

PLANS/PLATS ON FILE

FILE DESC:

EPC

1000938

PLANS/PLATS

13

DESIGN GUIDELINES

PARKING/CIRCULATION

- The maximum allowed parking shall be equal to the required parking plus 10%.
- ADA compliant parking shall be located adjacent to the building entry.
- For office buildings, pedestrian crossings shall be a minimum width of 6-feet. They shall be clearly demarcated with textured paving and shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
- Shaded pedestrian access shall be provided, including a clear 6-foot-wide path with adjacent trees spaced approximately 25-feet on center within planters that have a minimum interior dimension of 5-feet square (or equivalent).
- For office buildings, a shaded sidewalk that is a minimum of 15-foot-wide shall be provided along the entrance side of the building. Shade can be provided with architecturally integrated porticos or canopies, or by trees placed at intervals of approximately 25 feet on center in planters with a minimum interior dimension of 5-foot square (or equivalent).
- For buildings, an outdoor patio space that is a minimum of 500 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or shade structure that integrates with building architecture.
- Convenient pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways.
- Bicycle racks shall be conveniently located near building entrances but not within pedestrian paths or landscape areas.
- There shall be a 6-foot clear pedestrian ways to connect Tract G-3-A to H-1-A and Tract G-3-B to Tract H-1-A.

LANDSCAPING & SCREENING

- A mix of evergreen (coniferous) and deciduous trees shall be used within parking areas. Buffer areas shall include a mix of evergreen and deciduous trees.
- Landscaping regulations require that 75% of landscape areas over 36 square feet in size must be covered with living, vegetative material. High-water use turf shall be limited in application to 20% of the landscape area.
- Perimeter walls shall comply with the Planning Department's Guidelines for perimeter walls.
- No chain-link, razor wire or plastic vinyl fencing is permitted.

ARCHITECTURE

- The top of all rooftop equipment shall be below the top of parapet and screened from view from nearby properties. Screen walls shall screen all ground-mounted equipment with the top of equipment below the top of screen wall.
- No plastic or vinyl building panels, awnings, or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
- No freestanding call towers or antenna shall be permitted; antenna shall be integrated into the building architecture.
- ATV's should be architecturally integrated with building design.
- Loading docks shall be screened by walls and covers that are architecturally integrated with the building.
- No generic franchise architecture shall be allowed.
- All out buildings and canopies shall be architecturally integrated and compatible in materials and design.
- Retise enclosures shall be compatible in design, color, and material with building architecture. If gates are provided, they shall be opaque; chainlink gates are not allowed.

SIGNAGE

- Monument signs, which are integrated with building colors and materials are the only free standing signs allowed.
- Building-mounted signs shall consist of individual chrome letters. No illuminated plastic panel signs are allowed except logos.
- Monument signage shall be limited to a maximum of 10-feet in height, 100 square feet per face. Building-mounted signage shall be a maximum of 6% of the facade to which is applied and on a maximum of 3 building facades. Maximum letter size shall be three feet, maximum logo size shall be 3' x 3'.
- The location of the light poles shall be included on the Site Plans for Building Permit. Light fixtures shall be a maximum of 20 feet high. The light fixtures shall be fully-shielded fixtures lamps so that no fugitive light shall escape beyond the property line. All light fixtures shall be full-cutoff to prevent fugitive light; no light source shall be visible from the site.



SITE DEVELOPMENT PLAN FOR SUBDIVISION: REQUIRED INFORMATION

THE SITE: The site consists of 2 existing lots (Tracts H-1 & G3 Manzano Mesa Addition). The site shall be replatted into 3 lots. (Tracts H-1, G-3-A and G-3-B). The site contains approximately 34.9 acres. Tract H-1 is approximately 11.3 acres, Tract G-3-A is approximately 11.0 acres, and Tract G-3-B is approximately 12.6 acres.

PROPOSED USE: The zoning for Tract H (H-1) shall remain SU-1 for O-1 uses. The zoning for Tract G-3 (G-3-A and G-3-B) shall remain SU-1 for R-2. The proposed use for Tracts G-3-A and G-3-B is multi-family residential.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: There will be a 10 foot multi-use asphalt trail along Eubank Boulevard and a 6 foot sidewalk along Stephen Moody Street, and La Entrada Avenue. Interior pedestrian ways shall be developed in accordance with the individual Site Plans for Building Permit. The primary access to Tracts H-1 and G-3-B shall be off of Stephen Moody Street. A cul-de-sac will be developed from Eubank Boulevard at the approximate midpoint between Stephen Moody Street and La Entrada Avenue to provide access to Tracts H-1 and G-3-A. Secondary access to Tracts G-3-A and G-3-B will be provided off of La Entrada Avenue.

INTERNAL CIRCULATION REQUIREMENTS: Internal circulation shall be developed in accordance with the individual Site Plans for Building Permit.

BUILDING HEIGHTS AND SETBACKS: Pursuant to the R-2 or O-1 zoning, as appropriate depending on the specific land use.

MAXIMUM F.A.R.: Maximum F.A.R. for Tract H-1 shall be .35. Maximum dwelling units for Tract G-3-A shall be 224 units, and maximum dwelling units for Tract G-3-B shall be 280.

LANDSCAPE PLAN: Detailed Landscape Plans shall be developed in accordance with the individual Site Plans for Building Permit and consistent with these landscaping and screening requirements.

RAISER # 1000193

DUS Application # 01450-00000-00715

ERC APPROVALS (00128-00000-01645)

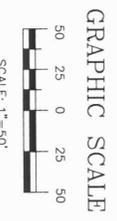
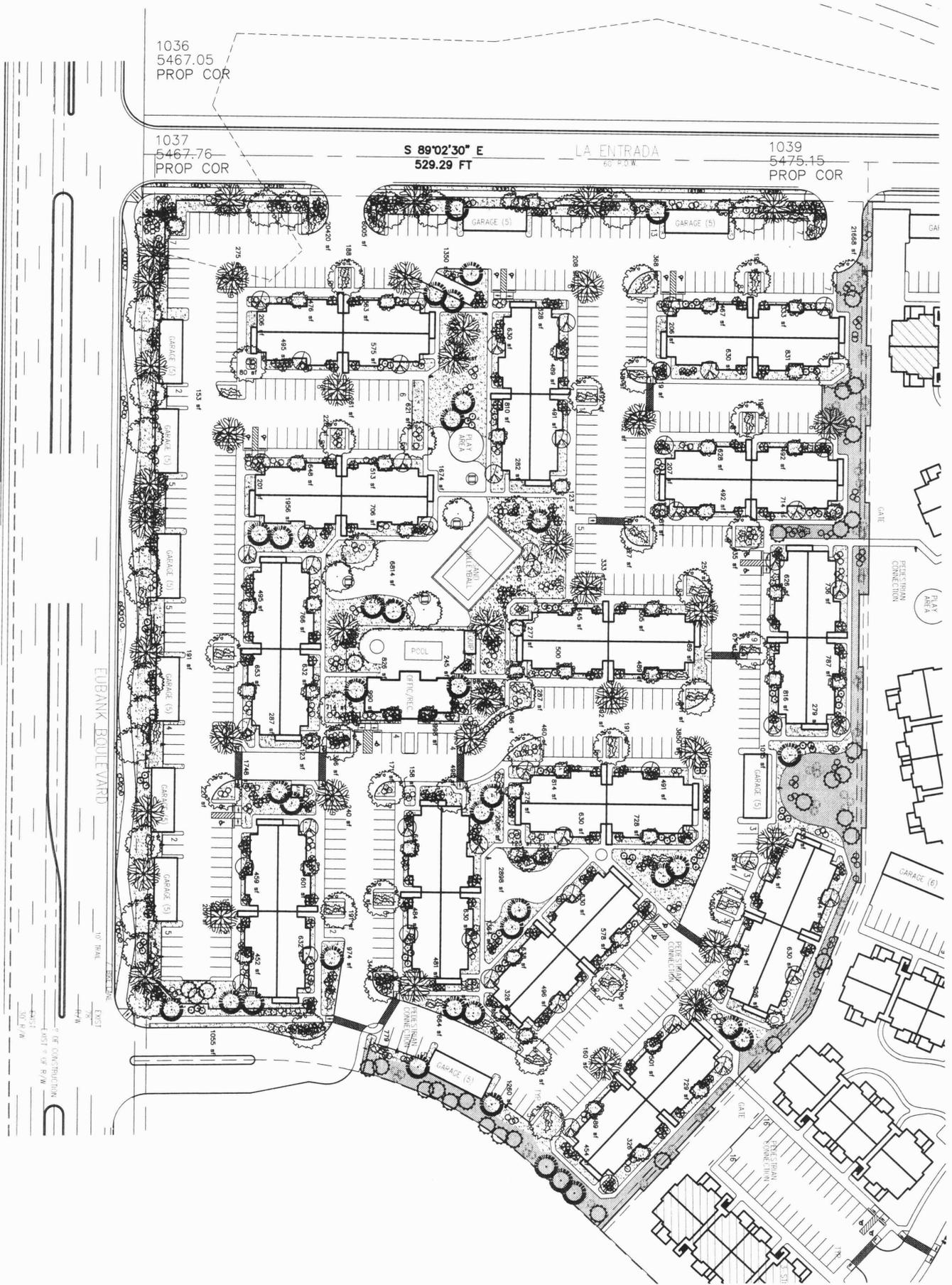
Planning Director: *[Signature]* Date: 7/23/01
 Transportation Development: *[Signature]* Date: 7-16-01
 City Engineer/AWA/CA: *[Signature]* Date: 7/16/01
 Utility Development: *[Signature]* Date: 6/13/01
 Parks and Recreation Department: *[Signature]* Date: 4/13/01



CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 924 Park Avenue SW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

Revisions	Job title	Job no	Date
	MANZANO MESA TRACTS H & G3 ALBUQUERQUE, NEW MEXICO 87123	20048	1/28/01
	PROJECT MANAGER		
	JORGE DE LA TORRE, AIA		
	SHEET TITLE		
	SITE PLAN FOR SUBDIVISION		

dbi come architectura pa da
 2400 bujerna Blvd ne
 building 3, suite 110
 albuquerque n.m. 87110 • 505-863-7946



LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.
 Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.
 All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and other applicable Ordinance. Landscaping shall be in general accordance with environmentally sound landscape principles will be followed in design and installation.
 Plant beds shall achieve 75% live ground cover at maturity.
 3/4" Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
 Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
 Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	479160	square feet
TOTAL LOT AREA	100,237	square feet
TOTAL BUILDINGS AREA	0	square feet
OFFSITE AREA	378923	square feet
NET LOT AREA	157	square feet
LANDSCAPE REQUIREMENT	568338	square feet
TOTAL LANDSCAPE PROVIDED	142,637	square feet
TOTAL BED PROVIDED	136,273	square feet
TOTAL SOD PROVIDED	11,364 (20%)	square feet
TOTAL NATIVE SEED PROVIDED	21,668	square feet

STREET TREE REQUIREMENTS
 Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:
 Name of Street: Eubank
 Required #: 23
 Provided #: 23
 Total number of trees on site as required by the City Of Albuquerque are as follows:
 Number of 1st story apartment units: 112
 Number of trees to reach 25' at maturity required: 112
 Number of trees to reach 25' at maturity provided: 335

PLANT LEGEND

	SHADE TREE 50 LONDON PLANE TREE (H) <i>Platanus acerifolia</i>
	SHADE TREE 40 THORNLESS HONEYLOCUST <i>Gleditsia triacanthos inermis</i> 2' Cal.
	FLOWERING PEAR (H) 54 <i>Pyrus columbia</i> 1 1/2' Cal.
	NEW MEXICO OLIVE/WASHINGTON HAWTHORN (M) 54 <i>Forestiera neomexicana</i> <i>Crataegus phoenopyrum</i> 15 Gal.
	DESERT WILLOW (L) 30 <i>Chilopsis linearis</i> 15 Gal.
	AUSTRIAN PINE (H) 36 <i>Pinus nigra</i> 6-8'
	SILVERBERRY (M) 176 <i>Elaeagnus pungens</i> 5 Gal.
	INDIAN HAWTHORN (M) 116 <i>Raphirolepis indica</i> 5 Gal.
	RUSSIAN SAGE (M) 98 <i>Perovskia atriplicifolia</i> 5 Gal.
	APACHE PLUME (L) 190 <i>Eriogonum parviflorum</i> 5 Gal.
	AUTUMN SAGE (M) 141 <i>Salvia greggii</i> 2 Gal.
	PROSTRATE ROSEMARY (M) 118 <i>Romarnus officinalis</i> 5 gal
	CHAMISA (L) 133 <i>Chrysothamnus nauseosus</i> 1 Gal.
	WILDFLOWER 105 1 Gal.
	TAN JUNIPER (M) 153 <i>Juniperus sabinifolia</i> 5 Gal.
	BOSTON IVY 51 <i>Parietaria tricuspidata</i> & BOULDERS
	3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC
	SOD (FESCUE)
	CRIMP STRAW NATIVE SEED
	COMMERCIAL GRADE STEEL EDGING
	POP-UP SPRINKLER HEADS

The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 H@hilltoplandscaping.com

MANZANO-MESA APTS.
 EUBANK, N.E.
 ALBUQUERQUE, NEW MEXICO 87123

PROJECT MANAGER
 JOSE DE LA TORRE, AA
 20048

DATE: 6-11-01

BY: [Signature]

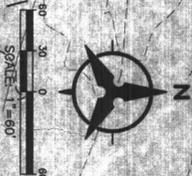
sheet title: 6-11-01

de la torre architects, p.a. d/b/a
 2200 Louisiana Blvd. ne
 Albuquerque, NM 87110 • 505-263-7906

Sheet 2 of 5



SU-1 for O-1 uses TRACT H
 11.279 Acres
 11.279 Acres NET



CONCEPTUAL DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
 The purpose of this plan is to provide a conceptual drainage plan for the proposed development. The plan includes the proposed drainage system, including the proposed drainage basins, the proposed drainage network, and the proposed drainage treatment facilities. The plan is based on the site conditions, including the topography, the existing drainage system, and the proposed development. The plan is intended to provide a conceptual drainage management plan for the proposed development.

II. SITE LOCATION
 The site is located in the City of Albuquerque, New Mexico. The site is bounded by Eubank Blvd to the north, Stephen Woody Street to the east, and Southern Blvd to the south. The site is approximately 11.279 acres in size.

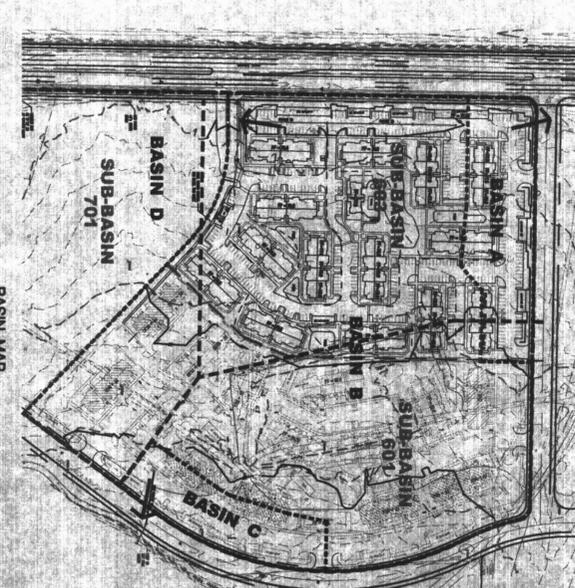
III. EXISTING HYDROLOGIC CONDITIONS
 The existing hydrologic conditions of the site are based on the topography, the existing drainage system, and the proposed development. The existing drainage system consists of the proposed drainage basins, the proposed drainage network, and the proposed drainage treatment facilities. The existing hydrologic conditions are based on the site conditions, including the topography, the existing drainage system, and the proposed development.

IV. PROPOSED DRAINAGE MANAGEMENT PLAN
 The proposed drainage management plan consists of the proposed drainage basins, the proposed drainage network, and the proposed drainage treatment facilities. The proposed drainage management plan is based on the site conditions, including the topography, the existing drainage system, and the proposed development. The proposed drainage management plan is intended to provide a conceptual drainage management plan for the proposed development.

V. CONCLUSIONS
 The conceptual drainage management plan proposed concepts which are capable of safely providing the 100 year storm and which meet city requirements.



