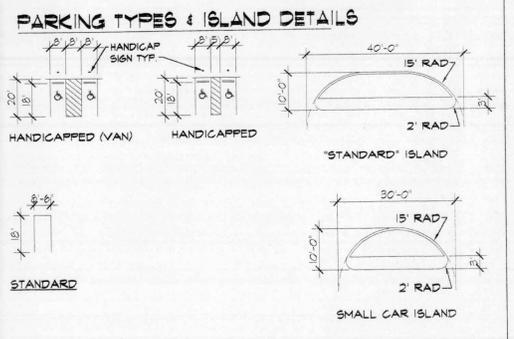
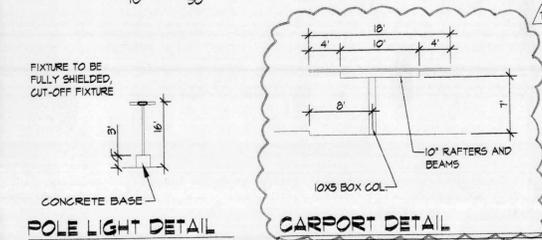
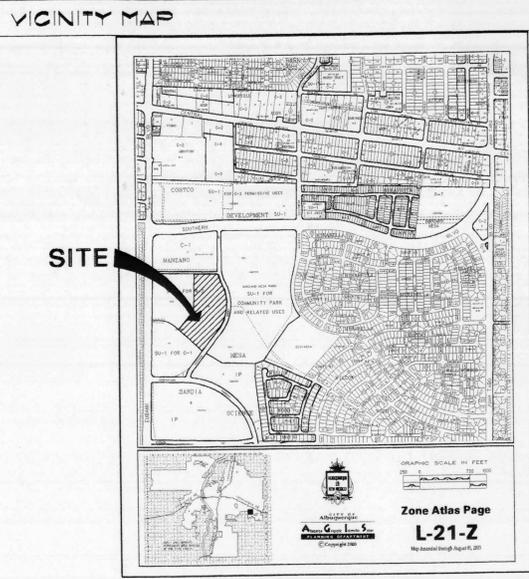
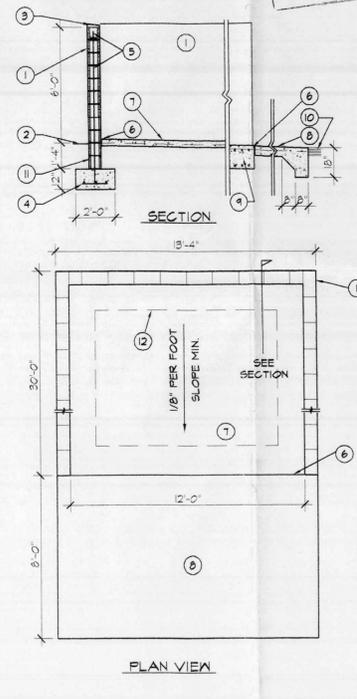


**SITE PLAN**  
SCALE: 1"=50'



- LEGEND:**
- METAL FENCE
  - CHAIN LINK FENCE
  - SANITARY SEWER MANHOLE
  - ⊕ WATER VALVE
  - ⊕ FIRE HYDRANT
  - ⊕ WATER METER
  - ⊕ ELECTRIC MANHOLE
  - ⊕ ELECTRIC PEDESTAL
  - OVERHEAD ELECTRIC LINE
  - STREET LIGHT
  - ANCHOR
  - ⊕ EXISTING LOT LIGHT
  - ⊕ TRAFFIC LIGHT
  - ⊕ TRAFFIC SIGNAL OR PULLBOX
  - ⊕ NEW POLE LIGHT
  - ⊕ GAS VALVE
  - WATERLINE
  - SAS— SANITARY SEWER LINE
  - SD— STORM SEWER LINE
  - ⊕ LIGHT POLE

