

DESIGN GUIDELINES

PARKING/CIRCULATION

1. The maximum allowed parking shall be equal to the required parking plus 10%.
2. ADA compliant parking shall be located adjacent to the building entry.
3. For office buildings, pedestrian crossings shall be a minimum width of 6-feet. They shall be clearly demarcated with textured paving and shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
4. Shaded pedestrian access shall be provided, including a clear 6-foot-wide path with adjacent trees spaced approximately 25-feet on center within planters that have a minimum interior dimension of 5-feet square (or equivalent).
5. For office buildings, a shaded sidewalk that is a minimum of 15-feet-wide shall be provided along the entrance side of the building. Shade can be provided with architecturally integrated portals or canopies, or by trees placed at intervals of approximately 25 feet on center in planters with a minimum interior dimension of 5-feet square (or equivalent).
6. For buildings, an outdoor patio space that is a minimum of 500 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or shade structure that integrates with building architecture.
7. Convenient pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways.
8. Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
9. There shall be a 6-foot clear pedestrian ways to connect Tract G-3-A to H-1-A; and Tract G-3-B to Tract H-1-A.

LANDSCAPING & SCREENING

10. A mix of evergreen (coniferous) and deciduous trees shall be used within parking areas. Buffer areas shall include a mix of evergreen and deciduous trees.
11. Landscaping regulations require that 75% of landscape areas over 36 square feet in size must be covered with living, vegetative material. High-water use turf must be limited in application to 20% of the landscape area.
12. Parapets and/or architectural tents shall be used to screen mechanical equipment and penetrations from the commercial development to the adjacent property.
13. Perimeter walls shall comply with the Planning Department's Guidelines for perimeter walls.
14. No chain-link, razor wire or plastic vinyl fencing is permitted.

ARCHITECTURE

15. The top of all rooftop equipment shall be below the top of parapet and screened from view from nearby properties. Screen walls shall screen all ground-mounted equipment with the top of equipment below the top of screen wall.
16. No plastic or vinyl building panels, awnings, or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
17. No freestanding cell towers or antenna shall be permitted; antenna shall be integrated into the building architecture.
18. ATM's should be architecturally integrated with building design.
19. Loading docks shall be screened by walls and covers that are architecturally integrated with the building.
20. No generic franchise architecture shall be allowed.
21. All out buildings and canopies shall be architecturally integrated and compatible in materials and design.
22. Refuse enclosures shall be compatible in design, color, and material with building architecture. If gates are provided, they shall be opaque; chainlink gates are not allowed.

SIGNAGE

23. Monument signs which are integrated with building colors and materials are the only free standing signs allowed.
24. Building-mounted signs shall consist of individual channel letters. No illuminated plastic panel signs are allowed except logos.
25. Monument signage shall be limited to a maximum of 10-feet in height, 100 square feet per face. Building-mounted signage shall be a maximum of 6% to the facade to which is applied and a maximum of 3 building facades. Maximum letter size shall be three feet, maximum logo size shall be 3' x 3'.

LIGHTING

26. The location of the light poles shall be included on the Site Plans for Building Permit. Light fixtures shall be a maximum of 20 feet high. The light fixtures shall be fully-shielded fixtures lamps so that no fugitive light shall escape beyond the property line. All light fixtures shall be full-cutoff to prevent fugitive light; no light source shall be visible from the site.
27. Lighting within 100 feet of residential development shall be limited to 16 feet in height.

SITE DEVELOPMENT PLAN FOR SUBDIVISION: REQUIRED INFORMATION

THE SITE: The site consists of 2 existing lots (Tracts H, & G3, Manzano Mesa Addition).

The site shall be replatted into 3 lots. (Tracts H-1, G-3-A and G-3-B). The site contains approximately 34.9 acres. Tract H is approximately 11.3 acres, Tract G-3-A is approximately 11.0 acres, and Tract G-3-B is approximately 12.6 acres.

PROPOSED USE: The zoning for tract H (H-1) shall remain SU-1 for O-1 uses. The zoning for Tract G-3 (G-3-A and G-3-B) shall remain SU-1 For R-2. The proposed use for Tracts G-3-A and G-3-B is multi-family residential.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: There will be a 6 foot sidewalk along Eubank Boulevard, Stephen Moody Street, and La Entrada Avenue. Interior pedestrian ways shall be developed in accordance with the individual Site Plans for Building Permit. There is a proposed multi-use trail adjacent to the site along Eubank Boulevard. The primary access to Tracts H-1 and G-3-B shall be off of Stephen Moody Street. A cul-de-sac will be developed from Eubank Boulevard at the approximate midpoint between Stephen Moody Street and La Entrada Avenue to provide access to Tracts H-1 and G-3-A. Secondary access to Tracts G-3-A and G-3-B will be provided off of La Entrada Avenue.

INTERNAL CIRCULATION REQUIREMENTS: Internal circulation shall be developed in accordance with the individual Site Plans for Building Permit.

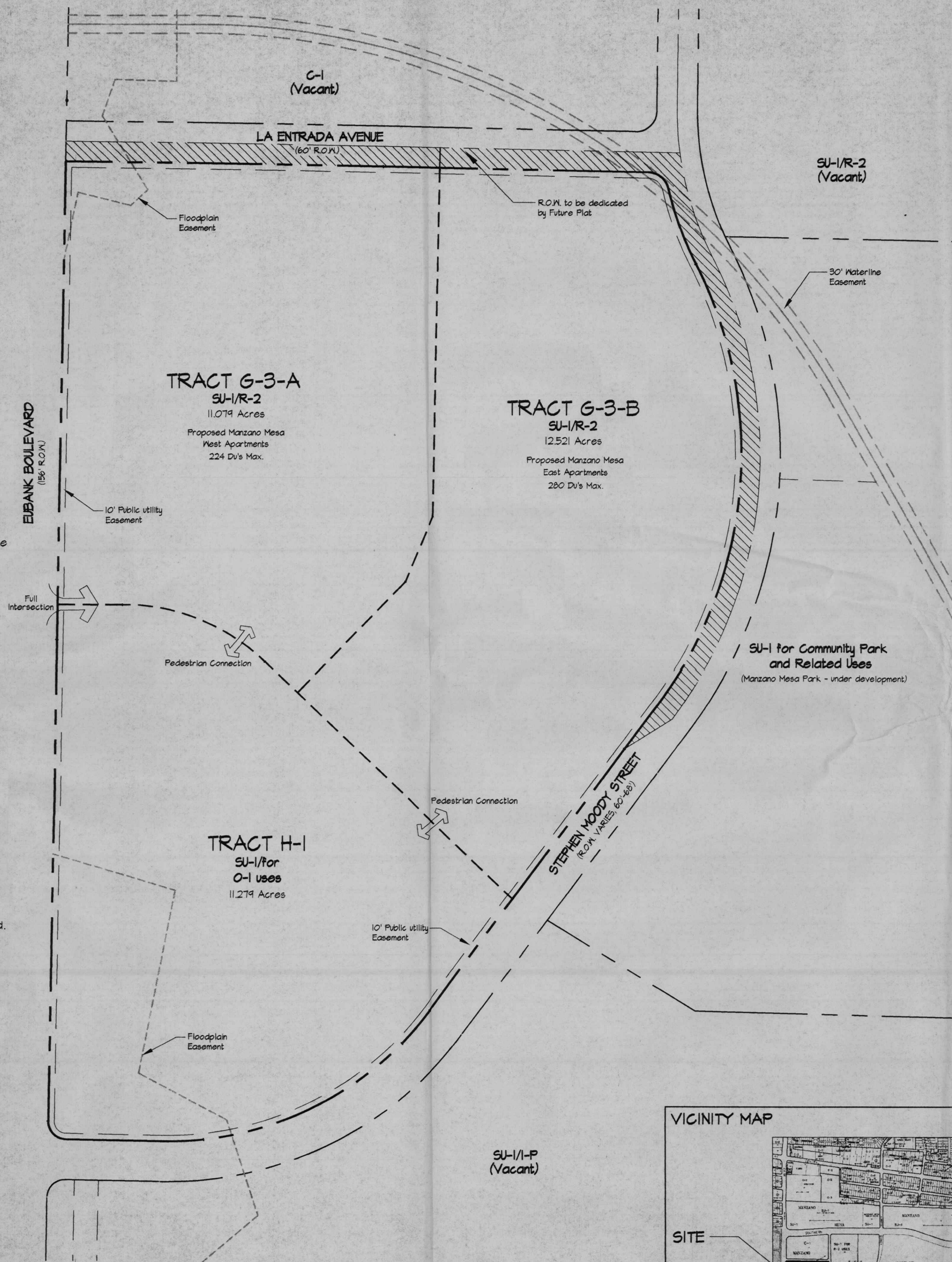
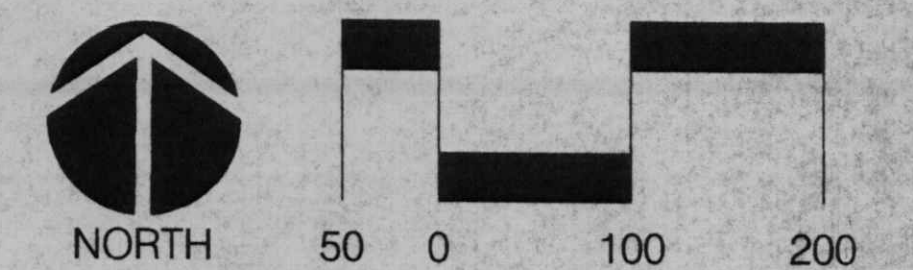
BUILDING HEIGHTS AND SETBACKS: Pursuant to the R-2, or O-1 zoning, as appropriate depending on the specific land use.

MAXIMUM F.A.R.: Maximum F.A.R. shall be 35.

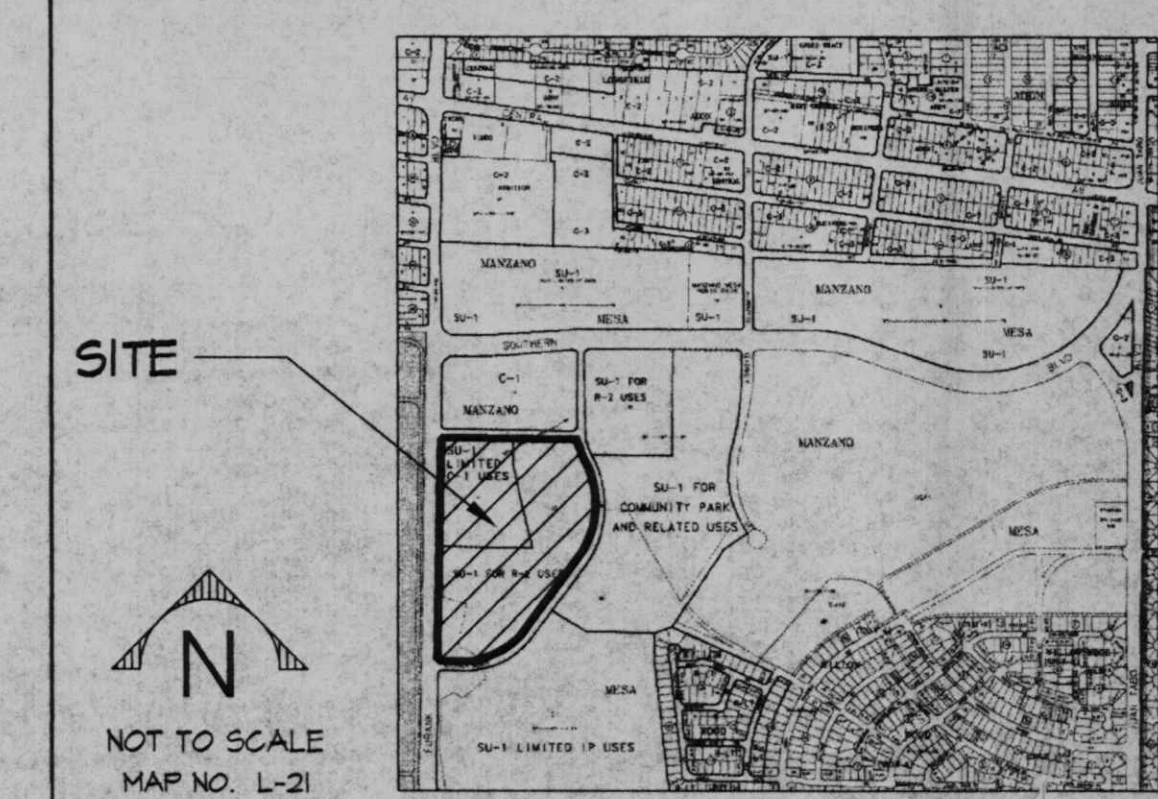
LANDSCAPE PLAN: Detailed Landscape Plans shall be developed in accordance with the individual Site Plans for Building Permit and consistent with these landscaping and screening requirements.

APPROVALS

Planning Director	Date
Transportation Development	Date
City Engineer/AMAFCA	Date
Utility Development	Date
Parks and Recreation Department	Date



VICINITY MAP



CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 924 Park Avenue SW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 info@consensusplanning.com

Proj. 1000938

job title
MANZANO MESA
 TRACTS H & G3
 ALBUQUERQUE, NEW MEXICO 87123
 PROJECT MANAGER Job no date
 JORGE DE LA TORRE, AIA 20048 11/27/00
 sheet title
 SITE PLAN FOR SUBDIVISION by

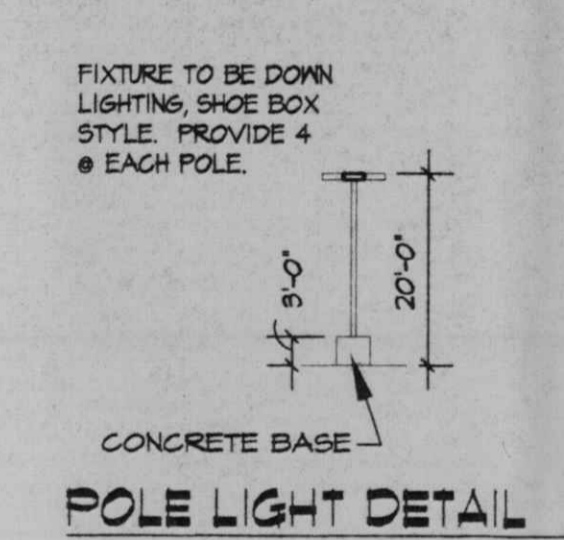
de la torre architects, p.a. aia
 2400 louisiana blvd ne
 building 3, suite 110
 albuquerque nm 87110 / 505-863-7918

sheet-
 1

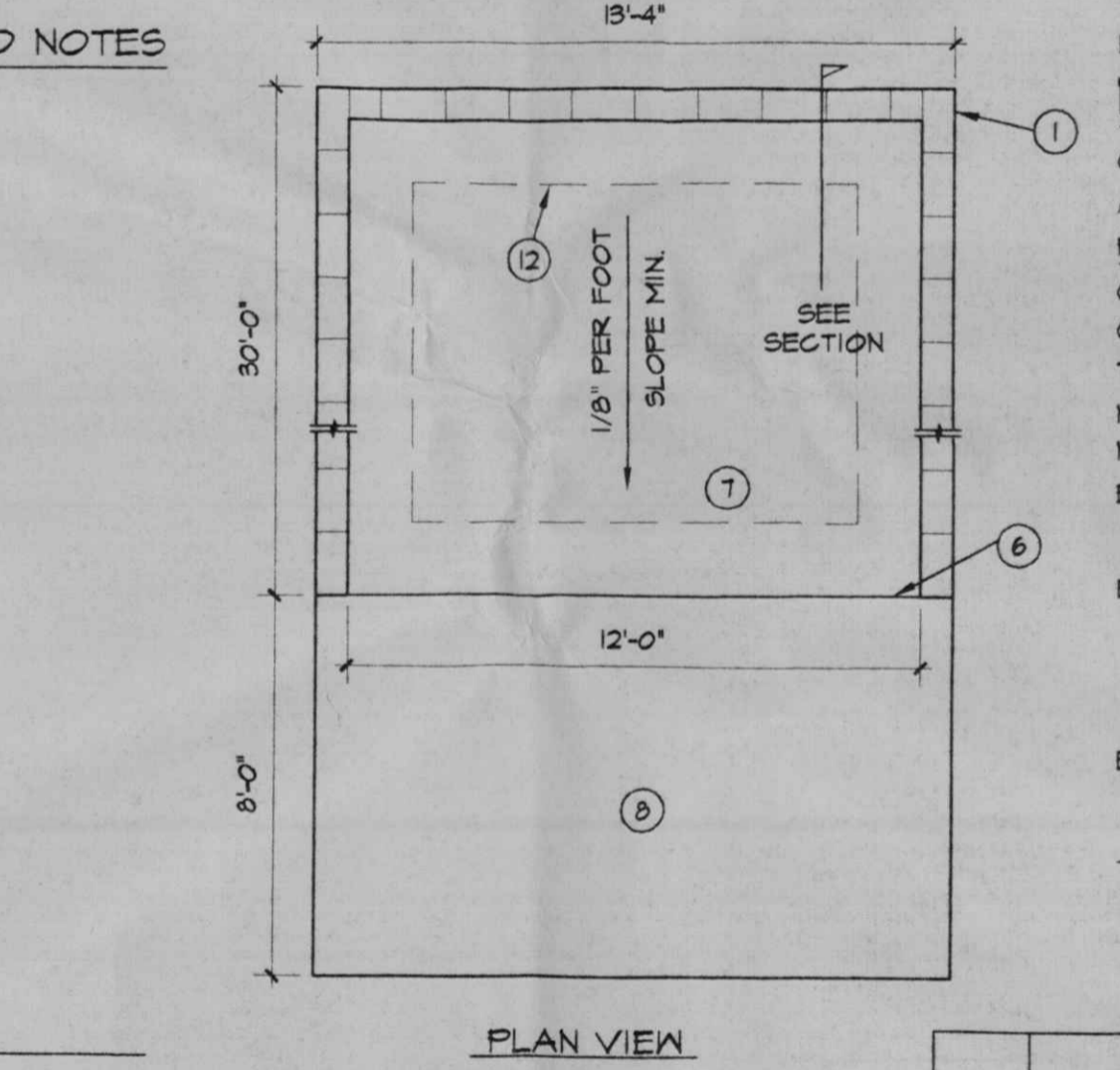
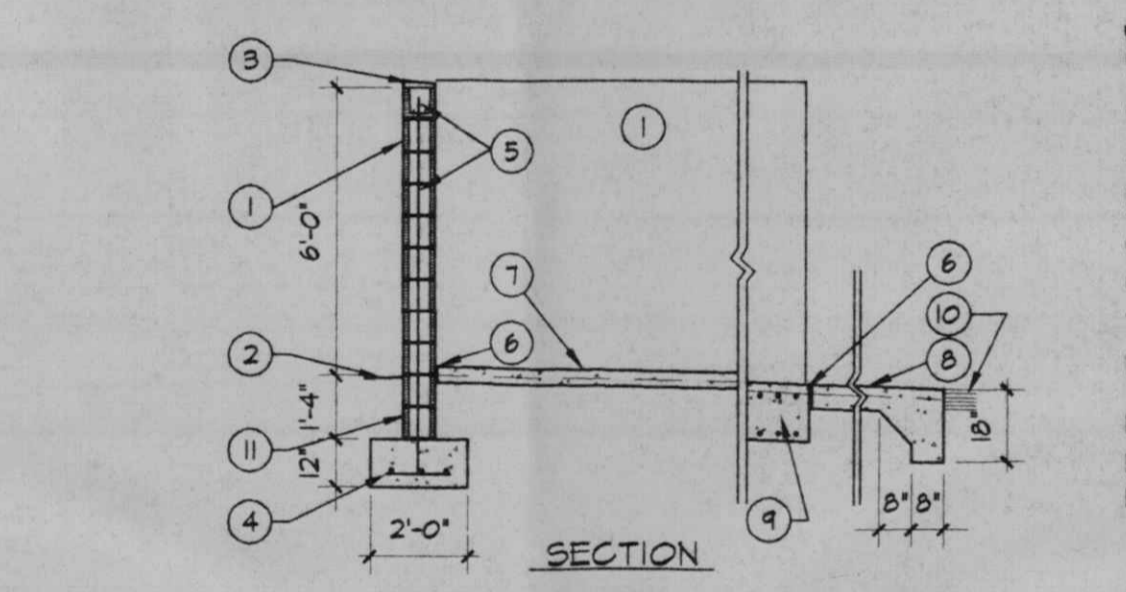
GENERAL NOTES - CITY REQUIRED ○KEYED NOTES

- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- D. ALL SIDEWALKS AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- E. CONSTRUCT CURB RETURN PER CITY OF ALBUQUERQUE STANDARD DETAIL DWG. #2426
- F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

- 1. 6' HIGH WROUGHT IRON FENCE AROUND POOL
- 2. 10'x20' POOL EQUIPMENT ROOM TYPICAL
- 3. BICYCLE RACK - SEE DETAIL (1 SPACE PER 2 DWELLING UNITS PROVIDED)
- 4. TRASH COMPACTOR ENCLOSURE
- 5. GARAGE ENCLOSURE 20' DEEP X 11' WIDE PER NUMBER OF SPACES INDICATED.
- 6. 11X11 MAILBOX ENCLOSURE
- 7. MONUMENT SIGN MOUNTED ON SITE WALL
- 8. SITE MALL TYPE 'A' SEE ELEVATIONS
- 9. SITE MALL TYPE 'B' SEE ELEVATIONS
- 10. 3' TALL CMU SITE WALL
- 11. 4' TALL CMU SITE WALL



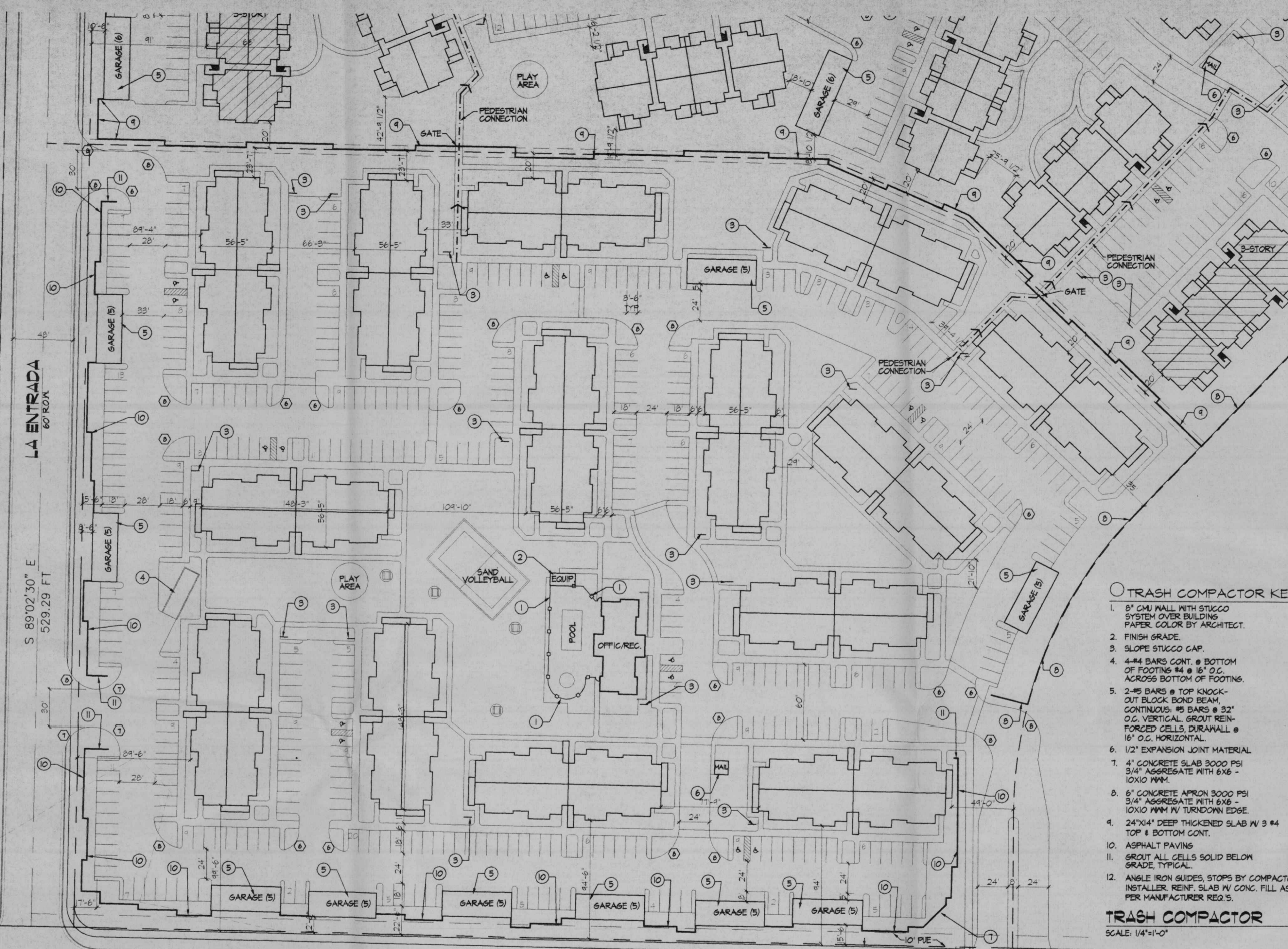
LIGHTING NOTE:
LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC ROOM. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



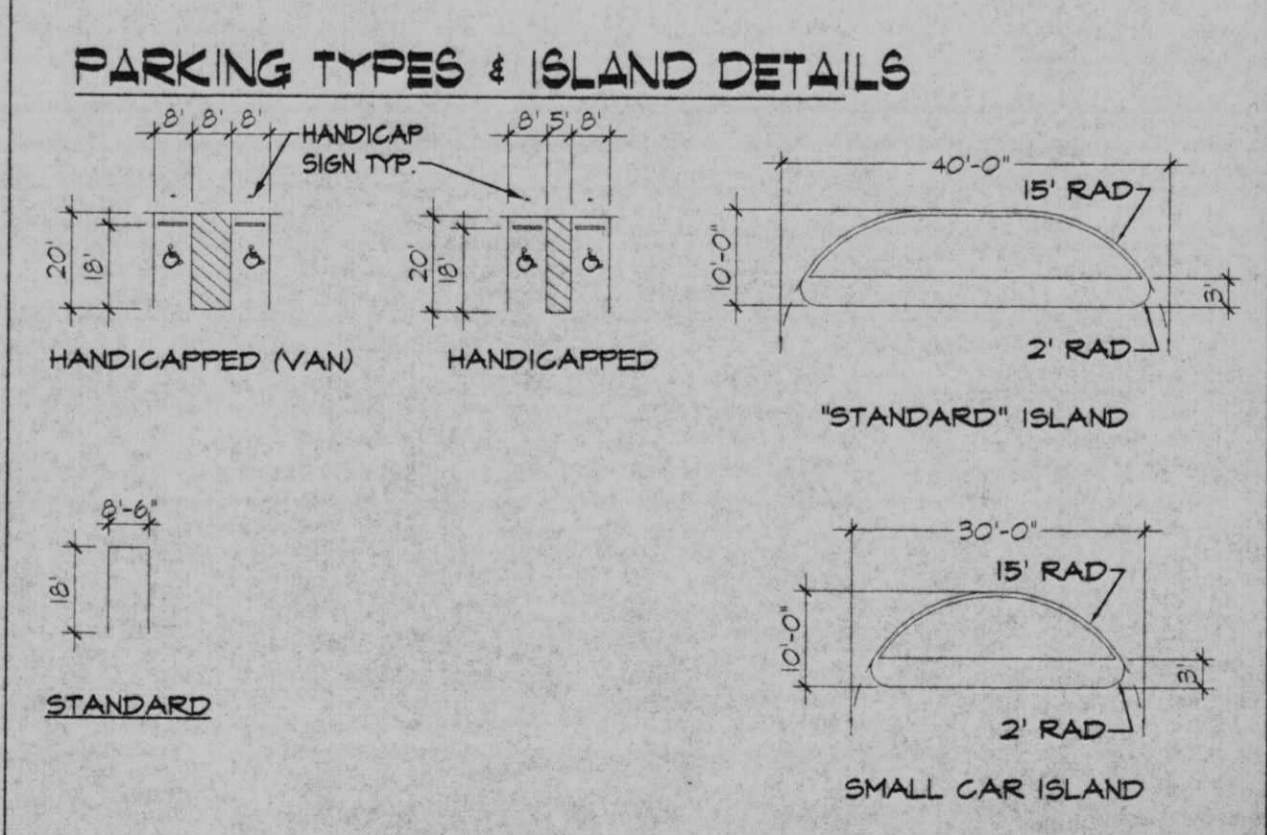
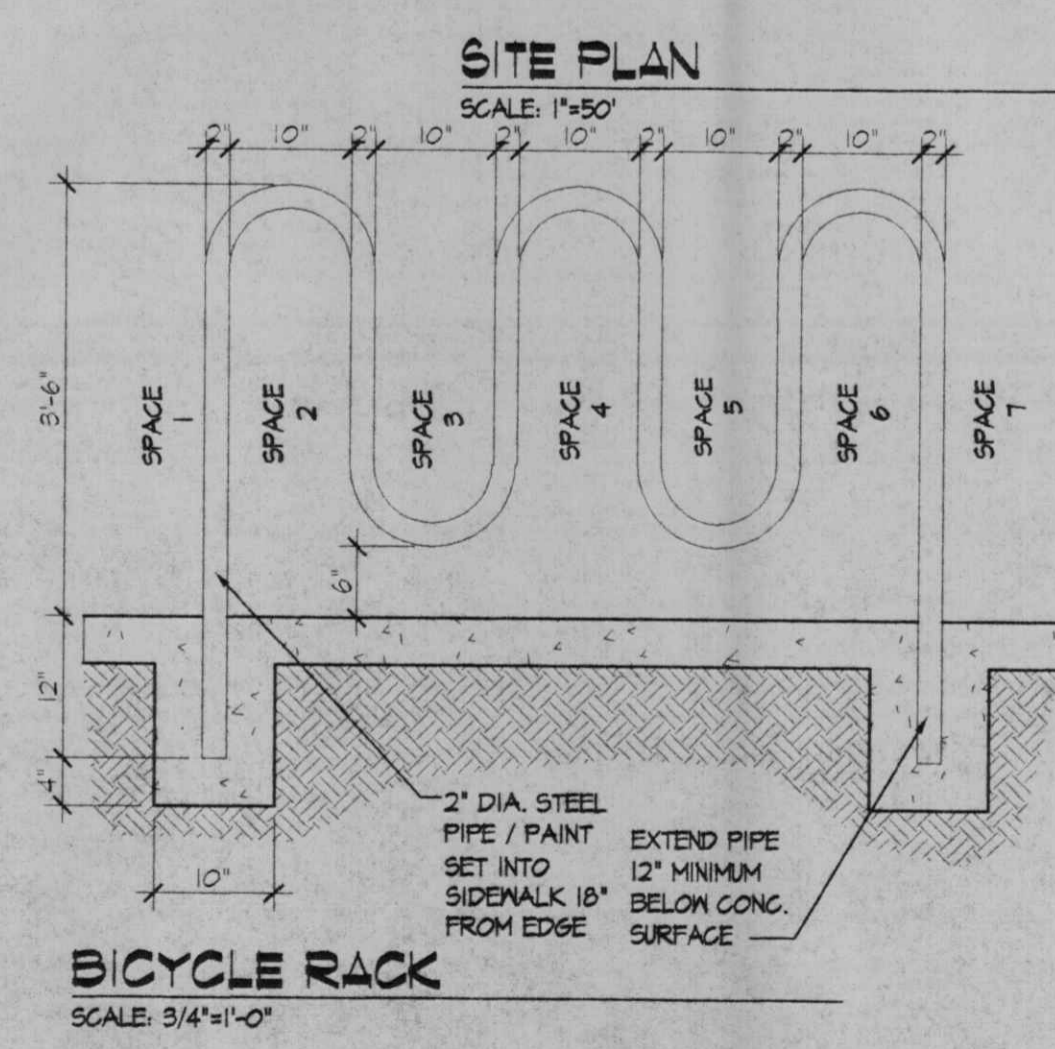
TRASH COMPACTOR KEYED NOTES

- 1. 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER COLOR BY ARCHITECT.
- 2. FINISH GRADE.
- 3. SLOPE STUCCO CAP.
- 4. 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
- 5. 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM CONTINUOUS. #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
- 6. 1/2" EXPANSION JOINT MATERIAL.
- 7. 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 NMM IN TURNDOWN EDGE.
- 8. 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 NMM IN TURNDOWN EDGE.
- 9. 24"X14" DEEP THICKENED SLAB IN 3/4" TOP & BOTTOM CONT.
- 10. ASPHALT PAVING.
- 11. GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.
- 12. ANGLE IRON GUIDES, STOPS BY COMPACTOR INSTALLER REIN. SLAB IN CONC. FILL AS PER MANUFACTURER REQ'S.

TRASH COMPACTOR
SCALE: 1/4"=1'-0"

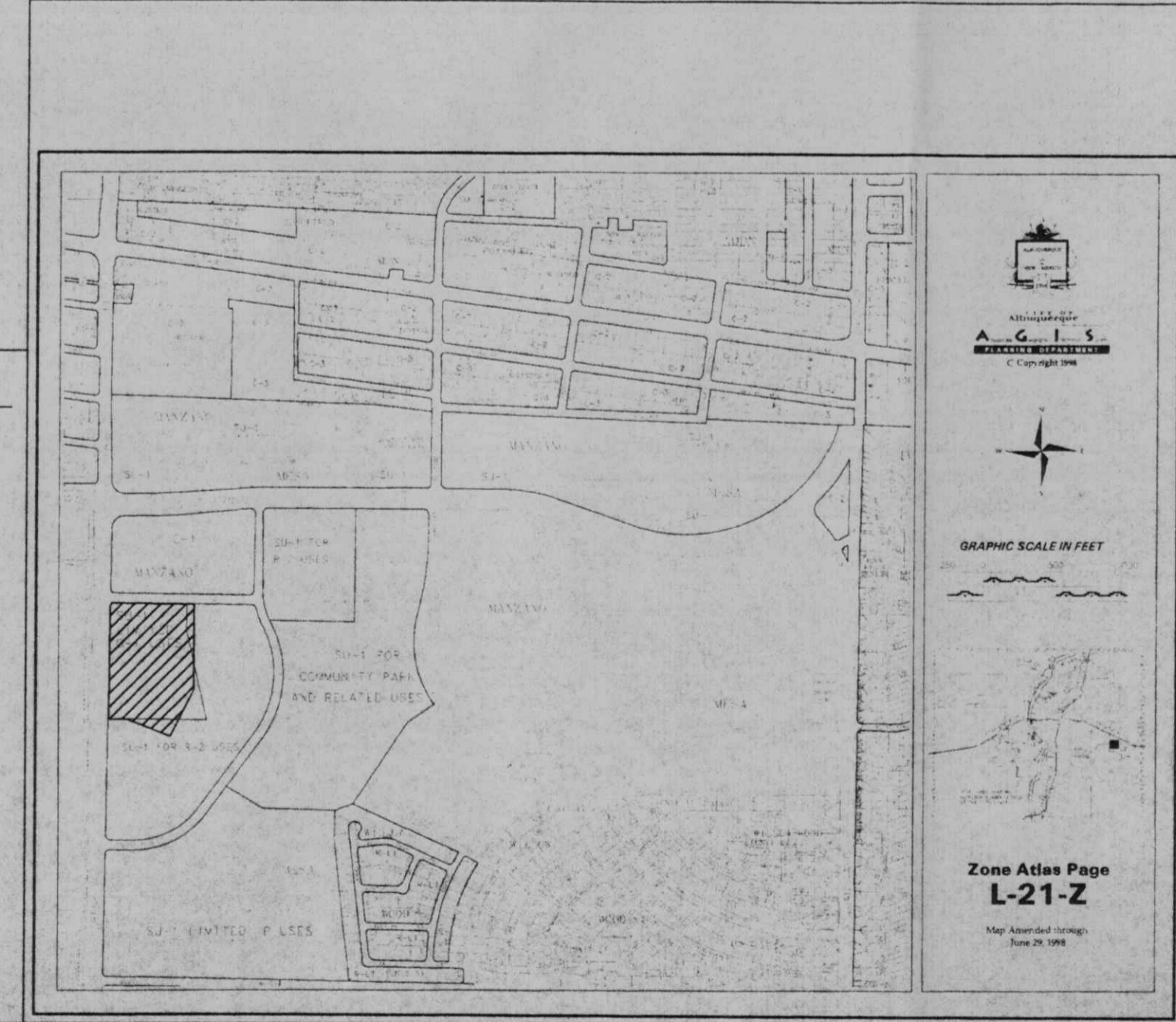


NOTE: FINAL SECTION FOR EUBANK, INCLUDING PAVING, MEDIAN, SIDEWALKS, AND TRAIL/BIKE LANES TO BE DETERMINED BY SOUTH EUBANK SCOPING STUDY UNDERWAY BY THE COA PUBLIC WORKS DEPARTMENT.



- LEGEND:**
- METAL FENCE
 - CHAIN LINK FENCE
 - SANITARY SEWER MANHOLE
 - ⊕ WATER VALVE
 - ⊕ FIRE HYDRANT
 - ⊕ WATER METER
 - ⊕ ELECTRIC MANHOLE
 - ⊕ ELECTRIC PEDESTAL
 - OVERHEAD ELECTRIC LINE
 - STREET LIGHT
 - POWER POLE
 - ANCHOR
 - ⊕ EXISTING LOT LIGHT
 - ⊕ TRAFFIC LIGHT
 - ⊕ TRAFFIC SIGNAL OR PULLBOX
 - NEW POLE LIGHT
 - ⊕ GAS VALVE
 - WATERLINE
 - SAS SANITARY SEWER LINE
 - SD STORM SEWER LINE
 - SIGN

VICINITY MAP



PROJECT INFORMATION

LOCATION:	EUBANK NE BETWEEN STEPHEN MOODY ST. AND SOUTHERN BLVD.
DEVELOPER:	GGI PROPERTIES INC.
LEGAL DESCRIPTION:	TRACT 6-3 OF MANZANO MESA WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST NMM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM
CURRENT ZONING:	SU-1 FOR R-2
PROPOSED:	SAME
TOTAL ACREAGE:	29.60 ACRES
ZONING ATLAS PAGE:	L-21-Z
UPC #:	10210560415580301

MANZANO MESA WEST

OFFICE/REG. PARKING REQ'D. (2400 S.F. OFFICE/REG. BUILDING)	12
APARTMENT PARKING REQ'D. (UNITS 224 = 50% 1 BDR. & 50% 2 BDR.)	404
PARKING REQUIRED (TOTAL) (12 H.C. REQUIRED)	404
OPEN PARKING	381
GARAGE PARKING	54
TOTAL PROVIDED (INC. 14 H.C.)	435
NOTE: TYPICAL PARKING SPACE = 8'5" X 18'	
NET SITE AREA	482,544.19 (11.08)
BLD'S	14 @ 16 DU = 224
BUILDINGS AREA (INCLUDES OVERHANGS AND BALCONIES)	
GROUND FLOOR 1,004 PER BUILDING (14) = 14,056 S.F.	
SECOND FLOOR 1,004 PER BUILDING (14) = 14,056 S.F.	
TOTAL = 146,112 S.F.	112

MANZANO MESA EAST

OFFICE/REG. PARKING REQ'D. (1544 S.F. OFFICE/REG. BUILDING)	26
APARTMENT PARKING REQ'D. (UNITS 280 = 50% 1 BDR. & 50% 2 BDR.)	440
PARKING REQUIRED (TOTAL) (16 H.C. REQUIRED)	502
OPEN PARKING	450
GARAGE PARKING	66
TOTAL PROVIDED (INC. 16 H.C.)	516
NOTE: TYPICAL PARKING SPACE = 8'5" X 18'	
NET AREA	545,414.51 (12.52)
BLD'S	7 @ 24 DU = 168
	7 @ 16 DU = 112
TOTAL DUS = 280	
BUILDINGS AREA (INCLUDES OVERHANGS AND BALCONIES)	
GROUND FLOOR 0,365 PER BUILDING (4) = 1,460 S.F.	
SECOND FLOOR 0,365 PER BUILDING (4) = 1,460 S.F.	
THIRD FLOOR 0,365 PER BUILDING (4) = 1,460 S.F.	
TOTAL = 292,175 S.F.	140

RADIUS LEGEND

- ① 1' RADIUS
- ② 2' RADIUS
- ③ 3' RADIUS
- ④ 5' RADIUS
- ⑤ 10' RADIUS
- ⑥ 15' RADIUS
- ⑦ 20' RADIUS
- ⑧ 25' RADIUS
- ⑨ 35' RADIUS
- ⑩ 50' RADIUS
- ⑪ 100' RADIUS
- ⑫ 150' RADIUS

CASE NUMBER: Z -

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

SIGNATURE BLOCK

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION/AMAFCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	DATE
CITY PLANNER, ALBUQUERQUE	DATE

revisions

job title	MANZANO MESA WEST	
PROJECT MANAGER	job no	date
JORSE DE LA TORRE AIA	20046	11/16/00
sheet title	SITE PLAN FOR BUILDING PERMIT	
SITE PLAN FOR BUILDING PERMIT	by	NAP

de la torre architecte, p.a. lda
2400 louisiana blvd ne
building 3 suite 110
albuquerque nm 87110 / 505-883-7918

START DATE: 10/30/00



CONCEPTUAL DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
 The purpose of this submitted is to present a conceptual drainage plan for the Manzano Mesa Apartments. The site contains approximately 23.0 acres. The project must go through the DPC for case change approval and site plan approval. Due to the preliminary nature of this submitted, quantitative drainage calculations are not provided, only general drainage concepts are discussed.