LEGAL DESCRIPTION:
 TRACT O-1 OF MANZANO MESA
 WITHIN SECTION 25, TOWNSHIP 10 NORTH, RANGE 4 EAST
 COUNTY OF ALBUQUERQUE, BERNILLO COUNTY, NM



CONCEPTUAL GRADING & DRAINAGE NOTES

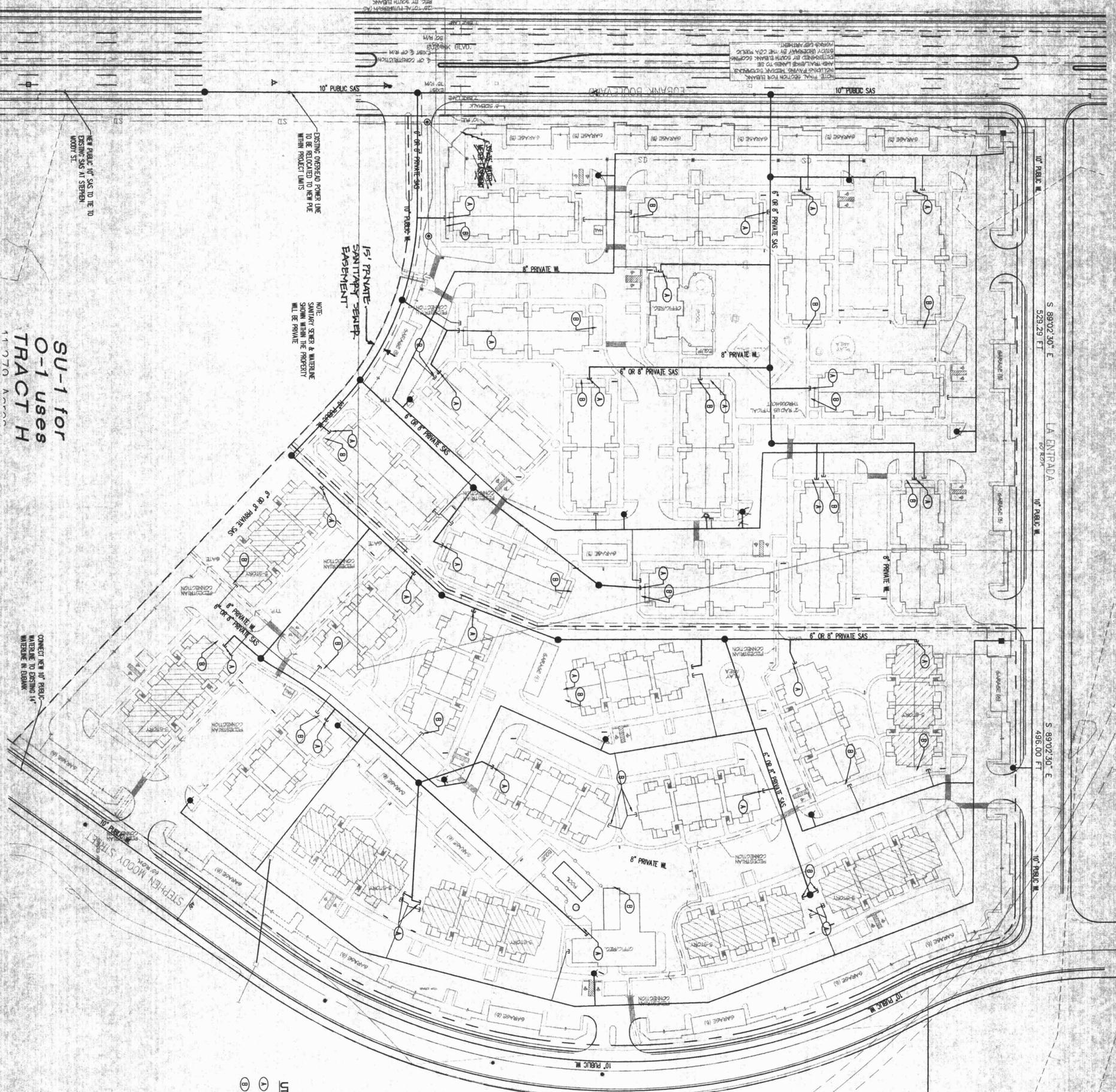
1. NEW PRIVATE STORM DRAIN LINES SHALL BE 18\"/>

MANZANO-MESA WEST
 BLANCK NE
 ALBUQUERQUE, NEW MEXICO 87125
 PROJECT MANAGER
 JORGE DE LA TORRE, P.E.
 20046
 1/27/00

CONCEPTUAL GRADING PLAN
 sheet title
 by

de la Torre architects p.a.d.a
 2400 Bobana Blvd. n.e.
 Building 3, Suite 110
 Albuquerque, n.m. 87110 / 505-833-7916

BoltonHustlon
 Founded Over 7500 Jefferson St. Albuquerque, New Mexico 87109
 ENGINEERS PLANNERS ARCHITECTS SURVEYORS SOFTWARE DEVELOPERS



**SU-1 for
 O-1 uses
 TRACT H**
 11 770 A 2222

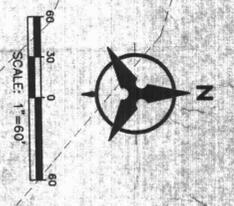
CONNECT NEW 10" PUBLIC WATERLINE TO EXISTING 14" WATERLINE IN BULKHEAD

NEW 8" PUBLIC WSS TO BE TO EXISTING SAS AT STEPHEN MOODY ST.

EXISTING OVERHEAD POWER LINE TO BE RELOCATED TO NEW POE WITHIN PROPOSED LOTS

15' PRIVATE SANITARY SEWER EASEMENT
 NOTE: SERVICE & WATERLINE SHOWN WITHIN THE PROPERTY WILL BE PRIVATE

UTILITY KEYS NOTES
 (A) NEW PRIVATE SANITARY SEWER SERVICE
 (B) NEW PRIVATE WATERLINE SERVICE



LEGEND

—	PROPERTY LINE
—	EXISTING EASEMENT
—	EXISTING SANITARY SEWER
—	EXISTING WATER LINE
—	EXISTING WATER METER
—	EXISTING CAP
—	EXISTING FIRE METER
—	EXISTING SANITARY SEWER MANHOLE
—	EXISTING STORM DRAIN MANHOLE
—	EXISTING WATER
—	PROPOSED EASEMENT
—	PROPOSED SANITARY SEWER MANHOLE
—	PROPOSED SANITARY SEWER LINE
—	PROPOSED CLEANOUT
—	PROPOSED WATER LINE
—	PROPOSED VALVE
—	PROPOSED FIRE LINE
—	PROPOSED HYDRANT
—	PROPOSED CAP
—	PROPOSED WATER METER

- UTILITY NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BLOCKING, SUPPORTS, CLEANOUT PANS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING AND STARTING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER OR THE PROPERTY WORKMANSHIP OR LACK OF PROPER CONSTRUCTION SHALL BE REBUILT AND CORRECTED INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
 2. MANUAL TESTS OF OTHER SHALL BE: 3/4" FOR WATERLINES AND 4" FOR SEWER, EXCEPT AT BUILDING CONNECTIONS.
 3. ALL WORK DETAIL ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL EXCEPT AS OTHERWISE STATED OR PROVIDED BY THE ARCHITECT, BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS UNIFORM PLUMBING CODE, LATEST EDITION.
 4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
 5. ROUGH GRADING OF SITE (AS/ST) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
 6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING SPIN LINES AND ALL NECESSARY FITTINGS.
 7. ALL VALVES SHALL BE ANCHORED PER CDA STANDARD ONE, 233A.
 8. FIRE LINES SHALL USE PRE-INSULATED UNDERGROUND LABORATORIES TESTED AND APPROVED FOR FIRE SERVICE.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNERS SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PROGRAMS AND OTHER SPECIAL ASSESSMENTS.
 10. CONTRACTOR SHALL VERIFY METER AND LOCATIONS OF EXISTING WATER/SANITARY LINES PRIOR TO BEGINNING WORK. ALL CONDUITS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
 11. PROVIDE BELLINGS TO PROTECT METER, AS PER PAUL & BPC REQUIREMENTS.
 12. UTILITY EASEMENTS SHOWN ON CONSTRUCTION DOCUMENTS ARE A GRAPHICAL REPRESENTATION ONLY, NOT NECESSARILY RECORDED EASEMENTS. SEE PLAN FOR EXACT EASEMENT BOUNDARY.

