

May 2002

Ridgeview Village
Subdivision

PLANS/PLATS ON FILE

FILE DESC:

EPC

1000936

PLANS/PLATS

14



Notes:

1. This Site Development Plan for Building Permit covers the SU-1 for R-2 and SU-1 for Mixed Use (Residential) areas only of the approved Unser/McMahon Village Center North Site Development Plan for Subdivision. The property to the north of Night Whisper Road is part of the Ridgeview Village Subdivision and is zoned R-T; therefore no Site Plan for Building Permit is required. Lots 102-112 (a portion of these lots are zoned R-T) shall be governed by this Site Development Plan for Building Permit.
2. This Site Development Plan for Building Permit is delegated to the Development Review Board if developed at R-T densities or less. See Site Plan for Subdivision General Note #2.
3. The access policy for Unser Boulevard was amended by the UTPPB Resolution 2000-10 to allow a full access intersection on Unser Boulevard approximately 1,200 feet north of McMahon Boulevard, and two additional limited access points (right-in/right-out/left-in) on Unser Boulevard approximately 700 feet north and south of the Unser/McMahon intersection. This policy has been implemented through the full access intersection at Unser Boulevard and Night Whisper Road and the limited access point (between Tracts F-1 and H-1) west of Unser Boulevard. There shall be no direct access to Unser Boulevard.
4. Solid Waste: Each lot/home shall have a storage area for residential automated carts, not to be visible from the street.
5. Site lighting shall be shielded source with no light source visible from the site perimeter.
6. Setbacks shall be as follows: Front yard - 15 feet except garages shall be set back a minimum of 20 feet; Side yard - 5 feet; Rear yard - 15 feet.
7. Four foot sidewalks shall be provided along all residential streets.
8. Side yard walls provided adjacent to Pinon Verde and Bandelier Drives shall be split face concrete masonry unit (CMU) and shall be a height of 6 feet. It will be installed and paid for by the developer.

ERC

APPROVALS

This Site Plan for Building Permit is consistent with the Site Plan for Subdivision approved by the Environmental Planning Commission on January 18, 2001 and Conditions of Approval have been met.
 PROJECT: #1000936
 DRB: #02DRB-00713
 EPC: #00110-00000-01639, 00128-00000-01640

<i>Speron Matson</i>	1/30/03
Planning Director	Date
<i>Richard Dault</i>	6-05-02
Transportation Development	Date
<i>Bruce L. Bisher</i>	1-28-03
City Engineer/AMAFCA	Date
<i>Roger A. Green</i>	6/5/02
Utility Development	Date
<i>Christina Sandford</i>	6/5/02
Parks and Recreation Department	Date
<i>[Signature]</i>	May 9, 2003
Solid Waste Department	Date

Site Plan for Building Permit
 RIDGEVIEW VILLAGE
 SUBDIVISION
 at Unser/McMahon Village Center North

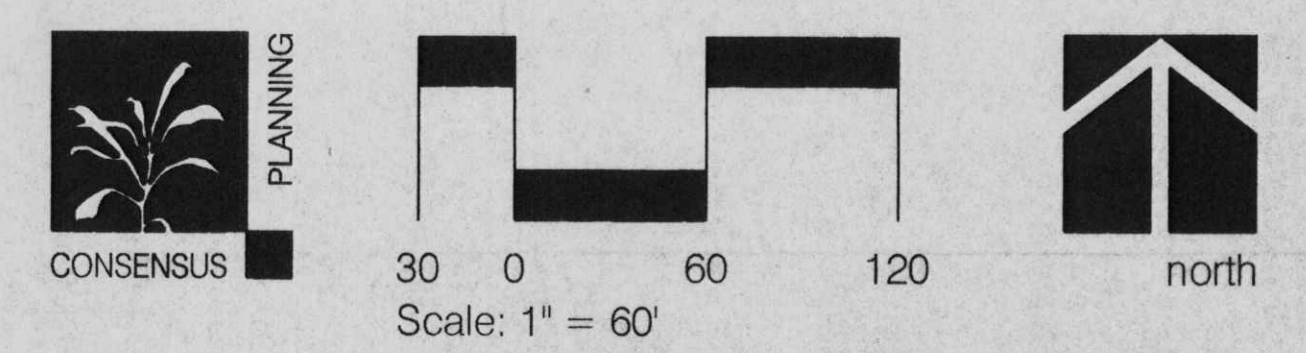
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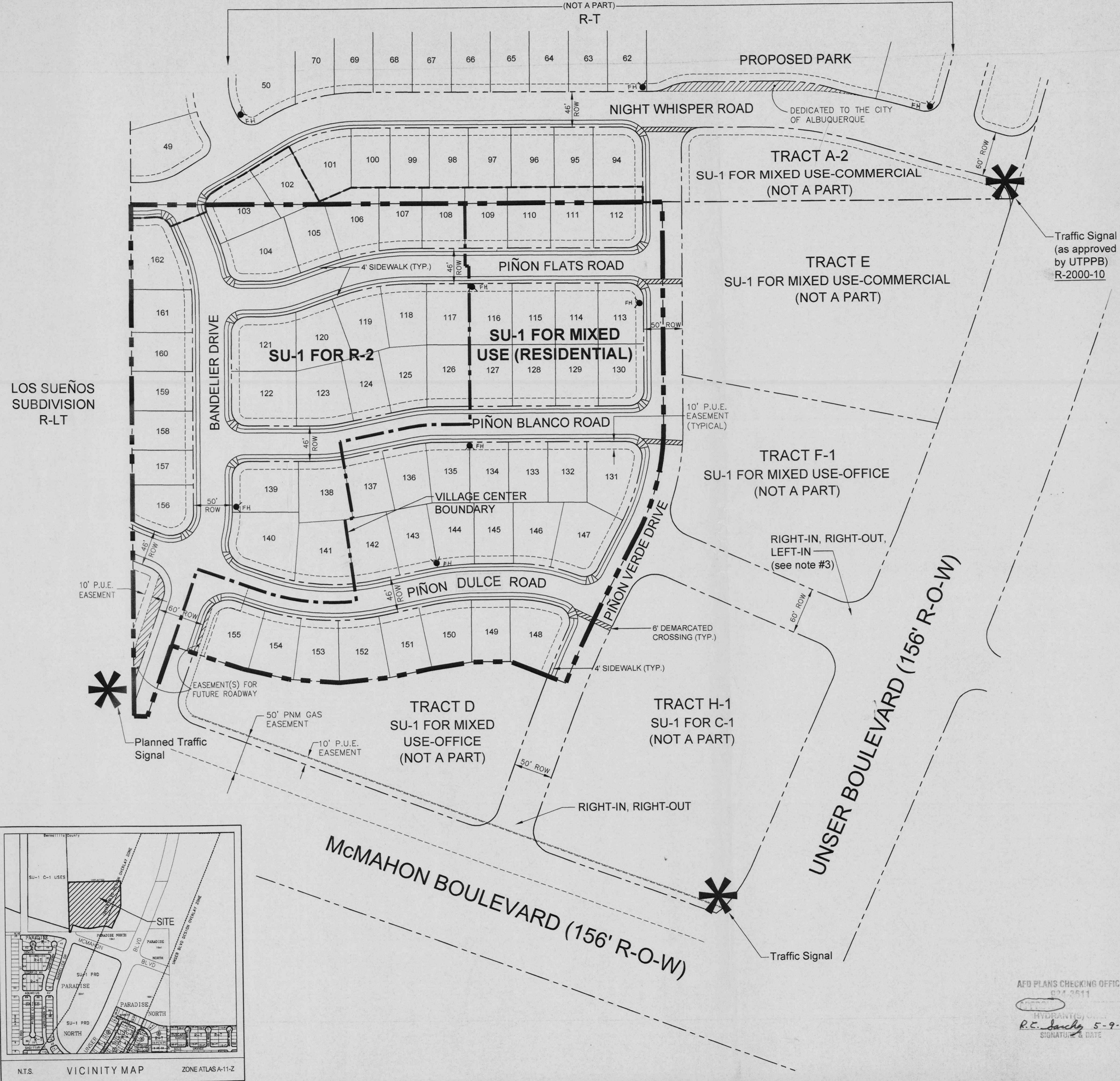
Curb Inc.
 6301 Indian School Road N.E.
 Suite #208
 Albuquerque, NM 87110

Prepared by:

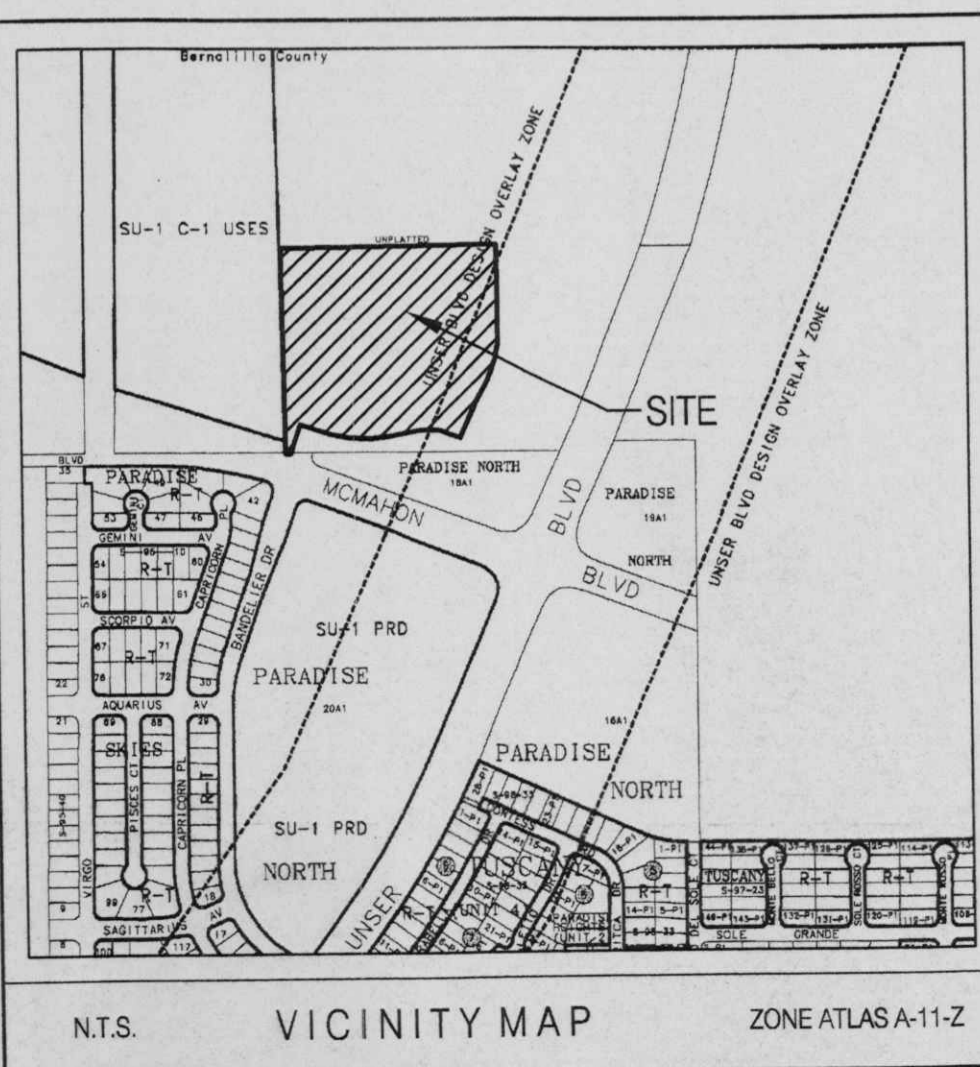
Consensus Planning, Inc. Community Sciences Corporation
 924 Park Avenue SW 4481 Corrales Road
 Albuquerque, NM 87102 Corrales, NM 87048

AFD PLANS CHECKING OFFICE
 924-3611
 R.E. Sanchez 5-9-02
 SIGNATURE & DATE





LOS SUEÑOS SUBDIVISION R-LT



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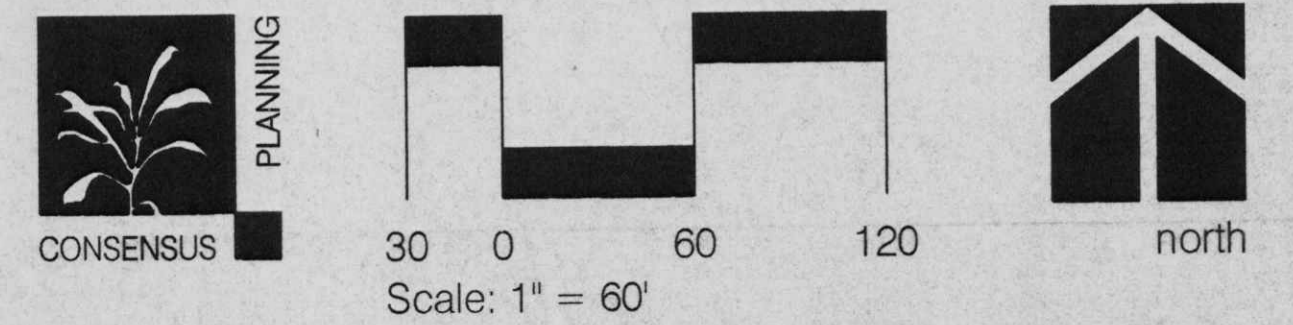
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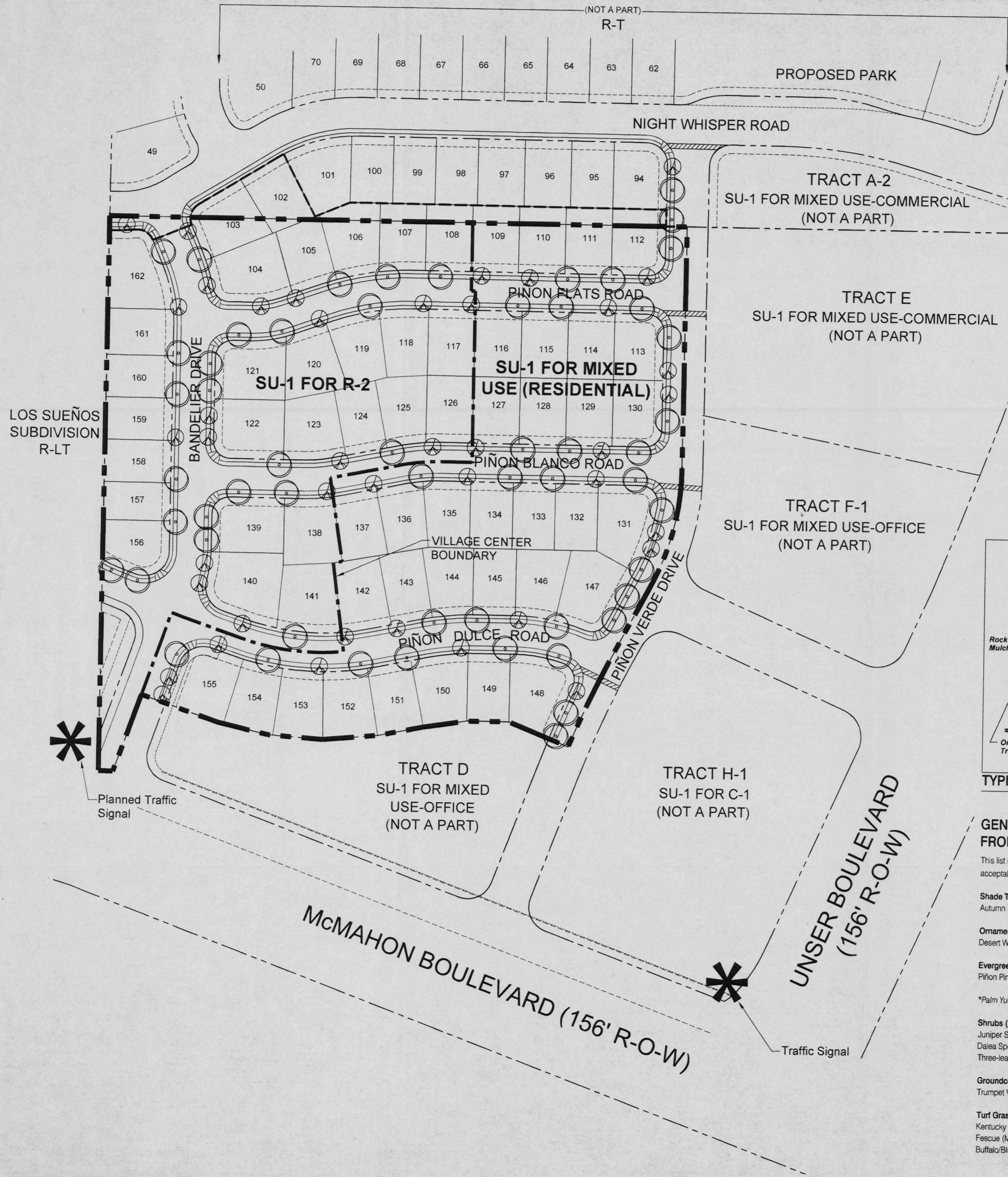
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 Albuquerque, NM 87102

Community Sciences Corporation
 4481 Corrales Road
 Corrales, NM 87048

AFO PLANS CHECKING OFFICE
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 R.C. Sanchez 5-9-02
 SIGNATURE & DATE





LANDSCAPE CONCEPT

The landscape Concept for Ridgeview Village in and immediately adjacent to the Unser/McMahon Village Center North has been developed to be consistent with the approved Site Plan for Subdivision approved by the Environmental Planning Commission on January 18, 2001.