II. SITE LOCATION
 The site is located on the east side of Eubank south of Southern. In its current condition, the majority of the site is undeveloped, portions of the site have been graded at some point in the past. The site currently drains to the west at a slope of just under 2%. The site is located within zone atlas map # 71, and hydrologic zone 3.

III. EXISTING HYDROLOGIC CONDITIONS
 Both the existing basins and proposed basins are shown on the Basin map included on this sheet. A pending addendum to the existing Manzano Mesa master Drainage Study (1996, Smith Engineering) identifies the site as basins 601, 603, and 701. The tract boundaries from the original study do not match the current platting for the area, hence the city requested that Smith Engineering provide an addendum to modify the study to match the current tract lines. The addendum indicates that Sub-basin 601 should drain to the east to the Manzano Mesa Park Pond. Basins 603 and 701 drain to the south and west.

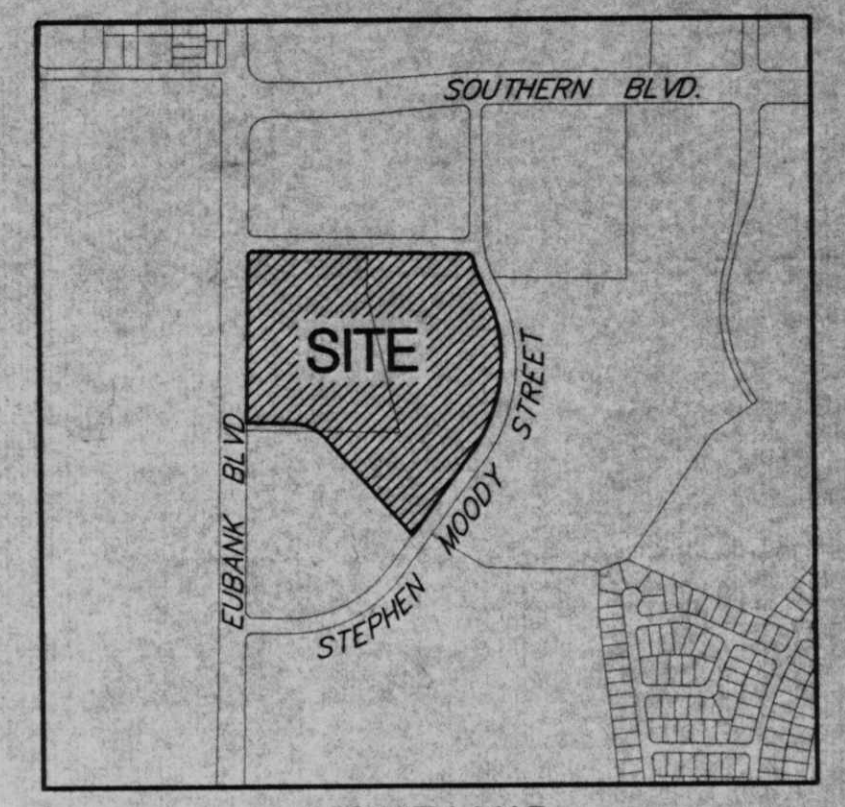
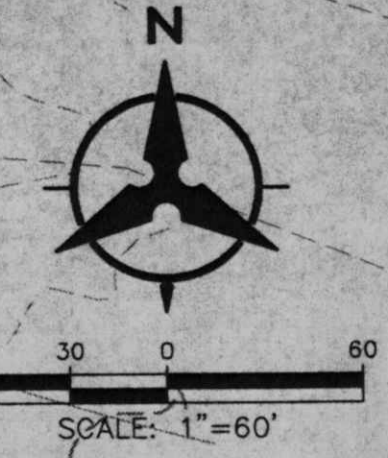
IV. PROPOSED HYDROLOGIC CONDITIONS
 As the basin map on this sheet indicates, Existing Sub-Basins 603, 601, and 701 are divided into Basins A, B, C, and D under proposed conditions. Specifically, Sub-Basin 601 is divided into Basins B and C. Due to the constraints imposed by the site topography, only a small portion of existing Sub-Basin 601 (proposed Basin C) can drain to the Manzano Mesa Park Pond. The remaining portion of the basin must drain to the west.

Proposed Basin B also contains most of Sub-Basin 603. Basin B is proposed to drain to the south in a new Storm Drain along Eubank. The new storm drain would tie into the Terasa Outfall Storm Drain at the intersection of Eubank and Stephen Moody. Because the total portion of the site which drains to the west and south is significantly larger than was anticipated by the Master Drainage Plan, ponding will be required. Sufficient ponding volume to mitigate the peak flow from Basin B to the peak flow for Sub-Basin 603 anticipated by the addendum to the Master Drainage Plan will be required.

Proposed Basin A is a portion of existing Sub-Basin 603. Existing topography constraints require Basin A to drain to the north. The interim outfall for Basin A would be the existing culvert under Eubank just north of the site. The ultimate outfall for Basin A would be down the Gibson East Corridor.

Proposed Basin D corresponds closely to existing Sub-Basin 701, and will drain in the same manner indicated by the Master Drainage Plan.

V. CONCLUSION
 This conceptual drainage management plan proposes concepts which are capable of safely passing the 100 year storm and which meet city requirements.

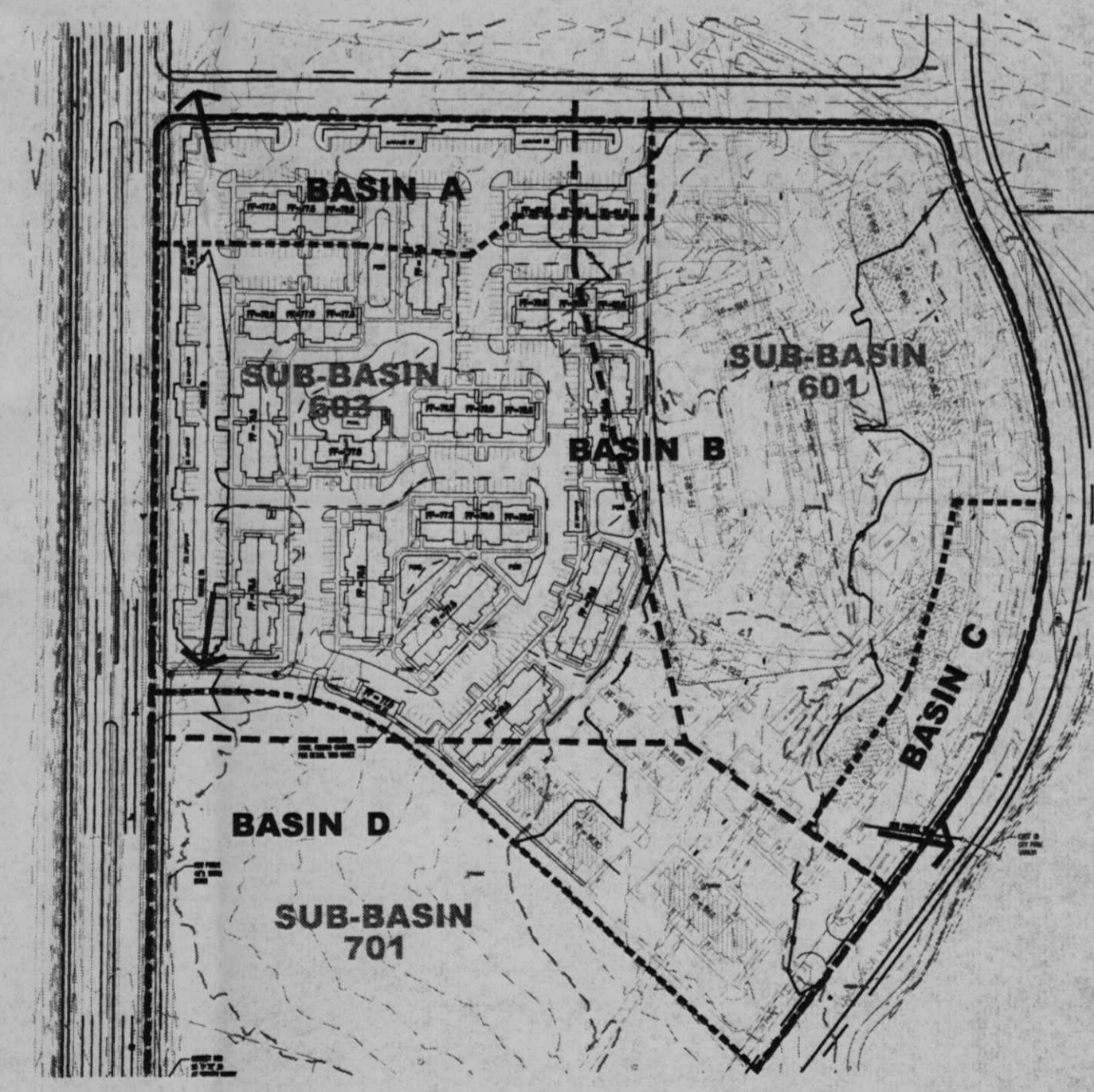


VICINITY MAP
 ZONE ATLAS MAP NO. L-21-2

LEGAL DESCRIPTION:
 TRACT G-3 OF MANZANO MESA
 WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST
 NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

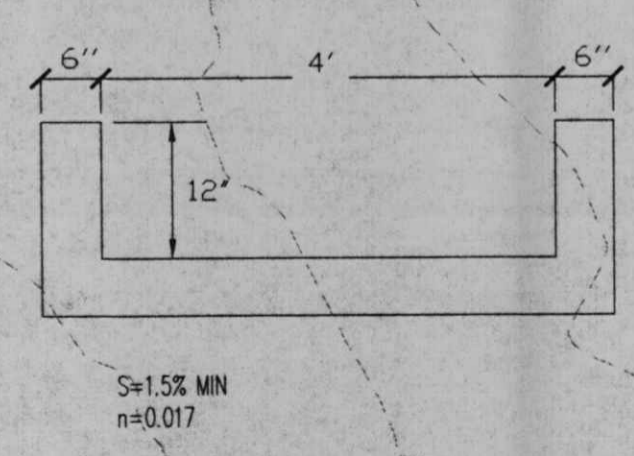
LEGEND

- PROPERTY LINE
- - - EXISTING CONTOURS
- 5301 EXISTING GROUND SPOT ELEVATION
- 5301.15 EXISTING ELECTRICAL POLE
- 65.23 PROPOSED SPOT ELEVATION
- TO-TOP OF CURB, FL-FLOW LINE
- TO-TOP OF WALL, SB-BOTTOM OF WALL
- TO-TOP OF DRAINAGE
- S=2.0% PROPOSED DIRECTION OF FLOW
- - - PROPOSED INDEX CONTOURS
- - - PROPOSED INTER CONTOURS
- SD PROPOSED CURB & GUTTER
- SD PROPOSED STORM DRAIN LINE
- O PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- ⊙ EXISTING STORM DRAIN MANHOLE



BASIN MAP
 SCALE: 1"=200'

- - - EXISTING BASIN BOUNDARY PER MANZANO MESA MASTER DRAINAGE STUDY, 1996, BY SMITH ENGR.
- PROPOSED CONDITIONS BASINS



SU-1 for O-1 uses TRACT H
 11.279 Acres
 11.279 Acres NET

CONCEPTUAL GRADING & DRAINAGE NOTES

1. NEW PRIVATE STORM DRAIN LINES SHOWN ON THIS PLAN ARE POSSIBLE CONCEPTS ONLY. FINAL ALIGNMENTS, SIZES, ETC., WILL BE DETERMINED WHEN THE FINAL DESIGN IS DONE. ADDITIONAL ON-SITE STORM DRAIN MAY BE REQUIRED.
2. PONDS SHOWN ARE SCHEMATIC ONLY. EXACT SIZE, LOCATION, AND QUANTITY OF PONDS WILL BE DETERMINED WHEN FINAL DESIGN IS DONE.
3. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.

Bohannon + Huston

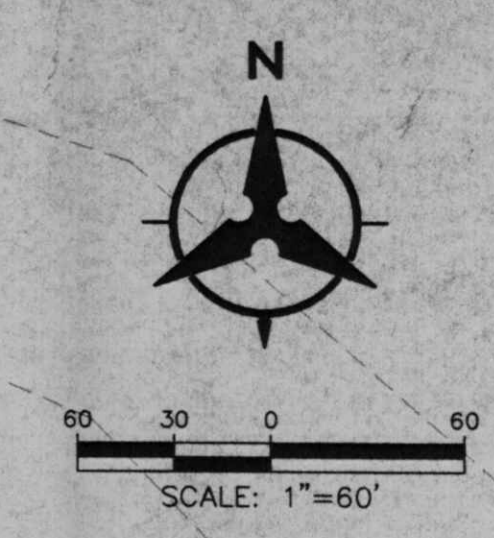
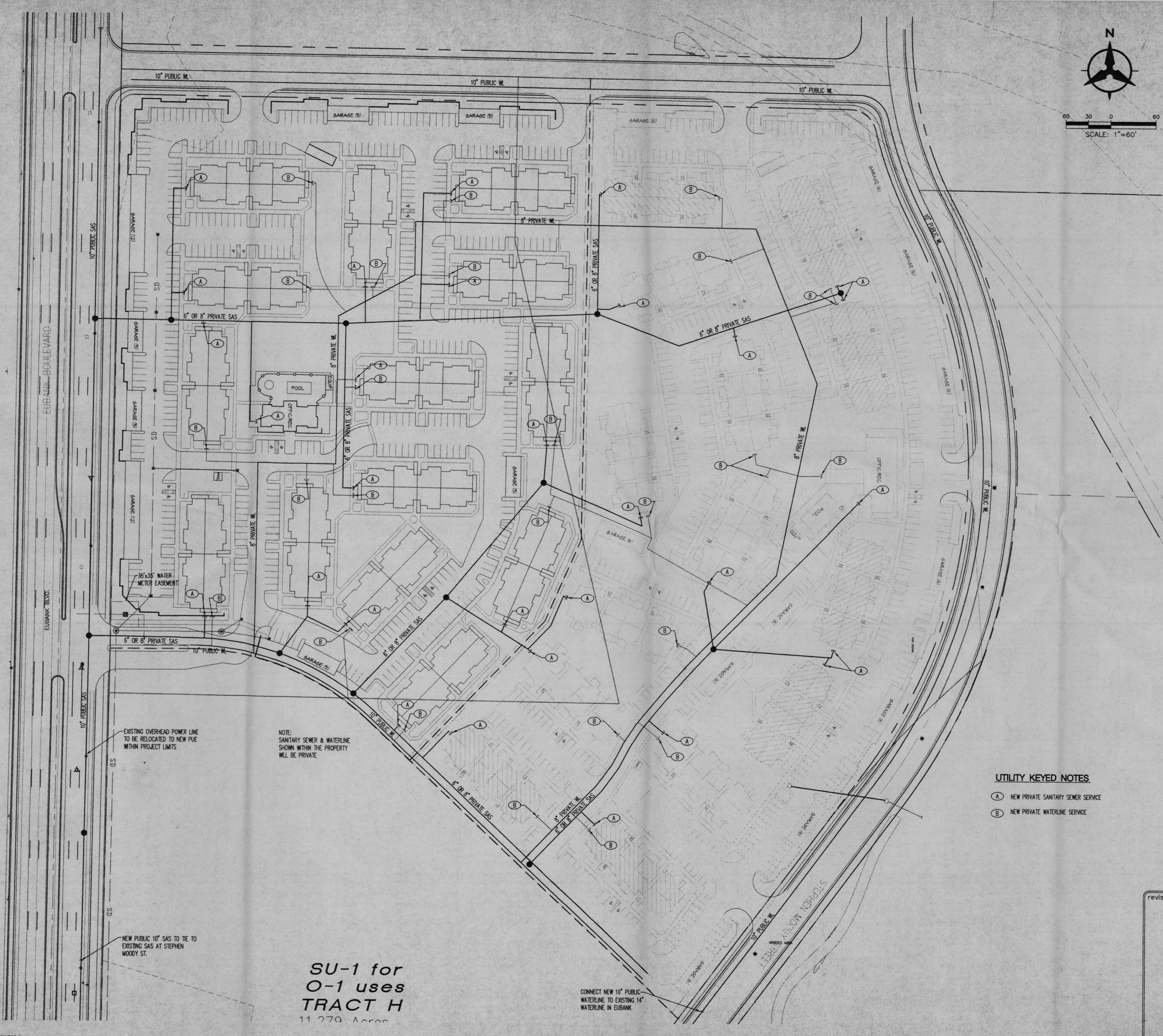
Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

revisions	job title MANZANO-MESA WEST EUBANK N.E. ALBUQUERQUE, NEW MEXICO 87123
PROJECT MANAGER JORGE DE LA TORRE, AIA	job no 20046
sheet title CONCEPTUAL GRADING PLAN	date 11/27/00
	by

de la torre architecte, p.a. d/a
 2400 Louisiana Blvd NE
 Building 3 - Suite 110
 Albuquerque NM 87110 / 505-883-7916

sheet -
3
 of -

START DATE: 10/30/00



LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT
SAS	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
□	EXISTING WATER METER
□	EXISTING CAP
+	EXISTING VALVE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN MANHOLE
□	EXISTING INLET
---	PROPOSED EASEMENT
SAS	PROPOSED SANITARY SEWER LINE
●	PROPOSED SANITARY SEWER MANHOLE
○	PROPOSED CLEANOUT
W	PROPOSED WATER LINE
FL	PROPOSED FIRE LINE
●	PROPOSED HYDRANT
□	PROPOSED CAP
■	PROPOSED WATER METER

UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER CDA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. PROVIDE BOLLARDS TO PROTECT METER, AS PER PNM & UPC REQUIREMENTS.
12. UTILITY EASEMENTS SHOWN ON CONSTRUCTION DOCUMENTS ARE A GRAPHICAL REPRESENTATION ONLY, NOT NECESSARILY RECORDED EASEMENTS. SEE PLAT FOR EXACT EASEMENT GEOMETRY.

UTILITY KEYED NOTES

- (A) NEW PRIVATE SANITARY SEWER SERVICE
- (B) NEW PRIVATE WATERLINE SERVICE

EXISTING OVERHEAD POWER LINE TO BE RELOCATED TO NEW PUE WITHIN PROJECT LIMITS

NOTE: SANITARY SEWER & WATERLINE SHOWN WITHIN THE PROPERTY WILL BE PRIVATE

NEW PUBLIC 10" SAS TO TIE TO EXISTING SAS AT STEPHEN WOODY ST.

CONNECT NEW 10" PUBLIC WATERLINE TO EXISTING 14" WATERLINE IN EUBANK

SU-1 for O-1 uses TRACT H
11 279 Acres

Bohannon & Huston

Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109

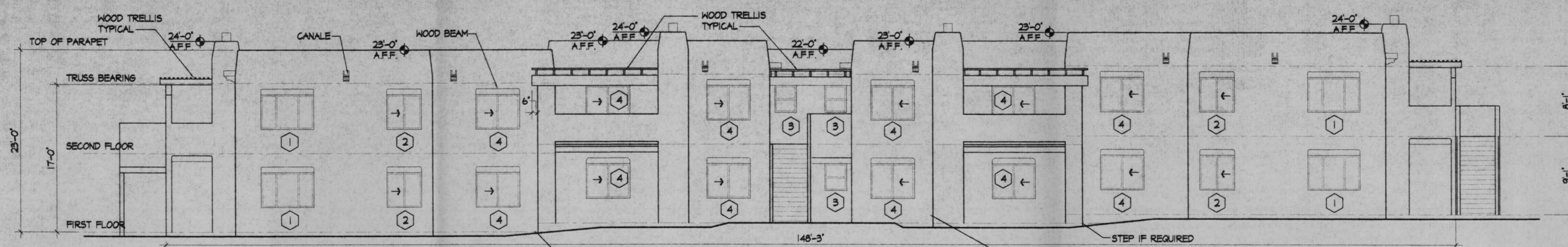
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

revisions	job title MANZANO-MESA WEST EUBANK NE ALBUQUERQUE, NEW MEXICO 87123	
	PROJECT MANAGER JORGE DE LA TORRE, AIA	job no 20048
		date 11/21/00
	sheet title CONCEPTUAL UTILITY PLAN	by

de la torre architects, p.a. lda
2400 louisiana blvd ne
building 3 / suite 110
albuquerque nm 87110 / 505-883-7918

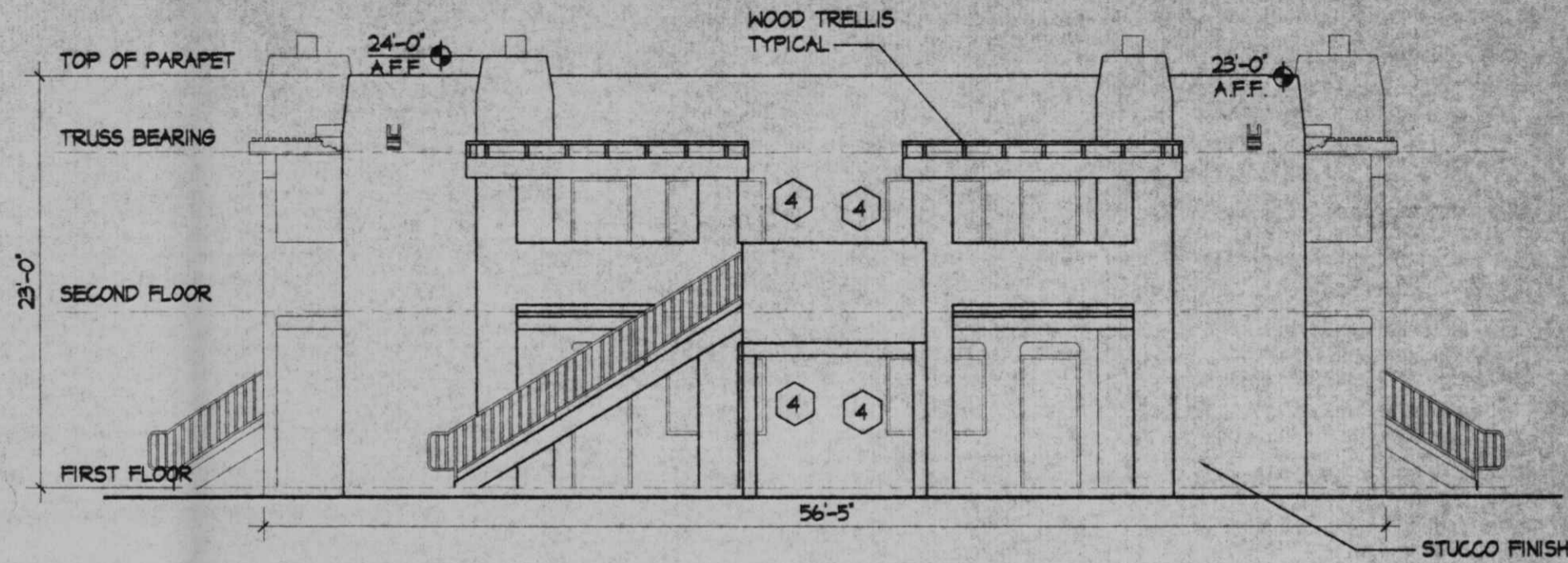
sheet
4
of

START DATE 10/30/00



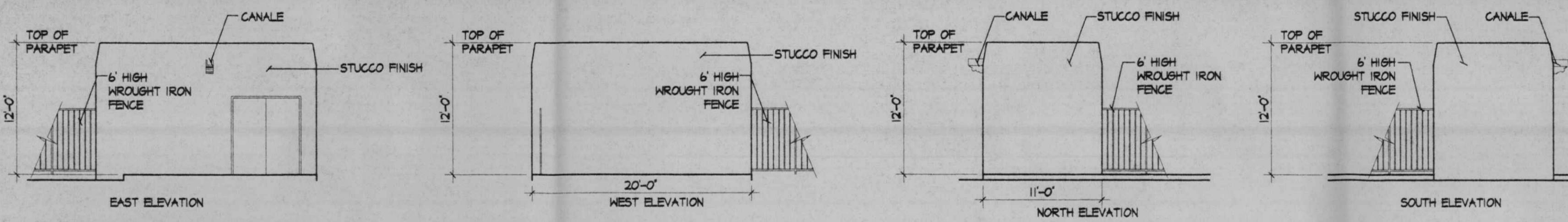
16-PLEX BUILDING FRONT ELEVATION (REAR ELEVATION SIM.)

SCALE 1/8" = 1'-0"



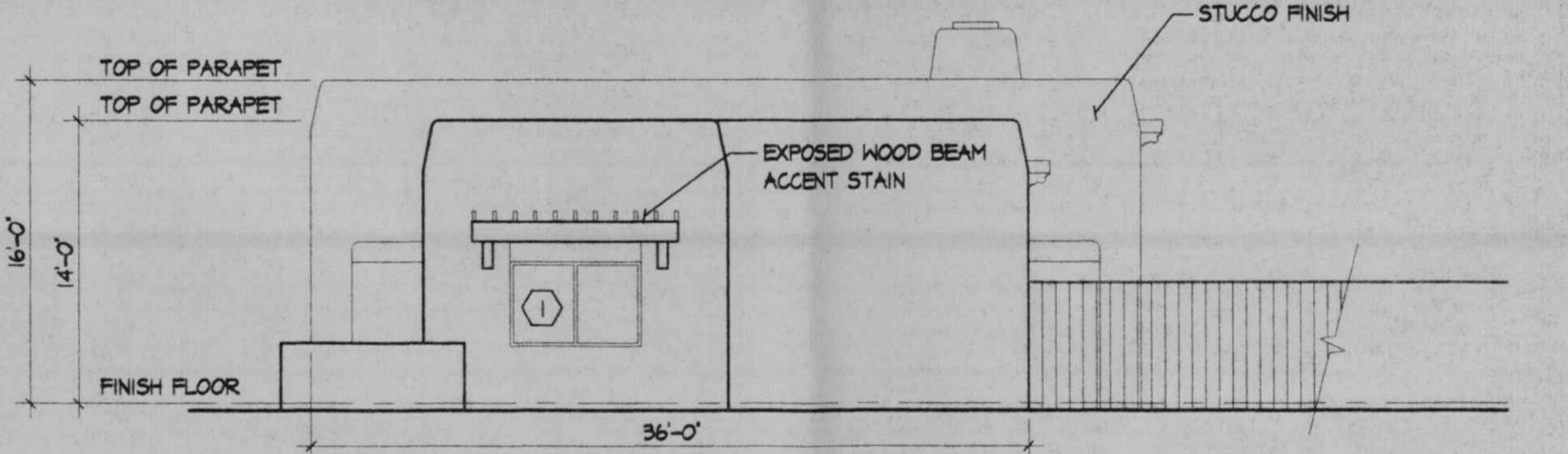
16-PLEX BUILDING SIDE ELEVATION

SCALE 1/8" = 1'-0"



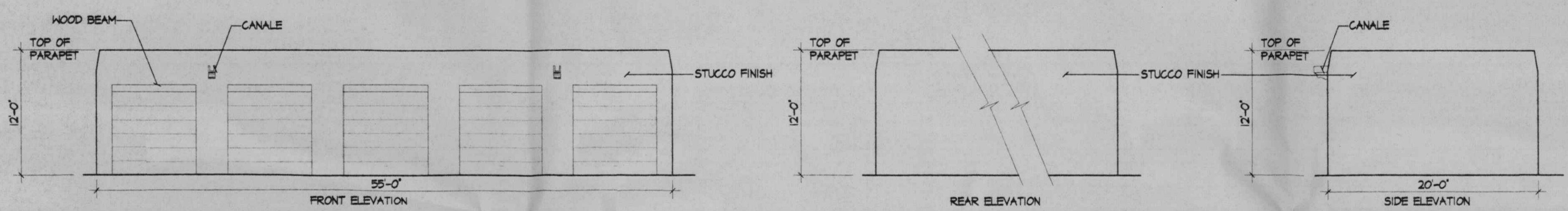
POOL EQUIPMENT ROOM

SCALE 1/8" = 1'-0"



EAST ELEVATION

SCALE 1/8" = 1'-0"



GARAGE (5 CAR)

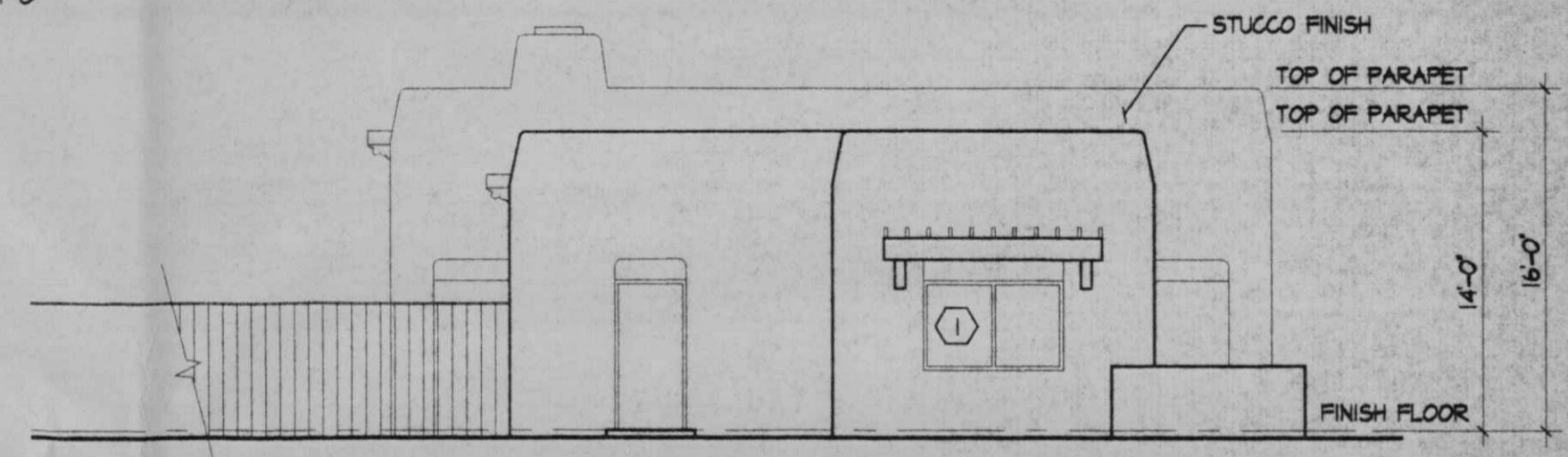
SCALE 1/8" = 1'-0"

GARAGE ELEVATIONS (5 & 12 CAR)

SCALE 1/8" = 1'-0"

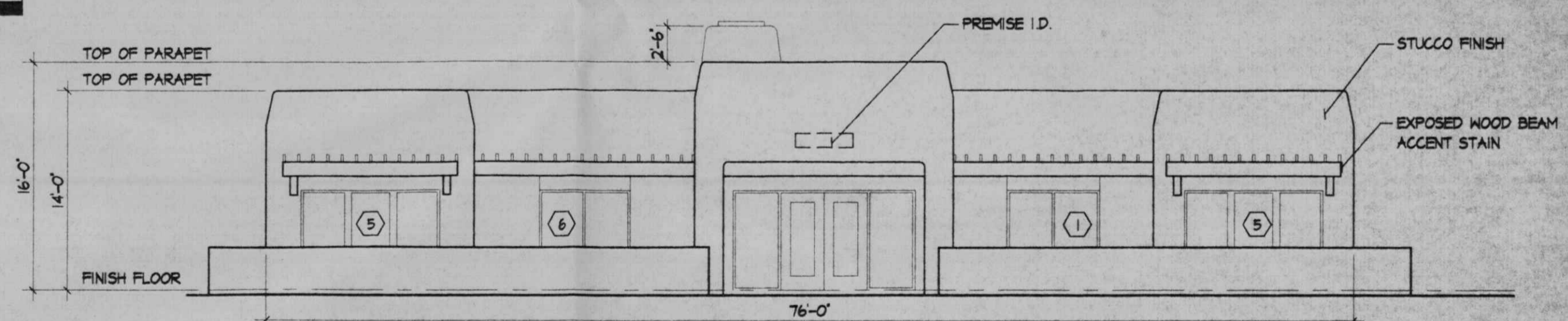
WINDOW SCHEDULE

- 1. 6040
- 2. 4040
- 3. 2640
- 4. 5040
- 5. 9040
- 6. 8040



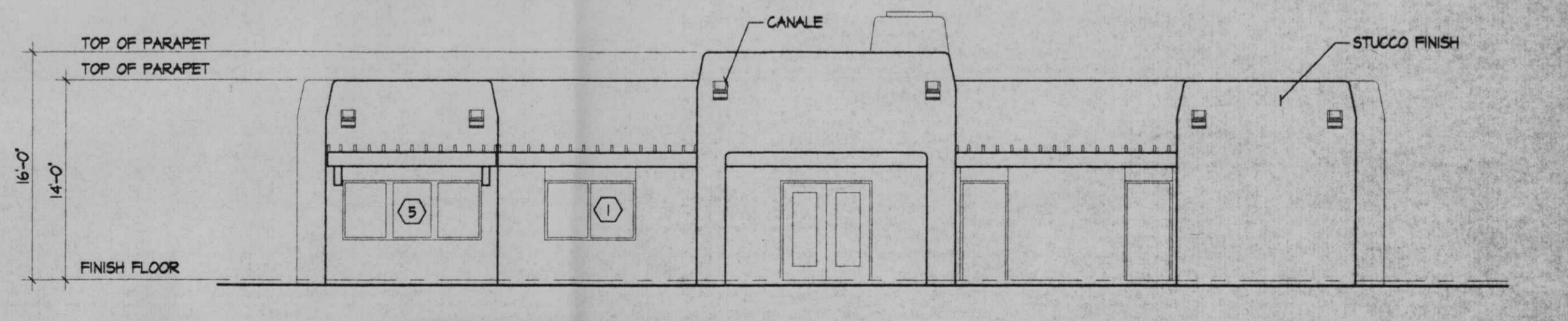
WEST ELEVATION

SCALE 1/8" = 1'-0"



SOUTH ELEVATION

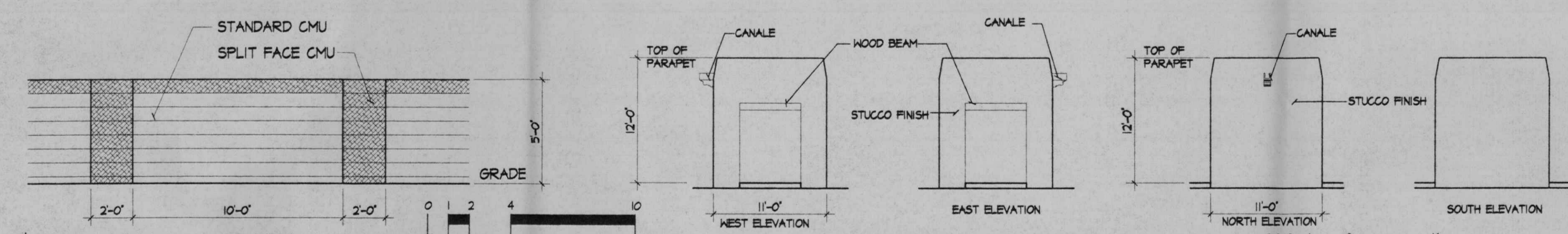
SCALE 1/8" = 1'-0"



NORTH ELEVATION

SCALE 1/8" = 1'-0"

OFFICE/REC. ELEVATIONS

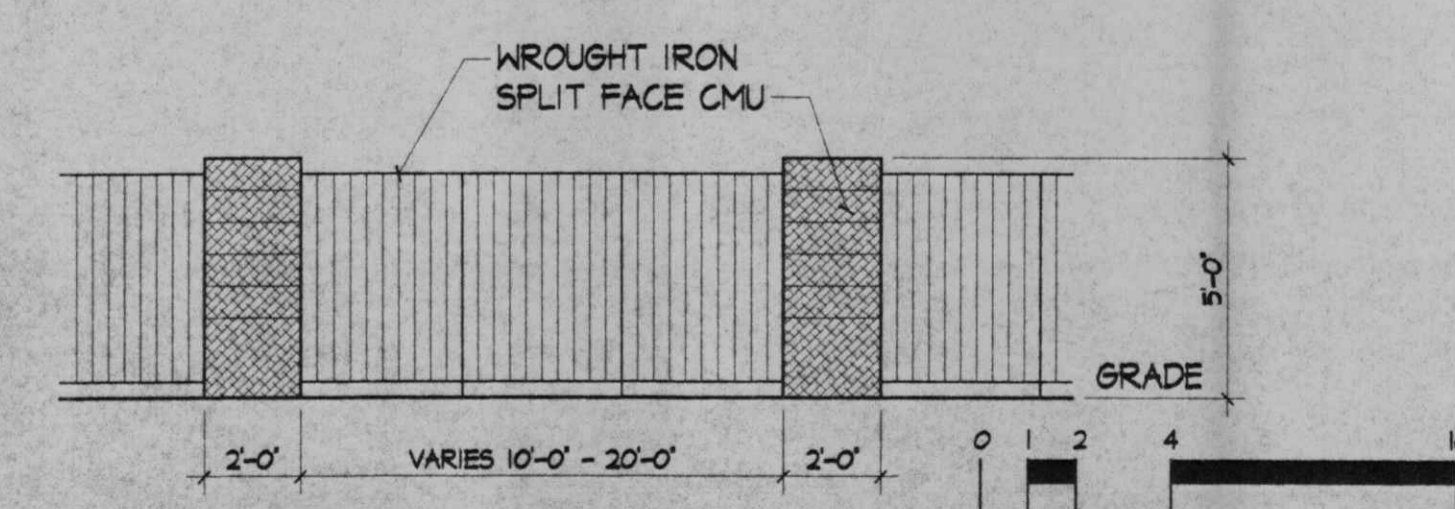


MAIL ENCLOSURE ELEVATION

SCALE 1/8" = 1'-0"

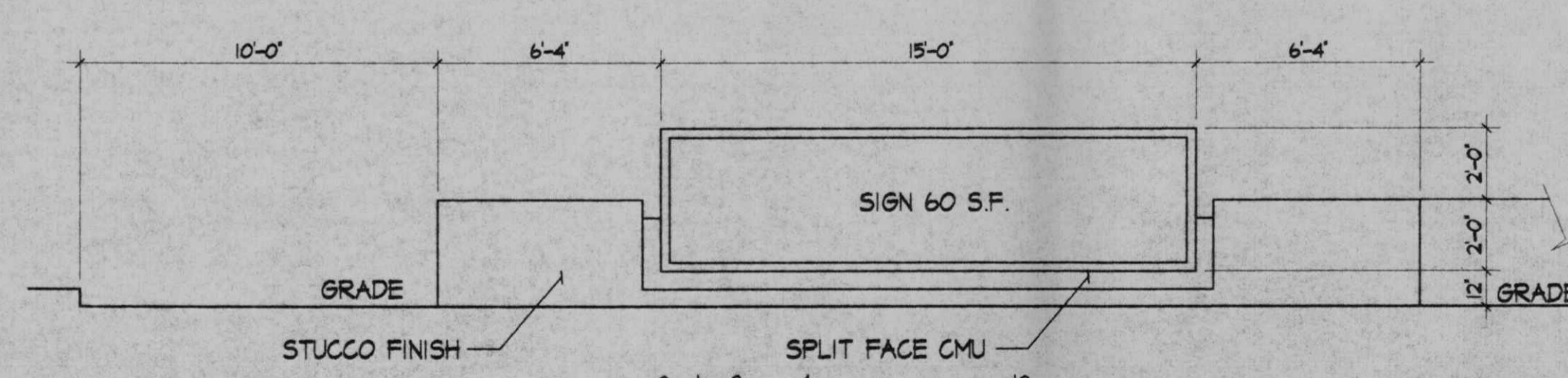
5' CMU WALL - TYPE A

SCALE 1/4" = 1'-0"



5' CMU AND WROUGHT IRON WALL - TYPE B

SCALE 1/4" = 1'-0"



MONUMENT SIGN

SCALE 1/4" = 1'-0"

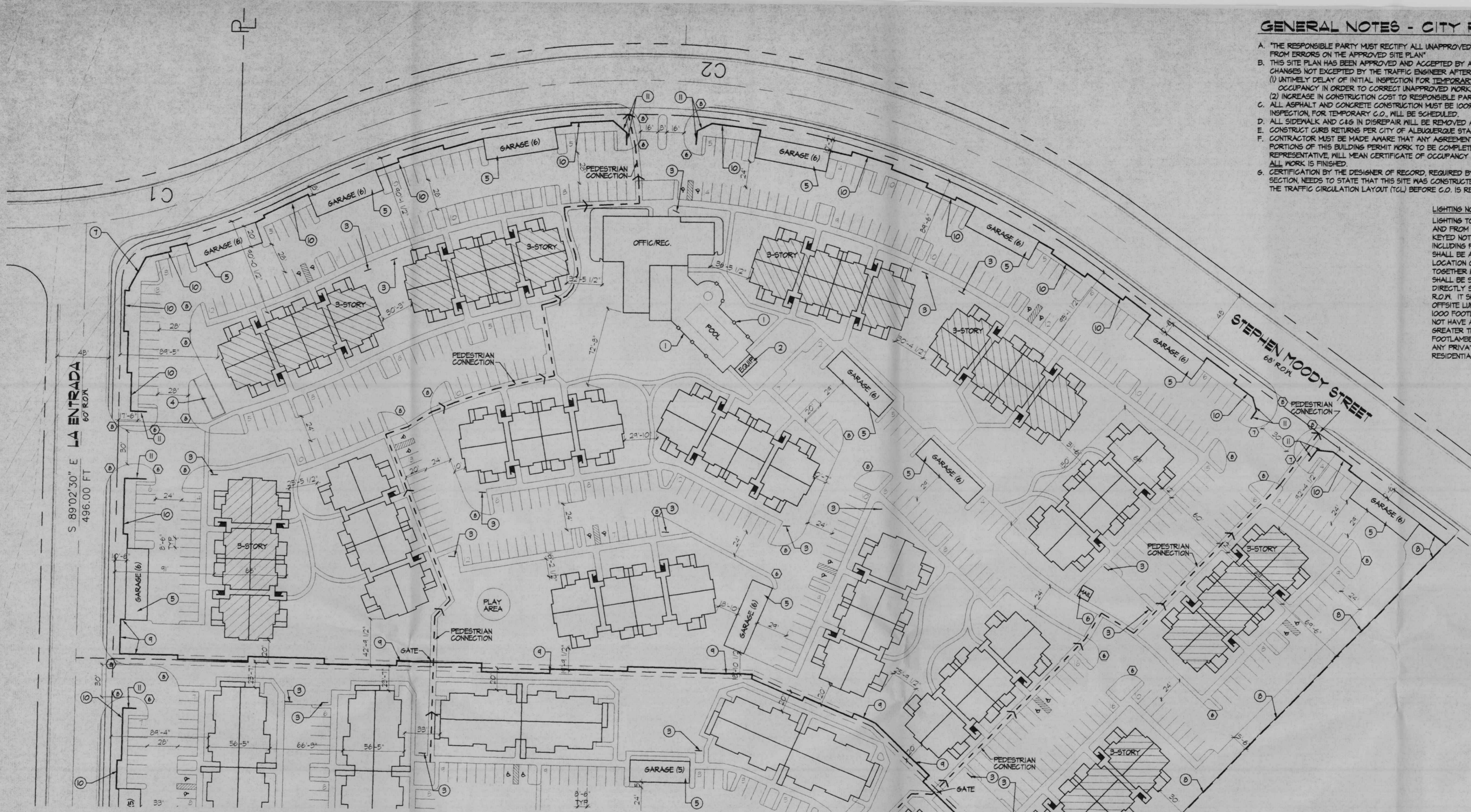
GENERAL NOTES:

STUCCO FINISH
THERE WILL BE 3 DIFFERENT COLORS TO BE USED THROUGHOUT THE PROJECT. THESE COLORS WILL BE LIGHT BEIGE, MEDIUM BEIGE, AND DARK BEIGE. THE ENTIRE BUILDING WILL BE ONE COLOR.