APD PLANS CHECKING OFFICE
 924-3611
APPROVED/DISAPPROVED
 (PROBANT/S) ONLY
 SIGNATURE & DATE

BOLINGRUIII HUSTON

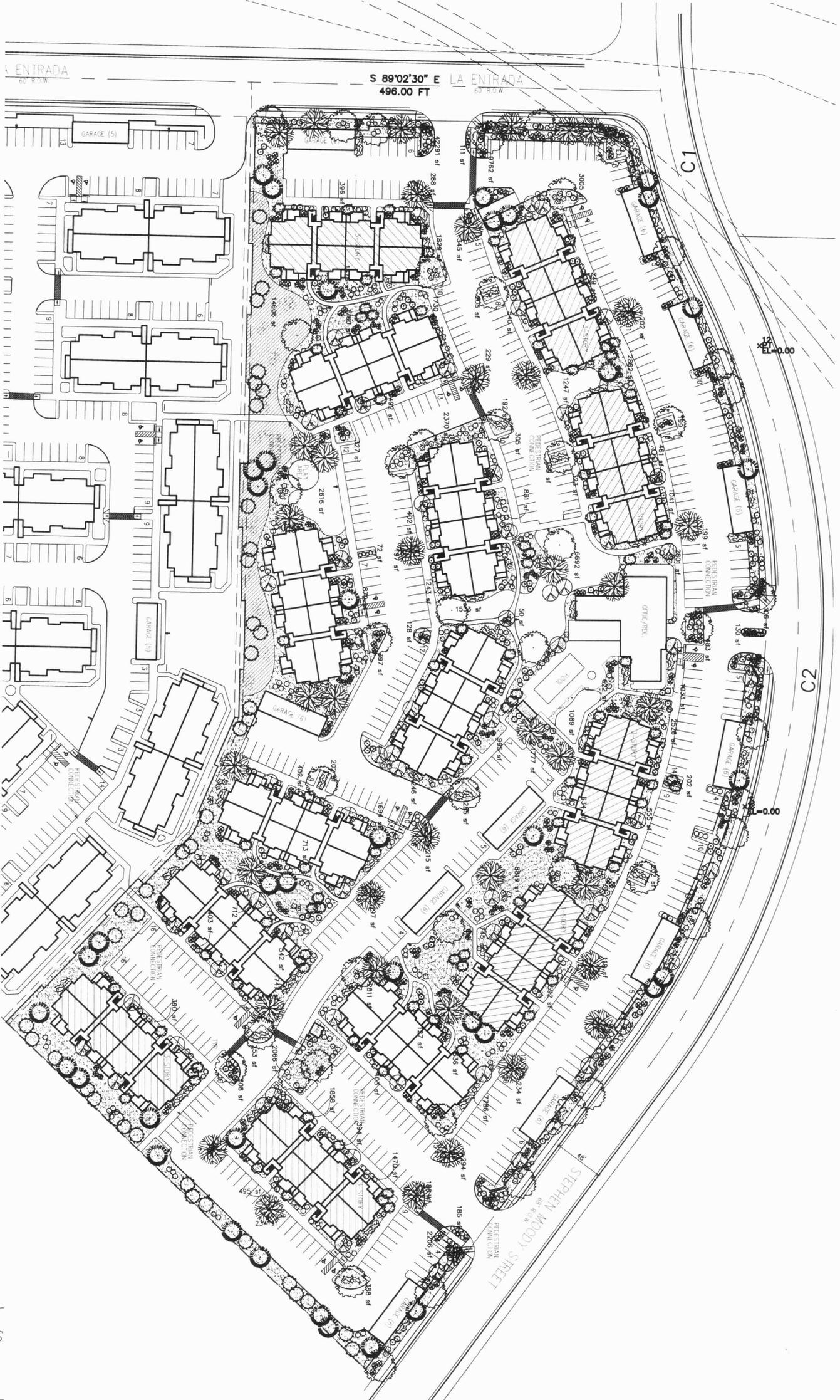
Completed On: 7/30/01
 7500 JEFFERSON HE, HOUSTON TEXAS 77030

MANZANO-MESA WEST
 EBANK NE
 ALBUQUERQUE, NEW MEXICO 87123
 PROJECT MANAGER
 JORGE DE LA TORRE, AIA
 20046
 1/27/00
 street title
 CONCEPTUAL UTILITY PLAN
 by



de la Torre architects p.a. d.a.
 2400 Louisiana Blvd n.e.
 building 3 / suite 110
 albuquerque n.m. 87110 / 505-833-7968

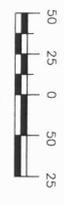
sheet 4
 of 5
 START DATE 10/20/00



PLANT LEGEND

- SHADE TREE - 46
LONDON PLANE TREE (H)
Platanus acerifolia
- SHADE TREE 39
THORNLESS HONEYLOUST
Gleditsia triacanthos inermis
Z' Cal
- FLOWERING PEAR (H) 66
Pyrus colleyana
1 1/2' Cal
- NEW MEXICO OLIVE/WASHINGTON HAWTHORN (M) 86
Forestiera neomexicana
Crataegus pinnatifida
15' Cal.
- DESERT WILLOW (L) 40
Tremula lamarckii
15' Cal.
- AUSTRIAN PINE (H) 39
Pinus nigra
6-8'
- SILVERBERRY (M) 101
Elaeagnus pungens
5' Cal.
- INDIAN HAWTHORN (M) 218
Ilex opacifolia indica
5' Cal.
- RUSSIAN SAGE (M) 186
Perovskia atriplicifolia
5' Gal.
- APACHE PLUME (L) 196
Elymus perfoliatus
2' Gal.
- AUTUMN SAGE (M) 235
Salvia greggii
- PROSTRATE ROSEMARY (M) 171
Rosmarinus officinalis
5' gal
- CHAMISA (L) 75
Gutierrezia sarothra
1' Gal.
- WILDFLOWER 72
1' Gal.
- TAN JUNIPER (M) 195
Juniperus sabinus
5' Gal.
- BOSTON IVY 42
Parthenocissus tricuspidata
OVERSIZED GRAVEL
& Boulders
- SOD
- SOD (FESCUE)
- CRIMP STRAW NATIVE SEED
- COMMERCIAL GRADE
STEEL EDGING
- POP-UP SPRINKLER HEADS

GRAPHIC SCALE



LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.
It is the intent of this plan to comply with the City of Albuquerque, Water Conservation and Landscaping Ordinance, and Water Conservation Ordinance.
All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Ordinance. Water conservation, environmental, and water conservation principles will be followed in design and installation.
Plant beds shall achieve 75% live ground cover at maturity.
3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.

Total number of trees on site as required by the City of Albuquerque are as follows:
Number of 1st story apartment units: 112
Number of 2nd story apartment units: 56
Number of trees to reach 25' at maturity provided: 316

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	544,641	square feet
TOTAL LOT AREA	95942	square feet
TOTAL BUILDINGS AREA	0	square feet
OFFSITE AREA	448699	square feet
NET LOT AREA	15%	square feet
TOTAL LANDSCAPE REQUIREMENT	67,305	square feet
TOTAL LANDSCAPE PROVIDED	163,317	square feet
TOTAL BED PROVIDED	135534	square feet
TOTAL SOD PROVIDED	13177	square feet
TOTAL NATIVE SEED PROVIDED	14606	square feet