- TRASH COMPACTOR KEYED NOTES**
- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING. PAPER COLOR BY ARCHITECT.
  - FINISH GRADE
  - SLOPE STUCCO CAP.
  - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #2 @ 18" O.C. ACROSS BOTTOM OF FOOTING.
  - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS. DURAMIX @ 18" O.C. HORIZONTAL.
  - 1/2" EXPANSION JOINT MATERIAL
  - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6-10X10 W/M.
  - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6-10X10 W/M IN TURNING EDGE.
  - 24" X14" DEEP THICKENED SLAB W/ 3 #4 TOP & BOTTOM CONT.
  - ASPHALT PAVING
  - GROUT ALL CELLS SOLID BELOW GRADE TYPICAL.
  - ANGLE IRON GUIDES, STOPS BY COMPACTOR. INSTALLER REIN. SLAB W/ CONC. FILL AS PER MANUFACTURER REG'S.
- TRASH COMPACTOR**  
SCALE: 1/4"=1'-0"



- GENERAL NOTES - CITY REQUIRED**
- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
  - THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK; AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
  - ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
  - ALL SIDEWALK AND G.I.S. IN DISREPAIR WILL BE REMOVED AND REPLACED.
  - CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
  - CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT BEFORE C.O. IS RELEASED.
- KEYED NOTES**
- 6' HIGH WROUGHT IRON FENCE AROUND POOL
  - 10'X20' POOL EQUIPMENT ROOM TYPICAL
  - BICYCLE RACK - SEE DETAIL (1) SPACE PER 2 DWELLING UNITS PROVIDED
  - TRASH COMPACTOR ENCLOSURE
  - GARAGE ENCLOSURE 20' DEEP X 11' WIDE PER NUMBER OF SPACES INDICATED.
  - 11X11 MAILBOX ENCLOSURE
  - MONUMENT SIGN MOUNTED ON SITE WALL.
  - SITE WALL TYPE 'A' SEE ELEVATION
  - SITE WALL TYPE 'B' SEE ELEVATIONS
  - 3' TALL CMU SITE WALL
  - 4' TALL CMU SITE WALL
  - PEDESTRIAN CROSSINGS SHALL BE 6' WIDE WITH RAISED TEXTURED CONCRETE WITH WHITE STRIPES TYPICAL.
  - REFUSE ROLLOUT ENCLOSURE TYPICAL OF (B) LOCATIONS.
  - CARPORIT LOCATION TYPICAL. FRAMING TO BE ALL WHITE. ROOFING GALVALINZED.

**LIGHTING NOTE:**  
LIGHTING TO BE BUILDING MOUNTED AND FROM POLES, AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.M. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

**1 Amendment: Five Refuse Enclosures and Thirteen Carports**  
**EPC NOTES**

- ALL SIDEWALKS IN FRONT OF PARKING STALLS TO BE 6' WIDE (CLEAR TYPICAL). ALL PEDESTRIAN CONNECTIONS SHALL BE 6' WIDE TYPICAL. ALL OTHER SIDEWALKS SHALL BE 4' WIDE TYPICAL. ALL SIDEWALKS IN PUBLIC R.O.M. TO BE 6' WIDE TYPICAL.
- THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINE. ROOFTOP EQUIPMENT AND OTHER PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR OR OTHER PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALLS.

**PROJECT INFORMATION**  
LOCATION: EUBANK NE BETWEEN STEPHEN MOODY ST. AND SOUTHERN BLVD.  
DEVELOPER: GSL PROPERTIES INC.  
LEGAL DESCRIPTION: TRACT 6-3-B OF MANZANO MESA WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM  
CURRENT ZONING: SU-1 FOR R-2  
PROPOSED: SAME  
TOTAL ACREAGE: 23.60 ACRES (TOTAL FOR BOTH PHASES)  
ZONING ATLAS PAGE: L-21-2  
UPC #: 102105604018030302 (east only)

