees to be planted: 25 as maturely provided: 133



**LANDSCAPE NOTES:**

1. Landscaping maintenance shall be the responsibility of the Property Owner.  
2. It is the intent of this plan to comply with the City of Albuquerque Water Conservation Planting restriction ordinance.  
3. Approval of this plan does not constitute a final completion permit, water waste prohibitions, or other restrictions. The Property Owner shall be responsible for all other restrictions.  
4. All landscaping will be in compliance with the City of Albuquerque Joint Code, Street Tree Landscaping and Water Waste Ordinance. All general, specific, administrative, environmental, zoning, landscape, and other restrictions shall be observed in design and installation.  
5. Plant species shall adhere to the ground cover list.  
6. 3/4\"/>

**IRRIGATION NOTES:**

1. Irrigation system is complete, referenced to system with trees to receive 1.0 GPH. One Emitters and Sprinklers to receive 0.7 L.G.P. to be installed in 1/2\"/>

**LANDSCAPE CALCULATIONS**

NET LANDSCAPE AREA	SQUARE FEET
TOTAL LOT AREA	47980
TOTAL BUILDINGS AREA	150237
TOTAL DRIVEWAY AREA	127862
NET LOT AREA	158
LANDSCAPE REQUIREMENT	157863
TOTAL LANDSCAPE PROVIDED*	124159
TOTAL DEFICIT PROVIDED	11364 (20%)
TOTAL NATIVE SEED PROVIDED	2217

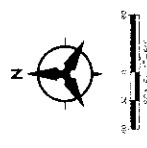
**The Hilltop**  
LANDSCAPE ARCHITECTS & CONSULTANTS  
3001 ILL. #264-581  
7909 Edwain N.E.  
Albuquerque, NM 87116  
PH: (505) 898-8620  
FAX: (505) 898-7737  
thehilltoplandscaping.com







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**LEGEND**

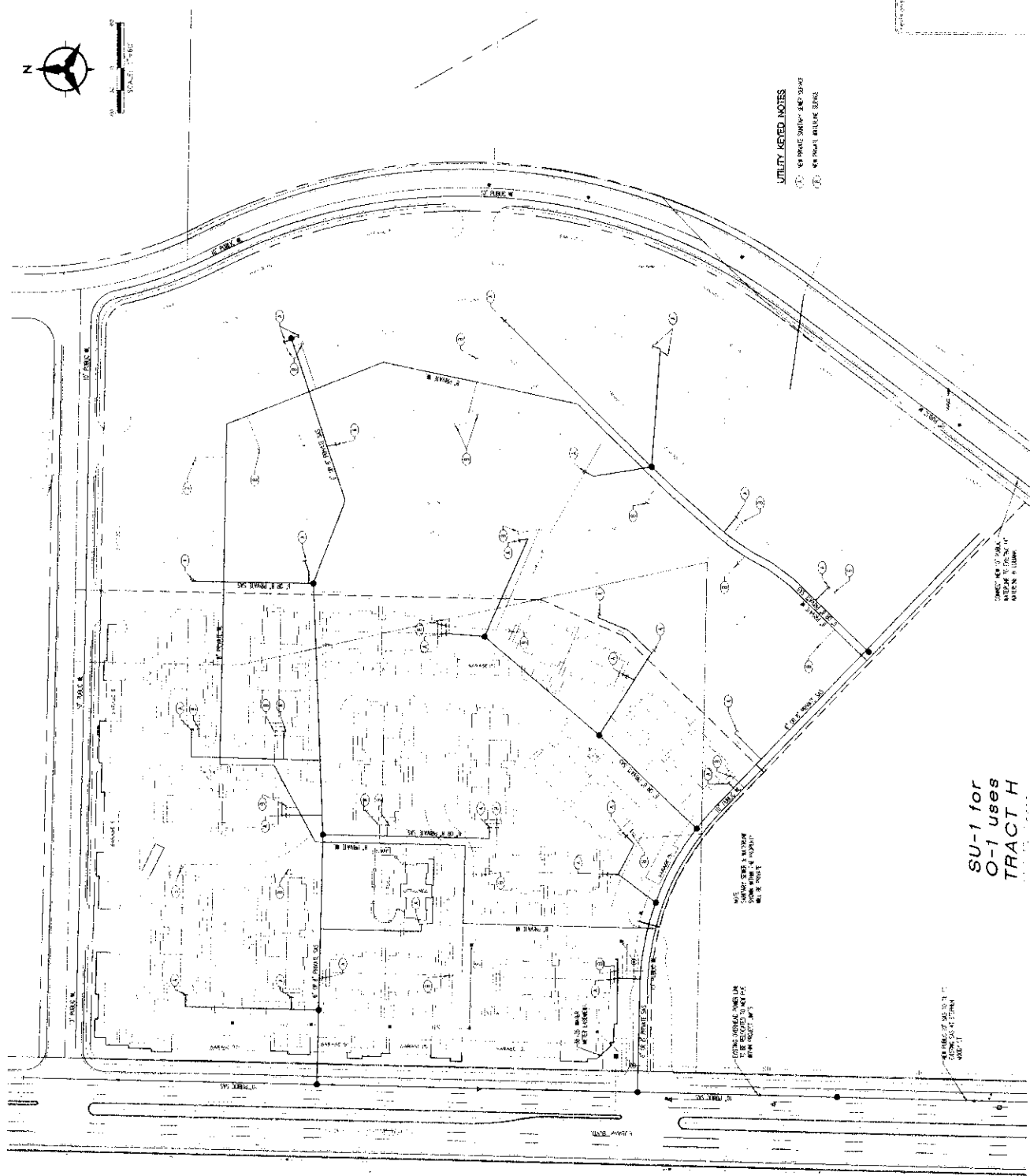
- PROPERTY LINE
- EXISTING EASEMENT
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING WATER METER
- EXISTING GAS
- EXISTING TRUNK
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER MAIN MANHOLE
- EXISTING GAS MANHOLE
- PROPOSED SANITARY SEWER PIPE
- PROPOSED WATER MAIN PIPE
- PROPOSED GAS PIPE
- PROPOSED WATER METER
- PROPOSED GAS METER
- PROPOSED TRUNK
- PROPOSED WATER MAIN
- PROPOSED GAS
- PROPOSED WATER METER

**UTILITY NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REVIEW OF ALL EXISTING UTILITIES AND RECORDS TO BE PROVIDED TO THE CONTRACTOR BY THE CITY OF SAN ANTONIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN ANTONIO AND THE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN ANTONIO AND THE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN ANTONIO AND THE UTILITY COMPANIES.
2. ALL UTILITIES SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN ANTONIO AND THE UTILITY COMPANIES.
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10. ALL UTILITIES SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN ANTONIO AND THE UTILITY COMPANIES.

**UTILITY LOCATED NOTES**

- 1. 6" WATER MAIN - 4" DIA. SPACED
- 2. 6" WATER MAIN - 4" DIA. SPACED



SU-1 for O-1 uses TRACT H

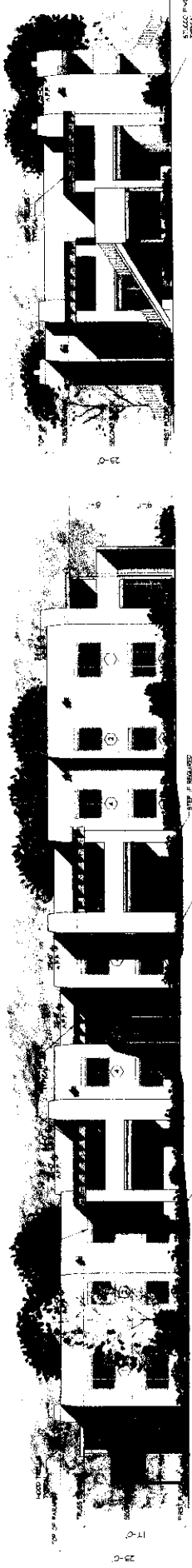
**Robinson Hill**  
 Concept for 7500 Jefferson Highway New Mexico City  
 INTERESTED PARTIES REPRESENTATION SERVICES OFFERING SERVICES

**VAZIANO-VESA WEST**  
 1815 ALBUQUERQUE NEW MEXICO 87102  
 PROJECT MANAGER: JAMES DE LA TORRE, P.E.  
 DATE: 11/27/00

**de la torre architects pc**  
 4250 UNIVERSITY BOULEVARD  
 SUITE 300  
 ALBUQUERQUE, NEW MEXICO 87131  
 PHONE: 505.263.1100  
 FAX: 505.263.1101

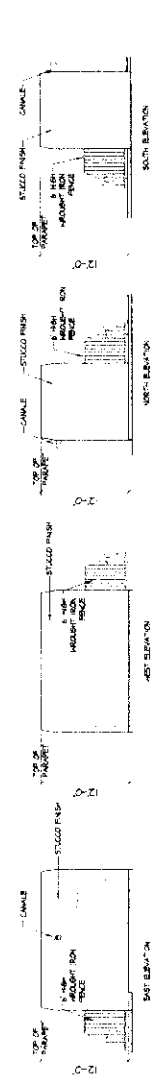
CONCEPTUAL UTILITY PLAN



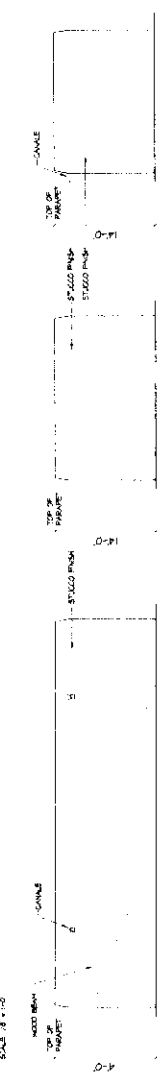


16-PLEX BUILDING FRONT ELEVATION (REAR ELEVATION SIM)  
SCALE 1/8" = 1'-0"

16-PLEX BUILDING SIDE ELEVATION  
SCALE 1/8" = 1'-0"

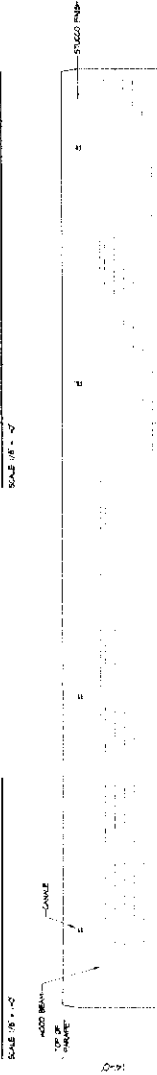


POOL EQUIPMENT ROOM  
SCALE 1/8" = 1'-0"



GARAGE (5 CAR)  
SCALE 1/8" = 1'-0"

GARAGE ELEVATIONS (5 & 2 CAR)  
SCALE 1/8" = 1'-0"

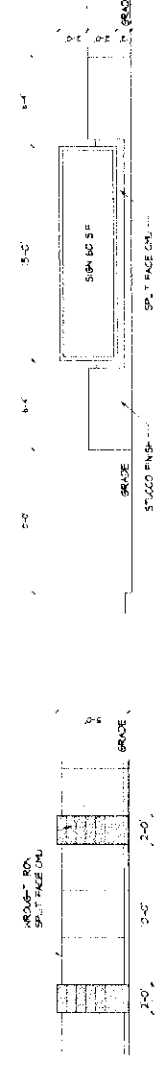


GARAGE (12 CAR)  
SCALE 1/8" = 1'-0"



5 CY WALL - TYPE A  
SCALE 1/8" = 1'-0"

WALL ENCLOSURE ELEVATION  
SCALE 1/8" = 1'-0"



5 CY AND WROUGHT IRON WALL - TYPE B  
SCALE 1/8" = 1'-0"

MONUMENT SIGN  
SCALE 1/8" = 1'-0"

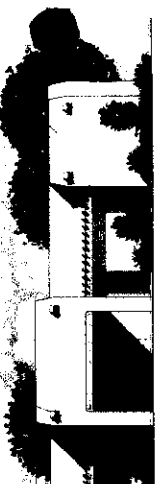
EAST ELEVATION  
SCALE 1/8" = 1'-0"



WEST ELEVATION  
SCALE 1/8" = 1'-0"



SOUTH ELEVATION  
SCALE 1/8" = 1'-0"

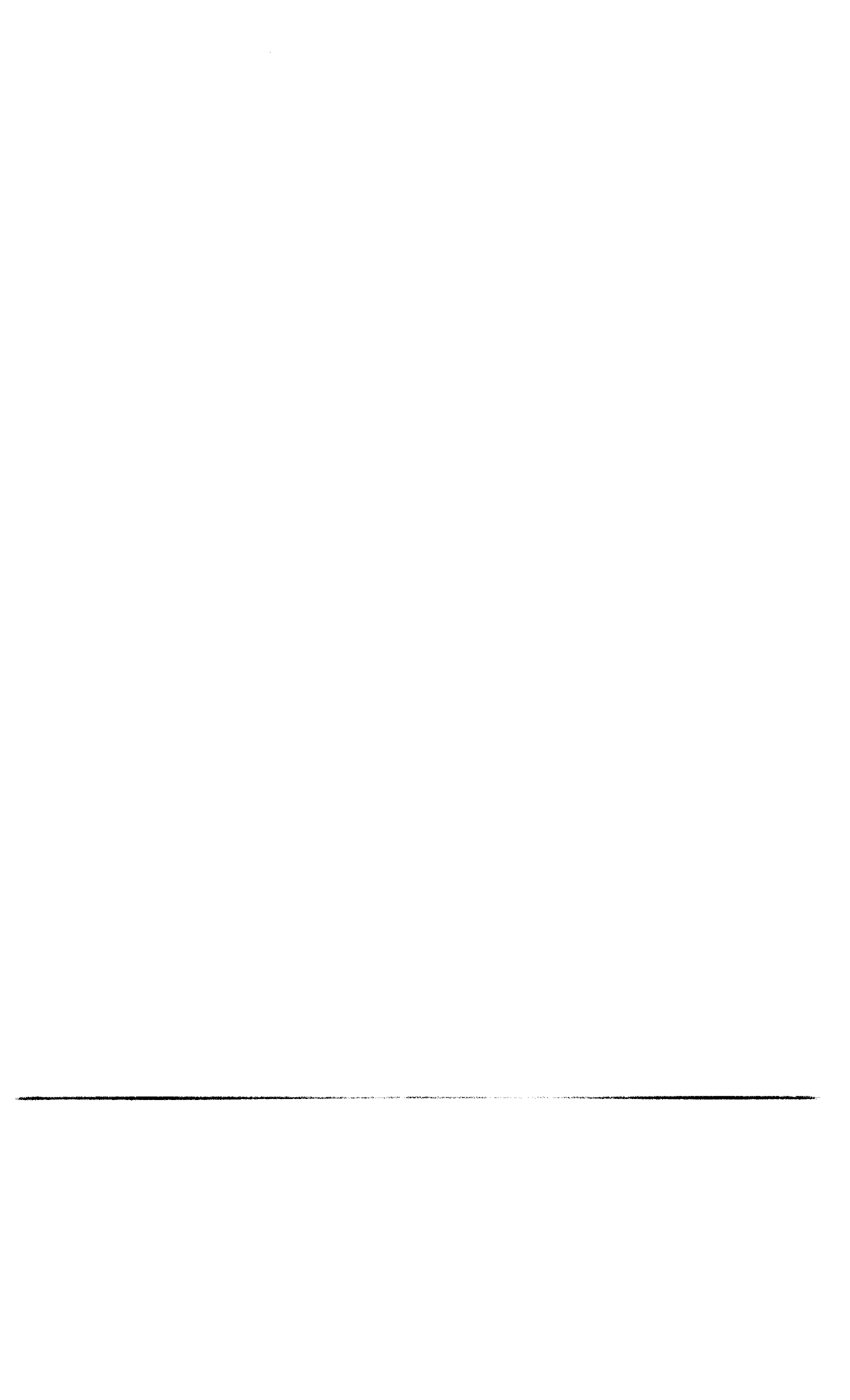


NORTH ELEVATION  
SCALE 1/8" = 1'-0"

OFFICE/REC. ELEVATIONS

**GENERAL NOTES**  
 STEEL FINISH  
 THERE SHALL BE 3 DIFFERENT COLORS TO BE USED  
 - EXTERIOR WALLS SHALL BE LIGHT BROWN, MEDIUM BROWN AND  
 DARK BROWN  
 EXPOSED WOOD  
 ALL EXPOSED WOOD SHALL BE STAINED IN COMPLEMENTARY  
 COLORS TO MATCH THE DARK BROWN AND MEDIUM BROWN  
 ARRANGED SO THAT THE COLOR OF THE STAINING IS THE  
 SAME AS THE COLOR OF THE WALLS  
 TOGETHER WITH ITS COLOR ANGLE SHALL BE SUCH THAT  
 IT WILL NOT HAVE ANY OPTIC LUMINANCE GREATER THAN 100 FOOT-CANDLES  
 AND IT SHALL NOT HAVE ANY OPTIC LUMINANCE GREATER THAN  
 100 FOOT-CANDLES IN ANY DIRECTION IN ANY RESIDENTIAL ZONE

UNIVERSITY OF MESA  
 MESA, ARIZONA  
 PROJECT NUMBER: 2008-00000  
 DATE: 08/11/08  
 DRAWING NUMBER: 5  
 PROJECT: 16-PLEX BUILDING  
 DRAWING TITLE: EXTERIOR ELEVATIONS  
 DESIGNER: [Signature]  
 CHECKED: [Signature]  
 DATE: 08/11/08



**KEYED NOTES**

- 1. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 2. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 3. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 4. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 5. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 6. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 7. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 8. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 9. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 10. 1" = 20' SCALE, EXCEPT FOR THE PLAN.

**PROJECT INFORMATION**

OWNER: MANZANO MESA EAST  
 PROJECT: MANZANO MESA EAST  
 LOCATION: TRACT 8-3 OF MANZANO MESA  
 COUNTY: SAGUO COUNTY, TEXAS  
 CITY: SAN ANTONIO, TEXAS  
 PROJECT NO.: 2008-001  
 SHEET NO.: 1 OF 1

**MANZANO MESA EAST**

OFFICE: MANZANO MESA EAST  
 PROJECT: MANZANO MESA EAST  
 LOCATION: TRACT 8-3 OF MANZANO MESA  
 COUNTY: SAGUO COUNTY, TEXAS  
 CITY: SAN ANTONIO, TEXAS  
 PROJECT NO.: 2008-001  
 SHEET NO.: 1 OF 1

**MANZANO MESA EAST**

OFFICE: MANZANO MESA EAST  
 PROJECT: MANZANO MESA EAST  
 LOCATION: TRACT 8-3 OF MANZANO MESA  
 COUNTY: SAGUO COUNTY, TEXAS  
 CITY: SAN ANTONIO, TEXAS  
 PROJECT NO.: 2008-001  
 SHEET NO.: 1 OF 1

**RADIUS LEGEND**

- 1. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 2. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 3. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 4. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 5. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 6. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 7. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 8. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 9. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 10. 1" = 20' SCALE, EXCEPT FOR THE PLAN.

**CASE NUMBER**

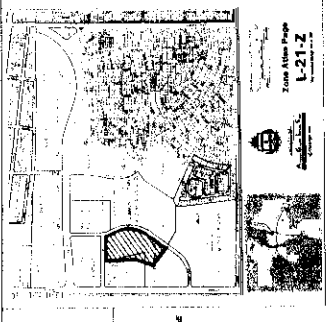
CASE NUMBER: 1  
 PROJECT: MANZANO MESA EAST  
 LOCATION: TRACT 8-3 OF MANZANO MESA  
 COUNTY: SAGUO COUNTY, TEXAS  
 CITY: SAN ANTONIO, TEXAS  
 PROJECT NO.: 2008-001  
 SHEET NO.: 1 OF 1

**DATE**

DATE: 10/1/2008  
 PROJECT: MANZANO MESA EAST  
 LOCATION: TRACT 8-3 OF MANZANO MESA  
 COUNTY: SAGUO COUNTY, TEXAS  
 CITY: SAN ANTONIO, TEXAS  
 PROJECT NO.: 2008-001  
 SHEET NO.: 1 OF 1

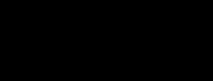
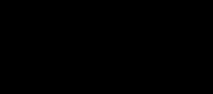
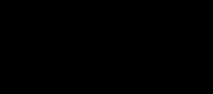
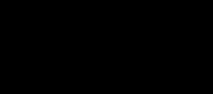
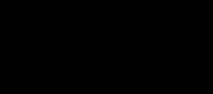
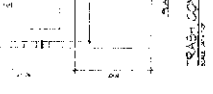


**SITE PLAN**



**CONTEXT MAP**

- 1. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 2. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 3. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 4. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 5. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 6. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 7. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 8. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 9. 1" = 20' SCALE, EXCEPT FOR THE PLAN.
- 10. 1" = 20' SCALE, EXCEPT FOR THE PLAN.



OFFICIAL NOTIFICATION OF DECISION

00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

MARCH 2, 2000

PAGE 2

On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01645, request for site plan for subdivision, based on the following findings 1-4.

**FINDINGS:**

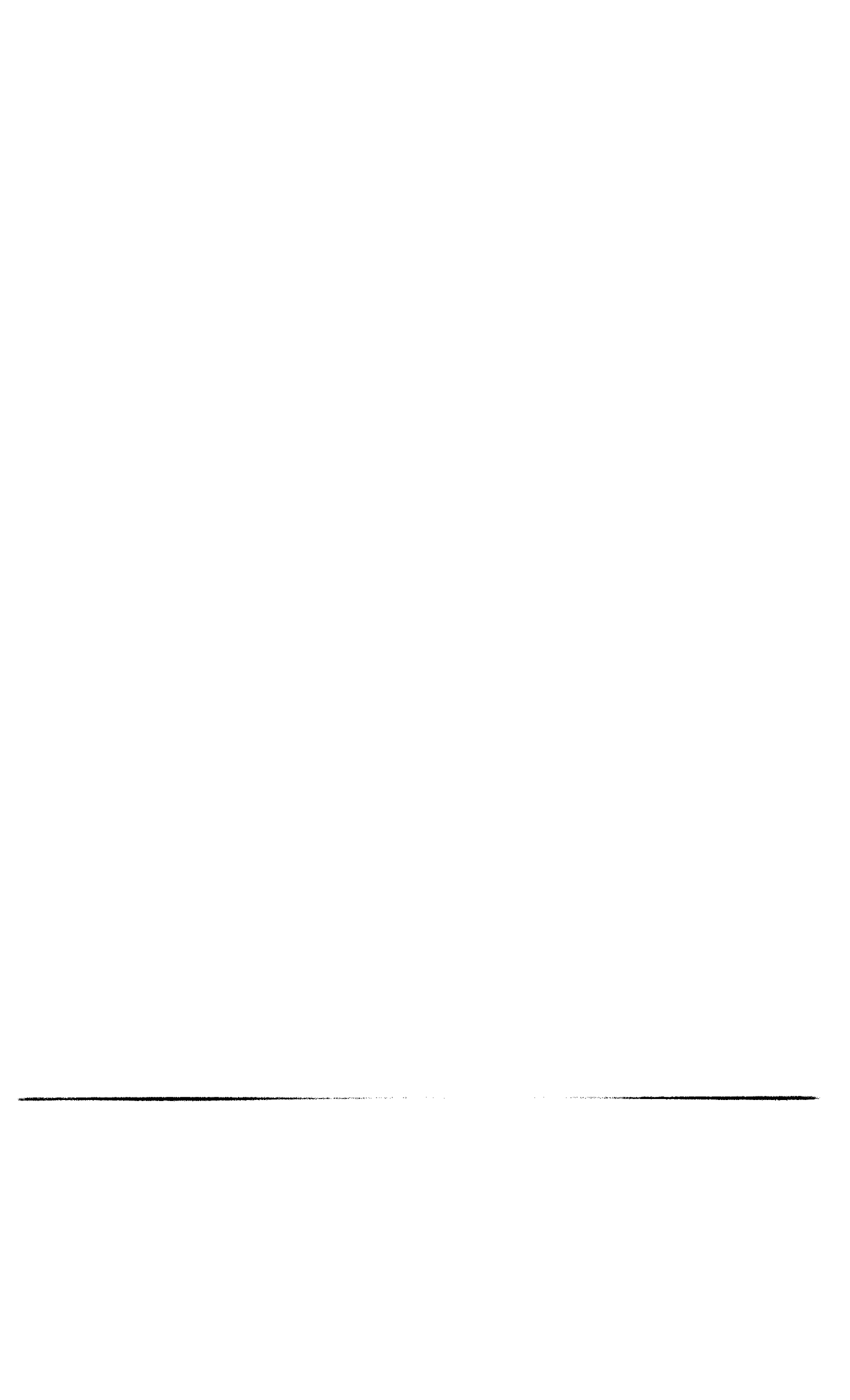
1. This is a request for a site plan for subdivision for Tracts H and G-3, an approximately 36.3 acre site and which is located on Eubank Boulevard south of Southern SE. The intent is to subdivide into three new tracts to be called Tract G-3-A, Tract G-3-B and Tract H-1.
  2. A site plan for subdivision is required for approval of SU-1 zoning.
  3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
  3. The site development plan for subdivision meets all of the requirements of the Zoning Code.
- 

On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01646, request for site plan for building permit, based on the following findings 1-5, and subject to the following conditions 1-18.

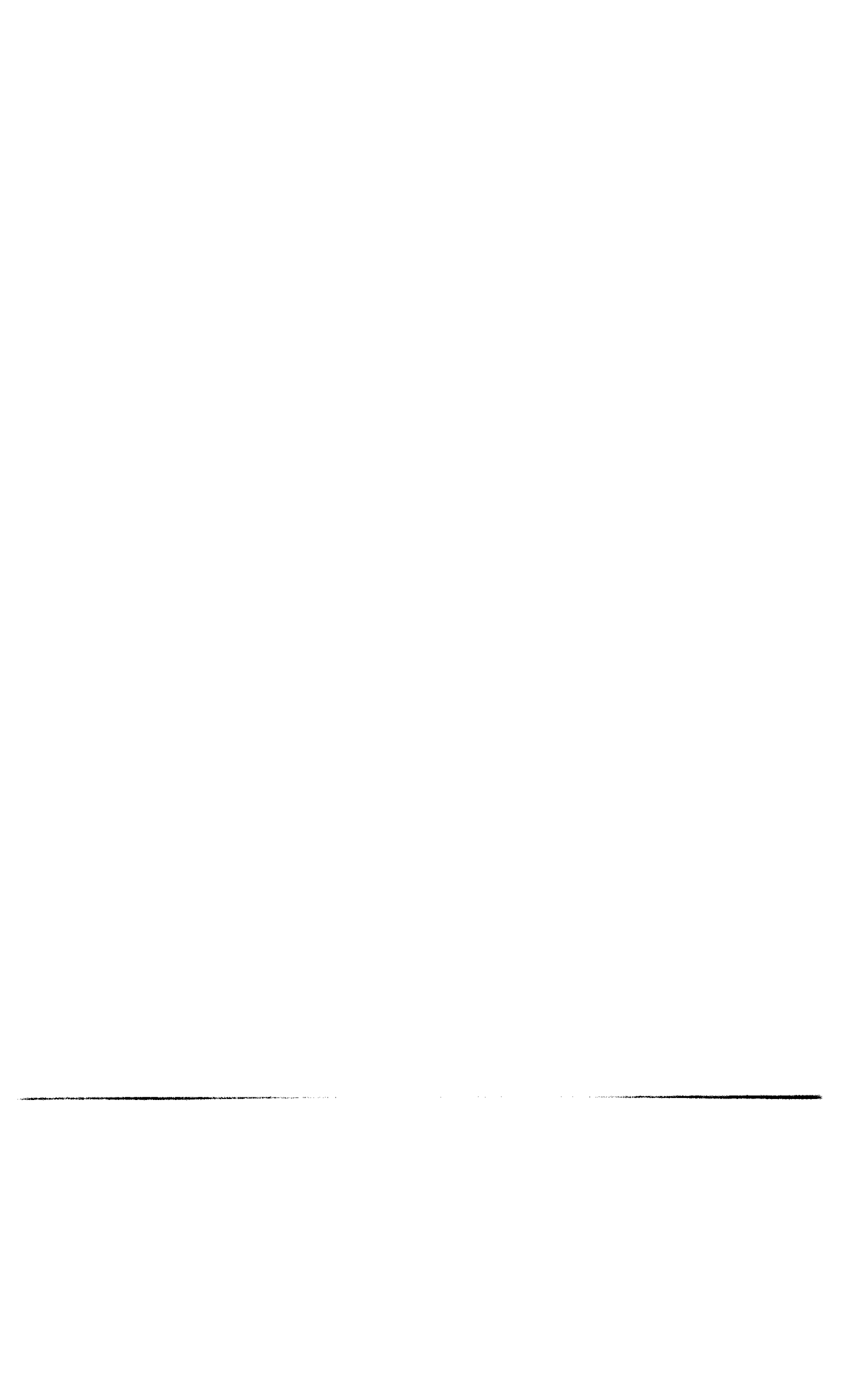
**FINDINGS:**

1. The site development plan for building permit furthers the applicable goals and policies of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed for the connections between the two complexes.
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.





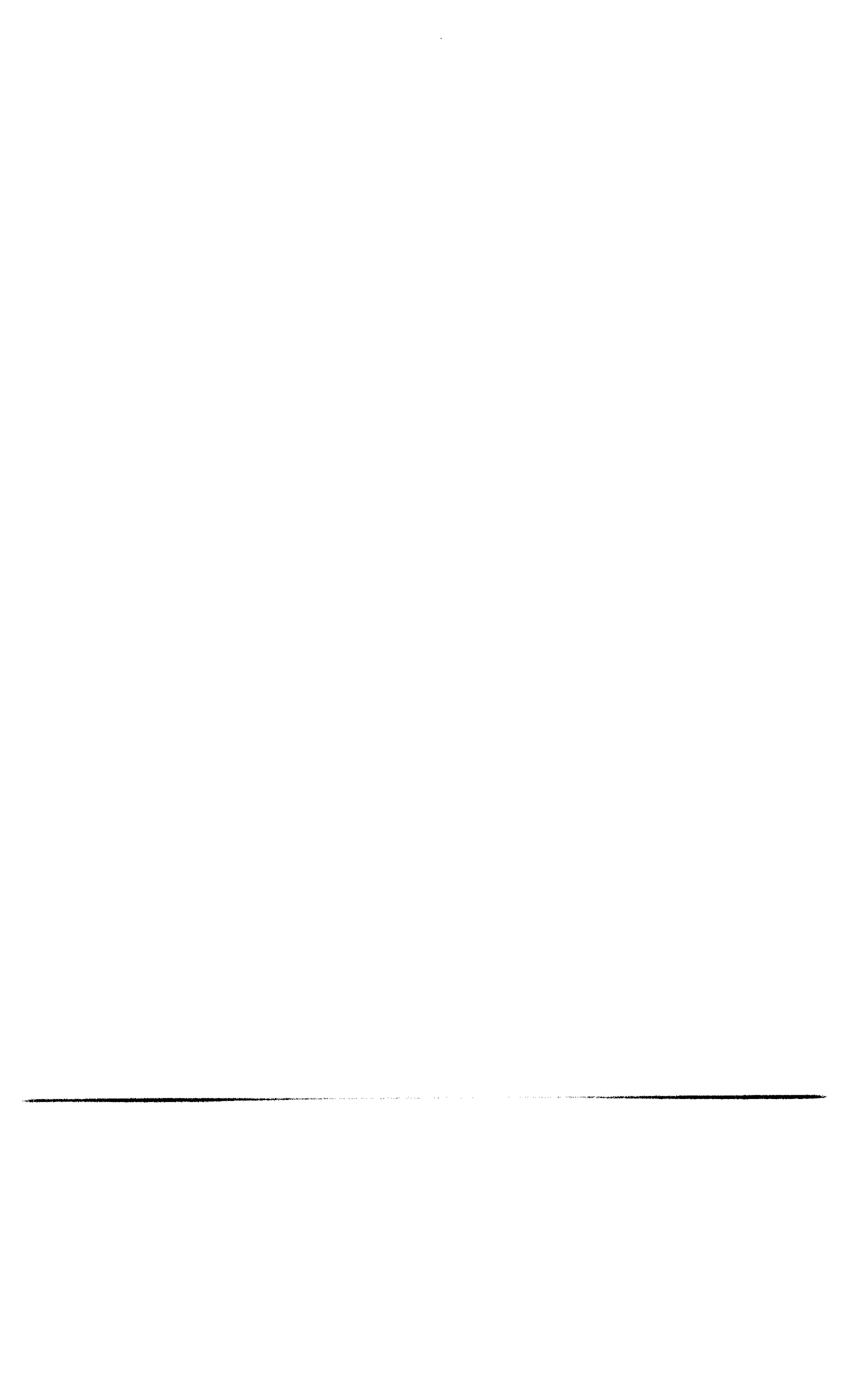


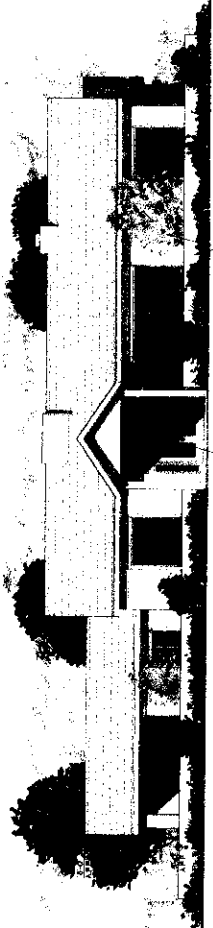




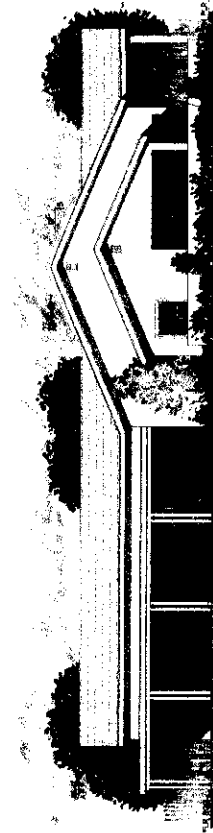
---







EAST ELEVATION  
SCALE 1/8" = 1'-0"



SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



NORTH ELEVATION  
SCALE 1/8" = 1'-0"

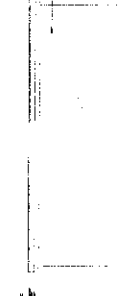


WEST ELEVATION  
SCALE 1/8" = 1'-0"

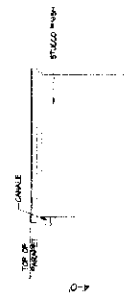
OFFICE/REC. ELEVATIONS



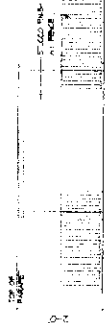
GARAGE FRONT ELEVATION  
SCALE 1/8" = 1'-0"



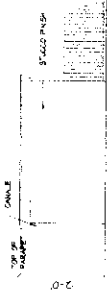
GARAGE REAR ELEVATION  
SCALE 1/8" = 1'-0"



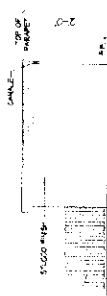
GARAGE SIDE ELEVATION  
SCALE 1/8" = 1'-0"



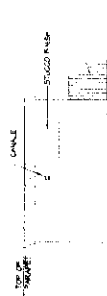
POOL EQUIPMENT  
NORTH ELEVATION  
SCALE 1/8" = 1'-0"



POOL EQUIPMENT  
EAST ELEVATION  
SCALE 1/8" = 1'-0"



POOL EQUIPMENT  
WEST ELEVATION  
SCALE 1/8" = 1'-0"



POOL EQUIPMENT  
SOUTH ELEVATION  
SCALE 1/8" = 1'-0"

GENERAL NOTES

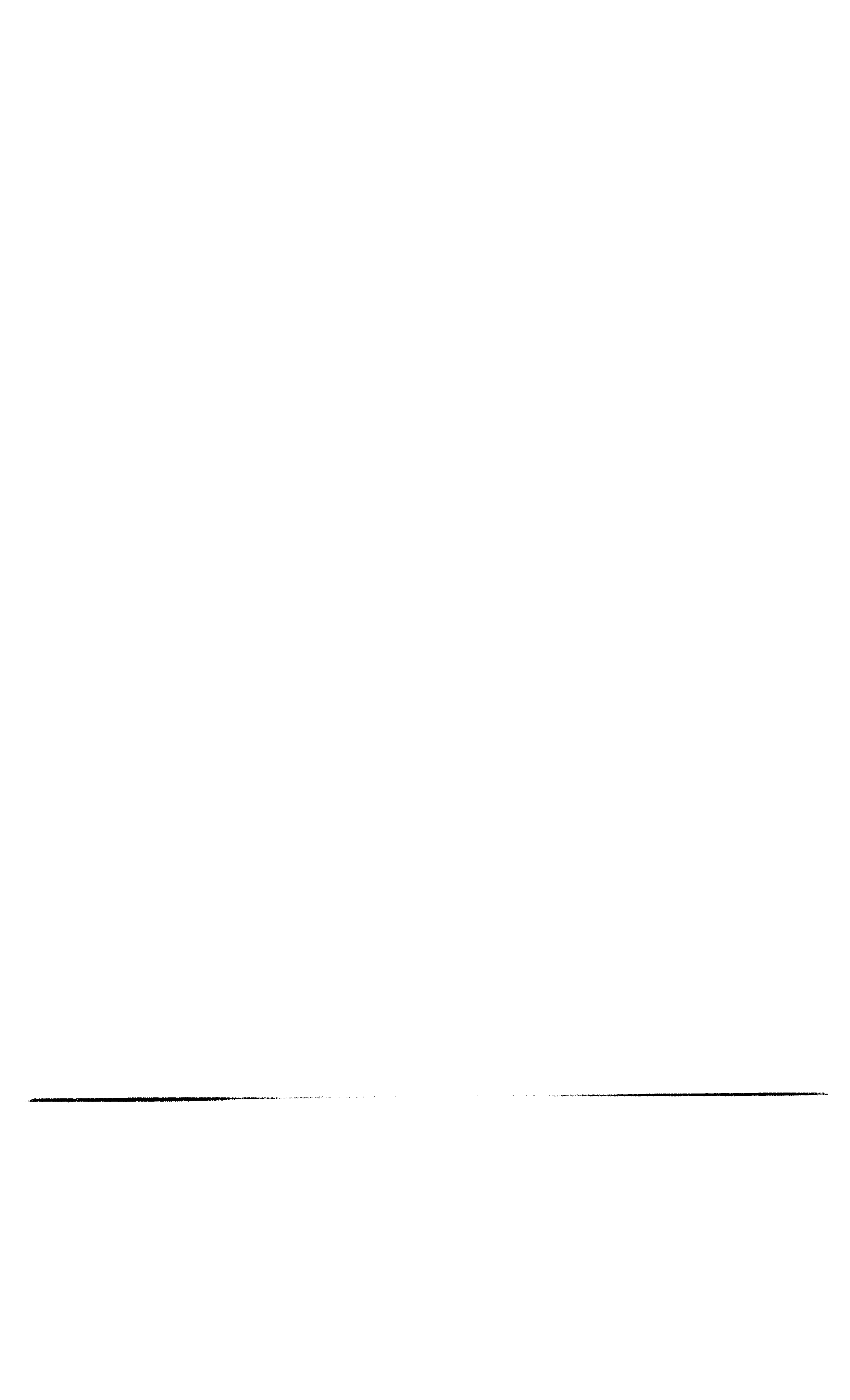
STUCCO FINISH  
FINISHES SHALL BE DIFFERENT COLORS TO BE USED  
AS SHOWN ON THE DRAWINGS. FINISH COLORS SHALL BE LIGHT BEIGE, MEDIUM BEIGE,  
DARK BEIGE.  
EXPOSED WOOD  
ALL EXPOSED WOOD SHALL BE STAINED IN COMPLIANCE  
WITH THE APPLICABLE CODES. STAINING SHALL BE  
ARRANGED SO THAT THE LOCATION OF THE STAINING PARTS BE  
INDICATED ON THE DRAWINGS. FINISHES SHALL BE SUCH THAT  
THEY WILL NOT CRACK, DISCOLOR, OR BE DAMAGED BY  
WATER OR WEATHER. FINISHES SHALL BE APPLIED IN ACCORDANCE  
WITH THE MANUFACTURER'S INSTRUCTIONS. FINISHES SHALL BE  
APPLIED IN ACCORDANCE WITH THE APPLICABLE CODES.  
IN A RESIDENTIAL ZONE.