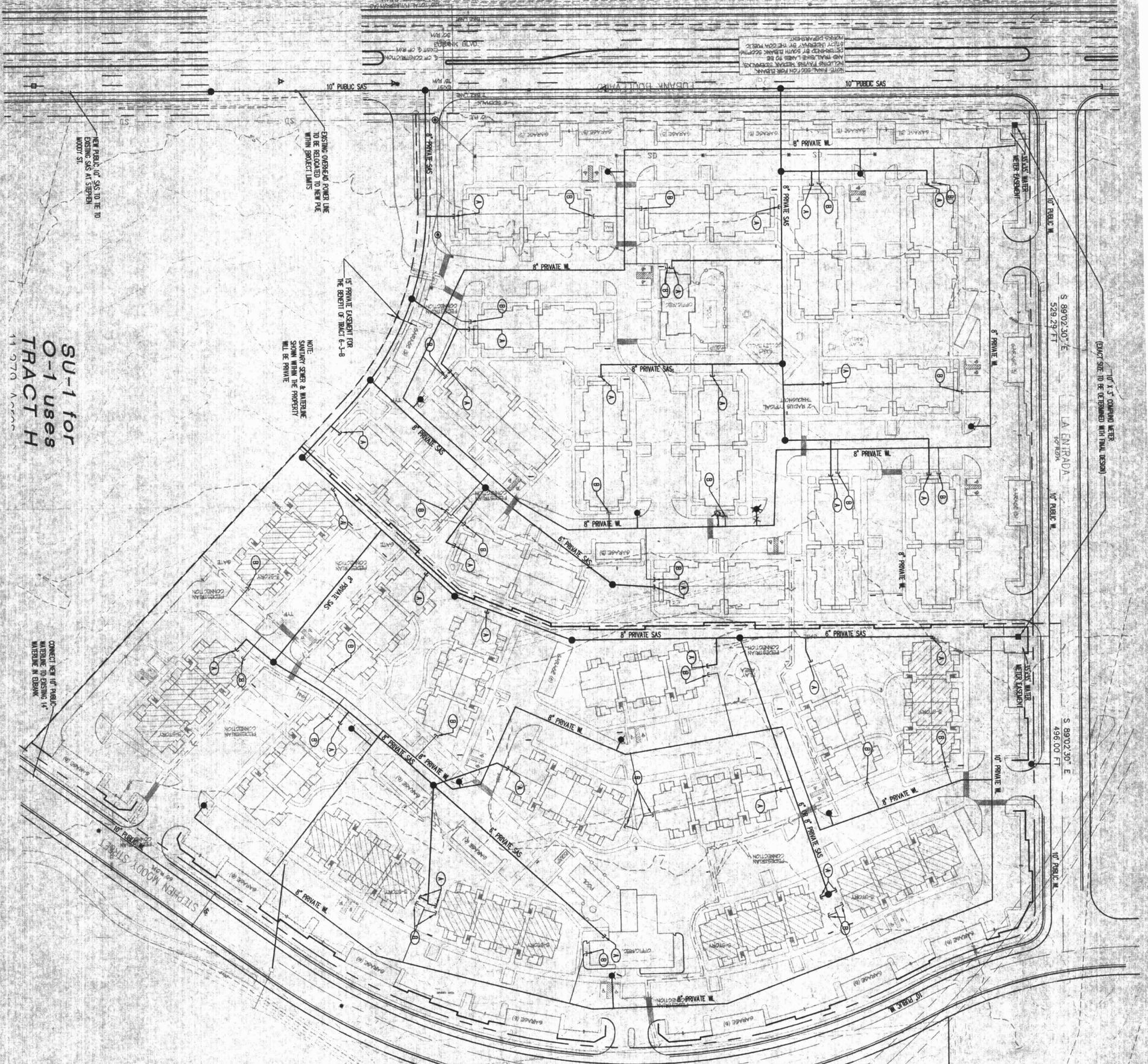


LANDSCAPE ARCHITECTS & CONSULTANTS

Cont. Lic. #25458
7909 Edin N.W. 87184
ALBUQUERQUE, NEW MEXICO 87109
PH: (505) 898-9690
FOX: (505) 898-7737
t@thehilltoplandscaping.com

MANZANO-MESA APTS.
EIRBANK NE
ALBUQUERQUE, NEW MEXICO 87123
PROJECT MANAGER
JACQUELINE L. LARSEN, AIA
DATE: 6/11/09
SHEET NO: 20048
BY: [Signature]

de la corne architects p.a. d.a.
2400 buisson Blvd ne
building 3 / suite 110
albuquerque n.m. 87110 • 505-833-7918

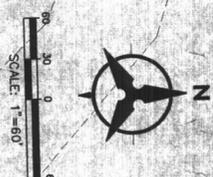


SU-1 for
O-1 uses
TRACT H
14 970 Areas

UTILITY KEYED NOTES

(A) NEW PRIVATE SANITARY SEWER SERVICE

(B) NEW PRIVATE WATERLINE SERVICE



LEGEND

—	PROPERTY LINE
—	EXISTING EASEMENT
—	EXISTING SANITARY SEWER
—	EXISTING WATER LINE
—	EXISTING WATER METER
—	EXISTING GPE
—	EXISTING WATER C
—	EXISTING FIRE HYDRANT
—	EXISTING SWANNEY STREET WATERLINE
—	EXISTING SIGNAL BOX WATERLINE
—	EXISTING MILET
—	PROPOSED EASEMENT
—	PROPOSED SANITARY SEWER LINE
—	PROPOSED SANITARY SEWER MANHOLE
—	PROPOSED CLEANOUT
—	PROPOSED WATER LINE
—	PROPOSED WATER METER
—	PROPOSED FIRE LINE
—	PROPOSED HYDRANT
—	PROPOSED GPE
—	PROPOSED WATER METER

- UTILITY NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, WATER LINES, FIRE LINES, EXISTING CLEANING AND STRUCTURES, AND OF PROPER CONNECTIONS TO EXISTING UTILITIES TO UNDEVELOPED AREAS AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
 2. MANHOLE DEPTHS OF OVER SHALL BE: 36" FOR WATERWORKS AND 48" FOR SEWERS, EXCEPT AT BUILDING CONNECTIONS.
 3. ALL WORK RETAINED ON THESE PLANS TO BE REPERFORMED UNDER CONTRACT SHALL EXCEPT AS OTHERWISE SPECIFIED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
 4. UTILITY LINES SHALL BE INSTALLED FROM TO PERMANENT CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
 5. RIGID POLYETHYLENE (RPE) SHALL BE USED FOR ALL UTILITY LINES AND ALL NECESSARY FITTINGS.
 6. ALL VALVES SHALL BE ANCHORED PER DOT STANDARD SPEC. 2333.
 7. ALL VALVES SHALL USE RPE MATERIALS UNDERMINERS (UNDERMINERS) LISTED AND APPROVED FOR THE SERVICE.
 8. THE LINES SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOODUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR DAILY DEMONSTRATION CHARGES, PROHIBIT AND OTHER SPECIAL ASSESSMENTS.
 9. CONTRACTOR SHALL VERIFY HEIGHTS AND LOCATIONS OF EXISTING WATER/SANITARY LINES PRIOR TO CONSTRUCTION. ALL COMPASS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RECORDED PRIOR TO BEGINNING WORK.
 10. CONTRACTOR SHALL VERIFY HEIGHTS AND LOCATIONS OF EXISTING WATER/SANITARY LINES PRIOR TO CONSTRUCTION. ALL COMPASS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RECORDED PRIOR TO BEGINNING WORK.
 11. PROVIDE BOLLARDS TO PROTECT WATER, GAS PER PAUL & PPE REQUIREMENTS.
 12. UTILITY EASEMENTS SHOWN ON CONSTRUCTION DOCUMENTS ARE A GENERAL REPRESENTATION AND NOT NECESSARILY REQUIRED EASEMENTS. SEE PLAN FOR EXACT EASEMENT COORDINATES.
 13. PIPE SIZES HAVE NOT BEEN DETERMINED FOR THE PRIVATE WATER LINES.