**MANZANO MESA EAST**

OFFICE/REG. PARKING REQ'D (5194 S.F. OFFICE/REG. BUILDING)	26
APARTMENT PARKING REQ'D (UNITS 280 = 50% 1 BDR. 4 50% 2 BDR.)	490
PARKING REQUIRED (TOTAL) (6 H.C. REQUIRED)	502
OPEN PARKING	450
GARAGE PARKING	66
TOTAL PROVIDED (INC. 16 H.C.)	566
NOTE: TYPICAL PARKING SPACE = 0.5' X 18'	
NET AREA	545,419.51 (1252)
BLDG'S	7 @ 24 DU = 168
	7 @ 16 DU = 112
	TOTAL DUS = 280
BUILDING AREA (INCLUDES OVERHANGS AND BALCONIES)	
GROUND FLOOR 0.365 PER BUILDING (14) = 11710 S.F.	
SECOND FLOOR 0.365 PER BUILDING (14) = 11710 S.F.	
THIRD FLOOR 0.365 PER BUILDING (7) = 58,559 S.F.	
TOTAL = 242,179 S.F.	140
BICYCLE PARKING (1 PER 2 DUS)	

**RADIUS LEGEND**

① 1' RADIUS	④ 5' RADIUS	⑦ 20' RADIUS	⑩ 50' RADIUS
② 2' RADIUS	⑤ 10' RADIUS	⑧ 25' RADIUS	⑪ 100' RADIUS
③ 3' RADIUS	⑥ 15' RADIUS	⑨ 35' RADIUS	⑫ 150' RADIUS

**SITE DEVELOPMENT PLAN**  
CASE NUMBER: 00128 00000 01647, 01450 00000 00719  
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON MARCH 1, 2001 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

SOLID WASTE DEPARTMENT	DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION/ AMAFCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	
CITY PLANNER, ALBUQUERQUE	DATE