EXPOSED WOOD
ALL EXPOSED WOOD WILL BE STAINED W/ COMPLEMENTARY COLORS.

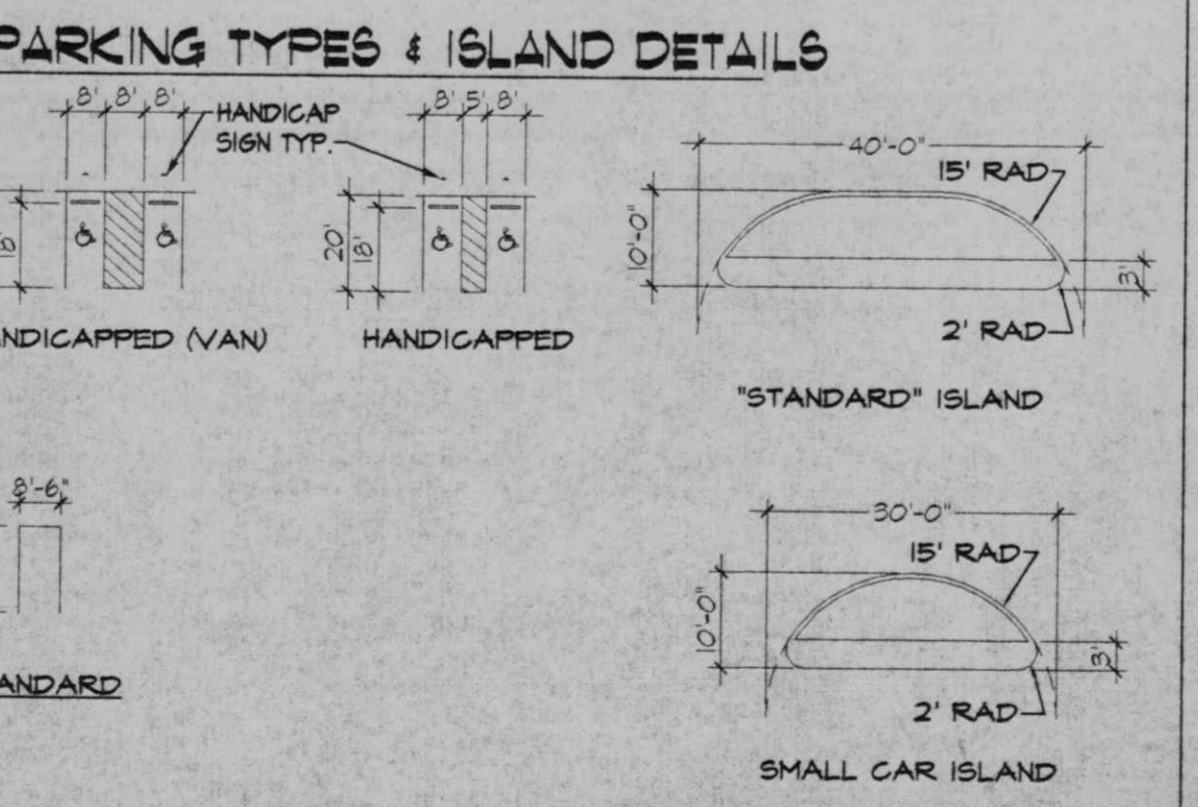
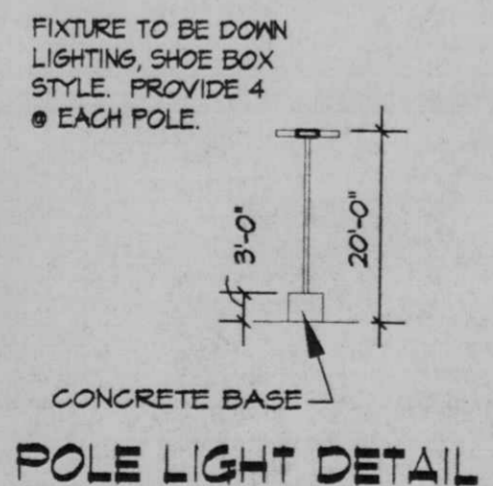
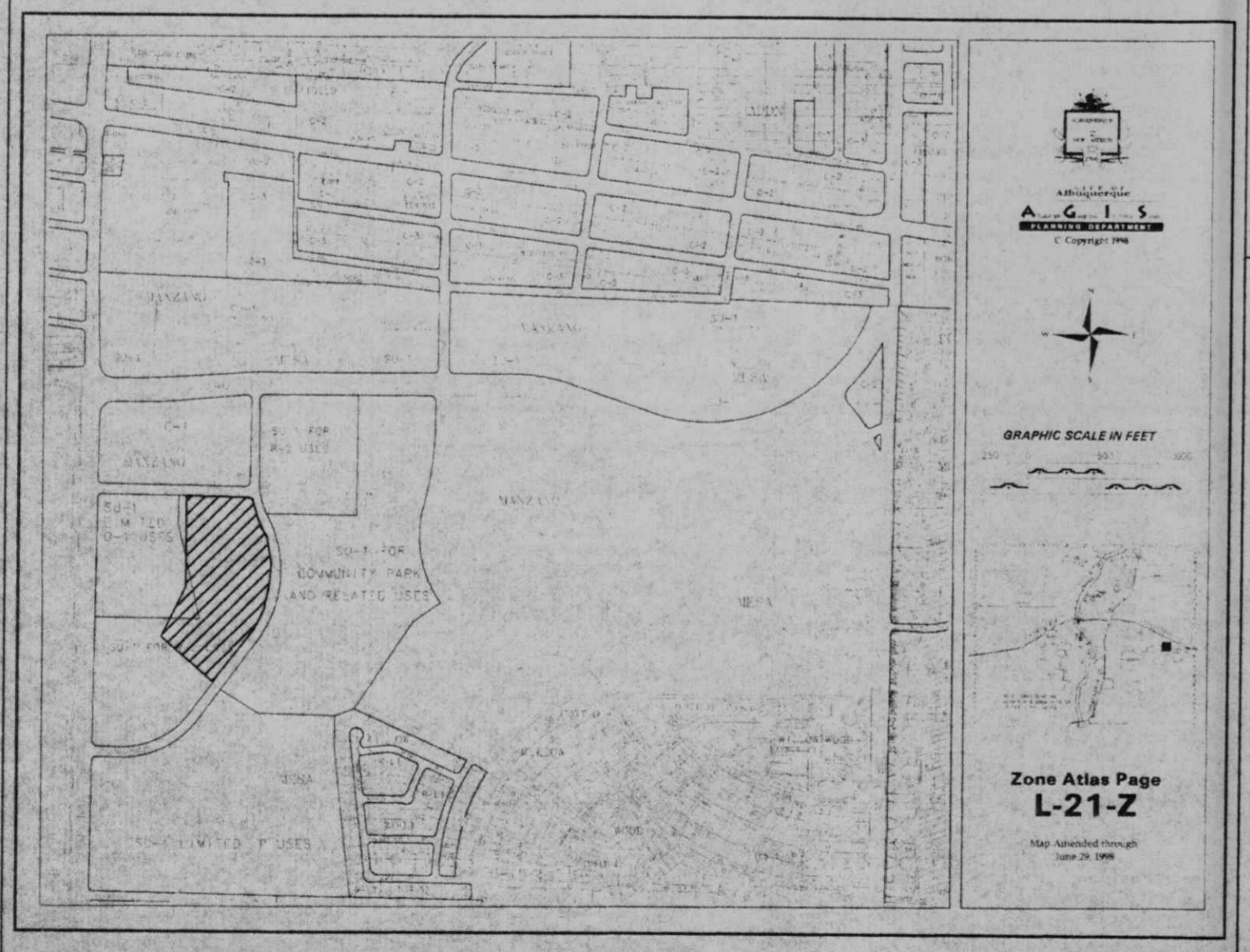
AREA LIGHTING, INCLUDING PARKING, AND WALKS, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.W. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 100 FOOTLAMBERTS AND IT SHALL NOT HAVE ANY OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

revisions	job title	MANZANO MESA WEST	
	job no	EUBANK NE ALBUQUERQUE, NEW MEXICO 87123	
PROJECT MANAGER	date	11/18/00	
	job no	20046	
sheet title	by	NAP	
	EXTERIOR ELEVATIONS		
de la torre architects, p.a. aia			sheet
2400 louisiana blvd ne			5
building 3 - suite 110			of
albuquerque n.m. 87110 / 505.883.7918			
START DATE 11/15/00			



SITE PLAN
SCALE: 1"=50'

VICINITY MAP

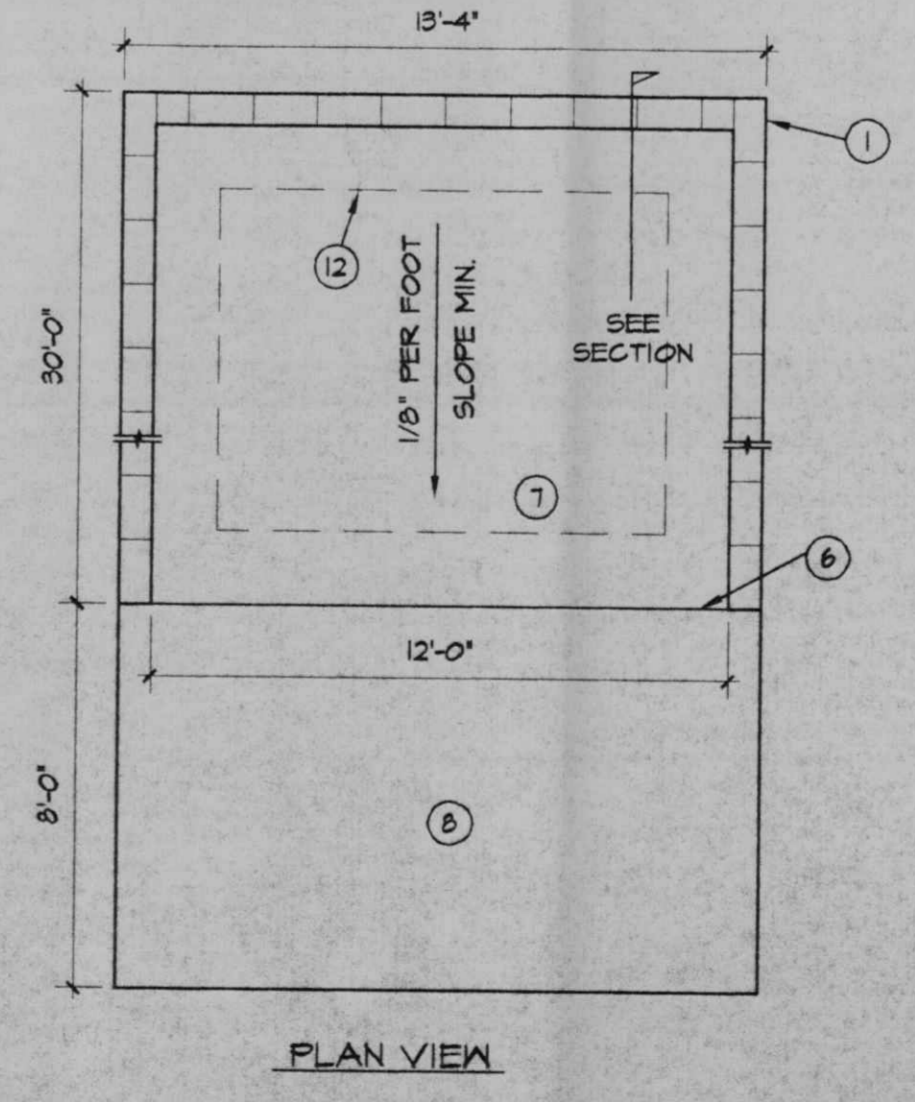
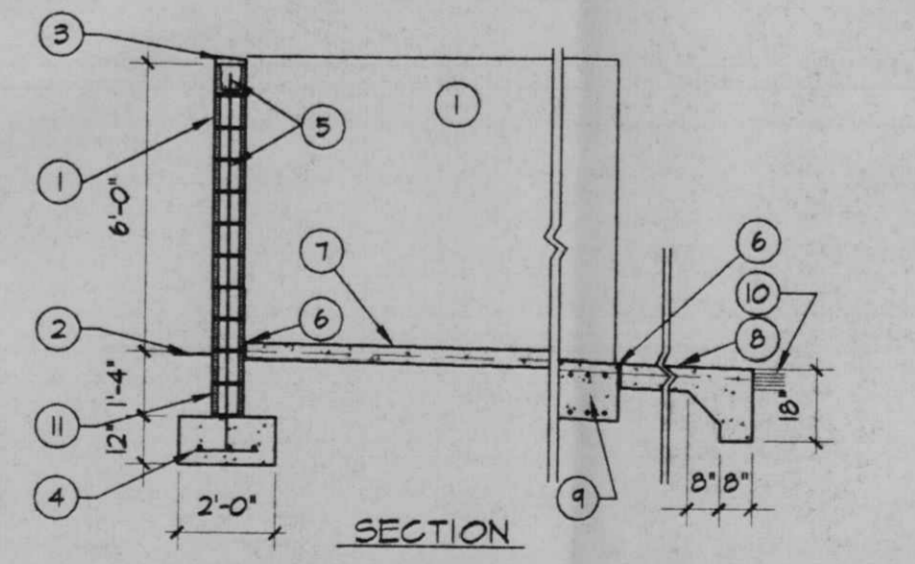


LEGEND:

- METAL FENCE
- CHAIN LINK FENCE
- SANITARY SEWER MANHOLE
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC PEDESTAL
- OVERHEAD ELECTRIC LINE
- STREET LIGHT
- POWER POLE
- ANCHOR
- ⊕ EXISTING LOT LIGHT
- ⊕ TRAFFIC LIGHT
- ⊕ TRAFFIC SIGNAL OR PULLBOX
- ⊕ NEW POLE LIGHT
- ⊕ GAS VALVE
- WATERLINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- SIGN

TRASH COMPACTOR KEYED NOTES

1. 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING. PAPER COLOR BY ARCHITECT.
 2. FINISH GRADE.
 3. SLOPE STUCCO CAP.
 4. 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
 5. 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS. #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURANALL @ 16" O.C. HORIZONTAL.
 6. 1/2" EXPANSION JOINT MATERIAL.
 7. 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6x6-10x10 W/M.
 8. 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6x6-10x10 W/M IN TURNDOWN EDGE.
 9. 24"x14" DEEP THICKENED SLAB IN 3 #4 TOP & BOTTOM CONT.
 10. ASPHALT PAVING.
 11. GROUT ALL CELLS SOLID BELOW GRADE TYPICAL.
 12. ANGLE IRON GUIDES STOPS BY COMPACTOR INSTALLER. REIN. SLAB IN CONC. FILL AS PER MANUFACTURER REQ'S.
- TRASH COMPACTOR**
SCALE: 1/4"=1'-0"



GENERAL NOTES - CITY REQUIRED

- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) IMMEDIATE DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- D. ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- E. CONSTRUCT CURB RETURNS PER CITY OF ALBUQUERQUE STANDARD DETAIL DWG. #2426.
- F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

KEYED NOTES

1. 6' HIGH UPRIGHT IRON FENCE AROUND POOL.
2. 10'X20' POOL EQUIPMENT ROOM TYPICAL.
3. BICYCLE RACK - SEE DETAIL (1 SPACE PER 2 DWELLING UNITS PROVIDED).
4. TRASH COMPACTOR ENCLOSURE.
5. GARAGE ENCLOSURE 20' DEEP X 11' WIDE PER NUMBER OF SPACES INDICATED.
6. 11'X11' MAILBOX ENCLOSURE.
7. MONUMENT SIGN MOUNTED ON SITE WALL.
8. SITE WALL TYPE 'A' SEE ELEVATIONS.
9. SITE WALL TYPE 'B' SEE ELEVATIONS.
10. 3" TALL CMU SITE WALL.
11. 4" TALL CMU SITE WALL.

LIGHTING NOTE:
LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.M. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

PROJECT INFORMATION

LOCATION: EUBANK NE BETWEEN STEPHEN MOODY ST. AND SOUTHERN BLVD.
DEVELOPER: 6SL PROPERTIES INC.
LEGAL DESCRIPTION: TRACT 6-3 OF MANZANO MESA WITHIN SECTION 28, TOWNSHIP 10 NORTH RANGE 4 EAST N4PM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM
CURRENT ZONING: S-U1 FOR R-2
PROPOSED: SAME
TOTAL ACRES: 23.60 ACRES
ZONING ATLAS PAGE: L-21-Z
UPC #: 102105606419330301

MANZANO MESA WEST

OFFICE/REG. PARKING REQ. (2400 S.F. OFFICE/REG. BUILDING)	12
APARTMENT PARKING REQ. (UNITS 224 = 50% 1 BDR. & 50% 2 BDR.)	342
PARKING REQUIRED (TOTAL) (12 H.G. REQUIRED)	404
OPEN PARKING	391
GARAGE PARKING	54
TOTAL PROVIDED (INC. 14 H.G.)	435
NOTE: TYPICAL PARKING SPACE = 8.5' X 18'	
NET SITE AREA	482,544.15 (11.02)
BLDG'S	14 @ 16 DU = 224
BUILDING AREA: (INCLUDES OVERHANGS AND BALCONIES)	
GROUND FLOOR 7,004 PER BUILDING (14) = 98,056 S.F.	
SECOND FLOOR 7,004 PER BUILDING (14) = 98,056 S.F.	
TOTAL = 196,112 S.F.	

MANZANO MESA EAST

OFFICE/REG. PARKING REQ. (5194 S.F. OFFICE/REG. BUILDING)	26
APARTMENT PARKING REQ. (UNITS 230 = 50% 1 BDR. & 50% 2 BDR.)	440
PARKING REQUIRED (TOTAL) (16 H.G. REQUIRED)	502
OPEN PARKING	450
GARAGE PARKING	66
TOTAL PROVIDED (INC. 16 H.G.)	516
NOTE: TYPICAL PARKING SPACE = 8.5' X 18'	
NET AREA	545,419.51 (12.52)
BLDG'S	7 @ 24 DU = 168 7 @ 16 DU = 112 TOTAL DUS = 280
BUILDING AREA: (INCLUDES OVERHANGS AND BALCONIES)	
GROUND FLOOR 8,365 PER BUILDING (14) = 117,110 S.F.	
SECOND FLOOR 8,365 PER BUILDING (14) = 117,110 S.F.	
THIRD FLOOR 8,365 PER BUILDING (7) = 58,555 S.F.	
TOTAL = 242,775 S.F.	

RADIUS LEGEND

- ① 1' RADIUS
- ② 2' RADIUS
- ③ 3' RADIUS
- ④ 5' RADIUS
- ⑤ 10' RADIUS
- ⑥ 15' RADIUS
- ⑦ 20' RADIUS
- ⑧ 25' RADIUS
- ⑨ 30' RADIUS
- ⑩ 50' RADIUS
- ⑪ 100' RADIUS
- ⑫ 150' RADIUS

CASE NUMBER: Z -

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

SITE DEVELOPMENT PLAN

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION/AMAFCA	DATE
APPROVAL AND CONDITIONAL AGREEMENT: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.	DATE
CITY PLANNER, ALBUQUERQUE	DATE

revisions

job title
MANZANO MESA EAST
EUBANK NE,
ALBUQUERQUE, NEW MEXICO 87123

PROJECT MANAGER	job no	date
JORGE DE LA TORRE, AIA	20046	11/18/00

sheet title
SITE PLAN FOR BUILDING PERMIT

by	NAP
----	-----

de la torre architects, p.a. llc
2400 Louisiana Blvd ne
building 3 / suite 110
albuquerque nm 87110 / 505.863.7918

sheet -
of -

START DATE 10/30/00

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA		
TOTAL LOT AREA	544,641	square feet
TOTAL BUILDINGS AREA	95,942	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	448,699	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	67,305	square feet
TOTAL LANDSCAPE PROVIDED		
TOTAL BED PROVIDED	21,657	square feet
TOTAL SOD PROVIDED	187,903	square feet
TOTAL SOD PROVIDED	13,333 (19%)	square feet
TOTAL NATIVE SEED PROVIDED	15,338	square feet

PLANT LEGEND

- SHADE TREE 46
RAYWOOD ASH (H)
Fraxinus oxycarpa raywood
ARIZONA ASH (H)
Fraxinus velutina
2" Cal
- SHADE TREE 39
THORNLESS HONEYLOCUST
Gleditsia triacanthos 'inermis'
2" Cal
- FLOWERING PEAR (H) 66
Pyrus calleryana
1 1/2" Cal
- NEW MEXICO OLIVE / WASHINGTON HAWTHORN (M) 86
Forestiera neomexicana
Crataegus phaenopyrum
15 Gal.
- DESERT WILLOW (L) 40
Chilopsis linearis
15 Gal.
- AUSTRIAN PINE (H) 39
Pinus nigra
6-8"
- SILVERBERRY (M) 101
Elaeagnus pungens
5 Gal.
- INDIAN HAWTHORN (M) 218
Raphiolepis indica
5 Gal.
- RUSSIAN SAGE (M) 185
Perovskia atriplicifolia
5 Gal.
- APACHE PLUME (L) 196
Eulalia paradoxa
5 Gal.
- AUTUMN SAGE (M) 236
Salvia greggii
2 Gal.
- PROSTRATE ROSEMARY (M) 166
Rosmarinus officinalis
5 gal
- CHAMISA (L) 75
Chrysothamnus nauseosus
Gal.
- MILDFLOWER 67
1 Gal.
- TAM JUNIPER (M) 195
Juniperus sabinia
5 Gal.
- BOSTON IVY 42
Parthenocissus tricuspidata
- OVERSIZED GRAVEL & BOULDERS
- 3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC
- SOD
- CRIMP STRAW NATIVE SEED
- COMMERCIAL GRADE STEEL EDGING
- POP-UP SPRINKLER HEADS



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

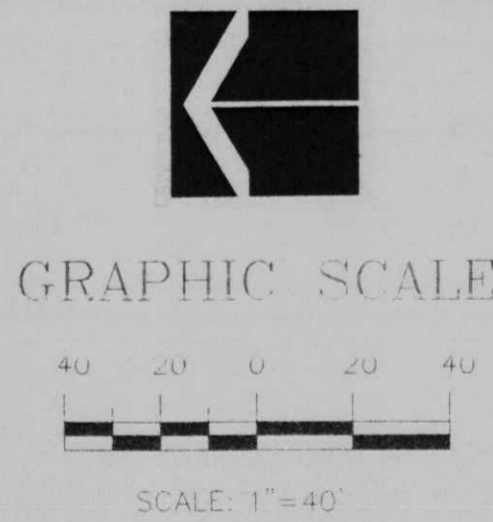
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Total number of trees on site as required by The City Of Albuquerque are as follows:

- Number of 1st story apartment units: 112
- Number of 2nd story apartment units: 56
- Number of trees to reach 25' at maturity required: 168
- Number of trees to reach 25' at maturity provided: 316



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87114
Ph. (505) 898-9690
Fax (505) 898-7737
it@hilltoplandscaping.com

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PROJECT NO.	JOB NAME	DATE
	MANYANO-MESA APTS.	
	CUBANK N.E.	
	ALBUQUERQUE, NEW MEXICO 87123	
PROJECT MANAGER	JOB NO.	DATE
JORGE DE LA TORRE, AIA	20048	11/1/00
SHEET TITLE	BY	

de la torre architects, p.a. aia
2400 Louisiana Blvd N.E.
Building 3, Suite 110
Albuquerque, N.M. 87110 • 505-883-7905



CONCEPTUAL DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
 The purpose of this study is to present a conceptual drainage plan for the Manzano Mesa Apartments. The site contains approximately 23.6 acres. The project must go through the EPC for zone change approval and site plan approval. Due to the preliminary nature of this submitted, quantitative drainage calculations are not provided, only general drainage concepts are discussed.

II. SITE LOCATION
 The site is located on the east side of Eubank south of Southern. In its current condition, the majority of the site is undeveloped, portions of the site have been graded at some point in the past. The site currently drains to the west at a slope of just under 2%. The site is located within zone atlas map #L-21, and hydrologic zone 3.

III. EXISTING HYDROLOGIC CONDITIONS
 Both the existing basins and proposed basins are shown on the Basin Map included on this sheet. A pending addendum to the existing Manzano Mesa master Drainage Study (1996, Smith Engineering) identifies the site as basins 601, 603, and 701. The tract boundaries from the original study do not match the current platting for the area, hence the city requested that Smith Engineering provide an addendum to modify the study to match the current tract lines. The addendum indicates that Sub-basin 601 should drain to the east to the Manzano Mesa Park Pond. Basins 603 and 701 drain to the south and west.

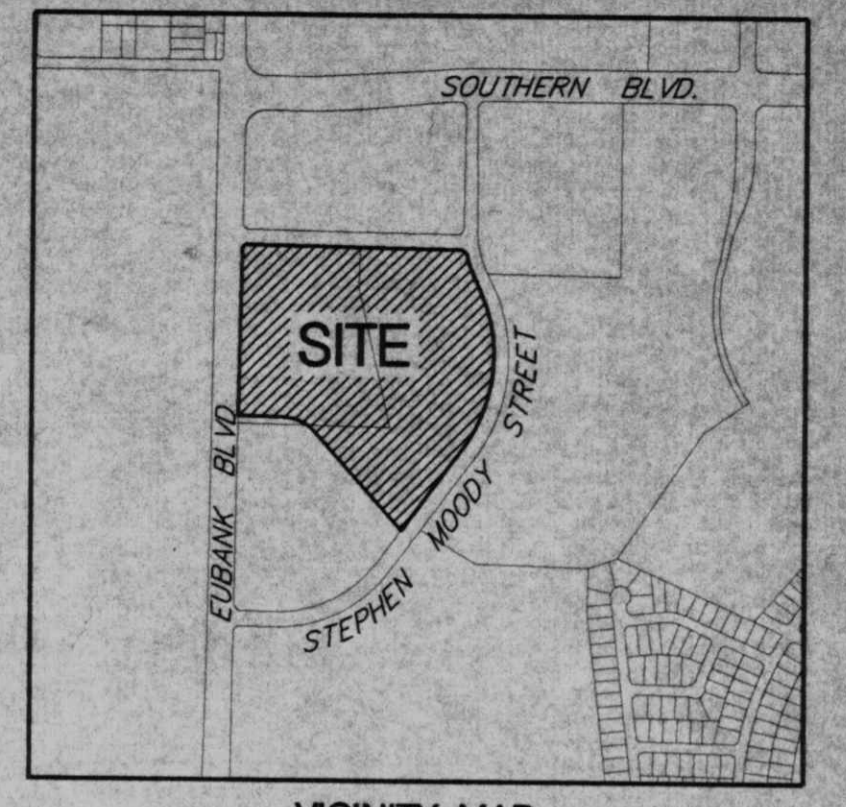
IV. PROPOSED HYDROLOGIC CONDITIONS
 As the basin Map on this sheet indicates, existing Sub-Basins 601, 603, and 701 are divided into Basins A, B, C, and D under proposed conditions. Specifically, Sub-basin 601 is divided into Basins B and C. Due to the constraints imposed by the site topography, only a small portion of existing Sub-basin 601 (proposed Basin C) can drain to the Manzano Mesa Park Pond. The remaining portion of the basin must drain to the west.

Proposed Basin B also contains most of Sub-basin 603. Basin B is proposed to drain to the south in a new Storm Drain along Eubank. The new storm drain would tie into the Upper Outlet Storm Drain at the intersection of Eubank and Stephen Moody. Because the total portion of the site which drains to the west and south is significantly larger than was anticipated by the Master Drainage Plan, ponding will be required. Sufficient ponding volume to mitigate the peak flow from Basin B to the peak flow for Sub-basin 603 anticipated by the addendum to the Master Drainage Plan will be required.

Proposed Basin A is a portion of existing Sub-basin 603. Existing topography constraints require Basin A to drain to the north. The interim outfall for Basin A would be the existing culvert under Eubank just north of the site. The ultimate outfall for Basin A would be down the Gibson East Corridor.

Proposed Basin D corresponds closely to existing Sub-basin 701, and will drain in the same manner indicated by the Master Drainage Plan.

V. CONCLUSION
 This conceptual drainage management plan proposes concepts which are capable of safely passing the 100 year storm and which meet city requirements.

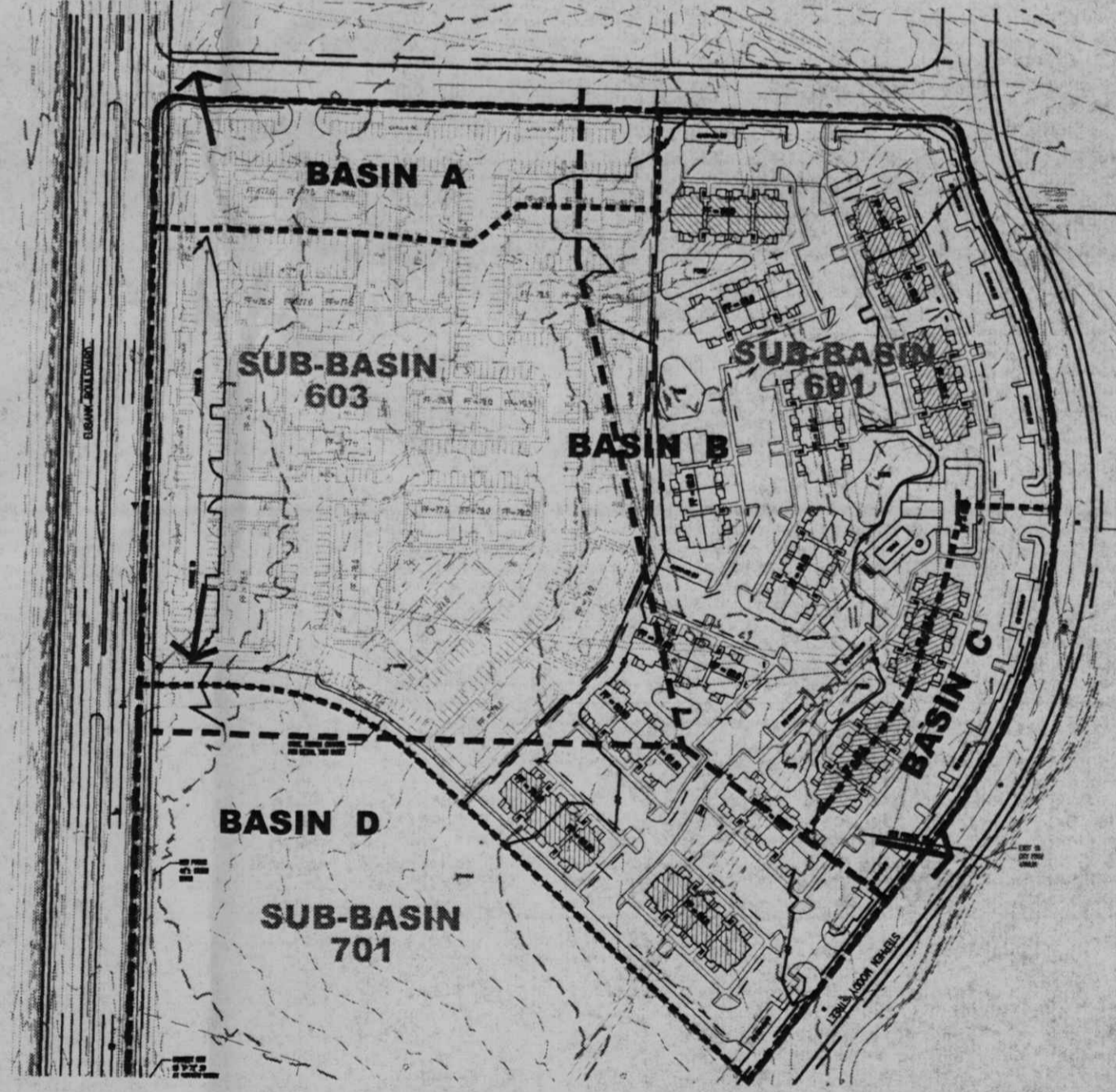


VICINITY MAP
 ZONE ATLAS MAP NO. L-21-Z

LEGAL DESCRIPTION:
 TRACT G-3 OF MANZANO MESA
 WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST
 NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

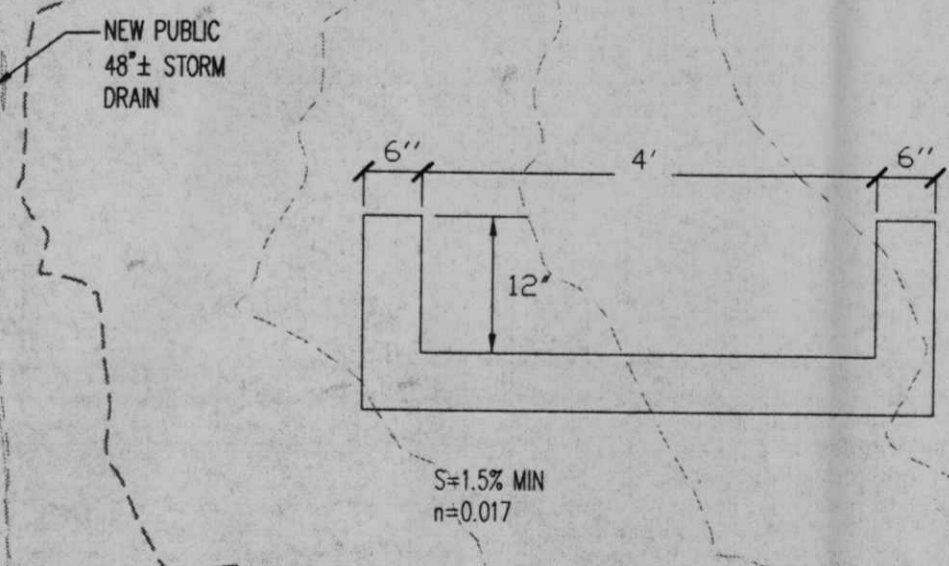
LEGEND

- PROPERTY LINE
- - - EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- ⊙ EXISTING ELECTRICAL POLE
- 65.23 PROPOSED SPOT ELEVATION
- IC-TOP OF CURB, FL-FLOW LINE
- TW-TOP OF WALL, BW-BOTTOM OF WALL
- D-DRAINAGE, TP-TOE OF DRIVE
- S=2.0% PROPOSED DIRECTION OF FLOW
- PROPOSED INDEX CONTOURS
- - - PROPOSED INTER CONTOURS
- SD PROPOSED CURB & GUTTER
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- ⊙ EXISTING STORM DRAIN MANHOLE



BASIN MAP
 SCALE: 1"=200'

- - - EXISTING BASIN BOUNDARY PER MANZANO MESA MASTER DRAINAGE STUDY, 1996, BY SMITH ENGR.
- - - PROPOSED CONDITIONS BASINS



SU-1 for O-1 uses TRACT H
 11.279 Acres
 11.279 Acres NET

CONCEPTUAL GRADING & DRAINAGE NOTES

1. NEW PRIVATE STORM DRAIN LINES SHOWN ON THIS PLAN ARE POSSIBLE CONCEPTS ONLY. FINAL ALIGNMENTS, SIZES, ETC. WILL BE DETERMINED WHEN THE FINAL DESIGN IS DONE. ADDITIONAL ON-SITE STORM DRAIN MAY BE REQUIRED.
2. PONDS SHOWN ARE SCHEMATIC ONLY. EXACT SIZE, LOCATION AND QUANTITY OF PONDS WILL BE DETERMINED WHEN FINAL DESIGN IS DONE.
3. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.