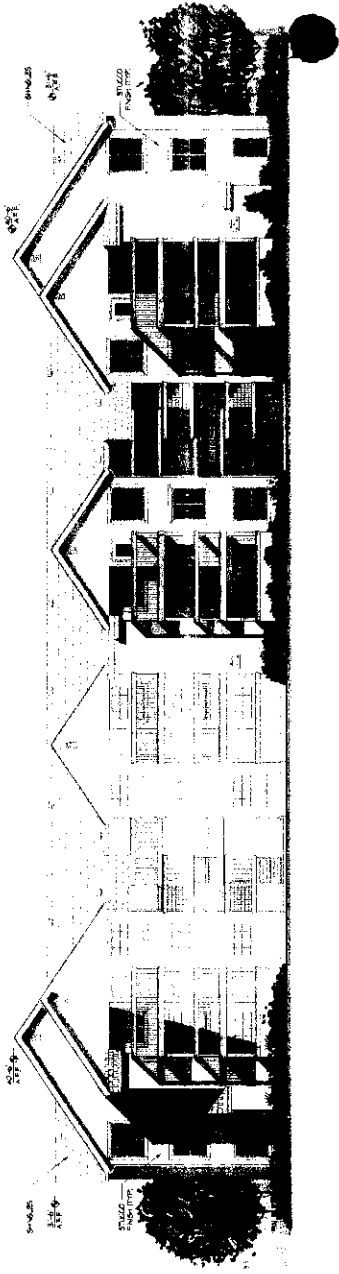
MANZANO MESA EAST  
15000 N. MANZANO MESA EAST  
SUITE 100  
DUBLIN, CALIFORNIA 94568  
PHONE: (925) 835-1000  
FAX: (925) 835-1001  
WWW: WWW.MANZANOMESA.COM

DATE: 10/15/03  
DRAWN BY: J. L. BROWN  
CHECKED BY: J. L. BROWN  
SCALE: 1/8" = 1'-0"

5







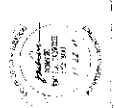
24-PLEX BUILDING - FRONT / REAR ELEVATION



24-PLEX BUILDING - SIDE ELEVATION

BLDG  
H

BUILDING SIGNAGE

		<p>6</p>
<p>MANIZAS MESA EAS™ ALVARO DE LA TORRE PROYECTO MANIZAS CALLE DE LA TORRE NO. 3000 TOLUCA, MEXICO</p>		
<p>delia domo arquitectura paisa ALVARO DE LA TORRE CALLE DE LA TORRE NO. 3000 TOLUCA, MEXICO</p>		

OFFICIAL NOTIFICATION OF DECISION

00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

MARCH 2, 2000

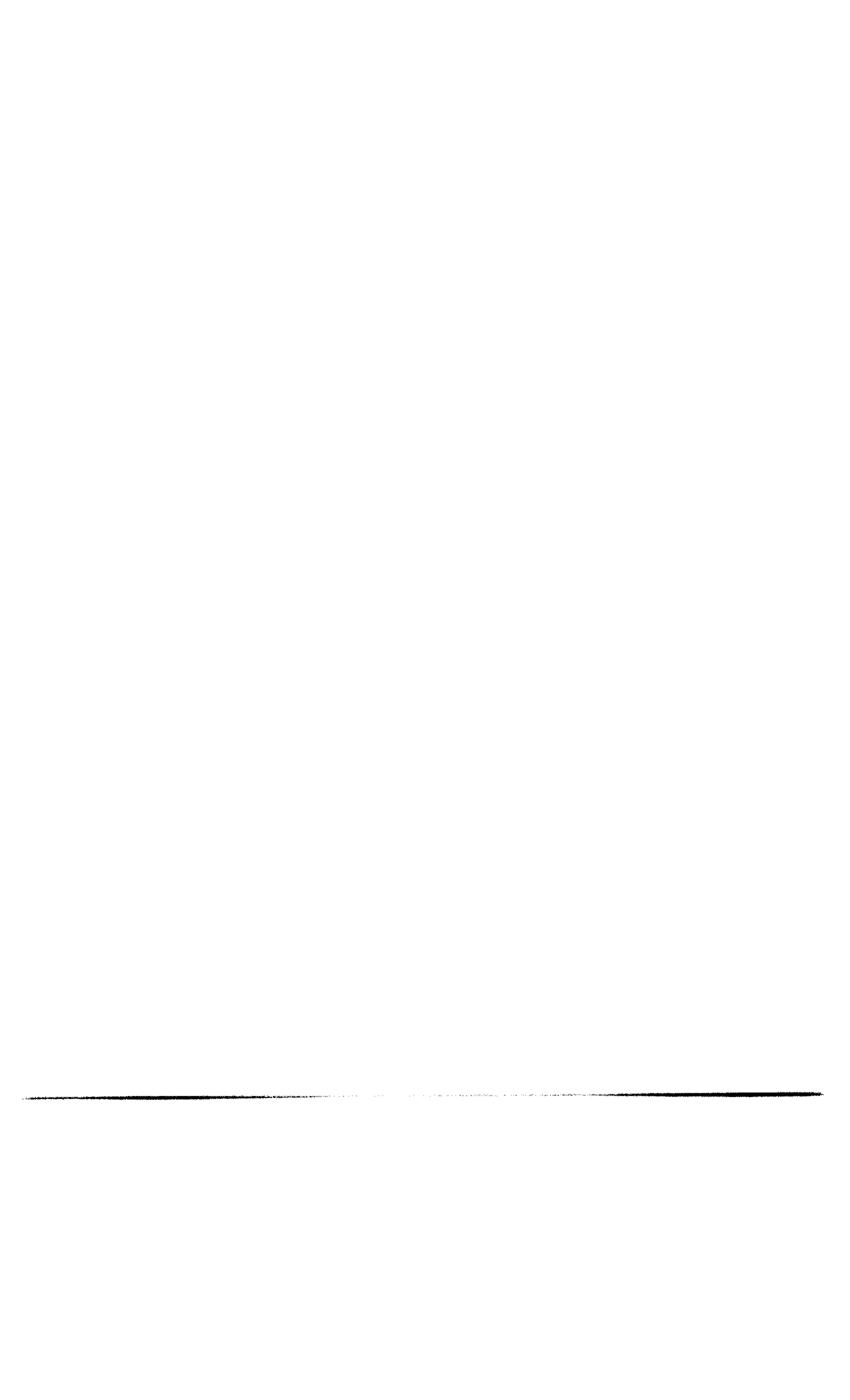
PAGE 3

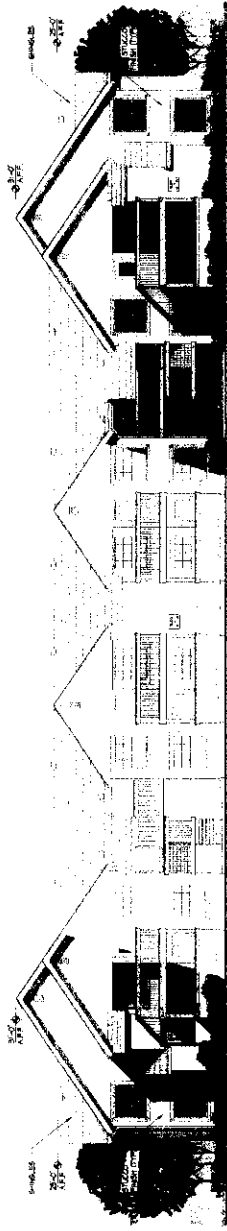
5. The submittal will be adequate with some changes and additions.

**CONDITIONS:**

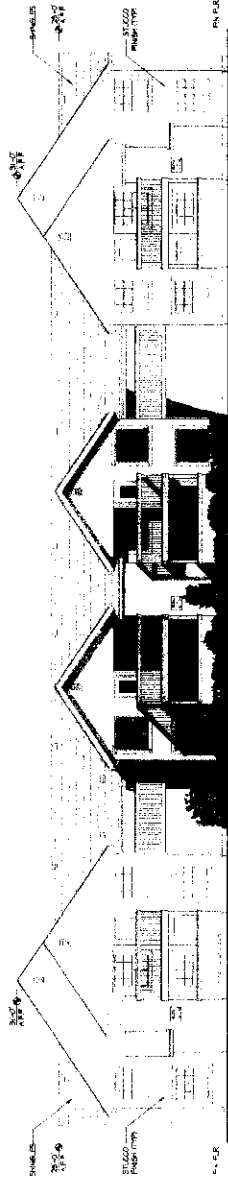
1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
3. All exterior sidewalks and internal walkways shall be marked as a minimum 6-foot wide on the site plan. At points where bicyclists and pedestrian traffic may conflict, (for example, near external trail access points) measures such as widening shall be taken to minimize those conflicts.
4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
6. Clearly marked and centrally located pedestrian access shall be provided between and through this development and the proposed apartment complex adjacent to this site.
7. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
10. Lettering, colors, and content of the monument sign shall be shown on the site plan for building permit.
11. Pool and equipment room elevations that compliment the architecture of the apartment buildings shall be shown on the site plan.
12. Design of the 10-foot asphalt trail along Eubank in this area shall be coordinated with the Trails Planner Diane Scena.

-7-

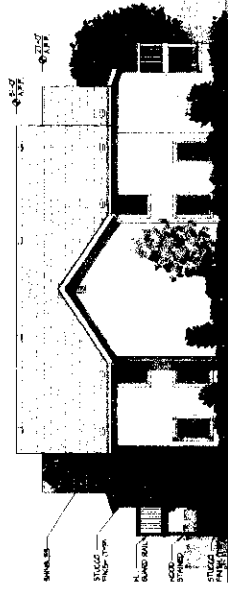




16-FLEX BUILDING - FRONT ELEVATION



16-FLEX BUILDING - REAR ELEVATION



16-FLEX BUILDING - SIDE ELEVATION

BLDG  
H

BUILDING SIGNAGE

	<b>VANYANO MESA EAS</b> ENGINEER 2400 ALBUQUERQUE, N.W. AVE. SUITE 100 ALBUQUERQUE, NM 87110 PROJECT MANAGER PHONE: 505.263.1816 FAX: 505.263.1817 CELL: 505.263.1818	<b>7</b> 06-16-2008 16-FLEX BUILDING - SIDE ELEVATION
	de la Torre Architects PLLC 2400 ALBUQUERQUE, N.W. AVE. SUITE 100 ALBUQUERQUE, NM 87110 PHONE: 505.263.1816 FAX: 505.263.1817 CELL: 505.263.1818	

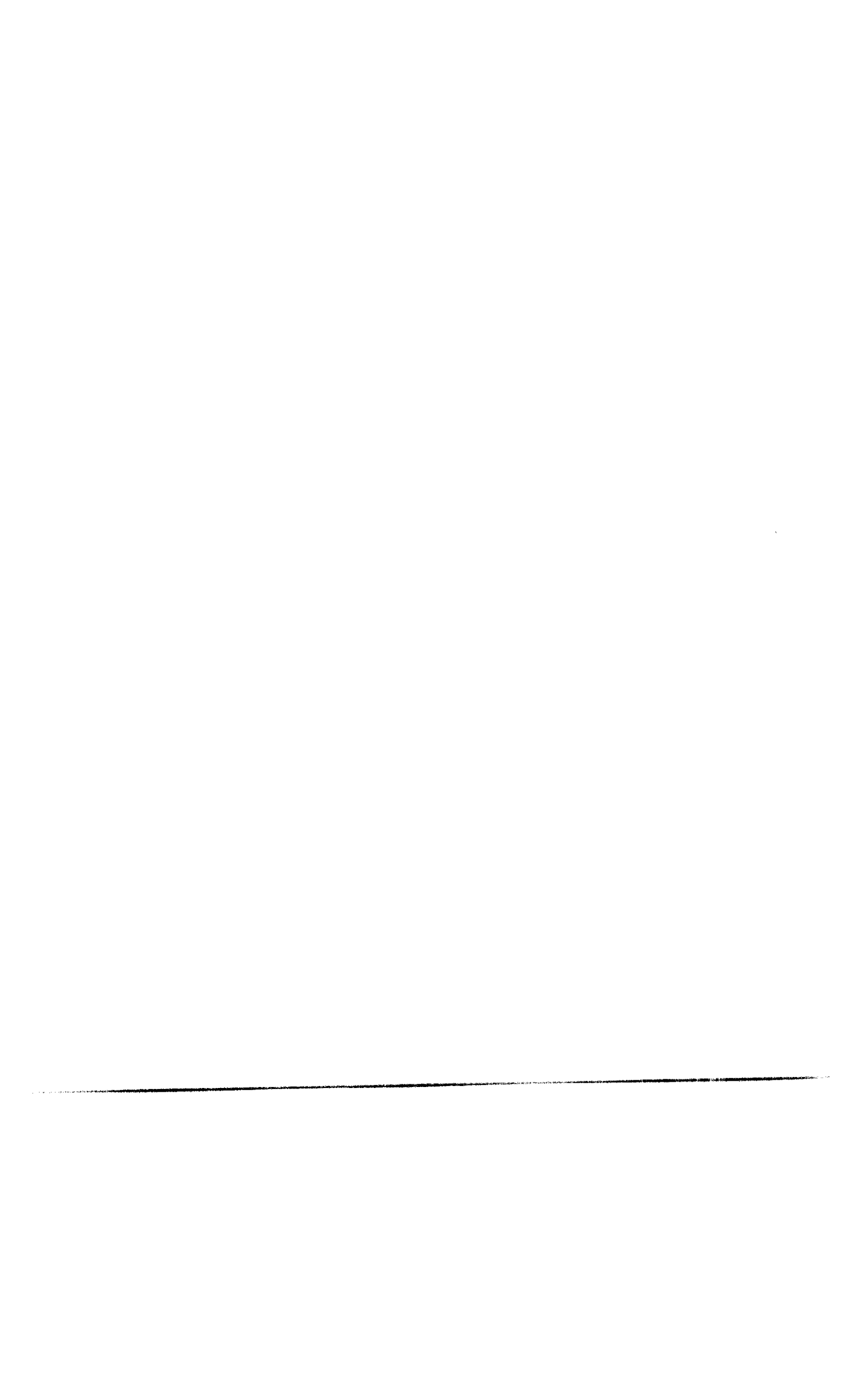
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# General Ledger Transactions - Current Fiscal Year (NP)

Snapshot Time: 2/22/01 03:31PM

Drill Through: Account Description - GL Transactions Historical (NP) (Filters: Activity & Account)

Account Description	Date Posted	Source Cd	Dr Cr	Amount	Description 1	Description 2
4961000 COMMUNITY AND NEIGHBORHOOD COORDINATION						
0510800 TEMPORARY WAGES	07/14/2000	16071400	10	400.00	PAY PER01 PPE 07/14/2000	
	01/12/2001	16011201	10	320.00	PAY PER14 PPE 01/12/2001	
	01/26/2001	16012601	10	320.00	PAY PER15 PPE 01/26/2001	
Account Total				1,040.00		
Activity Total				1,040.00		
Report Total				1,040.00		





City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: January 19, 2001


**OFFICIAL NOTIFICATION OF DECISION**

GSL Properties, Inc.  
2164 S.W. Park Place  
Portland, Or 97205

FILE: 00110 00000 01644/00128 00000  
01645/00128 00000 01646/00128 00000 01647  
LEGAL DESCRIPTION: for Tract G-3 & Tract  
H-1, Manzano Mesa Addition, located on Eubank  
SE between Central Avenue SE and Sandia  
National Labs SE, containing approximately 36.3  
acres. (L-21) Debbie Stover, Staff Planner

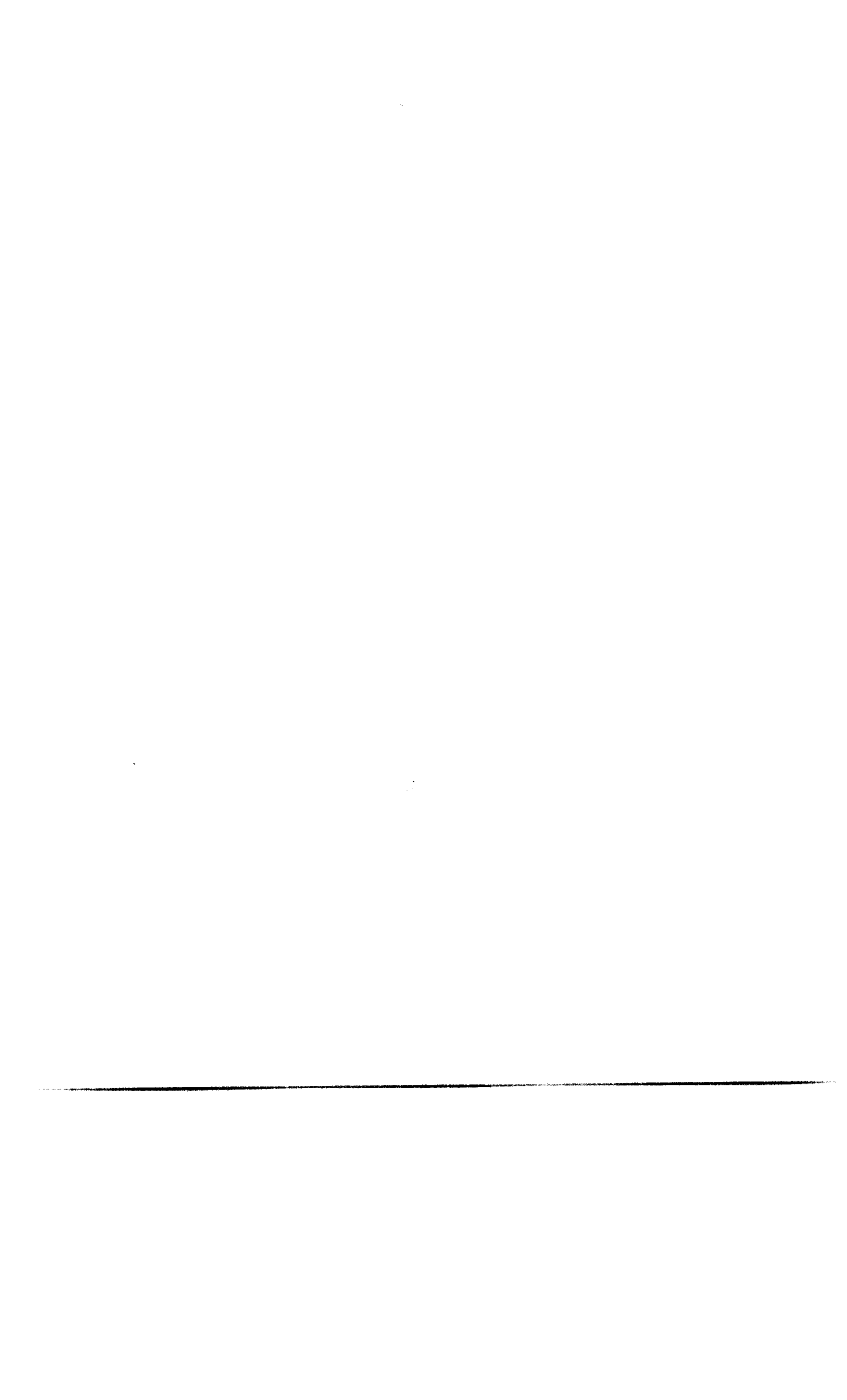
On January 18, 2001, the Environmental Planning Commission voted to continue 00110 00000  
01644/00128 00000 01645/00128 00000 01646/00128 00000 01647 to the Environmental Planning  
Commission Public Hearing on February 8, 2001.

Sincerely,

  
For Robert R. McCabe, AIA, APA  
Planning Director

RM/DS/ac

cc: Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123



# City of Albuquerque



## DEVELOPMENT REVIEW APPLICATION

Supplemental form		Supplemental form	
<b>SUBDIVISION</b>	<b>S</b>	<b>ZONING</b>	<b>Z</b>
<input type="checkbox"/> Major Subdivision Plat		<input type="checkbox"/> Annexation & Zone Establishment	
<input type="checkbox"/> Minor Subdivision Plat		<input type="checkbox"/> Sector Plan	
<input type="checkbox"/> Vacation	<b>V</b>	<input checked="" type="checkbox"/> Zone Change	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Text Amendment	
		<input type="checkbox"/> Special Exception	<b>E</b>
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<b>APPEAL / PROTEST of...</b>	<b>A</b>
<input checked="" type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Decision by: Planning Director	
<input checked="" type="checkbox"/> (2)X ...for Building Permit		<input type="checkbox"/> or Staff, DRB, EPC, Zoning Board of Appeals, LUCC	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC) L			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: GSL Properties, Inc. PHONE: (503) 224-2554  
 ADDRESS: 2164 S.W. Park Place FAX: (503) 223-4463  
 CITY: Portland STATE OR: \_\_\_\_\_ ZIP: 97205 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner  
 AGENT (if any): Consensus Planning, Inc. PHONE: (505) 764-9801  
 ADDRESS: 924 Park Avenue SW FAX: (505) 842-5495  
 CITY: Albuquerque STATE NM ZIP: 87102 E-MAIL: cp@consensusplanning.com

DESCRIPTION OF REQUEST: Zone change, Site Plan for Subdivision, two Site Plans for building permit

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract G-3 & Tract H-1 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. Manzano Mesa Addition  
 Current Zoning: SU-1 for O-1, SU-1 for R-2 Proposed zoning: Same, only relocate current zoning to other area  
 Zone Atlas page(s): L-21 No. of existing lots: 2 No. of proposed lots: 2  
 Total area of site (acres): 36.3 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes No \_\_\_\_\_, but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill?  No  
 UPC No. 102105603321730314/102105606915330301 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: Eubank SE  
 Between: Central SE and Sandia National Labs SE

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): Z-910, AX-24, Z-96-94, Z-96-31, Z-96-9,

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 9/19/00

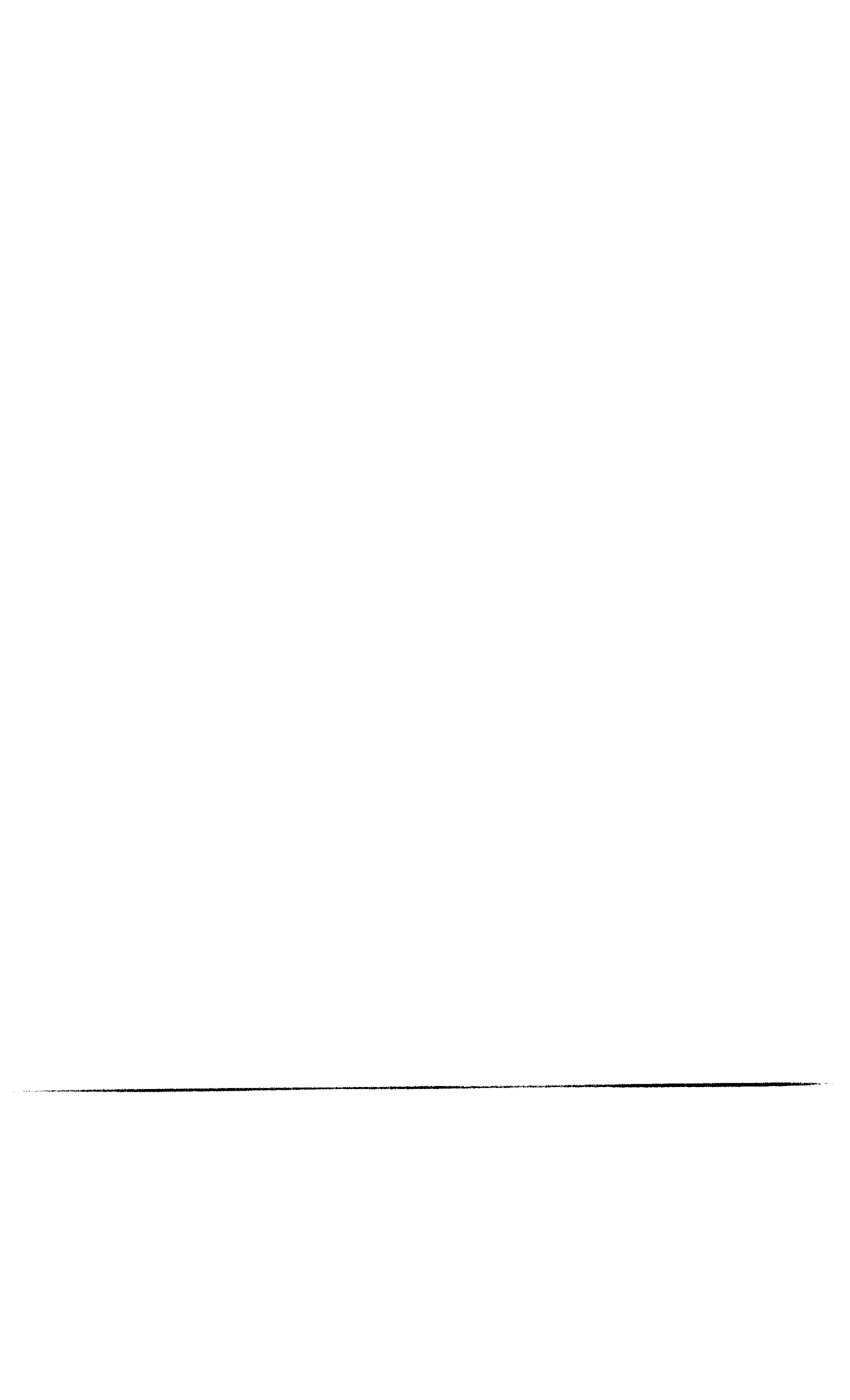
SIGNATURE [Signature] DATE 11/27/00  
 (Print) James K. Strozic Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised September 2000

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>00110 -00000 -01644</u>	<u>AZM</u>	<u>Z</u>	<u>\$1603.55</u>
<input type="checkbox"/> All fees have been collected	<u>00128 -00000 -01645</u>	<u>SDPS</u>	<u>PI</u>	<u>\$</u>
<input type="checkbox"/> All case #s are assigned	<u>00128 -00000 -01646</u>	<u>SDPB</u>	<u>PI</u>	<u>\$</u>
<input type="checkbox"/> AGIS copy has been sent	<u>00128 -00000 -01647</u>	<u>SDPB</u>	<u>PI</u>	<u>\$</u>
<input type="checkbox"/> Case history #s are listed				
<input type="checkbox"/> Site is within 1000ft of a landfill				
<input type="checkbox"/> F.H.D.P. density bonus				
<input type="checkbox"/> F.H.D.P. fee rebate				
	Hearing date <u>1-18-01</u>			Total <u>\$1603.55</u>

[Signature] 11/27/00 Project # 1000938  
 Planner signature / date



**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**IP MASTER DEVELOPMENT PLAN**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.  
For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
  - Site plans and related drawings reduced to 8.5" x 11" format
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility development)
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT OF WIRELESS TELECOM FACILITY**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **30** copies for EPC public hearings.
  - Site plans and related drawings reduced to 8.5" x 11" format
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility development) *in drawings sets*
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- NOTE:** For wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required in addition to those listed above for application submittal:
- Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
  - Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
  - Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
  - Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
  - Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
  - Registered Engineer's stamp on the Site Development Plans
  - Office of Community & Neighborhood Coordination inquiry response as above based on ¼ mile radius
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30** copies for EPC public hearings
  - Site plans and related drawings reduced to 8.5" x 11" format
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozier (agent)  
Applicant name (print)

[Signature] 11/27/00  
Applicant signature / date



Form revised September 2000

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 00128 - 00000 - 01643 SDPS  
 00128 - 00000 - 01646 SDPB  
 00128 - 00000 - 01647 SDPB

Z. Chavez 11/27/00  
Planner signature / date

Project # 1000938

OFFICIAL NOTIFICATION OF DECISION

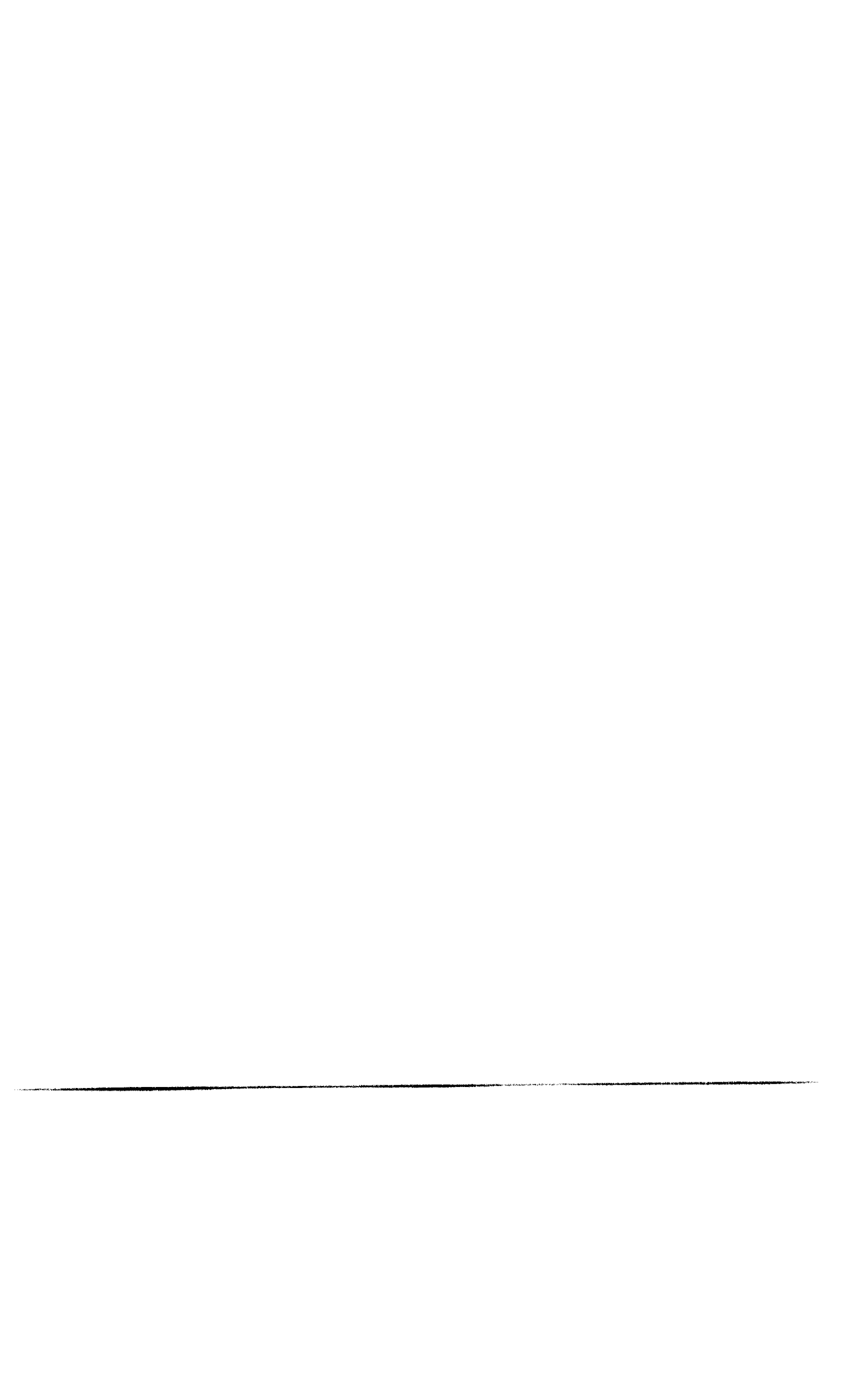
00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

MARCH 2, 2000

PAGE 4

13. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
  14. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
  15. No chainlink, razor wire or plastic/vinyl fencing is permitted.
  16. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
  17. All walls must conform to the City's Wall Design Standards publication.
  - 18. Transportation Development Services:**
    - A) The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
    - B) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets.
    - C) Proposed circulation drives and internal parking areas must be paved as per DPM standards.
    - D) The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
    - E) Location of refuse enclosures, walls, fences and signs must meet the clear sight distance requirements.
    - F) Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
    - G) Coordination with the Solid Waste Department with regard to refuse container location and access.
    - H) Street Trees are required along Eubank Boulevard.
  19. The Utility plan appears to show the private water system with illegal looping connection to public lines. This must be corrected. A water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action. Request left turn bays be introduced on Eubank to allow good access to the project location.
- 

On March 1, 2001, the Environmental Planning Commission voted to Approval of 00110 00000 01647, request for site plan for building permit, based on the following findings 1-4, and subject to the following conditions 1-6.



# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: BOHANNAN HUSTON and CONSENSUS PLANNING Date of request: 11/21/00 Zone atlas page(s): L-21

CURRENT: Zoning SU-1 for O-1, Tract H, SU-1 for R-2, Tract G3 Legal Description - Lot or Tract # portions of Block # —

Parcel Size (acres / sq.ft.) \_\_\_\_\_ Subdivision Name Tract H and G3, Manzano Mesa

REQUESTED CITY ACTION(S):

Annexation [ ]	Sector Plan [ ]	Site Development Plan:	Building Permit [ ]
Comp. Plan [ ]	Zone Change [ <input checked="" type="checkbox"/> ]	a) Subdivision [ <input checked="" type="checkbox"/> ]	Access Permit [ ]
Amendment [ ]	Conditional Use [ ]	b) Build'g Purposes [ <input checked="" type="checkbox"/> ]	Other [ ]
		c) Amendment [ ]	

PROPOSED DEVELOPMENT:

No construction / development [ ]	GENERAL DESCRIPTION OF ACTION: 1
New Construction [ <input checked="" type="checkbox"/> ]	# of units - <u>500</u> <u>apartment units on</u>
Expansion of existing development [ ]	Building Size - <u>—</u> (sq. ft.) <u>23 acres</u>

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative [Signature] Date 11/22/00  
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [  ] NO [ ] BORDERLINE [ ]  
PWD, Dev. & Bldg. Services Div., Transportation Dev. Section - 2nd FL. 600 2nd St. NW Plaza del Sol Bldg. 924-3991 or 3994

THRESHOLDS MET? YES [  ] NO [ ] Mitigating reasons for not requiring TIS: Previously studied: [ ]  
Notes: Part of Manzano Mesa Master Plan, individual mitigation measures will be required. TIS will not be required.

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature] 11/22/00  
TRAFFIC ENGINEER DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES [ ] NO [  ] BORDERLINE [ ]  
ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 788-2800

THRESHOLDS MET? YES [ ] NO [  ] Mitigating reasons for not requiring AQIA: Previously studied: [ ]  
Notes:

IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

[Signature] 11/22/00  
ENVIRONMENTAL HEALTH DATE

Required TIS and / or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

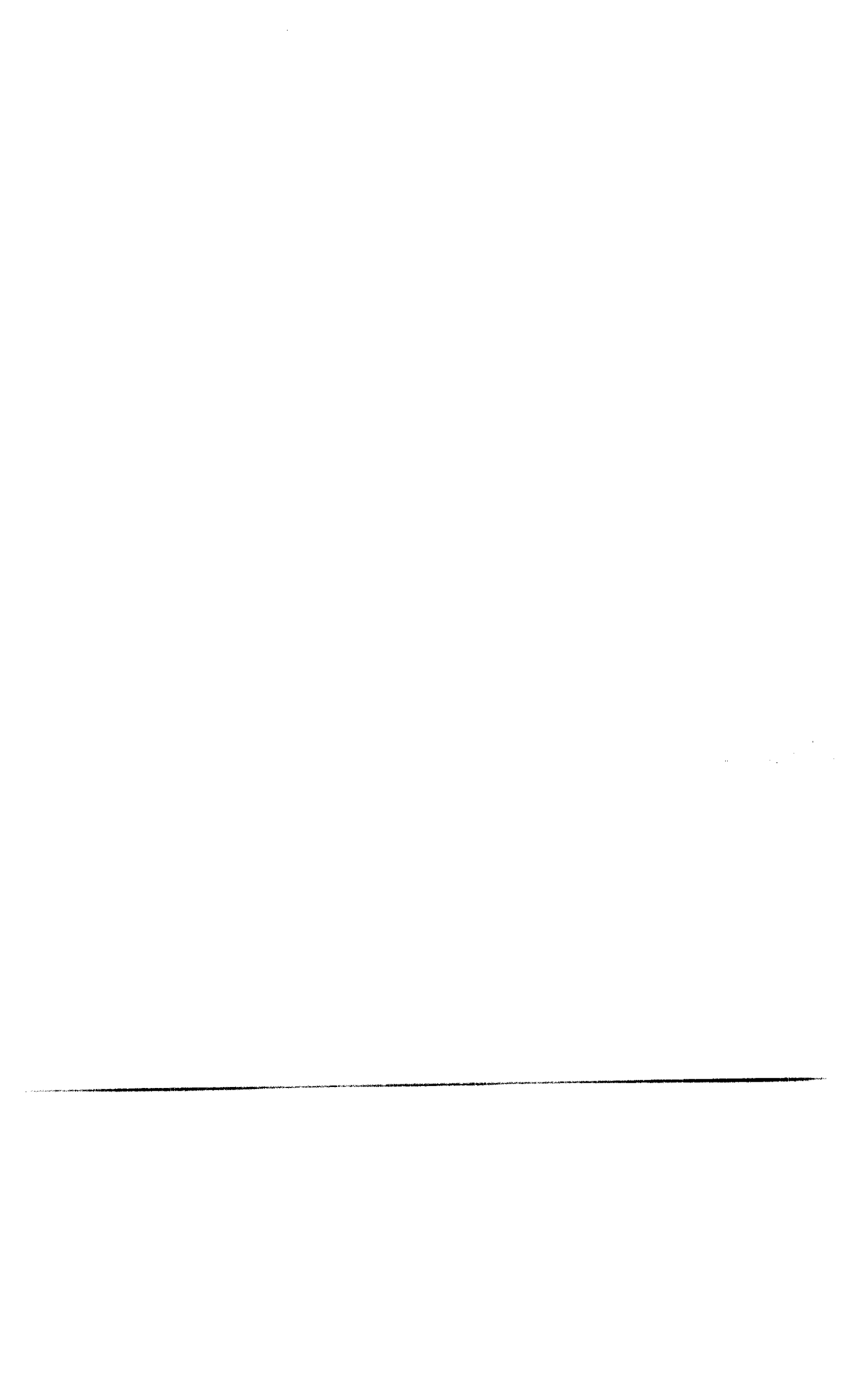
TIS	- SUBMITTED	<u>— / — / —</u>	_____	_____
	- FINALIZED	<u>— / — / —</u>	TRAFFIC ENGINEER	DATE
AQIA	- SUBMITTED	<u>— / — / —</u>	_____	_____
	- FINALIZED	<u>— / — / —</u>	ENVIRONMENTAL HEALTH	DATE

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH





**FORM Z: ZONE MAP AMENDMENT AND ZONING CODE TEXT AMENDMENT**

**ANNEXATION AND ESTABLISHMENT OF ZONING**

- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- NOTE: The Zone Atlas must show that the site is in County jurisdiction, but is contiguous to City limits.
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Property Boundary Survey prepared by a licensed professional surveyor
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

**SECTOR DEVELOPMENT PLAN PHASE I - DRB CONCEPTUAL PLAN REVIEW (Unadvertised)**

**SECTOR DEVELOPMENT PLAN PHASE II - EPC FINAL REVIEW & APPROVAL (Public Hearing)**

**SECTOR DEVELOPMENT PLAN PHASE II - DRB FINAL SIGN-OFF (Unadvertised)**

- Copy of findings from required pre-application meeting (for the DRB conceptual plan review only)
- Proposed Sector Plan (30 copies for EPC, 6 copies for DRB)
- Zone Atlas map with the entire plan area precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts (for EPC final review and approval public hearing only)
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form (for EPC final review and approval public hearing only)
- Fee for final review and approval only (see schedule)
- Any original and/or related file numbers are listed on the cover application

Refer to the schedules for the dates, times and places of D.R.B. unadvertised meetings and E.P.C. hearings. **Your attendance is required.**

**AMENDMENT TO ZONE MAP (ZONE CHANGE)**

- Application for sector development plan amendment (required only if site is within a sector plan's boundaries.)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- NOTE: Justifications must adhere to the policies contained in "Resolution 270-1980"
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

**AMENDMENT TO SECTOR DEVELOPMENT PLAN**

- Proposed Amendment referenced to the materials in the sector plan being amended
- Sector Plan to be amended with materials to be changed noted and marked
- Zone Atlas map with the entire plan area precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

**AMENDMENT TO ZONING CODE OR SUBDIVISION REGULATIONS TEXT**

- Amendment referenced to the sections of the Zone Code being amended
- Sections of the Zone Code to be amended with text to be changed noted and marked
- Letter briefly describing, explaining, and justifying the request
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strouver (agent)

Applicant name (print)

[Signature]

Applicant signature / date



Form revised September 2000

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

00110-00000-01644

J. Cruz 11/27/00

Planner signature / date

Project # 1000938



## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Since development proposals vary in type and scale, there may be application requirements that are not included here. Nonetheless, it is the applicant's responsibility to provide a complete submittal. Incomplete submittals will be rejected. Site development plans submitted will ordinarily be composed of the following plan sheets:

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading Plan
4. Building and Structure Elevations

Submitted plans shall be organized in the above manner. The following checklist describes the minimum information necessary for element. The Applicant shall check off all items shown on the site plan or label as NA, if not applicable.