GENERAL

The design and provision of landscaping for the Ridgeview Village Subdivision will be in conformance with the City of Albuquerque Zoning Code, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

STREET TREE ORDINANCE REQUIREMENTS

Streets within the Ridgeview Village Subdivision are classified as local streets and do not fall under the requirements of the City of Albuquerque Street Tree Ordinance, however, per the Unser McMahon Village Center North Design Guidelines, street trees shall be installed by the builder. Street trees shall be along interior roads at a rate of one tree per single family residential lot. Street trees shall also be provided along Bandelier and Pinon Verde Drives at a rate of one per 25 linear feet, as defined by the approved Site Development Plan for Subdivision. Street trees are defined as being within 20 feet of the back of curb. They may either be randomly or consistently placed.

STREET TREE PALETTE

- Street tree shall be a minimum 2" caliper at installation.
- Chinese Pistache
- Golden Raintree

UTILITY NOTES

Due to the small scale, and in order to provide optimum legibility of the landscape plan, utility easements are not shown. The location of utility easements are as indicated on the Site Plan, Sheet 1.

IRRIGATION SYSTEM

Irrigation system shall consist of a fully automated sprinkler/drip irrigation system to irrigate tree, shrub, and groundcover planting areas. Irrigation for street trees shall be included as part of the irrigation system for individual lots.

MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system shall be the responsibility of the individual Lot Owners. All planting areas will be maintained in a living, attractive, and weed free condition.

MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR RIDGEVIEW VILLAGE SUBDIVISION

The following requirements for front yard landscaping are in addition to the street tree requirements outlined above.

- 1 Deciduous Shade Tree (min. 1-1/2" caliper)
- 8 Shrubs or Wild Flowers (min. 5 gallon)
- Turf Grass (sodded, min. 20% of the front yard landscape area)
- 1 Landscape Boulder (3x3' min.)

OR

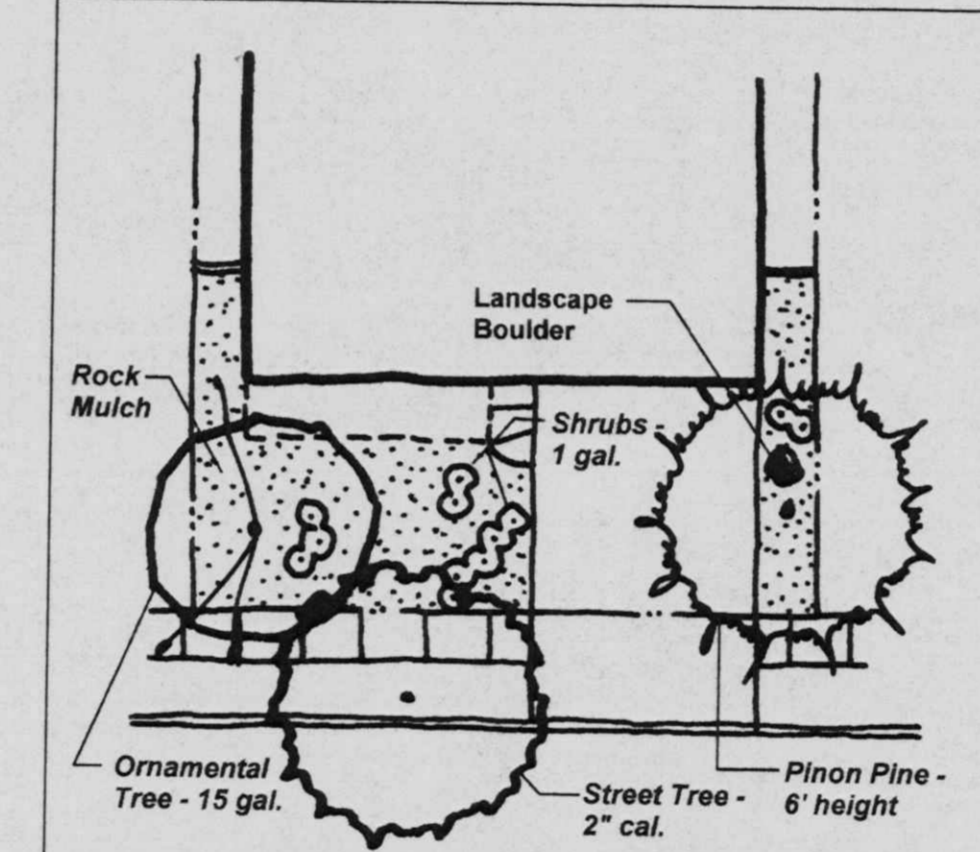
- 1 Ornamental Tree (min. 15 gallon)
- 1 Piñon Pine (min. 6' height)
- 12 Shrubs or Wild Flowers (1 gallon)
- 1 Landscape Boulder (3x3' min.)

In addition, all front yard landscaping shall be required to have the following:

- 3/4" Santa Ana Tan Rock Mulch over filter fabric for all landscaped areas that are not covered with living vegetative groundcover
- Steel Header (as required between Turf and other landscaped areas)
- Irrigation System w/Automatic Timer

The following approved Accents can be used for front yard landscaping:

- 2'-4" Cobbles (max. 25% of Area), Bark Mulch (in tree wells only)



TYPICAL FRONT YARD LANDSCAPE PLAN

N.T.S.

GENERAL PLANT PALETTE FOR FRONT YARD LANDSCAPES

This list is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

Shade Trees (1 1/2" caliper min.)*
Autumn Purple Ash, Honeylocust species, Chinese Pistache, Golden Raintree, Purple Robe Locust

Ornamental Trees (15 gallon min.)*
Desert Willow, Chitalpa, New Mexico Olive, Flowering Pear, Flowering Plum, Chaste Tree

Evergreen Trees (6' min. height)*
Piñon Pine

*Palm Yucca and Ocotillo shall not be used to fulfill the requirement for front yard trees.

Shrubs (1 & 5 gallon)
Juniper Species, Potentilla, Chamisa, Artemisia Species, Fourwing Saltbush, Red Yucca, Apache Plume, Dalea Species, Penstemon Species, Desert Spoon, Cotonestier Species, Cherry Sage, Russian Sage, Three-leaf Sumac, Caryopteris, Yucca Species

Groundcovers and Vines
Trumpet Vine, Carolina Jessamine, Juniper species, Honeysuckle, Wisteria, Virginia Creeper

Turf Grasses (Seed or Sod)
Kentucky Bluegrass (Max. 20% of total landscape area)
Fescue (Max. 20% of total landscape area)
Buffalo/Blue Grama Grass

**Landscape Plan
RIDGEVIEW VILLAGE
SUBDIVISION**
at Unser/McMahon Village Center North

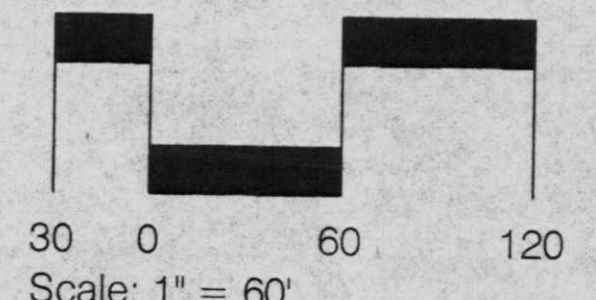
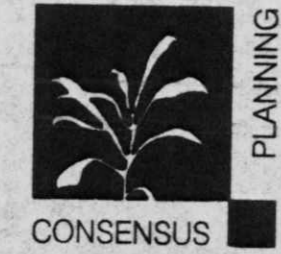
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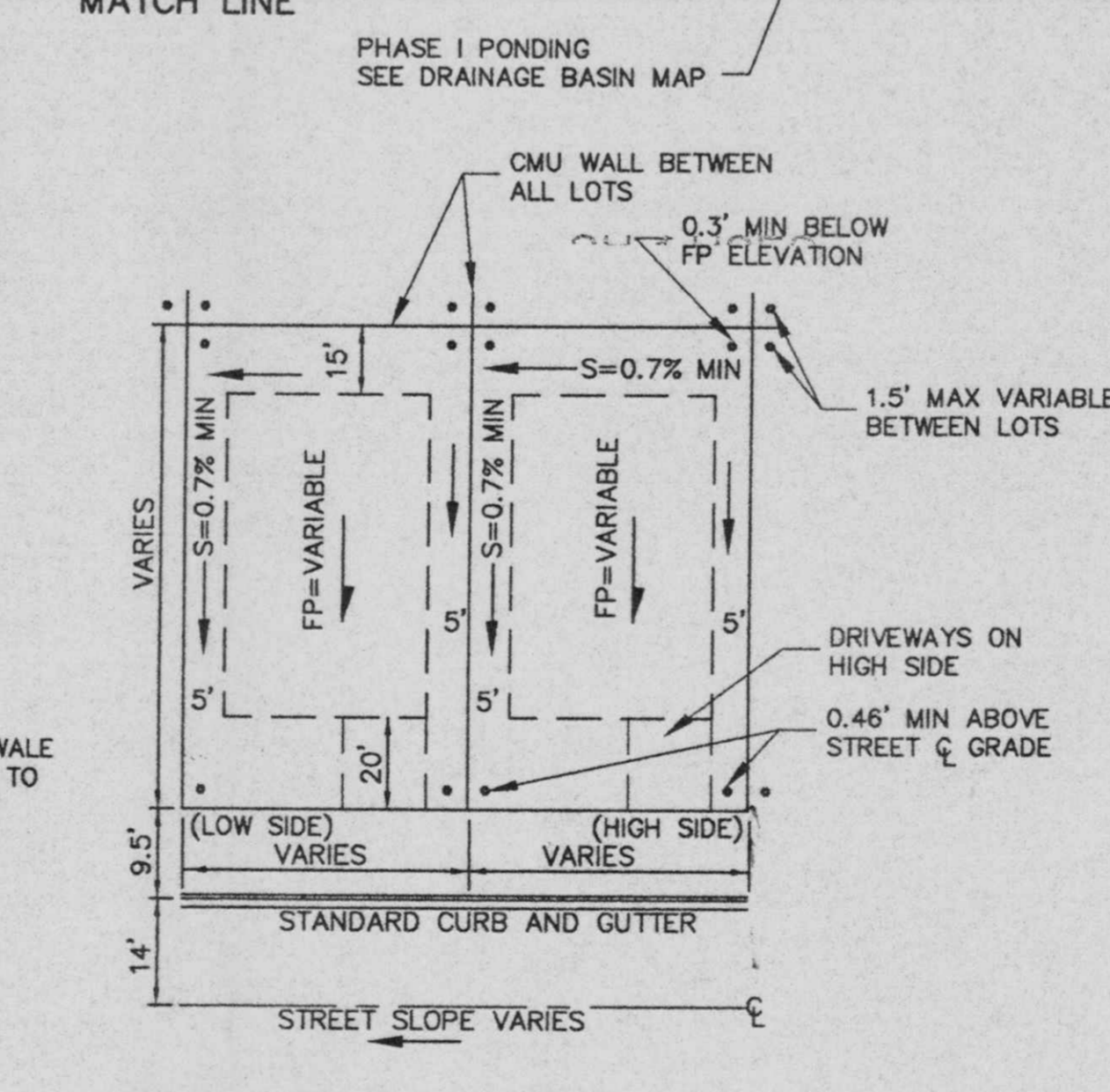
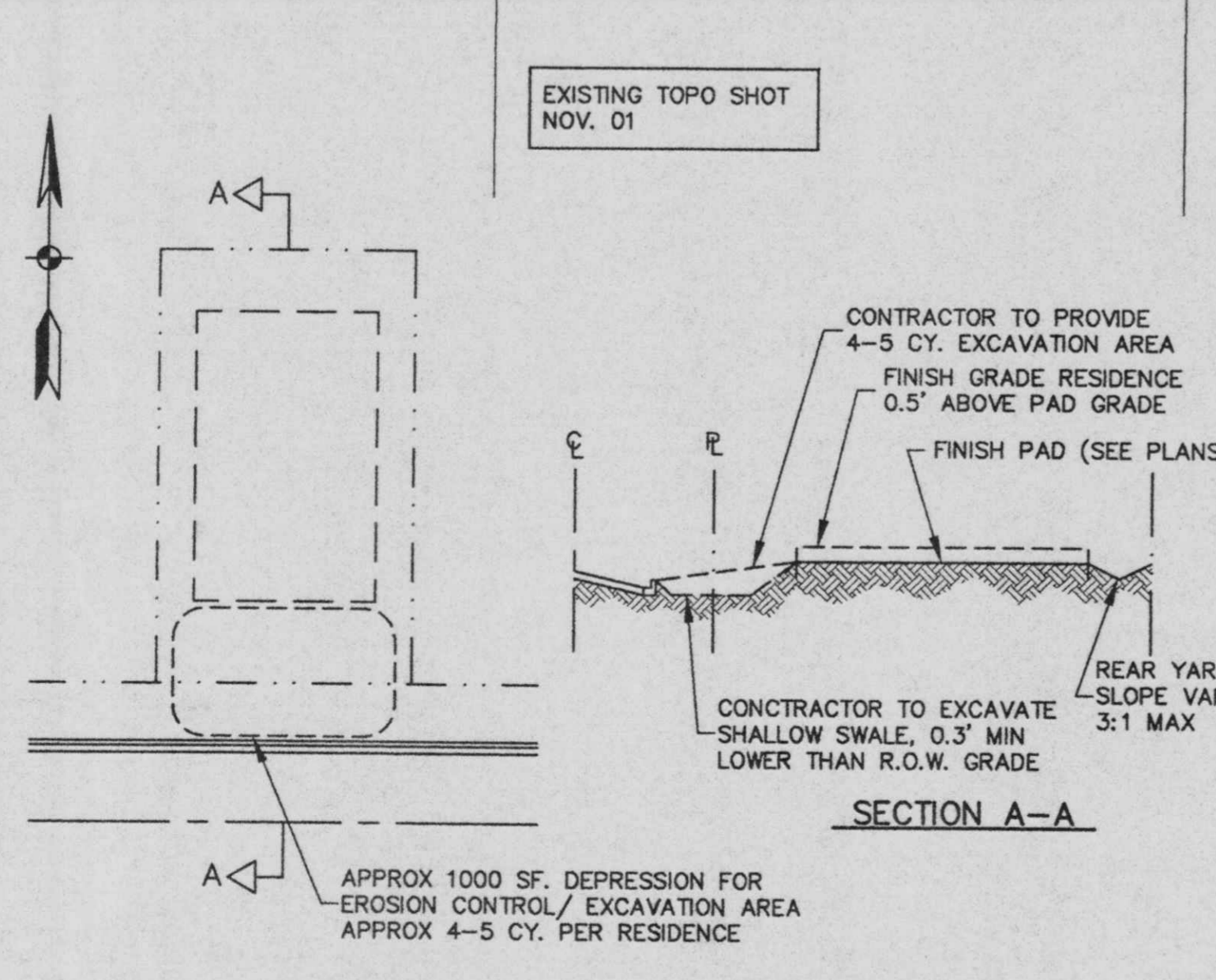
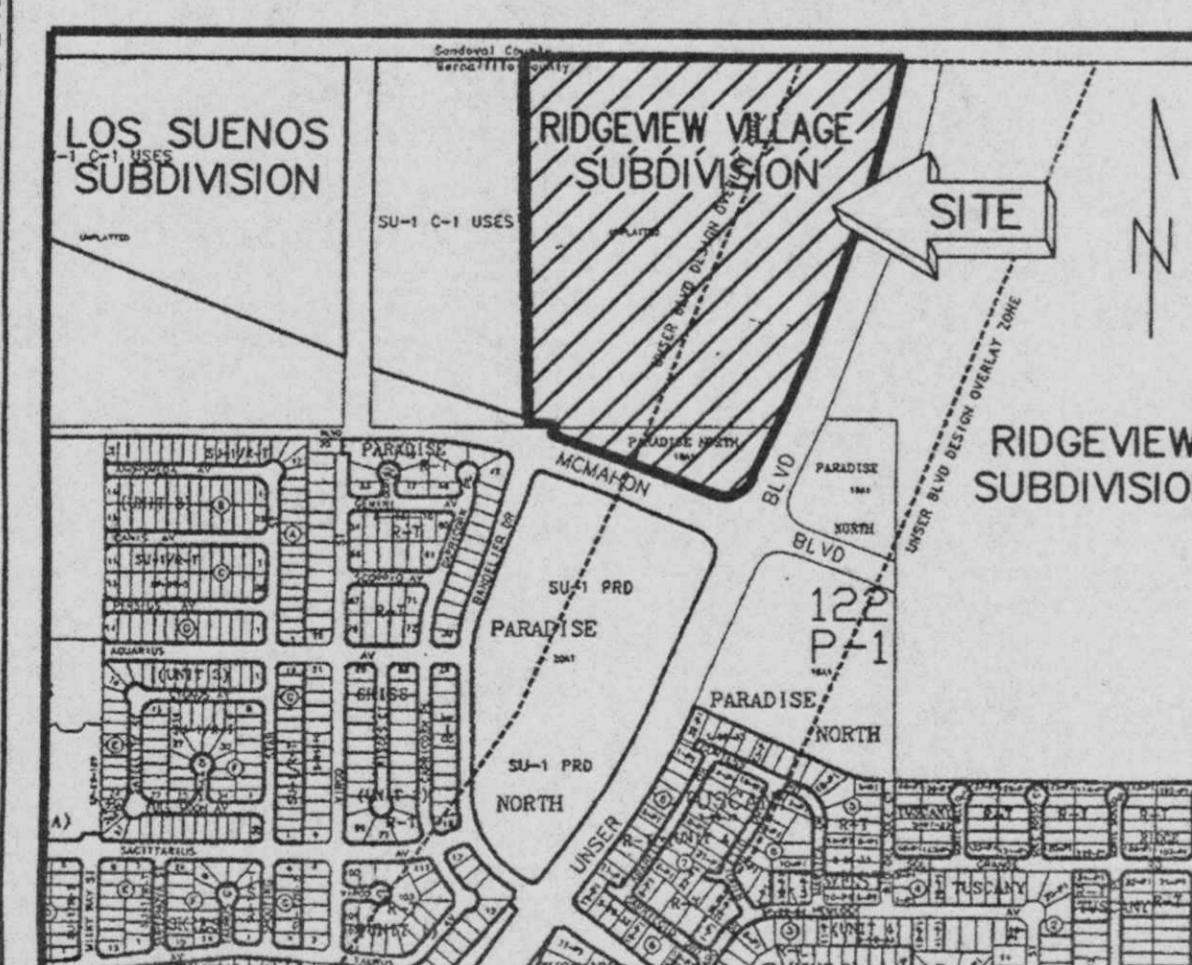
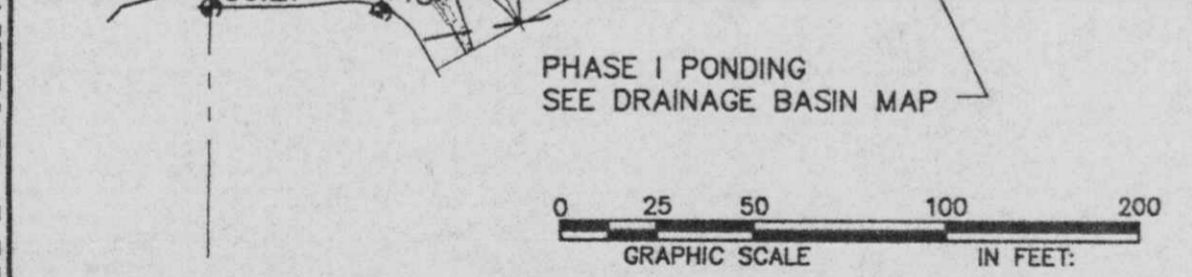
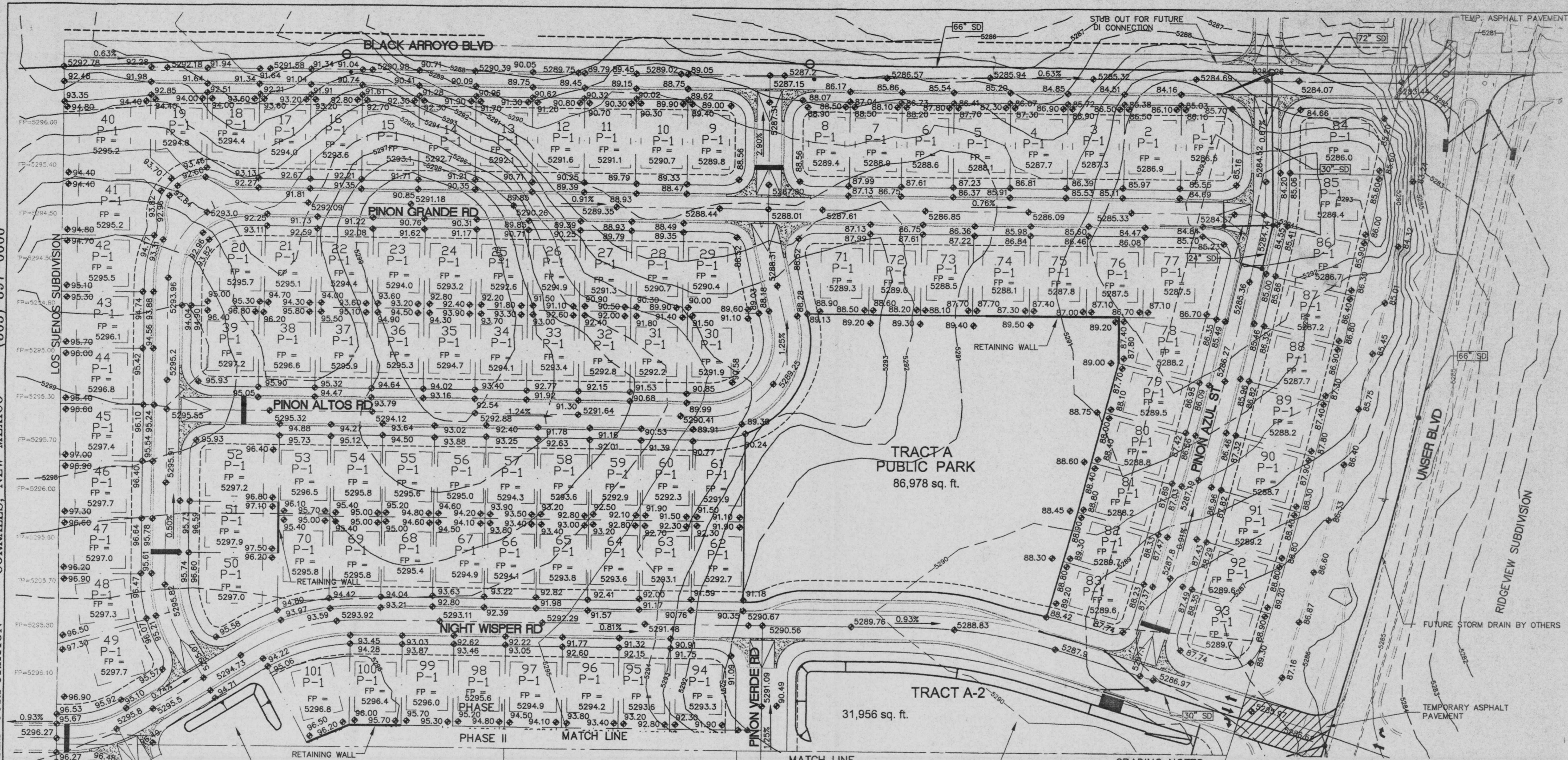
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924 Park Avenue SW
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COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000