Bohannon & Huston

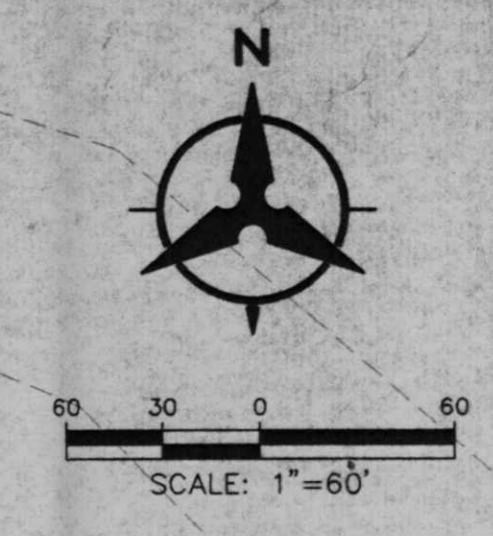
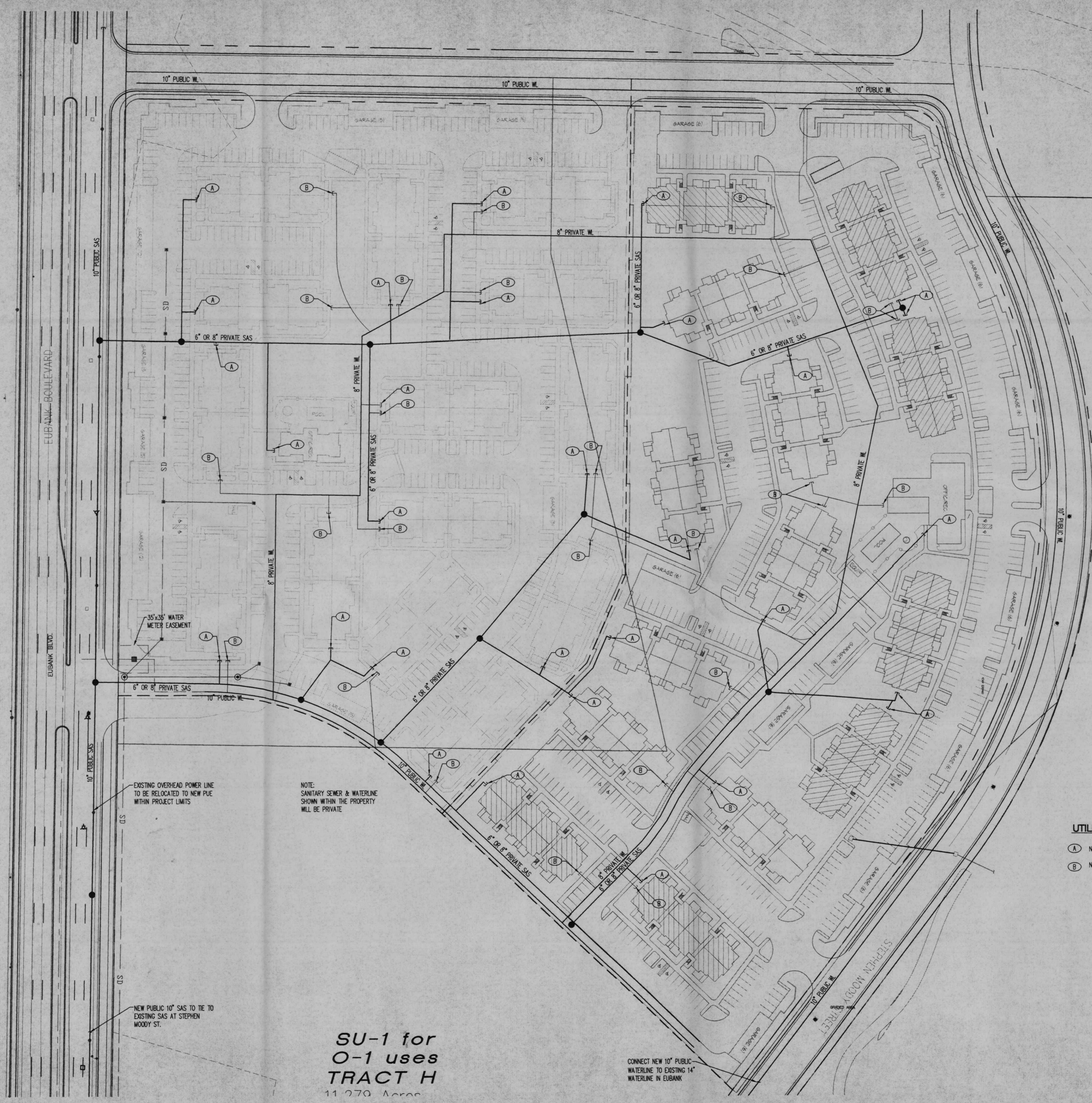
Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

revisions	job title MANZANO-MESA EAST EUBANK N.E. ALBUQUERQUE, NEW MEXICO 87123
PROJECT MANAGER	job no date
JORSE DE LA TORRE AIA	20046 11/27/00
sheet title	by
CONCEPTUAL GRADING PLAN	

de la torre architecte, p.a. lla
 2400 louisiana blvd n.e.
 building 3 - suite 110
 albuquerque n.m. 87110 / 505 - 863 - 7918

sheet-
3
 of-

START DATE: 10/30/00



LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT
---	SAS
---	EXISTING SANITARY SEWER
---	W
---	EXISTING WATER LINE
□	EXISTING WATER METER
□	EXISTING CAP
⌋	EXISTING VALVE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN MANHOLE
□	EXISTING INLET
---	PROPOSED EASEMENT
---	SAS
---	PROPOSED SANITARY SEWER LINE
●	PROPOSED SANITARY SEWER MANHOLE
●	PROPOSED CLEANOUT
---	W
---	PROPOSED WATER LINE
⌋	PROPOSED VALVE
---	FL
---	PROPOSED FIRE LINE
●	PROPOSED HYDRANT
□	PROPOSED CAP
□	PROPOSED WATER METER

- UTILITY NOTES**
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
 2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
 3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
 4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
 5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
 6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
 7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
 8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
 10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
 11. PROVIDE BOLLARDS TO PROTECT METER, AS PER PNM & UPC REQUIREMENTS.
 12. UTILITY EASEMENTS SHOWN ON CONSTRUCTION DOCUMENTS ARE A GRAPHICAL REPRESENTATION ONLY, NOT NECESSARILY RECORDED EASEMENTS. SEE PLAT FOR EXACT EASEMENT GEOMETRY.

UTILITY KEYED NOTES

- (A) NEW PRIVATE SANITARY SEWER SERVICE
- (B) NEW PRIVATE WATERLINE SERVICE

EXISTING OVERHEAD POWER LINE TO BE RELOCATED TO NEW PUE WITHIN PROJECT LIMITS

NOTE: SANITARY SEWER & WATERLINE SHOWN WITHIN THE PROPERTY WILL BE PRIVATE

NEW PUBLIC 10" SAS TO BE TIE TO EXISTING SAS AT STEPHEN MOODY ST.

CONNECT NEW 10" PUBLIC WATERLINE TO EXISTING 14" WATERLINE IN EUBANK

SU-1 for O-1 uses TRACT H
11 270 Acres

Bohannon & Huston

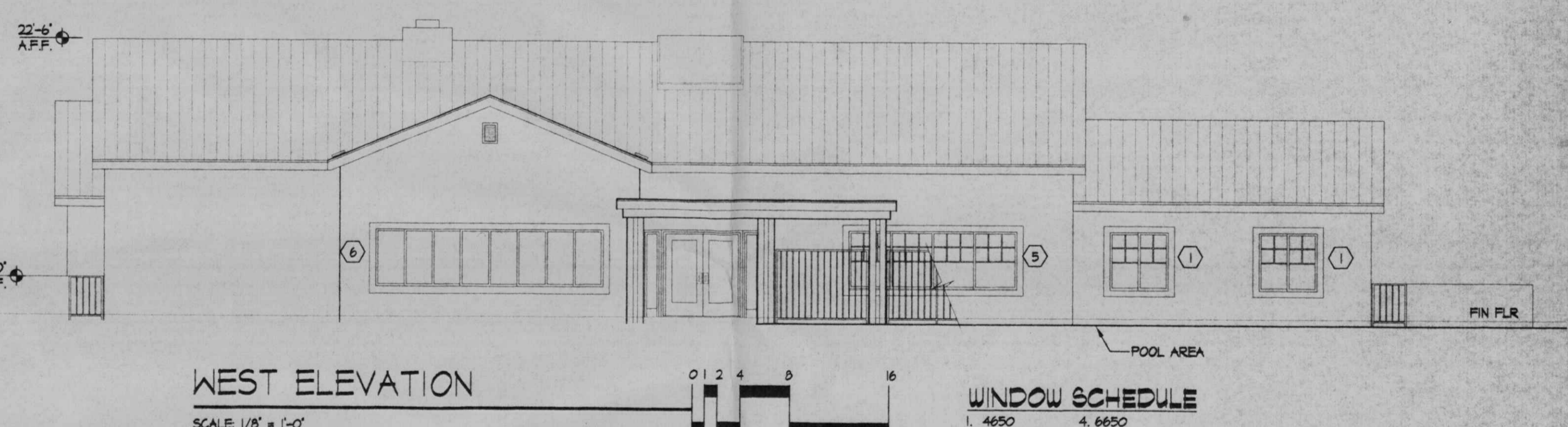
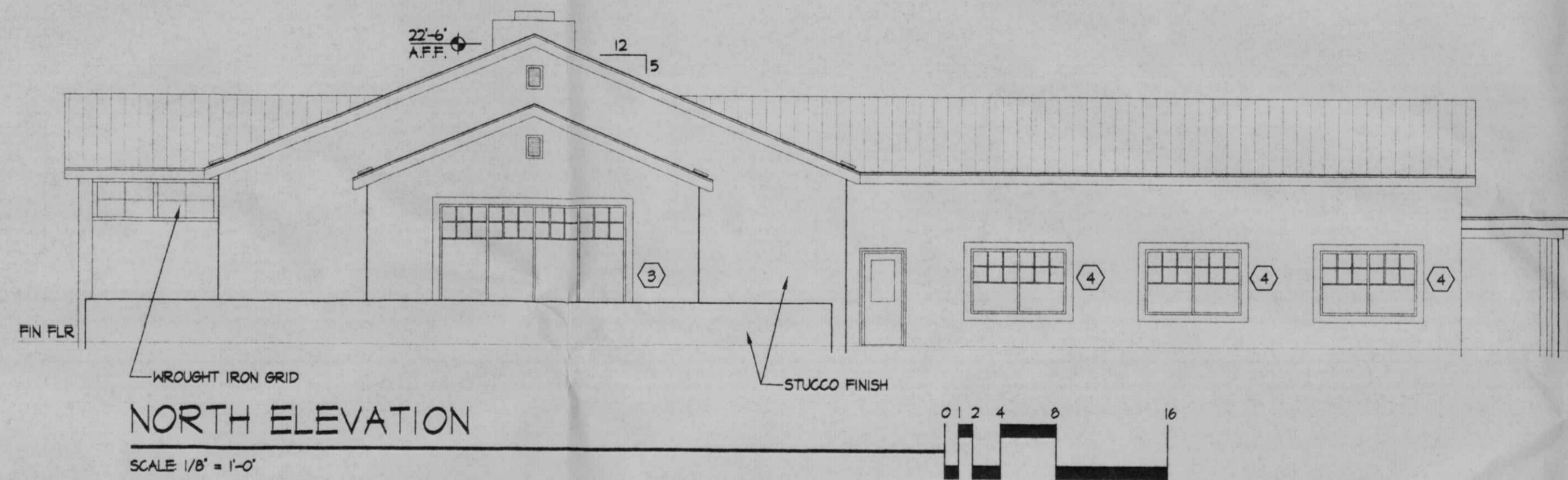
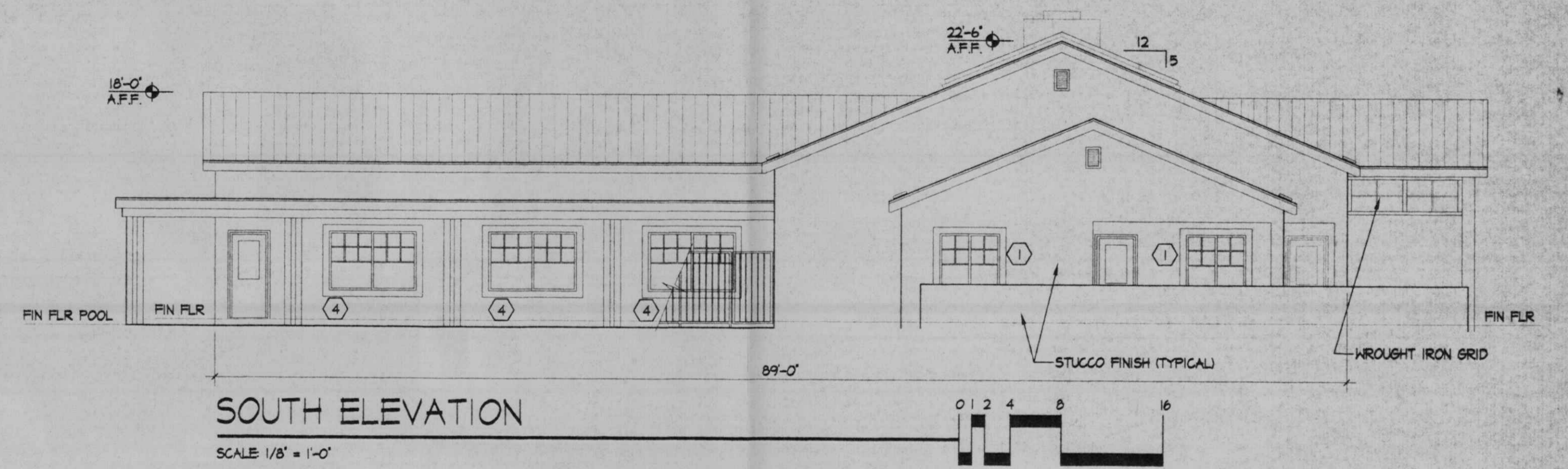
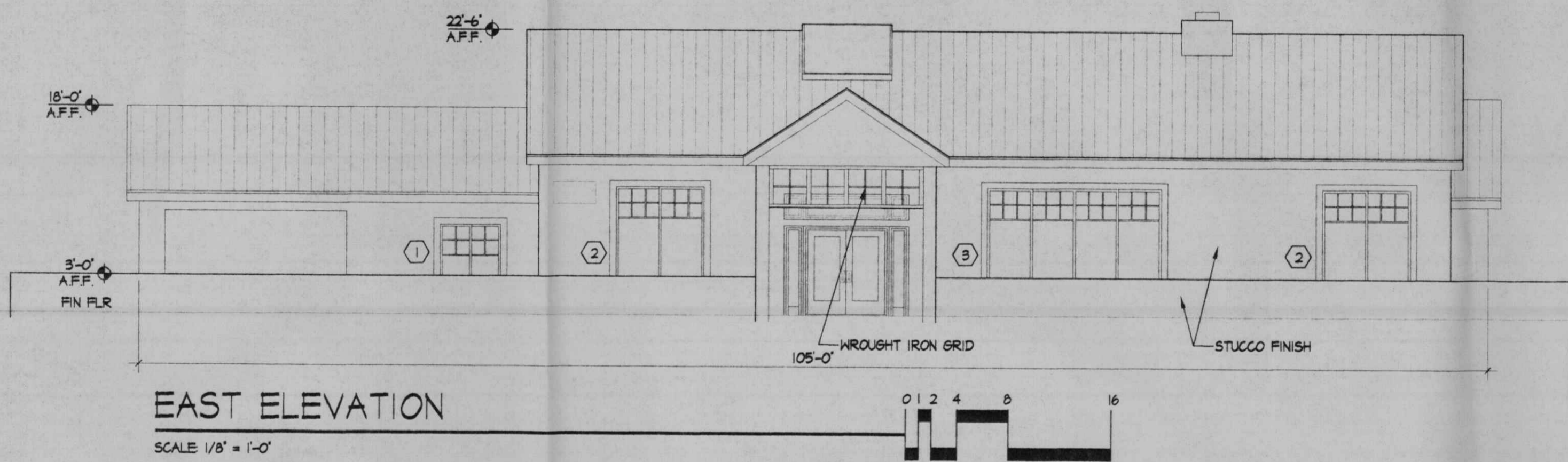
Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

revisions	job title
	MANZANO-MESA EAST
	EUBANK N.E.
	ALBUQUERQUE, NEW MEXICO 87123
	PROJECT MANAGER
	JORGE DE LA TORRE AIA
	job no 20046
	date 11/27/00
	sheet title
	CONCEPTUAL UTILITY PLAN
	by

de la torre architects, p.a. aia
2400 LOUISIANA BLVD N.E.
BUILDING 3 SUITE 110
ALBUQUERQUE NM 87110-505-883-7918

sheet-
4
of-

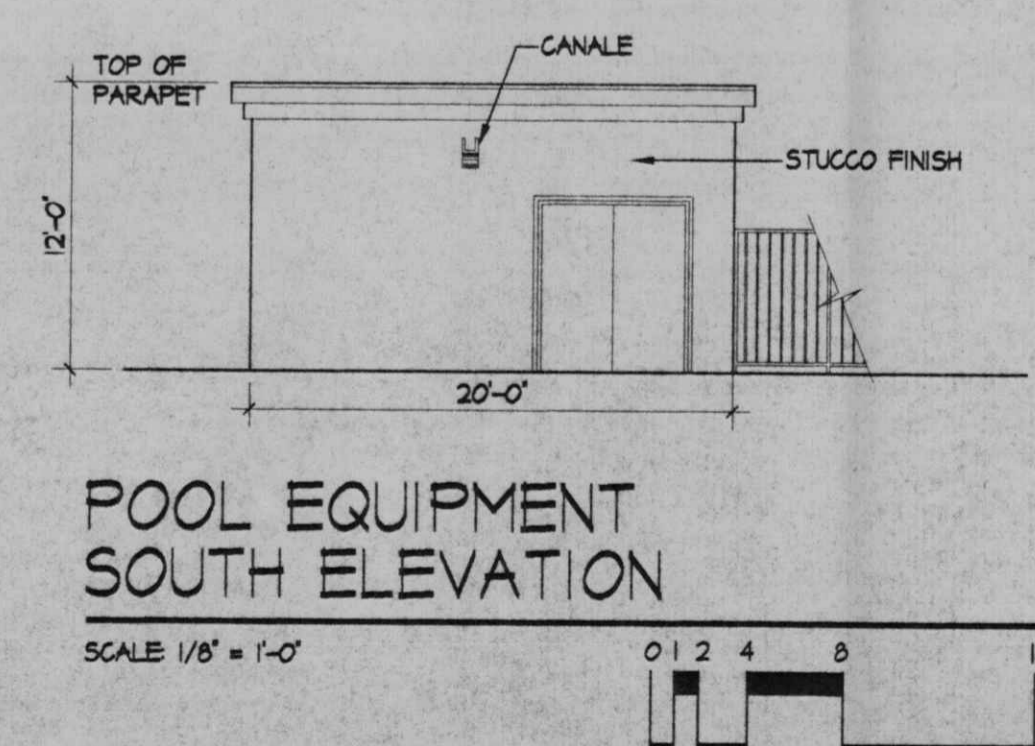
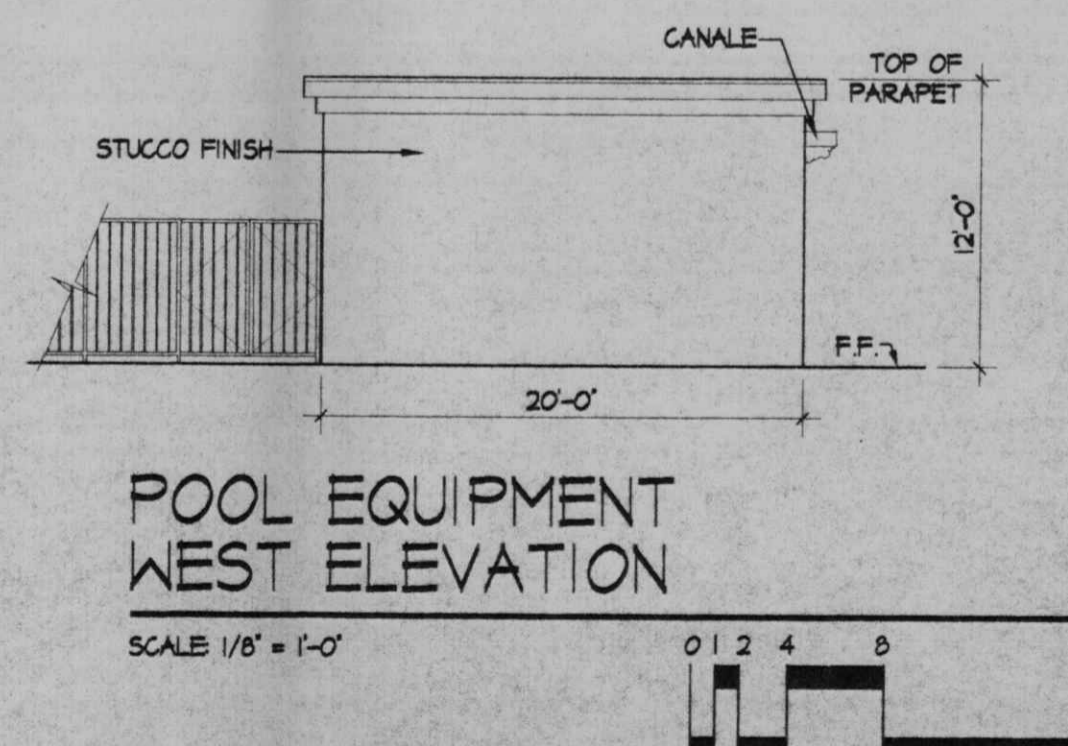
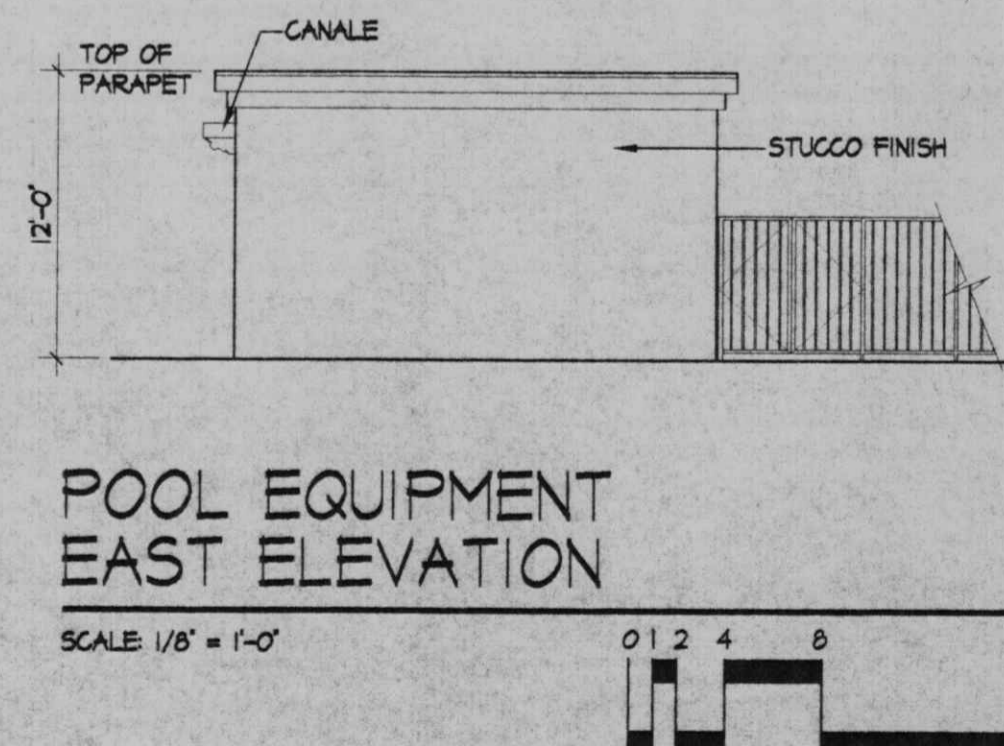
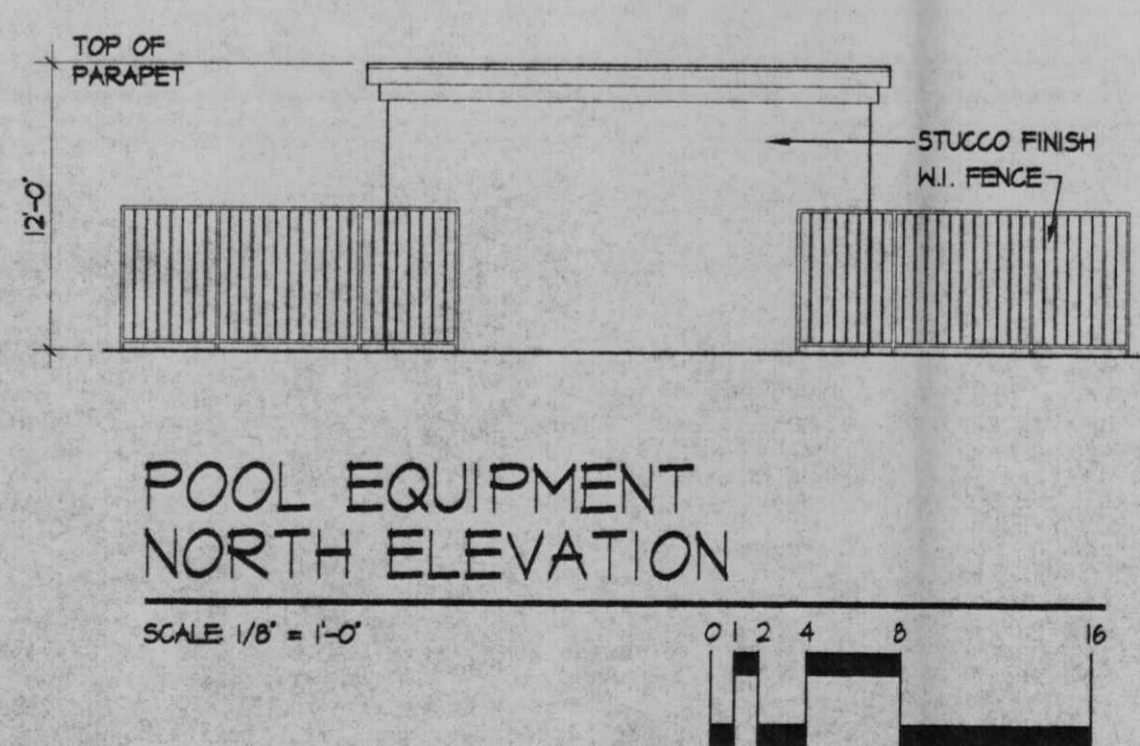
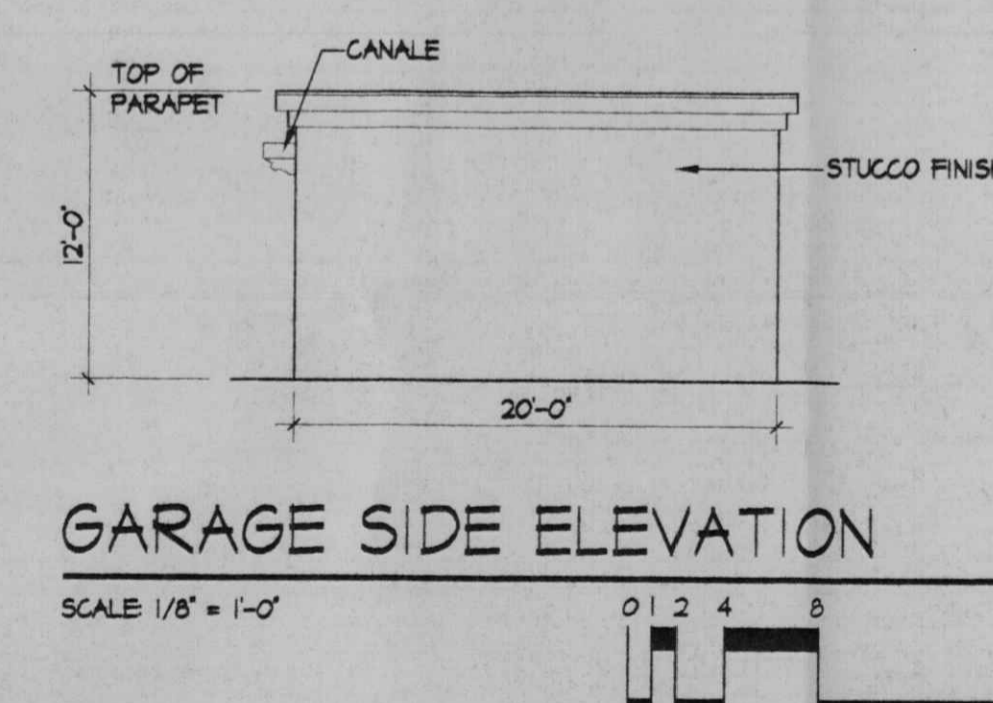
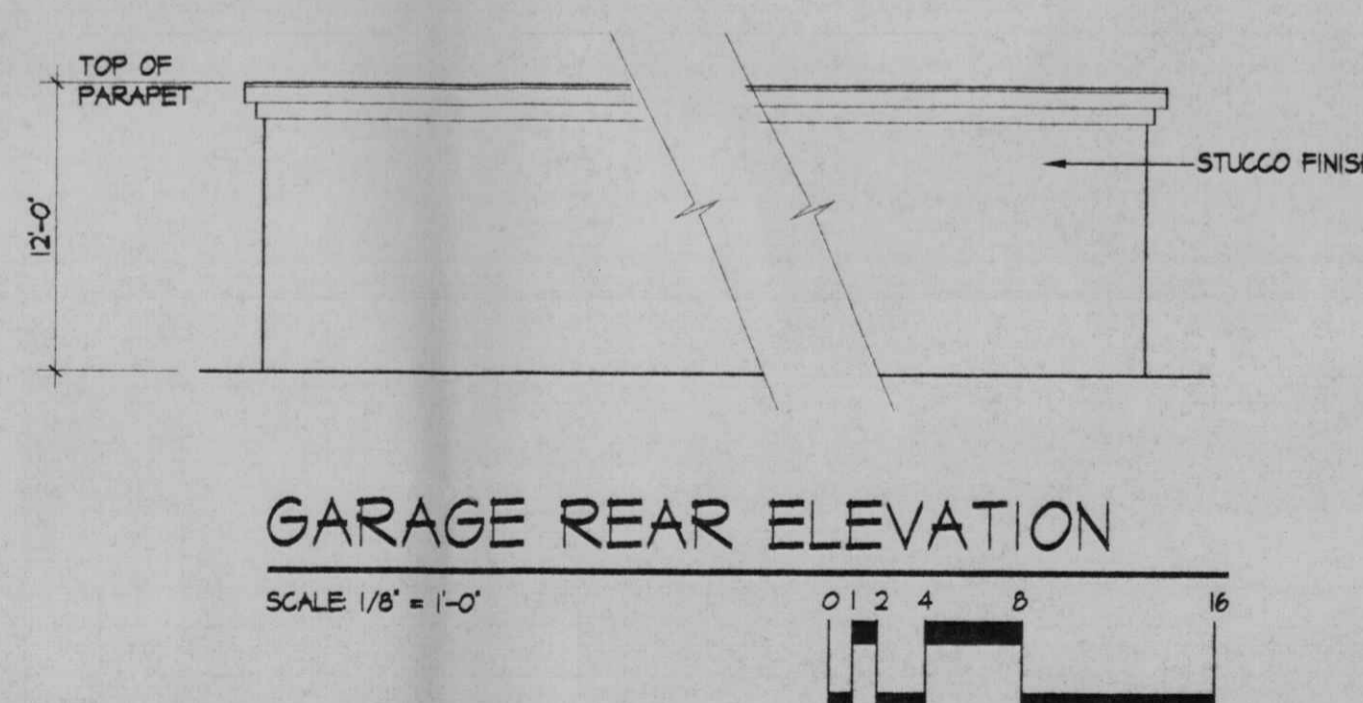
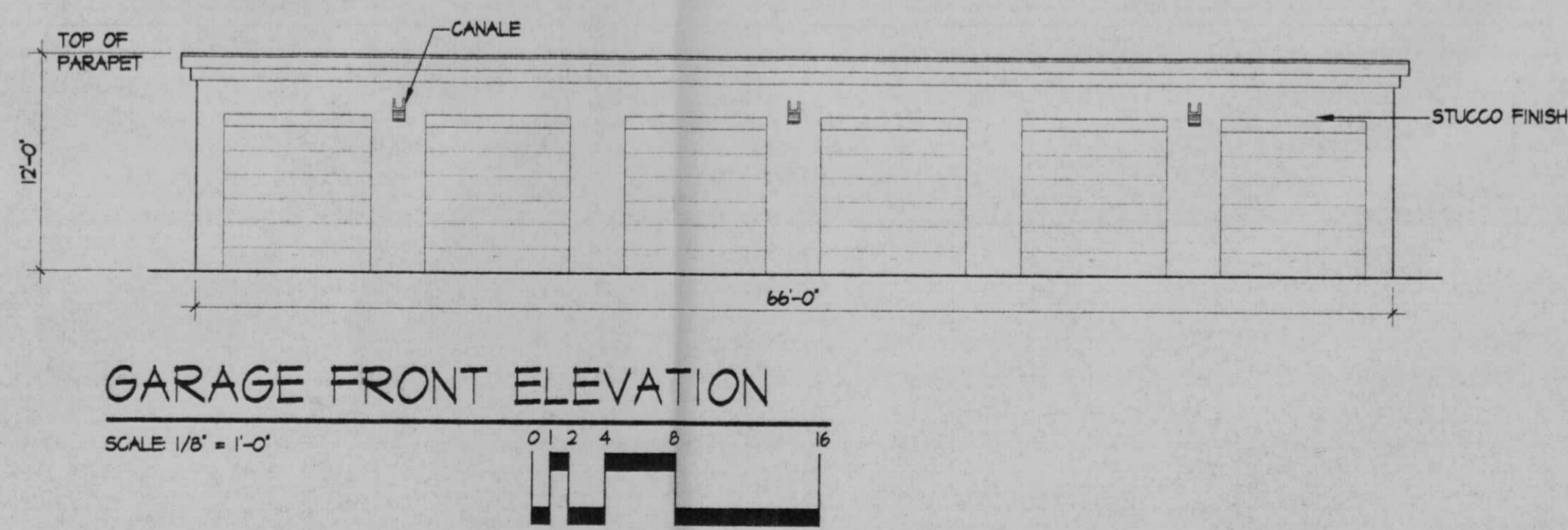
START DATE 10/30/00



OFFICE/REC. ELEVATIONS

WINDOW SCHEDULE

1. 4650	4. 6650
2. 6670	5. 11050
3. 11070	6. 18050



GENERAL NOTES:

STUCCO FINISH
THERE WILL BE 3 DIFFERENT COLORS TO BE USED THROUGHOUT THE PROJECT. THESE COLORS WILL BE LIGHT BEIGE, MEDIUM BEIGE, AND DARK BEIGE. THE ENTIRE BUILDING WILL BE ONE COLOR.

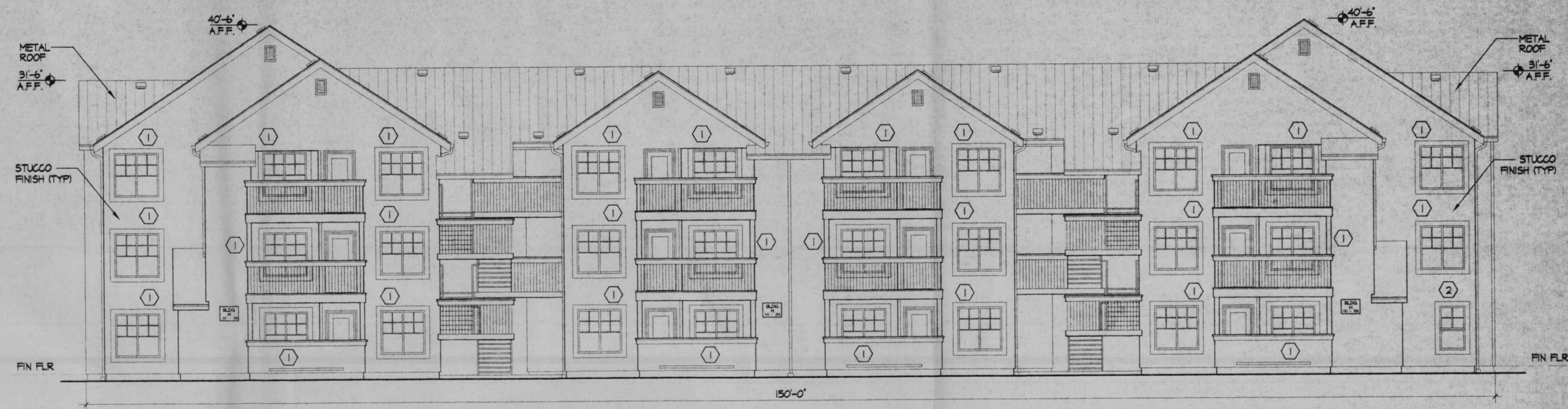
EXPOSED WOOD
ALL EXPOSED WOOD WILL BE PAINTED WHITE.