### Accompanying Material - Fee payment

- A. Complete application with summary.  
 B. 8 1/2" x 11" reductions

### SHEET #1 - SITE PLAN

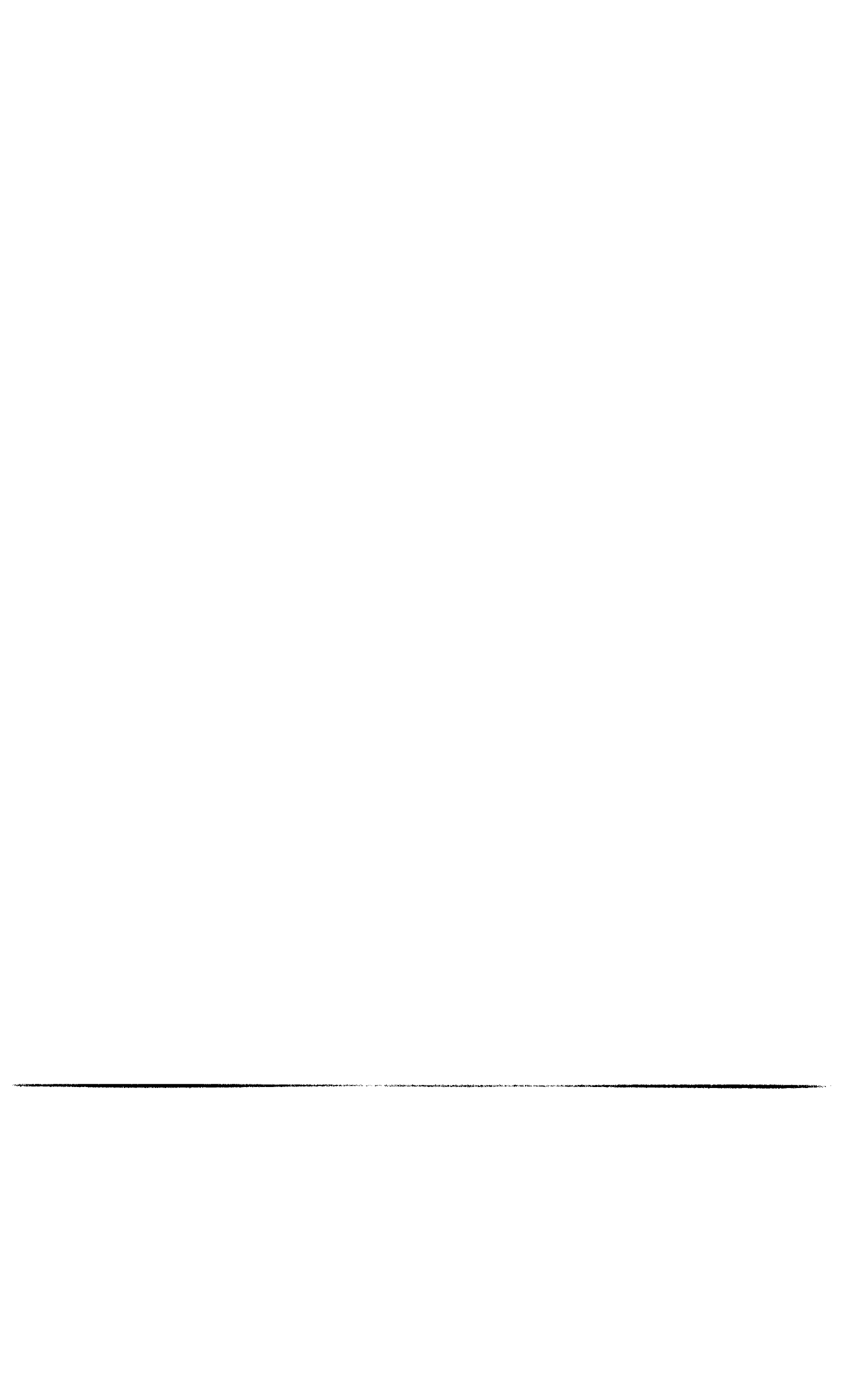
#### A. General Information

1. Scale
- |                                   |           |
|-----------------------------------|-----------|
| Under 1.0 acre                    | 1" = 10'  |
| 1.0 - 5.0 acres                   | 1" = 20'  |
| Over 5 acres                      | 1" = 50'  |
| Over 20 acres                     | 1" = 100' |
| Other scales as approved by staff |           |
2. Bar Scale  
 3. North Arrow  
 4. Scaled Vicinity Map  
 NA 5. Existing structures on site and on sites adjacent to the proposal that may impact, or may be impacted by the project.  
 6. Property lines  
 7. Existing and proposed easements (identify each)

#### B. Proposed Development

##### 1. Structural

- A. Location of existing and proposed structures on the property and on adjacent properties, including privacy and retaining walls (distinguish between proposed and existing structures).  
 B. Square footage of each structure  
 C. Proposed use of each structure  
 NA D. Temporary structures, signs and other improvements  
 E. Wall(s), fence(s), and screening: height, length, color and materials. Show cross-sections for retaining walls.



- F. Dimensions of all principal site elements
- G. Loading facilities
- H. Site lighting (height, type, and intensity)

**2. Non-Structural and Parking**

- A. Parking design with spaces numbered per aisle.
  - 1. Location
  - 2. Arrangements
  - 3. Dimensions and curve radii
  - 4. Turning spaces
  - 5. Drives
  - 6. Aisles
  - 7. Ingress
  - 8. Egress
  - 9. Number of spaces required: 404
  - 10. Handicapped parking, spaces required: 12
- B. Bicycle racks, spaces required: NA. 112
- C. Elevation drawing of refuse container and enclosure, if applicable.

**C. Street and Circulation**

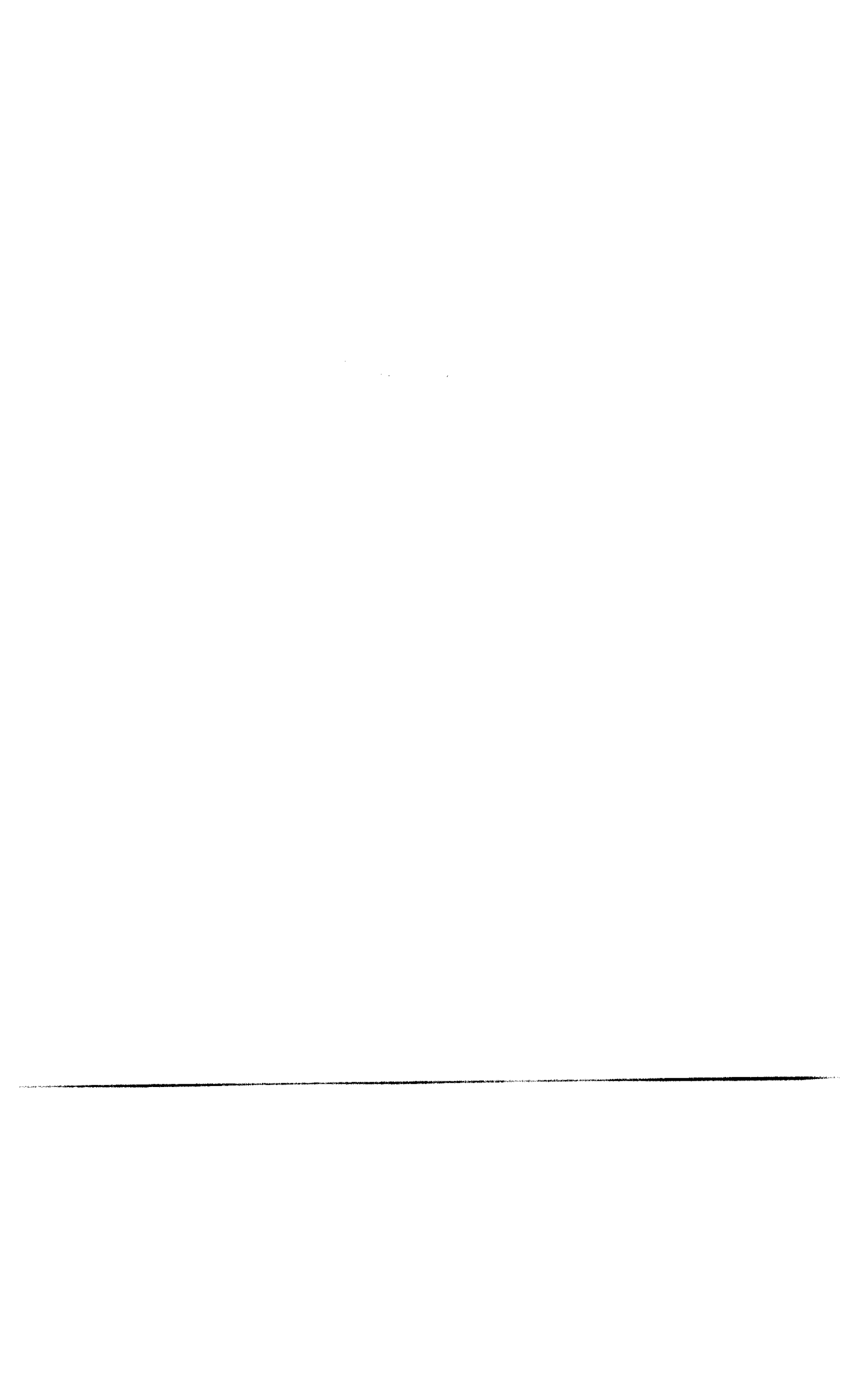
- 1. Identification and location of public and private streets and alleys with proper name, existing and proposed width dimensions.
- 2. Curve radii
- 3. Right-of-Way width
- 4. Pavement width (flow line to flow line) including medians and median cuts.
- 5. Sidewalk widths and locations, existing and proposed.
- 6. Rail spurs, if applicable
- 7. Location of traffic signs and signals related to the functioning of the proposal.
- 8. Bikeways
- 9. Bus facilities, including bays and shelters where required.
- 10. Curb cut size and type.
- 11. Provisions for non-auto transportation, including transit and bicycle related improvements and pedestrian linkage.

**D. Utilities**

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

**E. Phasing**

- 1. Proposed phasing of improvements and provision for interim facilities. Information on future phasing should be included. If applicable, indicate location and square footage.



## SHEET #2 - LANDSCAPING PLAN

If appropriate, landscaping maybe shown on sheet #1 with the approval of Planning staff. See article 6-1-1-1et.al., the Water Conservation Landscaping and Water Waste Ordinance for specific restrictions, regulations, standards, and requirements

1. Scale - must be same as scale on sheet #1 - Site plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements
6. Identify nature of ground cover materials
  - A. Impervious areas (pavements, sidewalks, slope pavings, curb, and gutters, etc.).
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.).
  - C. Ponding areas either for drainage or landscaping/recreational use.
7. Identify nature, location and size of shrubbery and trees (common and/or botanical names).
  - A. Existing, indicating whether it is to preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
8. Irrigation System
9. Planting Beds
10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
11. Responsibility for maintenance (Statement)
12. Statement of Water Waste, etc.
13. Landscaped area requirement; square footage and percent: 56,838 sq
14. Landscaped area provided; square footage and percent: 45% 157,653 sq

## SHEET #3 - GRADING PLAN

### A. General Information

1. Scale - must be same as Sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Existing topography and structural improvements within at least 25 feet beyond property boundaries (more may be required).
5. Property Lines
6. Existing and proposed easements
7. Proposed contours and/or spot elevations
8. Retaining walls

### B. Proposal

1. Grading submittals, ponding areas, erosion and sediment control facilities:
  - A. Conceptual grading and drainage plan
  - B. Drainage plan (maybe required for other submittals)
  - C. Drainage Report (maybe required for other submittals)



OFFICIAL NOTIFICATION OF DECISION

00128 00000 01644/00128 00000 01645/00128-00000-01646/00128-00000-01647

MARCH 2, 2000

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**FINDINGS:**

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed at the connections between the two complexes.
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
3. All exterior sidewalks and internal walkways shall be marked as 6-foot wide on the site plan. At points where bicyclists and pedestrian traffic may conflict, (for example, near external trail access points) measures such as widening shall be taken to minimize those conflicts.
4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
6. Clearly marked and centrally located pedestrian access shall be provided between and through this development and the proposed complex adjacent to this site.
- 7.

-9-

---

- A. Cross Sections**  
Provide cross section for all perimeter property lines at the point of the greatest grade change: Where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the reference point.
- B. Spot Elevation**  
Provide spot elevations existing and proposed within 20 feet of both sides of the property line, not to exceed intervals of 100 feet.
- C. Grade Changes**  
Identify grade change on the site greater than 2 feet with shading or a single cross-hatch. Identify grade changes greater than 4 feet with darker shading or a double cross-hatch.

**SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS**

**A. General Information**

- 1. Scale (minimum of 1/8" or as approved by Planning Staff).
- 2. Bar Scale
- 3. Facade orientation (elevation of all sides of the buildings)
- 4. Dimensions, to scale including overall height and width, and dimensions of major facade elements.
- 5. Location, material and colors of windows, doors and framing.
- 6. Materials and colors of all building elements and structures.

**B. Signage**

- 1. Elevations
- 2. Location
- 3. Height and width
- 4. Sign face area - dimensions and square footage
- 5. Lighting
- 6. Materials and Colors for sign face and structural elements.

**C. Additional information, including, renderings and perspective drawings may be submitted.**

- A. Samples**
  - 1 Presentation Models
  - 2. Photos



## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Since development proposals vary in type and scale, there may be application requirements that are not included here. Nonetheless, it is the applicant's responsibility to provide a complete submittal. Incomplete submittals will be rejected. Site development plans submitted will ordinarily be composed of the following plan sheets:

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading Plan
4. Building and Structure Elevations

Submitted plans shall be organized in the above manner. The following checklist describes the minimum information necessary for element. The Applicant shall check off all items shown on the site plan or label as NA, if not applicable.

### Accompanying Material - Fee payment

- A. Complete application with summary.  
 B. 8 1/2" x 11" reductions

### SHEET #1 - SITE PLAN

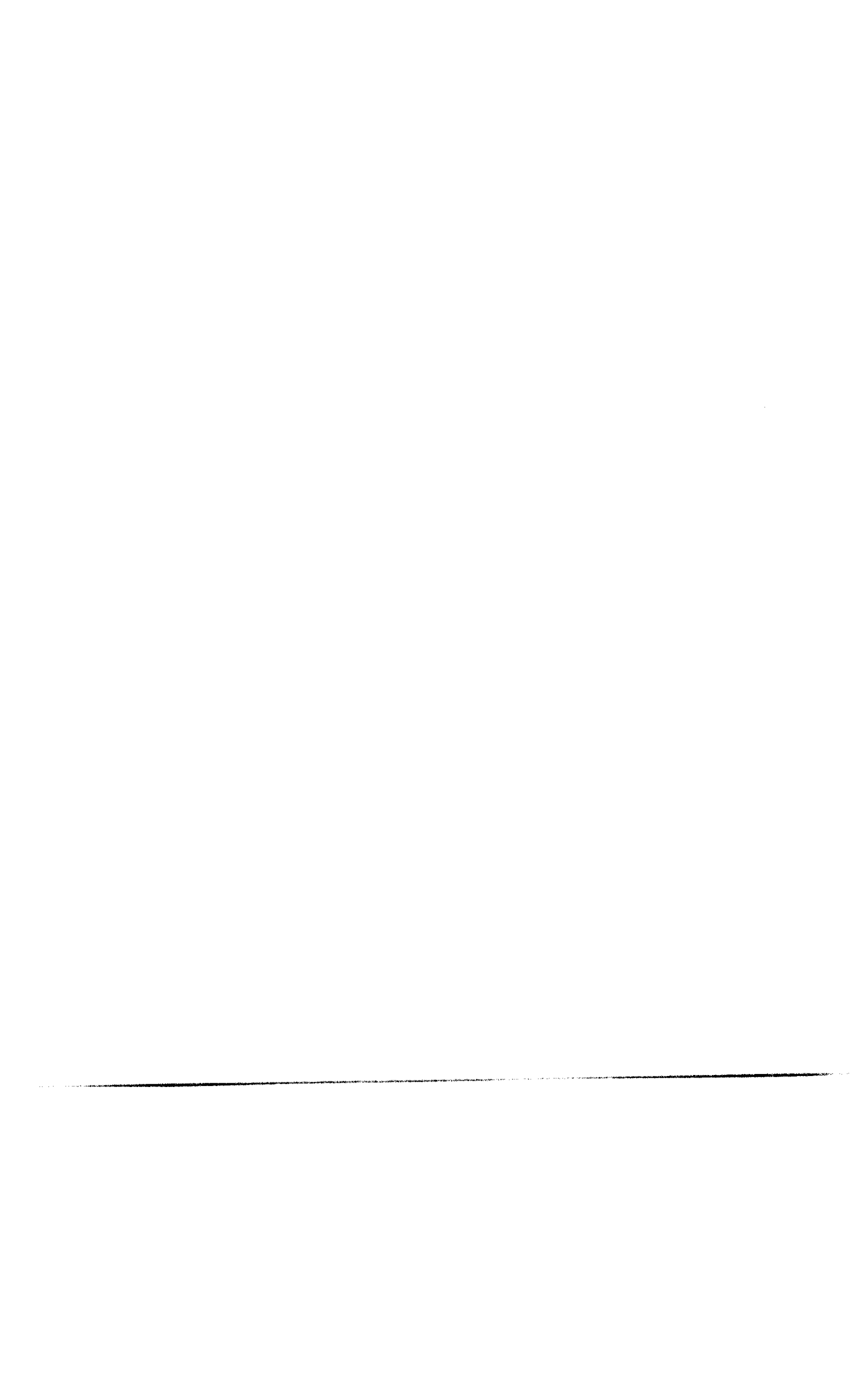
#### A. General Information

1. Scale
- |                                   |           |
|-----------------------------------|-----------|
| Under 1.0 acre                    | 1" = 10'  |
| 1.0 - 5.0 acres                   | 1" = 20'  |
| Over 5 acres                      | 1" = 50'  |
| Over 20 acres                     | 1" = 100' |
| Other scales as approved by staff |           |
2. Bar Scale  
 3. North Arrow  
 4. Scaled Vicinity Map  
 NA 5. Existing structures on site and on sites adjacent to the proposal that may impact, or may be impacted by the project.  
 6. Property lines  
 7. Existing and proposed easements (identify each)

#### B. Proposed Development

##### 1. Structural

- A. Location of existing and proposed structures on the property and on adjacent properties, including privacy and retaining walls (distinguish between proposed and existing structures).  
 B. Square footage of each structure  
 C. Proposed use of each structure  
 NA D. Temporary structures, signs and other improvements  
 E. Wall(s), fence(s), and screening: height, length, color and materials. Show cross-sections for retaining walls.



- F. Dimensions of all principal site elements
- G. Loading facilities
- H. Site lighting (height, type, and intensity)

## 2. Non-Structural and Parking

- A. Parking design with spaces numbered per aisle.
  - 1. Location
  - 2. Arrangements
  - 3. Dimensions and curve radii
  - 4. Turning spaces
  - 5. Drives
  - 6. Aisles
  - 7. Ingress
  - 8. Egress
  - 9. Number of spaces required: 502
  - 10. Handicapped parking, spaces required: 16
- B. Bicycle racks, spaces required: 140 spaces
- C. Elevation drawing of refuse container and enclosure, if applicable.

## C. Street and Circulation

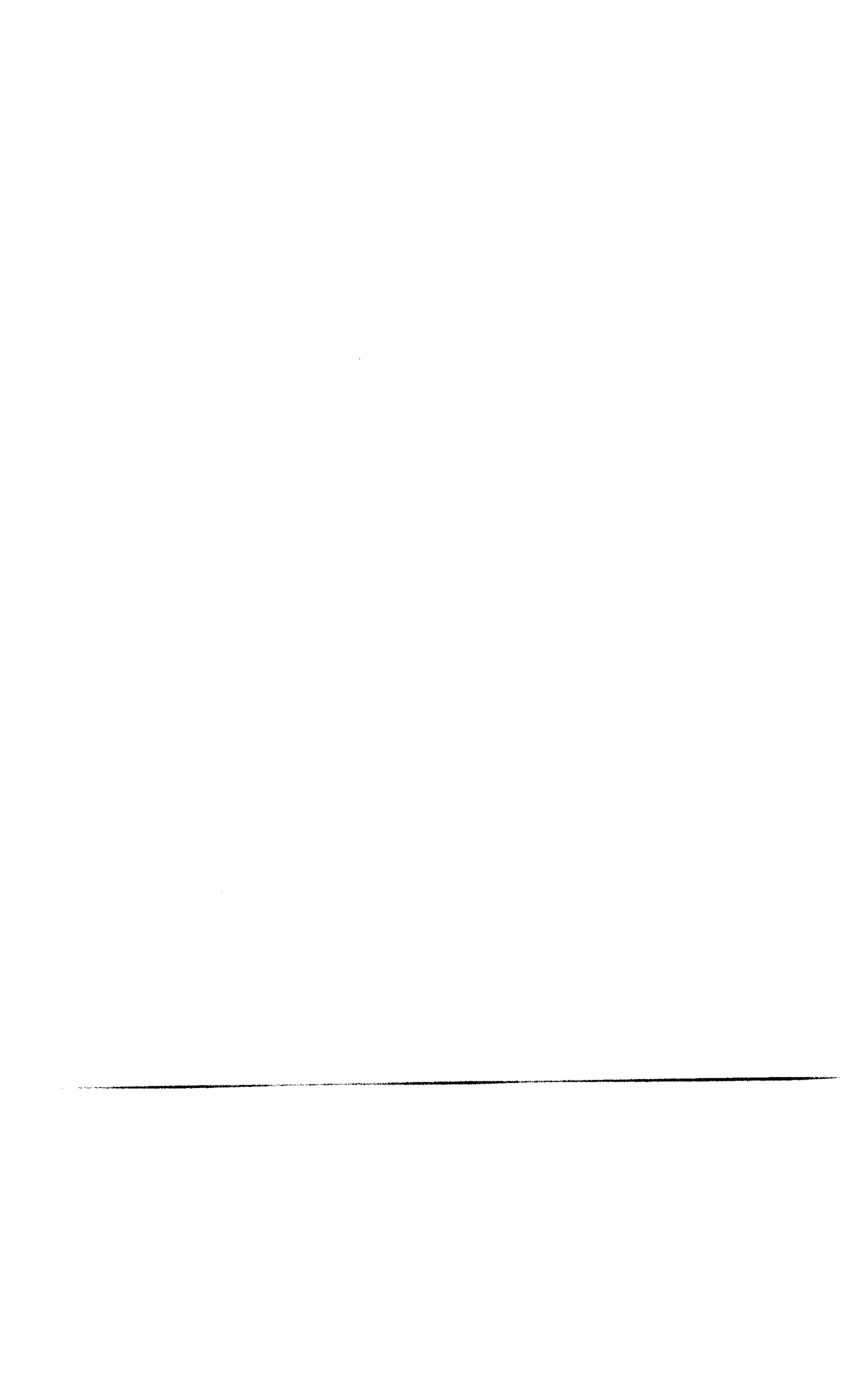
- 1. Identification and location of public and private streets and alleys with proper name, existing and proposed width dimensions.
- 2. Curve radii
- 3. Right-of-Way width
- 4. Pavement width (flow line to flow line) including medians and median cuts.
- 5. Sidewalk widths and locations, existing and proposed.
- 6. Rail spurs, if applicable
- 7. Location of traffic signs and signals related to the functioning of the proposal.
- 8. Bikeways
- 9. Bus facilities, including bays and shelters where required.
- 10. Curb cut size and type.
- 11. Provisions for non-auto transportation, including transit and bicycle related improvements and pedestrian linkage.

## D. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## E. Phasing

- 1. Proposed phasing of improvements and provision for interim facilities. Information on future phasing should be included. If applicable, indicate location and square footage.





## SHEET #2 - LANDSCAPING PLAN

If appropriate, landscaping maybe shown on sheet #1 with the approval of Planning staff. See article 6-1-1-1et.al., the Water Conservation Landscaping and Water Waste Ordinance for specific restrictions, regulations, standards, and requirements

1. Scale - must be same as scale on sheet #1 - Site plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements
6. Identify nature of ground cover materials
  - A. Impervious areas (pavements, sidewalks, slope pavings, curb, and gutters, etc.).
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.).
  - C. Ponding areas either for drainage or landscaping/recreational use.
7. Identify nature, location and size of shrubbery and trees (common and/or botanical names).
  - A. Existing, indicating whether it is to preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
8. Irrigation System
9. Planting Beds
10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
11. Responsibility for maintenance (Statement)
12. Statement of Water Waste, etc.
13. Landscaped area requirement; square footage and percent: 67,305 ✓
14. Landscaped area provided; square footage and percent: 457,216,574 ✓

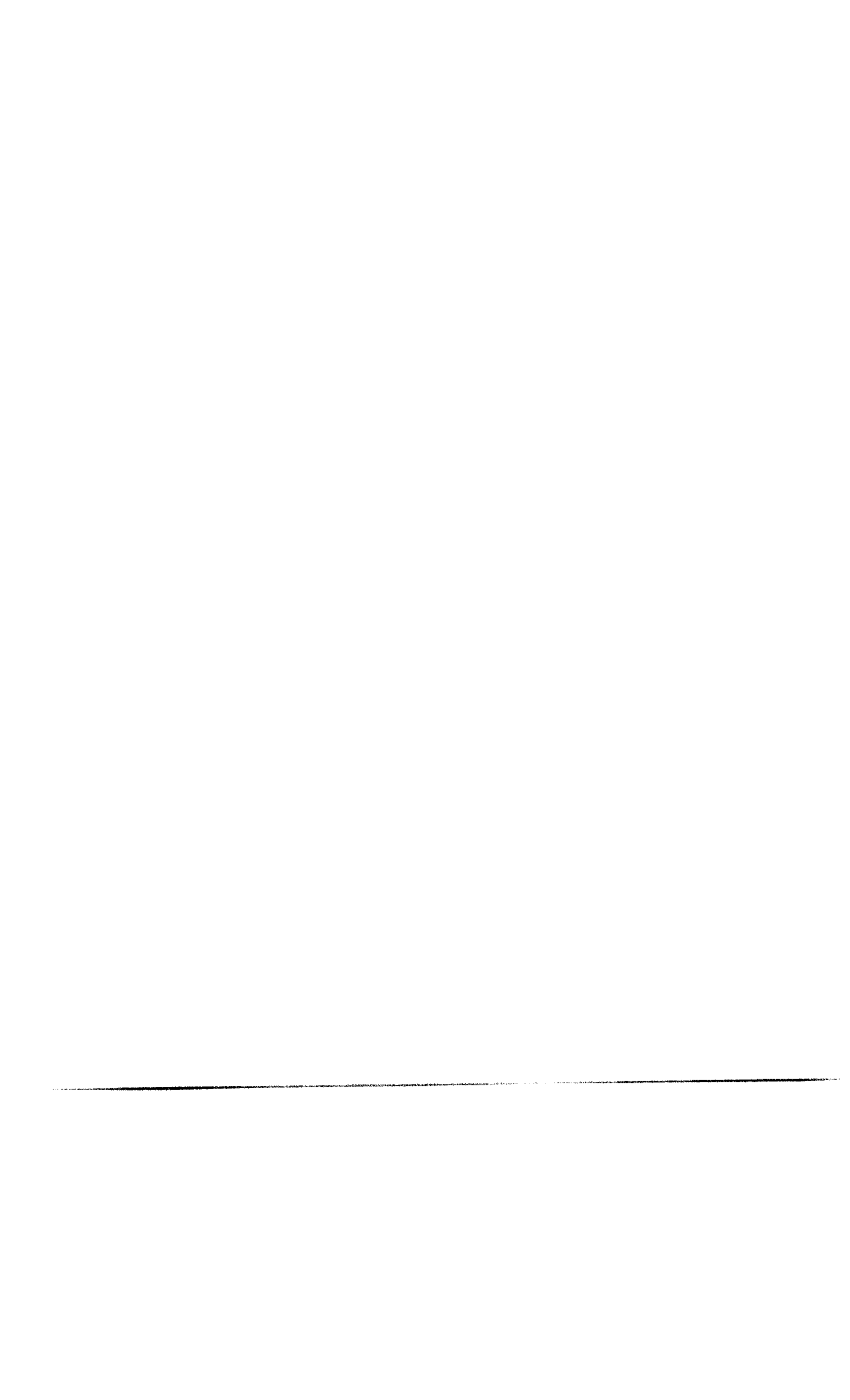
## SHEET #3 - GRADING PLAN

### A. General Information

1. Scale - must be same as Sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Existing topography and structural improvements within at least 25 feet beyond property boundaries (more may be required).
5. Property Lines
6. Existing and proposed easements
7. Proposed contours and/or spot elevations
8. Retaining walls

### B. Proposal

1. Grading submittals, ponding areas, erosion and sediment control facilities:
  - A. Conceptual grading and drainage plan
  - B. Drainage plan (maybe required for other submittals)
  - C. Drainage Report (maybe required for other submittals)



- A. Cross Sections**  
Provide cross section for all perimeter property lines at the point of the greatest grade change: Where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the reference point.
- B. Spot Elevation**  
Provide spot elevations existing and proposed within 20 feet of both sides of the property line, not to exceed intervals of 100 feet.
- C. Grade Changes**  
Identify grade change on the site greater than 2 feet with shading or a single cross-hatch. Identify grade changes greater than 4 feet with darker shading or a double cross-hatch.

**SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS**

**A. General Information**

- 1. Scale (minimum of 1/8" or as approved by Planning Staff).
- 2. Bar Scale
- 3. Facade orientation (elevation of all sides of the buildings)
- 4. Dimensions, to scale including overall height and width, and dimensions of major facade elements.
- 5. Location, material and colors of windows, doors and framing.
- 6. Materials and colors of all building elements and structures.

**B. Signage**

- 1. Elevations
- 2. Location
- 3. Height and width
- 4. Sign face area - dimensions and square footage
- 5. Lighting
- 6. Materials and Colors for sign face and structural elements.

**C. Additional information, including, renderings and perspective drawings may be submitted.**

- A. Samples**
  - 1. Presentation Models
  - 2. Photos

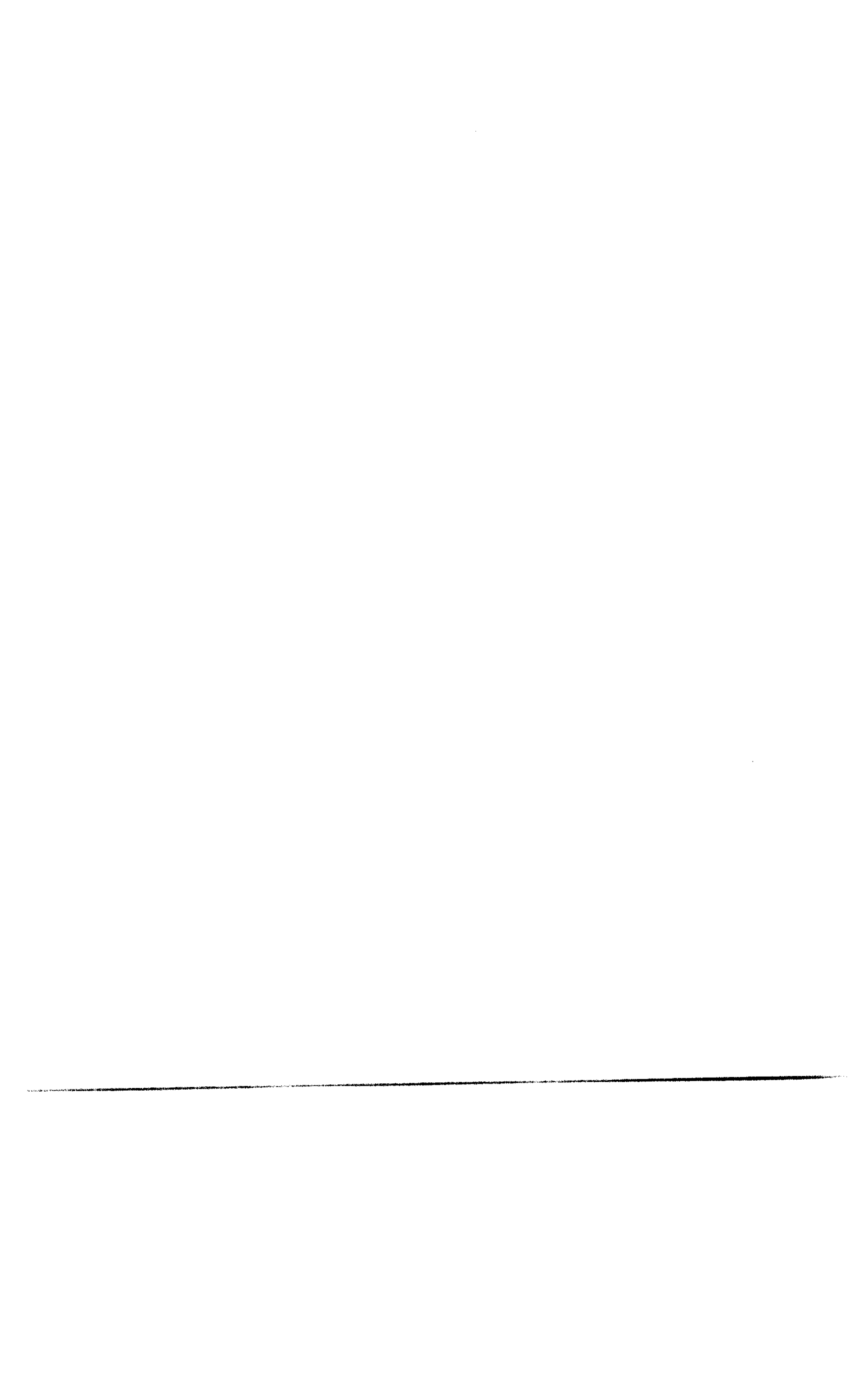
OFFICIAL NOTIFICATION OF DECISION

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7. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
10. The type and color of the galvanized, aluminum metal roof shall be specified on the site plan. The roofs shall be matte finish.
11. Notes regarding the signage for this property shall state what siding is proposed on Sheet 7 and state what colors and materials will be used for the signage.
12. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
13. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
14. No chainlink, razor wire or plastic/vinyl fencing is permitted.
15. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
16. All walls must conform to the City's Wall Design Standards publication.
17. **Transportation Development Services:**
  - A) The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
  - B) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets.
  - C) Proposed circulation drives and internal parking areas must be paved as per DPM standards.
  - D) The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
  - E) Location of refuse enclosures, walls, fences and signs must meet the clear sight distance requirements.
  - F) Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.



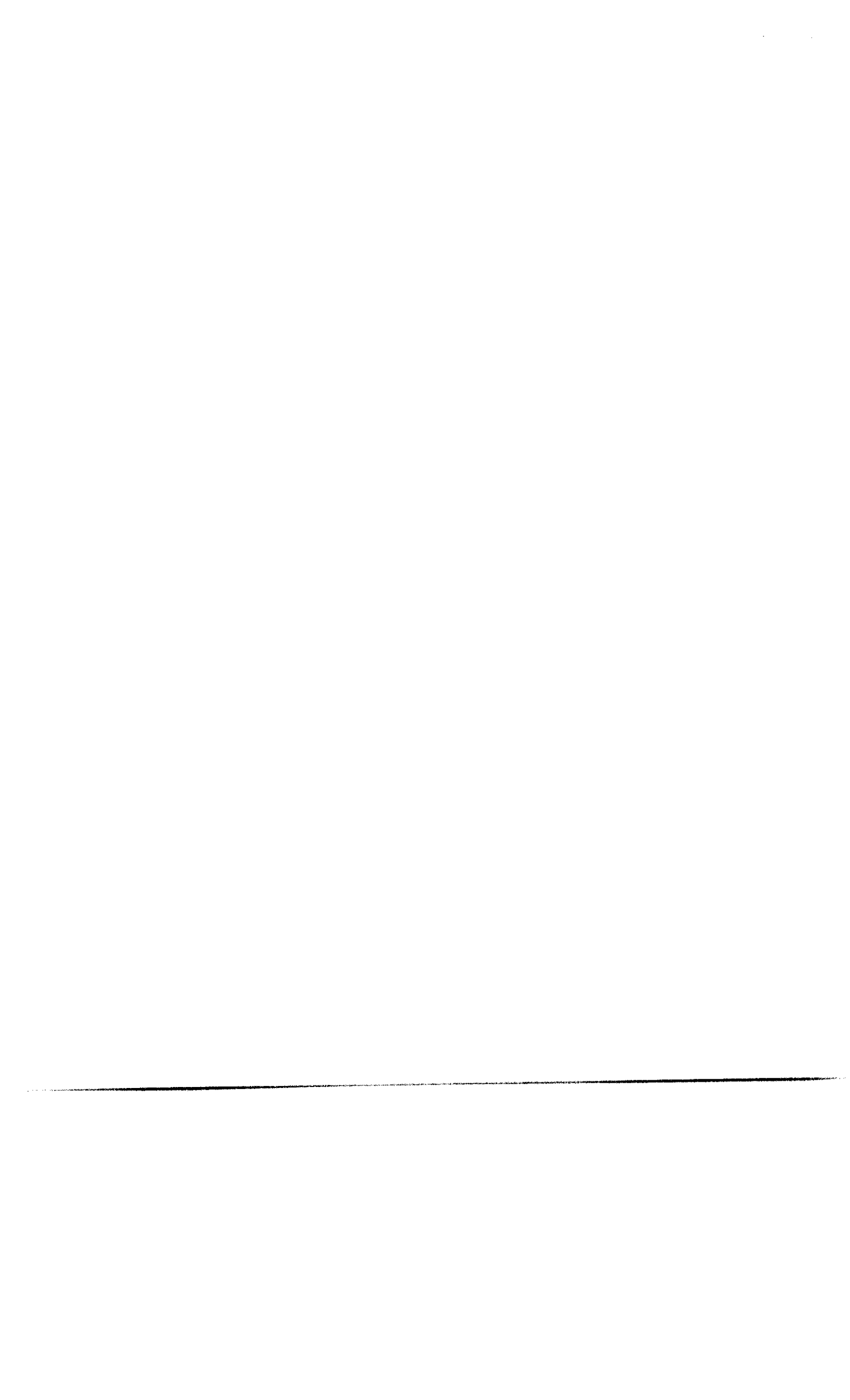


# **Manzano Mesa Apartments**

## **Zone Map Amendment, Site Plan for Subdivision, & Site Plan for Building Permit Justification**

**Prepared For:**  
GSL Properties & Albuquerque Public Schools

November 27 , 2000



## INTRODUCTION

This zone map amendment and concurrent site plan for subdivision, and two separate site plan for building permits covers approximately 36.3 acres in southeast Albuquerque. The site is currently divided into two separate pieces, Tract H-1 and Tract G-3, both of the Manzano Mesa Addition (see Figure A). Tract H-1, located at the northwest corner of the site, is made up of 11.3 acres and is currently zoned SU-1 for O-1 uses. Tract G-3, located on the eastern half of the site, is made up of 25 acres, is zoned SU-1 for R-2 uses. The properties are located along the western boundary of the Manzano Mesa Master Plan. Eubank Boulevard runs along the western boundary of the properties. Southern Boulevard is located to the north and Gibson Boulevard is located to the south, although neither are contiguous to the property.

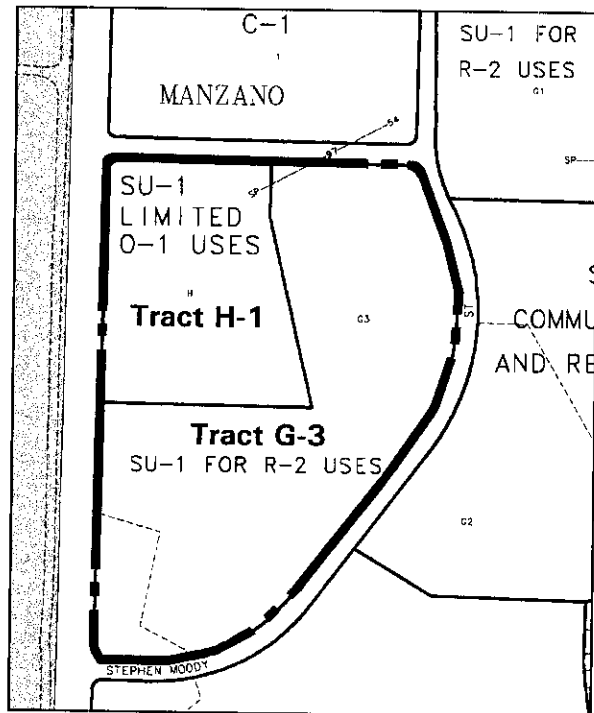


Figure A

The zone map amendment portion of this request seeks to retain the current zoning, but desires to reconfigure the properties so that the 11.3 acres of SU-1 for Office is located to the southern portion of the site, while the 25 acres of SU-1 for R-2 is located to the north (please see figure B). This new configuration would allow greater compatibility between uses in the developing area.