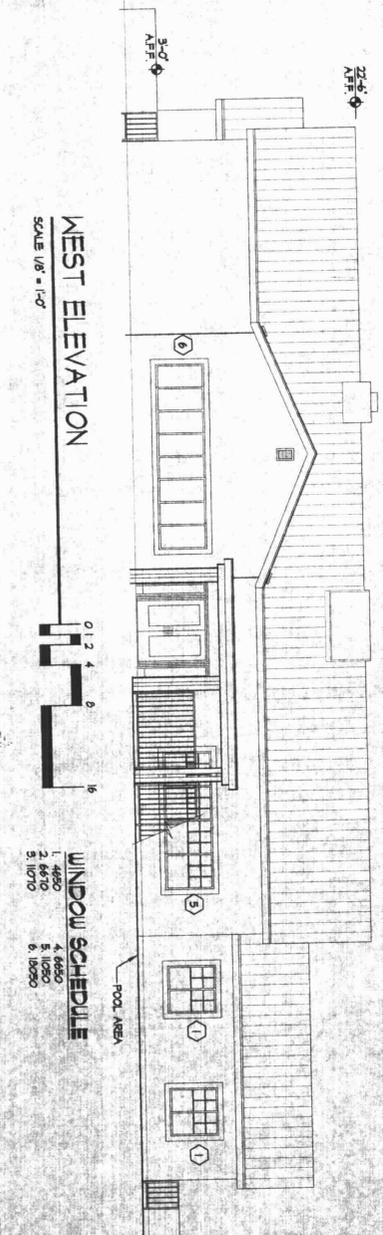
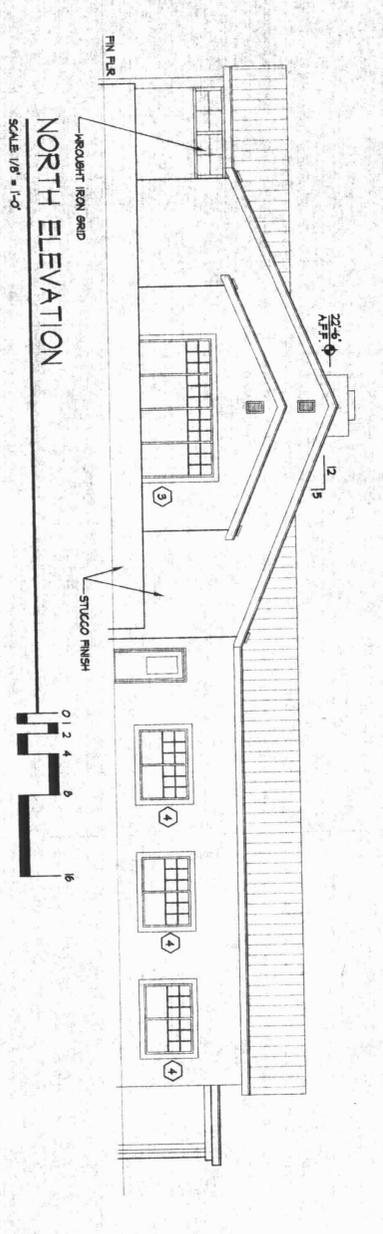
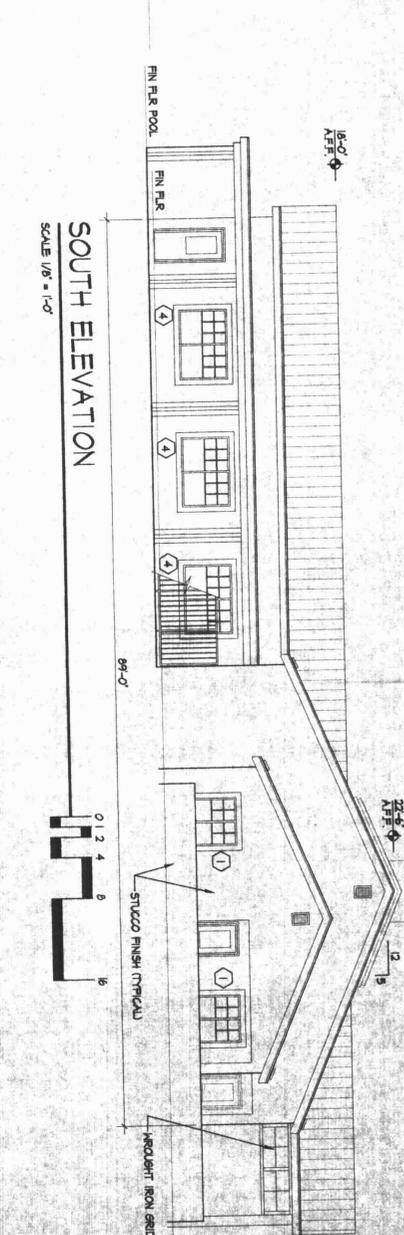
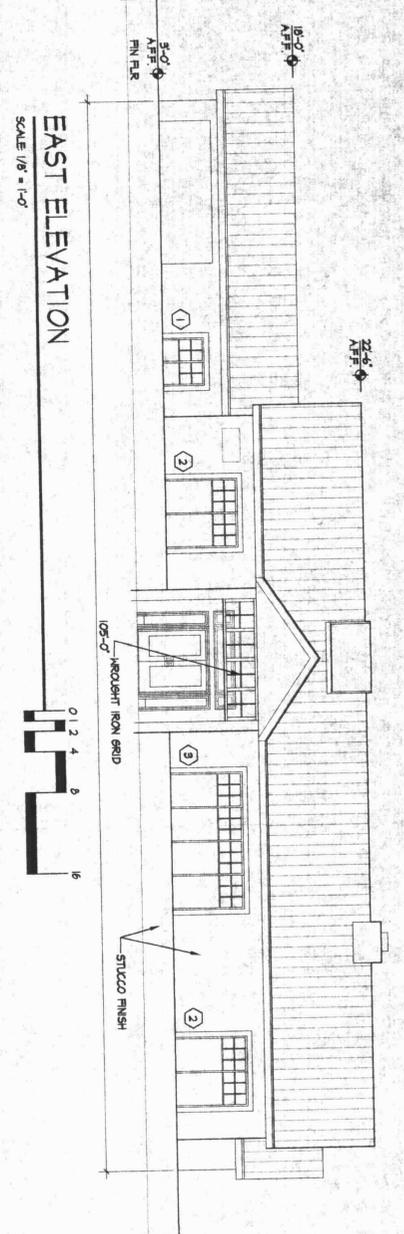
ASD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRAUNTS ONLY
SIGNATURE & DATE

Bolhaman & Huston
Civil and 7500 JEFFERSON HE ALBUQUERQUE, NEW MEXICO 87109
ENGINEER PLANNING PHOTOGRAPHY SURVEYING SERVICE ENGINEERS

Job title: **MANZANO-MESA EAST**
ALBUQUERQUE, NEW MEXICO 87125
PROJECT MANAGER: NEW MEXICO 87125
JOB NO: 20046 DATE: 11/27/00
DRAFTER: DE LA TORRE, AN BY: [Signature]



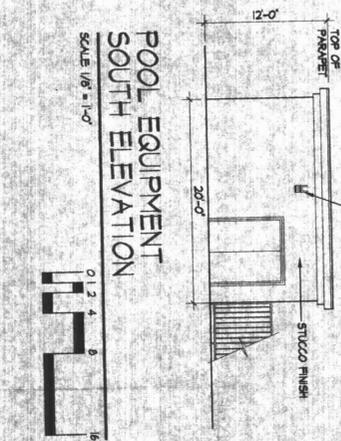
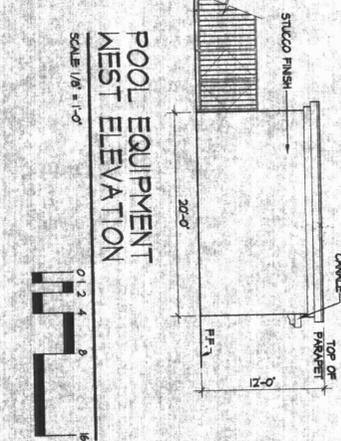
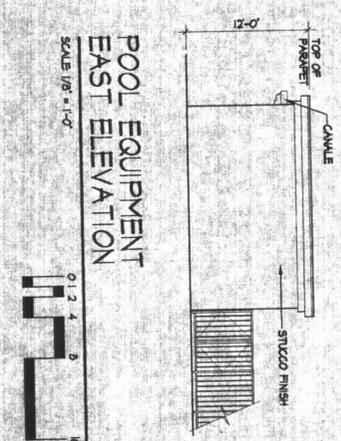
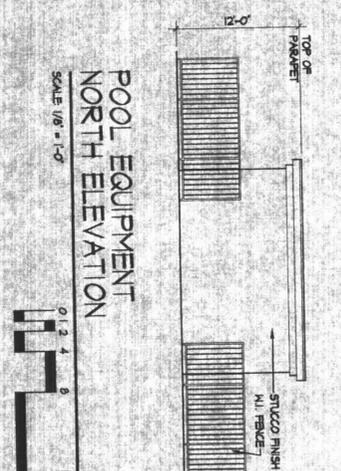
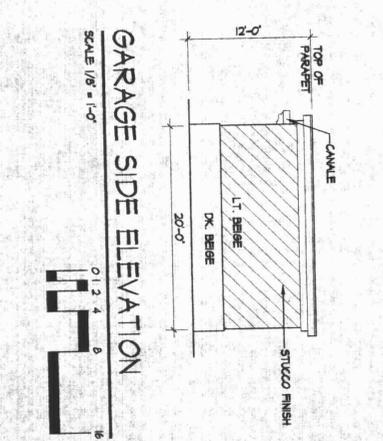
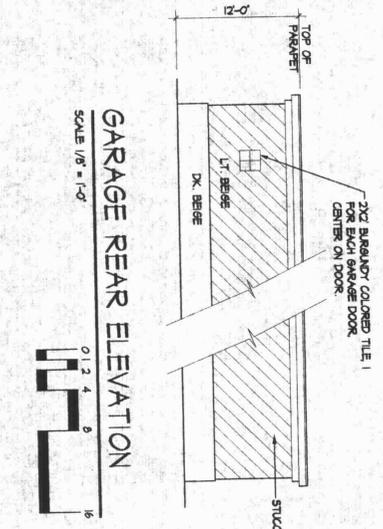
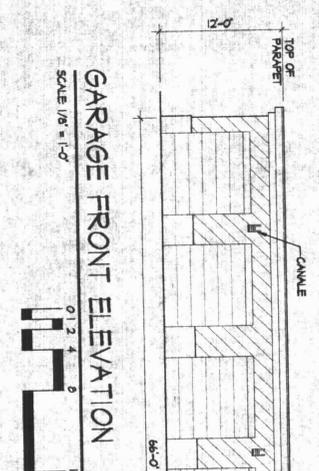
de la Torre architecte, p.a. did
2400 Quintero Blvd NE
Building 3, Suite 110
Albuquerque, NM 87110 • 505-883-7900



WINDOW SCHEDULE

1	4460	4	6660
2	6670	5	8880
3	8870	6	10000

OFFICE/REC. ELEVATIONS



ROOFTOP EQUIPMENT NOTE:
 THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARKING AND SCREENED FROM VIEW FROM THE PROPERTY LINE. ROOFTOP EQUIPMENT AND OTHER PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR OR OTHER PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALLS.

GENERAL NOTES:

STUCCO FINISH: THERE WILL BE 3 DIFFERENT COLORS TO BE USED THROUGHOUT THE PROJECT. THESE COLORS WILL BE LIGHT BEIGE, MEDIUM BEIGE, AND DARK BEIGE. ALL BUILDINGS WILL BE 1" COLOR UNLESS NOTED OTHERWISE.