AREA LIGHTING, INCLUDING PARKING, AND WALKS, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.W. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 100 FOOTLAMBERTS AND IT SHALL NOT HAVE ANY OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

revisions	job title MANZANO MESA EAST		
	EUBANK NE ALBUQUERQUE, NEW MEXICO 87123		
	PROJECT MANAGER	job no	date
	JORSE DE LA TORRE AIA	20048	11/18/00
sheet title ELEVATIONS		by NAP	

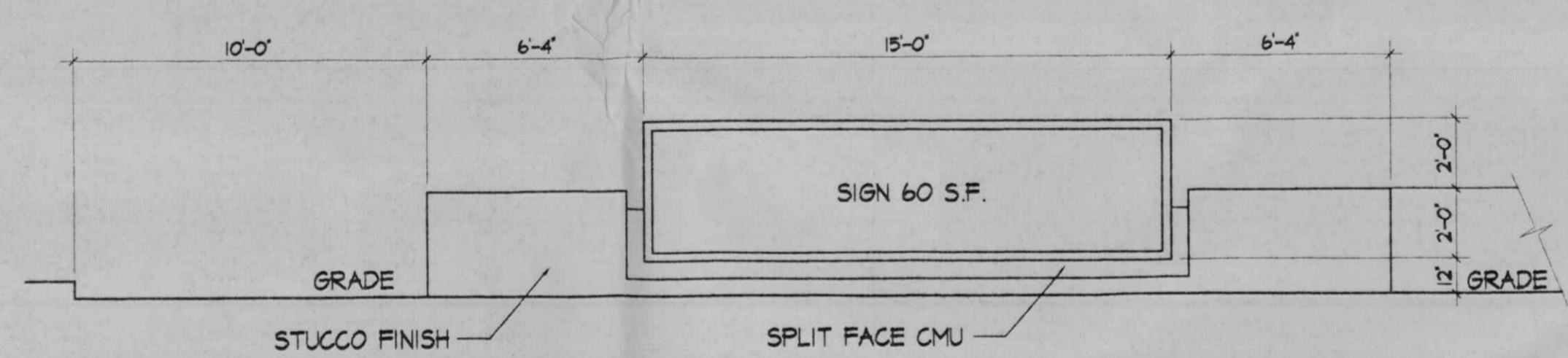
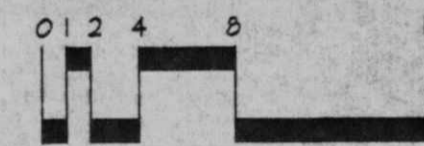
de la torre architects, p.a. llc		sheet-
2400 luisiana blvd ne		5
building 3 / suite 110		of-
albuquerque nm 87110 / 505-863-7918		

START DATE: 11/15/00



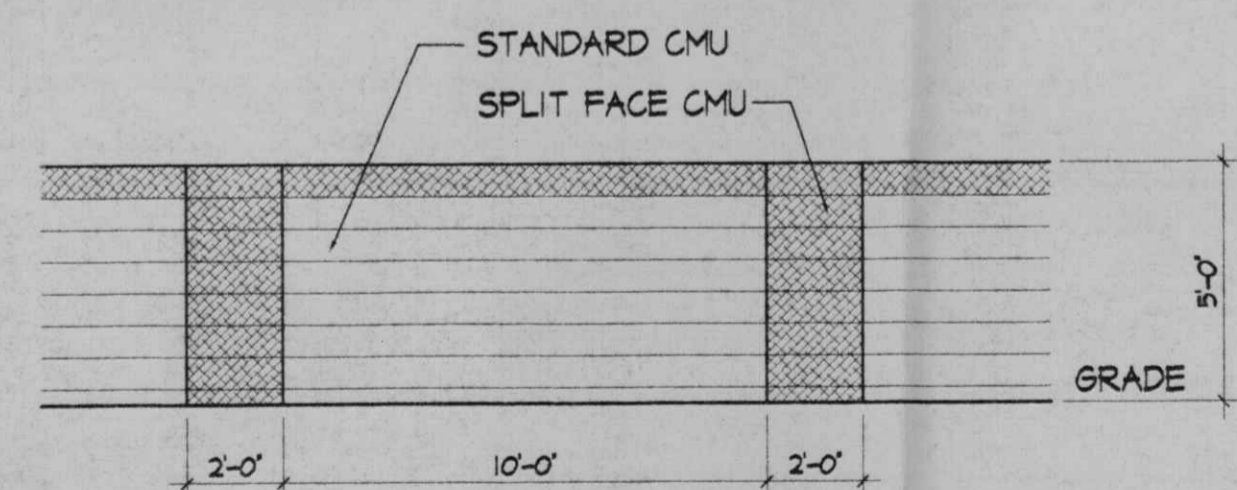
24-PLEX BUILDING - FRONT / REAR ELEVATION

SCALE: 1/8" = 1'-0"



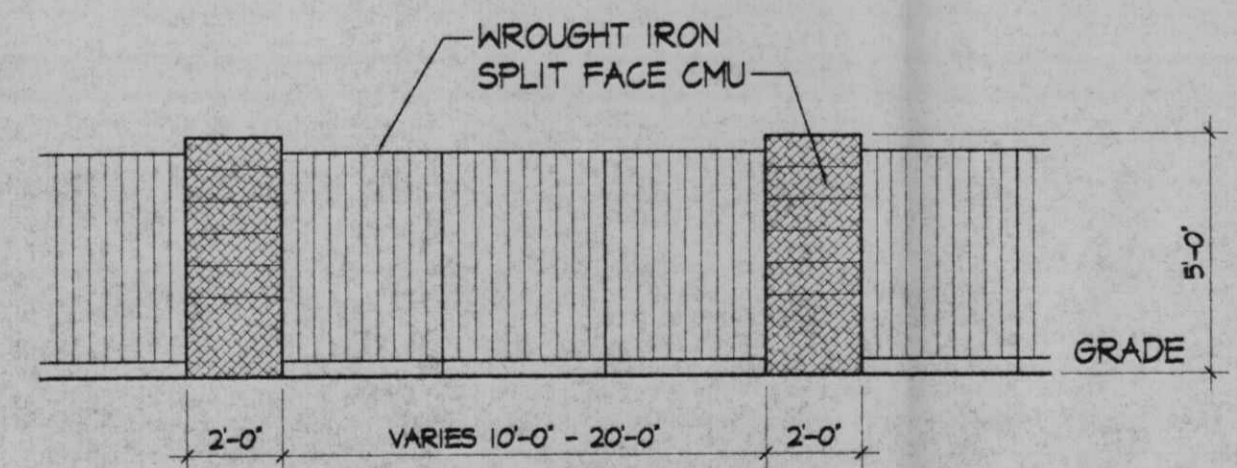
MONUMENT SIGN

SCALE: 1/4" = 1'-0"



5' CMU WALL - TYPE A

SCALE: 1/4" = 1'-0"

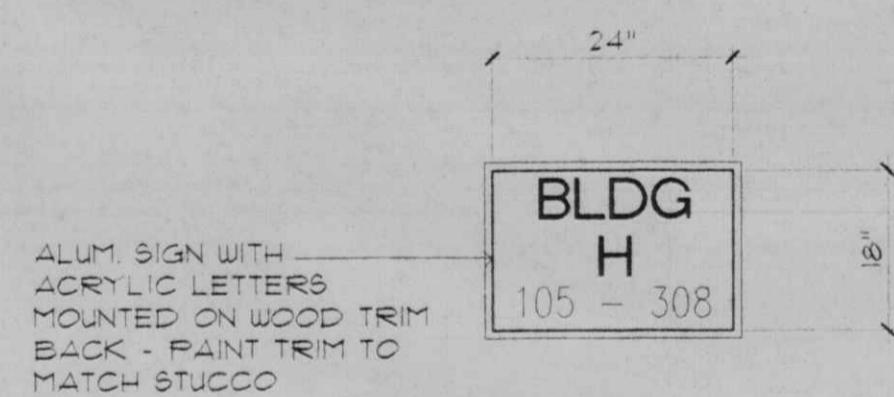


5' CMU AND WROUGHT IRON WALL - TYPE B

SCALE: 1/4" = 1'-0"

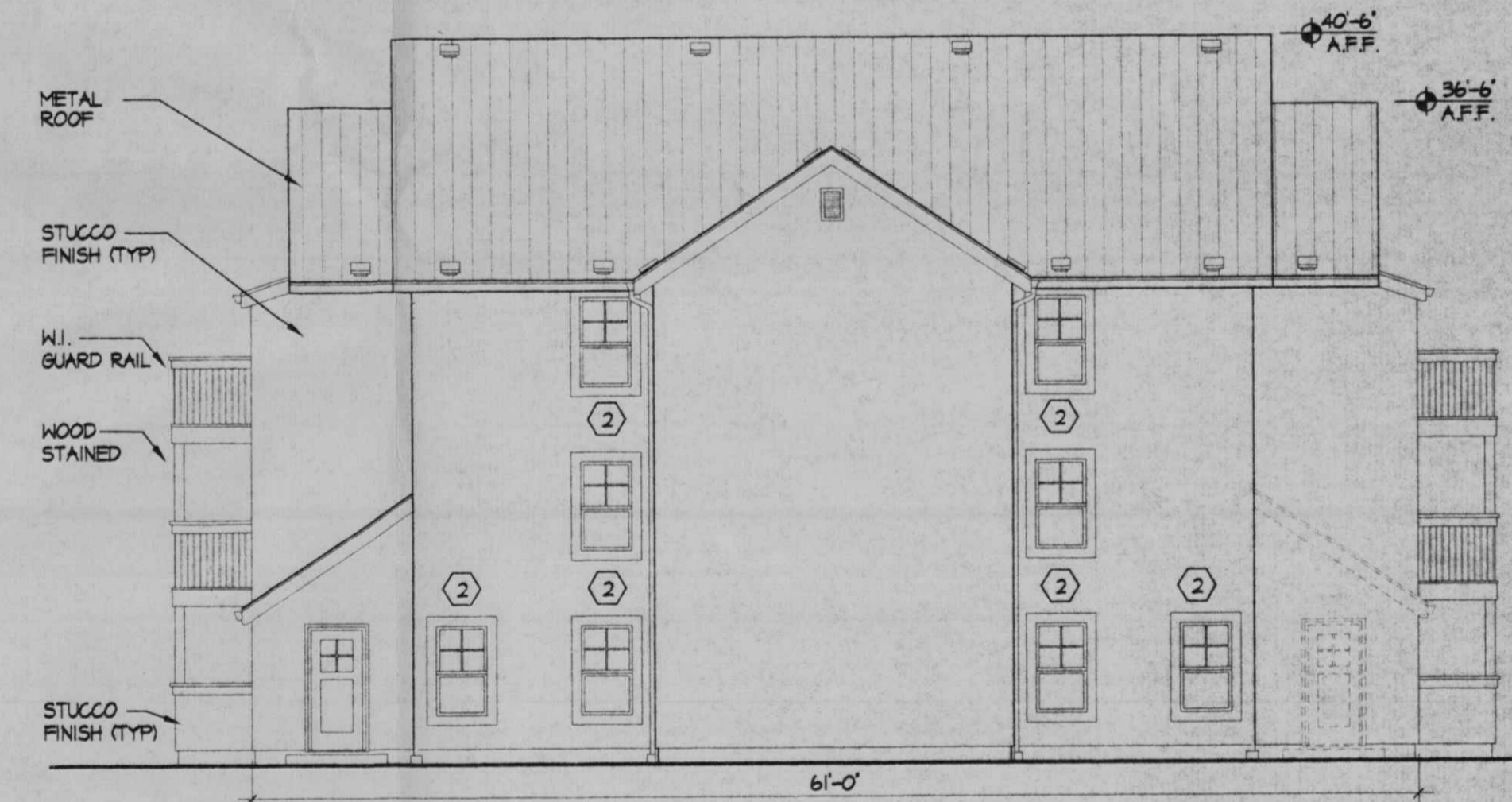
WINDOW SCHEDULE

- 1. 4650
- 2. 2650



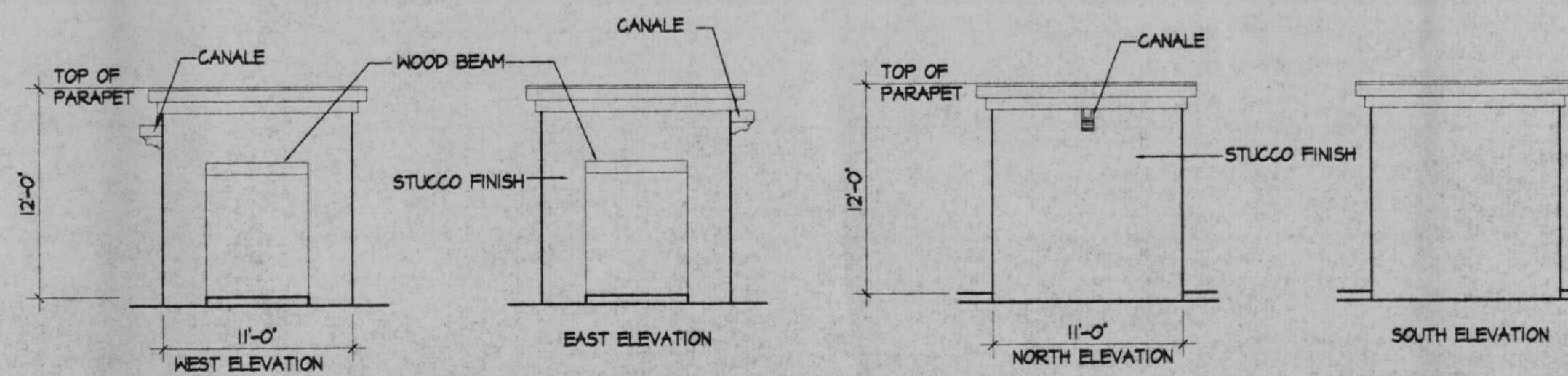
BUILDING SIGNAGE

SCALE: NTS



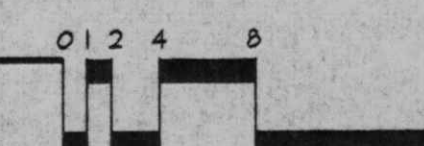
24-PLEX BUILDING - SIDE ELEVATION

SCALE: 1/8" = 1'-0"



MAIL ENCLOSURE ELEVATION

SCALE: 1/8" = 1'-0"



revisions	job title MANZANO MESA EAST		
	EUBANK NE ALBUQUERQUE, NEW MEXICO 87123		
	PROJECT MANAGER JORGE DE LA TORRE, AIA	job no 20046	date 11/16/00
	sheet title ELEVATIONS		by NAP
de la torre architects, p.a. aia 2400 louisiana blvd ne building 3, suite 110 albuquerque, nm 87110 / 505-863-7918			sheet - 6 of -
START DATE 11/15/00			



16-PLEX BUILDING - FRONT ELEVATION

SCALE: 1/8"=1'-0"

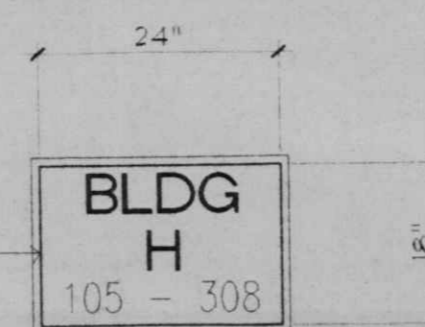


16-PLEX BUILDING - REAR ELEVATION

SCALE: 1/8"=1'-0"

WINDOW SCHEDULE

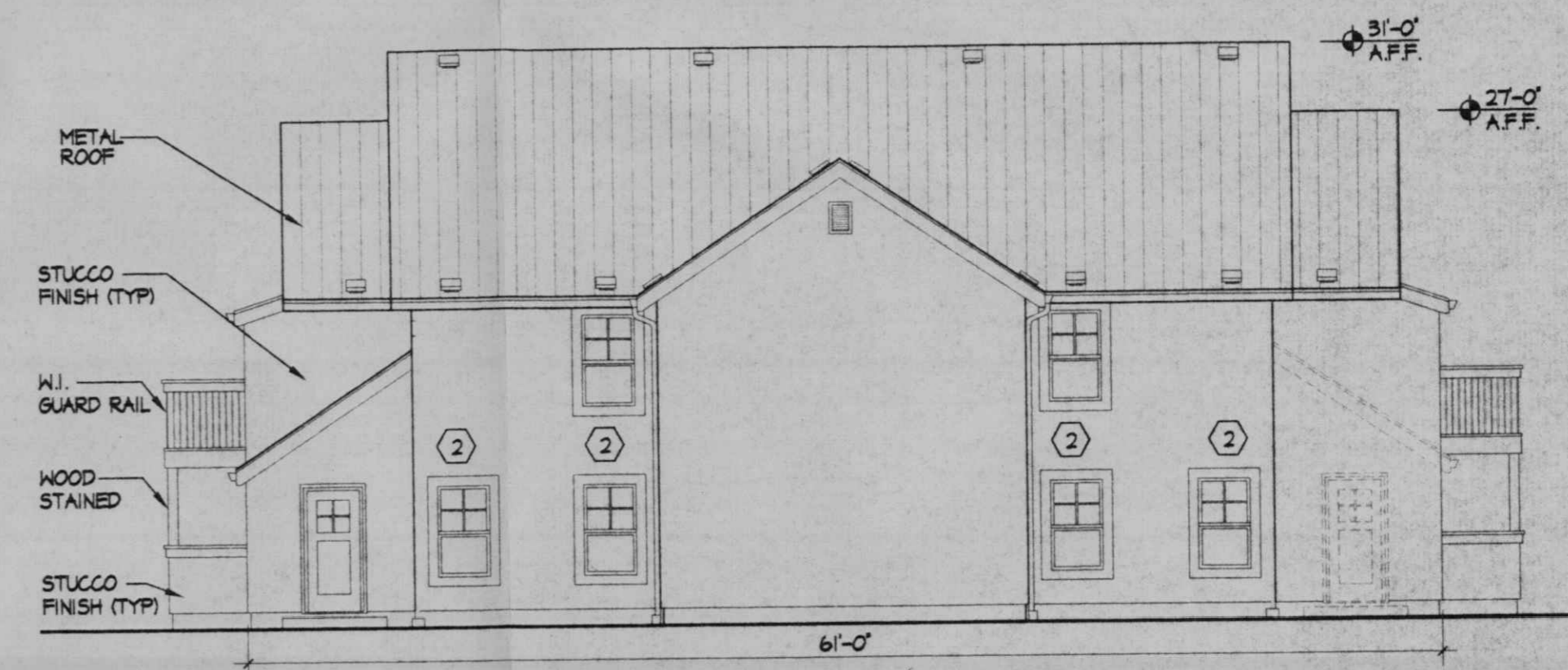
- 1. 4650
- 2. 2650



ALUM SIGN WITH ACRYLIC LETTERS MOUNTED ON WOOD TRIM BACK - PAINT TRIM TO MATCH STUCCO

BUILDING SIGNAGE

SCALE: NTS



16-PLEX BUILDING - SIDE ELEVATION

SCALE: 1/8"=1'-0"

revisions	job title	MANZANO MESA EAST	
	PROJECT MANAGER	job no	date
	JORGE DE LA TORRE AIA	20048	11/16/00
	sheet title	by	
ELEVATIONS		NAP	
de la torre architecte, p.a. d/a			
2400 bujelana Blvd ne			
building 3 / suite 110			
albuquerque nm 87110 / 505-883-7918			

START DATE 11/15/00

DESIGN GUIDELINES

PARKING/CIRCULATION

- The maximum allowed parking shall be equal to the required parking plus 10%.
- ADA compliant parking shall be located adjacent to the building entry.
- For office buildings, pedestrian crossings shall be a minimum width of 6-feet. They shall be clearly demarcated with textured paving and shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
- Shaded pedestrian access shall be provided, including a clear 6-foot-wide path with adjacent trees spaced approximately 25-feet on center within planters that have a minimum interior dimension of 5-feet square (or equivalent).
- For office buildings, a shaded sidewalk that is a minimum of 15-feet-wide shall be provided along the entrance side of the building. Shade can be provided with architecturally integrated portals or canopies, or by trees placed at intervals of approximately 25 feet on center in planters with a minimum interior dimension of 5-feet square (or equivalent).
- For buildings, an outdoor patio space that is a minimum of 500 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or shade structure that integrates with building architecture.
- Convenient pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways.
- Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
- There shall be a 6-foot clear pedestrian ways to connect Tract G-3-A to H-1-A and Tract G-3-B to Tract H-1-A.

LANDSCAPING & SCREENING

- A mix of evergreen (coniferous) and deciduous trees shall be used within parking areas. Buffer areas shall include a mix of evergreen and deciduous trees.
- Landscaping regulations require that 75% of landscape areas over 36 square feet in size must be covered with living, vegetative material. High-water use turf shall be limited in application to 20% of the landscape area.
- Parapets and/or architectural tents shall be used to screen mechanical equipment and penetrations from the commercial development to the adjacent property.
- Perimeter walls shall comply with the Planning Department's Guidelines for perimeter walls.
- No chain-link, razor wire or plastic vinyl fencing is permitted.

ARCHITECTURE

- The top of all rooftop equipment shall be below the top of parapet and screened from view from nearby properties. Screen walls shall screen all ground-mounted equipment with the top of equipment below the top of screen wall.
- No plastic or vinyl building panels, awnings, or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
- No freestanding cell towers or antenna shall be permitted; antenna shall be integrated into the building architecture.
- ATM's should be architecturally integrated with building design.
- Loading docks shall be screened by walls and covers that are architecturally integrated with the building.
- No generic franchise architecture shall be allowed.
- All out buildings and canopies shall be architecturally integrated and compatible in materials and design.
- Refuse enclosures shall be compatible in design, color, and material with building architecture. If gates are provided, they shall be opaque; chainlink gates are not allowed.

SIGNAGE

- Monument signs which are integrated with building colors and materials are the only free standing signs allowed.
- Building-mounted signs shall consist of individual channel letters. No illuminated plastic panel signs are allowed except logos.
- Monument signage shall be limited to a maximum of 10-feet in height, 100 square feet per face. Building-mounted signage shall be a maximum of 6% of the facade to which is applied and on a maximum of 3 building facades. Maximum letter size shall be three feet, maximum logo size shall be 3' x 3'.
- The location of the light poles shall be included on the Site Plans for Building Permit. Light fixtures shall be a maximum of 20 feet high. The light fixtures shall be fully-shielded fixtures lamps so that no fugitive light shall escape beyond the property line. All light fixtures shall be full-cutoff to prevent fugitive light; no light source shall be visible from the site.
- Lighting within 100 feet of residential development shall be limited to 16 feet in height.

SITE DEVELOPMENT PLAN FOR SUBDIVISION: REQUIRED INFORMATION

THE SITE: The site consists of 2 existing lots (Tracts H, & G3, Manzano Mesa Addition). The site shall be replatted into 3 lots. (Tracts H-1, G-3-A and G-3-B). The site contains approximately 34.9 acres. Tract H is approximately 11.3 acres, Tract G-3-A is approximately 11.0 acres, and Tract G-3-B is approximately 12.6 acres.

PROPOSED USE: The zoning for tract H (H-1) shall remain SU-1 for O-1 uses. The zoning for Tract G-3 (G-3-A and G-3-B) shall remain SU-1 for R-2. The proposed use for Tracts G-3-A and G-3-B is multi-family residential.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: There will be a 6 foot sidewalk along Eubank Boulevard, Stephen Moody Street, and La Entrada Avenue. Interior pedestrian ways shall be developed in accordance with the individual Site Plans for Building Permit. There is a proposed multi-use trail adjacent to the site along Eubank Boulevard. The primary access to Tracts H-1 and G-3-B shall be off of Stephen Moody Street. A cul-de-sac will be developed from Eubank Boulevard at the approximate midpoint between Stephen Moody Street and La Entrada Avenue to provide access to Tracts H-1 and G-3-A. Secondary access to Tracts G-3-A and G-3-B will be provided off of La Entrada Avenue.

INTERNAL CIRCULATION REQUIREMENTS: Internal circulation shall be developed in accordance with the individual Site Plans for Building Permit.

BUILDING HEIGHTS AND SETBACKS: Pursuant to the R-2, or O-1 zoning, as appropriate depending on the specific land use.

MAXIMUM F.A.R.: Maximum F.A.R. shall be .35.

LANDSCAPE PLAN: Detailed Landscape Plans shall be developed in accordance with the individual Site Plans for Building Permit and consistent with these landscaping and screening requirements.

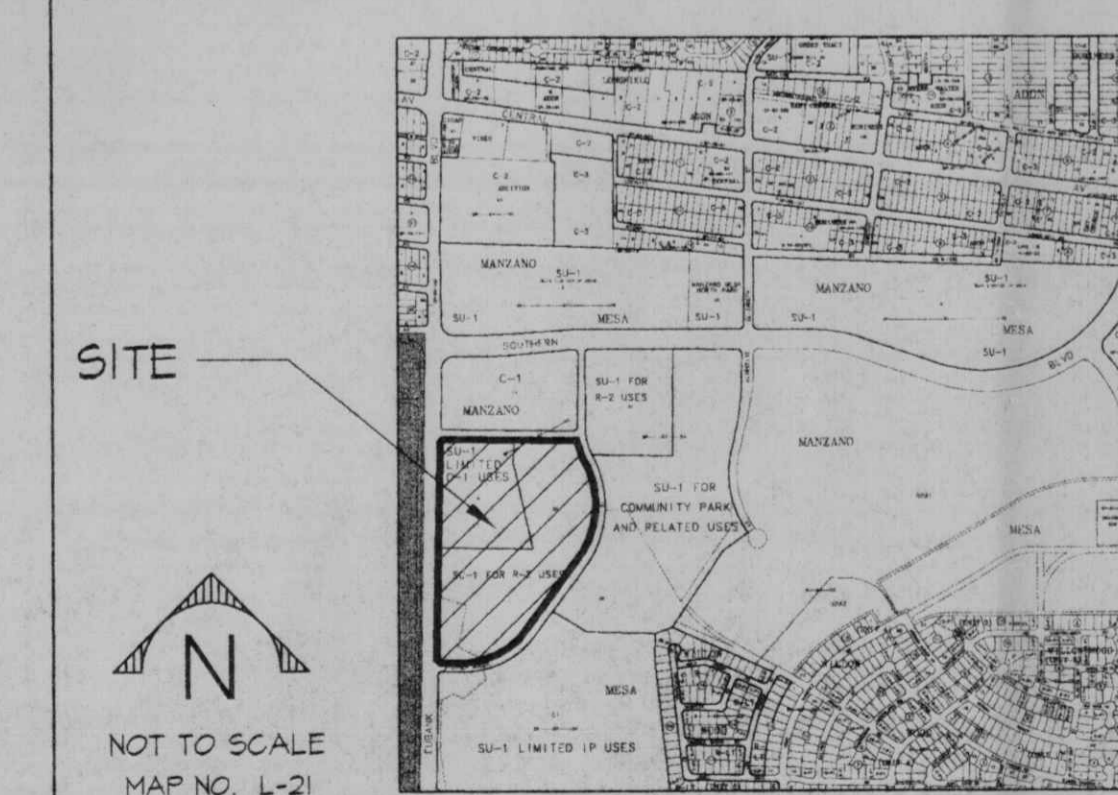
APPROVALS

Planning Director	Date
Transportation Development	Date
City Engineer/AMAFCA	Date
Utility Development	Date
Parks and Recreation Department	Date

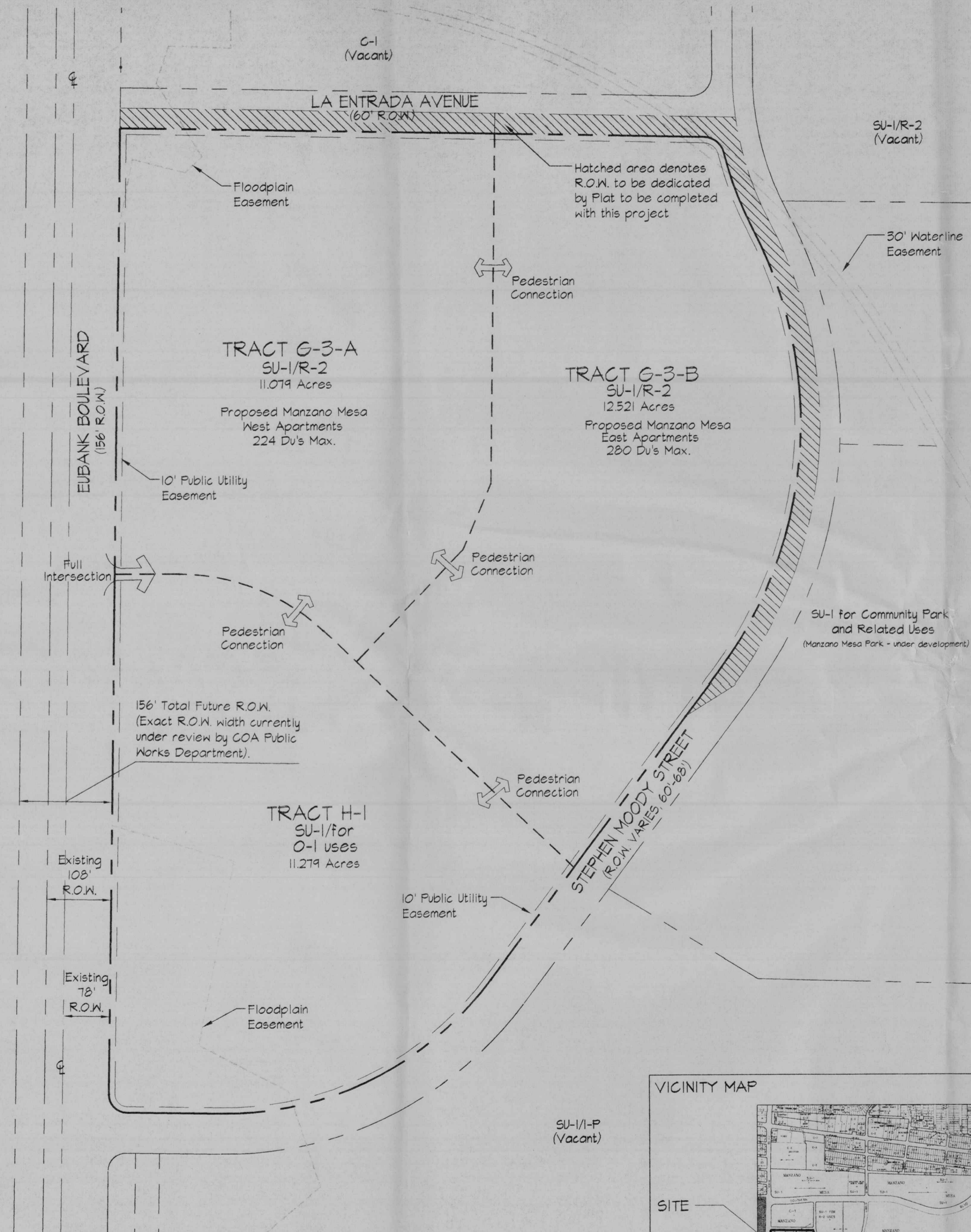


CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
924 Park Avenue SW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

VICINITY MAP



NOT TO SCALE
MAP NO. L-21



revisions	job title MANZANO MESA TRACTS H & G3 ALBUQUERQUE, NEW MEXICO 87123	job no 20048	date 1/26/01
	PROJECT MANAGER JORGE DE LA TORRE, MA		
	sheet title SITE PLAN FOR SUBDIVISION	by	

de la torre architects, p.a. llc 2400 louisiana blvd ne building 3, suite 110 albuquerque nm 87110 / 505-883-7918	sheet 1 of 1
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Proj. 1000938

GENERAL NOTES - CITY REQUIRED

- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) LATE DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- D. ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- E. CONSTRUCT CURB RETURNS PER CITY OF ALBUQUERQUE STANDARD DETAIL DWG. #2426
- F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

KEYED NOTES

1. 6' HIGH WROUGHT IRON FENCE AROUND POOL
2. 10'X20' POOL EQUIPMENT ROOM TYPICAL
3. BICYCLE RACK - SEE DETAIL (1 SPACE PER 2 DWELLING UNITS PROVIDED)
4. TRASH COMPACTOR ENCLOSURE
5. GARAGE ENCLOSURE 20' DEEP X 11' WIDE PER NUMBER OF SPACES INDICATED.
6. 11'X11' MAILBOX ENCLOSURE
7. MONUMENT SIGN MOUNTED ON SITE MALL
8. SITE MALL TYPE 'A' SEE ELEVATIONS
9. SITE MALL TYPE 'B' SEE ELEVATIONS
10. 3' TALL CMU SITE MALL
11. 4' TALL CMU SITE MALL

PROJECT INFORMATION

LOCATION: EUBANK NE BETWEEN STEPHEN MOODY ST. AND SOUTHERN BLVD.
 DEVELOPER: 6SL PROPERTIES INC.
 LEGAL DESCRIPTION: TRACT 6-S OF MANZANO MESA WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM
 CURRENT ZONING: SM-FOR-R-2
 PROPOSED: SAME
 TOTAL ACREAGE: 23.60 ACRES
 ZONING ATLAS PAGE: L-21-Z
 UPC #: 102105606415330301

MANZANO MESA WEST

OFFICE/REG. PARKING REQ'D. (2400 S.F. OFFICE/REG. BUILDING) 12
 APARTMENT PARKING REQ'D. (UNITS 224 = 50% 1 BDR. + 50% 2 BDR.) 404
 PARKING REQUIRED (TOTAL) (12 H.C. REQUIRED) 942
 OPEN PARKING 381
 GARAGE PARKING 54
 TOTAL PROVIDED (INC. 14 H.C.) 435
 NOTE: TYPICAL PARKING SPACE = 8.5' X 18'
 NET SITE AREA 482,544.13 (11.08)
 BLDG'S 14 @ 16 DU = 224
 BUILDING AREA: (INCLUDES OVERHANGS AND BALCONIES) 14 @ 16 DU = 224
 GROUND FLOOR 1,004 PER BUILDING (14) = 98,256 S.F.
 SECOND FLOOR 1,004 PER BUILDING (14) = 98,256 S.F.
 TOTAL = 196,512 S.F.

MANZANO MESA EAST

OFFICE/REG. PARKING REQ'D. (5144 S.F. OFFICE/REG. BUILDING) 26
 APARTMENT PARKING REQ'D. (UNITS 280 = 50% 1 BDR. + 50% 2 BDR.) 440
 PARKING REQUIRED (TOTAL) (16 H.C. REQUIRED) 502
 OPEN PARKING 450
 GARAGE PARKING 56
 TOTAL PROVIDED (INC. 16 H.C.) 516
 NOTE: TYPICAL PARKING SPACE = 8.5' X 18'
 NET AREA 545,414.51 (12.52)
 BLDG'S 7 @ 24 DU = 168
 7 @ 16 DU = 112
 TOTAL DUS = 280
 BUILDING AREA: (INCLUDES OVERHANGS AND BALCONIES) 7 @ 24 DU = 168
 GROUND FLOOR 2,365 PER BUILDING (14) = 117,110 S.F.
 SECOND FLOOR 2,365 PER BUILDING (14) = 117,110 S.F.
 THIRD FLOOR 2,365 PER BUILDING (7) = 59,588 S.F.
 TOTAL = 293,808 S.F.

RADIUS LEGEND

- | | | | |
|-------------|--------------|--------------|----------------|
| 1 1' RADIUS | 4 5' RADIUS | 7 20' RADIUS | 10 50' RADIUS |
| 2 2' RADIUS | 5 10' RADIUS | 8 25' RADIUS | 11 100' RADIUS |
| 3 3' RADIUS | 6 15' RADIUS | 9 35' RADIUS | 12 150' RADIUS |

CASE NUMBER: Z -

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION HAVE BEEN COMPLIED WITH.

SIGNATURE BLOCK

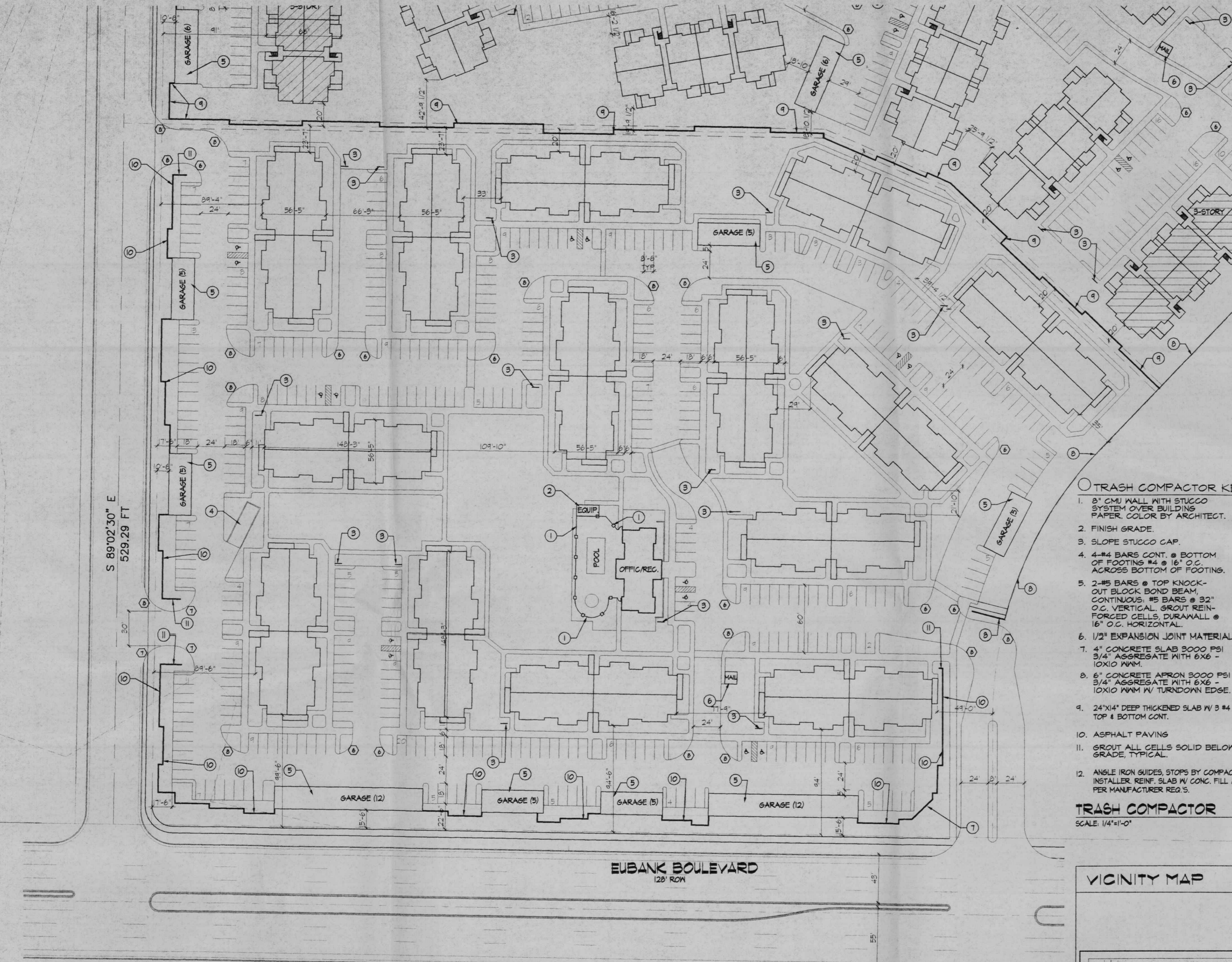
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION/AMAFCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	DATE
CITY PLANNER, ALBUQUERQUE	DATE

revisions	job title MANZANO MESA WEST EUBANK N.E. ALBUQUERQUE, NEW MEXICO 87123
PROJECT MANAGER JORGE DE LA TORRE, AIA	job no 20046
sheet title SITE PLAN FOR BUILDING PERMIT	date 11/18/00
	by NAP

de la torre architects, p.a. aia
 2400 buisiana blvd ne
 building 3 / suite 110
 albuquerque nm 87110 / 505.863.7918

sheet -
1
 of -

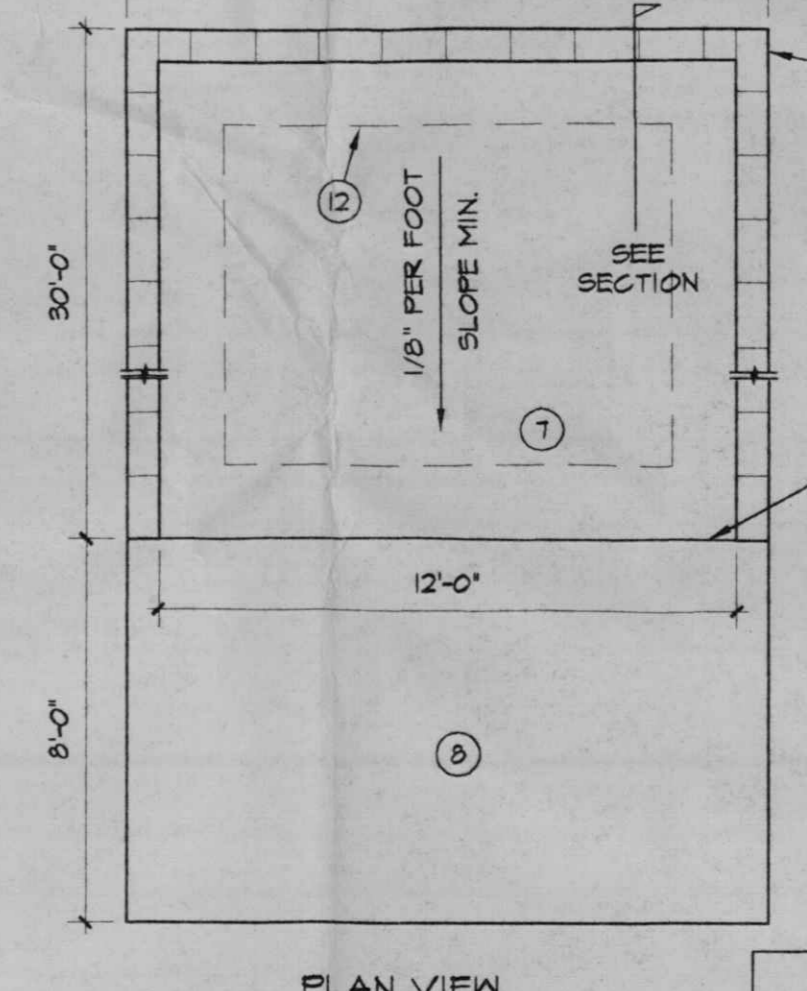
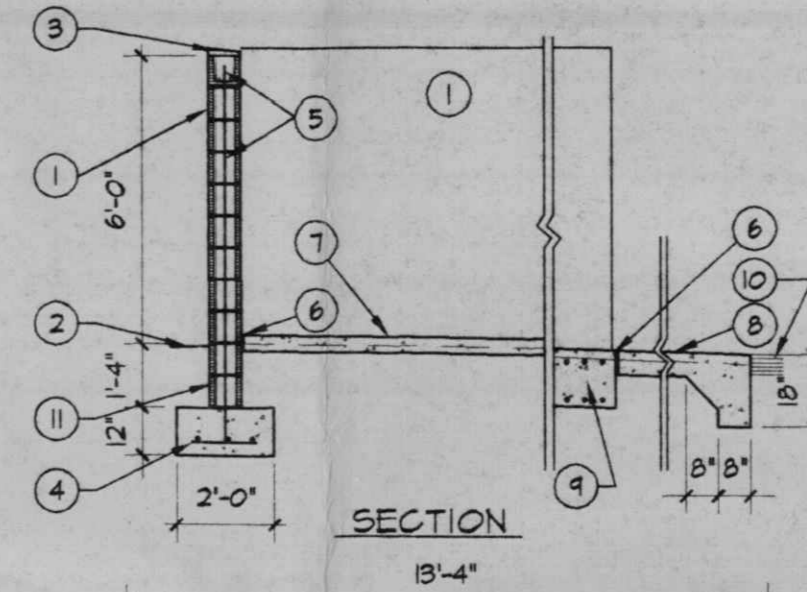
START DATE: 10/30/00



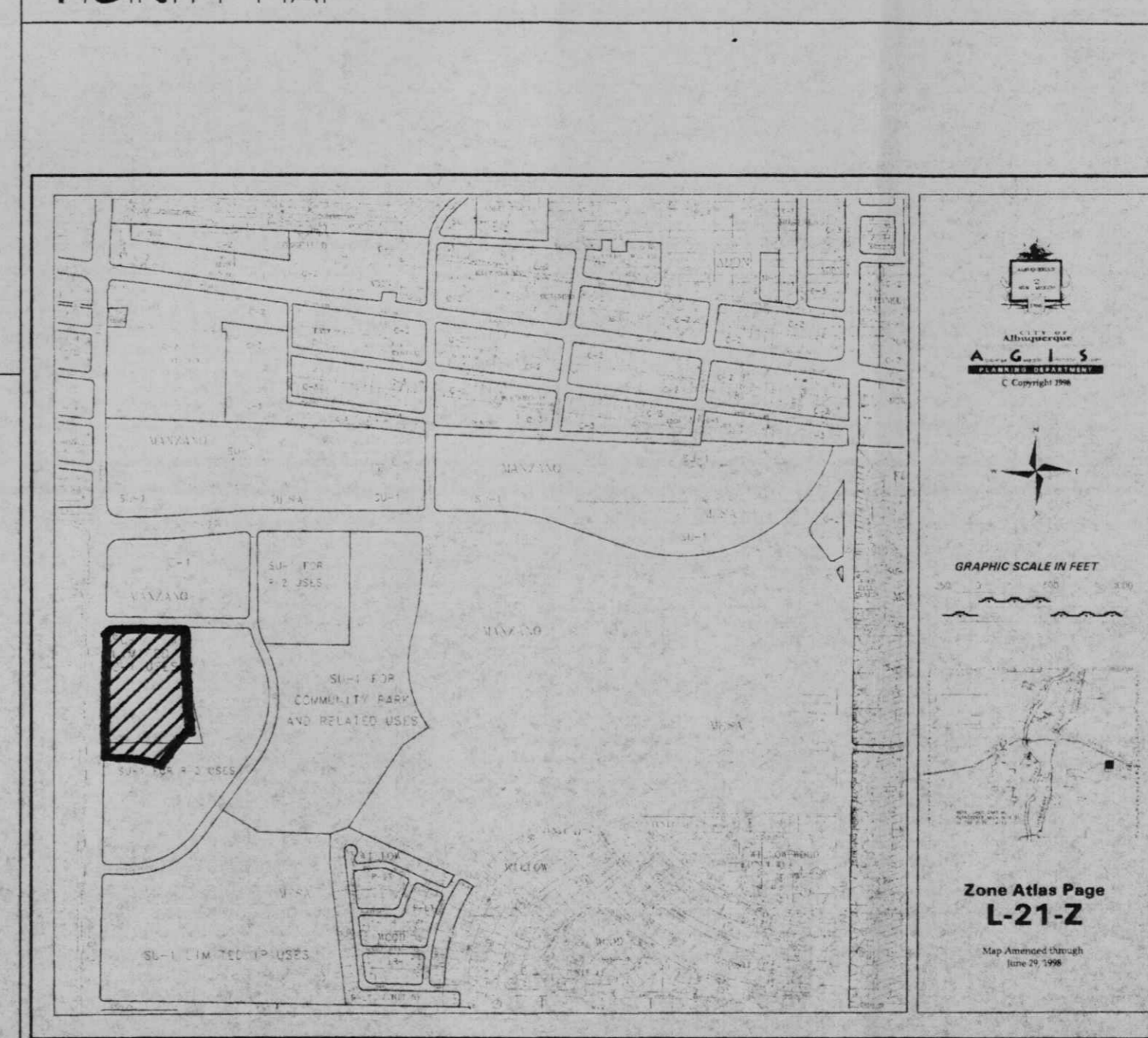
TRASH COMPACTOR KEYED NOTES

1. 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER, COLOR BY ARCHITECT.
2. FINISH GRADE.
3. SLOPE STUCCO CAP.
4. 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
5. 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS #5 BARS @ 32" O.C. VERTICAL, GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
6. 1/2" EXPANSION JOINT MATERIAL.
7. 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 MM.
8. 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 MM IV TURNDOWN EDGE.
9. 24"X14" DEEP THICKENED SLAB IV 3 #4 TOP & BOTTOM CONT.
10. ASPHALT PAVING.
11. GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.
12. ANGLE IRON SLIDES, STOPS BY COMPACTOR INSTALLER REINF. SLAB IV CONC. FILL AS PER MANUFACTURER REQ'S.