revisions  
6/7/01  
6/11/01  
10/10/03  
Amendment:  
10/20/03

job title  
**MANZANO MESA EAST**  
EUBANK NE,  
ALBUQUERQUE, NEW MEXICO 87123

PROJECT MANAGER  
JORSE DE LA TORRE, AIA  
20046  
5/22/01

job no  
20046

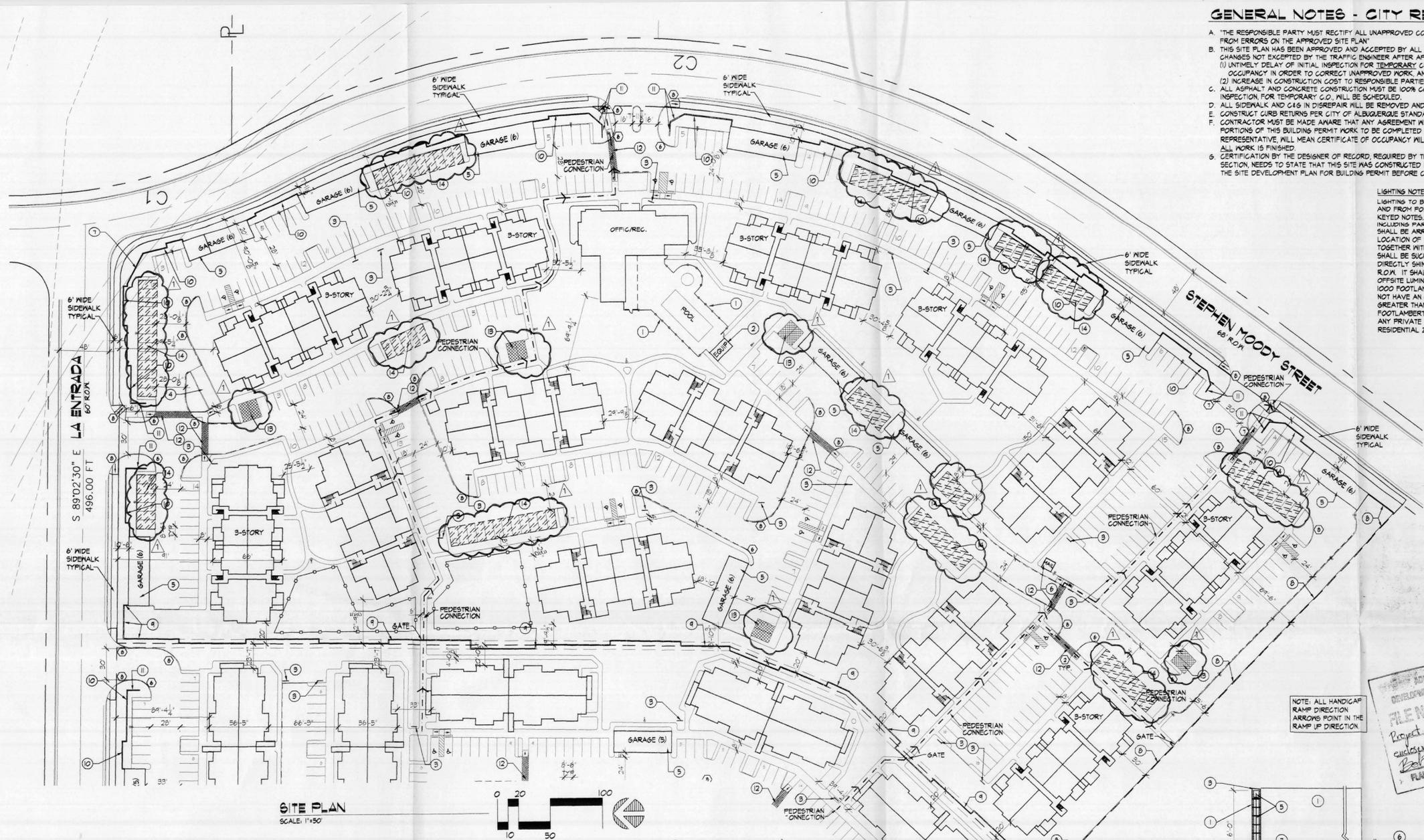
date  
5/22/01

sheet title  
SITE PLAN FOR BUILDING PERMIT

by  
NAP

de la torre architects, p.a. llc  
2400 louisiana blvd ne  
building 3, suite 110  
albuquerque n.m. 87110 / 505.883.7918

sheet  
1  
of



**GENERAL NOTES - CITY REQUIRED** **KEYED NOTES**

- A.** THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.  
**B.** THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK; AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.  
**C.** ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.  
**D.** ALL SIDEWALK AND GAS IN DISREPAIR WILL BE REMOVED AND REPLACED.  
**E.** CONSTRUCTION CURB RETURNS PER CITY OF ALBUQUERQUE STANDARD DETAIL DWG #2426. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.  
**F.** CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT BEFORE C.O. IS RELEASED.
- 1.** 6' HIGH WROUGHT IRON FENCE AROUND POOL  
**2.** 10'X20' POOL EQUIPMENT ROOM TYPICAL  
**3.** BICYCLE RACK - SEE DETAIL (1 SPACE PER 2 DWELLING UNITS PROVIDED)  
**4.** TRASH COMPACTOR ENCLOSURE  
**5.** GARAGE ENCLOSURE 20' DEEP X 11' WIDE PER NUMBER OF SPACES INDICATED.  
**6.** 11X11 MAILBOX ENCLOSURE  
**7.** MONUMENT SIGN MOUNTED ON SITE WALL  
**8.** SITE WALL TYPE 'A' - SEE ELEVATIONS  
**9.** SITE WALL TYPE 'B' - SEE ELEVATIONS  
**10.** 3' TALL CMU SITE WALL  
**11.** 4' TALL CMU SITE WALL  
**12.** PEDESTRIAN CROSSINGS SHALL BE 6' WIDE WITH RAISED TEXTURED CONCRETE WITH WHITE STRIPES TYPICAL  
**13.** REFUSE ROLLOUT ENCLOSURE TYPICAL OF (5) LOCATIONS  
**14.** CARPORT LOCATION TYPICAL. FRAMING TO BE ALL WHITE, ROOFING GALVALINIZED

**LIGHTING NOTE:**  
 LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.M. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

**1** Amendment: Five Refuse Enclosures and Thirteen Carports  
**EPC NOTES**

- A.** ALL SIDEWALKS IN FRONT OF PARKING STALLS TO BE 6' WIDE (CLEAR TYPICAL). ALL PEDESTRIAN CONNECTIONS SHALL BE 6' WIDE TYPICAL. ALL OTHER SIDEWALKS SHALL BE 4' WIDE TYPICAL. ALL SIDEWALKS IN PUBLIC R.O.M. TO BE 6' WIDE TYPICAL.  
**B.** THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINE. ROOFTOP EQUIPMENT AND OTHER PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR OR OTHER PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALLS.