GRADING NOTES:

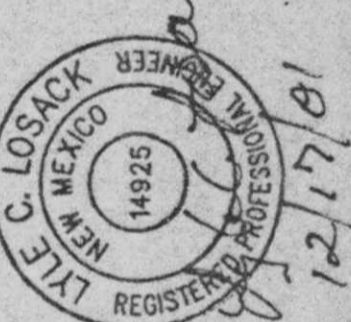
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LEGEND

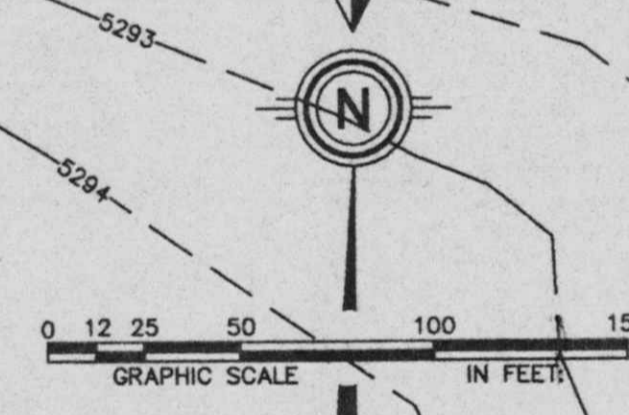
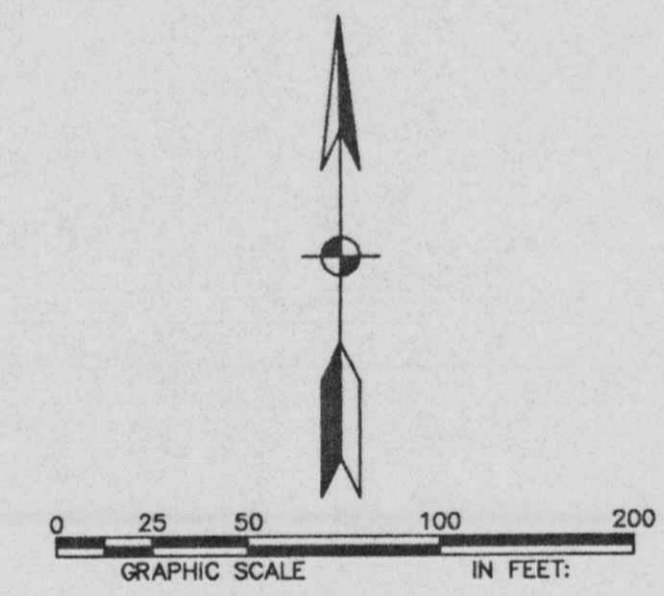
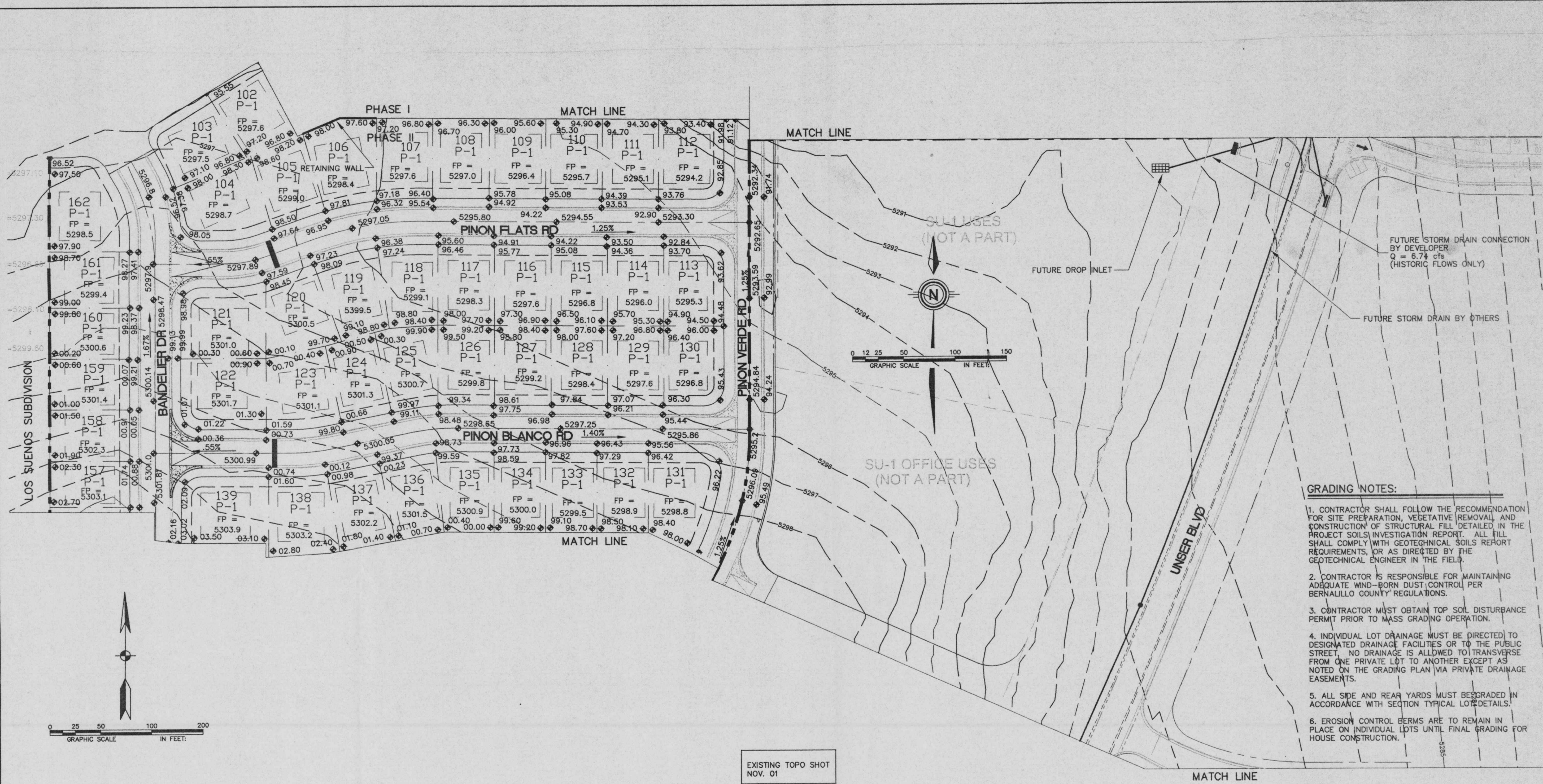
- TC-98.43 PROPOSED TOP OF CURB ELEVATION
- 99.0 PROPOSED SPOT ELEVATION
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- ▨ TEMPORARY PAVING
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- FLOW ARROW
- 30" SD PROPOSED STORM DRAIN
- PROPOSED STORM SEWER CATCH BASIN
- PROPOSED WATER BLOCK
- ▭ BASIN BOUNDARY
- ▭ SUB BASIN BOUNDARY
- - - PHASE LINE
- ▭ RETAINING WALL

DATE: 11/2001
 SCALE: 1" = 50'
 JOB NO.: N291-33-130
Community Sciences Corporation
 LAND PLANNING P.D. Box 1328 ENGINEERING CORRALES, N.M. 87048 SURVEYING
 CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP
**TITLE: RIDGEVIEW VILLAGE SUBDIVISION
 ULTIMATE GRADING AND DRAINAGE PLAN**
 PROJECT NO. N291-33-130 MAP NO. SHEET 1 OF 3