EXPOSED WOOD: ALL EXPOSED WOOD WILL BE PAINTED WHITE.

HEADJOINT IRON GRID: HEADJOINT IRON GRID AND STAIR RAILS TO BE WHITE FINISH AROUND POOL, HANDRAILS, ETC. EXCEPT 8" WALL TYPE 'B' AND GATE TO BE SAGE.

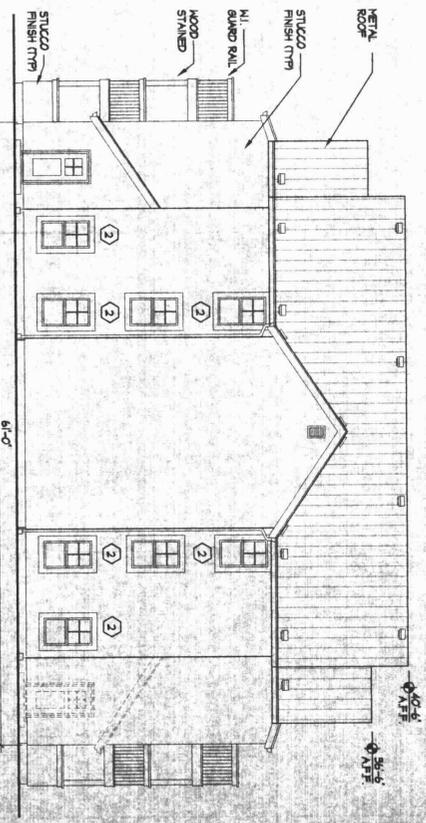
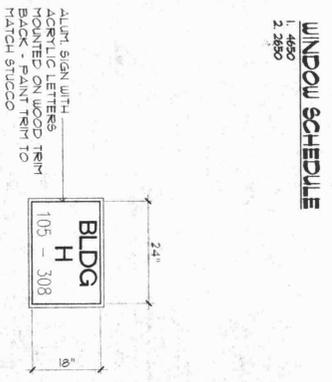
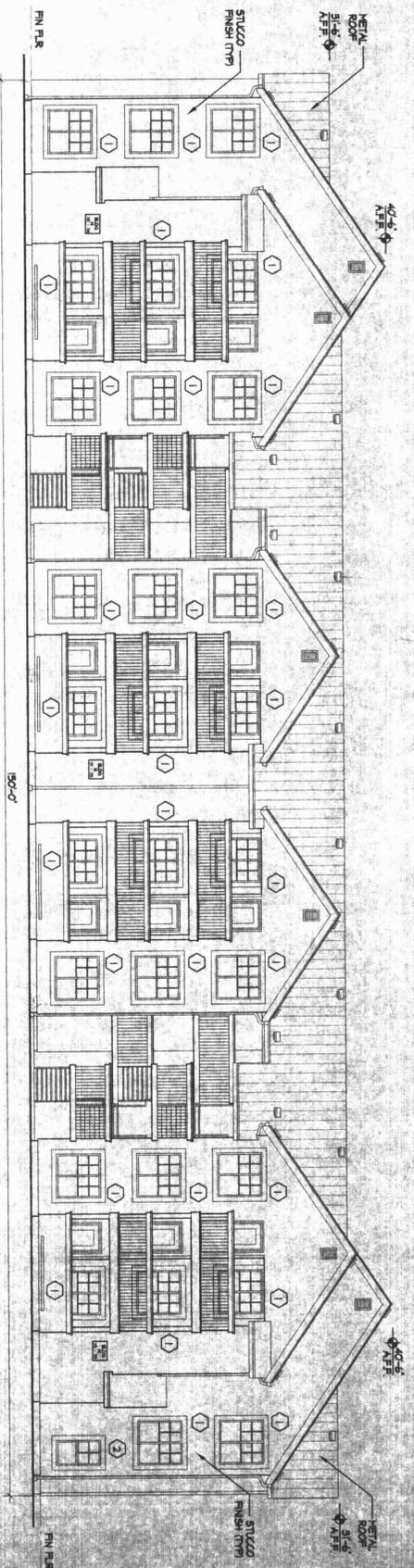
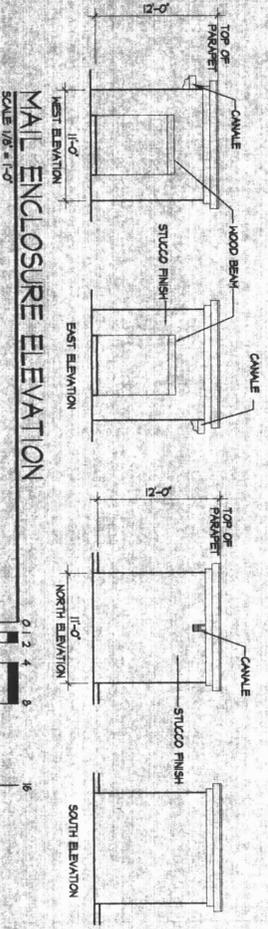
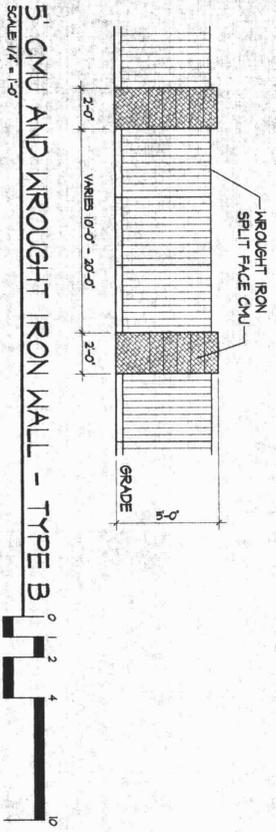
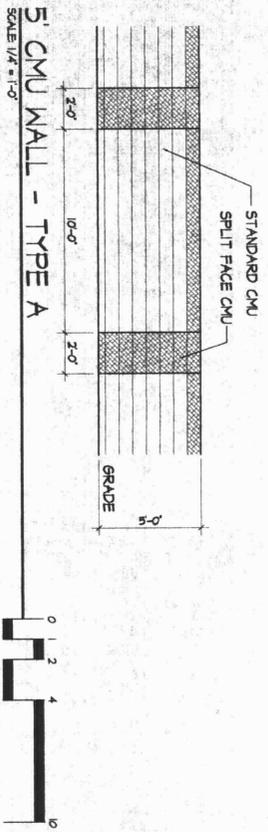
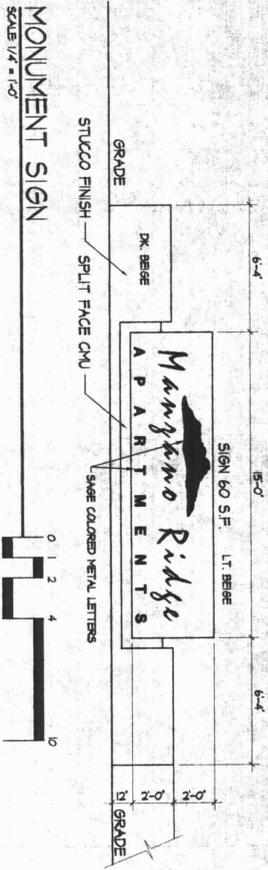
METAL ROOF: GALVANIZED METAL ROOFING, GRAY COLOR, WHITE FINISH TYPICAL THROUGHOUT.

AREA LIGHTING, INCLUDING PARKING AND WALKS, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON FOOTLANEWAYS AND IT SHALL NOT HAVE AN OFFSET LUMINANCE GREATER THAN 100 FOOTLANEWAYS AND IT SHALL NOT HAVE PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

MANZANO MESA EAST
 EMBANK NE
 ALBUQUERQUE, NEW MEXICO 87125
 PROJECT MANAGER: JORGE DE LA TORRE, VAN, 20048
 DATE: 5/22/07
 BY: MAP

de la torre architects, p.a.
 2400 boujona divina
 building 3 - suite 110
 albuquerque, nm 87110 / 505.833.7916

5
 04-7



ROOFTOP EQUIPMENT NOTE:
THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINE. ROOFTOP VENT EQUIPMENT AND OTHER PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR. ALL OTHER PENETRANT BUILDING COLOR SHALL BE SCREENED WITH EQUIPMENT SHALL BE SCREENED BELOW TOP OF SCREEN WALLS.