TRASH COMPACTOR
 SCALE: 1/4"=1'-0"



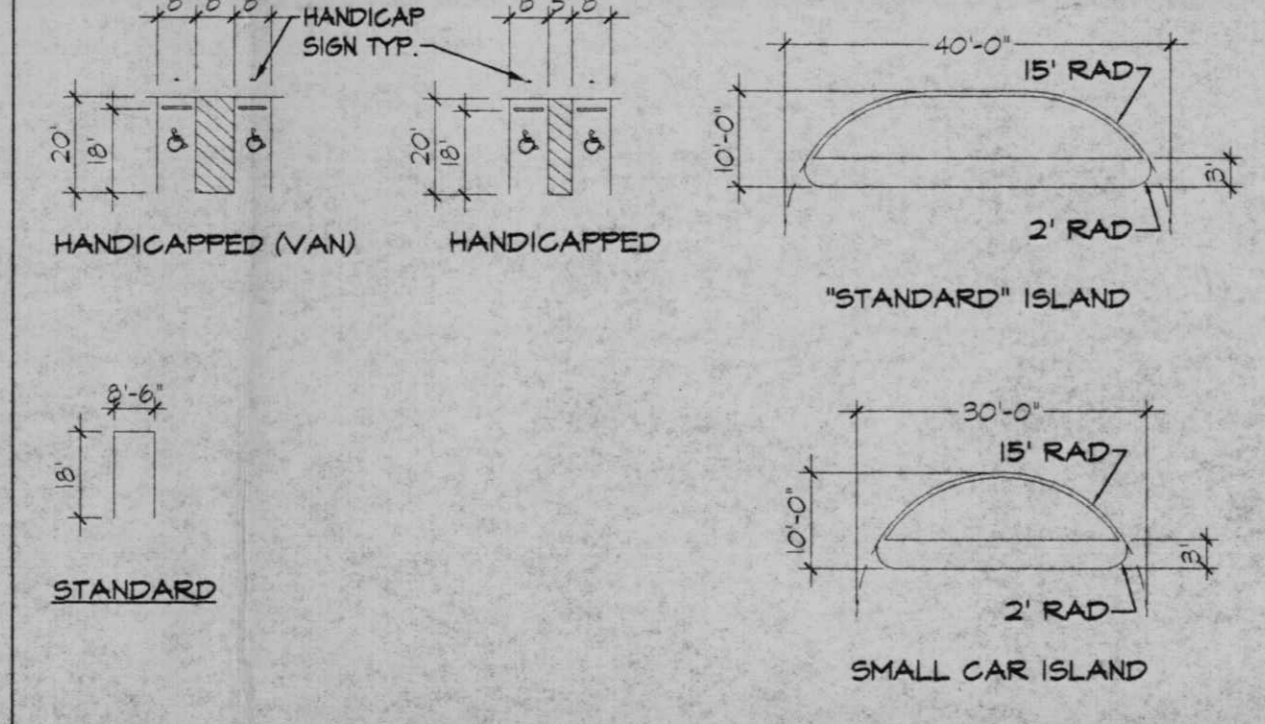
VICINITY MAP



SITE PLAN
 SCALE: 1"=50'

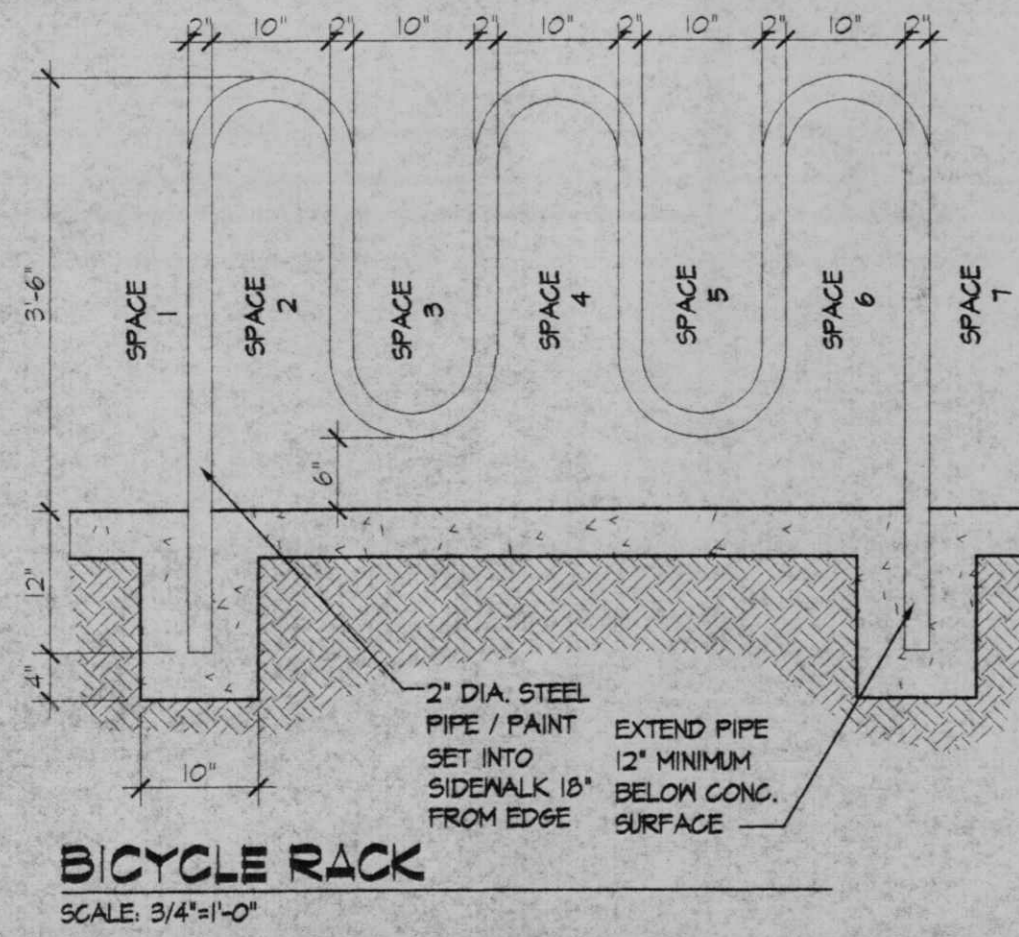


PARKING TYPES & ISLAND DETAILS

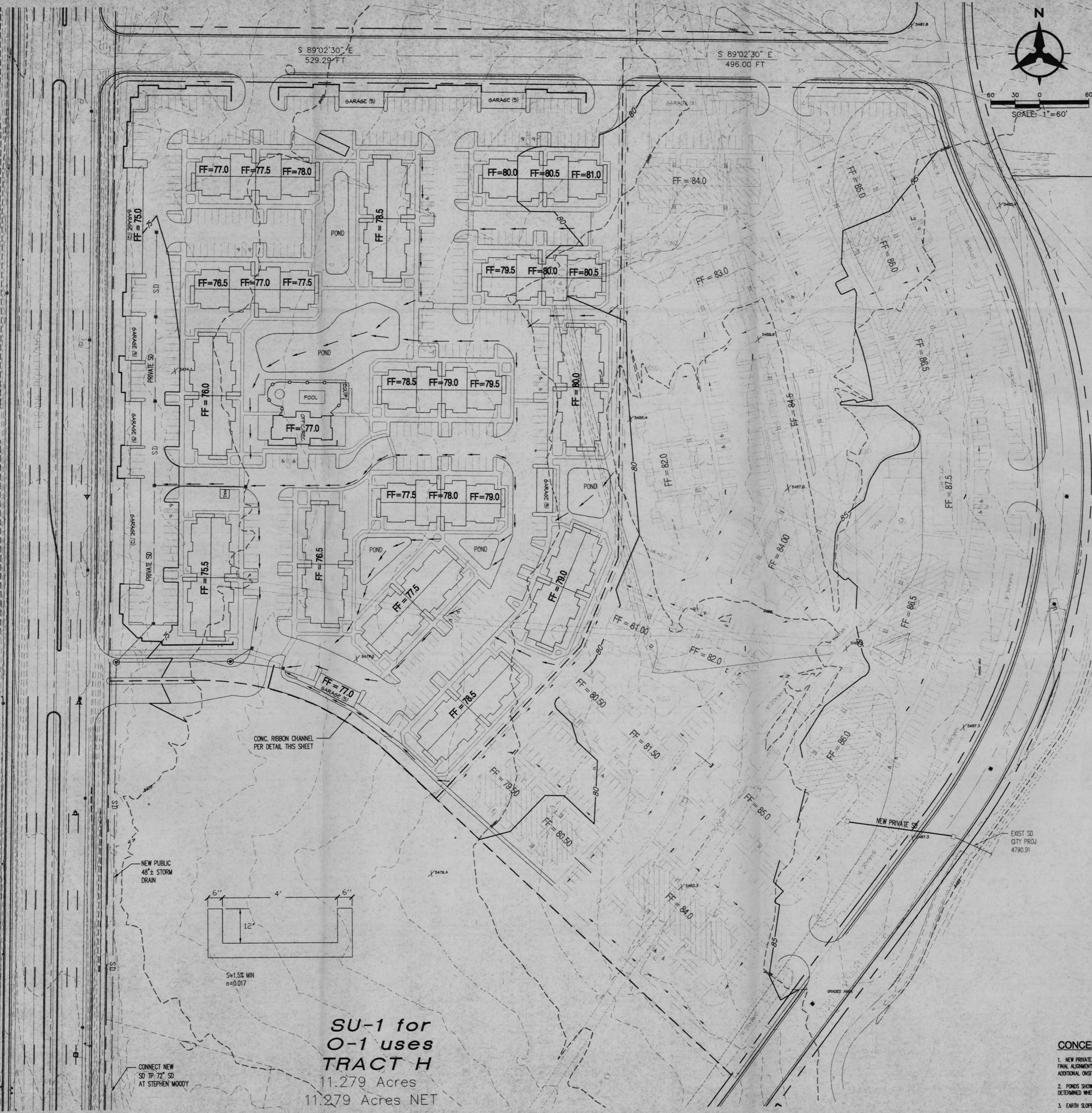


LEGEND:

- METAL FENCE
- CHAIN LINK FENCE
- SANITARY SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- OVERHEAD ELECTRIC LINE
- STREET LIGHT
- POWER POLE
- ANCHOR
- EXISTING LOT LIGHT (BASE ONLY) TO BE REMOVED
- TRAFFIC LIGHT
- TRAFFIC SIGNAL OR PULLBOX
- NEW POLE LIGHT
- GAS VALVE
- WATERLINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- SIGN



11/18/00 11:23 AM C:\projects\albuquerque\albuquerque.dwg Plotter: 2000-11-11 11:23 AM



CONCEPTUAL DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
 The purpose of this submittal is to present a conceptual drainage plan for the Manzano Mesa Apartments. The site contains approximately 0.8 acres. The project must go through the EPC for zone change approval and site plan approval. Due to the preliminary nature of this submittal, quantitative drainage calculations are not provided, only general drainage concepts are discussed.

II. SITE LOCATION
 The site is located on the east side of Eubank south of Southern. In its current condition, the majority of the site is undeveloped, portions of the site have been graded at some point in the past. The site currently drains to the west at a slope of just under 2%. The site is located within zone atlas map A-21, and hydrologic zone 3.

III. EXISTING HYDROLOGIC CONDITIONS
 Both the existing basins and proposed basins are shown on the Basin map included on this sheet. A pending addendum to the existing Manzano Mesa master Drainage Study (1996, Smith Engineering) identifies the site as basins 601, 603, and 701. The tract boundaries from the original study do not match the current platting for the area, hence the city requested that Smith Engineering provide an addendum to modify the study to match the current tract lines. The addendum indicates that Sub-basin 601 should drain to the east to the Manzano Mesa Park Pond. Basins 603 and 701 drain to the south and west.

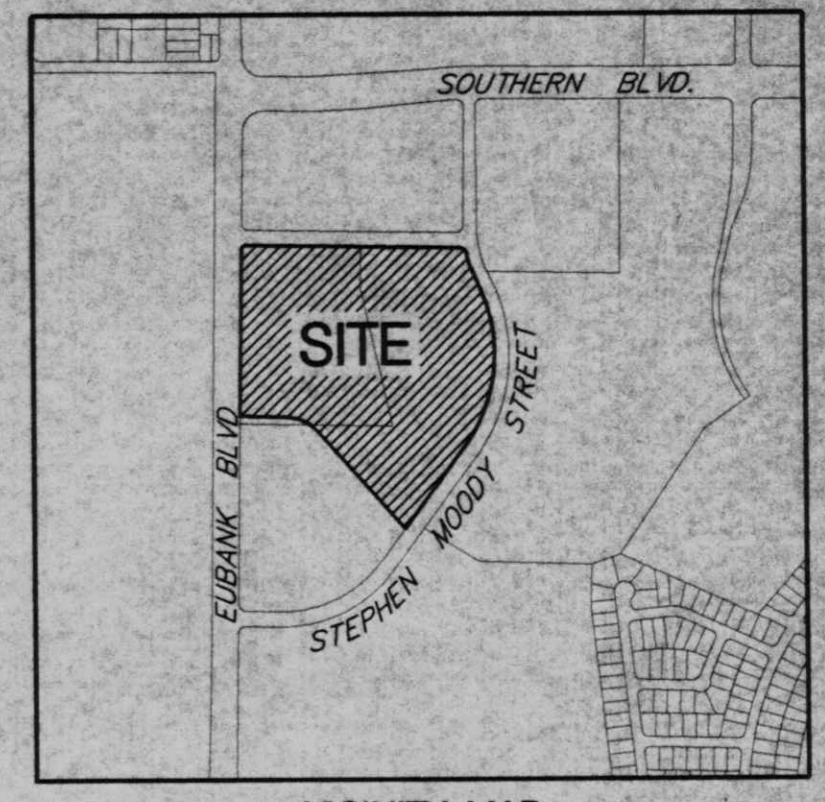
IV. PROPOSED HYDROLOGIC CONDITIONS
 As the basin map on this sheet indicates, existing Sub-Basins 601, 603, and 701 are divided into Basins A, B, C, and D under proposed conditions. Specifically, Sub-Basin 601 is divided into Basins B and C. Due to the constraints imposed by the site topography, only a small portion of existing Sub-Basin 601 (proposed Basin C) can drain to the Manzano Mesa Park Pond. The remaining portion of the basin must drain to the west.

Proposed Basin B also contains most of Sub-Basin 603. Basin B is proposed to drain to the south in a new Storm Drain along Eubank. The new storm drain would tie into the Eubank Outfall Storm Drain at the intersection of Eubank and Stephen Moody. Because the total portion of the site which drains to the west and south is significantly larger than was anticipated by the Master Drainage Plan, ponding will be required. Sufficient ponding volume to mitigate the peak flow from Basin B to the peak flow for Sub-Basin 603 anticipated by the addendum to the Master Drainage Plan will be required.

Proposed Basin A is a portion of existing Sub-Basin 603. Existing topography constraints require Basin A to drain to the north. The interim outfall for Basin A would be the existing outfall under Eubank just north of the site. The ultimate outfall for Basin A would be down the Closer East Corridor.

Proposed Basin D corresponds closely to existing Sub-Basin 701, and will drain in the same manner indicated by the Master Drainage Plan.

V. CONCLUSION
 This conceptual drainage management plan proposes concepts which are capable of safely passing the 100 year storm and which meet city requirements.

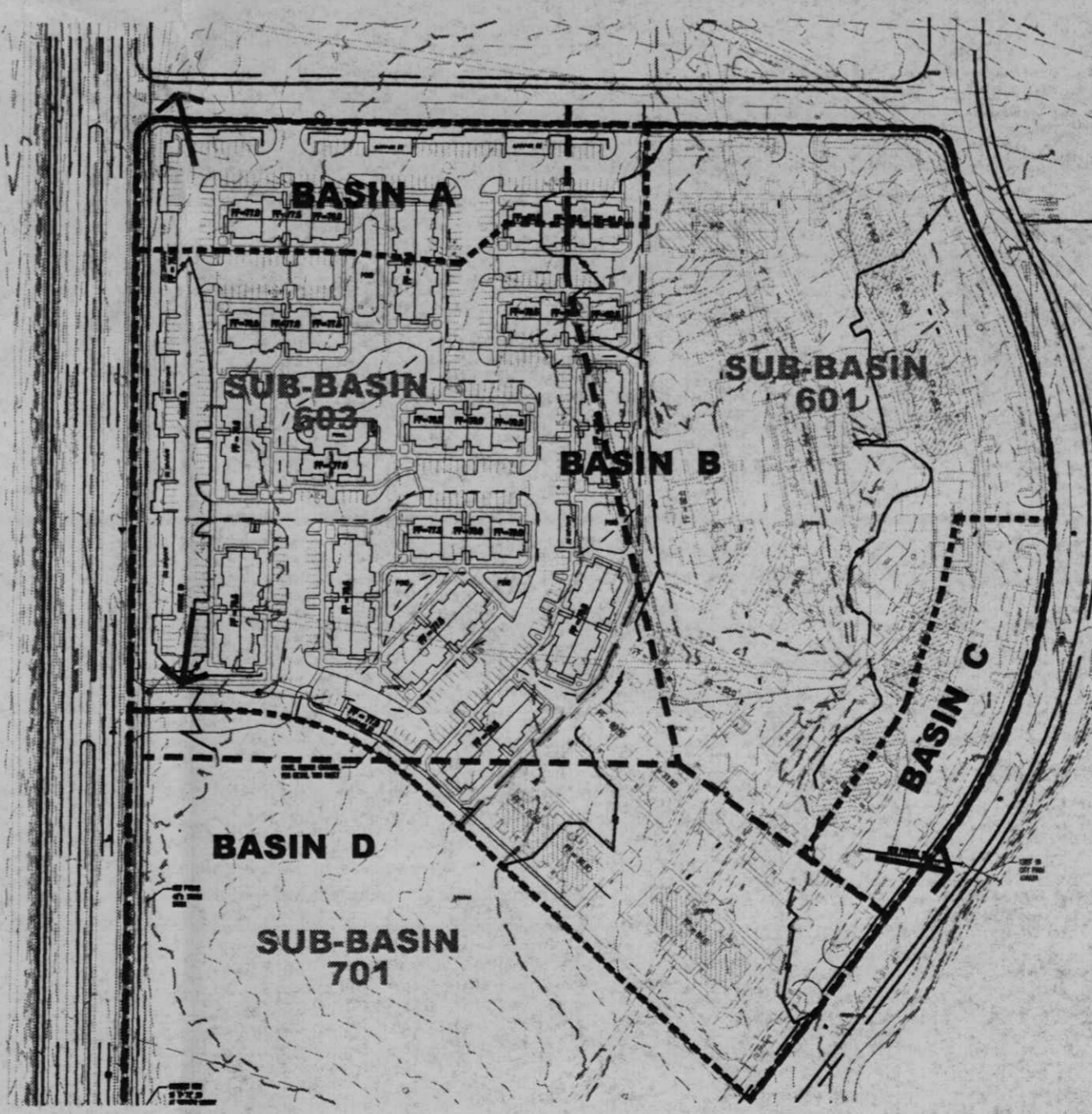


VICINITY MAP
 ZONE ATLAS MAP NO. L-21-7

LEGAL DESCRIPTION:
 TRACT G-3 OF MANZANO MESA
 WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST
 NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

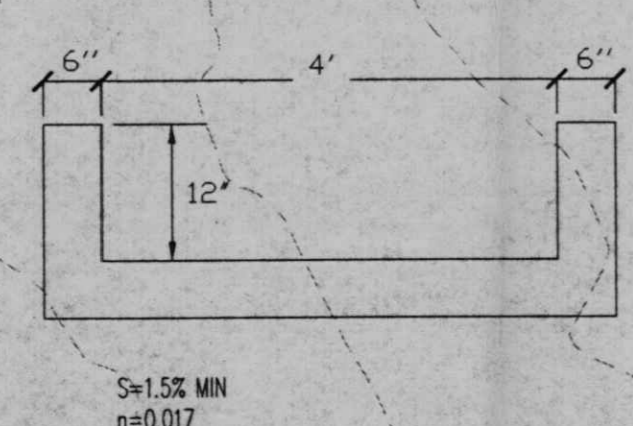
LEGEND

- PROPERTY LINE
- - - 5.301 - - - EXISTING CONTOURS
- o 5.301.15 EXISTING GROUND SPOT ELEVATION
- o EXISTING ELECTRICAL POLE
- o 65.23 PROPOSED SPOT ELEVATION
- o TO-TOP OF CURB, FL-FLOW LINE
- o TO-TOP OF WALL, SB-BOTTOM OF WALL
- o EXISTING, TO-TOP OF DRIVE
- S=2.0% --- PROPOSED DIRECTION OF FLOW
- - - 5.825 - - - PROPOSED INDEX CONTOURS
- - - PROPOSED INTER CONTOURS
- - - PROPOSED CURB & GUTTER
- o PROPOSED STORM DRAIN LINE
- o PROPOSED STORM DRAIN MANHOLE
- o PROPOSED STORM DRAIN INLET
- o EXISTING STORM DRAIN MANHOLE



BASIN MAP
 SCALE: 1"=200'

- - - EXISTING BASIN BOUNDARY PER MANZANO MESA MASTER DRAINAGE STUDY, 1996, BY SMITH ENGR.
- - - PROPOSED CONDITIONS BASINS



SU-1 for O-1 uses TRACT H
 11.279 Acres
 11.279 Acres NET

CONCEPTUAL GRADING & DRAINAGE NOTES

1. NEW PRIVATE STORM DRAIN LINES SHOWN ON THIS PLAN ARE POSSIBLE CONCEPTS ONLY. FINAL ALIGNMENTS, SIZES, ETC., WILL BE DETERMINED WHEN THE FINAL DESIGN IS DONE. ADDITIONAL ON-SITE STORM DRAIN MAY BE REQUIRED.
2. PONDS SHOWN ARE SCHEMATIC ONLY. EXACT SIZE, LOCATION, AND QUANTITY OF PONDS WILL BE DETERMINED WHEN FINAL DESIGN IS DONE.
3. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.

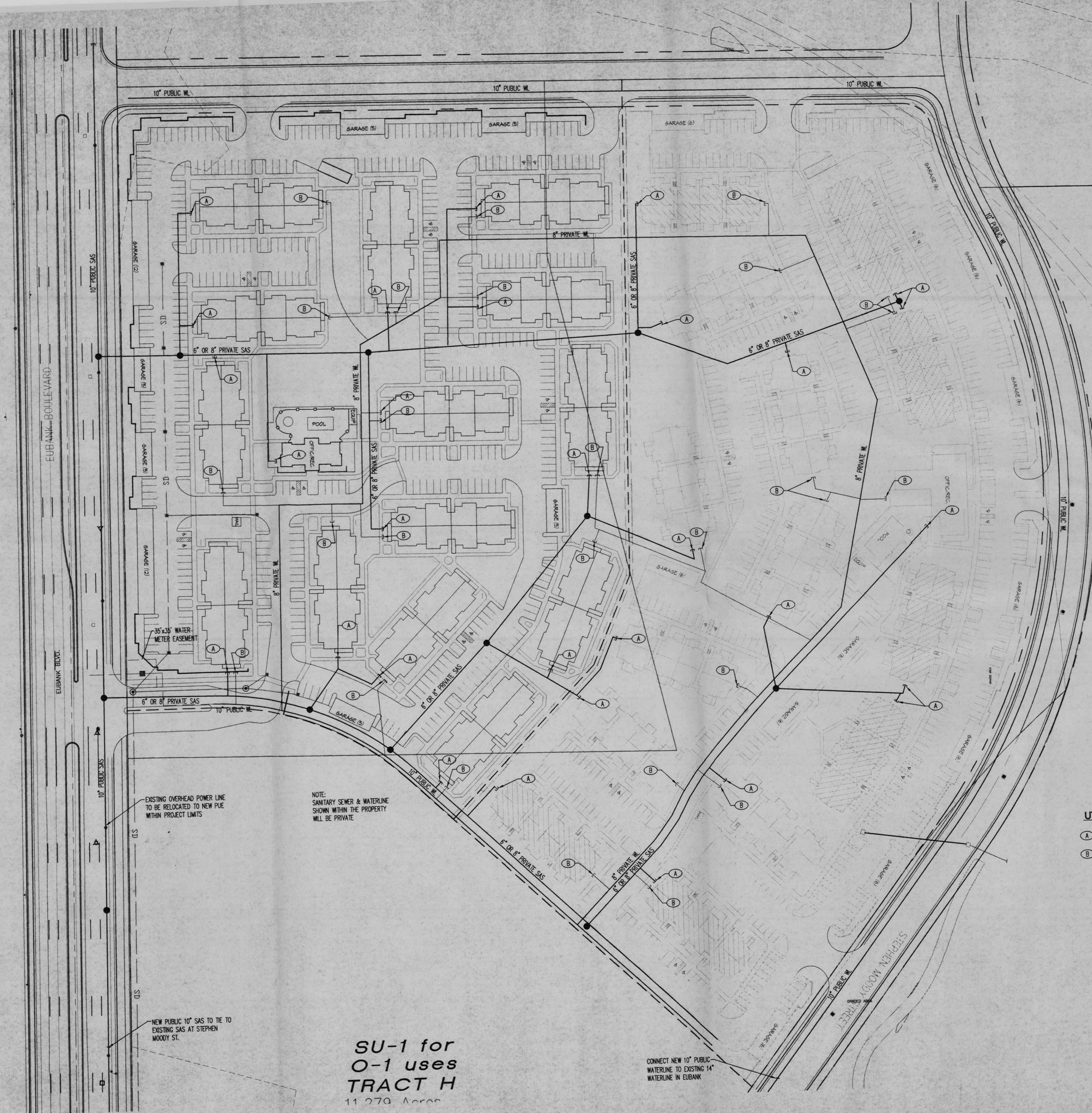
Bohannon + Huston

Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

revisions	job title MANZANO-MESA WEST EUBANK N.E. ALBUQUERQUE, NEW MEXICO 87123
PROJECT MANAGER JORGE DE LA TORRE, AIA	job no 20048
sheet title CONCEPTUAL GRADING PLAN	date 11/27/00
	by

de la torre architects, p.a.
 2400 LOUISIANA BLVD NE
 BUILDING 3 SUITE 110
 ALBUQUERQUE NM 87110 • 505-883-7948

sheet -
 of -
 START DATE 10/30/00



LEGEND

---	PROPERTY LINE
- - - -	EXISTING EASEMENT
---	EXISTING SAS
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
□	EXISTING WATER METER
○	EXISTING CAP
+	EXISTING VALVE
⊕	EXISTING FIRE HYDRANT
⊗	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN MANHOLE
□	EXISTING INLET
- - - -	PROPOSED EASEMENT
---	PROPOSED SAS
---	PROPOSED SANITARY SEWER LINE
●	PROPOSED SANITARY SEWER MANHOLE
●	PROPOSED CLEANOUT
---	PROPOSED WATER LINE
+	PROPOSED VALVE
---	PROPOSED FIRE LINE
+	PROPOSED HYDRANT
○	PROPOSED CAP
□	PROPOSED WATER METER

- UTILITY NOTES**
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
 2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
 3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
 4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
 5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
 6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
 7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
 8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSIGNMENTS.
 10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
 11. PROVIDE BOLLARDS TO PROTECT METER, AS PER PNW & UPC REQUIREMENTS.
 12. UTILITY EASEMENTS SHOWN ON CONSTRUCTION DOCUMENTS ARE A GRAPHICAL REPRESENTATION ONLY, NOT NECESSARILY RECORDED EASEMENTS. SEE PLAN FOR EXACT EASEMENT GEOMETRY.

- UTILITY KEYED NOTES**
- (A) NEW PRIVATE SANITARY SEWER SERVICE
 - (B) NEW PRIVATE WATERLINE SERVICE

EXISTING OVERHEAD POWER LINE TO BE RELOCATED TO NEW PUE WITHIN PROJECT LIMITS

NOTE: SANITARY SEWER & WATERLINE SHOWN WITHIN THE PROPERTY WILL BE PRIVATE

NEW PUBLIC 10" SAS TO TIE TO EXISTING SAS AT STEPHEN WOODY ST.

CONNECT NEW 10" PUBLIC WATERLINE TO EXISTING 14" WATERLINE IN EUBANK

SU-1 for O-1 uses TRACT H
11.279 Acres

Bohannon + Huston
 Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

revisions	job title	
	MANZANO-MESA WEST	
	EUBANK N.E.	
	ALBUQUERQUE, NEW MEXICO 87123	
PROJECT MANAGER	job no	date
JORGE DE LA TORRE AIA	20048	11/27/00
sheet title	by	
CONCEPTUAL UTILITY PLAN		

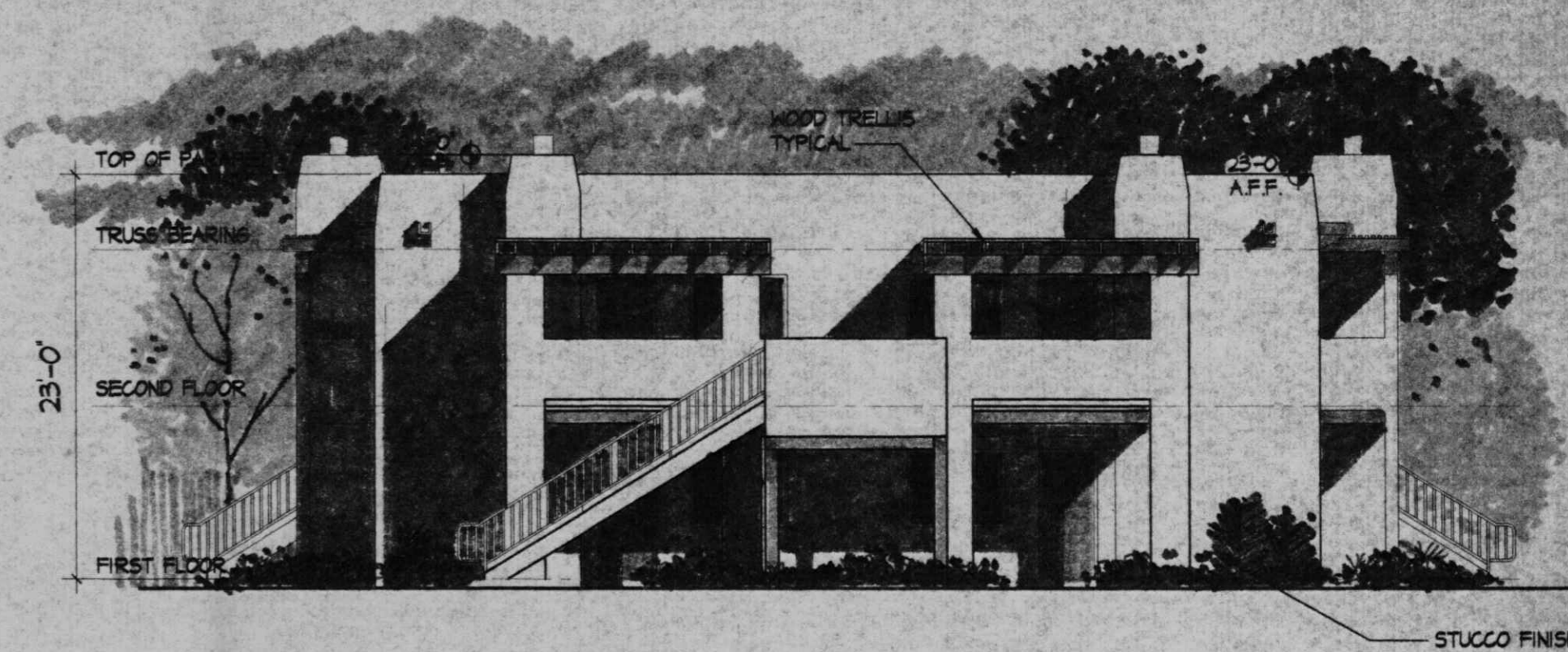
de la torre architects, p.a.
 2400 louisiana Blvd ne
 building 3/suite 110
 albuquerque nm 87110 / 505-883-7918

START DATE 10/30/00



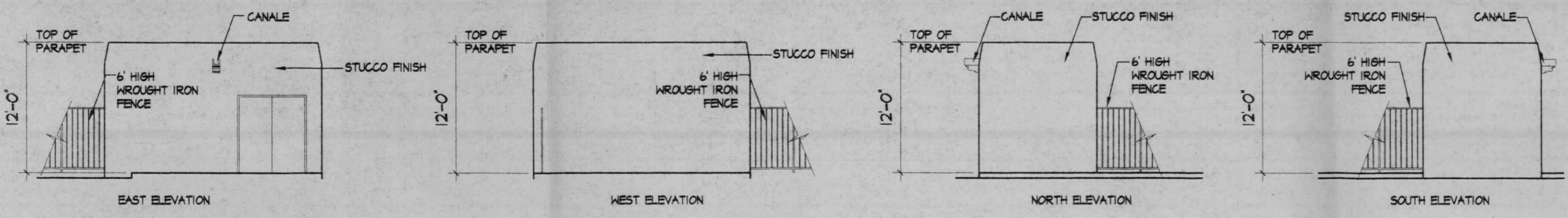
16-PLEX BUILDING FRONT ELEVATION (REAR ELEVATION SIM.)

SCALE 1/8" = 1'-0"



16-PLEX BUILDING SIDE ELEVATION

SCALE 1/8" = 1'-0"



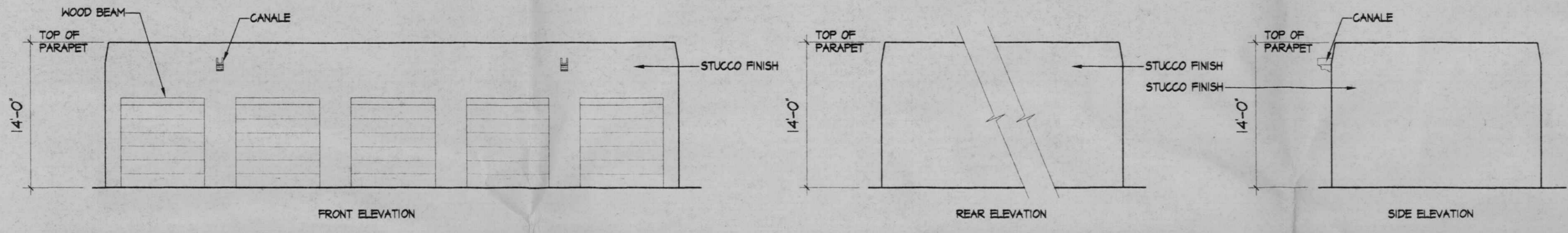
POOL EQUIPMENT ROOM

SCALE 1/8" = 1'-0"



EAST ELEVATION

SCALE 1/8" = 1'-0"

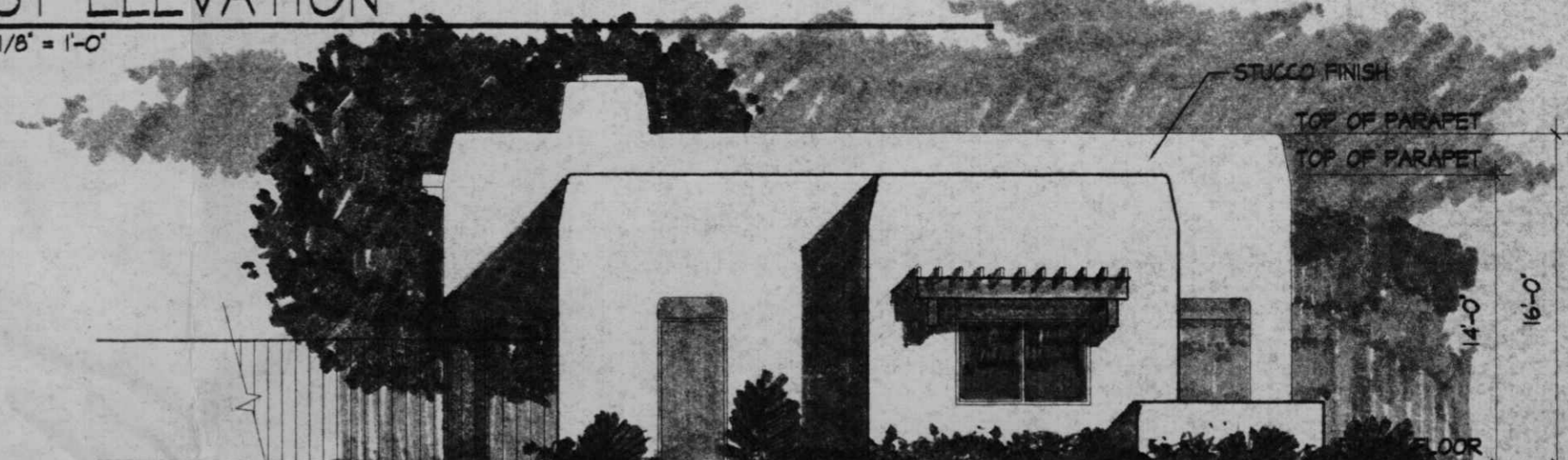


GARAGE (5 CAR)

SCALE 1/8" = 1'-0"

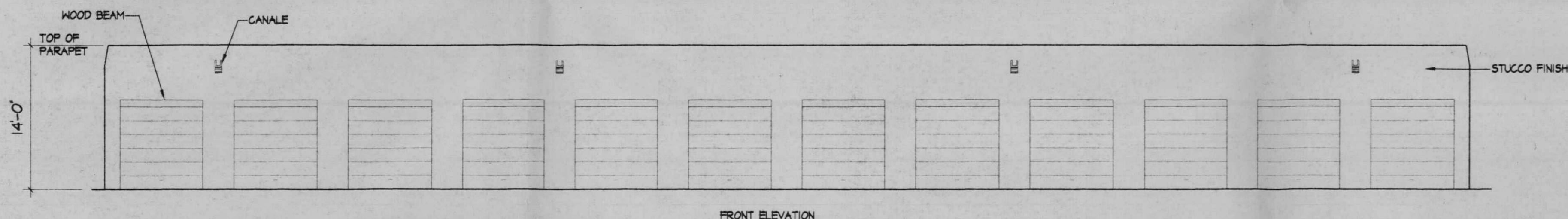
GARAGE ELEVATIONS (5 & 12 CAR)

SCALE 1/8" = 1'-0"



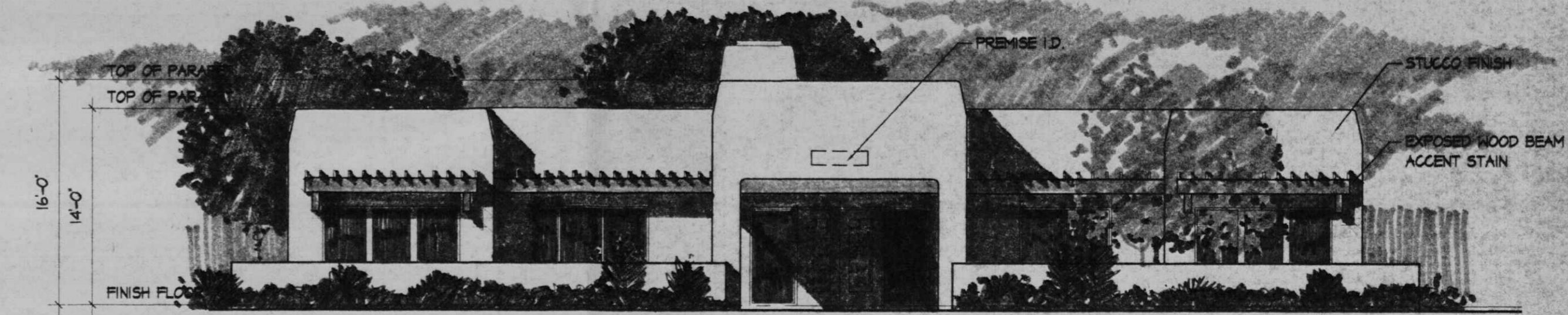
WEST ELEVATION

SCALE 1/8" = 1'-0"