## SITE CHARACTERISTICS AND EXISTING CONDITIONS

The site is located within the City of Albuquerque boundaries and is situated in a mixed-use area, known as Manzano Mesa. This master planned area consists of commercial, office, park, community center, and multi-family/single family residential uses (please see figure C on page 3). The area has been undergoing dynamic changes for quite some time. The Manzano Mesa community park and multi-generation center, currently being designed and developed, compliments the developing residential areas comprising the eastern portion of the master plan area.

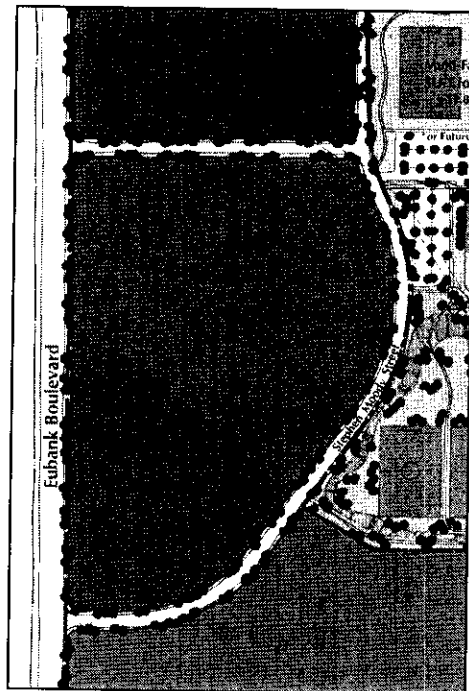


Figure B



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These facilities and residences are located immediately east of the subject properties.

In addition to the residential and community facility uses, the area has also undergone significant commercial development. A newly opened Costco Wholesale retail store, comprising 152,000 square feet, is located north of the property across Southern Boulevard. This wholesale store joins a Home Depot store in offering area residents larger scale and bulk item materials. The Costco property was recently rezoned from SU-1 for Limited IP purposes to SU-1 for C-2 (EPC Case Number Z-99-136).

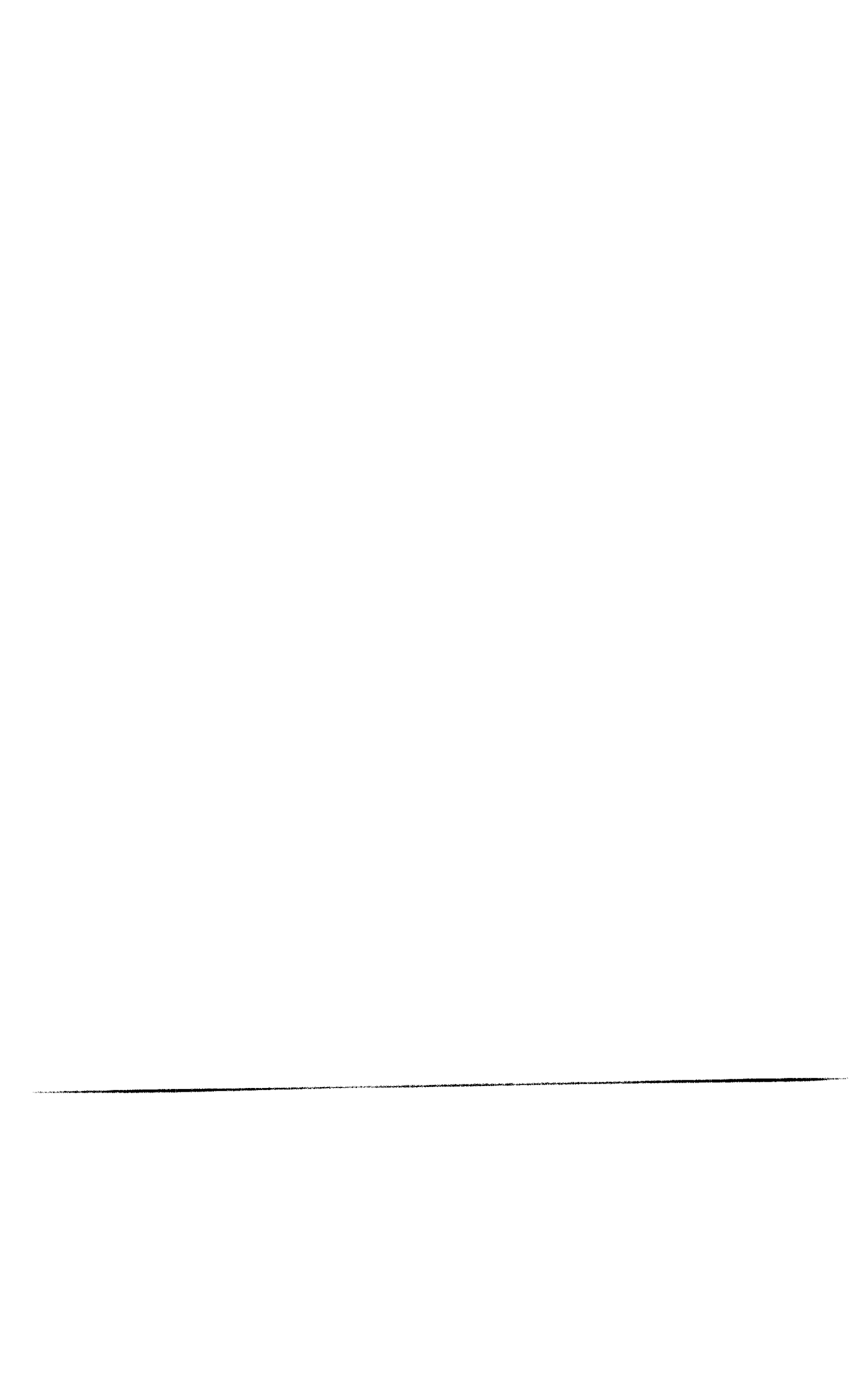
Another significant change taking place in the area is the development of the Sandia Science and Technology Park, which will be located to the south of the property. The +/-219 acre park is planned as a campus style, high technological business park that will provide opportunities for Sandia National Lab's technological trading partners. The Park's development will be especially important to the Lab, given its proximity to the Robotic Manufacturing Science and Engineering Laboratory and the Lab's focus on technological commercialization. The City of Albuquerque and the Park site's landowners (State Land Office, Albuquerque Public Schools, and private landowners) have recently entered into a memorandum of understanding supporting the planning, design, and development of the Park. The Sandia Science and Technology Park Master Plan is scheduled to be submitted to the City of Albuquerque in January.

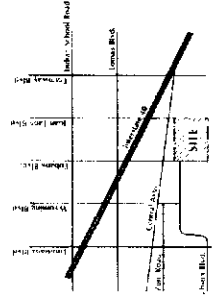
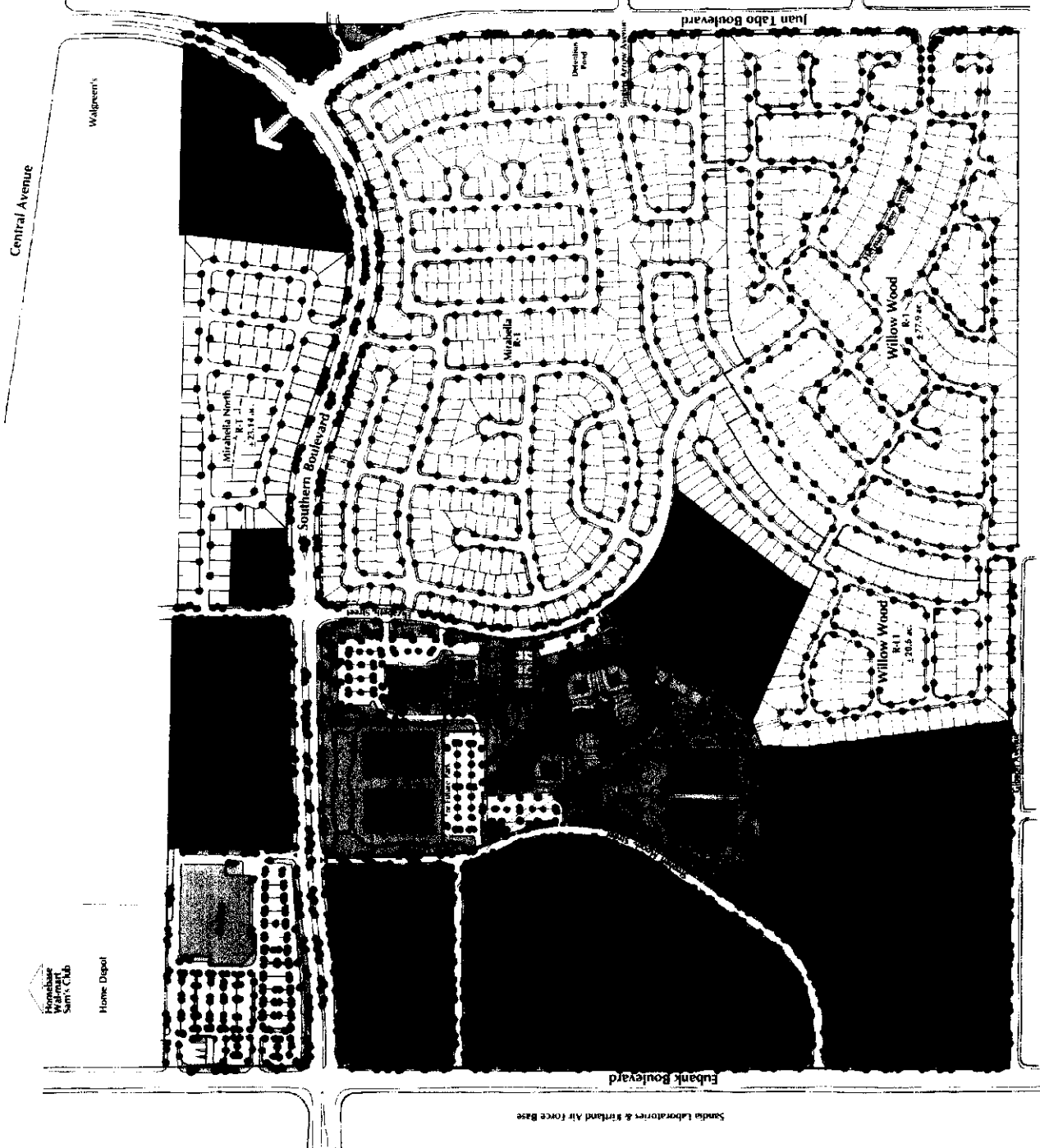
The justification in this request lies in the changing neighborhood conditions in and around the Manzano Mesa community, especially with the development of the Sandia Science and Technology Park. Approval of this zone map amendment would allow the SU-1 for office property to be located adjacent to the northernmost section of the Park, making the uses more compatible. The SU-1 for R-2 uses would be located farther north and buffered from the more intense uses of the Park by the office uses.

#### ADJACENT LAND USE AND ZONING

The following table shows the zoning and current and/or proposed land use for the area around the site.

Direction	Zoning	Land Use	Proposed Land Use
North	C-1	Vacant	Commercial
East	SU-1 for R-2, SU-1 for Community Park	Park, community facilities, school	NA
South	SU-1 for IP	Vacant	Sandia Science and Technology Park
West	NA	Sandia Laboratories and Kirtland Air Force Base	NA





SITE VICINITY

**SITE DATA**

LAND USE	EXISTING ZONING	ACRES	DENSITY	PARKING UNITS
Single Family Residential	R-1	10.56	20.00 D.U./AC.	212
Single Family Residential	R-1.1	20.08	3.0 D.U./AC.	103
Multi-Family Residential	M-2/P-2	30.48	20.0 D.U./AC.	366
Commercial	C-1	11.27		883
Commercial	C-2	2.0		
Office	SO-1/O-1	11.3		
Employment	SO-1/P	10.00		
Community Park	SO-C	36.6		
Reserved for School Purpose	R-1	17.0		
Applicable to		4.44		
<b>Total</b>		<b>145.8</b>		<b>1,554</b>

**PROPOSED AMENDMENT  
MASTER PLAN**

**Manzano Mesa  
ALBUQUERQUE PUBLIC SCHOOLS**



COMPREHENSIVE PLANNING, INC.  
10000 N. 28th Ave., Suite 100  
Albuquerque, NM 87110  
505.263.1111  
www.comprehensiveplanning.com

November 14, 2000

Future Santa Fe Science and Technology Park Tract Boundary

## **ZONE MAP AMENDMENT JUSTIFICATION – APPLICABLE PLANS AND POLICIES**

### ***Albuquerque/Bernalillo County Comprehensive Plan***

The site is located within the Developing Urban area as designated by the Albuquerque/Bernalillo County Comprehensive Plan. Goals and policies applicable to this request are listed below:

#### ***Established and Developing Urban Areas***

The Goal is to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visual pleasing built environment.

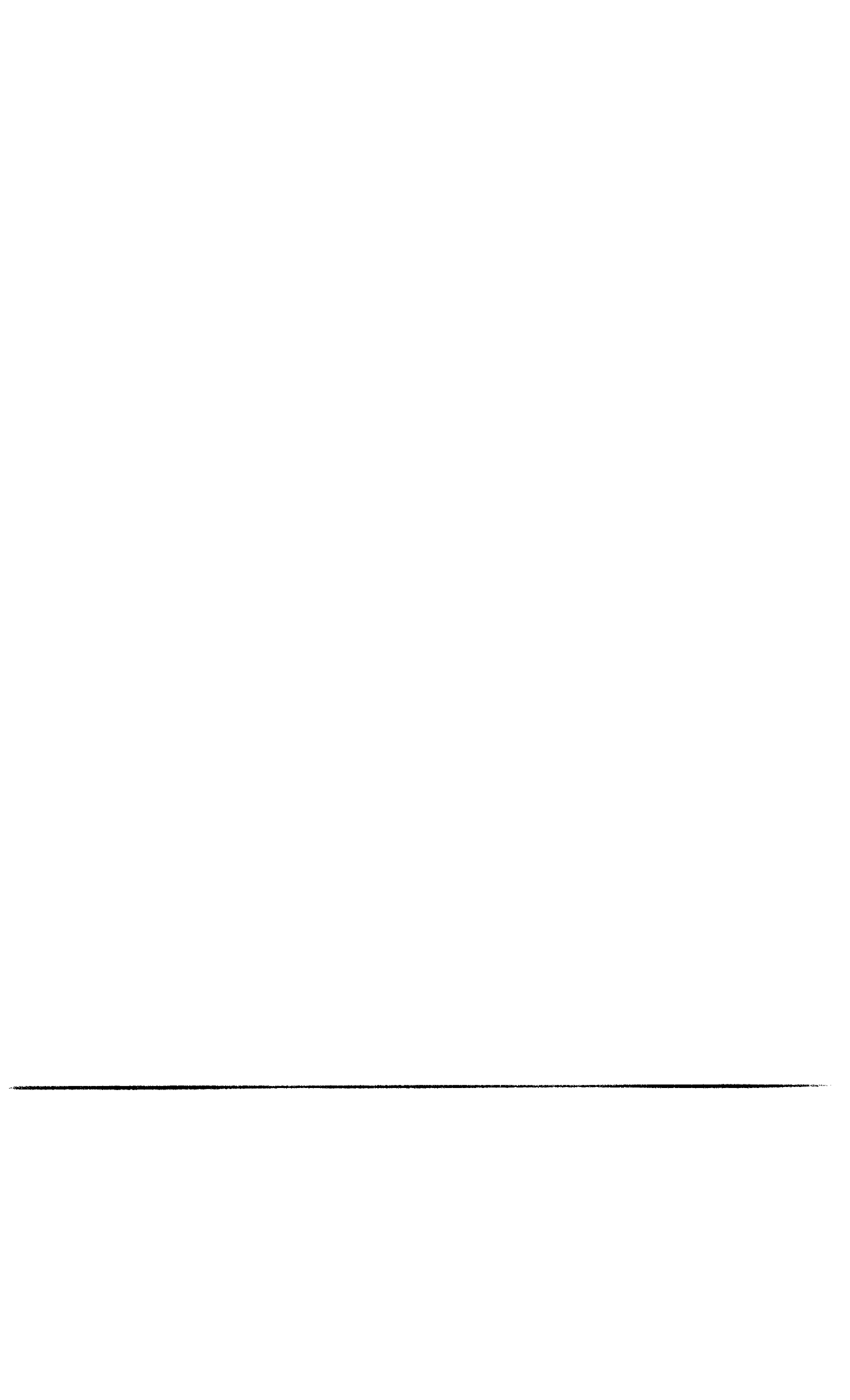
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|----------|--|
| Policy d | The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern. |
| Policy e | New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where integrity of existing neighborhoods can be ensured.                              |
| Policy l | Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.   |
| Policy k | Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic.   |

Based upon these Comprehensive Plan goals and policies:

- The land uses proposed for this site are appropriate and sensitive to the neighborhood character and values. The proposed reconfiguration of the property allowed by this zone map amendment request would allow greater compatibility between uses for the areas as a whole.
- The proposed site has been identified as a priority vacant parcel that can be used for infill development.
- The proposed reconfiguration allowed by the zone map amendment and subsequent site plan for subdivision/building permit will further the Comprehensive Plan goals and objectives for the Developing Urban Area.

#### **Sector Plan**

This site is not within a sector plan boundary. The Singing Arrow Sector Plan boundary is located east of the Manzano Mesa Master Plan boundary.



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- G) Coordination with the Solid Waste Department with regard to refuse container location and access.
  - H) Street Trees are required along Eubank Boulevard.
18. Unobstructed pedestrian connection 6-foot clear shall be noted on the site plan between the apartments and the office.
19. The Utility plan appears to show the private water system with illegal looping connection to public lines. This must be corrected. A water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action. Request left turn bays be introduced on Eubank to allow good access to the project location.

---

**IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY MARCH 16, 2001 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

### **Trails & Bikeways Facility Plan**

The Trails & Bikeways Facility Plan is a Rank II Plan which recommends development standards, identifies specific site locations, and sets of priorities for the use of public funds for planning multi-use trail systems throughout the City. The Plan identifies a planned primary trail along Southern Ave. SE that crosses in front of the Costco site, thus allowing people living in the multi-family residential units, and working at the Costco, the opportunity to ride their bikes to work. According to the Plan, primary trails serve two purposes. The first purpose is to serve as part of the regional transportation network, meaning that cyclists can use the trail as a commuting route. Employees in the area will be able to use the trail to get to work. In addition, consumers and area residents visiting the commercial uses will have the option of cycling to the site. The secondary purpose of the trail is recreation.

The Plan also proposes a secondary trail that will be located along Eubank Blvd. SE and will also run along the western edge of the property. The purpose of the secondary trail will be to supplement the primary system and provide for a separation of recreational users to commuters.

### **Resolution 270-1980**

The proposed zone map amendment and reconfiguration of the property meets the requirements set forth in Resolution 270-1980.

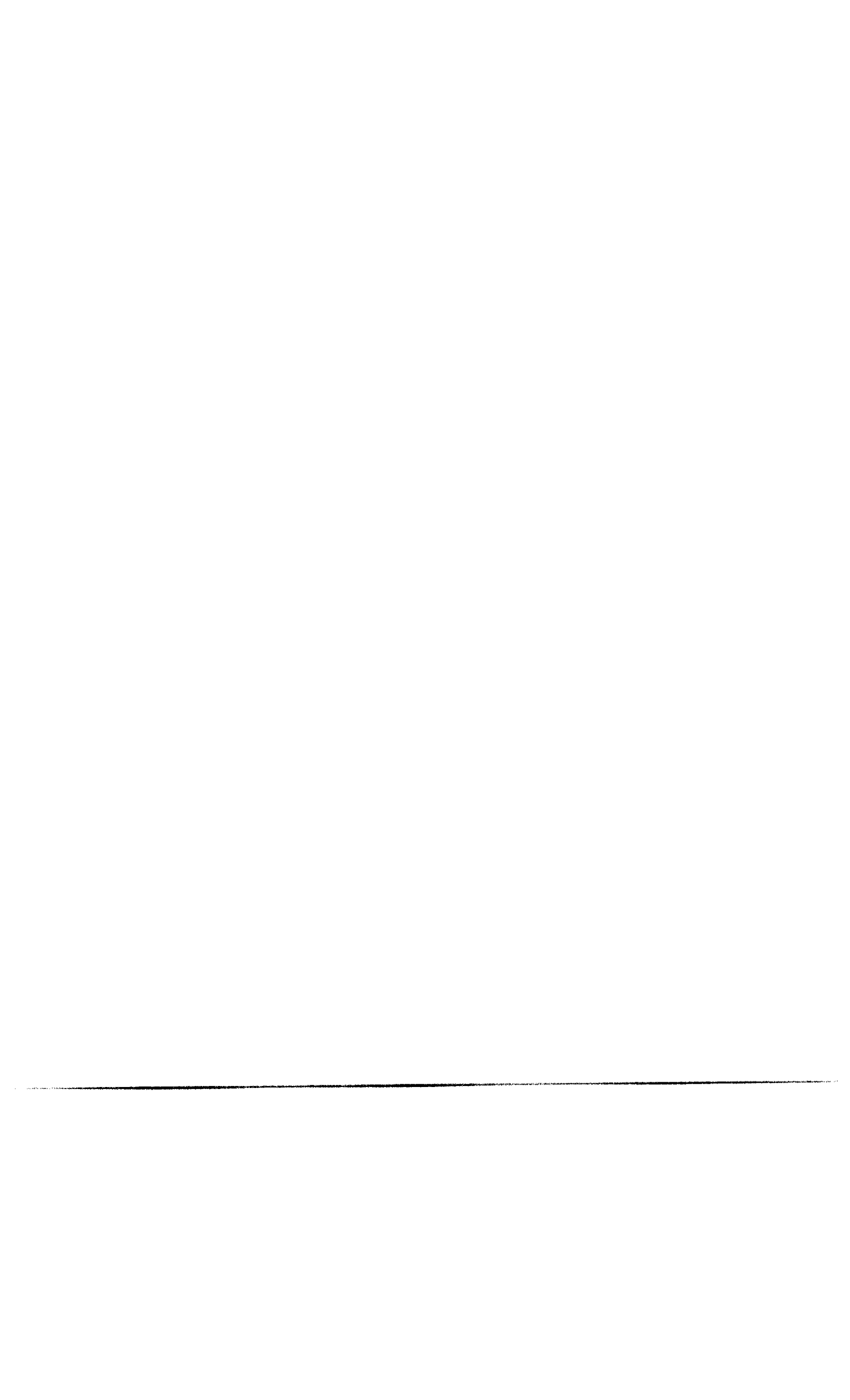
- A. The zone map amendment is consistent with the health, safety, morals, and general welfare of the City. The reconfiguration of the property allowed by the zone map amendment and subsequent development of both commercial and residential development will benefit the community in many ways. First, the reconfiguration will allow for a greater compatibility of uses (within an already mixed-use area).

The SU-1 for O-1 uses will be located just north of the Sandia Science and Technology Park and will provide a buffer between the multi-family housing. In addition, the multi-family housing that will develop on the northern portion of the site will meet the demand for affordable housing in a growing residential area. The multi-family housing will give residents an opportunity to live near a major employment center (Sandia Labs, Air Force Base, and Technology Park). This, in turn, will benefit the entire City by reducing vehicle trips.

In addition, by allowing the SU-1 for O-1, economic development potential of the area can be greatly enhanced by allowing offices to locate next to the Science and Technology Park. High-Technology firms and businesses would be attracted to the area especially if the potential for a relationship with the Science and Technology Park was available on an adjacent piece of property.

Finally, the development of the property will remove hazards on the property, particularly the accumulation and/or illegal dumping of trash, which pose threats to the community as the area develops.





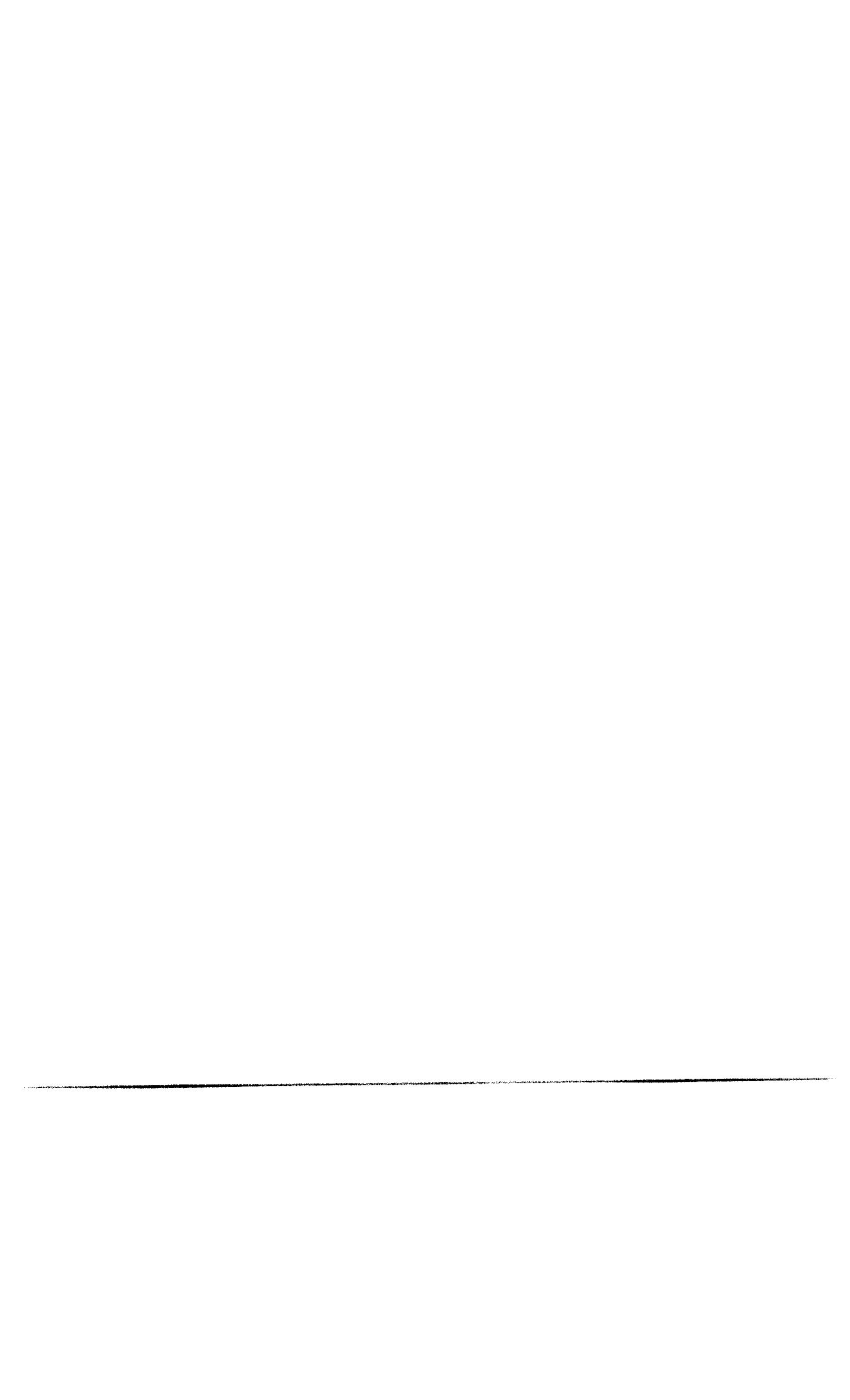
- B. This request recognizes that stability of land use and zoning is desirable. The reconfiguration allowed by this zone map amendment would allow more compatible uses to be located next to each other. The SU-1 for Office would locate next to the Science and Technology Park creating synergy between the two properties.
- C. This zone map amendment request is not in conflict with adopted City plans or policies. In fact, it furthers the goals and policies of the City of Albuquerque/Bernalillo County Comprehensive Plan and infill development policies of the City of Albuquerque. The Comprehensive Plan calls for a land use that is sensitive to existing neighborhood values. By allowing for the reconfiguration of the property, more compatible uses will be grouped together. This request is not asking for anything not already approved and anticipated for by the Manzano Mesa Master Plan, but seeks only to reconfigure the properties for better compatibility between uses.

In addition, the character of development that will take place on this site helps to achieve City goals of encouraging infill and mixed-use development. The vacant site is in close proximity to the City's priority sites for infill. The site is also within the existing City service area and will help to fulfill this goal. The mixed-use nature of the development will also lend itself well to transit and pedestrian modes of transportation.

- D2. The changing conditions present in the neighborhood justify this zone map amendment. The developing Sandia Science and Technology Park is providing 200 acres of industrial park land that will impact the area greatly. The driving force behind this zone map amendment is the fact that reconfiguration of the site, allowing the location of SU-1 for O-1 next to the Park is advantageous to the community since it groups compatible uses together. This, in turn, can influence similar high-Technology firms to locate to the site in order to be next to activities at the Park.

Location of the multi-family housing products in the area will also allow people to live near this emerging employment center, thereby reducing the number of vehicle trips to other employment centers throughout the metro area. As the area develops as an employment center, there will be a demand for a variety of housing products will be satisfied by the multi-family housing planned for this site.

Additionally, the Home Depot and the Costco have been added north of the site, adding commercial uses to the area and making it a truly mixed-use development. These large wholesalers, combined with smaller scale commercial planned for the area serves the growing single family residential areas located to the eastern part of the Master Planned area. These residential areas are buffered from the commercial and the subject site by the Manzano Mesa Park, which contains a number of community facilities including a multi-generation center, and an elementary school.

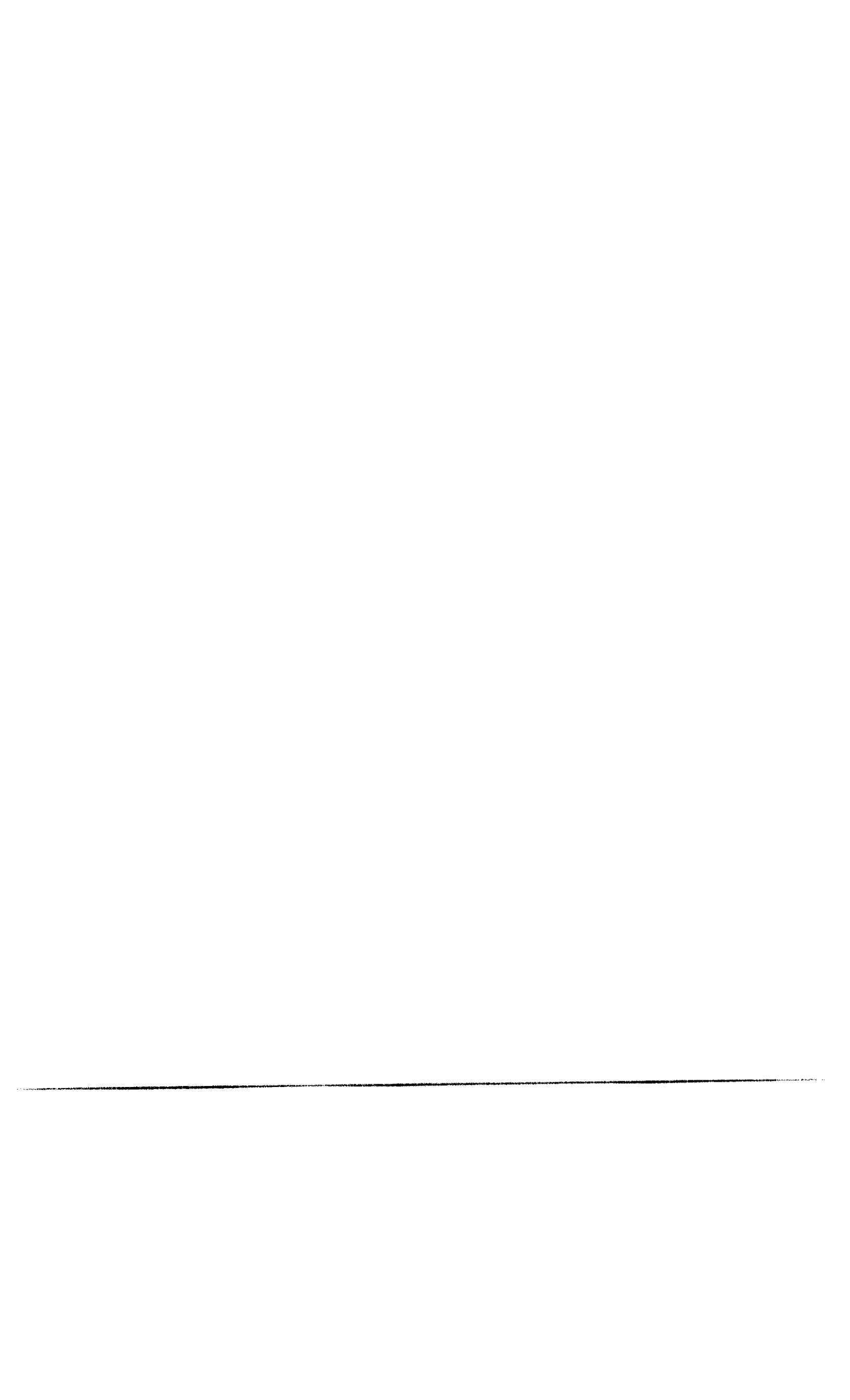


- E. The proposed uses will not be harmful to the adjacent properties, the neighborhood, or the community, but will be beneficial to existing and future businesses and residents. It does not propose any new zoning categories than those already existing in the area, but only seeks to reconfigure the property for greater compatibility. In fact, approval of this zone map amendment would make existing and proposed land uses more compatible.
- F. The proposed zone map amendment will not require major or unprogrammed capital expenditures by the City. The site is within the urban core of the City of Albuquerque with full urban facilities and services available. In fact, the City has planned many programmed capital improvements to the area in preparation for the Sandia Science and Technology Park. A bill sponsored by Councilor Brasher was passed at the City of Albuquerque Finance Committee on November 13, 2000 and will be on its way to Council. The bill would prioritize money for improvements and to expand Eubank to six lanes in the area.
- G. Economic factors are not the determining factor for this zone map amendment. The primary reason for this zone map amendment is to group compatible uses together, in this case, SU-1 for O-1 to be located next to the boundary of the Science and Technology Park. No new zoning categories are proposed for this site, only a reconfiguration of the property to reflect greater compatibility between uses.
- H. This request recognizes that the location of this property on Eubank Boulevard (a principal arterial) is not by itself a justification for zone map amendment. Although Eubank will provide excellent access for any use on the subject site, the site has been planned for office and multi-family residential development through the Manzano Mesa Master Plan.
- I. This request does not constitute a spot zone since the site is part of an approved Master Plan that emphasizes mixed-use development. This request seeks to reconfigure the property so that more compatible uses will be grouped together.
- J. This request does not constitute strip zoning since the site design will preclude this type of development from occurring. In addition, the uses envisioned for the site, by their very nature, do not lend themselves well to strip development.

**RESOLUTION 91-1998 (R-70)**

Resolution 91-1998 (R-70) establishes an overall direction for implementation of the City's growth policies. The framework emphasizes many elements, many of which are covered by this request.

The area is emerging as a major activity center that will include many opportunities for employment. The growing residential uses located to the east of the site and

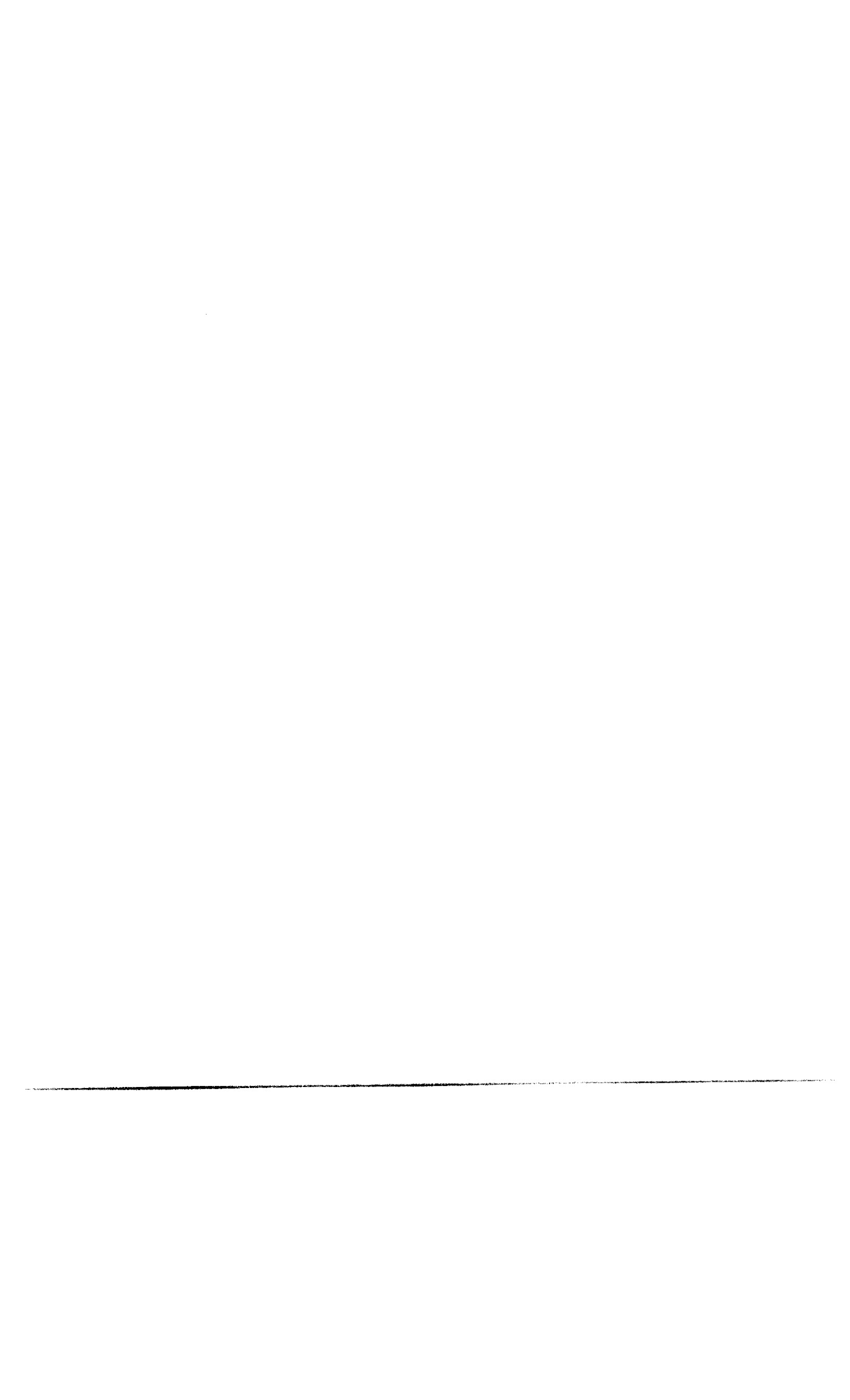


the multi-family residential planned for the site will serve the residents employment needs close to home, thereby reducing vehicle miles traveled to other parts of the metro area. In addition, the Long-Range Major Street System designates Eubank as a principal arterial, making it a commercial corridor. The mixed-use nature of development in the Manzano Mesa community will also enhance the viability for transit.

### CONCLUSIONS

- This request is for a zone map amendment and concurrent site plan for subdivision and site plan for building permit.
- This request covers 36.3 acres, making up two different properties. One property consists of 11.3 acres and is zoned SU-1 for O-1, while the other property is 25 acres and is zoned SU-1 for R-2 uses.
- This zone map amendment is not requesting new zoning categories but only seeks to reconfigure the properties in such a way that the SU-1 for O-1 property is located to the south, adjacent to the programmed Sandia Science and Technology Park. This will ensure greater compatibility between land uses.
- Multi-family residential units are planned for the SU-1 for R-2 portion of the property.
- This request is consistent with City of Albuquerque plans and policies and meets the City's desires for mixed-use and infill development. In addition, the site is fully serviceable with City of Albuquerque infrastructure.
- This request is based on changing neighborhood conditions brought on by residential and commercial development in the area. The developing Sandia Science and Technology Park is one of the most significant changed conditions in the immediate area. This request seeks to reconfigure the site so that SU-1 for O-1 property is contiguous to the Park. Other changed conditions include; commercial development anchored by a newly opened Costco and Home Depot; community park and community facilities; and single family residential development to the east of the site.
- The area is emerging as a major employment center, characterized by a mix of uses that will help reduce vehicle miles traveled and provide residents with many employment opportunities close to where they live.
- This project helps to implement the Comprehensive Plan as well as the policies of R-70.

Based upon these reasons, we respectfully request that the Environmental Planning Commission approve this request.



**GSL**

GSL PROPERTIES, INC.

November 21, 2000

Mr. Chuck Gara, Chairman  
Environmental Planing Commission  
600 Second Street NW  
Albuquerque, NM 87102

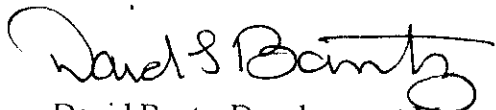
RE: MANZANO MESA TRACTS G-3, H-1

Dear Chairman Gara:

The purpose of this letter is to authorize Consensus Planning to act as our agents for this submittal for zone map amendment and site plan subdivision for Manzano Mesa, Tract's G-3 and H-1 to the Environmental Planning Commission.