GENERAL NOTES:
STUCCO FINISH THERE WILL BE 3 DIFFERENT COLORS TO BE USED THROUGHOUT THE PROJECT. THESE COLORS WILL BE LIGHT BEIGE, MEDIUM BEIGE, AND DARK BEIGE. ALL BUILDINGS WILL BE 1 COLOR UNLESS NOTED OTHERWISE.
EXPOSED WOOD ALL EXPOSED WOOD WILL BE PAINTED WHITE.
WROUGHT IRON & HANDRAILS ALL WROUGHT IRON FENCING AND STAIR RAILS TO BE WHITE FINISH AROUND POOL, HANDRAILS, ETC) EXCEPT 8 WALL TYPE B AND GATE TO BE SAGE.
METAL SCOP GALVANIZED METAL ROOFING, GRAY COLOR WHITE FINISH TYPICAL THROUGHOUT.
AREA LIGHTING, INCLUDING PARKING, AND WALLS, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC ROOM. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 100 FOOT-CANDELS AND IT SHALL NOT HAVE PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

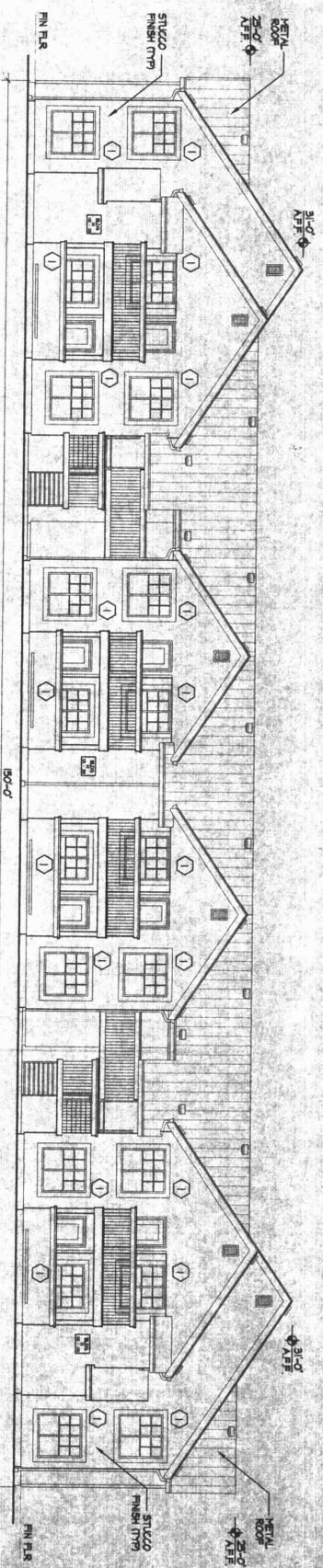
revisions

job title
MANZANO MESA EAST
BLANK NE
ALBUQUERQUE NEW MEXICO 87125
PROJECT MANAGER
JOSE DE LA TORRE, AIA
105 10
3004
5/22/04
by
MAP

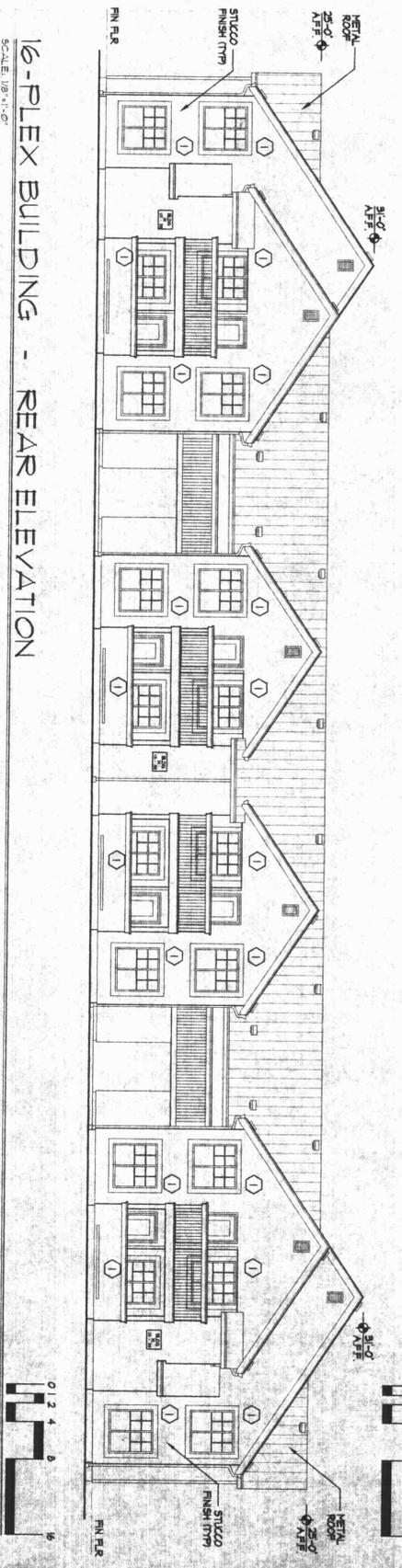
de la torre architects pa.cia
2400 buena vista blvd ne
building 3, suite 110
albuquerque nm 87110 505-833-7916

5/22/04
5/22/04

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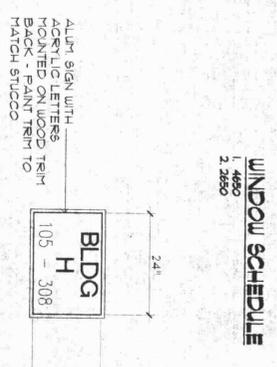


16-PLEX BUILDING - FRONT ELEVATION
SCALE: 1/8"=1'-0"

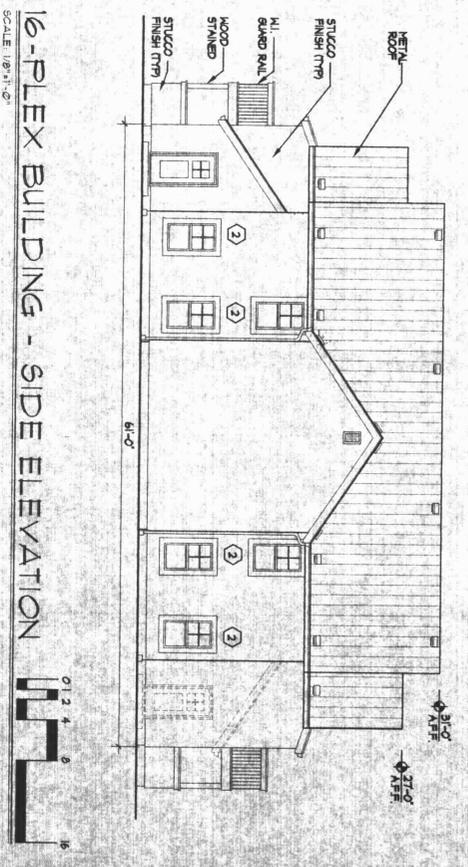


16-PLEX BUILDING - REAR ELEVATION
SCALE: 1/8"=1'-0"

ROOFTOP EQUIPMENT NOTE:
THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINE. ROOFTOP EQUIPMENT AND OTHER PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR OR OTHER PREDOMINANT BUILDING COLOR. ALL GRID MOUNTED EQUIPMENT SHALL BE SCREENED BELOW TOP OF SCREEN WALLS.



BUILDING SIGNAGE
SCALE: 1/8"=1'-0"



16-PLEX BUILDING - SIDE ELEVATION
SCALE: 1/8"=1'-0"

GENERAL NOTES:

- STUCCO FINISH: THESE WILL BE 3 DIFFERENT COLORS TO BE USED THROUGHOUT THE PROJECT. THESE COLORS WILL BE LIGHT BEIGE, MEDIUM BEIGE, AND DARK BEIGE. ALL BUILDINGS WILL BE 1 COLOR UNLESS NOTED OTHERWISE.
- EXPOSED WOOD: ALL EXPOSED WOOD WILL BE PAINTED WHITE.
- METAL ROOF: GALVANIZED METAL ROOFING, GRAY COLOR, WHITE FINISH TYPICAL THROUGHOUT.
- AREA LIGHTING, INCLUDING PARKING AND WALKS, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC ROAD. IT SHALL NOT HAVE AN OPTICAL LUMINANCE GREATER THAN 100 FOOTLAMBERTS AND IT SHALL NOT HAVE PRIVATE PROPERTIES IN A RESIDENTIAL ZONE.

Revisions	
Job Title	MANZANO YESA EAST
Client	ELBANK NE
Project Manager	ALBUQUERQUE NEW MEXICO 87128
Job No.	20046
Date	5/22/01
Sheet Title	ELEVATIONS
By	MAP

do la come architects pa dia
2400 buena vista ave ne
building 3, albuquerque 87110
albuquerque nm 87110 505-833-7098

5.22.01