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS	
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ACCEPTED BY: NAD 1983 NMSP C CORP/SON		X=1502101.6571	Y=1534274.4482						
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CHECKED BY: UNANS		ELEV. (NAVD 1929) 5456.92 (2ND ORD.)							
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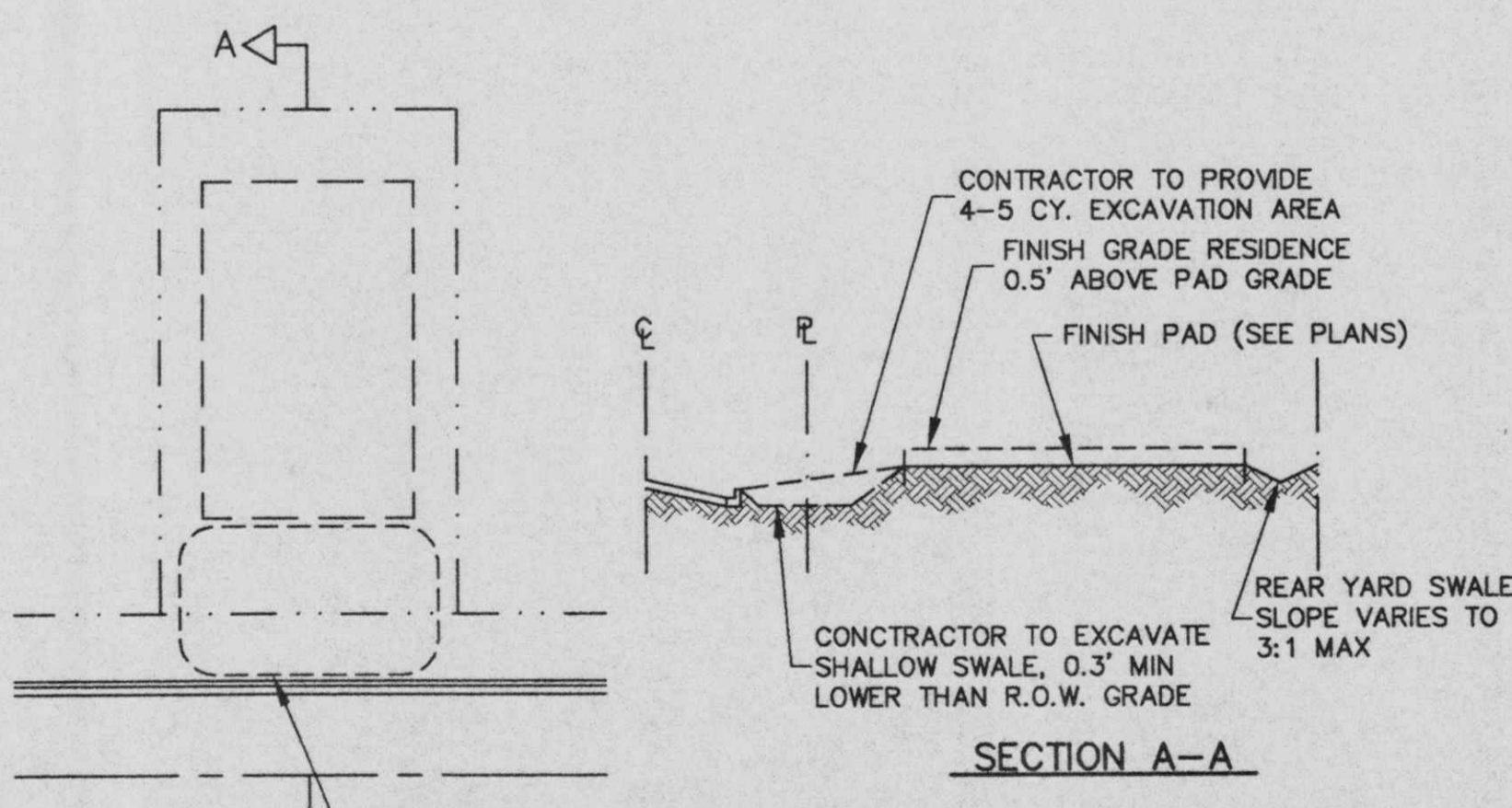
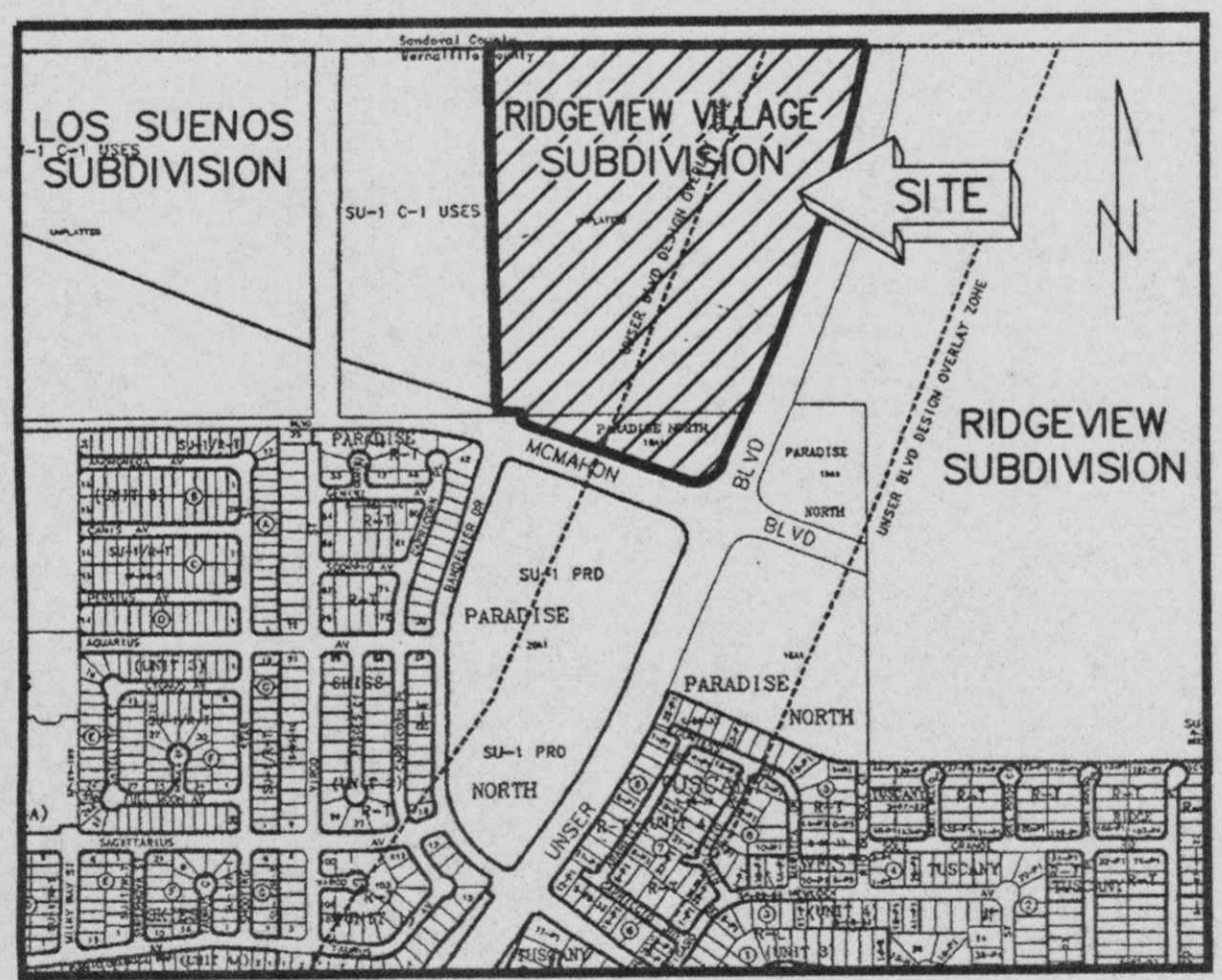


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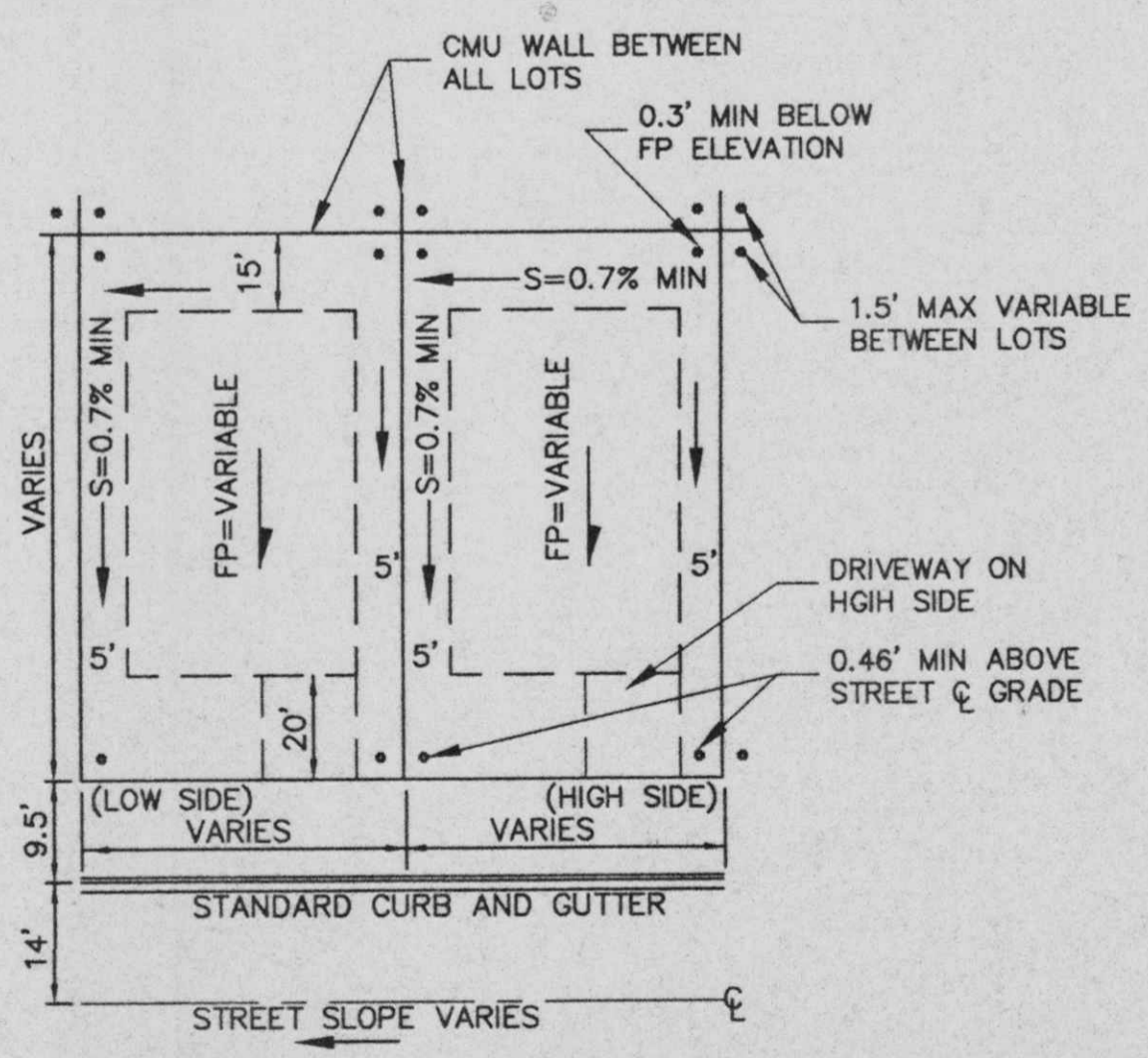


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EXISTING TOPO SHOT NOV. 01



ROUGH GRADING - CONTRACTOR SPECIFICATION FOR EROSION CONTROL AND FRONT-YARD EXCAVATION AREA



TYPICAL LOT DETAIL FOR SINGLE FAMILY DETACHED DWELLINGS

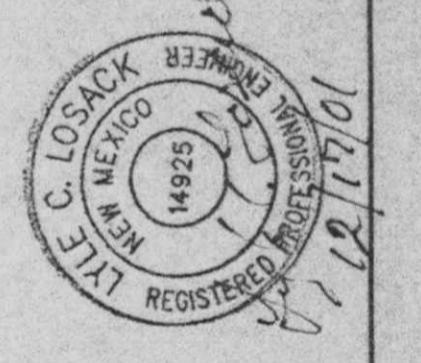
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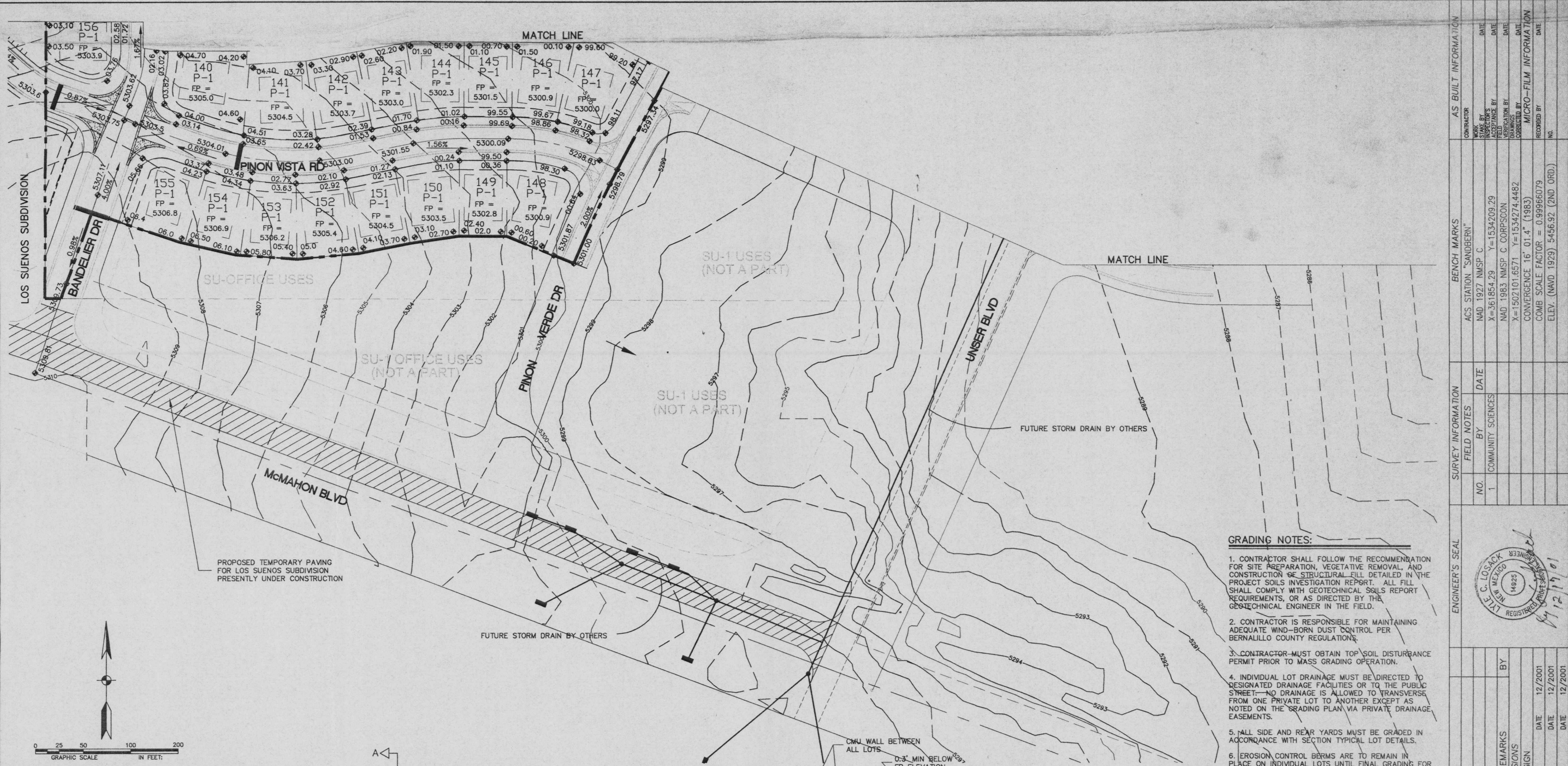
Community Sciences Corporation

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
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Design/Review Committee	City Engineer Approval
Mo./Day/Yr.	Mo./Day/Yr.
PROJECT NO. N291-33-130	MAP NO.
SHEET 2 OF 3	