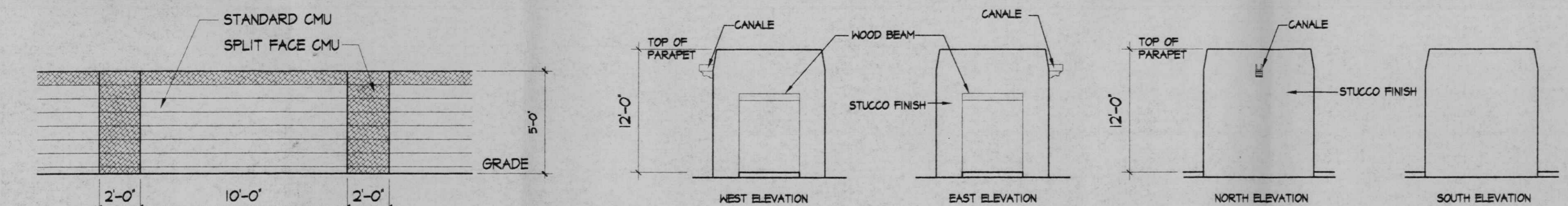
GARAGE (12 CAR)

SCALE 1/8" = 1'-0"



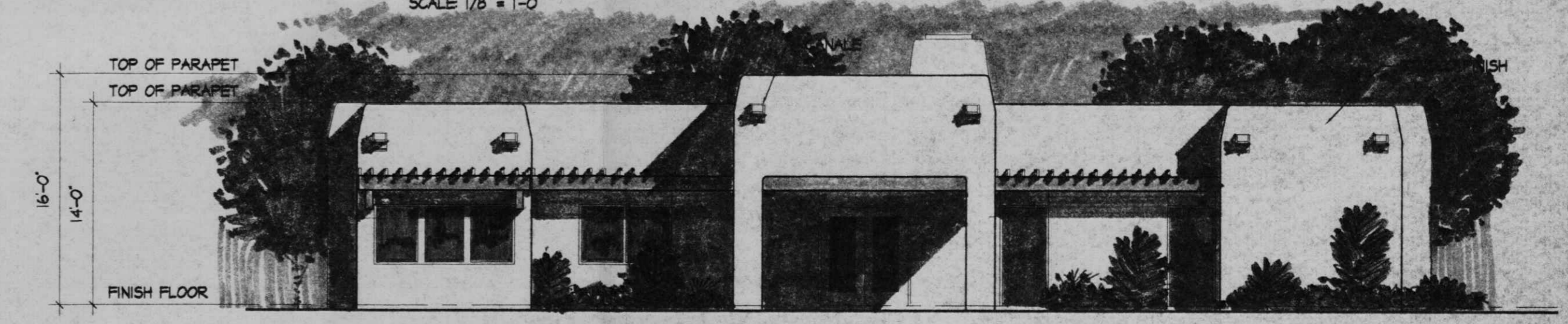
SOUTH ELEVATION

SCALE 1/8" = 1'-0"



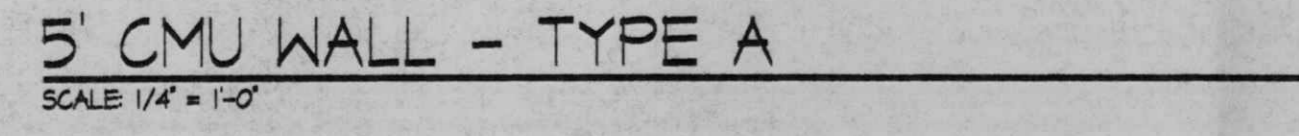
MAIL ENCLOSURE ELEVATION

SCALE 1/8" = 1'-0"



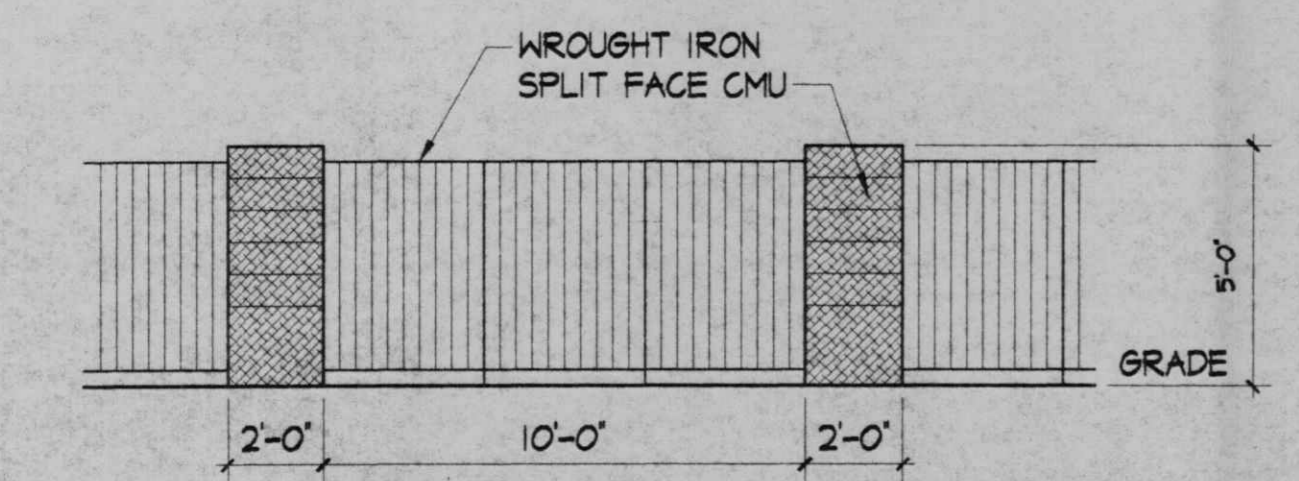
NORTH ELEVATION

SCALE 1/8" = 1'-0"



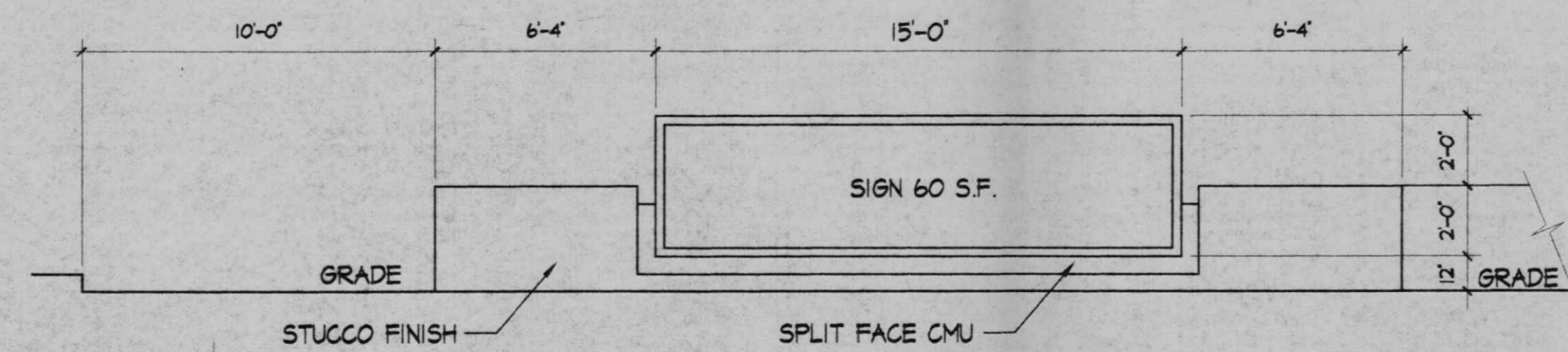
5' CMU WALL - TYPE A

SCALE 1/4" = 1'-0"



5' CMU AND WROUGHT IRON WALL - TYPE B

SCALE 1/4" = 1'-0"



MONUMENT SIGN

SCALE 1/4" = 1'-0"

OFFICE/REC. ELEVATIONS

GENERAL NOTES:

STUCCO FINISH
THERE WILL BE 3 DIFFERENT COLORS TO BE USED THROUGHOUT THE PROJECT. THESE COLORS WILL BE LIGHT BEIGE, MEDIUM BEIGE, AND DARK BEIGE.

EXPOSED WOOD
ALL EXPOSED WOOD WILL BE STAINED W/ COMPLEMENTARY COLORS.

AREA LIGHTING, INCLUDING PARKING, AND WALKS, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.W. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 100 FOOTLAMBERTS AND IT SHALL NOT HAVE ANY OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

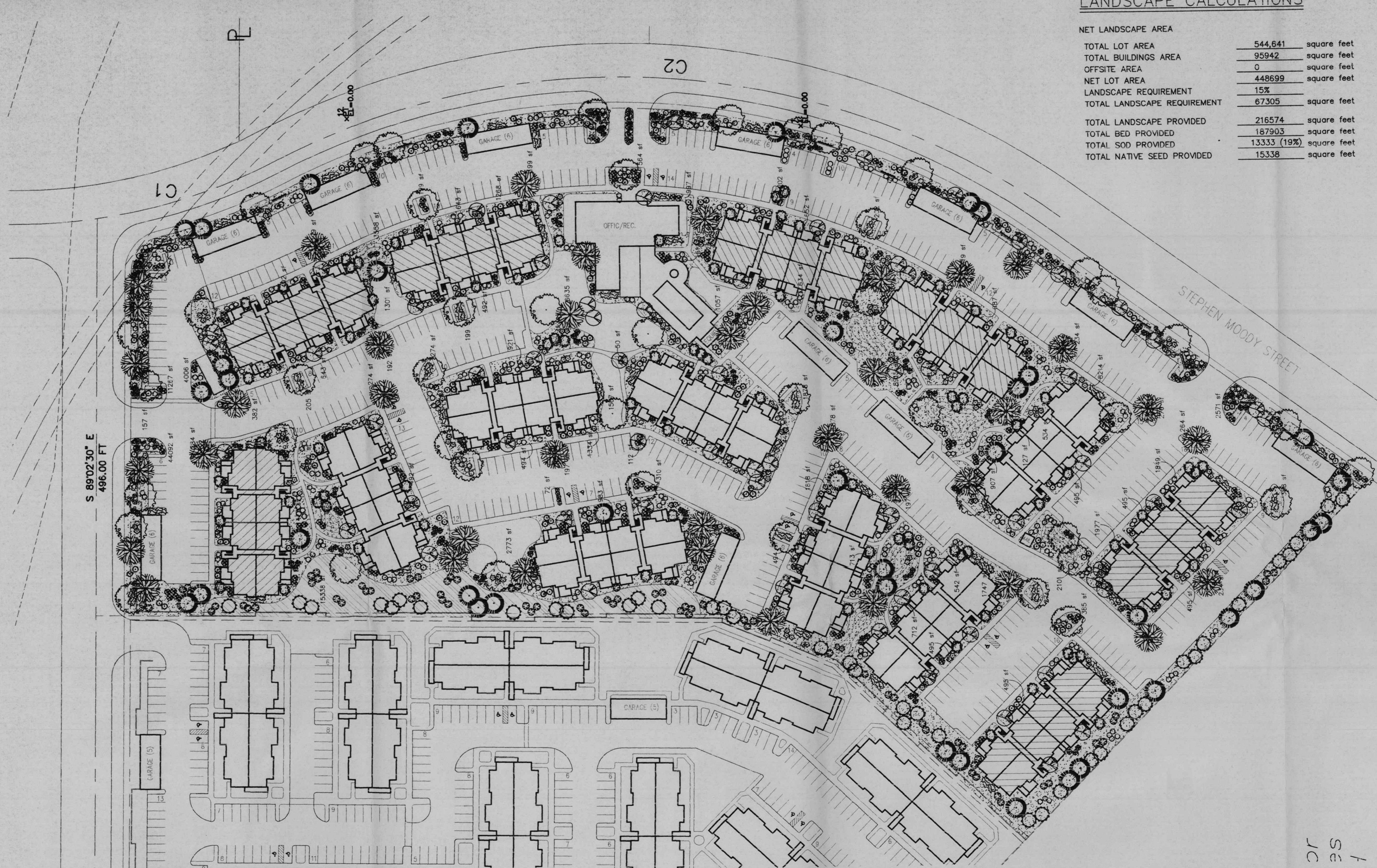
revisions	job title MANZANO MESA WEST		
	EUBANK NE	job no	date
	ALBUQUERQUE, NEW MEXICO 87123	20048	11/18/00
	PROJECT MANAGER	sheet title	
	JORGE DE LA TORRE AIA	EXTERIOR ELEVATIONS	

de la torre architects, p.a. aia
2400 louisiana blvd ne
building 3 suite 110
albuquerque n.m. 87110 / 505-863-7918

sheet
5
of

START DATE 11/18/00

File: C:\Users\jtorre\Documents\Manzano Mesa West\11-18-00\11-18-00.dwg



LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA		
TOTAL LOT AREA	544,641	square feet
TOTAL BUILDINGS AREA	95,942	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	448,699	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	67,305	square feet
TOTAL LANDSCAPE PROVIDED		
TOTAL BED PROVIDED	216,574	square feet
TOTAL SOD PROVIDED	167,903	square feet
TOTAL SOD PROVIDED	13,333 (19%)	square feet
TOTAL NATIVE SEED PROVIDED	15,338	square feet

PLANT LEGEND

- SHADE TREE 46
RAYWOOD ASH (H)
Fraxinus oxycarpa raywood
- ARIZONA ASH (H)
Fraxinus velutina
2" Cal
- SHADE TREE 39
THORNLESS HONEYLOCUST
Gleditsia triacanthos 'inermis'
2" Cal
- FLOWERING PEAR (H) 66
Pyrus calleryana
1 1/2" Cal
- NEW MEXICO OLIVE/WASHINGTON HAWTHORN(M)86
Forestiera neomexicana
Crataegus phaeocorymum
15 Gal.
- DESERT WILLOW (L) 40
Chilopsis linearis
15 Gal.
- AUSTRIAN PINE (H) 39
Pinus nigra
6"-8"
- SILVERBERRY (M) 101
Elaeagnus pungens
5 Gal.
- INDIAN HAWTHORN (M) 218
Raphiolepis indica
5 Gal.
- RUSSIAN SAGE (M) 185
Perovskia atriplicifolia
5 Gal.
- APACHE PLUME (L) 196
Fallugia paradoxa
5 Gal.
- AUTUMN SAGE (M) 236
Salvia greggii
2" Gal.
- PROSTRATE ROSEMARY (M) 166
Romarinus officinalis
5 gal
- CHAMISA (L) 75
Chrysothamnus nauseosus
1 Gal.
- WILDFLOWER 67
1 Gal.
- TAM JUNIPER (M) 195
Juniperus sabin
5 Gal.
- BOSTON IVY 42
Parthenocissus tricuspidata
- OVERSIZED GRAVEL & BOULDERS
- 3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC
- SOD
- CRIMP STRAW NATIVE SEED
- COMMERCIAL GRADE STEEL EDGING
- POP-UP SPRINKLER HEADS

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

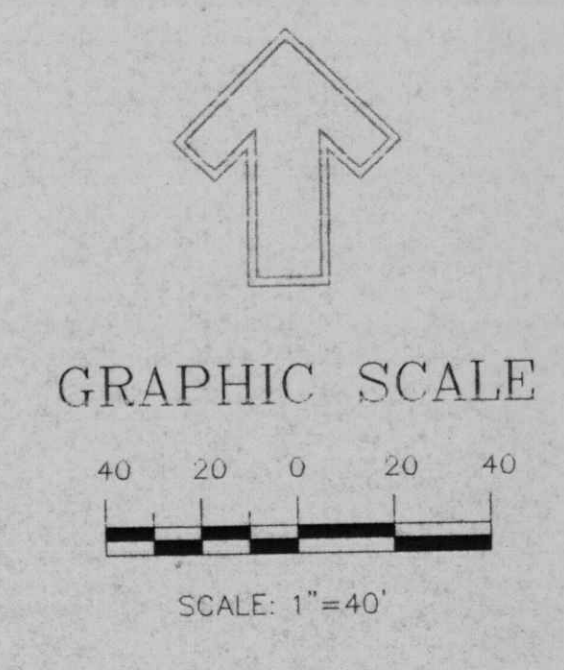
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Total number of trees on site as required by The City Of Albuquerque are as follows:

Number of 1st story apartment units: 112
Number of 2nd story apartment units: 56
Number of trees to reach 25' at maturity required: 168
Number of trees to reach 25' at maturity provided: 316



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
t@hilltoplandscaping.com

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revisions	job title MANZANO-MESA APTS. EUBANK N.E. ALBUQUERQUE, NEW MEXICO 87123
PROJECT MANAGER JORGE DE LA TORRE, AIA	job no 20048
sheet title	date 11/1/00
	by

de la torre architects, p.a. aia
2400 louisiana blvd n.e
building 3 - suite 110
albuquerque n.m. 87110 • 505-883-7915

sheet
2
of



CONCEPTUAL DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
The purpose of this submission is to present a conceptual drainage plan for the Manzano Mesa Apartments. The site contains approximately 238 acres. The project must go through the EPC for zone change approval and site plan approval. Due to the preliminary nature of this submission, quantitative drainage calculations are not provided, only general drainage concepts are discussed.

II. SITE LOCATION
The site is located on the east side of Eubank south of Southern. In its current condition, the majority of the site is undeveloped, portions of the site have been graded at some point in the past. The site currently drains to the west at a slope of just under 2%. The site is located within zone atlas map #21, and hydrologic zone 3.

III. EXISTING HYDROLOGIC CONDITIONS
Both the existing basins and proposed basins are shown on the Basin map included on this sheet. A pending addendum to the existing Manzano Mesa Master Drainage Study (1996, Smith Engineering) identifies the site as basins 603, 603, and 701. The tract boundaries from the original study do not match the current platting for the area, hence the city requested that Smith Engineering provide an addendum to modify the study to match the current tract lines. The addendum indicates that Sub-basin 603 should drain to the east to the Manzano Mesa Park Pond. Basins 603 and 701 drain to the south and west.

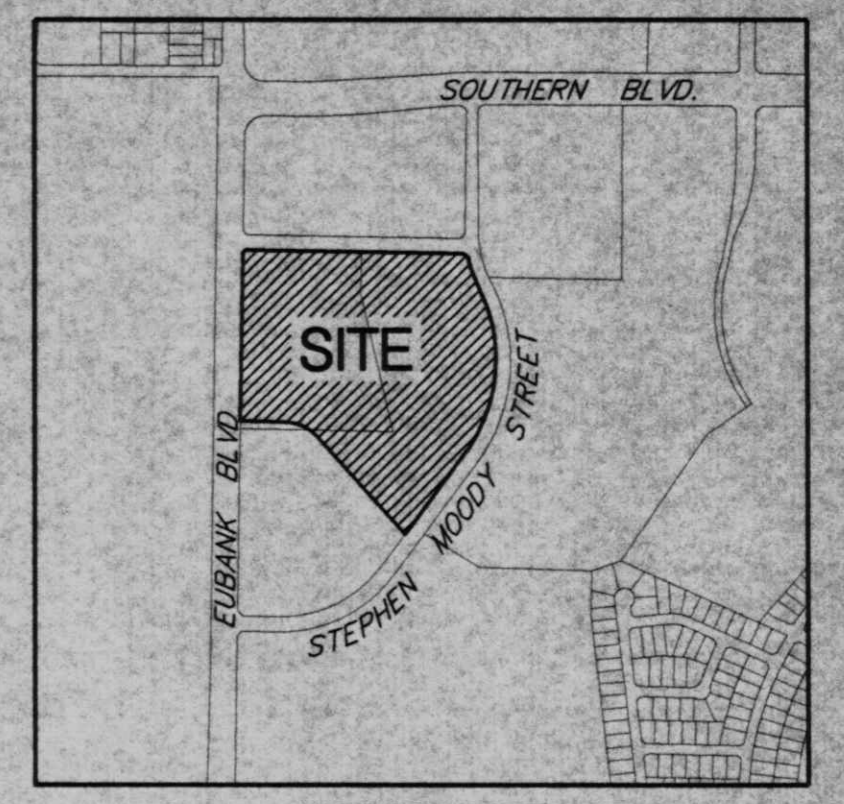
IV. PROPOSED HYDROLOGIC CONDITIONS
As the basin map on this sheet indicates, existing Sub-Basins 603, 603, and 701 are divided into Basins A, B, C, and D under proposed conditions. Specifically, Sub-Basin 603 is divided into Basins B and C. Due to the constraints imposed by the site topography, only a small portion of existing Sub-Basin 603 (proposed Basin C) can drain to the Manzano Mesa Park Pond. The remaining portion of the basin must drain to the west.

Proposed Basin B also contains most of Sub-Basin 603. Basin B is proposed to drain to the south in a new Storm Drain along Eubank. The new storm drain would tie into the Tijeras Outfall Storm Drain at the intersection of Eubank and Stephen Woody. Because the total portion of the site which drains to the west and south is significantly larger than was anticipated by the Master Drainage Plan, ponding will be required. Sufficient ponding volume to mitigate the peak flow from Basin B to the peak flow for Sub-Basin 603 anticipated by the addendum to the Master Drainage Plan will be required.

Proposed Basin A is a portion of existing Sub-Basin 603. Existing topography constraints require Basin A to drain to the north. The interim outfall for Basin A would be the existing culvert under Eubank just north of the site. The ultimate outfall for Basin A would be down the Gibson East Corridor.

Proposed Basin D corresponds closely to existing Sub-Basin 701, and will drain in the same manner indicated by the Master Drainage Plan.

V. CONCLUSION
This conceptual drainage management plan proposes concepts which are capable of safely passing the 100 year storm and which meet city requirements.

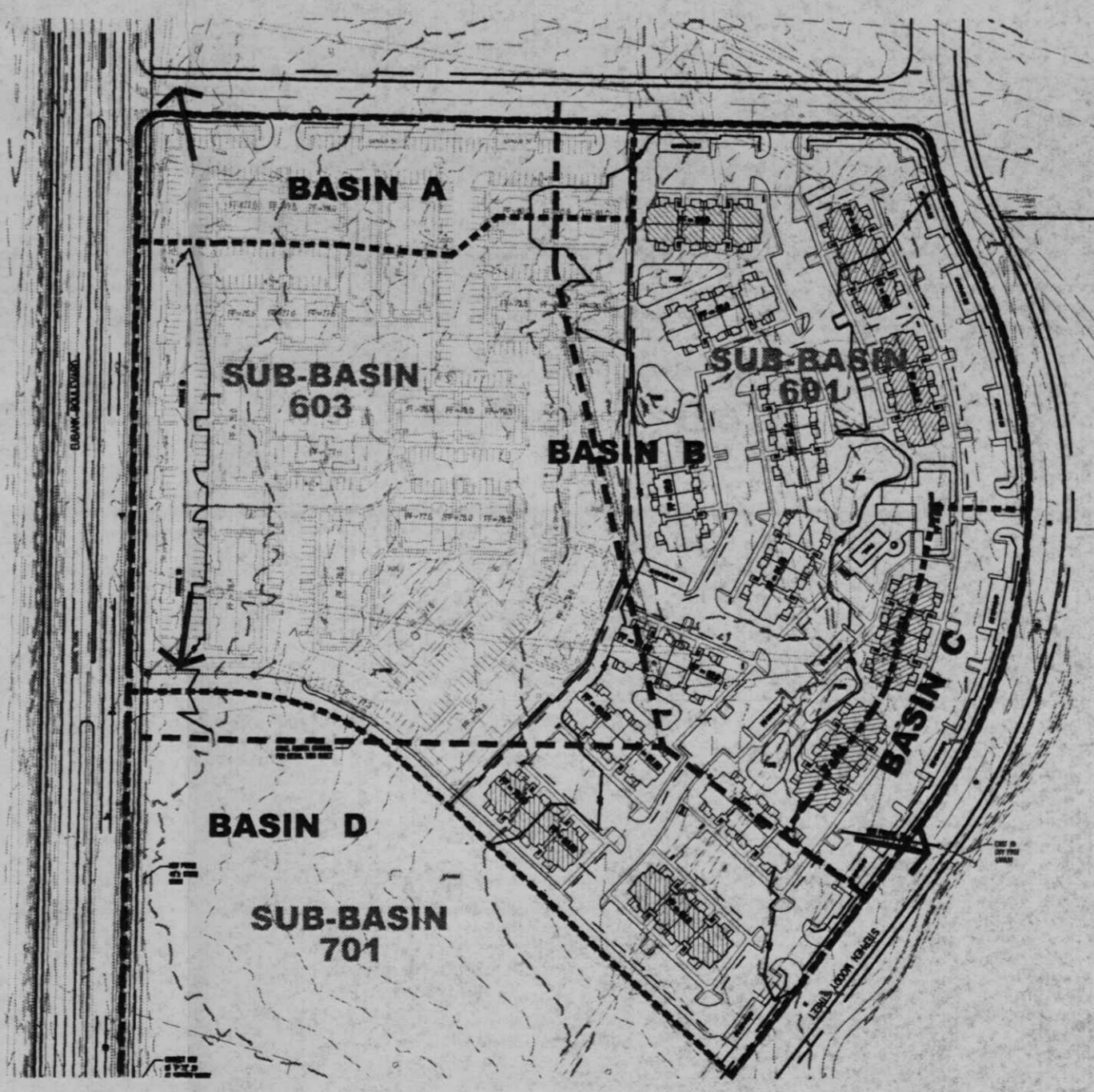


VICINITY MAP
ZONE ATLAS MAP NO. L-21-7

LEGAL DESCRIPTION:
TRACT C-3 OF MANZANO MESA
WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST
NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

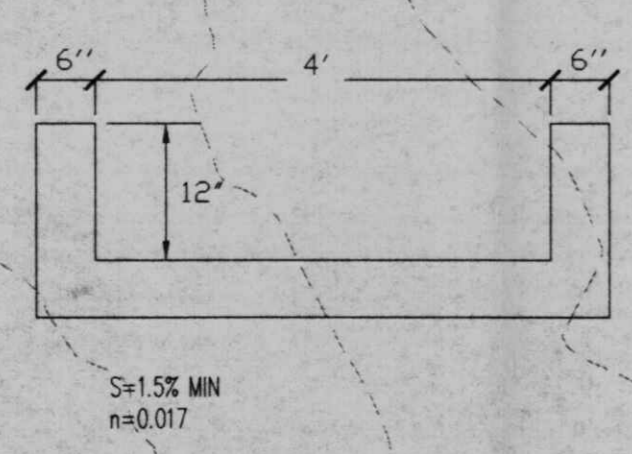
LEGEND

- PROPERTY LINE
- - - - 5.301 --- EXISTING CONTOURS
- o 5.301.15 --- EXISTING GROUND SPOT ELEVATION
- o --- EXISTING ELECTRICAL POLE
- o 65.23 --- PROPOSED SPOT ELEVATION
- TO-TOP OF CURB, FL-FLOW LINE
- TO-TOP OF WALL, BW-BOTTOM OF WALL
- EX-EXISTING, TO-TOP OF GRADE
- S=2.0% --- PROPOSED DIRECTION OF FLOW
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- SD --- PROPOSED STORM DRAIN LINE
- o --- PROPOSED STORM DRAIN MANHOLE
- o --- PROPOSED STORM DRAIN INLET
- o --- EXISTING STORM DRAIN MANHOLE



BASIN MAP
SCALE: 1"=200'

--- EXISTING BASIN BOUNDARY PER MANZANO MESA MASTER DRAINAGE STUDY, 1996, BY SMITH ENGR.
--- PROPOSED CONDITIONS BASINS



SU-1 for O-1 uses TRACT H
11.279 Acres
11.279 Acres NET

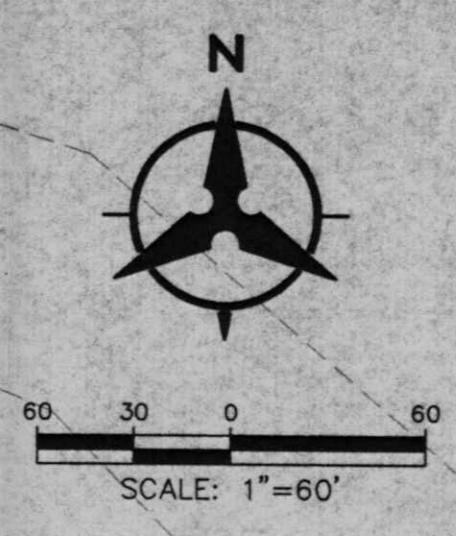
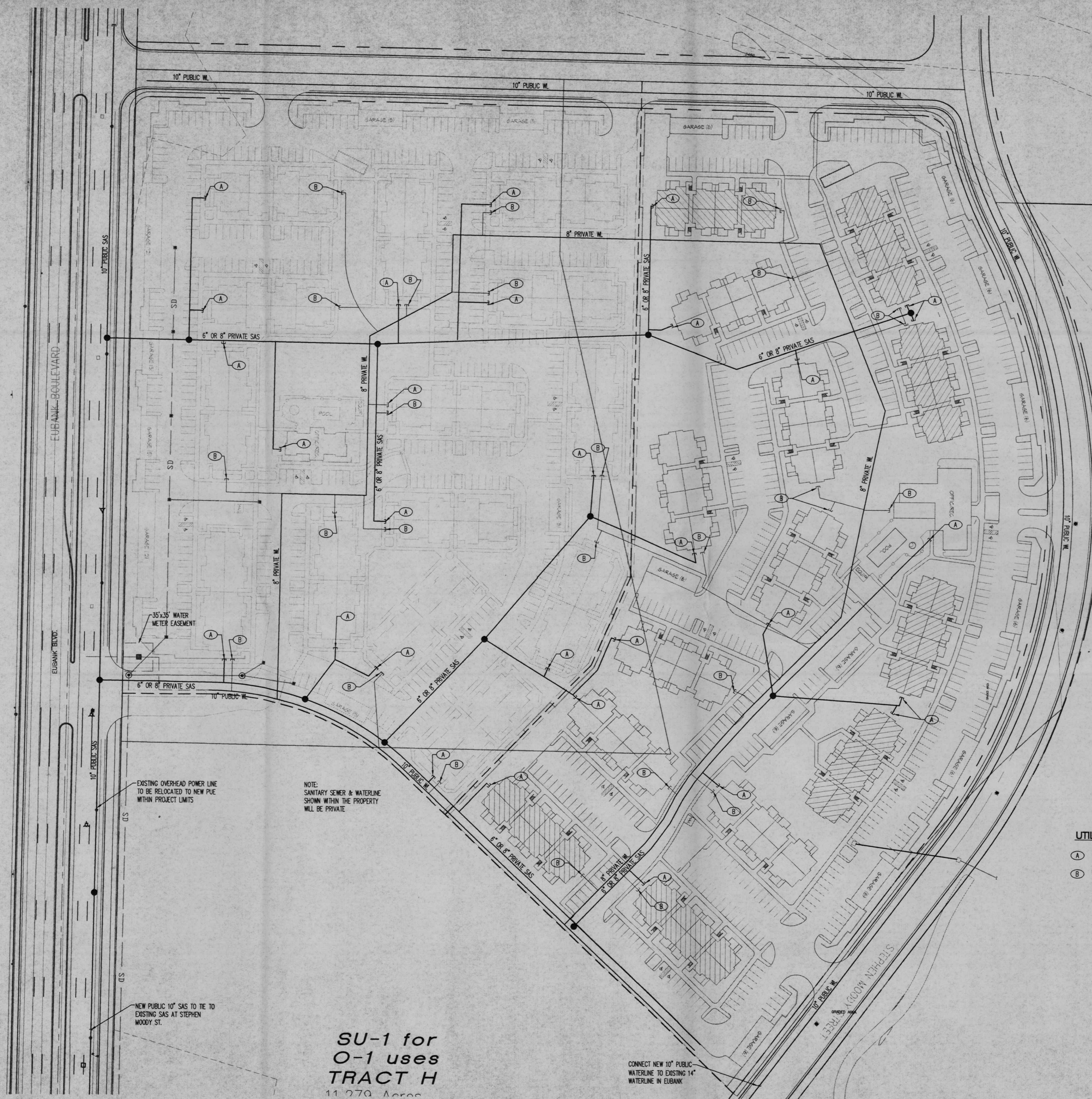
CONCEPTUAL GRADING & DRAINAGE NOTES

1. NEW PRIVATE STORM DRAIN LINES SHOWN ON THIS PLAN ARE POSSIBLE CONCEPTS ONLY. FINAL ALIGNMENTS, SIZES, ETC., WILL BE DETERMINED WHEN THE FINAL DESIGN IS DONE. ADDITIONAL ON-SITE STORM DRAIN MAY BE NEEDED.
2. PONDS SHOWN ARE SCHEMATIC ONLY. EXACT SIZE, LOCATION, AND QUANTITY OF PONDS WILL BE DETERMINED WHEN FINAL DESIGN IS DONE.
3. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.

revisions	job title	MANZANO-MESA EAST	
	job no	ALBUQUERQUE, NEW MEXICO 87123	
	PROJECT MANAGER	JORGE DE LA TORRE, AIA	date 11/27/00
	sheet title	CONCEPTUAL GRADING PLAN	

de la torre architects, p.a. llc
2400 louisiana blvd n.e.
building 3 - suite 110
albuquerque n.m. 87110 • 505.883.7918

Bohannon • Huston
Courtney One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



LEGEND

---	PROPERTY LINE
- - - -	EXISTING EASEMENT
---	SAS
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
□	EXISTING WATER METER
□	EXISTING CAP
□	EXISTING VALVE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING SANITARY SEWER MANHOLE
⊕	EXISTING STORM DRAIN MANHOLE
⊕	EXISTING INLET
- - - -	PROPOSED EASEMENT
---	SAS
●	PROPOSED SANITARY SEWER MANHOLE
○	PROPOSED CLEANOUT
---	PROPOSED WATER LINE
---	PROPOSED VALVE
---	PROPOSED FIRE LINE
⊕	PROPOSED HYDRANT
□	PROPOSED CAP
□	PROPOSED WATER METER

UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF PERSON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. PROVIDE BOLLARDS TO PROTECT METER, AS PER PFM & UPC REQUIREMENTS.
12. UTILITY EASEMENTS SHOWN ON CONSTRUCTION DOCUMENTS ARE A GRAPHICAL REPRESENTATION ONLY; NOT NECESSARILY RECORDED EASEMENTS. SEE PLAN FOR EXACT EASEMENT GEOMETRY.

UTILITY KEYED NOTES

- (A) NEW PRIVATE SANITARY SEWER SERVICE
- (B) NEW PRIVATE WATERLINE SERVICE

EXISTING OVERHEAD POWER LINE TO BE RELOCATED TO NEW PUE WITHIN PROJECT LIMITS

NOTE: SANITARY SEWER & WATERLINE SHOWN WITHIN THE PROPERTY WILL BE PRIVATE

NEW PUBLIC 10" SAS TO TIE TO EXISTING SAS AT STEPHEN WOODY ST.

CONNECT NEW 10" PUBLIC WATERLINE TO EXISTING 14" WATERLINE IN EUBANK

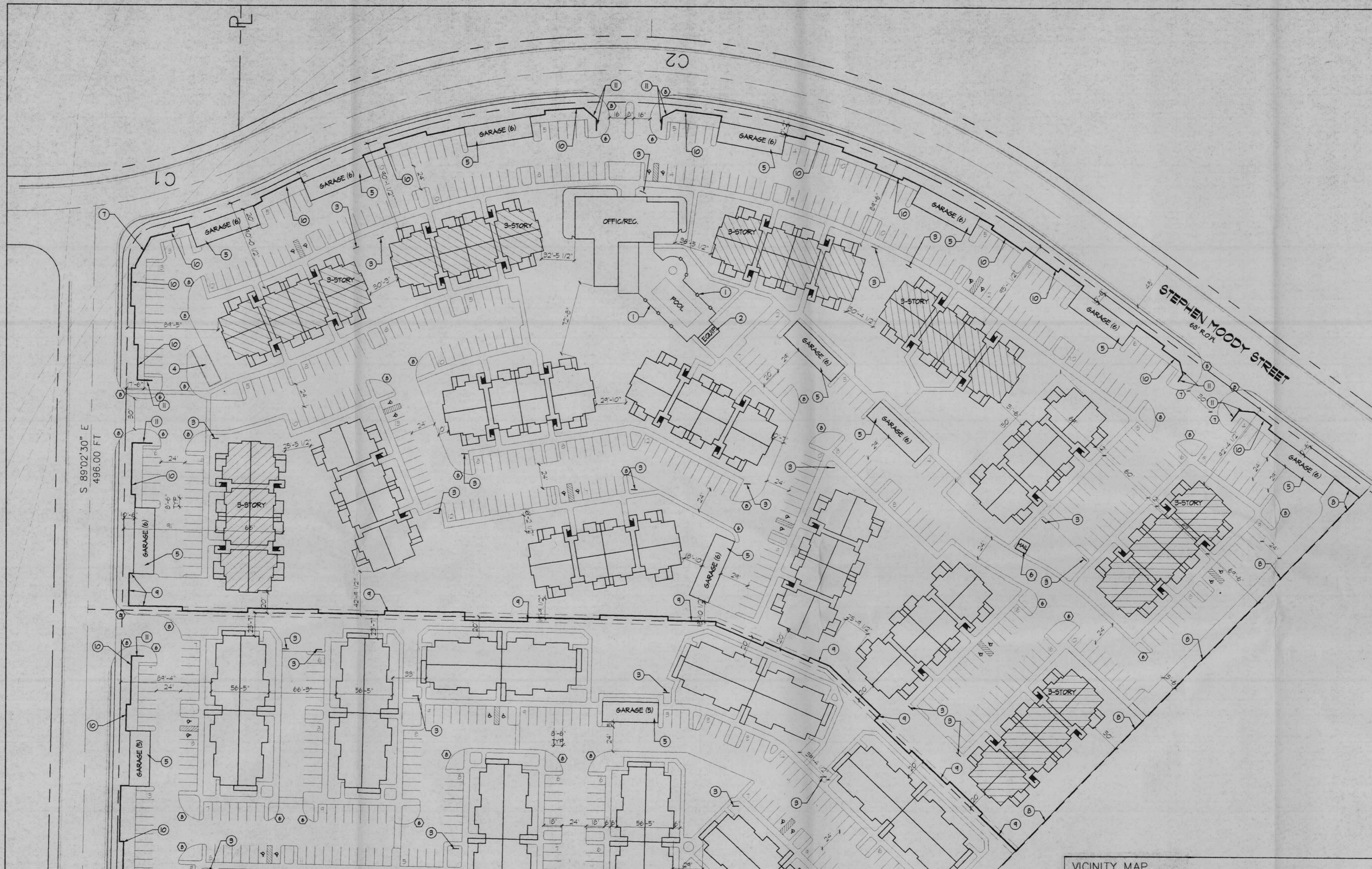
SU-1 for O-1 uses TRACT H
11,279 Acres

Bohannon - Huston
 Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

revisions	job title
	MANZANO-MESA EAST
	EUBANK NE
	ALBUQUERQUE, NEW MEXICO 87123
PROJECT MANAGER	job no
JORGE DE LA TORRE AIA	20048
date	11/27/00
sheet title	by
CONCEPTUAL UTILITY PLAN	

de la torre architects, p.a. aia
 2400 louisiana blvd ne
 building 3, suite 110
 albuquerque nm 87110-505-883-7918

START DATE 10/30/00



- ### KEYED NOTES
- 6' HIGH MOUNTED IRON FENCE AROUND POOL
 - 10'X20' POOL EQUIPMENT ROOM TYPICAL
 - BICYCLE RACK - SEE DETAIL (1 SPACE PER 2 DWELLING UNITS PROVIDED)
 - TRASH COMPACTOR ENCLOSURE
 - GARAGE ENCLOSURE 20' DEEP X 11' WIDE PER NUMBER OF SPACES INDICATED
 - 11'X11' MAILBOX ENCLOSURE
 - MONUMENT SIGN MOUNTED ON SITE MALL
 - SITE MALL TYPE 'A' SEE ELEVATIONS
 - SITE MALL TYPE 'B' SEE ELEVATIONS
 - 3' TALL CMU SITE MALL
 - 4' TALL CMU SITE MALL

PROJECT INFORMATION

LOCATION: EUBANK NE BETWEEN STEPHEN MOODY ST. AND SOUTHERN BLVD.
 DEVELOPER: GSL PROPERTIES INC.
 LEGAL DESCRIPTION: TRACT 6-B OF MANZANO MESA WITHIN SECTION 28, TOWNSHIP 10 NORTH RANGE 4 EAST NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

CURRENT ZONING: SU-1 FOR R-2
 PROPOSED: SAME
 TOTAL ACREAGE: 28.60 ACRES
 ZONING ATLAS PAGE: L-21-Z
 UPC #: 102105406415930301

MANZANO MESA WEST

OFFICE/REG. PARKING REQ'D. (2400 S.F. OFFICE/REG. BUILDING)	12
APARTMENT PARKING REQ'D. (UNITS 224 = 50% 1 BDR. + 50% 2 BDR.)	342
PARKING REQUIRED (TOTAL) (12 H.C. REQUIRED)	404
OPEN PARKING	381
GARAGE PARKING	54
TOTAL PROVIDED (INC. 14 H.C.)	435
NOTE: TYPICAL PARKING SPACE = 0.5' X 10'	
NET SITE AREA	482,544.13 (11.08)
BLDG'S	14 @ 16 DU = 224
BUILDING AREA: (INCLUDES OVERHANGS AND BALCONIES)	
GROUND FLOOR 1004 PER BUILDING (14) = 14,056 S.F.	
SECOND FLOOR 1004 PER BUILDING (14) = 14,056 S.F.	
TOTAL = 146,112 S.F.	