**PROJECT INFORMATION**

LOCATION: EUBANK NE BETWEEN STEPHEN MOODY ST. AND SOUTHERN BLVD.  
 DEVELOPER: 66L PROPERTIES INC.  
 LEGAL DESCRIPTION: TRACT 6-9-B OF MANZANO MESA WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST N10M, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM  
 CURRENT ZONING: S-U FOR R-2  
 PROPOSED: SAME  
 TOTAL ACREAGE: 23.60 ACRES (TOTAL FOR BOTH PHASES)  
 ZONING ATLAS PAGE: L-21-Z  
 UIC #: 1021060901030302 (east only)

**MANZANO MESA EAST**

OFFICE/REC. PARKING REQ'D (5194 S.F. OFFICE/REC. BUILDING)	26
APARTMENT PARKING REQ'D (UNITS 280 + 50% 1 BDR. + 50% 2 BDR.)	400
PARKING REQUIRED (TOTAL) (6 H.C. REQUIRED)	502
OPEN PARKING	450
GARAGE PARKING	66
TOTAL PROVIDED (INC. 16 H.C.)	504
NOTE: TYPICAL PARKING SPACE = 8.5' X 18'	
NET AREA	545,419.5 (1,252
BLDG'S	7 @ 24 DU = 168
	7 @ 16 DU = 112
	TOTAL DUS = 280
BUILDING AREA (INCLUDES OVERHANGS AND BALCONIES)	
GROUND FLOOR 0.365 PER BUILDING (14) =	11710 S.F.
SECOND FLOOR 0.365 PER BUILDING (14) =	11710 S.F.
THIRD FLOOR 0.365 PER BUILDING (14) =	58,559 S.F.
TOTAL =	242,779 S.F.
	140

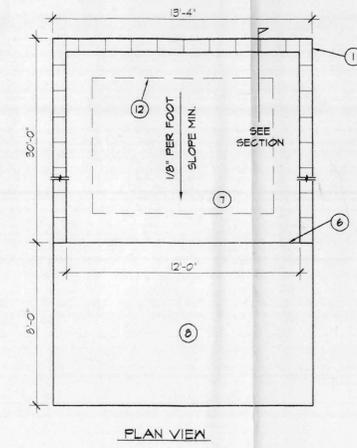
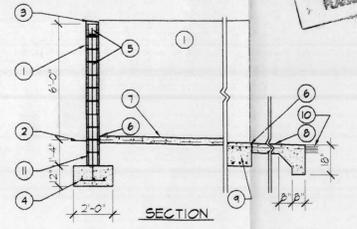
BICYCLE PARKING (1 PER 2 DUS)

**RADIUS LEGEND**

(1) 4' RADIUS	(7) 20' RADIUS	(10) 50' RADIUS
(2) 2' RADIUS	(8) 10' RADIUS	(11) 100' RADIUS
(3) 3' RADIUS	(9) 15' RADIUS	(12) 150' RADIUS

ADMINISTRATIVE DEVELOPMENT PLAN AMENDMENT  
 FILE NO. 033A-01718  
 Project 1000938 / Refuse Enclosures & Carports  
 Bob Tschirch 10/29/03  
 FLORIAN BREITNER