Please feel free to call me at (503) 944-6503 if you have any questions.

Sincerely,



David Bantz, Development Manager  
GSL Properties, Inc.





OFFICIAL NOTIFICATION OF DECISION

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MARCH 2, 2000

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Sincerely,



Robert R. McCabe, AIA, APA  
Planning Director

RM/DS/fmt

cc: Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102  
Ruth Francis, 217 Hanosh Ct. SE, #D, Albuquerque, NM 87123  
Calvin Irvin, 10819 Wolf Creek Rd. SE, Albuquerque, NM 87123  
Joe Ando, 13200 Mountain Shadows Rd. NE, Albuquerque, NM 87111-5530  
Ray Baron, HC 75 Box 122 Chama, NM 87520  
Mark Burton, 12500 Charla Ct. SE, Albuquerque, NM 87123  
Ed Candelaria, 1053 Colt Ln. SE, Albuquerque, NM 87123  
Henry Crockett, 404 Rainbow Ct. SE, Apt. D, Albuquerque, NM 87123  
Diane Davidson, 12800 Piru SE, Albuquerque, NM 87123  
Marylyn Floro, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Frank Gallaspy, 1308 Kentucky SE, Albuquerque, NM 87108  
Joanne Gladin de la Fuente, 528 Eugene Ct. SE, Albuquerque, NM 87123  
Susan Henderson, 1031 Los Padres SE, Albuquerque, NM 87123  
Dolores Keane, 828 Trading Pose Trail SE, Albuquerque, NM 87123  
Karen Kendall, 12924 Piru SE, Albuquerque, NM 87123  
Dave Orwat, 4600 Homestead Tr. NW, Albuquerque, NM 87120  
Dave Saxon, 10836 Wasatch Rd. SE, Albuquerque, NM 87123  
Rose & John Sena, 7820 Zuni SE, Albuquerque, NM 87123  
Dave Smith, 12536 Elyse Pl. SE, Albuquerque, NM 87123  
John Smokov, 608 Parkside Pl. SE, Albuquerque, NM 87123  
Janette Vanderkamp, 300 Dorado Pl. SE, Albuquerque, NM 87123  
Phil York, 12705 Elyse Pl. SE, Albuquerque, NM 87123

**Mediation Works, Inc.**10412 Bellamah Ave. NE  
Albuquerque, NM. 87112Tel: (505) 298-3544  
Fax: (505) 332-1453**Project # 1000938****Facilitator's Report**

dated: January 26, 2001

Facilitated Meeting Held            January 25, 2000            5:30 p.m.

Between

**Applicant/Agent:** GSL Properties, Inc./Consensus Planning, Inc.

and

**Neighborhood Association(s):** Willow Wood & Singing Arrow Neighborhood Associations

RE: Project #1000 which requests zone map amendment to reconfigure the properties so that the 11.3 acres of SU-1 for Office is located to southern portion of the site, while the 25 acres of SU-1 for R-2 is located to the north, concurrent site plan for subdivision, and two separate site plan for building permits covering approximately 36.3 acres in southeast Albuquerque

**Facilitator:** Paul Splett

**Summary:** This meeting was held with limited time. It began with a discussion of the Willow Wood Neighborhood's concern about the aesthetics of the project. Members of the Singing Arrow Neighborhood Association and real estate owners in the area turned the discussion to whether or not more apartments were actually needed in the area, and it was agreed that the meeting should proceed with the assumption that apartments were going to be built since the area has already been zoned for apartments and multi-family dwellings since 1990. As time ran out, all parties agreed that more information was needed and that Consensus Planning, Inc. would submit its changes the next day, and then try to schedule another facilitated meeting with the developer present to answer the necessary questions to proceed.

**Notes From Meeting:**

Issues raised and their subsequent discussions were the following:

- 1) Concern about the aesthetics of the apartment buildings
  - a) Willow Wood NA expressed concern that they remain consistent with the current Mediterranean/Scottsdale style
  - b) Willow Wood NA expressed concern in the lack of detail

-It was agreed that all parties would meet again to discuss working together on possible changes to the design

- 2) Willow Wood and Singing Arrow expressed concern about the targeted income range the apartments would attract.

-Consensus Planning stated that there was no known plan to target lower income individuals but that this should be discussed at the next meeting.

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## City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

November 15, 2000

Planning Department  
Plaza Del Sol Building  
600 Second St. NW  
Second Floor (924-3860)

This letter will serve to notify you that on **November 15, 2000:**

**CONTACT NAME:** JOHN VALDEZ

**COMPANY OR AGENCY:** CONSENSUS PLANNING  
JOHN VALDEZ  
924 PARK AVENUE SW/87102  
PHONE #: 764-9801 FAX #: 842-5495

contacted the Office of Community and Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at **TRACT G-3 & TRACT H-1, MANZANO MESA ADDITION** zone map page(s) L-21.

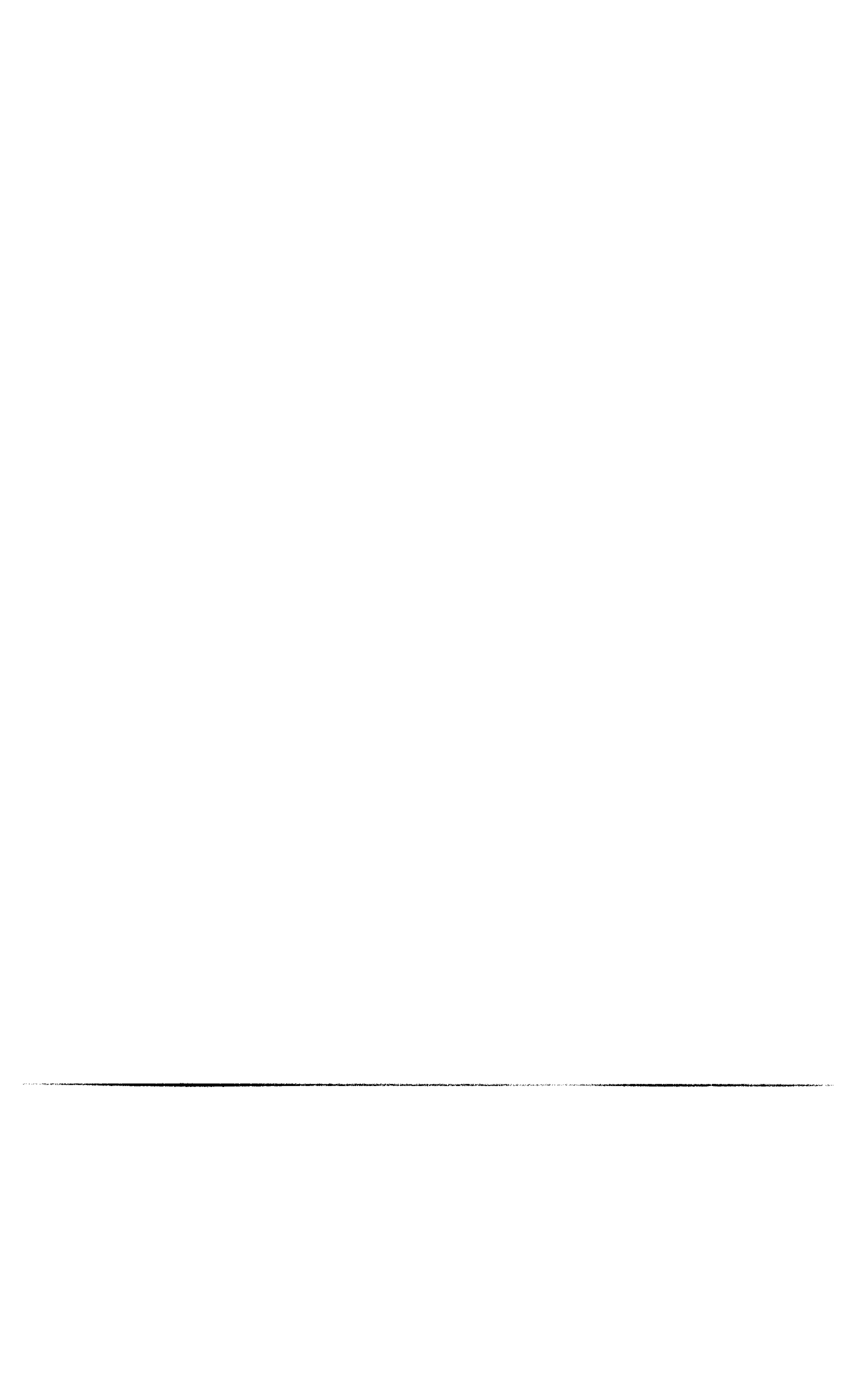
Our records indicate that as of **November 15, 2000**, there were no Recognized Neighborhood Associations in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

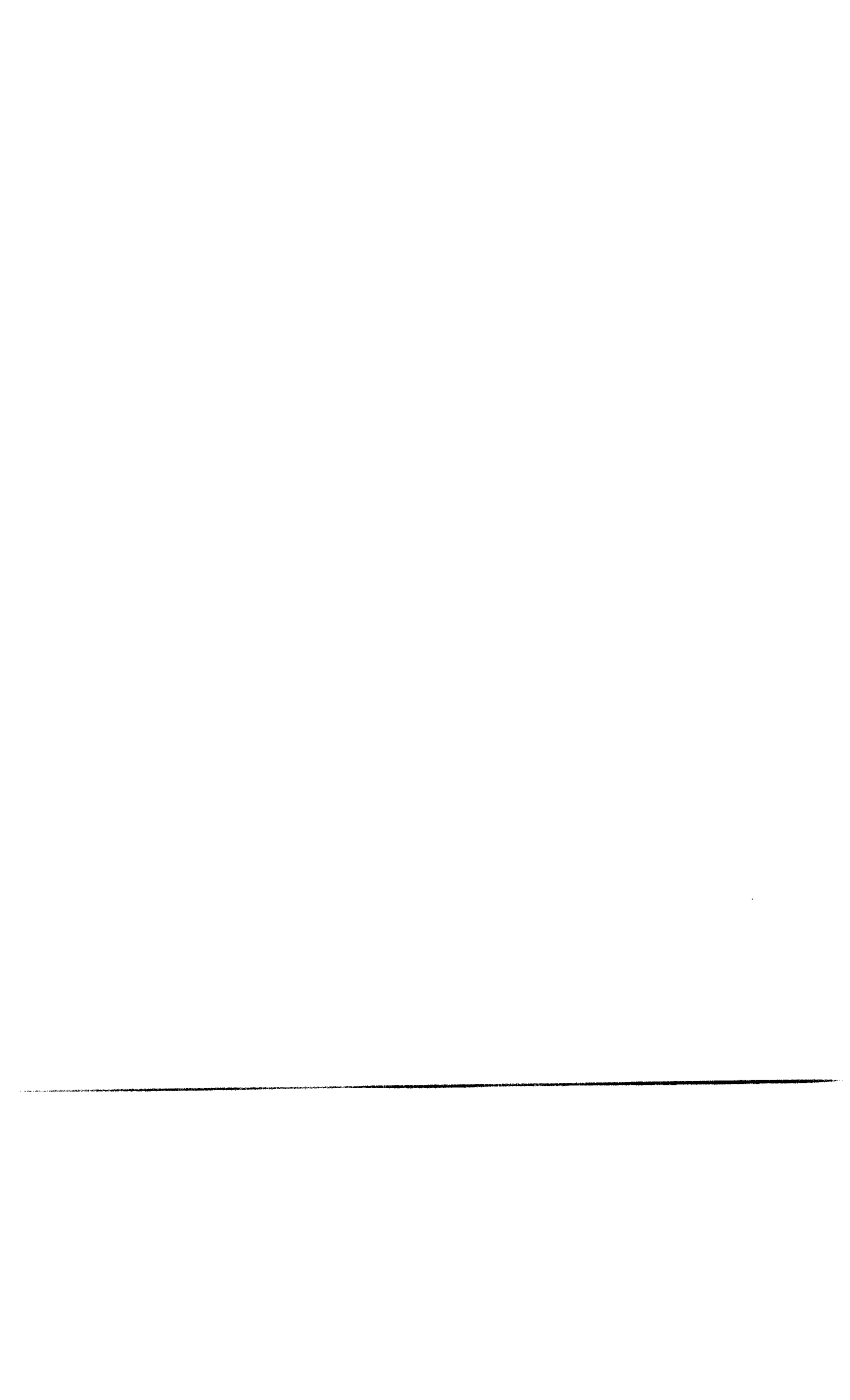
Sincerely,

*Dalaina Carmona*

OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION









**GENERAL NOTES - CITY REQUIRED KEYED NOTES**

1. THE APPROVED PLANS MUST BE KEPT ON SITE AT ALL TIMES AND MUST BE AVAILABLE FOR INSPECTION BY THE CITY ENGINEER AT ALL TIMES.
2. ALL WORK SHALL BE COMPLETED BY THE DATE SPECIFIED ON THE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE.
4. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE.
6. ALL WORK SHALL BE COMPLETED BY THE DATE SPECIFIED ON THE PLANS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE.
8. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE.
10. ALL WORK SHALL BE COMPLETED BY THE DATE SPECIFIED ON THE PLANS.

**PROJECT INFORMATION**

LOCATION: 1500 S. 24TH AVENUE, ALBUQUERQUE, NM 87105  
 PROJECT NO.: 2010-001  
 DATE: 10/15/10  
 DESIGNER: [Firm Name]  
 TOTAL AREA: 10,000 SQ. FT.  
 ZONING: U-1A  
 CITY: ALBUQUERQUE, NM

**MANZANO MESA WEST**

APPROXIMATE AREA: 10,000 SQ. FT.  
 TOTAL AREA: 10,000 SQ. FT.  
 ZONING: U-1A  
 CITY: ALBUQUERQUE, NM

**MANZANO MESA EAST**

APPROXIMATE AREA: 10,000 SQ. FT.  
 TOTAL AREA: 10,000 SQ. FT.  
 ZONING: U-1A  
 CITY: ALBUQUERQUE, NM

**ROAD LEGEND**

- 1. 10' RADIUS
- 2. 20' RADIUS
- 3. 30' RADIUS
- 4. 40' RADIUS
- 5. 50' RADIUS
- 6. 60' RADIUS
- 7. 70' RADIUS
- 8. 80' RADIUS
- 9. 90' RADIUS
- 10. 100' RADIUS

CASE NUMBER: Z  
 DATE: 10/15/10

SIGNATURE BLOCK

SCALE: 1" = 40'

VICINITY MAP

DATE: 10/15/10

PROJECT NO.: 2010-001

CITY: ALBUQUERQUE, NM

DESIGNER: [Firm Name]

DATE: 10/15/10

PROJECT NO.: 2010-001

CITY: ALBUQUERQUE, NM

DESIGNER: [Firm Name]

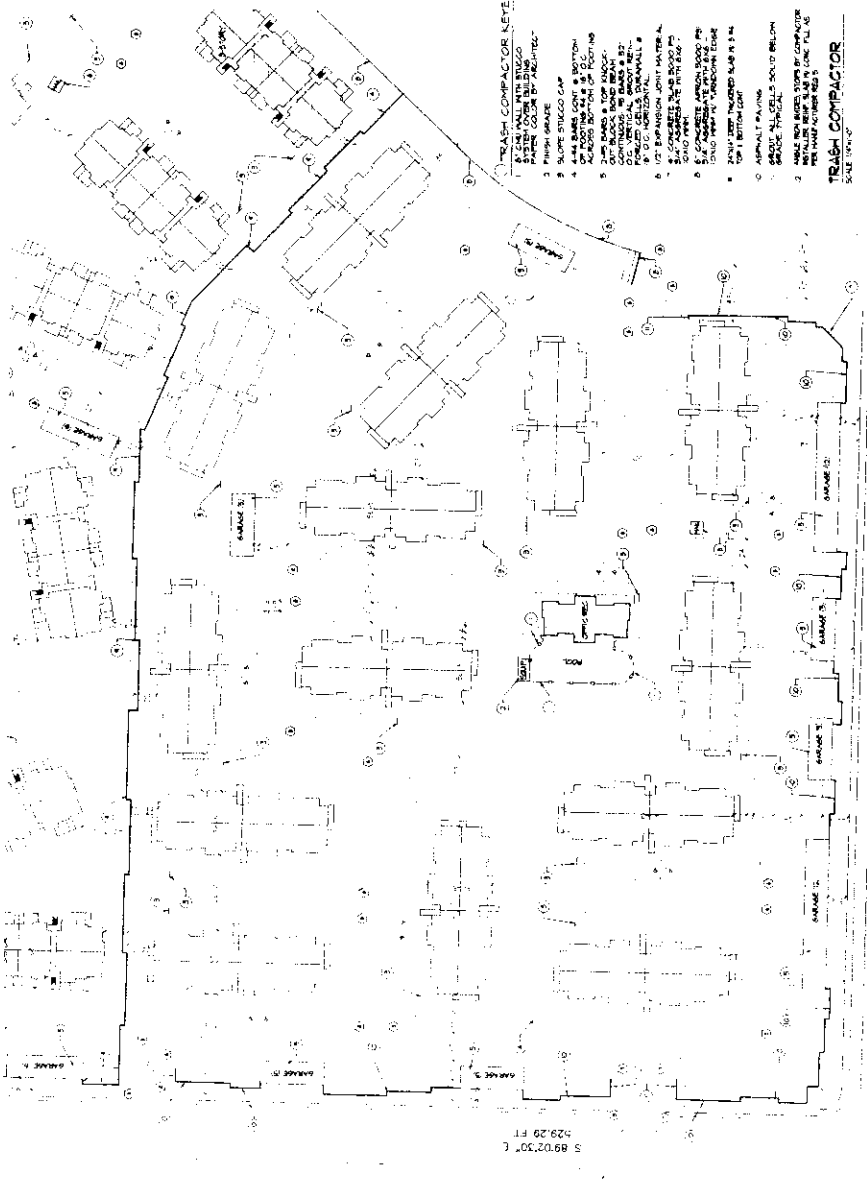
DATE: 10/15/10

PROJECT NO.: 2010-001

CITY: ALBUQUERQUE, NM

DESIGNER: [Firm Name]

DATE: 10/15/10



**TRASH COMPACTOR**  
SCALE: 1" = 40'

**WASH COMPACTOR KEYED NOTES**

1. 10' RADIUS
2. 20' RADIUS
3. 30' RADIUS
4. 40' RADIUS
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6. 60' RADIUS
7. 70' RADIUS
8. 80' RADIUS
9. 90' RADIUS
10. 100' RADIUS

**SECTION**

**PLAN VIEW**

**SECTION**

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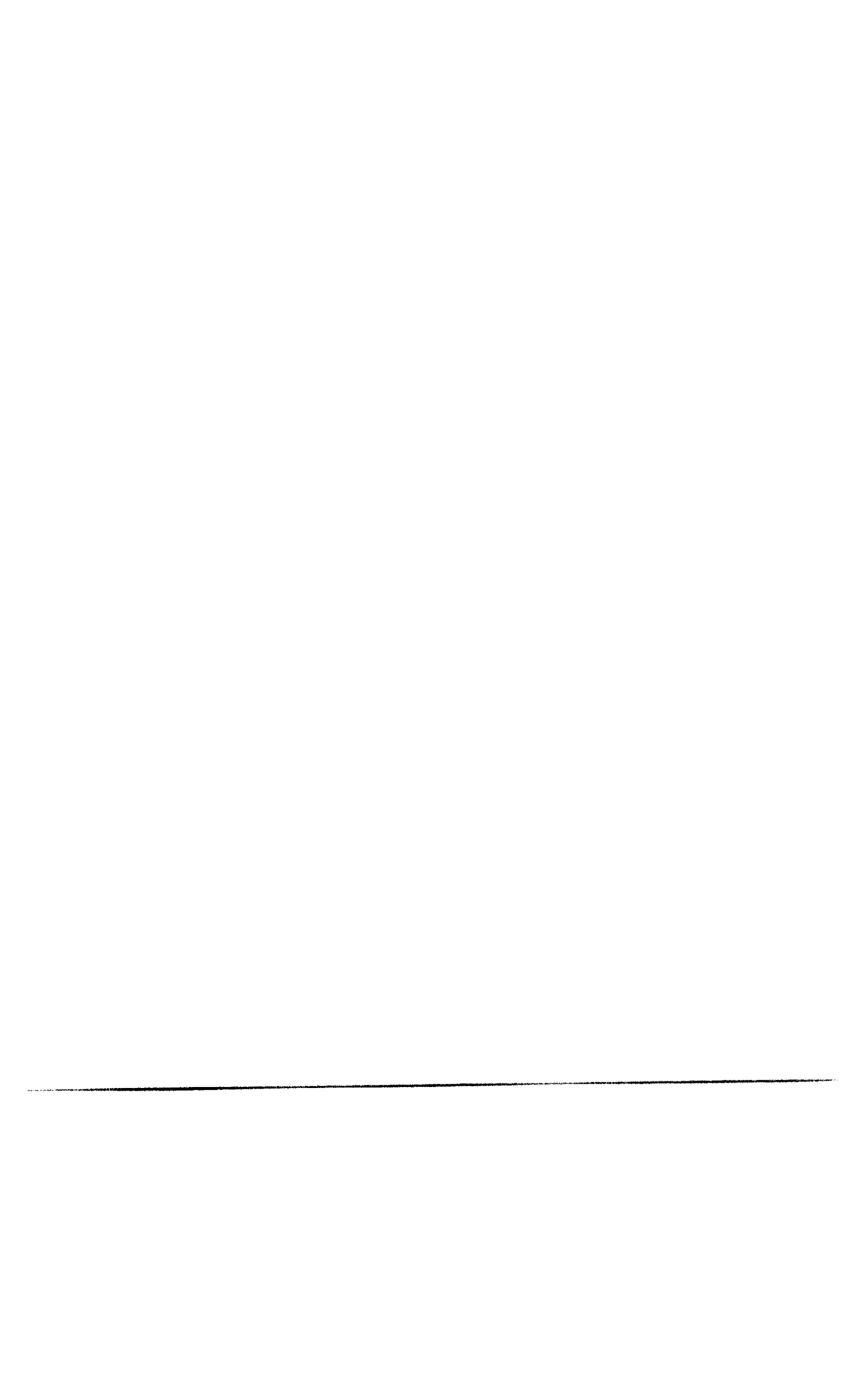
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**LEGEND**

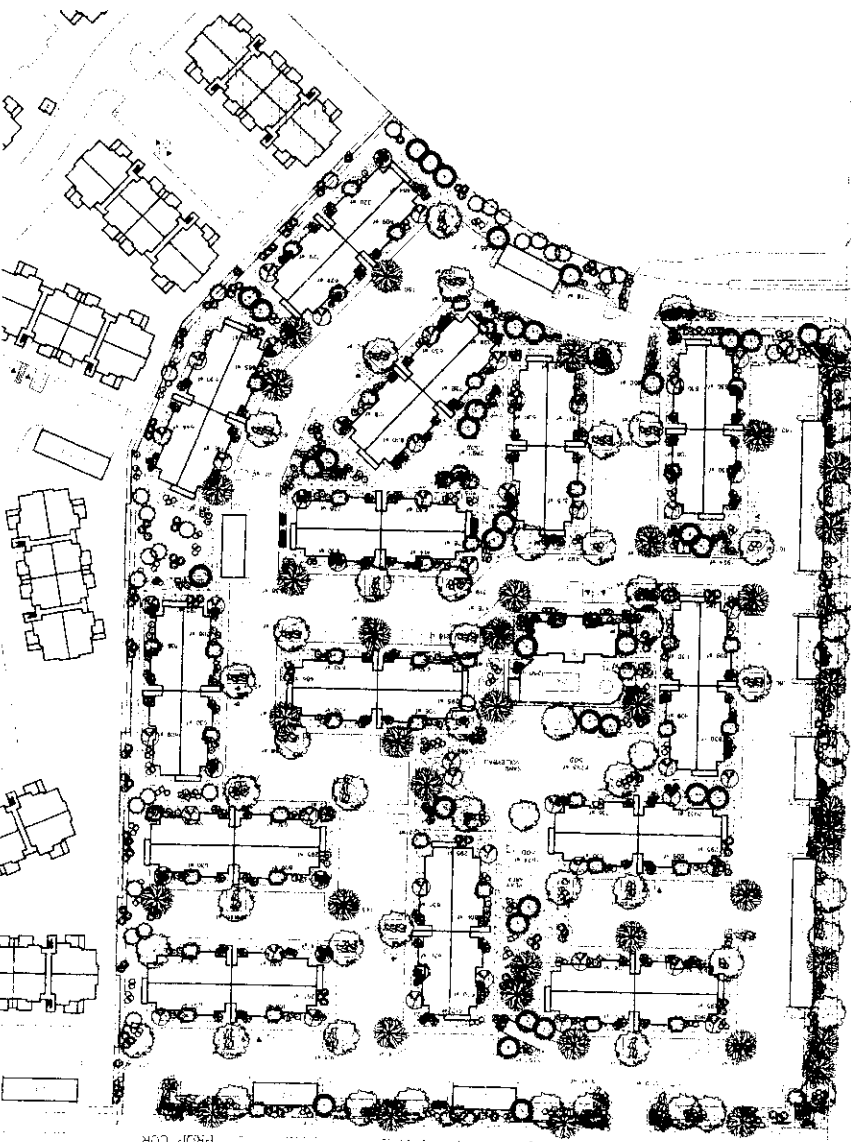
- 1. METAL FENCE
- 2. CHAIN LINK FENCE
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- 390. 2292" DIA. WATER MAIN
- 391. 2298" DIA. WATER MAIN
- 392. 2304" DIA. WATER MAIN
- 393. 2310" DIA. WATER MAIN
- 394. 2316" DIA. WATER MAIN
- 395. 2322" DIA. WATER MAIN
- 396. 2328" DIA. WATER MAIN
- 397. 2334" DIA. WATER MAIN
- 398. 2340" DIA. WATER MAIN
- 399. 2346" DIA. WATER MAIN
- 400. 2352" DIA. WATER MAIN
- 401. 2358" DIA. WATER MAIN
- 402. 2364" DIA. WATER MAIN
- 403. 2370" DIA. WATER MAIN
- 404. 2376" DIA. WATER MAIN
- 405. 2382" DIA. WATER MAIN
- 406. 2388" DIA. WATER MAIN
- 407. 2394" DIA. WATER MAIN
- 408. 2400" DIA. WATER MAIN
- 409. 2406" DIA. WATER MAIN
- 410. 2412" DIA. WATER MAIN
- 411. 2418" DIA. WATER MAIN
- 412. 2424" DIA. WATER MAIN
- 413. 2430" DIA. WATER MAIN
- 414. 2436" DIA. WATER MAIN
- 415. 2442" DIA. WATER MAIN
- 416. 2448" DIA. WATER MAIN
- 417. 2454" DIA. WATER MAIN
- 418. 2460" DIA. WATER MAIN
- 419. 2466" DIA. WATER MAIN
- 420. 2472" DIA. WATER MAIN
- 421. 2478" DIA. WATER MAIN
- 422. 2484" DIA. WATER MAIN
- 423. 2490" DIA. WATER MAIN
- 424. 2496" DIA. WATER MAIN
- 425. 2502" DIA. WATER MAIN
- 426. 2508" DIA. WATER MAIN
- 427. 2514" DIA. WATER MAIN
- 428. 2520" DIA. WATER MAIN
- 429. 2526" DIA. WATER MAIN
- 430. 2532" DIA. WATER MAIN
- 431. 2538" DIA. WATER MAIN
- 432. 2544" DIA. WATER MAIN
- 433. 2550" DIA. WATER MAIN
- 434. 2556" DIA. WATER MAIN
- 435. 2562" DIA. WATER MAIN
- 436. 2568" DIA. WATER MAIN
- 437. 2574" DIA. WATER MAIN
- 438. 2580" DIA. WATER MAIN
- 439. 2586" DIA. WATER MAIN
- 440. 2592" DIA. WATER MAIN
- 441. 2598" DIA. WATER MAIN
- 442. 2604" DIA. WATER MAIN
- 443. 2610" DIA. WATER MAIN
- 444. 2616" DIA. WATER MAIN
- 445. 2622" DIA. WATER MAIN
- 446. 2628" DIA. WATER MAIN
- 447. 2634" DIA. WATER MAIN
- 448. 2640" DIA. WATER MAIN
- 449. 2646" DIA. WATER MAIN
- 450. 2652" DIA. WATER MAIN
- 451. 2658" DIA. WATER MAIN
- 452. 2664" DIA. WATER MAIN
- 453. 2670" DIA. WATER MAIN
- 454. 2676" DIA. WATER MAIN
- 455. 2682" DIA. WATER MAIN
- 456. 2688" DIA. WATER MAIN
- 457. 2694" DIA. WATER MAIN
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- 459. 2706" DIA. WATER MAIN
- 460. 2712" DIA. WATER MAIN
- 461. 2718" DIA. WATER MAIN
- 462. 2724" DIA. WATER MAIN
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- 464. 2736" DIA. WATER MAIN
- 465. 2742" DIA. WATER MAIN
- 466. 2748" DIA. WATER MAIN
- 467. 2754" DIA. WATER MAIN
- 468. 2760" DIA. WATER MAIN
- 469. 2766" DIA. WATER MAIN
- 470. 2772" DIA. WATER MAIN
- 471. 2778" DIA. WATER MAIN
- 472. 2784" DIA. WATER MAIN
- 473. 2790" DIA. WATER MAIN
- 474. 2796" DIA. WATER MAIN
- 475. 2802" DIA. WATER MAIN
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- 477. 2814" DIA. WATER MAIN
- 478. 2820" DIA. WATER MAIN
- 479. 2826" DIA. WATER MAIN
- 480. 2832" DIA. WATER MAIN
- 481. 2838" DIA. WATER MAIN
- 482. 2844" DIA. WATER MAIN
- 483. 2850" DIA. WATER MAIN
- 484. 2856" DIA. WATER MAIN
- 485. 2862" DIA. WATER MAIN
- 486. 2868" DIA. WATER MAIN
- 4



**STREET TREE REQUIREMENTS**  
 Street trees required under the City of Albuquerque  
 Streets Tree Ordinance are as follows:

Name of Street: Elabate  
 Required # 23 Proposed # 23

Total number of trees on site as required by  
 The City of Albuquerque are as follows:  
 Number of 1st story apartment units: 112  
 Number of 2nd story apartment units: 112  
 Number of trees to meet 25% at maturity required: 184  
 Number of trees to meet 25% at maturity provided: 335



PPDP COR  
 PROBE COR  
 S 89°27'30" E  
 529.29 FT  
 H-30P COR

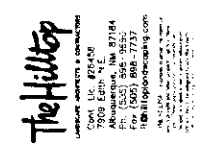
**LANDSCAPE CALCULATIONS**

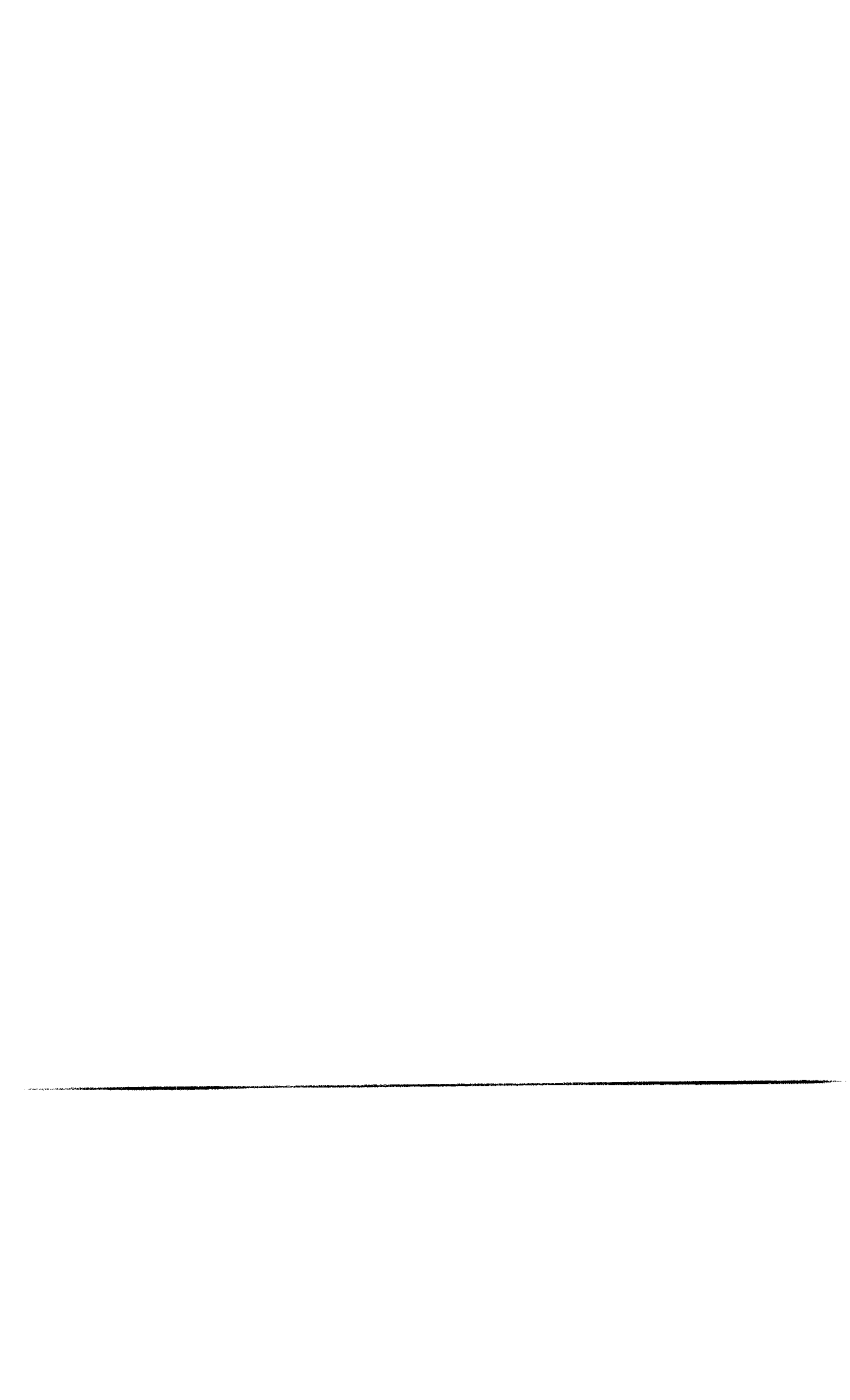
NET LANDSCAPE AREA	473,952	SQUARE FEET
TOTAL LOT AREA	100,237	SQUARE FEET
TOTAL BUILDINGS AREA	0	SQUARE FEET
OFFICE AREA	37,992.3	SQUARE FEET
NET LOT AREA	58,244.7	SQUARE FEET
TOTAL LANDSCAPE REQUIREMENT	145,612	SQUARE FEET
TOTAL LANDSCAPE PROVIDED	153,852	SQUARE FEET
TOTAL SOIL PROVIDED	11,544,000	SQUARE FEET
TOTAL NATIVE SEED PROVIDED	22,137	SQUARE FEET

**IRIGATION NOTES:**  
 Irrigation shall be a complete underground drip system with 1/2" drippers spaced at 10' to 12' on center. Drip and flush systems shall be installed with 1/2" poly pipe with flush caps at each end.  
 Run times per each 450' section shall be approximately 15 minutes per day, to be adjusted according to the season.  
 Points of connection for irrigation system shall be located at the main water line and shall be coordinated with the water utility.  
 Irrigation shall be operated by automatic controller, and power source for controller to be provided by owner.  
 Irrigation maintenance shall be the responsibility of the Property Owner.

**ANNUAL NOTES:**  
 The City of Albuquerque, New Mexico, is the responsible authority for the City of Albuquerque Streets Tree Ordinance. The City of Albuquerque, New Mexico, is the responsible authority for the City of Albuquerque Streets Tree Ordinance.  
 All trees shall be planted in accordance with the City of Albuquerque Streets Tree Ordinance. All trees shall be planted in accordance with the City of Albuquerque Streets Tree Ordinance.  
 All trees shall be planted in accordance with the City of Albuquerque Streets Tree Ordinance. All trees shall be planted in accordance with the City of Albuquerque Streets Tree Ordinance.  
 All trees shall be planted in accordance with the City of Albuquerque Streets Tree Ordinance. All trees shall be planted in accordance with the City of Albuquerque Streets Tree Ordinance.

**PLANT LIST:**  
 1. 2" - 4" SMOKE TREE (EUCALYPTUS GLOBULUS)  
 2. 2" - 4" SMOKE TREE (EUCALYPTUS GLOBULUS)  
 3. 2" - 4" SMOKE TREE (EUCALYPTUS GLOBULUS)  
 4. 2" - 4" SMOKE TREE (EUCALYPTUS GLOBULUS)  
 5. 2" - 4" SMOKE TREE (EUCALYPTUS GLOBULUS)  
 6. 2" - 4" SMOKE TREE (EUCALYPTUS GLOBULUS)  
 7. 2" - 4" SMOKE TREE (EUCALYPTUS GLOBULUS)  
 8. 2" - 4" SMOKE TREE (EUCALYPTUS GLOBULUS)  
 9. 2" - 4" SMOKE TREE (EUCALYPTUS GLOBULUS)  
 10. 2" - 4" SMOKE TREE (EUCALYPTUS GLOBULUS)







March 1, 2001

## Staff Report

<b>Agent</b>	Consensus Planning
<b>Applicant</b>	GSL Properties
<b>Requests</b>	Zone Map Amendment Site Plan for Subdivision Two Site Plans for Building Permit
<b>Legal Description</b>	Tracts G-3 and H-1
<b>Location</b>	Eubank between Central Avenue and Sandia National Laboratories SE
<b>Size</b>	Approximately 36.3 acres
<b>Existing Zoning</b>	SU-1 for O-1, SU-1 for R-2
<b>Proposed Zoning</b>	SU-1 for R-2, SU-1 for O-1

### Staff Recommendation

**APPROVAL** of 00110 00000 01644, request for zone map amendment based on the findings on page 21, and subject to the conditions of approval on page 22.

**APPROVAL** of 00128 00000 01645, request for site plan for subdivision, based on the findings on page 22.

**APPROVAL** of 00128 00000 01646, request for site plan for building permit, based on the findings on page 23, and subject to the conditions of approval on page 24.

**APPROVAL** of 00128 00000 01647, request for site plan for building permit, based on the findings on page 26, and subject to the conditions of approval on page 27.