MANZANO MESA EAST

OFFICE/REG. PARKING REQ'D. (5194 S.F. OFFICE/REG. BUILDING)	26
APARTMENT PARKING REQ'D. (UNITS 280 = 50% 1 BDR. + 50% 2 BDR.)	440
PARKING REQUIRED (TOTAL) (16 H.C. REQUIRED)	502
OPEN PARKING	450
GARAGE PARKING	66
TOTAL PROVIDED (INC. 16 H.C.)	516
NOTE: TYPICAL PARKING SPACE = 0.5' X 10'	
NET AREA	545,414.51 (12.52)
BLDG'S	7 @ 24 DU = 168
7 @ 16 DU = 112	
TOTAL DUS = 280	
BUILDING AREA: (INCLUDES OVERHANGS AND BALCONIES)	
GROUND FLOOR 8365 PER BUILDING (14) = 117,110 S.F.	
SECOND FLOOR 8365 PER BUILDING (14) = 117,110 S.F.	
THIRD FLOOR 8365 PER BUILDING (7) = 58,555 S.F.	
TOTAL = 292,775 S.F.	

RADIUS LEGEND

① 1' RADIUS	④ 5' RADIUS	⑦ 20' RADIUS	⑩ 50' RADIUS
② 2' RADIUS	⑤ 10' RADIUS	⑧ 25' RADIUS	⑪ 100' RADIUS
③ 3' RADIUS	⑥ 15' RADIUS	⑨ 35' RADIUS	⑫ 150' RADIUS

CASE NUMBER: Z - _____

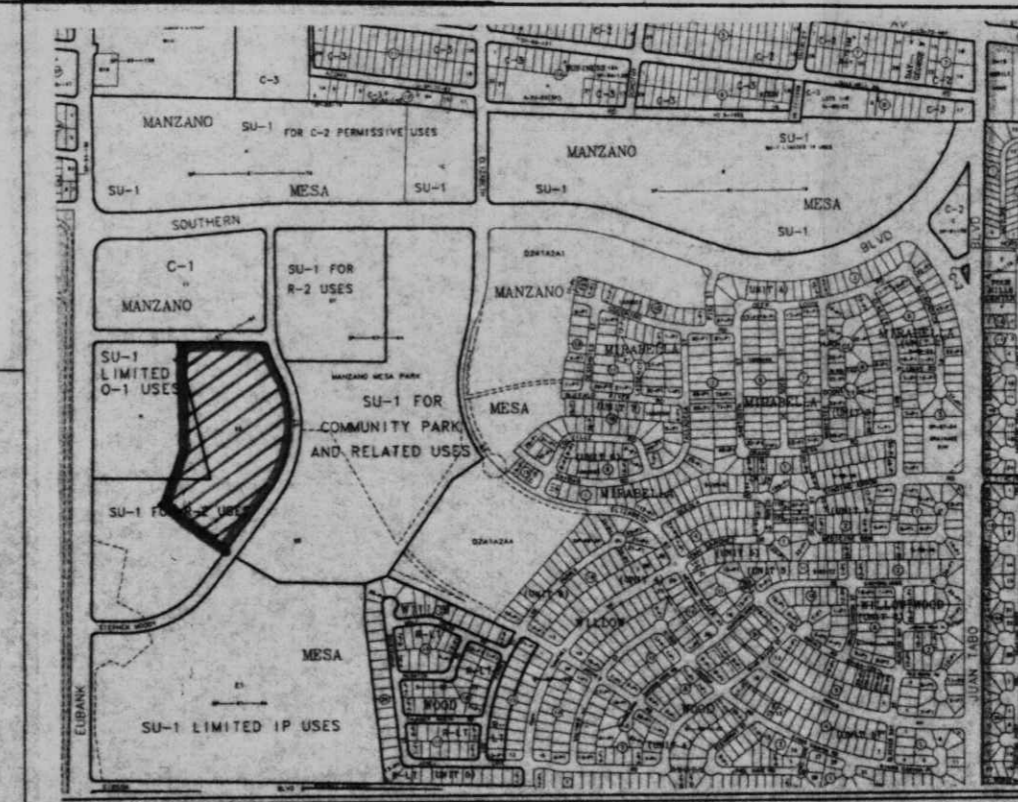
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON _____ AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

SITE DEVELOPMENT PLAN

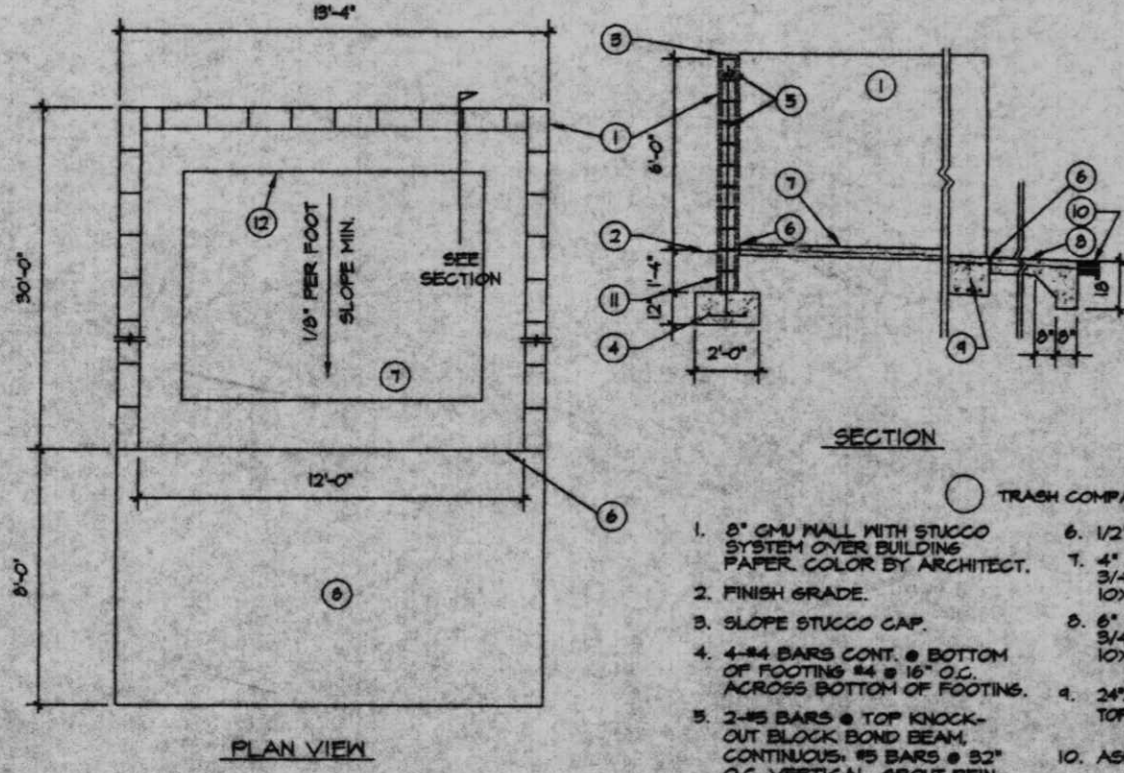
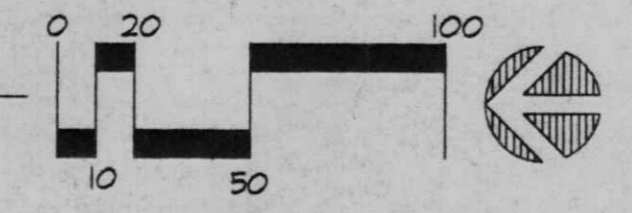
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION AMAFCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	
CITY PLANNER, ALBUQUERQUE	DATE

SIGNATURE BLOCK

VICINITY MAP



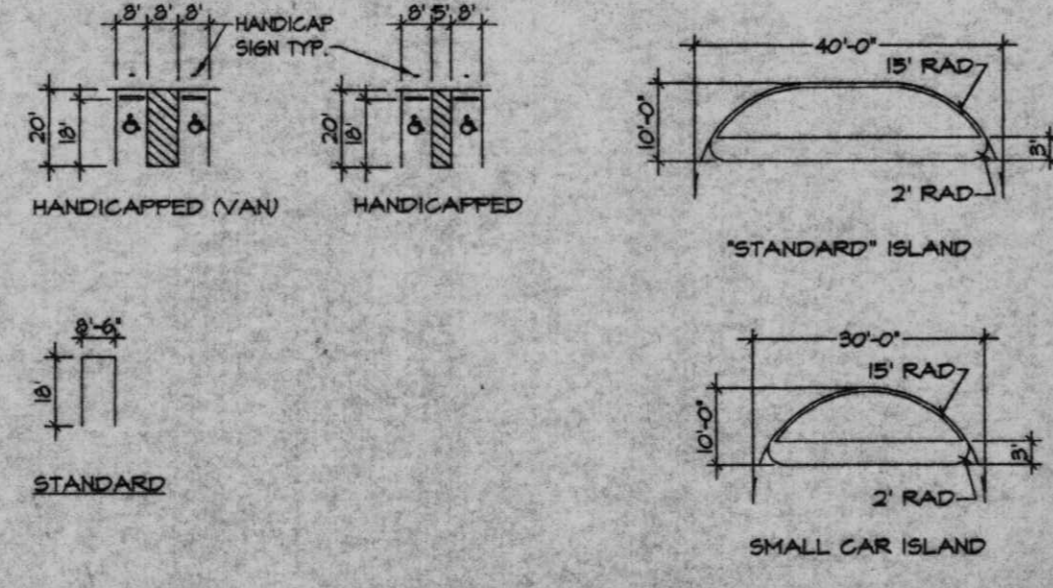
SITE PLAN SCALE: 1"=50'



TRASH COMPACTOR SCALE: 1/4" = 1'-0"

- ### TRASH COMPACTOR KEYED NOTES
- 2" CHU WALL WITH STRUCCO BUTTER COVER BUILDING PAPER, COLOR BY ARCHITECT.
 - FRESH GRADE.
 - SLOPE STRUCCO CAP.
 - 4x4 BARS CONT. @ BOTTOM OF FOOTING 4x @ 18" O.C. ALONG BOTTOM OF FOOTING.
 - 3x6 BARS @ TOP 3x6x6x6x4 BUT BLOCK BARS BEAM CONTRACTOR TO BARS @ 32" O.C. VERTICAL. SHOULDER REINFORCED CELLS. DURAMALL @ 18" O.C. HORIZONTAL.
 - 12" ANGLE IRON ABUT. STOP BY COMPACTOR INSTALLER. REIN. SLAB BY CONC. TELL AS PER MANUFACTURER REQS.
 - 1/2" EXPANSION JOINT MATERIAL.
 - 4" CONCRETE SLAB 8000 PSI 3/4" REINFORCING WITH 3/8" 10x10 WIRE.
 - 6" CONCRETE AREA BELOW 5/8" SOLID PERM. W/ THROUGH EDGE.
 - 2x4x4" DEEP INSULATED SLAB W/ 3" @ TOP & BOTTOM CONT.
 - ASPHALT PAVING.
 - GRROUT ALL CELLS SOLID BELOW GRADE. TYPICAL.

PARKING TYPES & ISLAND DETAILS



LEGEND:

- METAL FENCE
- CHAIN LINK FENCE
- SANITARY SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- OVERHEAD ELECTRIC LINE
- STREET LIGHT
- POWER POLE
- ANCHOR
- EXISTING LOT LIGHT (BASE ONLY) TO BE REMOVED
- △ TRAFFIC LIGHT
- TRAFFIC SIGNAL OR PULLBOX
- ◇ NEW POLE LIGHT
- GAS VALVE
- WATERLINE
- SAS— SANITARY SEWER LINE
- SD— STORM SEWER LINE
- SIGN

revisions	Job Title MANZANO MESA EAST EUBANK N.E. ALBUQUERQUE, NEW MEXICO 87123	DATE 11/18/00
	PROJECT MANAGER JORGE DE LA TORRE AIA	DATE 20048
	SHEET TITLE SITE PLAN FOR BUILDING PERMIT	BY NAP

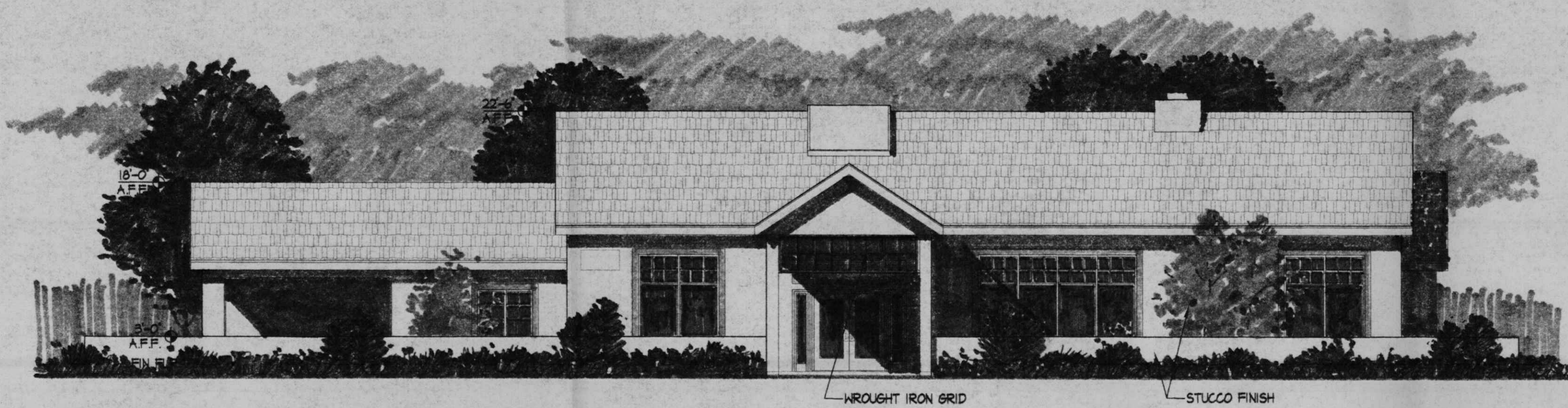
de la torre architects, p.a. llc
 2400 LOUISIANA BLVD NE
 BUILDING 3 SUITE 110
 ALBUQUERQUE NM 87110 / 505-883-7918

STATE OF NEW MEXICO
 JORGE DE LA TORRE
 NO. 680
 11-22-00
 REGISTERED ARCHITECT

Zone Atlas Page
L-21-Z
 No. 1004 through 10.000

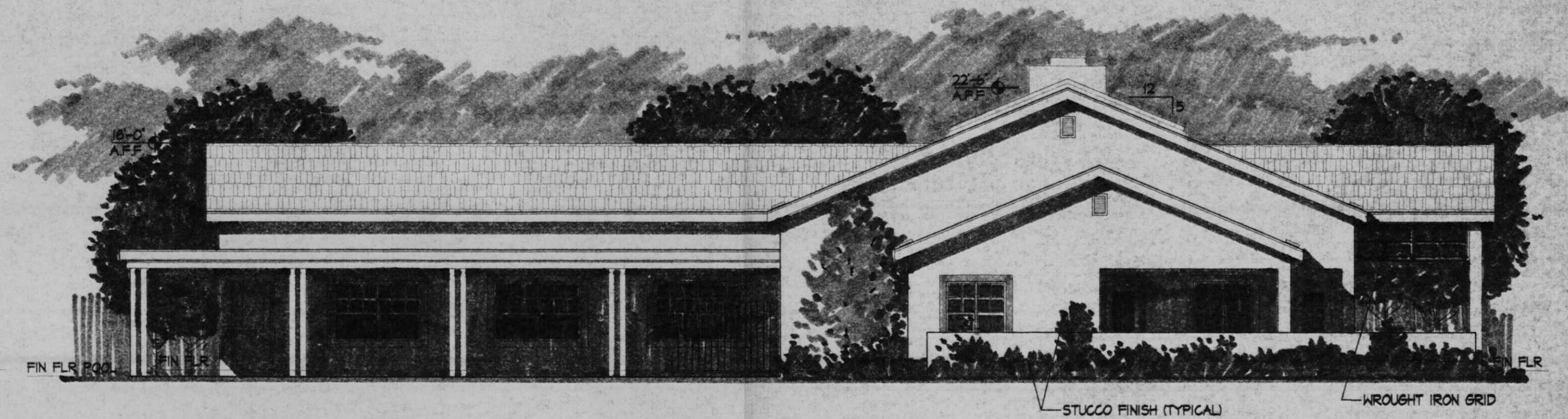
sheet - **1** of -

START DATE 10/30/00



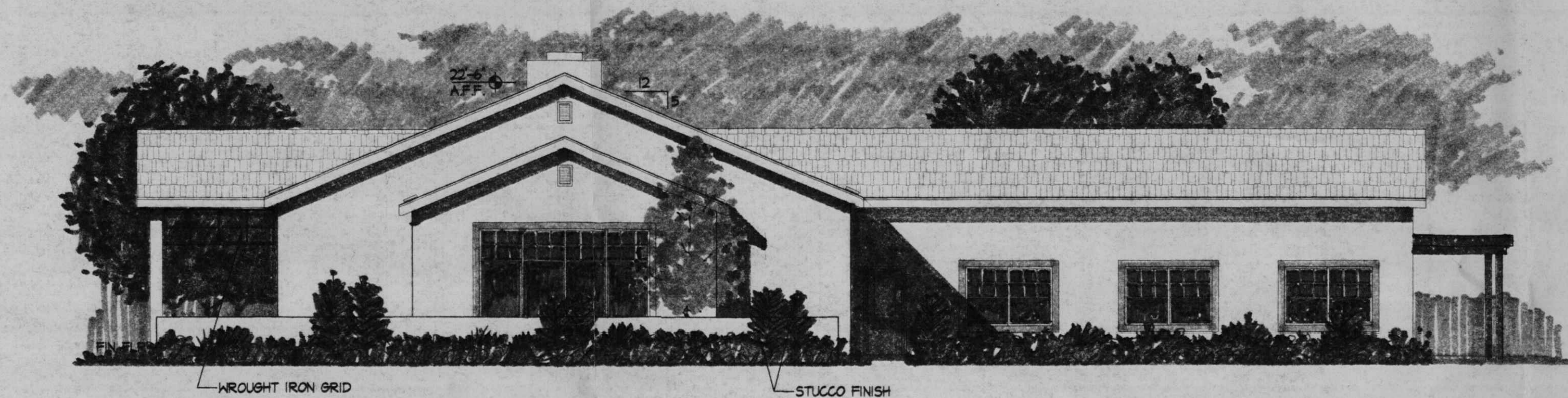
EAST ELEVATION

SCALE 1/8" = 1'-0"



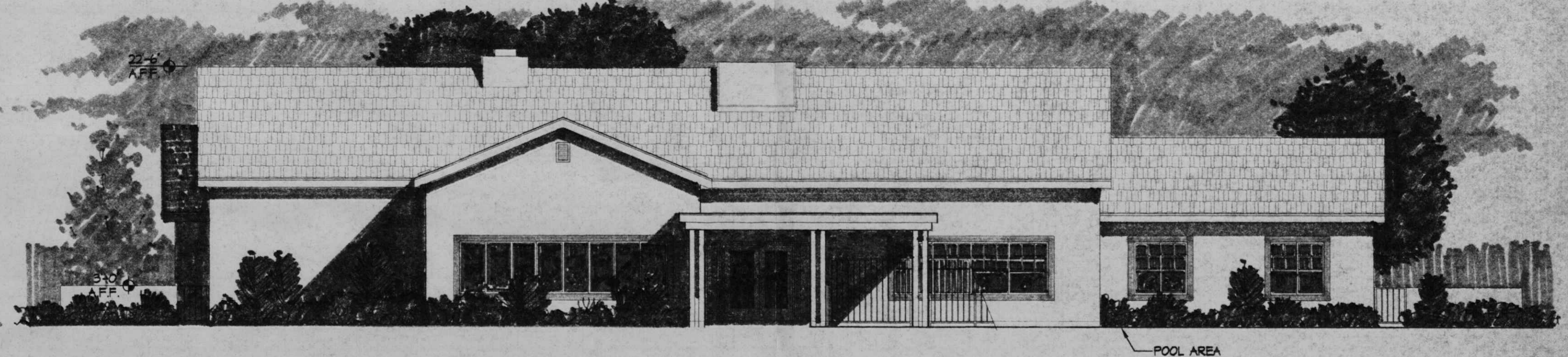
SOUTH ELEVATION

SCALE 1/8" = 1'-0"



NORTH ELEVATION

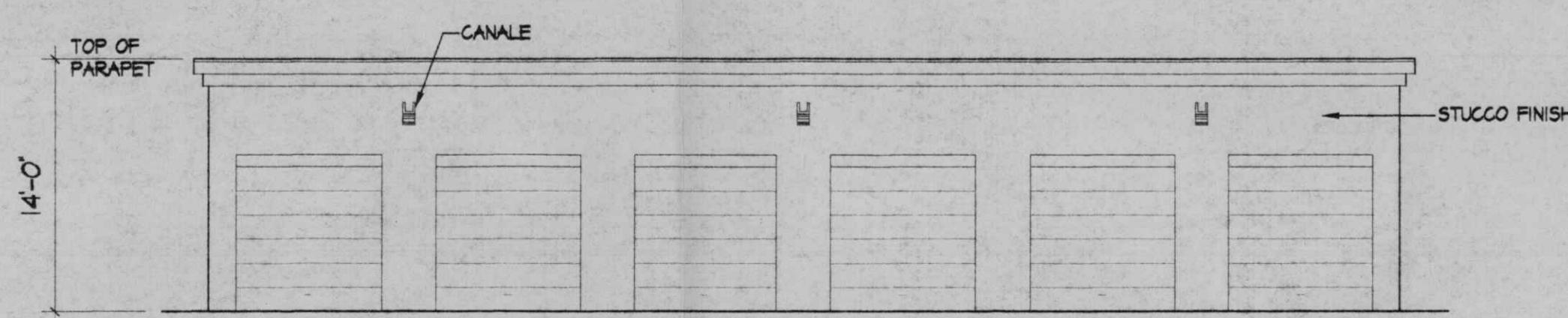
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WEST ELEVATION

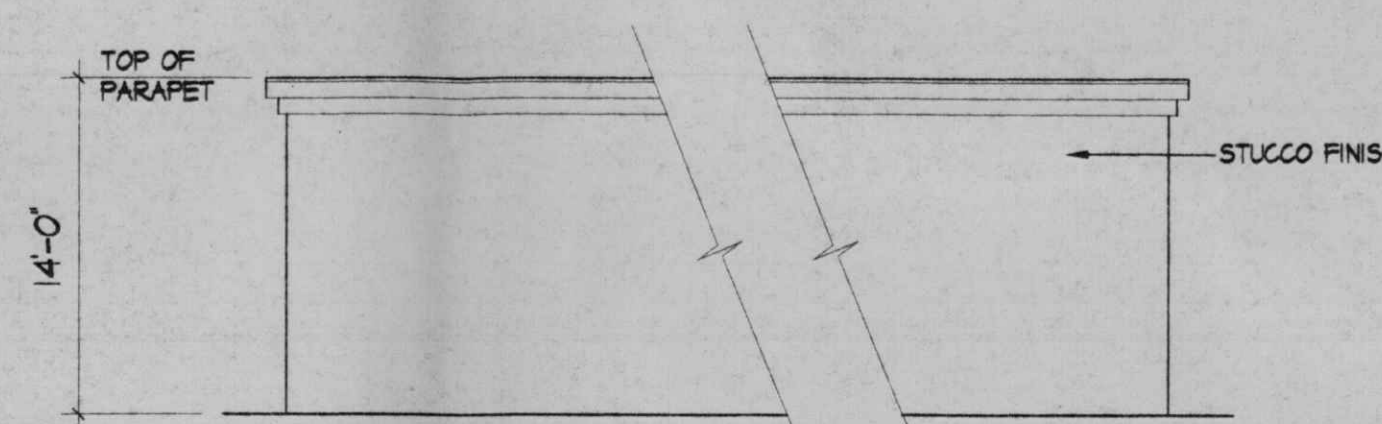
SCALE 1/8" = 1'-0"

OFFICE/REC. ELEVATIONS



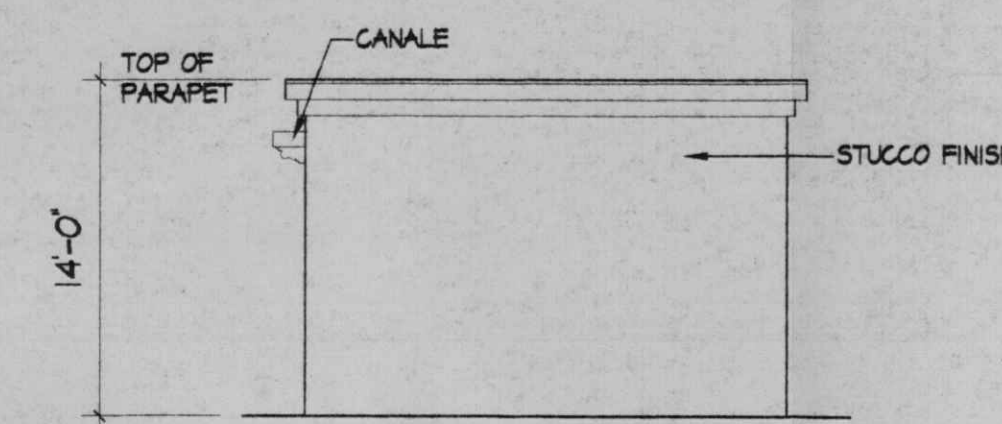
GARAGE FRONT ELEVATION

SCALE 1/8" = 1'-0"



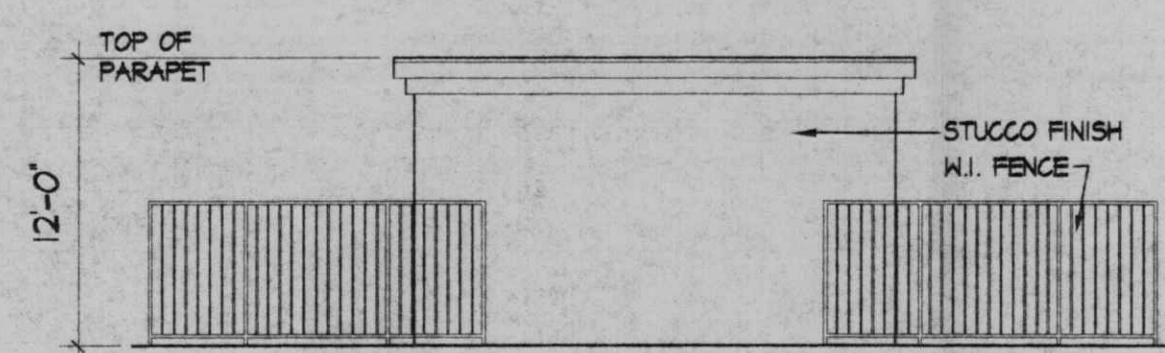
GARAGE REAR ELEVATION

SCALE 1/8" = 1'-0"



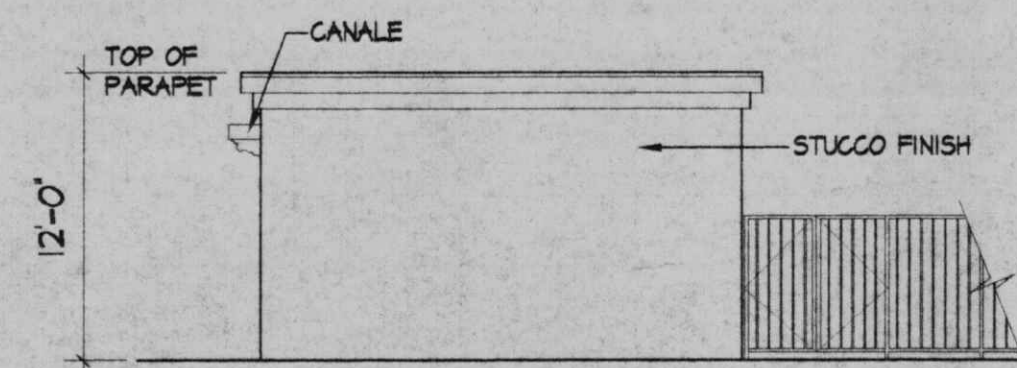
GARAGE SIDE ELEVATION

SCALE 1/8" = 1'-0"



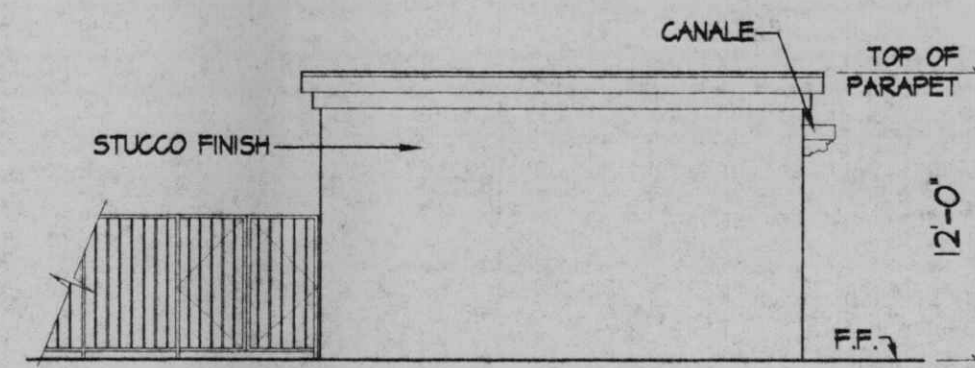
POOL EQUIPMENT NORTH ELEVATION

SCALE 1/8" = 1'-0"



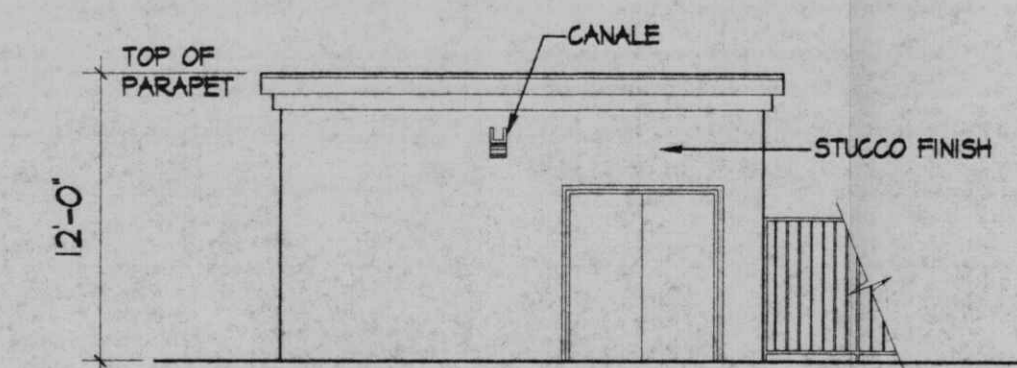
POOL EQUIPMENT EAST ELEVATION

SCALE 1/8" = 1'-0"



POOL EQUIPMENT WEST ELEVATION

SCALE 1/8" = 1'-0"



POOL EQUIPMENT SOUTH ELEVATION

SCALE 1/8" = 1'-0"

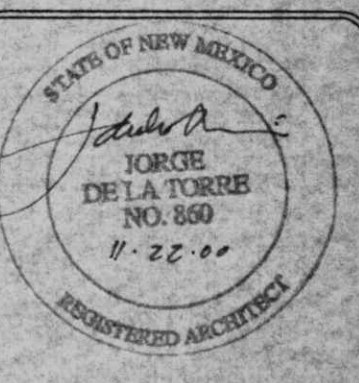
GENERAL NOTES:

STUCCO FINISH
THERE WILL BE 3 DIFFERENT COLORS TO BE USED
THROUGHOUT THE PROJECT.
THESE COLORS WILL BE LIGHT BEIGE, MEDIUM BEIGE, AND
DARK BEIGE.

EXPOSED WOOD
ALL EXPOSED WOOD WILL BE STAINED W/ COMPLEMENTARY
COLORS.

AREA LIGHTING, INCLUDING PARKING, AND WALKS, SHALL BE
ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE
TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT
DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.W. IT SHALL NOT
HAVE AN OFFSITE LUMINANCE GREATER THAN 100 FOOT-CANDERELS
AND IT SHALL NOT HAVE ANY OFFSITE LUMINANCE GREATER THAN
200 FOOT-CANDERELS MEASURED FROM ANY PRIVATE PROPERTY
IN A RESIDENTIAL ZONE.

revisions	job title MANZANO MESA EAST		
	EUBANK NE ALBUQUERQUE, NEW MEXICO 87123		
	PROJECT MANAGER	job no	date
	JORGE DE LA TORRE, AIA	20048	11/18/00
sheet title	by		



de la torre architecte, p.a. d.a
2400 louisiana blvd ne
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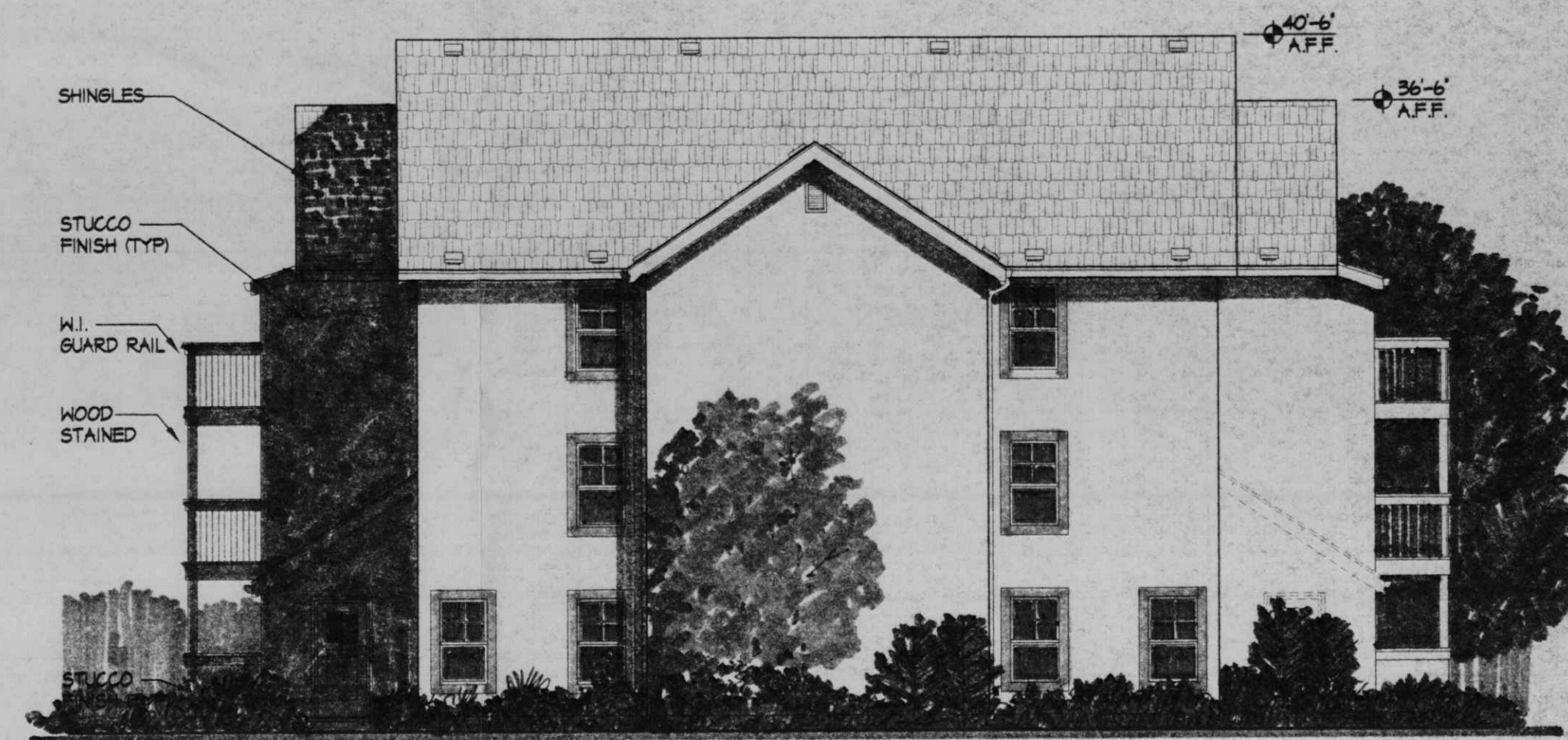
sheet
5
of

START DATE 11/15/00



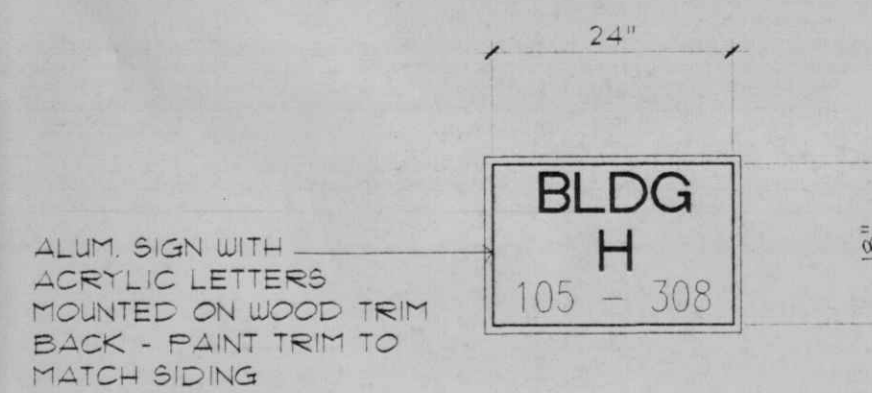
24-PLEX BUILDING - FRONT / REAR ELEVATION

SCALE: 1/8"=1'-0"



24-PLEX BUILDING - SIDE ELEVATION

SCALE: 1/8"=1'-0"



BUILDING SIGNAGE

SCALE: NTS

revisions	job title MANZANO MESA EAST			
	EUBANK NE			
	ALBUQUERQUE, NEW MEXICO 87123			
	PROJECT MANAGER	job no	date	
	JORGE DE LA TORRE, AIA	20048	11/18/00	
sheet title	by			
de la torre architecte, p.a. aia 2400 louisiana blvd ne building 3 - suite 110 albuquerque nm 87110 / 505-863-7918				sheet- 6 of-

START DATE: 11/15/00



16-PLEX BUILDING - FRONT ELEVATION

SCALE: 1/8"=1'-0"



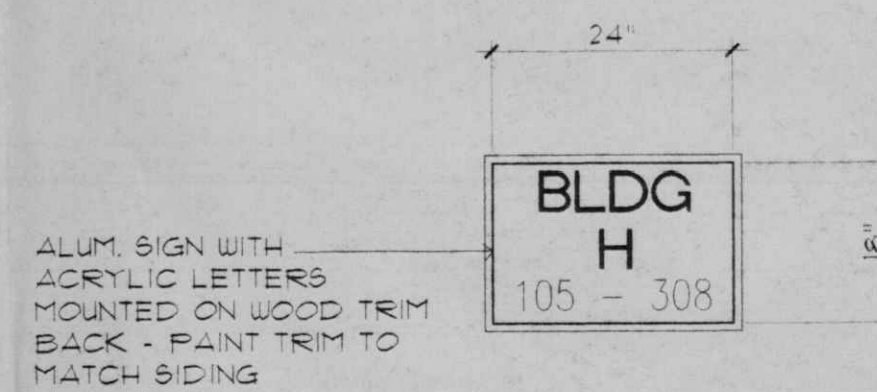
16-PLEX BUILDING - REAR ELEVATION

SCALE: 1/8"=1'-0"



16-PLEX BUILDING - SIDE ELEVATION

SCALE: 1/8"=1'-0"



ALUM. SIGN WITH ACRYLIC LETTERS MOUNTED ON WOOD TRIM BACK - PAINT TRIM TO MATCH SIDING

BUILDING SIGNAGE

SCALE: NTS

revisions	job title	MANZANO MESA EAST	
	PROJECT MANAGER	job no	date
	JORGE DE LA TORRE AIA	20048	11/18/00
	sheet title	by	

STATE OF NEW MEXICO
J. de la Torre
 JORGE DE LA TORRE
 No. 980
 11-22-00
 REGISTERED ARCHITECT

de la torre architects, p.a. aia
 2400 louisiana blvd ne
 building 3 - suite 110
 albuquerque nm 87110 - 505 - 883 - 7918

sheet -
7
 of -

START DATE 11/15/00