NOTE: ALL HANDICAP RAMP DIRECTION ARROWS POINT IN THE RAMP UP DIRECTION



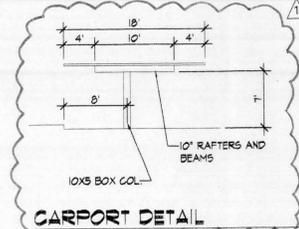
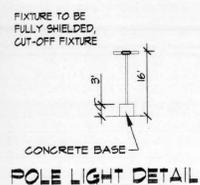
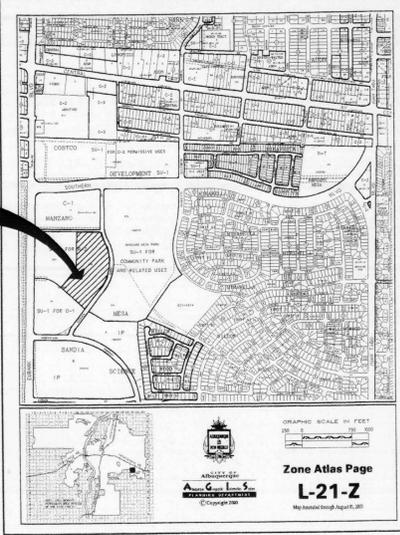
**TRASH COMPACTOR KEYED NOTES**

- 8' CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER COLOR BY ARCHITECT.
- FINISH GRADE.
- SLOPE STUCCO CAP.
- 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
- 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTIGUOUS #5 BARS @ 32" O.C. VERTICAL GROUT REINFORCED CELLS DURAMALL @ 16" O.C. HORIZONTAL.
- 1/2" EXPANSION JOINT MATERIAL.
- 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 NNM.
- 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 NNM W/ TURNDOWN EDGE.
- 24"X14" DEEP THICKENED SLAB W/ 3 #4 TOP & BOTTOM CONT.
- ASPHALT PAVING.
- GROUT ALL CELLS SOLID BELOW GRADE TYPICAL.
- ANGLE IRON GUIDES, STOPS BY COMPACTOR INSTALLER. REIN. SLAB W/ CONC. FILL AS PER MANUFACTURER REQ'S.

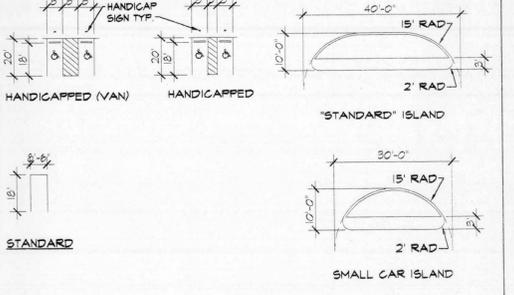
**TRASH COMPACTOR**  
 SCALE: 1/4"=1'-0"

**SITE PLAN**  
 SCALE: 1"=50'

**VICINITY MAP**



**PARKING TYPES & ISLAND DETAILS**



- LEGEND:**
- METAL FENCE
  - CHAIN LINK FENCE
  - SANITARY SEWER MANHOLE
  - WATER VALVE
  - FIRE HYDRANT
  - WATER METER
  - ELECTRIC MANHOLE
  - ELECTRIC PEDESTAL
  - OVERHEAD ELECTRIC LINE
  - STREET LIGHT
  - POWER POLE
  - ANCHOR
  - EXISTING LOT LIGHT
  - TRAFFIC LIGHT
  - TRAFFIC SIGNAL OR PULLBOX
  - NEW POLE LIGHT
  - GAS VALVE
  - WATERLINE
  - SAS - SANITARY SEWER LINE
  - SD - STORM SEWER LINE
  - LIGHT POLE

**SITE DEVELOPMENT PLAN**

CASE NUMBER: 00128 00000 01647, 01450 00000 00719

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON MARCH 1, 2001, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SOLID WASTE DEPARTMENT	DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION/AMAFCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.	
CITY PLANNER, ALBUQUERQUE	DATE

**SIGNATURE BLOCK**

revisions  
 6/7/01  
 6/11/01  
 10/10/03  
 Amendment: 10/20/03

job title  
**MANZANO MESA EAST**  
 EUBANK N.E.  
 ALBUQUERQUE, NEW MEXICO 87123

PROJECT MANAGER: JORGE DE LA TORRE, AIA  
 job no: 20046  
 date: 5/22/01

sheet title  
 SITE PLAN FOR BUILDING PERMIT  
 by: NAP

de la torre architects, p.a. d/a  
 2400 louisiana blvd n.e.  
 building 3 suite 110  
 albuquerque nm 87110 / 505-883-798

sheet 1 of 1