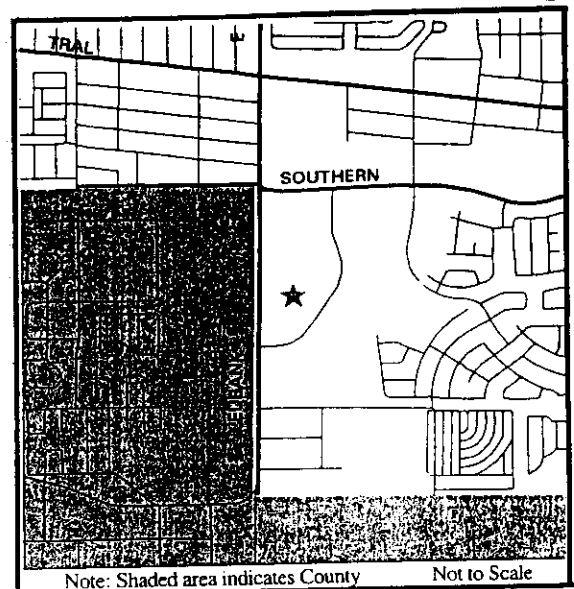
Staff Planner

Deborah L. Stover

### Summary of Analysis

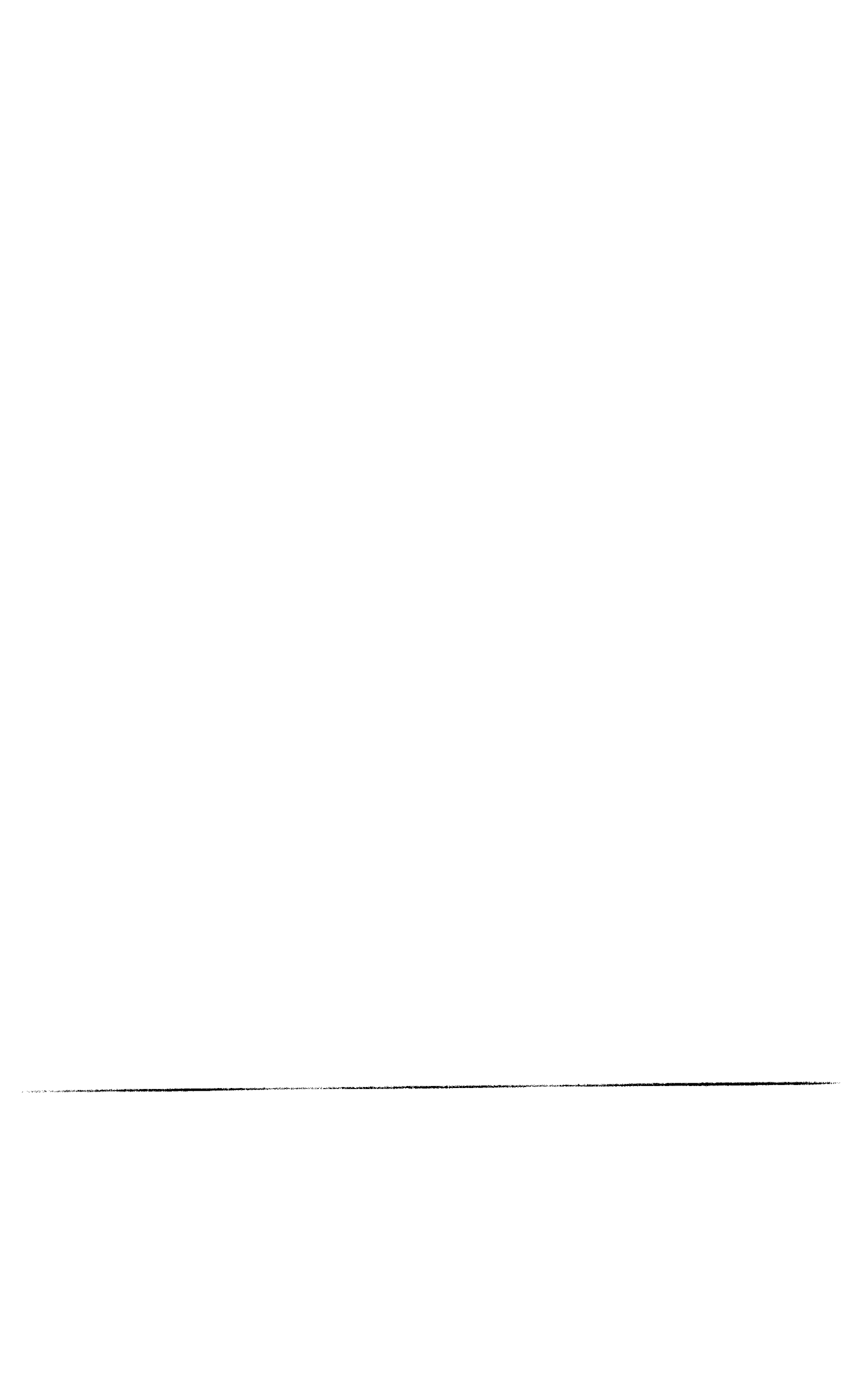
This request was heard at the January 18, 2001 EPC hearing and was deferred to the February 8, 2001 hearing. The request is for a zone map amendment, approval for site plan for subdivision and approval for two site plans for building permit for two separate multi-family residential complexes. The zone change request is not inconsistent with the existing zoning on the subject site, but if approved would move the residential area to the north of the parcels and the office uses to the southern portion of the area, nearer the proposed technology park. The proposed subdivision creates three tracts from the existing two. The request is consistent with applicable policies and plans.

Updated staff comments begin on page 20 of this report. All previous comments and analysis apply as well. Staff recommends approval of this request.



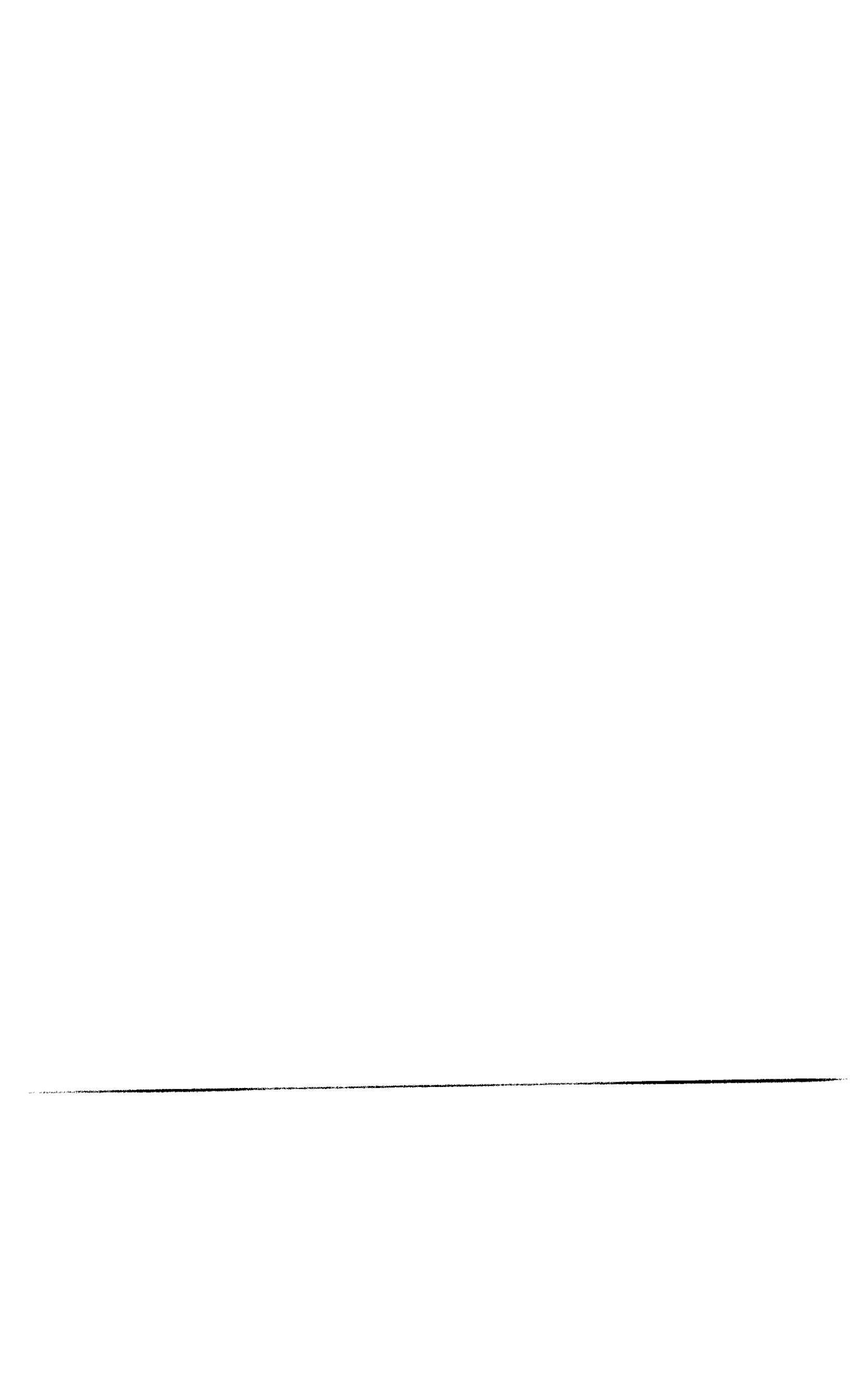
City Departments and other interested agencies reviewed this application from 12/1/00 to 12/15/00. Agency comments were used in the preparation of this report, and begin on page 30.

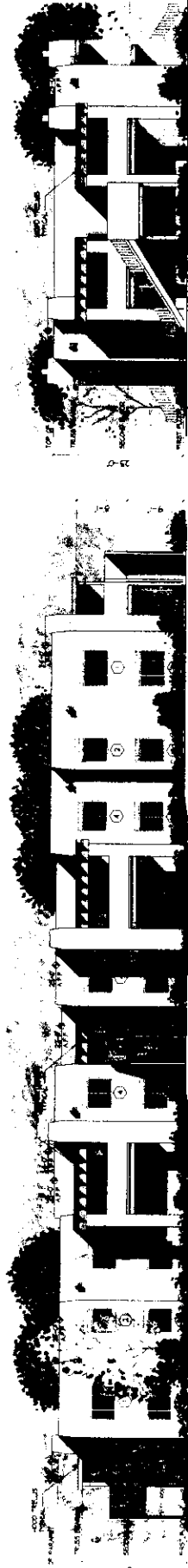










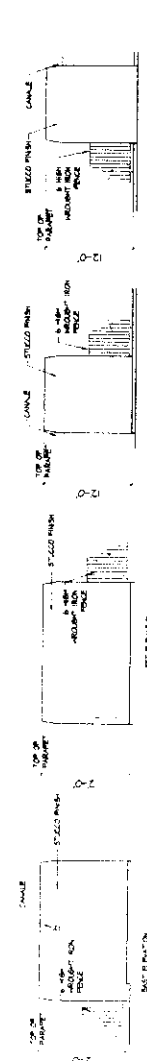


6-PLEX BUILDING FRONT ELEVATION (REAR ELEVATION SIM)

SCALE 1/8" = 1'-0"

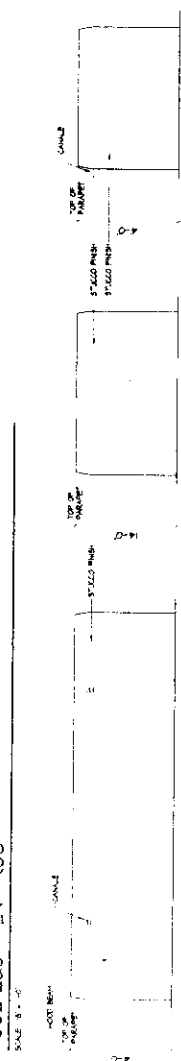
6-PLEX BUILDING SIDE ELEVATION

SCALE 1/8" = 1'-0"



POOL EQUIPMENT ROOM

SCALE 1/8" = 1'-0"

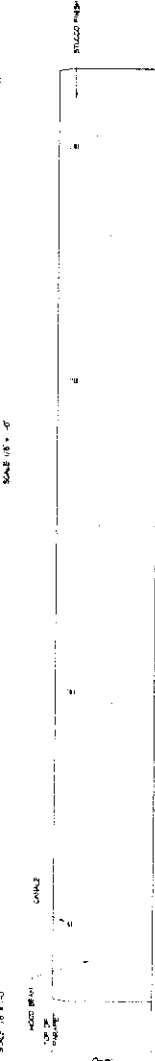


GARAGE (5 CAR)

SCALE 1/8" = 1'-0"

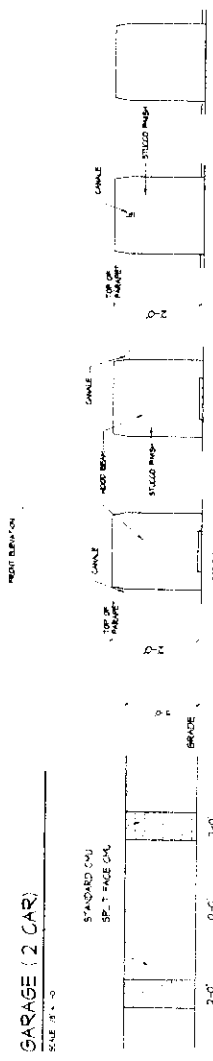
GARAGE ELEVATIONS (5 & 2 CAR)

SCALE 1/8" = 1'-0"



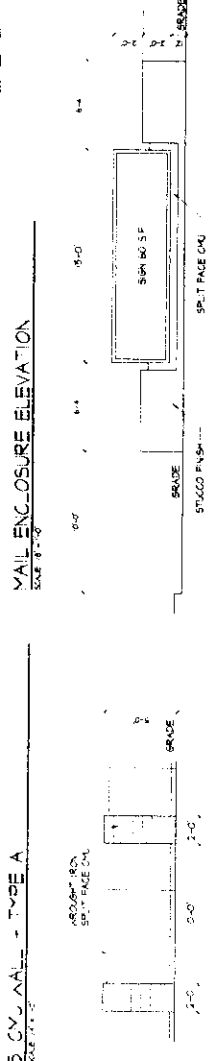
GARAGE (2 CAR)

SCALE 1/8" = 1'-0"



MAIL ENCLOSURE ELEVATION

SCALE 1/8" = 1'-0"



MONUMENT SIGN

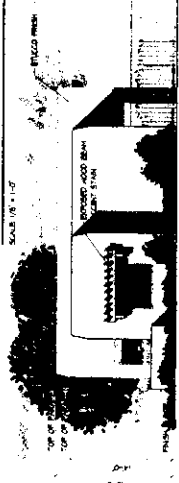
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5 CY. WALL - TYPE B

SCALE 1/8" = 1'-0"

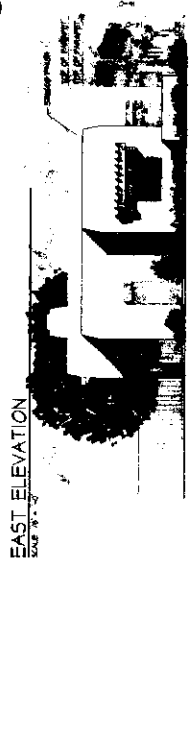
5 CY. WALL - TYPE A

SCALE 1/8" = 1'-0"



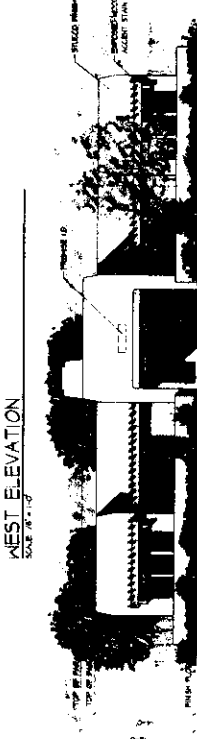
EAST ELEVATION

SCALE 1/8" = 1'-0"



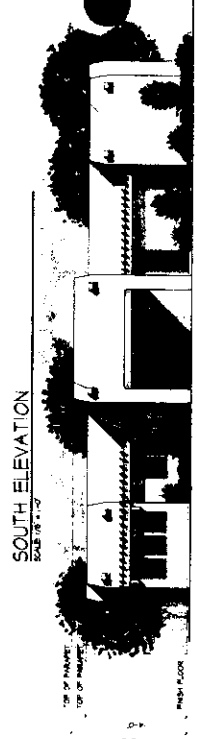
WEST ELEVATION

SCALE 1/8" = 1'-0"



SOUTH ELEVATION

SCALE 1/8" = 1'-0"



NORTH ELEVATION

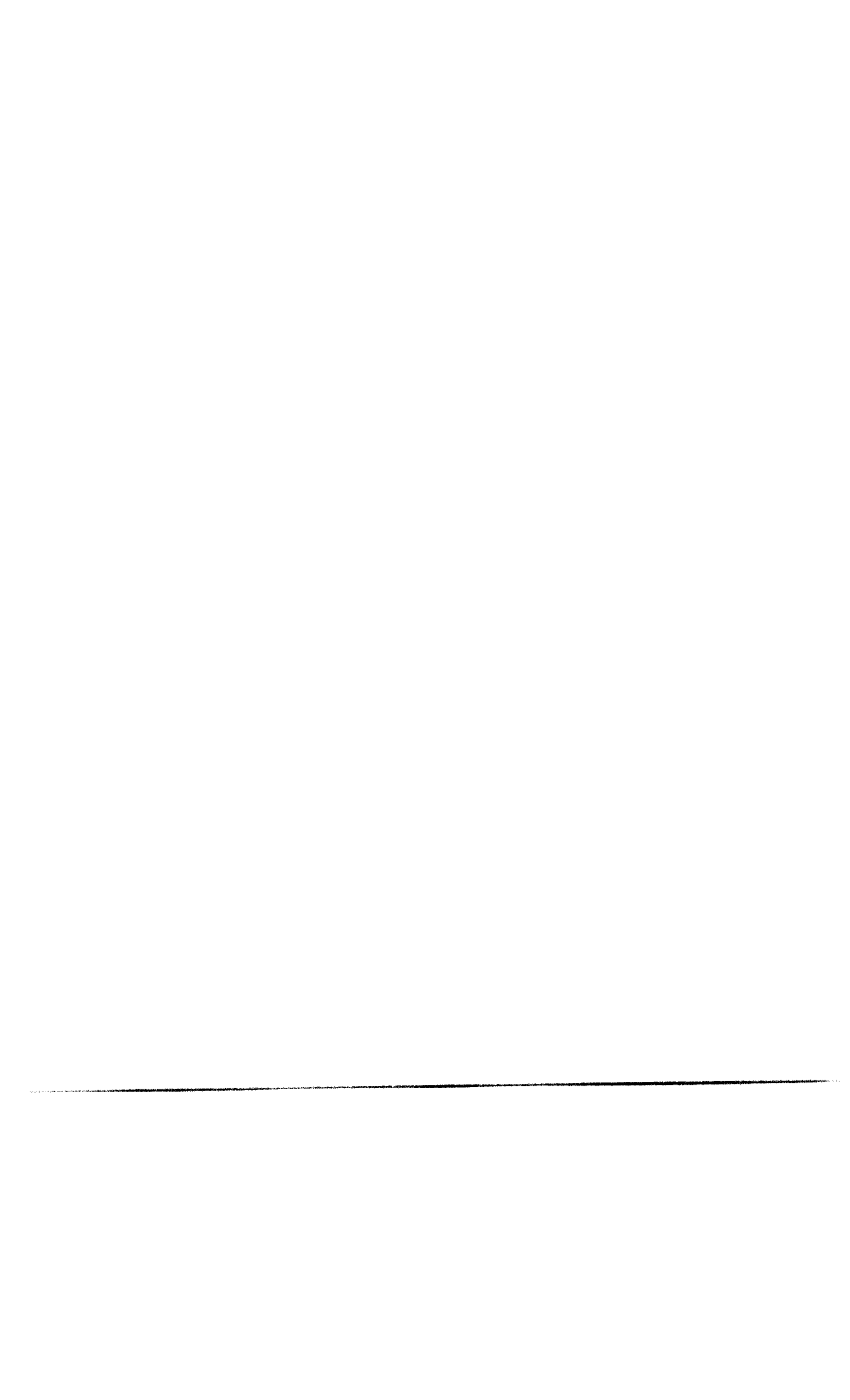
SCALE 1/8" = 1'-0"

OFFICE/REC. ELEVATIONS

GENERAL NOTES

STALCO FINISH & OTHERS' COLORS TO BE USED THROUGHOUT THE PROJECT. THESE COLORS WILL BE LIGHT BEIGE, MED. BEIGE AND DARK BEIGE.  
 EXTERIOR ROOF SHALL BE STAINED W/ COMPLEMENTARY COLORS.  
 AREA LIGHTING, INCLUDING PARKING AND WALKS, SHALL BE TORCHERED. THE LOCATION OF THE LIGHTING FIXTURE DOES NOT DIRECTLY SHINE ON ANY PUBLIC ROAD. IT SHALL NOT EXCEED THE MAXIMUM ALLOWED LUMENS PER FOOT CANDLE AND SHALL BE DIMMED GREATER THAN 100 FOOT CANDLE AND 100 FOOT CANDLE SHALL BE MAINTAINED FROM ANY PUBLIC ROAD IN A RESIDENTIAL ZONE.

MANZANO MESA RES'T 1500 N. ALBUQUERQUE BLVD. SUITE 100 ALBUQUERQUE, NM 87102 TEL: 505-261-1111 FAX: 505-261-1112	
PROJECT: MANZANO MESA RES'T ARCHITECT: MANZANO MESA RES'T DATE: 10/15/04	
SHEET NO. 5 OF 10	
6611 LOMA DE ANDES PAVING 2400 BOURBON BLVD. N.E. ALBUQUERQUE, NM 87110-5605 TEL: 505-261-1111 FAX: 505-261-1112	



- KEYED NOTES**
1. FILL OR EXCAVATION SHALL BE ACCORDING TO THE SPECIFICATIONS.
  2. ALL CONCRETE SHALL BE 3000 PSI.
  3. ALL CONCRETE SHALL BE 3000 PSI.
  4. ALL CONCRETE SHALL BE 3000 PSI.
  5. ALL CONCRETE SHALL BE 3000 PSI.
  6. ALL CONCRETE SHALL BE 3000 PSI.
  7. ALL CONCRETE SHALL BE 3000 PSI.
  8. ALL CONCRETE SHALL BE 3000 PSI.
  9. ALL CONCRETE SHALL BE 3000 PSI.
  10. ALL CONCRETE SHALL BE 3000 PSI.

**PROJECT INFORMATION**

LOCATION: DENVER, COLORADO  
 CLIENT: [REDACTED]  
 ARCHITECT: [REDACTED]  
 ENGINEER: [REDACTED]  
 DATE: [REDACTED]

**MANZANO MESA WEST**

APPROXIMATE TOTAL AREA: 100,000 SQ. FT.  
 APPROXIMATE TOTAL FLOOR AREA: 100,000 SQ. FT.  
 APPROXIMATE TOTAL VOLUME: 100,000 CU. YD.

**MANZANO MESA EAST**

APPROXIMATE TOTAL AREA: 100,000 SQ. FT.  
 APPROXIMATE TOTAL FLOOR AREA: 100,000 SQ. FT.  
 APPROXIMATE TOTAL VOLUME: 100,000 CU. YD.

**RADIUS LEGEND**

- 1' RADIUS
- 2' RADIUS
- 3' RADIUS
- 4' RADIUS
- 5' RADIUS
- 6' RADIUS
- 7' RADIUS
- 8' RADIUS
- 9' RADIUS
- 10' RADIUS
- 11' RADIUS
- 12' RADIUS
- 13' RADIUS
- 14' RADIUS
- 15' RADIUS
- 16' RADIUS
- 17' RADIUS
- 18' RADIUS
- 19' RADIUS
- 20' RADIUS

**MANZANO MESA EAST**

ALBUQUERQUE, NEW MEXICO 87103

PROJECT NUMBER: [REDACTED]

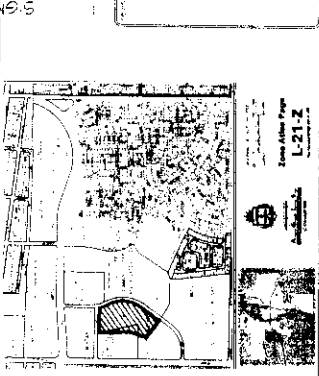
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SCALE: [REDACTED]

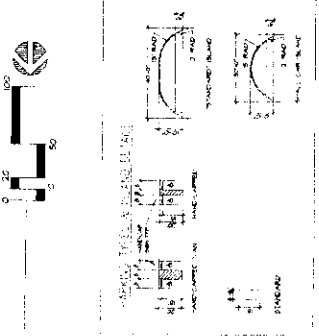
BY: [REDACTED]

CHECKED: [REDACTED]

APPROVED: [REDACTED]



- LEGEND**
- 1. METAL FINISH
  - 2. METAL FINISH
  - 3. METAL FINISH
  - 4. METAL FINISH
  - 5. METAL FINISH
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  - 19. METAL FINISH
  - 20. METAL FINISH



**NOTES**

1. ALL CONCRETE SHALL BE 3000 PSI.
2. ALL CONCRETE SHALL BE 3000 PSI.
3. ALL CONCRETE SHALL BE 3000 PSI.
4. ALL CONCRETE SHALL BE 3000 PSI.
5. ALL CONCRETE SHALL BE 3000 PSI.
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9. ALL CONCRETE SHALL BE 3000 PSI.
10. ALL CONCRETE SHALL BE 3000 PSI.

**MANZANO MESA EAST**

ALBUQUERQUE, NEW MEXICO 87103

PROJECT NUMBER: [REDACTED]

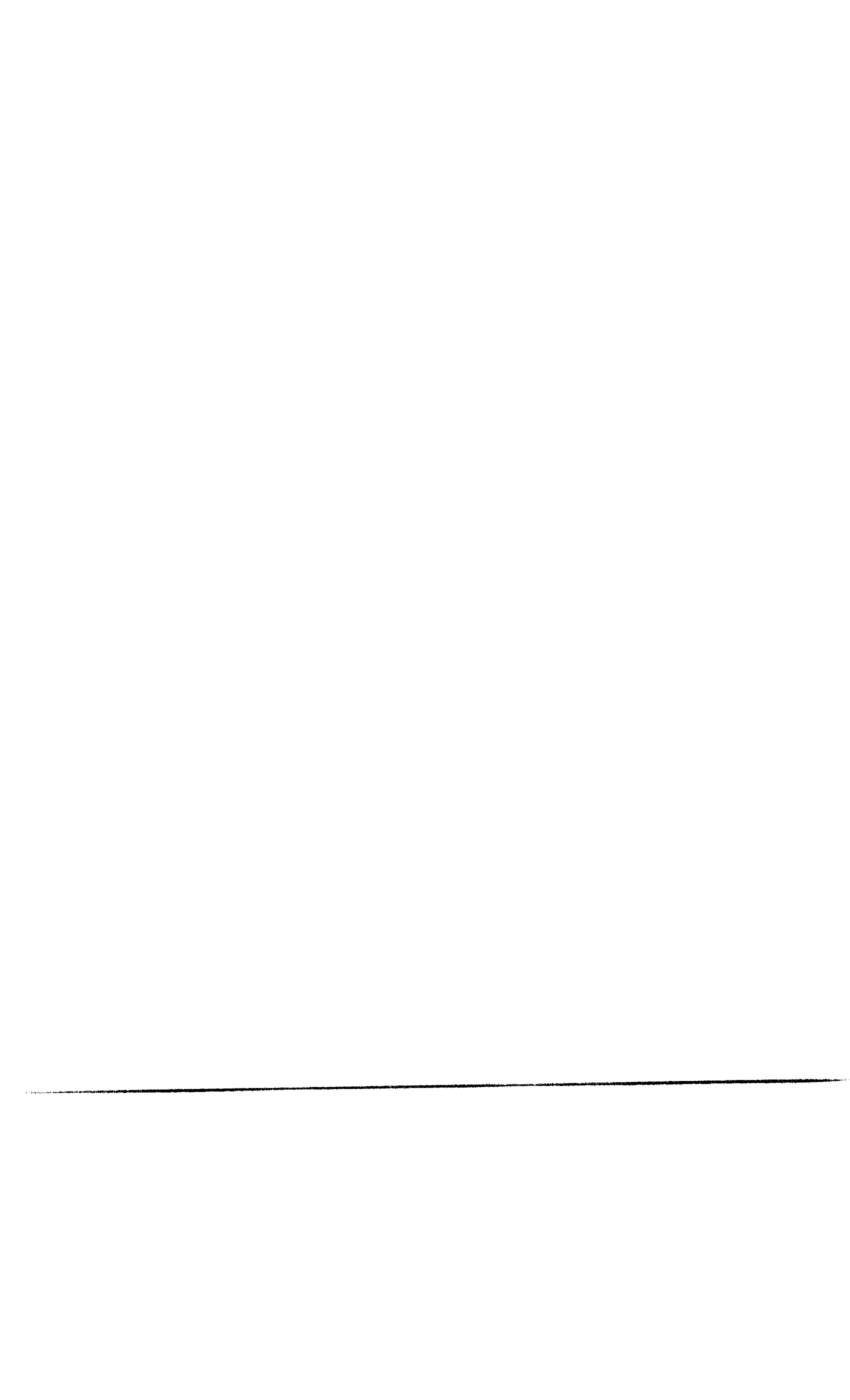
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BY: [REDACTED]

CHECKED: [REDACTED]

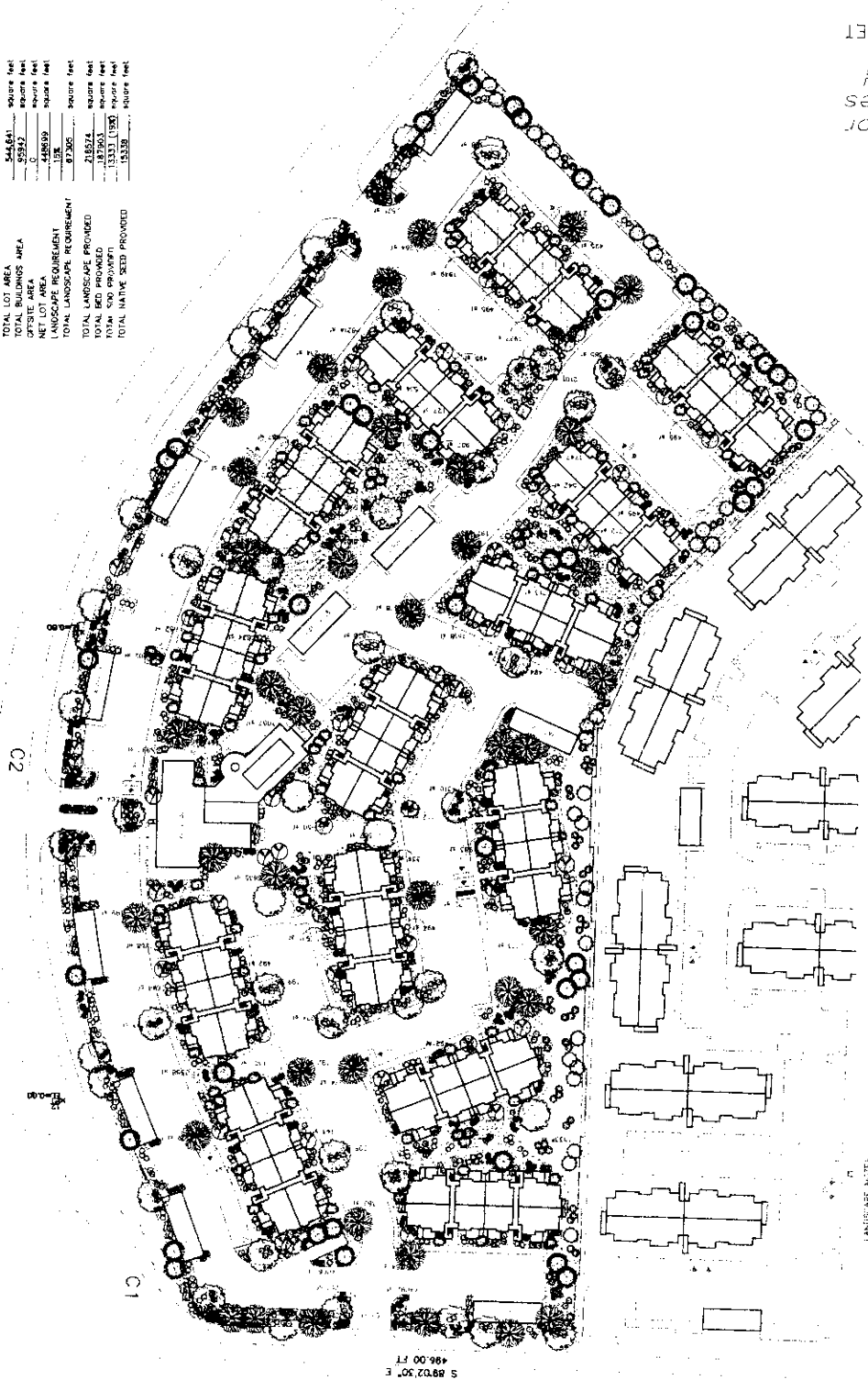
APPROVED: [REDACTED]



**LANDSCAPE CALCULATIONS**

NET LANDSCAPE AREA	544,681	SQ. FT.
TOTAL LOT AREA	529,942	SQ. FT.
TOTAL BUILDINGS AREA	45,859	SQ. FT.
DRIVEWAY AREA	45,859	SQ. FT.
NET LOT AREA	479,074	SQ. FT.
TOTAL LANDSCAPE REQUIREMENT	9,280	SQ. FT.
TOTAL LANDSCAPE PROVIDED	21,574	SQ. FT.
TOTAL NATIVE SEED PROVIDED	13,131 (100%)	SQ. FT.
TOTAL 500 PROVEN	15,339	SQ. FT.

PLANT	SYMBOL	QUANTITY
SMALL TREE	(Symbol)	145
MEDIUM TREE	(Symbol)	10
LARGE TREE	(Symbol)	10
SHRUB	(Symbol)	10
PERENNIAL	(Symbol)	10
ANNUAL	(Symbol)	10
GRASS	(Symbol)	10
SPRING PLANT	(Symbol)	10
FALL PLANT	(Symbol)	10
WATER FEATURE	(Symbol)	10
SEED	(Symbol)	10
500 PROVEN	(Symbol)	10



S 89°02'30" E  
496.00 FT

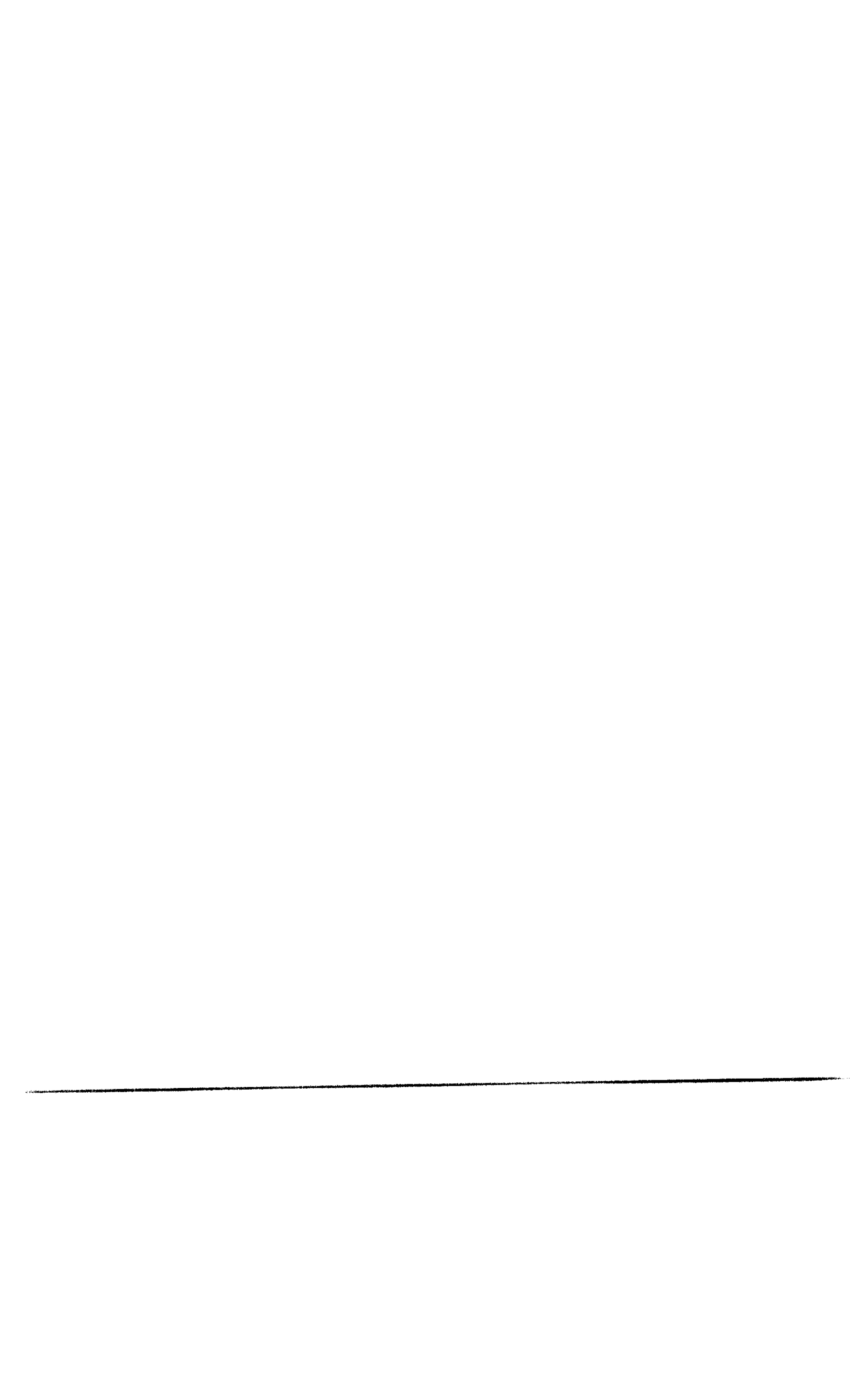
ET  
/  
SC  
CT

Total number of trees on site as required by the City of Albuquerque are as follows:  
 Number of 1st story apartment units: 112  
 Number of 2nd story apartment units: 55  
 Number of trees to meet 75% of maturity required: 56  
 Number of trees to meet 25% of maturity provided: 56

**IRRIGATION NOTES**  
 Irrigation will be a console wireless hard system with trees to receive (5) 1.0 GPH. 1/2" drip emitters, 1/2" and 3/4" drippers, 1/2" and 3/4" drippers to be tied to 1/2" pipe with flush caps at each end.  
 Run time per zone will be set to be adapted according to the season.  
 Point of connection for irrigation system is unknown at current time and will be coordinated with the field.  
 System will be operated by automatic controller. Controller will be installed in general area and power source for controller to be provided by utility.  
 Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPE NOTES**  
 Landscaping shall be the responsibility of the Property Owner.  
 The City of Albuquerque, New Mexico, requires that all new construction projects be designed to comply with the City of Albuquerque Landscaping and Water Waste Ordinance.  
 Approval of this plan does not constitute a guarantee of the City of Albuquerque's ability to provide the services described herein.  
 The City of Albuquerque, New Mexico, requires that all new construction projects be designed to comply with the City of Albuquerque Landscaping and Water Waste Ordinance.  
 Approval of this plan does not constitute a guarantee of the City of Albuquerque's ability to provide the services described herein.  
 Plant beds shall be 25% live ground cover at maturity.  
 1/4" Gray Gavel over Filter Fabric.  
 All trees planted shall include stakes and shall be 100% irrigated to ensure native seed.