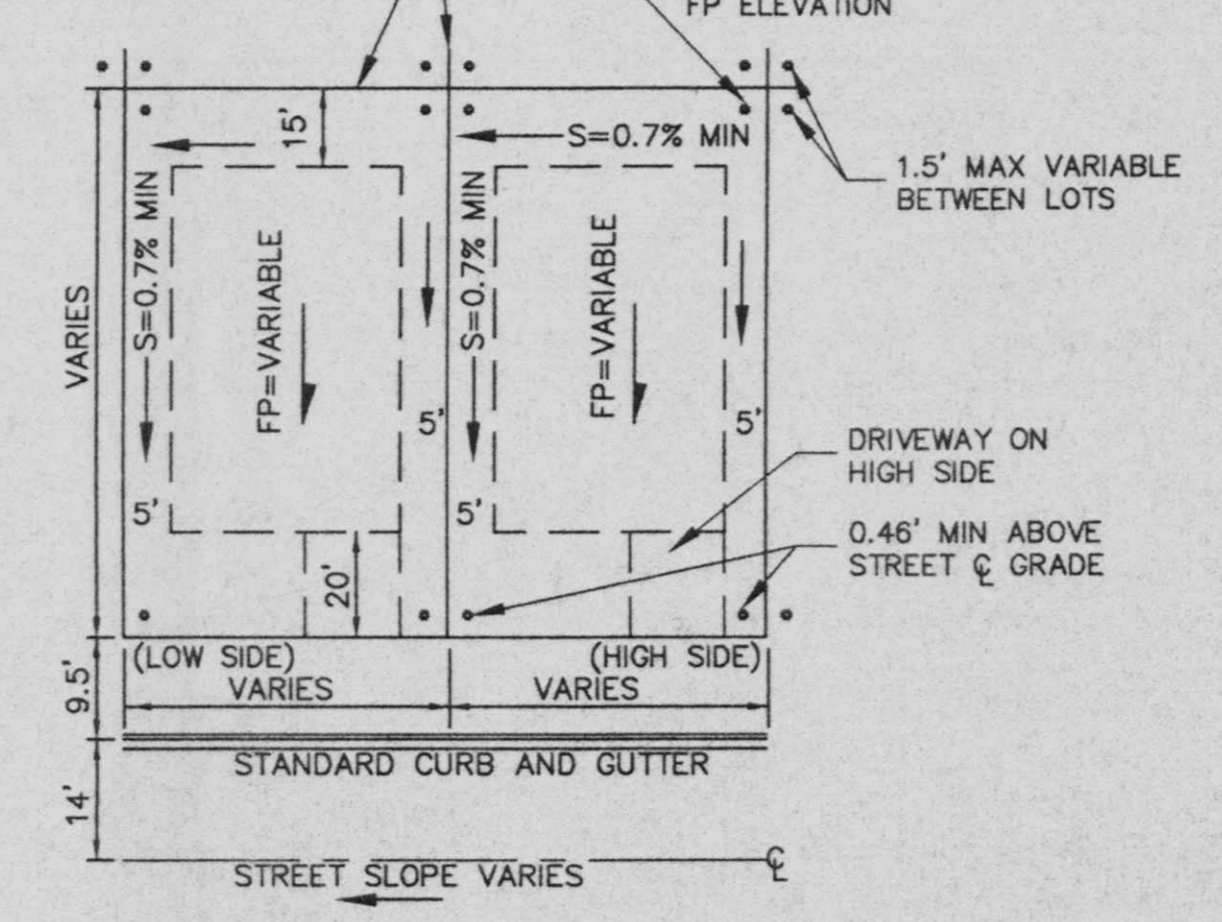
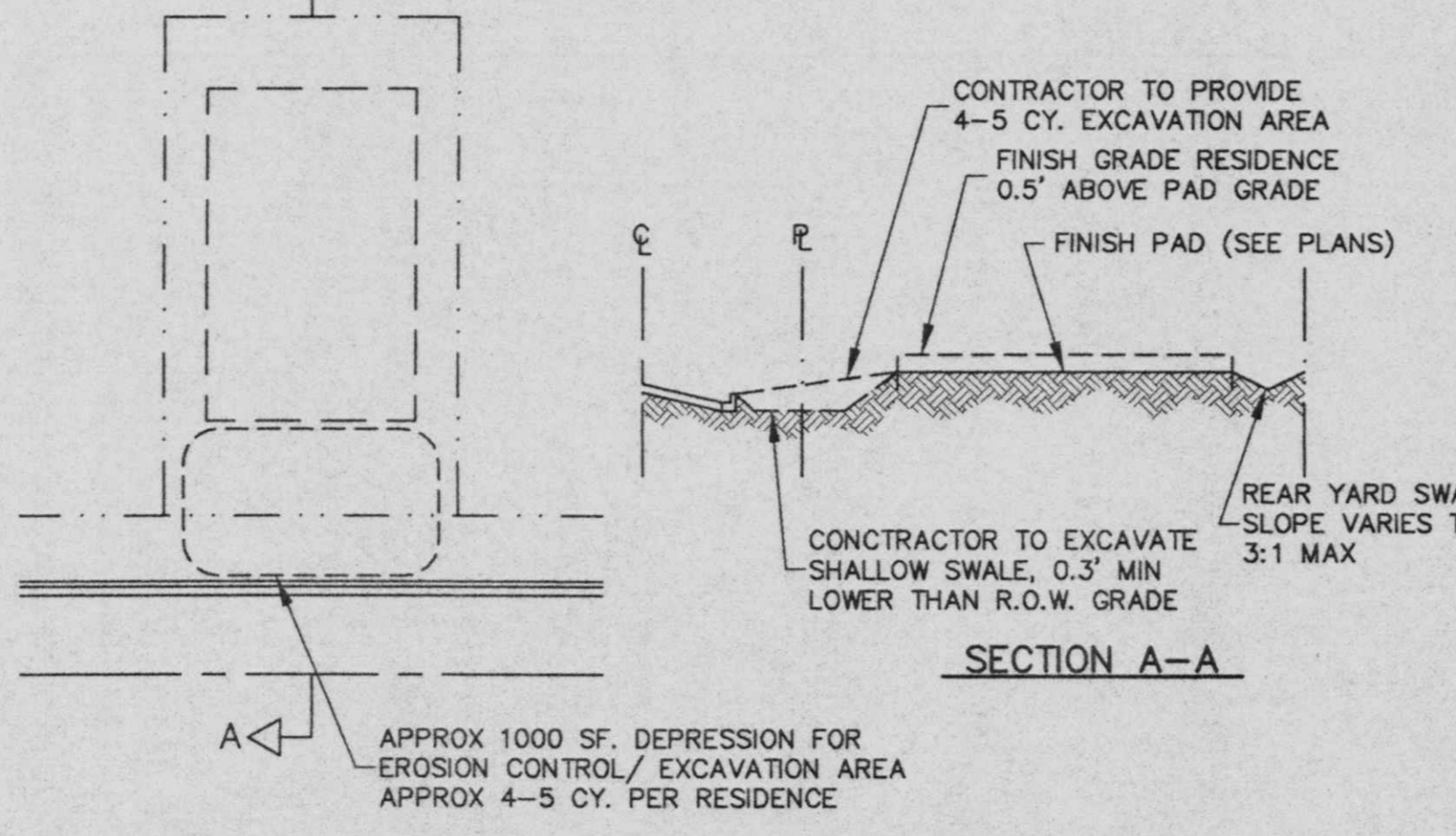
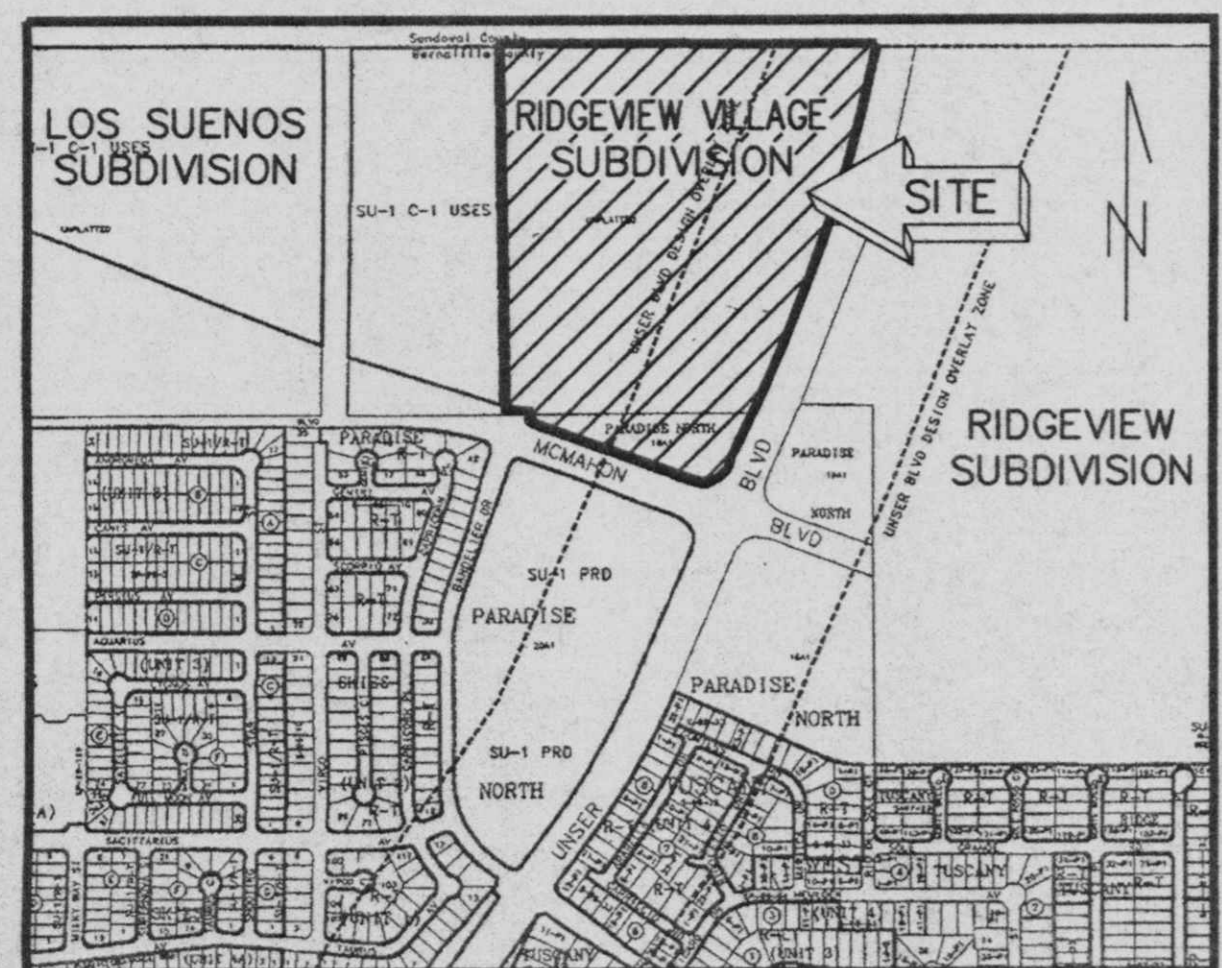
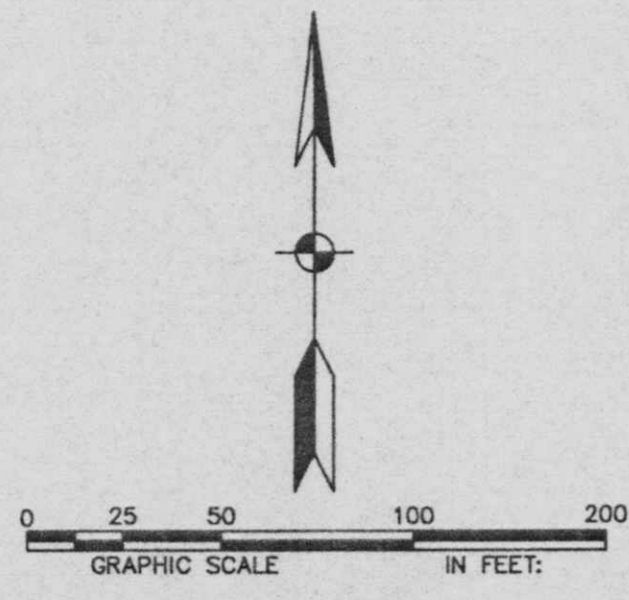
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REVISIONS	DATE	BY
DESIGN	12/2001	
REH	12/2001	
LCL	12/2001	



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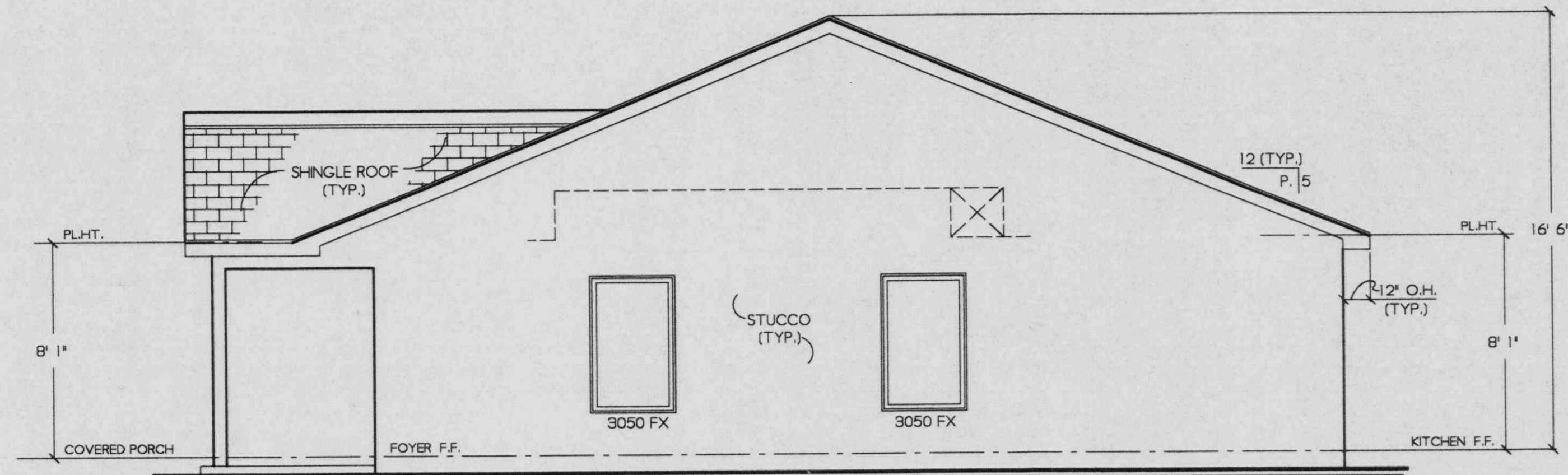
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**TITLE: RIDGEVIEW VILLAGE SUBDIVISION
ULTIMATE GRADING AND DRAINAGE PLAN**

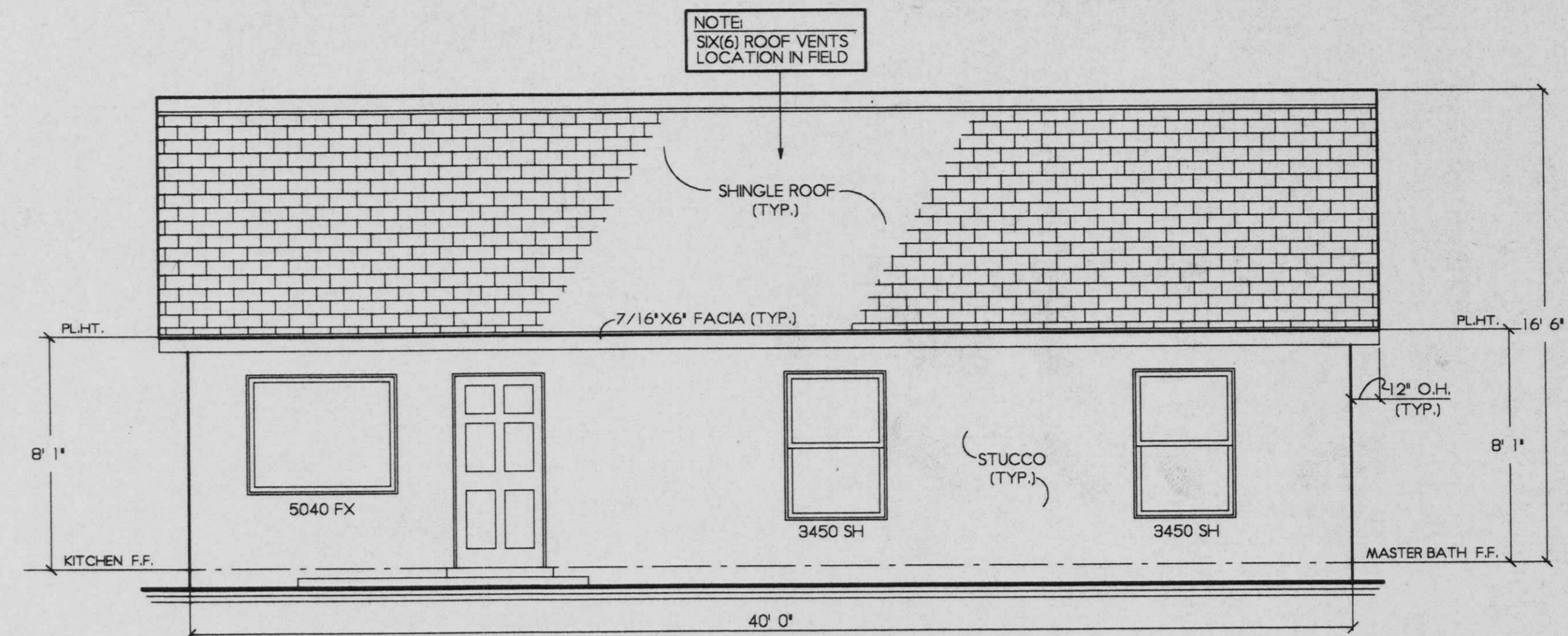
DESIGNED BY	DATE	REVISIONS	BY	DATE
LCL	12/2001	DESIGN		
REH	12/2001			
LCL	12/2001			