**The Hilltop**  
 LANDSCAPE ARCHITECTS & PLANNERS  
 2605 Loma Verde  
 Albuquerque, NM 87106  
 Phone: (505) 838-1973  
 Fax: (505) 838-1973  
 Email: thehilltop@comcast.net  
 Website: www.thehilltop.com



MANZANO

SU-1 FOR R-2 USES  
G1

SU-1 LIMITED D-1 USES

MANZANO MESA PARK  
SU-1 COMMUNITY AND RELATED

SU-1 FOR R-2 USES

BASE

BANK  
EUBANK

STEPHEN MOODY

MESA

E1

SP-----97-----54

### ZONING MAP



Scale 1" = 377'

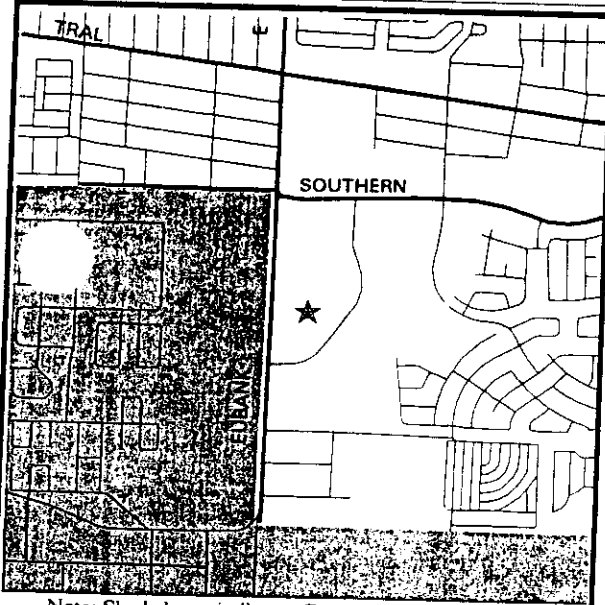
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1000938

HEARING DATE  
01-08-01

MAP NO.  
L-21

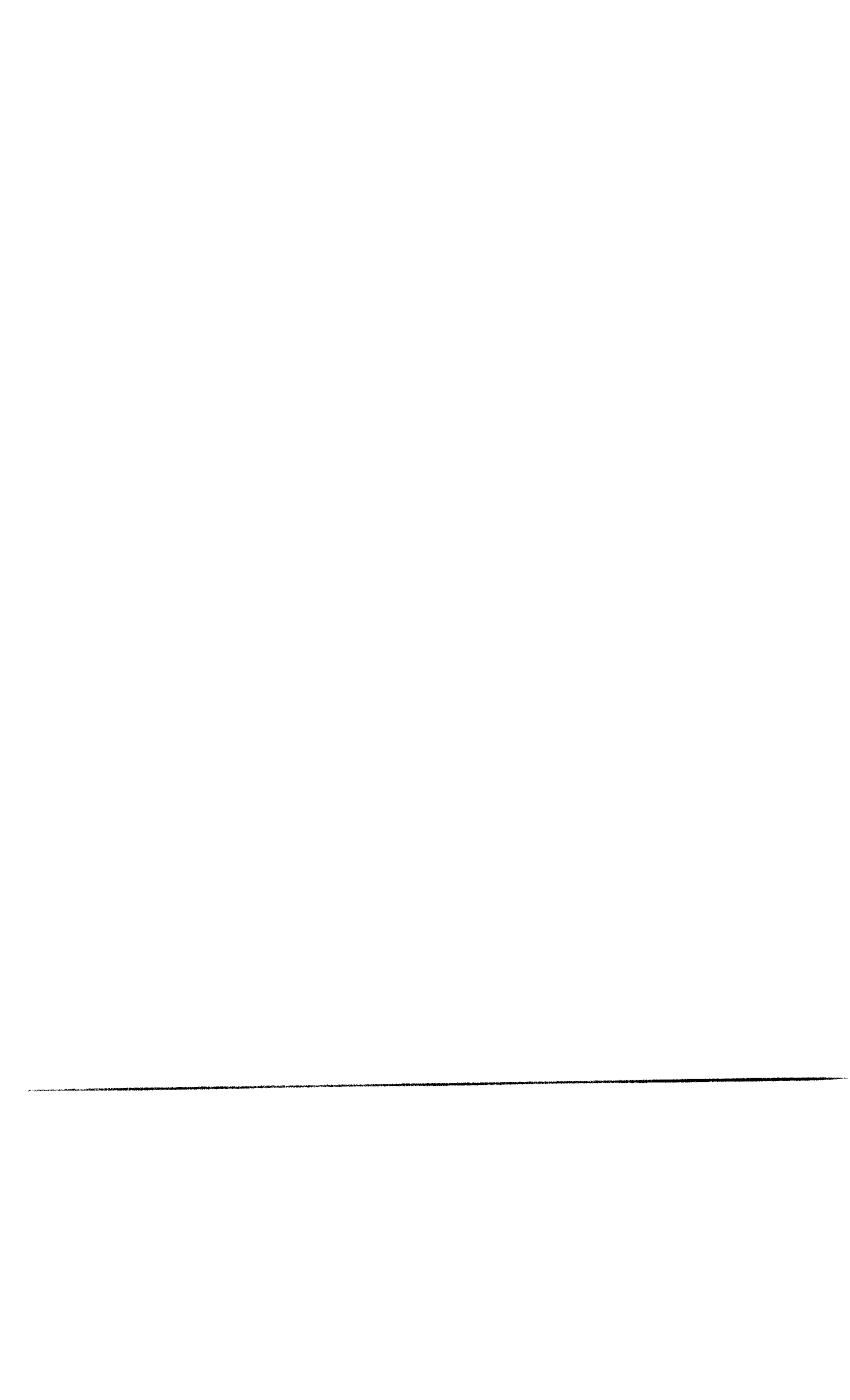
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00128-00000-01647

-14-











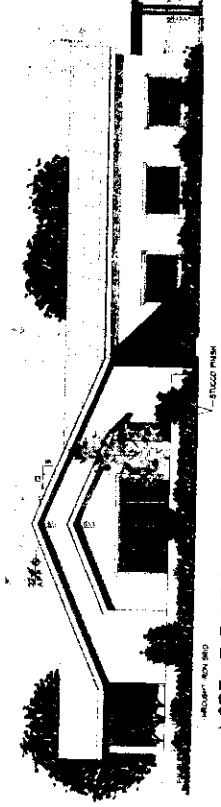
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**EAST ELEVATION**  
SCALE 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"

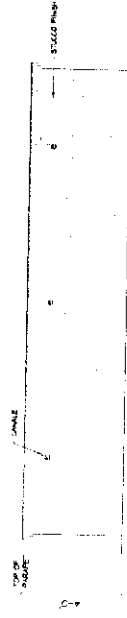


**NORTH ELEVATION**  
SCALE 1/8" = 1'-0"

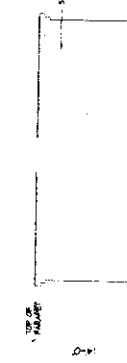


**WEST ELEVATION**  
SCALE 1/8" = 1'-0"

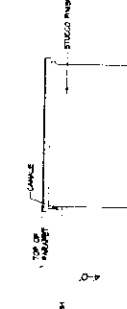
**OFFICE/REAR ELEVATIONS**



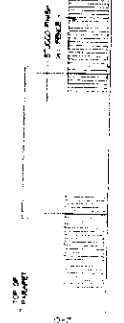
**GARAGE FRONT ELEVATION**  
SCALE 3/8" = 1'-0"



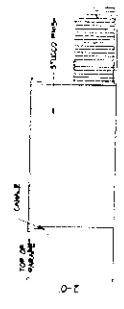
**GARAGE REAR ELEVATION**  
SCALE 3/8" = 1'-0"



**GARAGE SIDE ELEVATION**  
SCALE 1/8" = 1'-0"



**POOL EQUIPMENT NORTH ELEVATION**  
SCALE 3/8" = 1'-0"



**POOL EQUIPMENT EAST ELEVATION**  
SCALE 1/8" = 1'-0"



**POOL EQUIPMENT WEST ELEVATION**  
SCALE 1/8" = 1'-0"



**POOL EQUIPMENT SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"

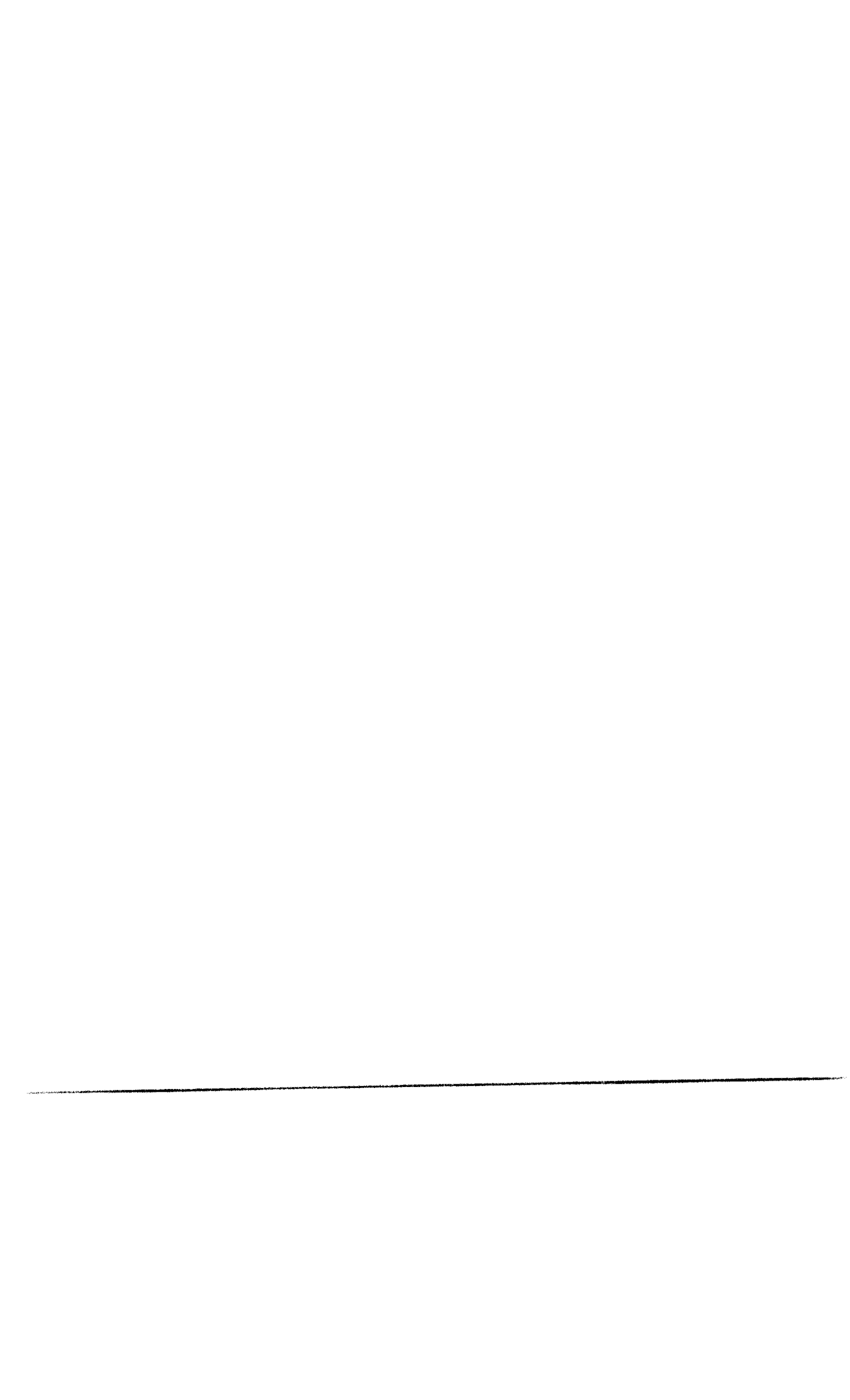
**GENERAL NOTES:**

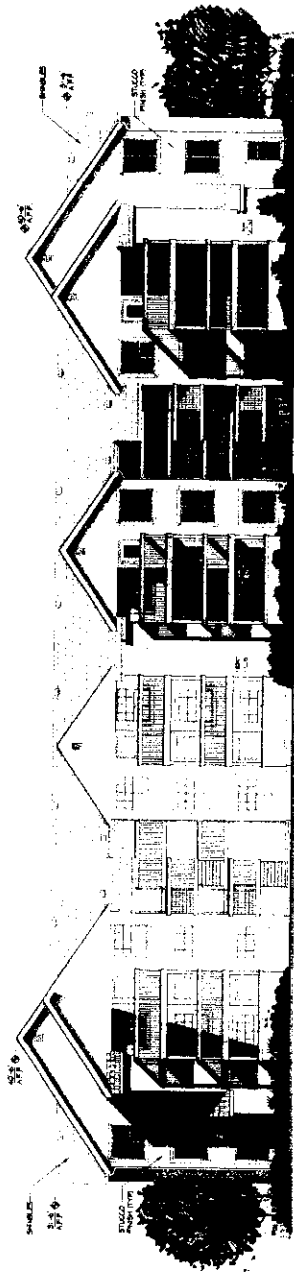
STUCCO FINISH  
THAT WILL BE 3 DIFFERENT COLORS TO BE USED  
THESE COLORS WILL BE LIGHT BEIGE, MEDIUM BEIGE,  
DARK BEIGE  
OUTDOOR LIGHTING  
COLORS USED SHOULD BE STAINED TO COMPLEMENT  
AREA LIGHTING INCLUDING PARKING AND DRIVEWAYS SHALL BE  
ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURES  
DOES NOT DIRECTLY SHINE ON ANY PUBLIC ROAD OR DRIVEWAY  
HAVE AN OBTUSE LUMINAIRE BEHIND THEM AND SHALL NOT  
HAVE AN OBTUSE LUMINAIRE GREATER THAN 600 FOOT-LAMENTS  
300 FOOT-LAMENTS ARE REQUIRED FROM ANY PUBLIC PROPERTY  
IN A RESIDENTIAL ZONE



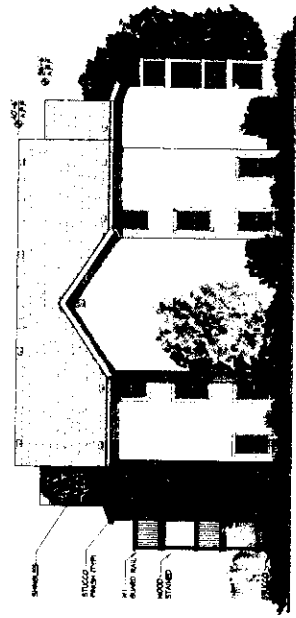
MANZANO MESA EAST  
ALBUQUERQUE, NEW MEXICO 87125  
DOLLA COME ARCHITECTOS POLARIS  
DOLLA COME ARCHITECTOS POLARIS  
2800 UNIVERSITY BLVD. SUITE 100  
ALBUQUERQUE, NM 87106-4001  
PHONE: 505.263.1111  
FAX: 505.263.1112  
WWW.DOLLA.COME.COM

PROJECT: 5  
DATE: 10/10/00





24-PLEX BUILDING - FRONT / REAR ELEVATION

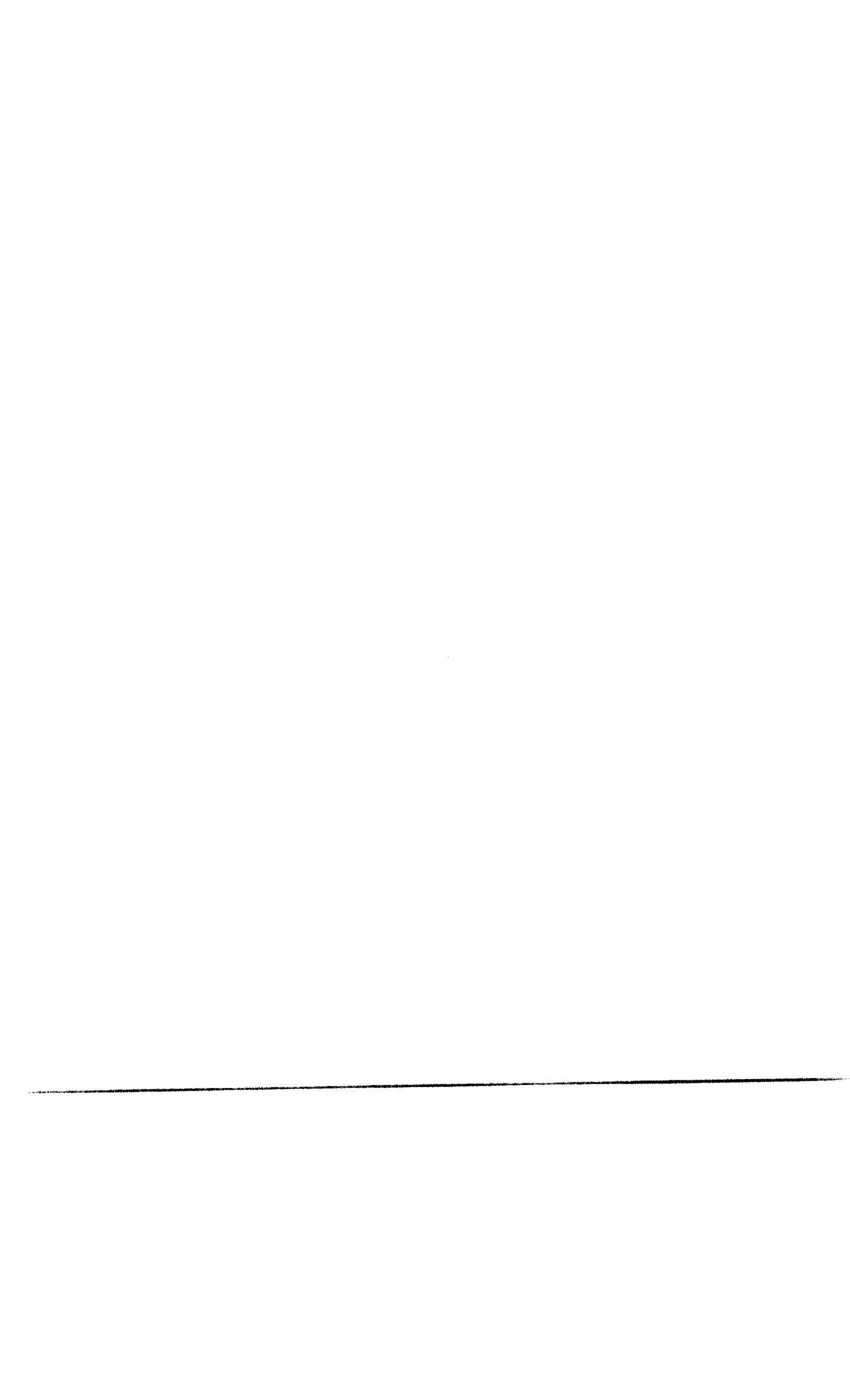


24-PLEX BUILDING - SIDE ELEVATION

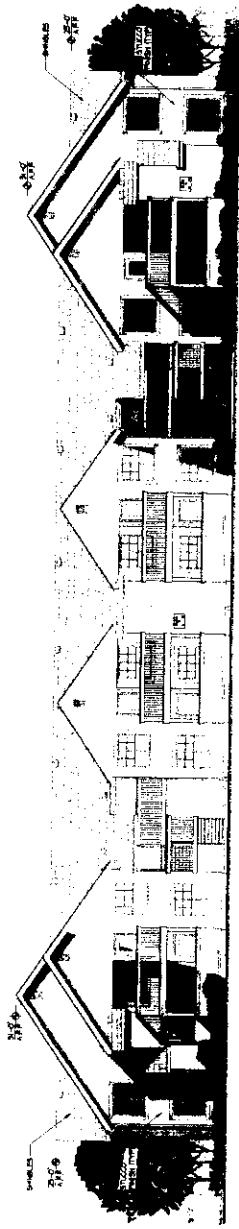
BLDG  
H

BUILDING SIGNAGE

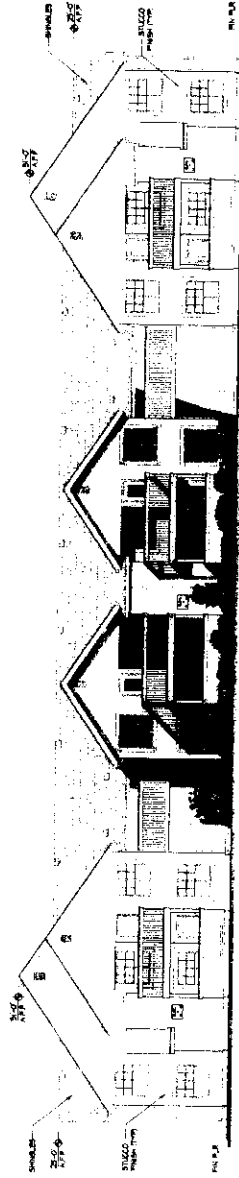
MANZANO MESA EAST BANK OF AMERICA 10000 N. MESA EAST PHOENIX, AZ 85028 (602) 998-1100	6







16-FLEX BUILDING - FRONT ELEVATION



16-FLEX BUILDING - REAR ELEVATION



16-FLEX BUILDING - SIDE ELEVATION

BLDG  
H

BUILDING SIGNAGE

MANZANO MESA EAST BLOCK 16 PHASE 1B PROJECT MANAGER LAURENCE LA TORRE, AIA 30048 1/18/00 1/18/00	
de la tomas architectos parrida 4000 University Blvd NE Albuquerque, NM 87110 TEL: 505.263.1111 FAX: 505.263.1112	SHEET <b>7</b> OF 10 DATE: 1/18/00

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City of Albuquerque  
CITY COUNCIL  
May 4, 2001

Albuquerque/Bernalillo  
County  
Government Center  
One Civic Plaza  
Albuquerque, NM  
87102

**INTER-OFFICE CORRESPONDENCE**

**TO:** All Councillors  
**FROM:** Mark Sanchez, Director of Council Services  
**SUBJECT:** COMMUNICATIONS AND INTRODUCTIONS FOR THE COUNCIL  
MEETING OF MAY 7, 2001

**REVISED 5/8/01**

**COMMUNICATIONS**

EC-01-291, Affordable Housing Committee 2000 Annual Report  
**Referred to the Finance & Government Operations Committee**

EC-01-292, Legal Department Quarterly Litigation Report - July 1, 2000 - September 30, 2000  
**Referred to the Finance & Government Operations Committee**

EC-01-293, Contract with Albuquerque Ambulance for 24-Hour Coverage at Bernalillo County  
Detention Center

**Referred to the Finance & Government Operations Committee**

EC-01-294, Establishment of Ad Hoc Board to Recommend Proposals for Engineering Consultants for  
Antibiotic Resistance Analysis of Contamination in Stormwater

**Referred to the Finance & Government Operations Committee**

EC-01-295, Legal Services Agreement with Baker Law Firm for Legal Representation of Risk  
Management Cases

**Referred to the Finance & Government Operations Committee**

EC-01-296, Appointment to Internal Audit Committee

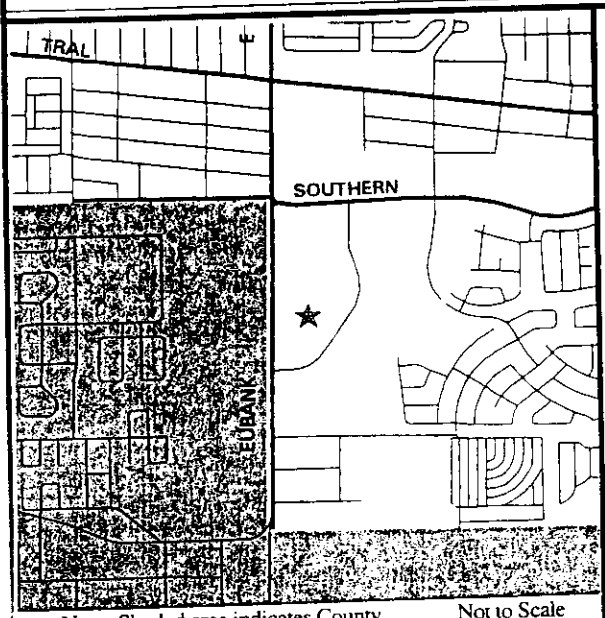
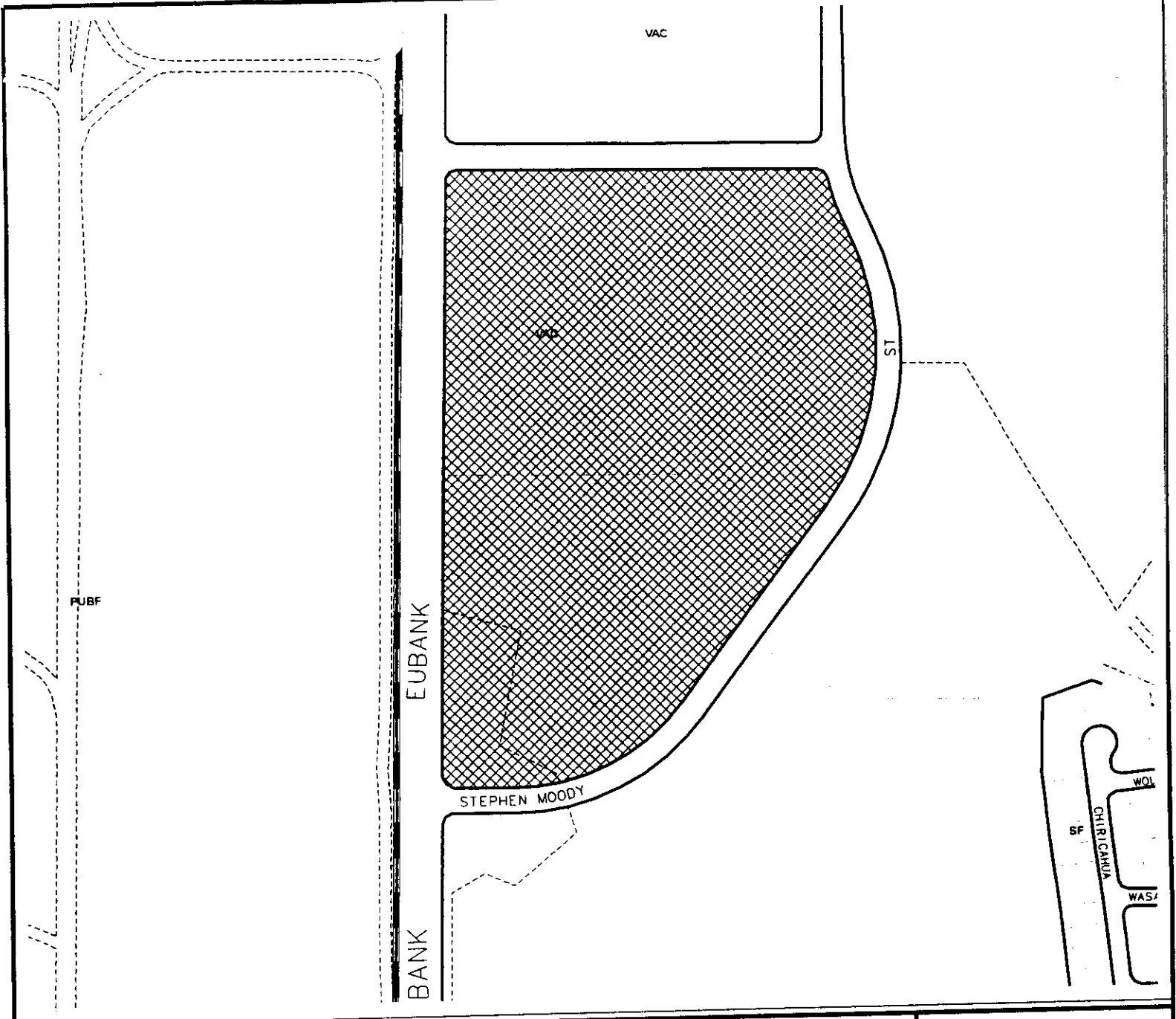
**Placed On Next Council Agenda**

AC-01-09, Cecilia Garcia, Agent for Paula Spooner Appeals the EPC's Denial of an Appeal of a  
Development Review Board Decision to Approve a Vacation of Public Right-of-Way; Located on Rio  
Grande NW and San Venito Pl. NW

**Referred to the Land Use, Planning, and Zoning Committee — [Scheduled to be heard on May  
30, 2001]**

AC-01-10, John Myers, Agent for Bosque Meadows Group LLC, Paul Lee & Yum Fu Appeals the  
EPC's Denial of Requests for Zone Map Amendment, an Amendment to the West Side Strategic Plan,  
and Site Plan for Subdivision; Located on the East Side of Coors Boulevard Between Bosque Meadows  
Road NW and Rambla Lane NW

**Referred to the Land Use, Planning, and Zoning Committee — [Scheduled to be heard on May  
30, 2001]**



### LAND USE MAP

KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial-Retail, Service, Wholesale
- DRNG Drainage
- EDUC Public or Private School
- GOLF Golf Course
- MED Medical Office or Facility
- MFG Manufacturing or Mining
- MH Mobile Home
- MULT Multi-Family or Group Home
- OFF Office
- ORG Social or Civic Organization
- PARK Park, Recreation or Open Space
- PRKG Parking
- PUBF Public Facility
- RELG Religious Facility
- SF Single Family
- TRAN Transportation Facility
- UTIL Utility
- VAC Vacant Land or Abandoned Bldgs
- WH Warehousing & Storage

-15-



Scale 1" = 377'

PROJECT NO.  
1000938

HEARING DATE  
01-08-01

MAP NO.  
L-21

APPLICATION NO.  
00110-00000-06144  
00128-00000-01645  
00128-00000-01646  
00128-00000-01647

Note: Shaded area indicates County Not to Scale

# FAX TRANSMITTAL

PAGE 1 of 1

City of Albuquerque Planning Department  
Development Services Division  
924-3860 / 924-3339 FAX

DATE: 11-27-00

rev: 2/2000 x:\share\epc\stuffs\siteplan\faxlist

TO: Consensus Planning 842-5495 [BY FAX]  
FROM: Planning 924-3940 (Russell, Debbie or Lonita)  
SUBJECT: EPC ~~document~~ for Jan 2001

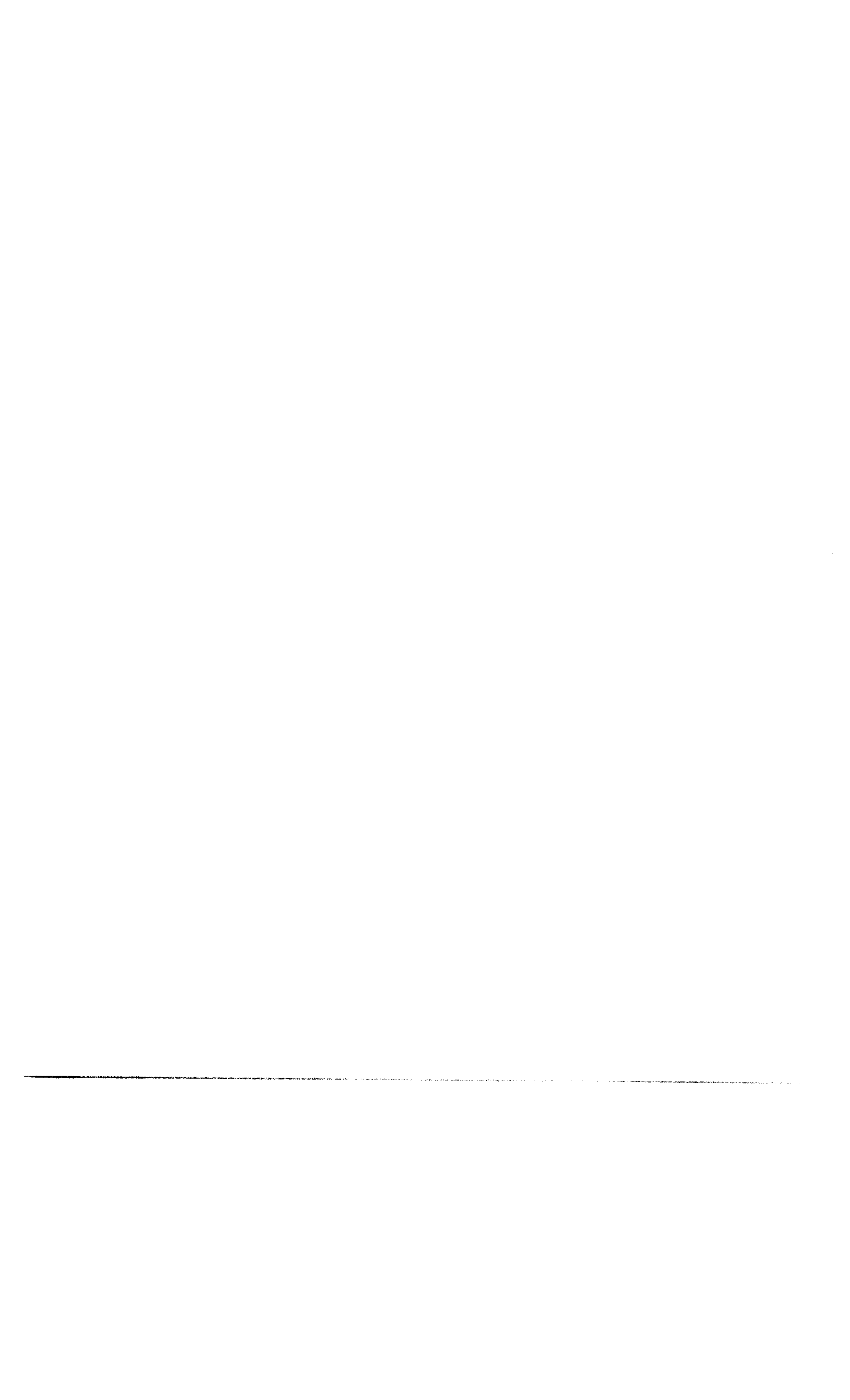
Upon review, our office has determined that there are deficiencies with your application for approval of this Site Development Plan for Building Permit. In order for this request to be placed on the agenda for the EPC hearing on Jan 17, 01, the packet of drawings must be amended to address the deficiencies specified below. The plan sets must be amended by 12:00 noon on ~~Wednesday~~ <sup>Thursday</sup> 11-30-00. You are responsible for the preparation of 30 complete plan sets along with a set of 8 1/2" x 11" reductions.

DEFICIENCIES: Manzano West

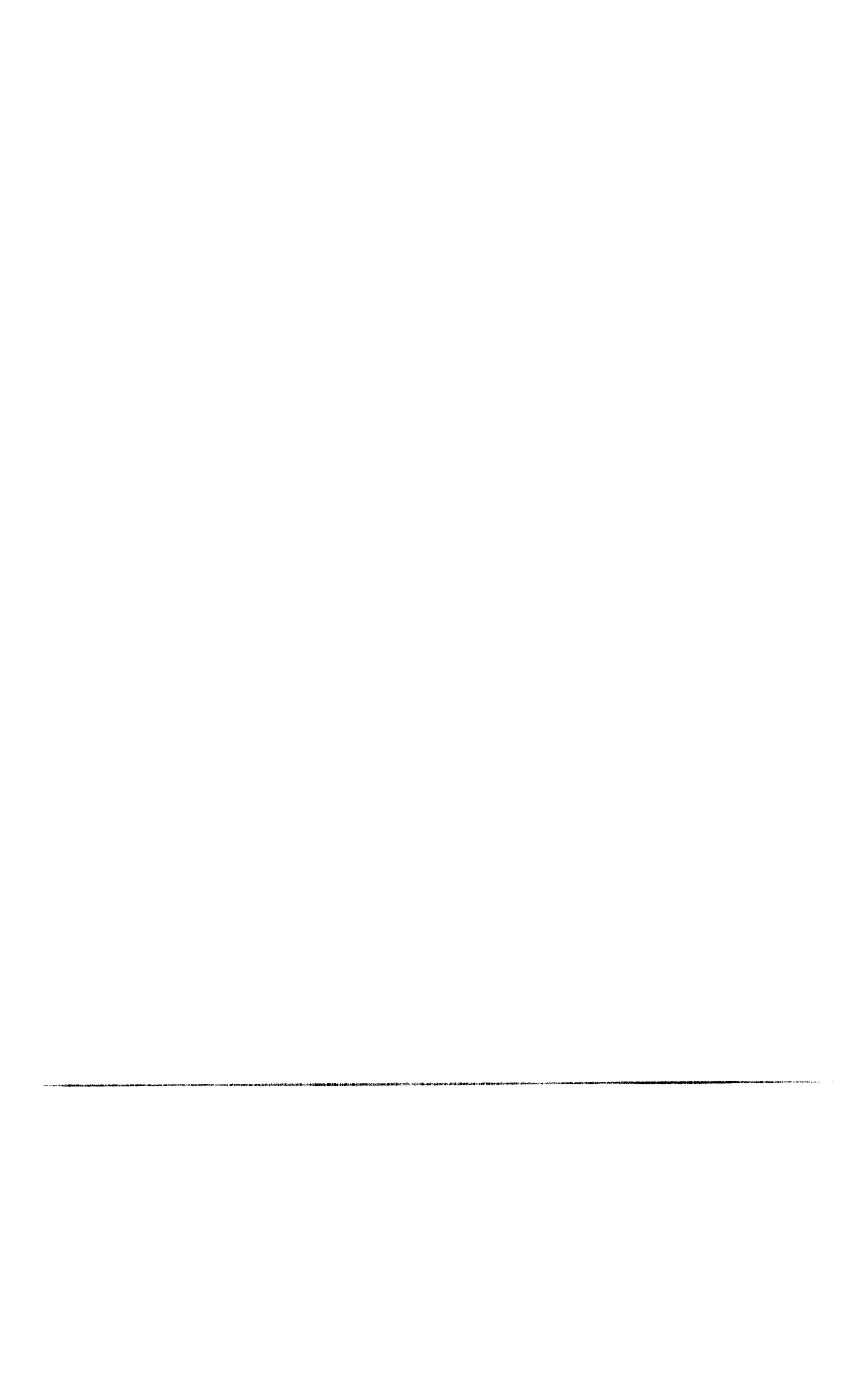
- Show lighting detail & description
- Need bicycle parking calculations
- Need ROW & pavement width for street on N. side of site (vehicular)
- Need curb cut size for NE entrance
- Landscape Plan: North Arrow is pointing east
- Elevations need base scale.
- Need horizontal dimensions on elevations
- Need dimensions of facade elements (doors, windows etc)
- Need materials & colors marked on elevations (which beige goes where?)
- Signage?

Manzano East

All of the above









CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 LAND DEVELOPMENT COORDINATION DIVISION  
 PAID RECEIPT

APPLICANT NAME: GSL Properties Inc.

AGENT: Compass Planning Inc.

ADDRESS:  
 (w/zip code) \_\_\_\_\_

CASE NUMBER: 1000938 / 00110 00000 01644  
00128 00000 01645  
00128 00000 01646  
00128 00000 01647

AMOUNT DUE: \$1603.55

- 441006/4981000 (City Cases)
- \_\_\_\_\_ 441018/4921000 (County)
- \_\_\_\_\_ 441011/7000110 (LUCC)

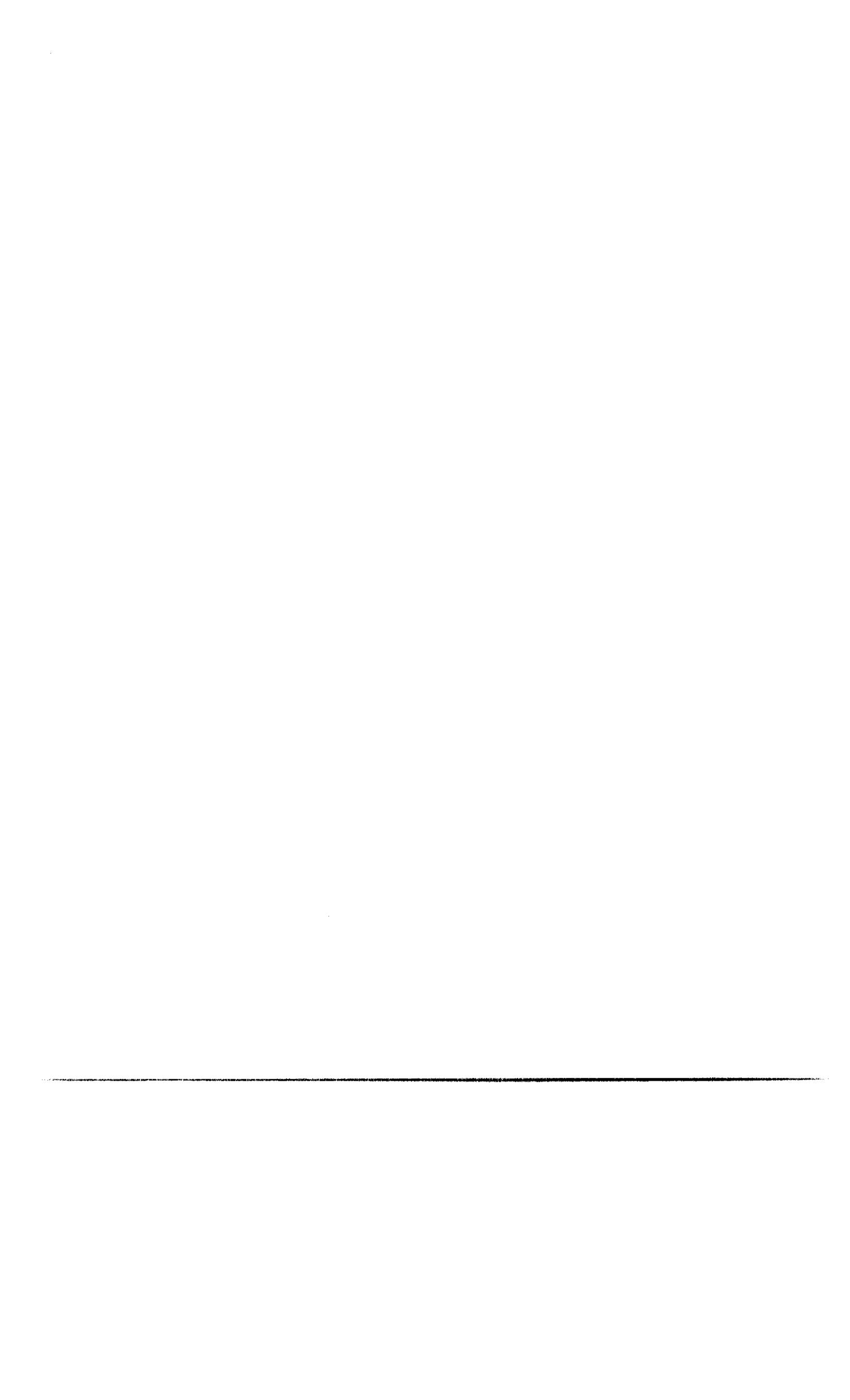
THE FACE OF THIS DOCUMENT HAS A COLORED BACKGROUND ON WHITE PAPER

<p><b>GSL Properties, Inc.</b>                  2164 SW Park Place                  Portland, Oregon 97205</p>	<p>United States National Bank of Oregon                  Portland, Oregon</p> <p style="text-align: right;">24-22 010 1230</p>						
<p>Pay to the order of                  City of Albuquerque                  PO Box 27801                  Albuquerque NM 87125-7801</p>	<table border="0" style="width: 100%;"> <tr> <td style="text-align: center;">Date</td> <td style="text-align: center;">Check #</td> <td style="text-align: right;">Amount</td> </tr> <tr> <td style="text-align: center;">11/20/00</td> <td style="text-align: center;">0003911</td> <td style="text-align: right;">*****\$1,603.55</td> </tr> </table> <p style="text-align: center;">One Thousand Six Hundred Three Dollars And 55 Cents</p>	Date	Check #	Amount	11/20/00	0003911	*****\$1,603.55
Date	Check #	Amount					
11/20/00	0003911	*****\$1,603.55					

FOR DEPOSIT TO  
 CITY OF ALBUQUERQUE  
 COMMON FUND - 1001-1000-0000  
 LDC, AMER. WEL. COB. TRUST CO. INC.  
 1001-1000-0000-0000-0000  
 1001-1000-0000-0000-0000  
 1001-1000-0000-0000-0000

THE BACK OF THIS DOCUMENT CONTAINS AN ARTIFICIAL WATERMARK HOLD AT AN ANGLE TO VIEW

⑈0003911⑈ ⑆123000220⑆ ⑆536 0000 4839⑈



# SIGN POSTING REQUIREMENTS

## POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

### 4. TIME

Signs must be posted from 1-2-01 to 1-18-01

### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for 15 days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] 11-27-00  
(Applicant or Agent) (Date)

Issued 32 signs for this application. 11-27-00 J. Perry  
(Date) (Staff Member)

CASE NUMBER 1000938  
00110 00000 01644  
00128 00000 01645  
00128 00000 01646  
00128 00000 01647



ORD-11

DRB-93-

AX-24

Z-96-94  
Z-96-31  
Z-96-9  
Z-96-103

Z-90-31

Z-99-1

EUBANK

BANK

STEPHEN MOODY

V-86-151

CHRICAHUA

WOL

WAVE

### HISTORY MAP



Scale 1" = 377'

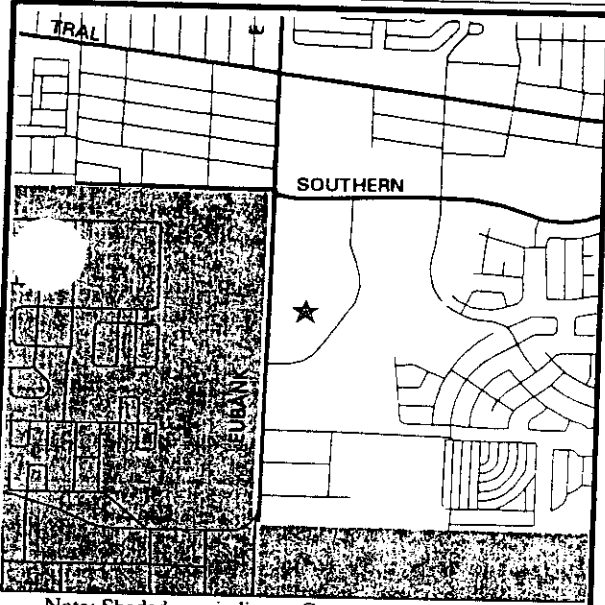
PROJECT NO.  
1000938

HEARING DATE  
01-08-01

MAP NO.  
L-21

APPLICATION NO.  
00110-00000-06144  
00128-00000-01645  
00128-00000-01646  
00128-00000-01647

-16-



Note: Shaded area indicates County Not to Scale

**Development Services Report**

**SUMMARY OF REQUEST**

<b>Requests</b>	Zone Map Amendment Site Plan for Subdivision Two Site Plans for Building Permit
<b>Location</b>	Eubank Boulevard SE between Central Avenue and Sandia National Laboratories SE

**AREA CHARACTERISTICS AND ZONING HISTORY**

*Surrounding zoning, plan designations, and land uses:*

	<b>Zoning</b>	<b>Comprehensive Plan Area; Applicable Rank II &amp; III Plans</b>	<b>Land Use</b>
<b>Site</b>	SU-1 Limited O-1 Uses/SU-1 for R-2 Uses	Established Urban	Vacant
<b>North</b>	C-1		Vacant
<b>South</b>	SU-1 Limited IP Uses		Vacant
<b>East</b>	SU-1 Community Park & Related Uses		Vacant
<b>West</b>	US Government Land		Kirtland Air Force Base

**Background, History and Context**

This request is for a zone map amendment, site plan for subdivision and site plans for building permit for two tracts of land that total 36.3 acres. Tract G-3 is currently zoned SU-1 for R-2 Uses and Tract H-1 is zoned SU-1 Limited O-1 Uses. The request is to subdivide the tract, creating three parcels instead of two. The southern tract of land Tract H-1 would acquire the SU-1 Limited O-1 Uses zone, while the two northern tracts would be designated for R-2 Uses for two separate apartment complex developments. The area surrounding the subject site is vacant on all sides. Eubank Boulevard borders the site on the west and across Eubank to the west appears to be vacant land that is part of Kirtland Air Force Base. Further south of the site is Kirtland Air Force Base, as well. East of the site is a large parcel of land designated to become a community park. Tennis courts have been constructed and other construction related to the park is underway in the area. North of the site across Southern Boulevard is the newly built Costco and further north is Home Depot.

---

**APPLICABLE PLANS AND POLICIES**

*Albuquerque / Bernalillo County Comprehensive Plan*

The subject site is located in the Established Urban area of the Comprehensive Plan with a Goal "to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment." Applicable policies include:

Policy a The Established and Developing Urban Areas . . . shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

Policy d The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

Policy e New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

Policy g Development shall be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.

Policy k Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

Policy l Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

Policy m Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

***Resolution 270-1980 (Policies for Zone Map Change Applications)***

This Resolution outlines policies and requirements for deciding zone map change applications pursuant to the Comprehensive City Zoning Code. There are several tests that must be met and the applicant must provide sound justification for the change. The burden is on the applicant to show why a change should be made, not on the City to show why the change should not be made.

The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: there was an error when the existing zone map pattern was created; or changed neighborhood or community conditions justify the change; or a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan.

---

**Resolution 91-1998 (R-70)**

This Resolution establishes an overall direction for implementation of the City's growth policies, with a framework emphasizing:

- development of community and regional activity centers and major transportation corridors (high capacity corridors); encourage increased densities and mixed uses in activity centers and corridors; meet the needs of residents closer to their homes or employment to decrease Vehicle Miles Traveled and automobile dependence.
- maintenance, enhancements and upgrades of roads and utilities in the core area, to prevent deterioration of existing communities and to encourage infill; diversify the Downtown land use mix with public facilities, hotels, office and retail development, more and higher density housing; generate more activity and attract more private investment in the Downtown area.
- enhance transit system performance, consistent with the principles of a compact urban form and a network of centers and corridors; improve the viability of transit as an alternative to the single-occupancy vehicle and reduce Vehicle Miles Traveled; improve pedestrian mobility and the character of the pedestrian environment, transit orientation and bicycle connections, within centers and corridors.
- plan the timing of road and utility construction to ensure orderly growth, and coordinate capacity increases and street extensions; transportation improvement programs must recognize the significance of natural, historic, and cultural resources and include strategies for minimizing adverse impacts on them.

**Long Range Roadway System**

The Long Range Roadway System designates Eubank Boulevard SE as a Principal Arterial.

**ANALYSIS**

**ZONE MAP AMENDMENT**

**Conformance to Adopted Plans, Policies, and Ordinances**

The request for a zone map amendment is essentially a request for a change in location of existing zoning on the subject site. A subdivision from two tracts to three and renaming of the tracts would occur concurrently. The parcel that is currently called H and is zoned SU-1 for Limited O-1 Uses would be reconfigured, called Tract G-3-A, and the requested zoning is SU-1 for R-2 Uses. The parcel that is currently called Tract G-3 would be divided into two parcels. The northern portion would be called G-3-B and the requested zoning is SU-1 for R-2 Uses. The southern portion would be called Tract H-1 and



the requested zoning is SU-1 for O-1 Uses. One notable fact is that the current Tract H is zoned for *Limited* O-1 Uses while the new request for office zoning is straight O-1.

According to the applicant, the impetus behind the change in zoning is to allow the office uses to be in closer proximity to the developing Sandia Science and Technology Park. This 200-acre industrial park is developing to the south of this site and will greatly impact the area as it builds out. The applicant states in a letter that the reconfiguration and zone map amendment is advantageous to the community in that it allows the office uses to be placed next to the developing park area and locates the multi-family housing adjacent to a buffered area of O-1 uses instead of placing them adjacent to the Park.

According to Resolution 270-1980, the applicant must justify a request for a zone change as inappropriate under any of the following conditions: That there was an error when the existing zone map pattern was created, or; changed neighborhood or community conditions justify the change, or; a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan, even though the other two conditions do not apply.

The applicant has submitted that there have been changed neighborhood or community conditions and that a different use category would be more advantageous to the community.

There have been changed community conditions in this area within the last few years. The Willow Wood subdivision to the east of the site continues its expansion to the west. A new Regional Park has been designated for the property east of the subject site. The Sandia Science and Technology park represents yet another change in the area as does the development of the Costco and Home Depot stores located north of Southern Boulevard. The south Eubank area is experiencing growth in both residential and commercial and office uses.

The change from having multi-family residential units near the industrial park to locating them closer to Southern is advantageous to the community in that location next to the C-1 and Park uses would be preferable in terms of land use than having them located next to IP uses that are proposed for the industrial park. Several requests have been received by the Planning Department for annexation and establishment of IP zoning for parcels to the south of the subject site. In addition, a Master Plan for the Science and Technology Park is expected for review in the near future. These changes make the change in zoning more advantageous for the community and more compatible in for the surrounding area.

In addition, the zone change is consistent with Resolution 270-1980 in that the request is not in conflict with adopted elements of the Comprehensive Plan or other City master plans and amendments which have been adopted by the City. The request is not inconsistent with the health, safety, morals and general welfare of the City. By allowing this change, the residential portions of the site may be located in a more desirable setting, yet still give employees of the technology park, Kirtland Air Force Base and Sandia Laboratories the opportunity to live near their places of employment.

In the letter submitted with the application, the applicant mentions the Manzano Mesa Master Plan several times. This plan, which has been included with the packet, is not a City of Albuquerque adopted Master Plan. Rather, it is a plan prepared for Albuquerque Public Schools to establish zoning in the lands around south Eubank in an effort to facilitate the goal of selling portions of the property by 1990. This report was prepared in 1989 and contains the "highest and best" land use recommendations,

---

preferred zoning classifications, and individual land use allocations. It is significant that some of these early determinations have already been amended and are no longer reflected as shown on the map contained within the master plan.

The applicant has justified the request for zone map amendment and staff recommends approval of this request.

### **ANALYSIS**

#### **SITE PLAN FOR SUBDIVISION**

##### ***Conformance to Adopted Plans, Policies, and Ordinances***

The site plan for subdivision shows an accurate plan at a scale that matches 1 inch to 100 feet. A bar scale is provided but a scale stating that 1"=100' should be included on the plan. The site is shown on the east side of south Eubank and between the future La Entrada Avenue and Stephen Moody Street. The proposed uses are stated as multi-family residential uses for Tract G-3-A and multi-family residential uses for Tract C-3-B with requested zoning of SU-1 for R2 for both tracts. Proposed Tract H-1 is stated as SU-1 for O-1 Uses.

##### ***Pedestrian and Vehicular Access and Internal Circulation***

Pedestrian connections and circulation are shown on the site plan. Vehicular ingress and egress are shown on the plan with a full intersection shown at the boundary area of Tracts G-3-A and H-1. No pedestrian connection is shown between the two proposed multi-family residential complexes. This will be discussed in more detail in the analysis for site plans for building permit.

The plan states that internal circulation shall be developed in accordance with the individual site plans for building permit. Pedestrian access between the sites should be provided. This will be addressed in that portion of staff's analysis.

##### ***Architectural and Landscape***

Building heights and setbacks will be pursuant to the R-2 or O-1 zoning, depending on the specific land use. The maximum floor area ratio for the O-1 will be 35. Landscape plans are developed for each of the two individual site plans for building permit and will be discussed in those analyses.

### **ANALYSIS**

#### **SITE PLAN FOR BUILDING PERMIT for Manzano Mesa West**

##### ***Conformance to Adopted Plans, Policies, and Ordinances***

This is a request for site development plan for building permit for a 224 unit multi-family residential development along Eubank Boulevard SE. It meets the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. There are no adopted sector plans for this area.

---

***Site Plan Layout / Configuration***

The West complex is situated along Eubank Boulevard and the future La Entrada Avenue. La Entrada Avenue should be labeled as such on the site plan for building permit. The layout of the complex consists of 14 separate multi-family structures containing 16 dwelling units per building and a 2400 square foot office/recreation building located adjacent to a swimming pool and outdoor, landscaped park/recreation space. The residential buildings contain even numbers of 1 and 2 bedroom units, according to the site plan.

***Vehicular Access, Circulation and Parking***

Vehicular access to the site is from one main entrance Eubank Boulevard at the southern end of the complex and two smaller entrances from La Entrada Avenue at the east and west ends of the complex. Staff did not observe any gates proposed at these entrances. Vehicular circulation is available throughout the site with 24-foot drive-aisles in all areas.

Vehicular parking for the site is ample and includes some garaged parking. The required number of vehicular parking spaces for the site is 404, including 12 for the 2400 square foot office/recreation room and 12 handicap spaces. Total parking provided for the site is 435, which includes 14 handicap spaces and 54-garaged spaces. The typical parking space is shown as 8.5-foot wide and 18-feet long. The standard size for a parking space is 9-foot wide and 20-feet long.

***Pedestrian and Bicycle Access and Circulation, Transit Access***

Pedestrian access is provided throughout the site and into the site from sidewalks along Eubank Boulevard and the future La Entrada Avenue. These sidewalks, as well as the internal walkways should be marked as 6-foot wide. Most of the areas where pedestrians will need to cross parking and driving areas are marked with crossing areas but some of these spaces show no cross walk areas. All crossing areas should provide a walkway from one pedestrian point to another that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.

Additionally, clearly marked and centrally located pedestrian access should be provided between this development and the proposed complex adjacent to this site. Pedestrian access should be provided to allow access from the East complex to Eubank without detouring around the block. This access would allow visitation between the inhabitants of the two developments. Also, access to the community park to the east of these developments would be made more convenient for the residents of the West complex if there were pedestrian access between the two developments.

Route #2, a local transit route, serves this area along Eubank Boulevard.

Bicycle access is available to the site through the access points mentioned above at Eubank and the future La Entrada Avenue. Bicycle parking has been provided with 15 bicycle racks located throughout the site, one for each building. One bicycle space per two dwelling units has been provided for this development, as required per the zone code.

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### ***Lighting and Security***

Under Design Guidelines for the Site Plan for Subdivision, notes 26 and 27 address lighting issues. As per these notes, lighting shall be limited to 16-feet in height and shall be fully shielded fixtures that prevent fugitive light. A lighting detail for the proposal has not been included with the submittal and should be provided prior to final DRB approval.

The site is enclosed by a 5-foot wall that consists of a mix of solid concrete block wall with standard CMU and split-face CMU combined and a wrought iron with split-face CMU combination. The area around the swimming pool has been surrounded with 6-foot high wrought iron fencing.

### ***Landscaping***

The landscaping plan shows an attractive mix of plant materials that includes shade, flowering and ornamental trees along with some Austrian pine as well as a mix of deciduous and evergreen shrubs. Boston ivy is also shown as part of the plant palette. Oversized boulders and gravel are shown along with Santa Fe Tan gravel. Sod is mentioned as a groundcover in certain areas, however, the type of sod has not been provided on the plan. The species and type of sod should be included on the landscape plan. An on-site ponding area is shown as having crimp straw native seed planted within it and the entire area along the eastern wall of the complex. The type of seed should also be specified on the landscape plan.

Street trees have been adequately provided for. Unfortunately, 59 of these trees are to be of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle. Apparently this insect is prevalent in the area and is causing a significant amount of damage to all types of ash, but especially green ash. If ash trees are planted, there is a high likelihood that they will not become viable street/shade trees. The County Extension is recommending substitutions for ash in the form of London plane trees, Chinese pistache or Honey locust. In this case, since Honey locust are also being used for this landscape, Chinese pistache or London Plane or similar shade producing trees are recommended as substitutes.

The landscape plan shows a play and recreation area for the residents of the complex. This space is north of the office and swimming pool area and is shown as having a grassy area, sand volleyball pit and play area. A winding path is shown among the trees and shrubs east of the volleyball area. Tables or benches in this area would be an additional amenity for the resident's enjoyment. Also, only a small portion south and west of the play area is sod and the remainder of the space to the north is shown as gravel. Assuming the play area is for children, grassy spaces north of this area would be more beneficial to safe play and less conducive to skinned knees.

### ***Grading, Drainage, Utility Plans***

A grading and drainage plan has been submitted for review by the Hydrology Division of the Public Works Department.

The Utility Development Division of Public Works states that the utility plan appears to show the private water system with illegal looping connection to public lines. Utility Division requires that this be corrected and that a water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action.

### *Architecture and Signage*

The buildings in this development are fairly rectangular in shape and shown as pueblo-style architecture with flat roofs, exposed wooden beams and stucco finish. Fourteen, two-story, sixteen-plex buildings are proposed with trellis covered balconies for the upper level dwellings and covered patios for the lower levels. The building heights are shown as 23-feet tall with 24-foot high chimneys. The stucco colors are called out on the plans as light beige, medium beige, and dark beige. The exposed wood beams will be stained with "complimentary colors" which are not called out. The office/recreation building is depicted as a one-story structure with the same pueblo-style architecture, stucco colors and exposed wood beam treatment. The entries are shades with covered porches and windows are treated with trellises above them.

No elevations are shown for the pool/equipment room. Elevations should be shown on the site plan.

Signage consists of one 2-foot high, stucco finished monument sign with 60 square feet of face and accented with split-face CMU. Lettering, colors, and content of the sign are not shown.

### *Concerns of Reviewing Agencies / Pre-Hearing Discussion*

The applicant was in attendance at the pre-hearing discussion.

### *Neighborhood Concerns*

Staff received one phone call inquiry regarding the development.

### *Conclusions*

The site plan for building permit meets the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. The plan is an attractive proposal for the area. With minor modifications as stated in the conditions of approval, staff recommends approval of this request.

## **ANALYSIS**

### **SITE PLAN FOR BUILDING PERMIT for Manzano Mesa East**

#### **Conformance to Adopted Plans, Policies, and Ordinances**

This is a request for site development plan for building permit for a 280 unit multi-family residential development along the future La Entrada Avenue SE and the future Stephen Moody

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Street SE. It meets the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. There are no adopted sector plans for this area.

***Site Plan Layout / Configuration***

The site plan shows a layout of 14 clusters of fairly rectangular shaped buildings and one office/recreation building. The East complex is situated along the future La Entrada Avenue and Stephen Moody Street SE. La Entrada Avenue should be labeled as such on the site plan for building permit. The layout of the complex consists of 14 separate multi-family structures. Seven two-story structures contain 16 dwelling units per building and 7 three-story structures contain 24 dwelling units per building. Additionally, a 5194 square foot office/recreation building is located near the entrance to the complex adjacent to a swimming pool and outdoor, landscaped park space. The residential buildings contain even numbers of 1 and 2 bedroom units, according to the site plan.

***Vehicular Access, Circulation and Parking***

Vehicular access to the site is from the north at one entrance from the future La Entrada Avenue and the east from two entrances on Stephen Moody Street. The plan shows 24-foot drive aisles throughout the complex and circulation is fine throughout the site.

Required parking for the 280 unit complex is 502 spaces including 26 spaces for the 5194 square foot office/recreation building. The site plan shows spaces for 516 vehicles, including 66 garaged spaces and 16 handicap spaces. The typical parking space is called out in size as 8.5-foot wide and 18-foot long. The usual size for parking spaces is 9-foot wide and 20-foot long.

***Pedestrian and Bicycle Access and Circulation, Transit Access***

Pedestrian access is provided throughout the site and into the site from sidewalks along the future La Entrada Avenue and Stephen Moody Street. These sidewalks, as well as the internal walkways should be marked as 6-foot wide. Areas where pedestrians will need to cross parking and driving areas should be marked with crossing areas. All crossing areas should provide a walkway from one pedestrian point to another that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.

Additionally, clearly marked and centrally located pedestrian access should be provided between this development and the proposed complex adjacent to this site. Pedestrian access should be provided to allow access from the East complex to Eubank without detouring around the block. This access would allow visitation between the inhabitants of the two developments. Also, access to the community park to the east of these developments would be made more convenient for the residents of the West complex if there were pedestrian access between the two developments.

Route #2, a local transit route, serves this area along Eubank Boulevard.

Bicycle access is available to the site through the access points mentioned above at the future La Entrada Avenue and Stephen Moody Street. Bicycle parking has been provided with 15 bicycle

racks located throughout the site, one for each building. One bicycle space per two dwelling units has been provided for this development, as required per the zone code.

#### ***Lighting and Security***

Under Design Guidelines for the Site Plan for Subdivision, notes 26 and 27 address lighting issues. As per these notes, lighting shall be limited to 16-feet in height and shall be fully shielded fixtures that prevent fugitive light. A lighting detail for the proposal has not been included with the submittal and should be provided prior to final DRB approval.

The site is enclosed by a 5-foot wall that consists of a mix of solid concrete block wall with standard CMU and split-face CMU combined and a wrought iron with split-face CMU combination. The area around the swimming pool has been surrounded with 6-foot high wrought iron fencing.

#### ***Landscaping***

The landscaping plan is similar to the Manzano Mesa West and shows an identical plant palette. The site plan shows a mix of plant materials that include shade, flowering and ornamental trees along with some Austrian pine as well as a mix of deciduous and evergreen shrubs and vines. Oversized boulders and gravel are to be employed in the landscape as well as Santa Fe Tan gravel. Sod is mentioned as a groundcover in certain areas, however, the type of sod has not been provided on the plan. The species and type of sod should be included on the landscape plan. An on-site ponding area which corresponds with the ponding area of the development to the west is shown as having crimp straw native seed planted within it and much of the area along the western wall of the complex. The type of seed should also be specified on the landscape plan.

Street trees have been adequately provided for. Unfortunately, 46 of these trees are to be of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle. Apparently this insect is prevalent in the area and is causing a significant amount of damage to all types of ash, but especially green ash. If ash trees are planted, there is a high likelihood that they will not become viable street/shade trees. The County Extension is recommending substitutions for ash in the form of London plane trees, Chinese pistache or Honey locust. In this case, since Honey locust trees are also being used for this landscape, Chinese pistache or London Plane or similar shade producing trees are recommended as substitutes.

The landscape plan shows a park-like area for the residents of the complex. This space is west of the office and swimming pool area and is shown as having a sodded, grassy area. The species of sod should be called out on the landscape plan. Tables or benches in this area would be an additional amenity for the resident's enjoyment.

#### ***Grading, Drainage, Utility Plans***



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A grading and drainage plan has been submitted for review by the Hydrology Division of the Public Works Department.

The Utility Development Division of Public Works states that the utility plan appears to show the private water system with illegal looping connection to public lines. Utility Division requires that this be corrected and that a water and sanitary sewer availability statement must be requested and completed prior to Development Review Board Action.

#### ***Architecture and Signage***

The elevations show a typical rectangular building of a contemporary ranch style. There are a total of 14 residential buildings and one office/recreational building. Seven of the buildings are three-story, containing 24 dwelling units each. Seven of the buildings are two-story, containing 16 dwellings units each. The units are shown with pitched, shingled roofing with gabled, covered, outdoor stairways with wrought iron guard rails. The type, color and material of the shingles are not specified. The structures are to be frame stucco in light beige, medium beige and dark beige. The two-story building heights are shown as 31-feet tall at the peak of the pitch of the roof. The three-story structures are 41-feet 6-inches at the peak of the pitch. The notes on the plan state that there will be exposed wood beams as part of the development but they are not called out on the elevations. The exposed wood beams shall be shown on the elevations and will be stained with "complimentary colors" which should be called out. The office/recreation building is depicted as a one-story structure with the same contemporary ranch style architecture. A wrought iron grid is shown as accent décor above windows and covered porches. Elevations are also shown for the pool/equipment room for this complex. These elevations depict flat-roof stucco structures that are 14-feet in height. The pool/equipment room is depicted in a similar fashion with a flat-roof, stucco structure that is 12-feet in height with wrought iron fencing behind and beyond to enclose to pool area.

Requested signage consists of 18-inch high by 24-inches wide aluminum signs with acrylic letters mounted on a wood trim back. Notes on Sheet 7 state that the trim is to be painted to match siding, but staff is unclear as to what siding is meant and what color that might be. These signs are to display the building designations and apartment numbers. No signage for the complex itself is shown or requested.

#### ***Concerns of Reviewing Agencies / Pre-Hearing Discussion***

The applicant was in attendance at the pre-hearing discussion.

Transportation Planning had concerns regarding the site plans and wanted additional and definitive information about the Eubank Boulevard right-of-way. The applicant met with staff and submitted plans that meet the concerns of this agency.

Parks and Recreation comments that the Trails & Bikeways Facility Plan proposes a Primary Trail along the east side of Eubank Blvd. in this location and that they will require construction of a 10' asphalt trail in-lieu of sidewalk. Additionally, allow for at least 5' of separation between the trail and face of curb and a minimum of 3' between the trail and wall or other vertical

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element. Landscaping improvements along the asphalt trail must not encroach on the trail itself. Trees must be a minimum of 3' away from the trail and shrubs, at their mature spread and must not encroach on the trail. The proposed landscaping along Eubank appears to encroach into the sidewalk/trail area. Therefore, design of the trail should be coordinated with the Trails Planner Diane Scena.

*Neighborhood Concerns*

Staff received on phone call inquiry regarding this proposal.

*Conclusions*

The site plan for building permit meets the requirements of the applicable city policies and plans for this area and will provide further multi-family housing for a growing area of the city. With minor modifications as stated in the conditions of approval, staff recommends approval of this request.

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**FINDINGS - 00110-00000-01644 - January 18, 2001 - Zone Map Amendment**

1. This is a request for a zone map amendment for Tract H and Tract G-3, Manzano Mesa Addition.
2. The request meets the requirements of applicable City plans and policies.
3. The request has been justified under Resolution 270-1980 by the applicant under the changed community conditions and the more advantageous to the community policies.
4. A site plan accompanies this request for SU-1 zoning.

**RECOMMENDATION - 00110-00000-01644 - January 18, 2001 - Zone Map Amendment**

**APPROVAL of 00110-00000-01644 a request for a zone map amendment for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Condition of Approval.**

**CONDITIONS OF APPROVAL - 00110-00000-01644 - January 18, 2001 - Zone Map Amendment**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines.

**FINDINGS - 00128-00000-01645 - January 18, 2001 - Site Plan for Subdivision**

1. This is a request for a site plan for subdivision for Tracts H and G-3, an approximately 36.3 acre site and which is located on Eubank Boulevard south of Southern SE. The intent is to subdivide into three new tracts to be called Tract G-3-A, Tract G-3-B and Tract H-1.
2. A site plan for subdivision is required for approval of SU-1 zoning.
3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
4. The site development plan for subdivision meets all of the requirements of the Zoning Code.

**RECOMMENDATION - 00128-00000-01645 - January 18, 2001 - Site Plan for Subdivision**

**APPROVAL of 00128-00000-01645 a request for a site plan for subdivision for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

**FINDINGS - 00110-00000-01646 - January 18, 2001 - Site Plan for Building Permit (West)**

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex.

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4. The standard size for a parking space is 9-feet wide and 20-feet long. Parking spaces shown on the current submittal are 8.5-feet wide by 18-feet long.
  
  5. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.
  
  6. The submittal will be adequate with some changes and additions.

***RECOMMENDATION - 00110-00000-01646 – January 18, 2001 – Site Plan for Building Permit (West)***

**APPROVAL of 00110-00000-01646 a request for a site plan for building permit for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

***CONDITIONS OF APPROVAL - 00110-00000-01646 – January 18, 2001 – Site Plan for Building Permit (West)***

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
  
2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
  
3. All exterior sidewalks and internal walkways shall be marked as a minimum 6-foot wide on the site plan.

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4. All crossing areas shall provide a walkway from one pedestrian point to another that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.
  5. Clearly marked and centrally located pedestrian access shall be provided between this development and the proposed apartment complex adjacent to this site.
  6. A lighting detail for the proposal shall be included on the site plan and shall be provided prior to final DRB approval.
  7. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
  8. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
  9. Lettering, colors, and content of the monument sign shall be shown on the site plan for building permit.
  10. The pool and equipment room elevations shall be shown on the site plan.
  11. Parking space dimensions shall be 9-feet wide and 20-feet long and shall be noted as such on the site plan.
  12. Design of the trail along Eubank in this area shall be coordinated with the Trails Planner Diane Scena.

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**FINDINGS – 00110-00000-01647 – January 18, 2001 – Site Plan for Building Permit (East)**

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex.
4. The standard size for a parking space is 9-feet wide and 20-feet long. Parking spaces shown on the current submittal are 8.5-feet wide by 18-feet long.
5. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.

**RECOMMENDATION - 00110-00000-01647 – January 18, 2001 – Site Plan for Building Permit (East)**

APPROVAL DENIAL DEFERRAL of 00110-00000-01647 a request for a site plan for building permit for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL - 00110-00000-01647 – January 18, 2001 – Site Plan for Building Permit (East)

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. All parking space dimensions shall be called out as 9-foot wide and 20-foot long.
3. La Entrada Avenue shall be labeled as such on the site plan for building permit.
4. All exterior sidewalks and internal walkways shall be marked as 6-foot wide on the site plan.
5. All crossing areas shall provide a walkway from one pedestrian point to another that is demarcated by striping and slightly raised and/or textured paving material other than asphalt.
6. Clearly marked and centrally located pedestrian access shall be provided between this development and the proposed complex adjacent to this site.
7. A lighting detail for the proposal shall be included on the site plan and shall be provided prior to final DRB approval.
8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.



AC-01-11, Perry Wilkes, Agent for Downtown Neighborhoods Association, Appeals the EPC's Approval of a Site Development Plan for Building Permit, Located on the Northeast Corner of Tijeras Avenue and 13th Street

**Referred to the Land Use, Planning, and Zoning Committee — [Scheduled to be heard on May 30, 2001]**

### INTRODUCTIONS

O-01-98, Amending ROA 1994, the Labor-Management Relation Ordinance to Include a Requirement for Contract Provisions to be Consistent with an Adopted Budget; Prohibiting Collective Bargaining Prior to the Establishment of a Guideline for the Contract; Declaring an Emergency (Armijo)

**Referred to the Finance & Government Operations Committee**

O-01-99, Annexing 20 Acres Located on Daytona Street NW, Between Unser Boulevard and 90th Street NW; Amending the Zoning to Establish Zoning of SU-1 for Transit Facility and Daycare (Armijo)

**Referred to the Land Use, Planning, and Zoning Committee**

O-01-100, Annexing 54.7 Acres Located on Bluewater SW Between Interstate 40 and Central SW; Amending the Zone Map to Establish SU-1 For IP Uses (Armijo)

**Referred to the Land Use, Planning, and Zoning Committee**

O-01-101, Annexing 19.7 Acres Located on 106th Street SW, between Sunset Gardens and Eucariz Avenue SW; Amending Zoning to Establish Zoning of RD/9 Dwelling Units Per Acre (Armijo)

**Referred to the Land Use, Planning, and Zoning Committee**

O-01-102, Amending ROA 1994 Regarding Sidewalks, Driveway, and Curb Ramp Repair and Maintenance; Permitting Commercial Advertising on Transit Shelters (Armijo)

**Referred to the Land Use, Planning, and Zoning Committee**

O-01-103, Amending ROA 1994 Pertaining to Duties of Mayor Regarding Courtesy Benches, Transit Benches, and Transit Shelters Located on City Property; Providing for Contract for Advertising on Transit Shelters (Armijo)

**Referred to the Land Use, Planning, and Zoning Committee**

O-01-104, Annexing 40 Acres Located East of Eubank Blvd SE between Southern SE and Kirtland Air Force Base (KAFB); Amending Zone Map to Establish IP Zoning (Brasher, by request)

**Referred to the Land Use, Planning, and Zoning Committee**

O-01-105, Annexing 40 Acres Located East of Eubank Blvd SE between Southern SE and Kirtland Air Force Base (KAFB); Amending Zone Map to Establish IP Zoning (Brasher)

**Referred to the Land Use, Planning, and Zoning Committee**

P-01-1, Charter Amendment Proposal to be Submitted to Voters at October 2, 2001 Municipal Election Concerning Quarterly Statements of Campaign Contributions and Expenditures for any Elected Office (Yntema)

**Immediate Action Requested**

P-01-2, Charter Amendment Proposal to be Submitted to Voters at October 2, 2001 Municipal Election Concerning the Period of Time for Which Statements of Campaign Contributions and Expenditures Shall be Reported (Yntema)

**Immediate Action Requested**

10. The type, color and material of the shingles shall be specified on the site plan.

11. Notes regarding the signage for this property shall state what siding is proposed on Sheet 7 and state what colors and materials will be used for the signage.

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*Deborah L. Stover*  
*Planner*

cc: GSL Properties, Inc., 2164 S.W. Park Place, Portland, Or 97205  
Consensus Planning Inc., 924 Park Ave. SW, Albuquerque, NM 87102

EPC ACTION JANUARY 18, 2001:

On January 18, 2001, the Environmental Planning Commission voted to continue 00110 00000 01644/00128 00000 01645/00128 00000 01646/00128 00000 01647 to the Environmental Planning Commission Public Hearing on February 8, 2001.

## UPDATED STAFF COMMENTS FOR FEBRUARY 8, 2001

This case was heard by the Environmental Planning Commission on January 18, 2001. It is a request for a zone map amendment, approval for site plan for subdivision and approval for two site plans for building permit for two separate multi-family residential complexes. The zone change request is not inconsistent with the existing zoning on the subject site, but if approved would move the residential area to the north of the parcels and the office uses to the southern

portion of the area, nearer the proposed technology park. The proposed subdivision creates three tracts from the existing two. The request is consistent with applicable policies and plans.

The EPC ordered a continuance of this case in order to allow the applicant to make changes to the site plan and to meet with neighborhood residents to discuss issues that arose at the January 18 hearing. A new site plan has been submitted that addresses the EPC's concerns regarding access between the adjoining apartment complexes, contextual appropriateness of the elevations for the east complex and articulation of the garages.

#### *Access*

Access has been made available between the two complexes by providing two separate walkways at either end of the dividing wall. The connections are shown on both the site plan for subdivision and the site plans for building permit. Both access points are proposed to be 6-foot wide with gates provided and are connected by continuous 6-foot sidewalks. A detail of the gate showing colors and materials should be provided prior to DRB approval. One connection is near the southern portion of the sites and follows a fairly direct path between apartment units to the sidewalk on Stephen Moody Street. The other connection is in the northern portion of the site and follows a fairly circuitous route past the play area on the east side and around buildings to the office and onto Stephen Moody Street. Both are clearly marked as pedestrian connections and provide access for residents of both complexes to the park and to Eubank Boulevard. These connections are an improvement over the previous plan and satisfy one of the EPC's concerns about the submittal.

#### *Architectural Context and Garages*

At the January 18 hearing, the EPC expressed concern regarding the placement of garages next to the walled area of the apartment complexes. The garages have been modified to a height of 12-feet from the original 14-feet. Further articulation of the walls should be employed to reduce the blank façade presented by these structures.

The apartment complex to the east was originally shown as having shingled roofing material. In an effort to provide a more contextual product the roofing material has been modified to aluminum, galvanized metal roof as a nod to a territorial style. The color has not been called out on the plans and should be noted.

#### *Neighborhood Meeting*

A facilitated meeting was held on January 25, 2001. A copy of the report is included in the packet. Neighbors raised issues regarding the aesthetics of the apartment buildings and other neighbors expressed concern that more apartments are not needed in this area. Another

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facilitated meeting is being held at 5:30 p.m., February 1, 2001. Staff will provide a copy of the report for that meeting prior to the February 8 meeting of the EPC.

***Concerns of Reviewing Agencies/Neighborhood Concerns***

No additional comments were received from reviewing agencies.

No phone calls or letters from neighbors have been received by staff since the hearing on January 18, 2001.

***Conclusion***

The applicant has justified the zone map amendment request. The site plan for subdivision is adequate. The site plans for building permit meet the requirements of the applicable city policies and plans for this area and will provide multi-family housing for a growing area of the city. The plan is an attractive proposal for the area. With minor modifications as stated in the conditions of approval, staff recommends approval of this request.

***FINDINGS – 00110-00000-01644 – February 8, 2001 – Zone Map Amendment***

1. This is a request for a zone map amendment for Tract H and Tract G-3, Manzano Mesa Addition.
2. The request meets the requirements of applicable City plans and policies.
3. The request has been justified under Resolution 270-1980 by the applicant under the changed community conditions and the more advantageous to the community policies.
4. A site plan accompanies this request for SU-1 zoning.

***RECOMMENDATION - 00110-00000-01644 – February 8, 2001 – Zone Map Amendment***

**APPROVAL of 00110-00000-01644 a request for a zone map amendment from SU-1 for O-1, SU-1 for R-2 to SU-1 for R-2, SU-1 for O1 for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Condition of Approval.**

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**CONDITIONS OF APPROVAL - 00110-00000-01644 - February 8, 2001 - Zone Map Amendment**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The site shall be replatted to create distinct lots that conform to or create the new zone boundary lines.

**FINDINGS - 00128-00000-01645 - February 8, 2001 - Site Plan for Subdivision**

1. This is a request for a site plan for subdivision for Tracts H and G-3, an approximately 36.3 acre site and which is located on Eubank Boulevard south of Southern SE. The intent is to subdivide into three new tracts to be called Tract G-3-A, Tract G-3-B and Tract H-1.
2. A site plan for subdivision is required for approval of SU-1 zoning.
3. The site development plan for subdivision furthers the applicable goals and policies of the Comprehensive Plan by creating the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
4. The site development plan for subdivision meets all of the requirements of the Zoning Code.

**RECOMMENDATION - 00128-00000-01645 - February 8, 2001 - Site Plan for Subdivision**

**APPROVAL of 00128-00000-01645 a request for a site plan for subdivision for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

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**FINDINGS – 00110-00000-01646 – February 8, 2001 – Site Plan for Building Permit (West)**

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed for the connections between the two complexes.
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.
5. The submittal will be adequate with some changes and additions.

**RECOMMENDATION - 00110-00000-01646 – February 8, 2001 – Site Plan for Building Permit (West)**

**APPROVAL of 00110-00000-01646 a request for a site plan for building permit for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.**

**CONDITIONS OF APPROVAL - 00110-00000-01646 – February 8, 2001 – Site Plan for Building Permit (West)**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC

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conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
3. All exterior sidewalks and internal walkways shall be marked as a minimum 6-foot wide on the site plan.
4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
6. Clearly marked and centrally located pedestrian access shall be provided between this development and the proposed apartment complex adjacent to this site.
7. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
8. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
9. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.

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10. Lettering, colors, and content of the monument sign shall be shown on the site plan for building permit.
  
  11. Pool and equipment room elevations that compliment the architecture of the apartment buildings shall be shown on the site plan.
  
  12. Design of the trail along Eubank in this area shall be coordinated with the Trails Planner Diane Scena.
  
  13. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
  
  14. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
  
  15. No chainlink, razor wire or plastic/vinyl fencing is permitted.
  
  16. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
  
  17. All walls must conform to the City's Wall Design Standards publication.



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**FINDINGS - 00110-00000-01647 - February 8, 2001 - Site Plan for Building Permit (East)**

1. The site development plan for building permit furthers the applicable goals and policies of the of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing environment.
2. The submittal will be adequate with some minor changes and additions.
3. Gates are not proposed at the entrances to the apartment complex. Gates are proposed at the connections between the two complexes.
4. Many of the shade trees proposed are of the ash species, which is currently under attack by the *ash bark beetle*. This information comes from a recent memo sent out by the Bernalillo County Extension Service. The Extension Service is recommending a halt to planting ash trees in the Albuquerque area due to a current local infestation of this beetle.

**RECOMMENDATION - 00110-00000-01647 - February 8, 2001 - Site Plan for Building Permit (East)**

APPROVAL of 00110-00000-01647 a request for a site plan for building permit for Tracts G-2 and H-1, Manzano Mesa Addition, based on the preceding Findings and subject to the following Conditions of Approval.

**CONDITIONS OF APPROVAL - 00110-00000-01647 - February 8, 2001 - Site Plan for Building Permit (East)**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

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2. La Entrada Avenue shall be labeled as such on the site plan for building permit.
  3. All exterior sidewalks and internal walkways shall be marked as 6-foot wide on the site plan.
  4. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated by white striping and with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
  5. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by providing 6-foot *clear* pedestrian walking paths.
  5. Clearly marked and centrally located pedestrian access shall be provided between this development and the proposed complex adjacent to this site.
  6. A lighting detail that shows a fully shielded, cut-off fixture at a maximum height of 16-feet shall be included on the site plan and shall be provided prior to final DRB approval.
  7. The species and type of sod proposed shall be labeled on the landscape plan, including the crimp straw native seed proposed for the ponding areas.
  8. The color of stain for the exposed wood beams shall be labeled on the site plan for building permit.
  9. The type and color of the galvanized, aluminum metal roof shall be specified on the site plan.

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10. Notes regarding the signage for this property shall state what siding is proposed on Sheet 7 and state what colors and materials will be used for the signage.
  
  11. A detail of the gate showing colors and materials shall be provided prior to DRB approval.
  
  12. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that area painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or other predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
  
  13. No chainlink, razor wire or plastic/vinyl fencing is permitted.
  
  14. No freestanding cell towers or antenna shall be permitted. Antenna shall be integrated into the building architecture.
  
  15. All walls must conform to the City's Wall Design Standards publication.

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Deborah L. Stover  
Planner

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