PROJECT NO. N291-33-130 MAP NO. SHEET 3 OF 3



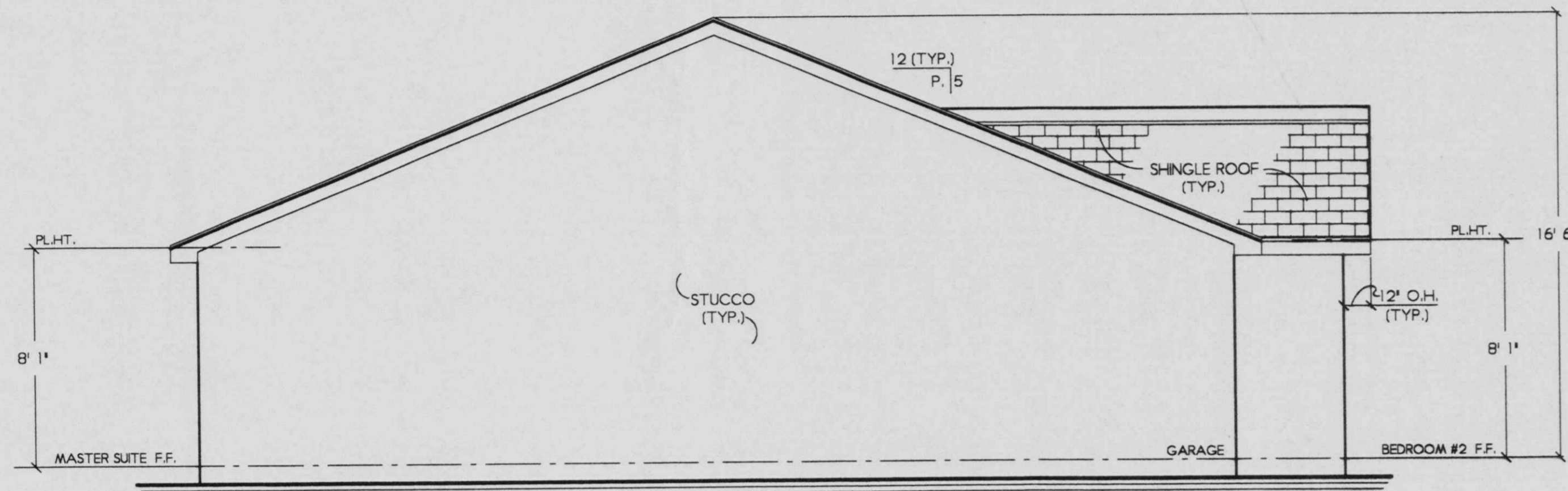
RIGHT SIDE ELEVATION

1/4"=1'0"



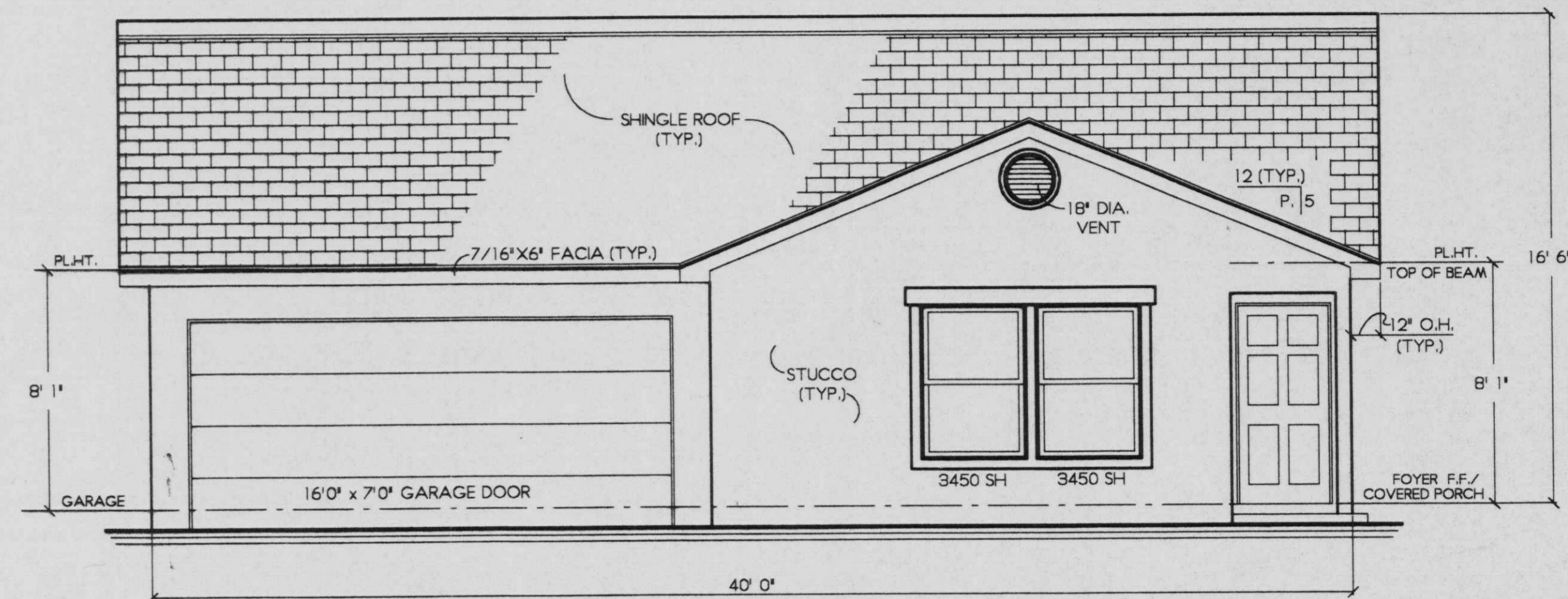
REAR ELEVATION

1/4"=1'0"



LEFT SIDE ELEVATION

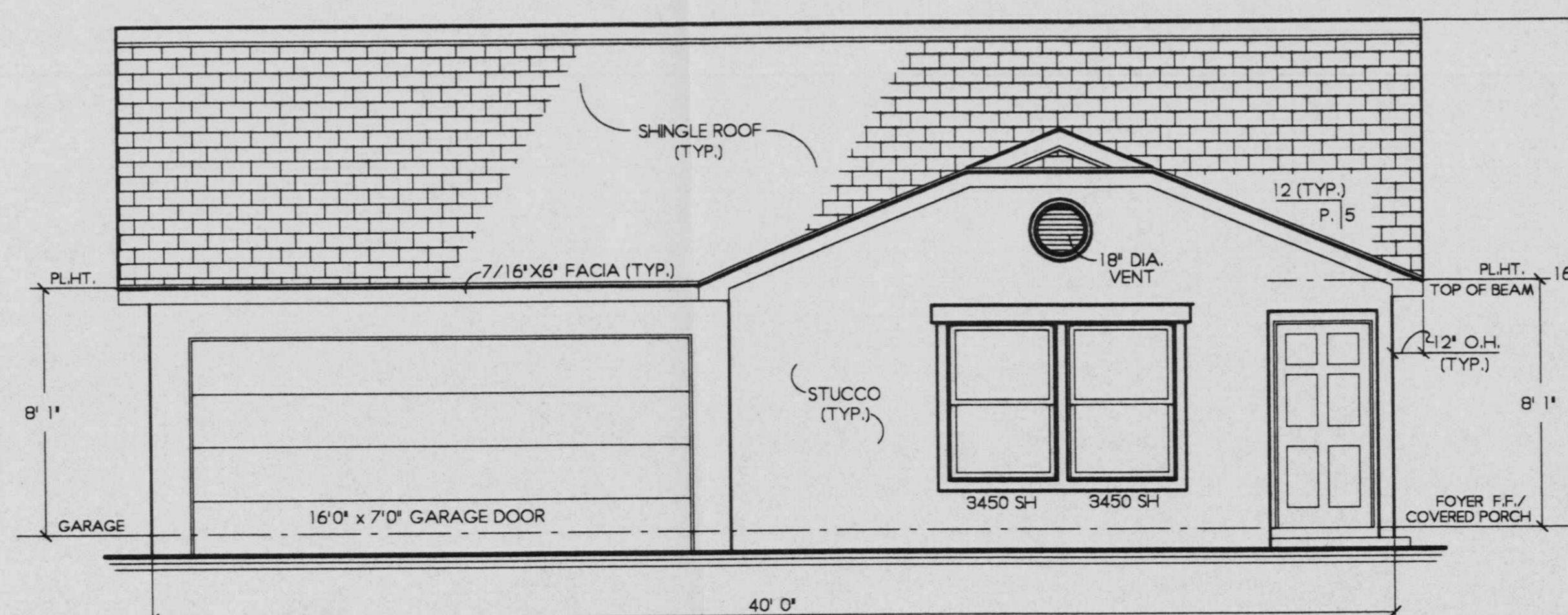
1/4"=1'0"



FRONT ELEVATION

1/4"=1'0"

ELEVATION "A"



FRONT ELEVATION

1/4"=1'0"

ELEVATION "B"

RIDGE VIEW VILLAGE SUBDIVISION

ROOF COLORS AND MATERIALS: ASPHALT SHINGLES; TAMKO ROOFING PRODUCTS, SERIES: GLASS-SEAL; RUSTIC SLATE, TWEED BLEND, WEATHERED WOOD, RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY.
 TRIM COLOR: WHITE
 STUCCO COLORS: SONNEBORN: DESERT LACE, LUNA, TORREON, PALOMA, AMARILLA, AND SUEDE.

NOTE: WINDOW SIZE IS ROUGH OPENING

NOTE:

FOR FRONT ELEVATION

CHECK (✓) OPTION BOX

EXAMPLE: OPTION A

PLAN: PLAN 104

JOB NO.: 21067

COMPUTER: PH-5/CD

REVISIONS: 25 APRIL 02

01 MAY 02

06 MAY 02

1/4"=1'0"

ELEVATION PLANS

SANDIA DESIGNERS

298-2842

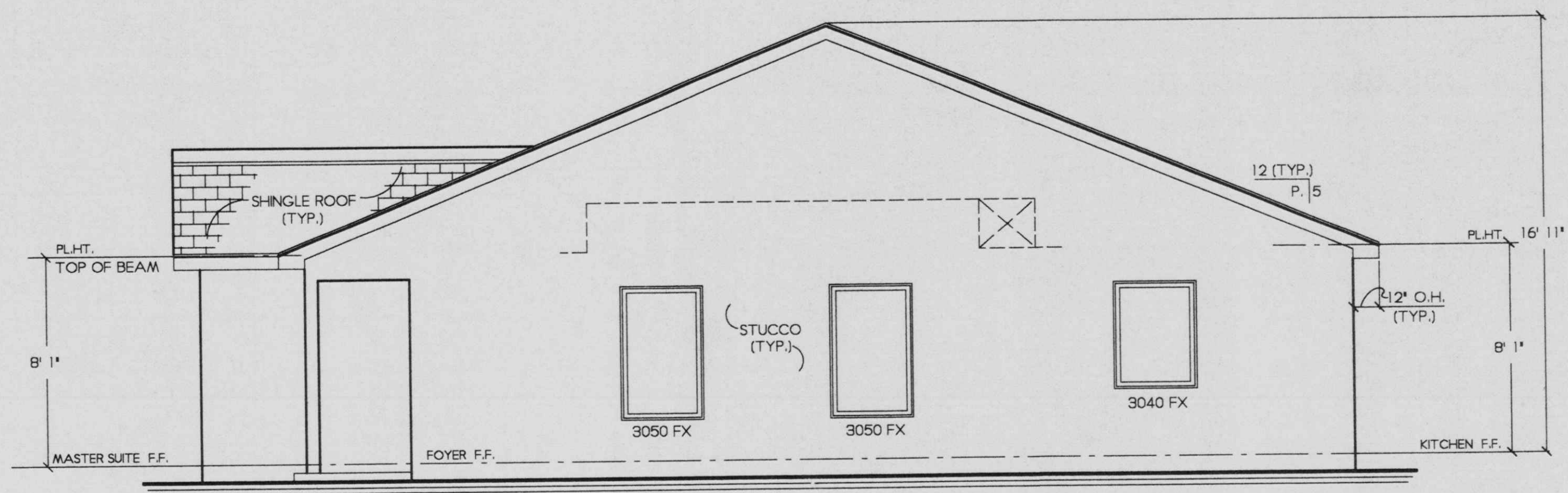
Albuquerque, New Mexico

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®

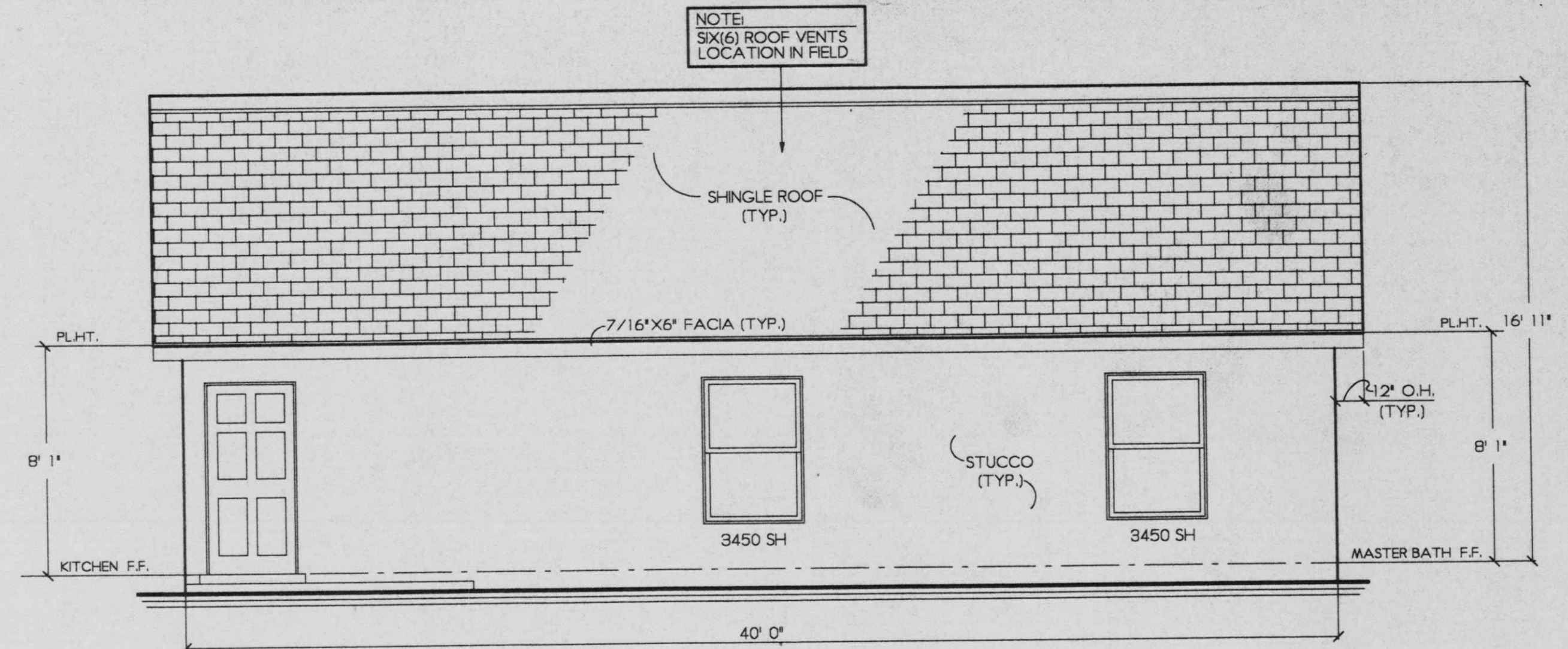
1/5

ARTISTIC HOMES



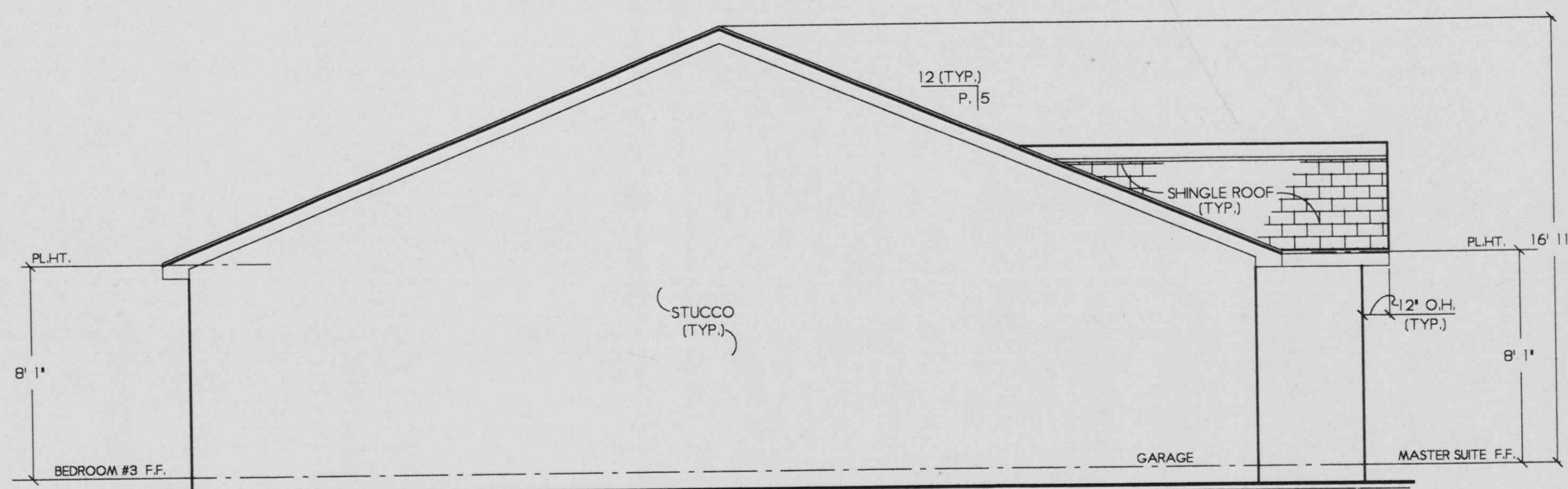
RIGHT SIDE ELEVATION

1/4"=1'0"



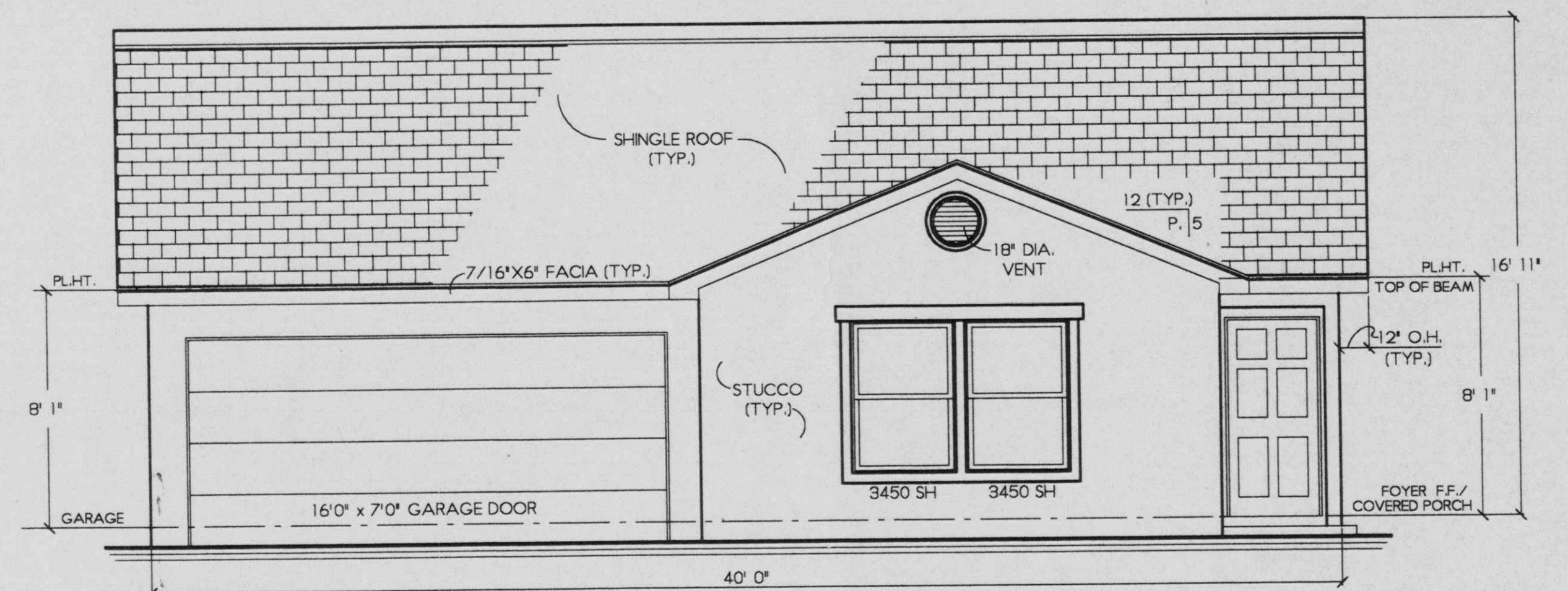
REAR ELEVATION

1/4"=1'0"



LEFT SIDE ELEVATION

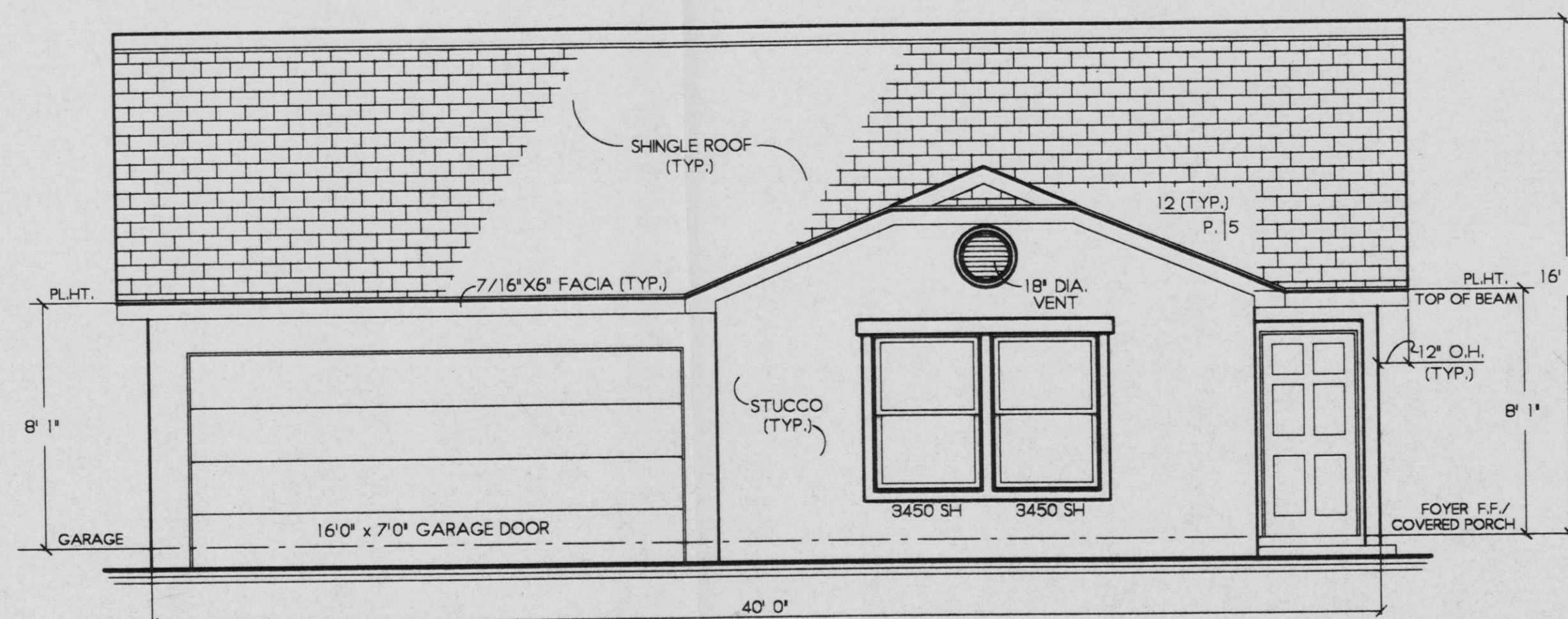
1/4"=1'0"



FRONT ELEVATION

1/4"=1'0"

ELEVATION "A"



FRONT ELEVATION

1/4"=1'0"

ELEVATION "B"

RIDGE VIEW VILLAGE SUBDIVISION

ROOF COLORS AND MATERIALS: ASPHALT SHINGLES: TAMKO ROOFING PRODUCTS, SERIES: GLASS SEAL; RUSTIC SLATE, TWEED BLEND, WEATHERED WOOD; RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY. TRIM COLOR: WHITE. STUCCO COLORS: SONNEBORN: DESERT LACE, LUNA, TORREON, PALOMA, AMARILLA, AND SUEDE.

NOTE: WINDOW SIZE IS ROUGH OPENING

NOTE:

FOR FRONT ELEVATION CHECK (✓) OPTION BOX
EXAMPLE: OPTION A

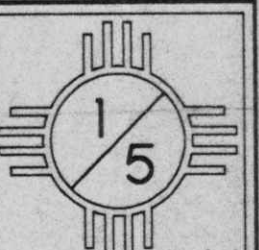
PLAN: PLAN 105
JOB NO.: 21068
COMPUTER: PH-6FCD

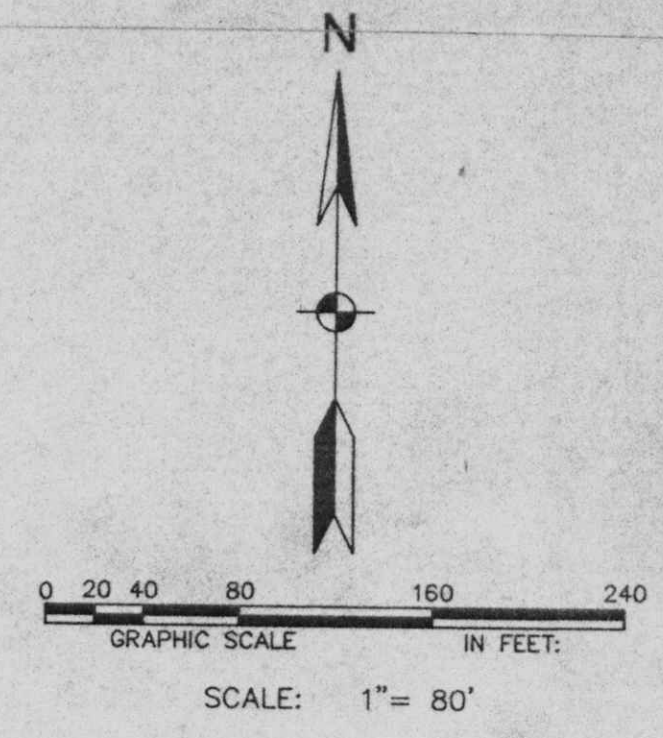
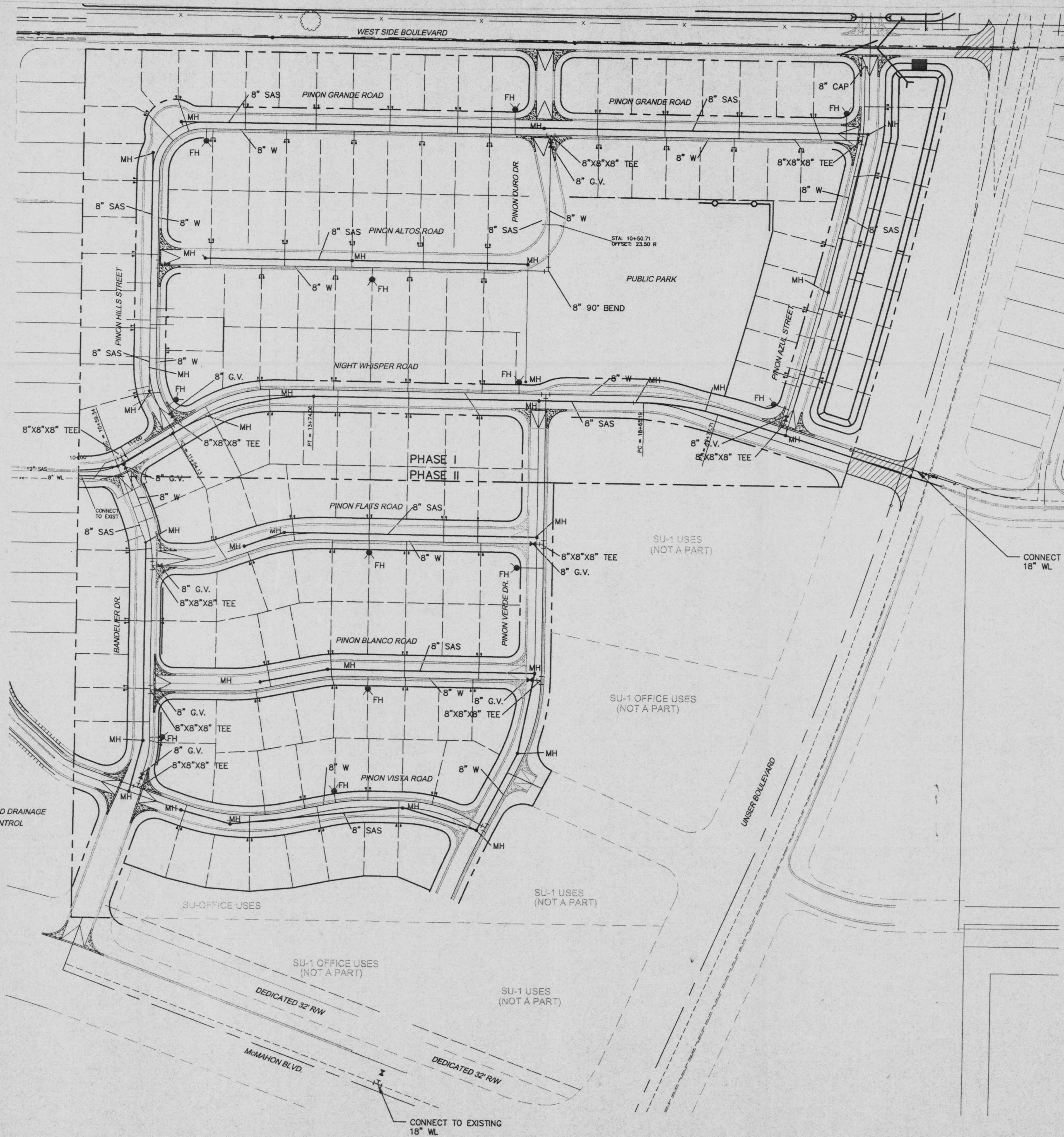
REVISIONS:
25 APRIL 02
01 MAY 02
06 MAY 02

1/4"=1'0"
PLAN 105

ELEVATION PLANS
ARTISTIC HOMES

SANDIA DESIGNERS
298-2842
Albuquerque, New Mexico
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LEGEND

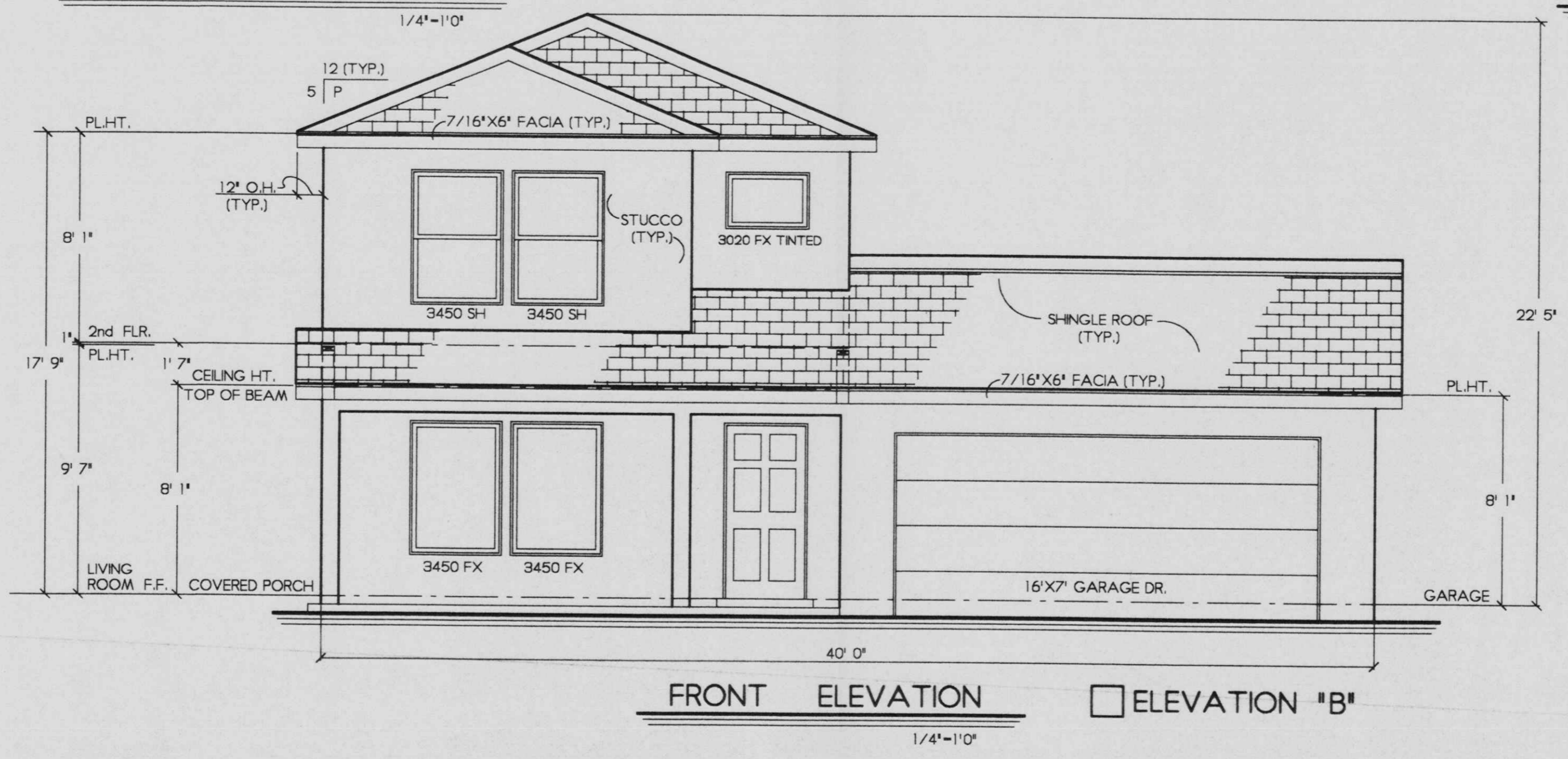
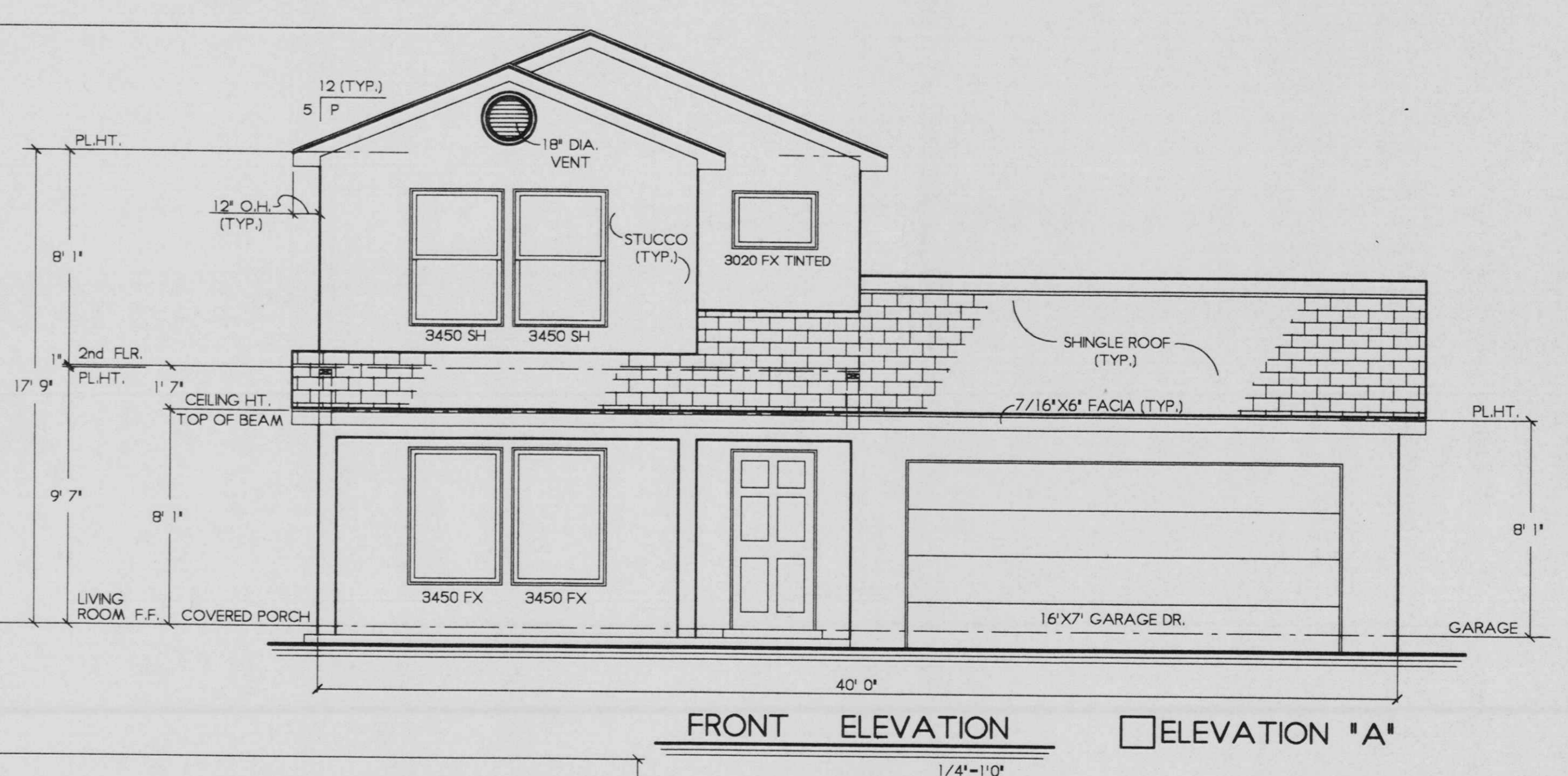
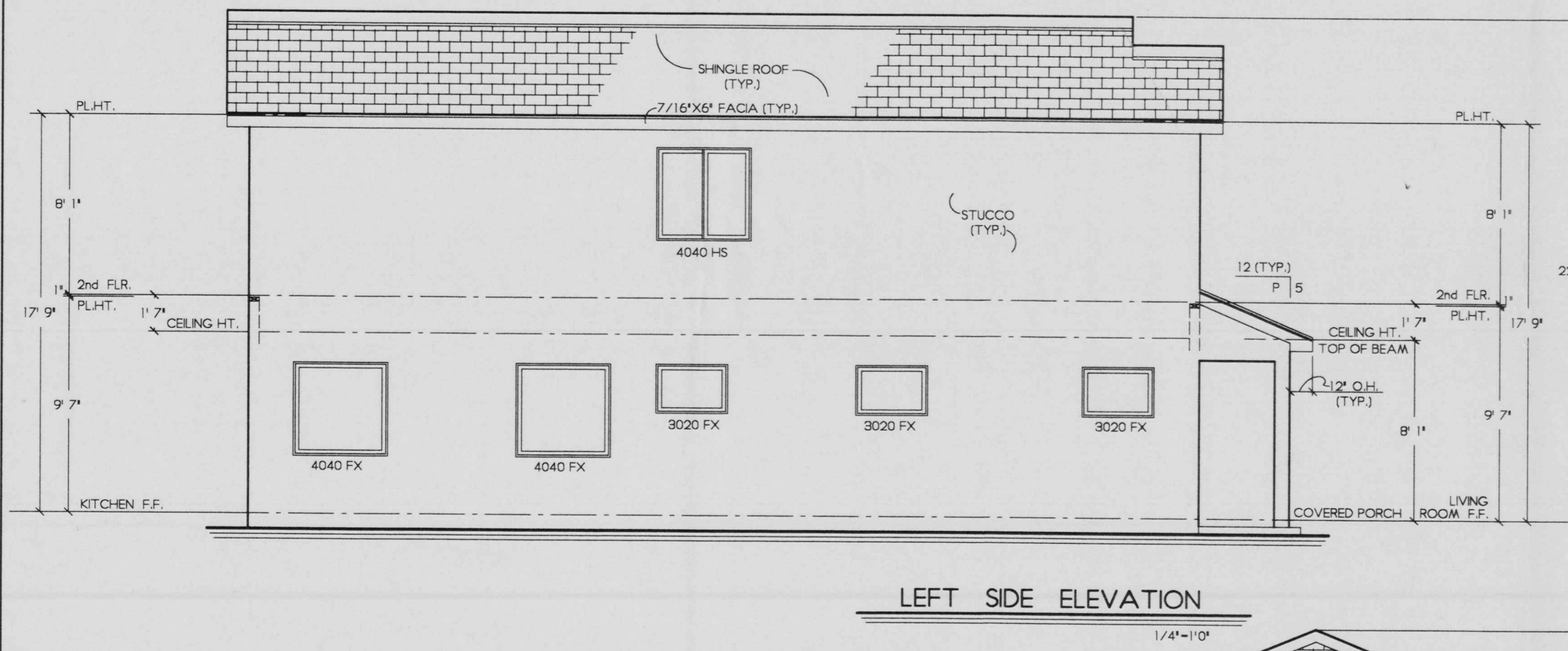
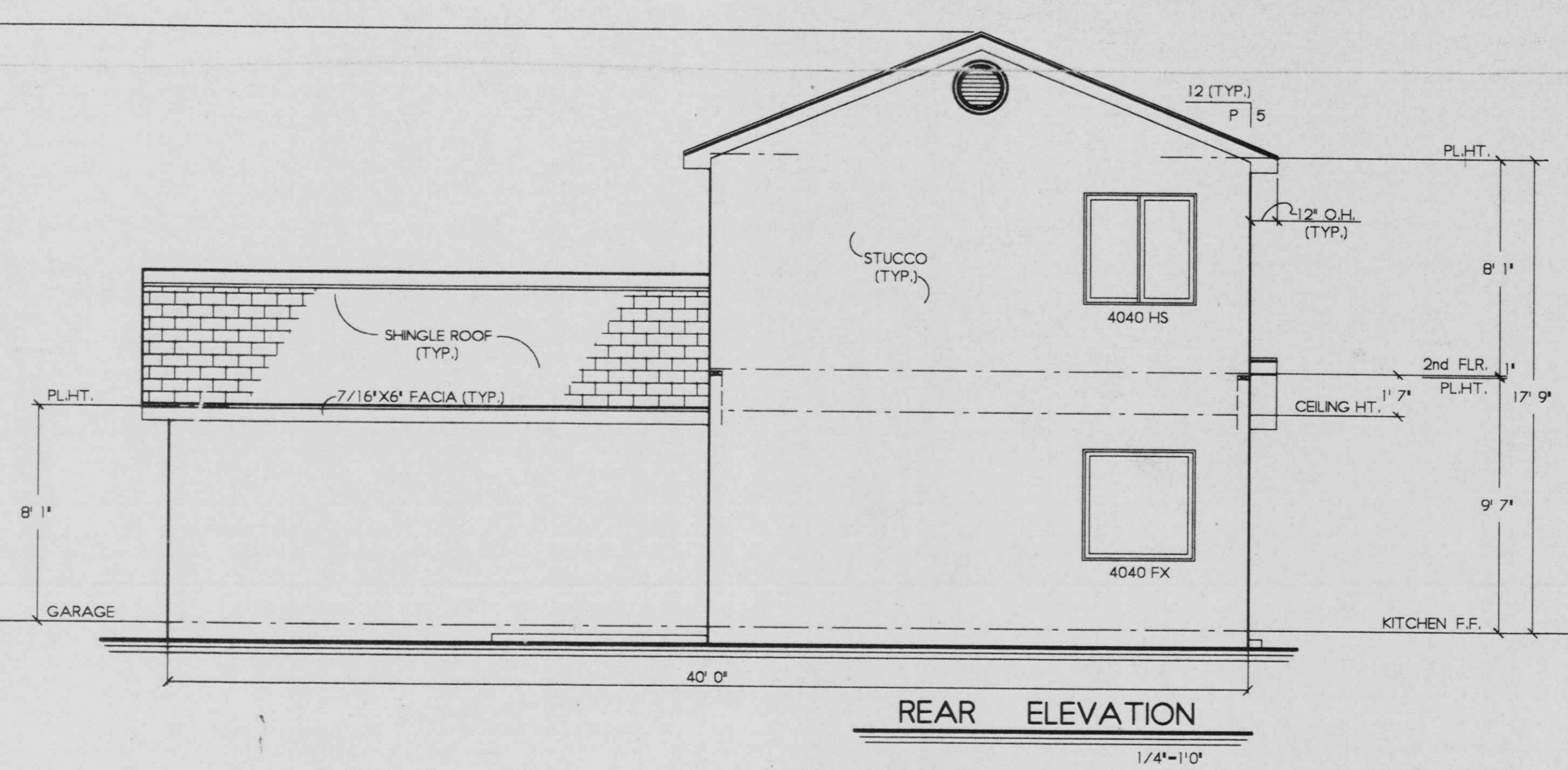
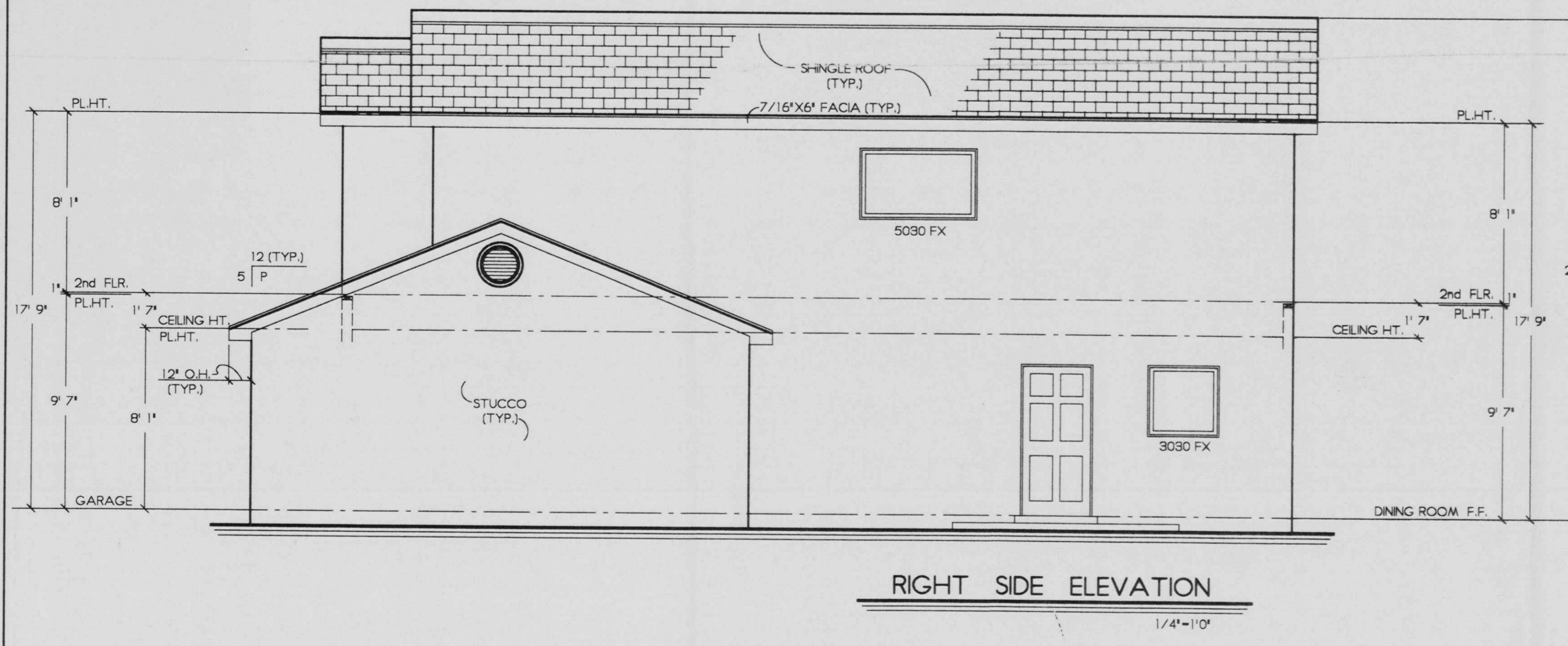
— SAS 8" —	PROPOSED SANITARY SEWER LINE	○	EXISTING FIRE HYDRANT
— SAS 8" —	EXISTING SANITARY SEWER LINE	—	OVERHEAD ELECTRICAL LINE
●	PROPOSED SANITARY SEWER MANHOLE	⊗	PROPOSED STREET LIGHT
○	EXISTING SANITARY SEWER MANHOLE	⊗	EXISTING STREET LIGHT
— W — 8" —	PROPOSED WATERLINE	—	EXISTING GAS LINE
— W — 8" —	EXISTING WATERLINE	—	EXISTING POWER POLE
● FH	PROPOSED FIRE HYDRANT	⊗	EXISTING GATE VALVE
● SMH	PROPOSED STORM DRAIN MANHOLE		
⊗	PROPOSED GATE VALVE		
⊗	PROPOSED TEE		
⊗	PROPOSED SEWER SERVICE		
⊗	PROPOSED DUAL WATER SERVICE		
---	PHASE LINE		

DATE: _____
 SCALE: _____
 DESIGNED: _____
 DRAWN: _____
 JOB NO.: _____

Community Sciences Corporation
 LAND PLANNING ENGINEERING SURVEYING
 P.O. Box 1328 CORRALES, N.M. 87004

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: RIDGEVIEW VILLAGE SUBDIVISION COMPOSITE UTILITY PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr	Mo./Day/Yr
City Project No. N291-33-150	Zone Map No.	Sheet 18	of 28

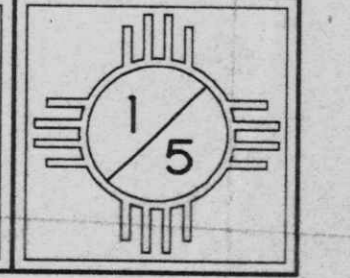
AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACS STATION "SANDBERN"	DATE	FIELD NOTES	NO.	REVISIONS	BY
DESIGNED BY	DATE	NAD 1927 NMSP C	DATE	BY	1	DESIGN	4/2001
INSPECTOR'S ACCEPTANCE BY	DATE	X=361854.29 Y=1534209.29	DATE	COMMUNITY SCIENCES		P.M./A.M.B	4/2001
VERIFY DRAWN BY	DATE	NAD 1983 NMSP C CORPSCON	DATE			LCL	
CONTRACT NO.	DATE	X=1502101.6571 Y=1534274.4482	DATE			LCL	
CONTRACTED BY	DATE	CONVERGENCE 16' 01.4" (1983)	DATE				
RECORDED BY	DATE	COMB SCALE FACTOR = 0.99966079	DATE				
	DATE	ELEV. (NAVD 1929) 5456.92 (2ND ORD.)	DATE				

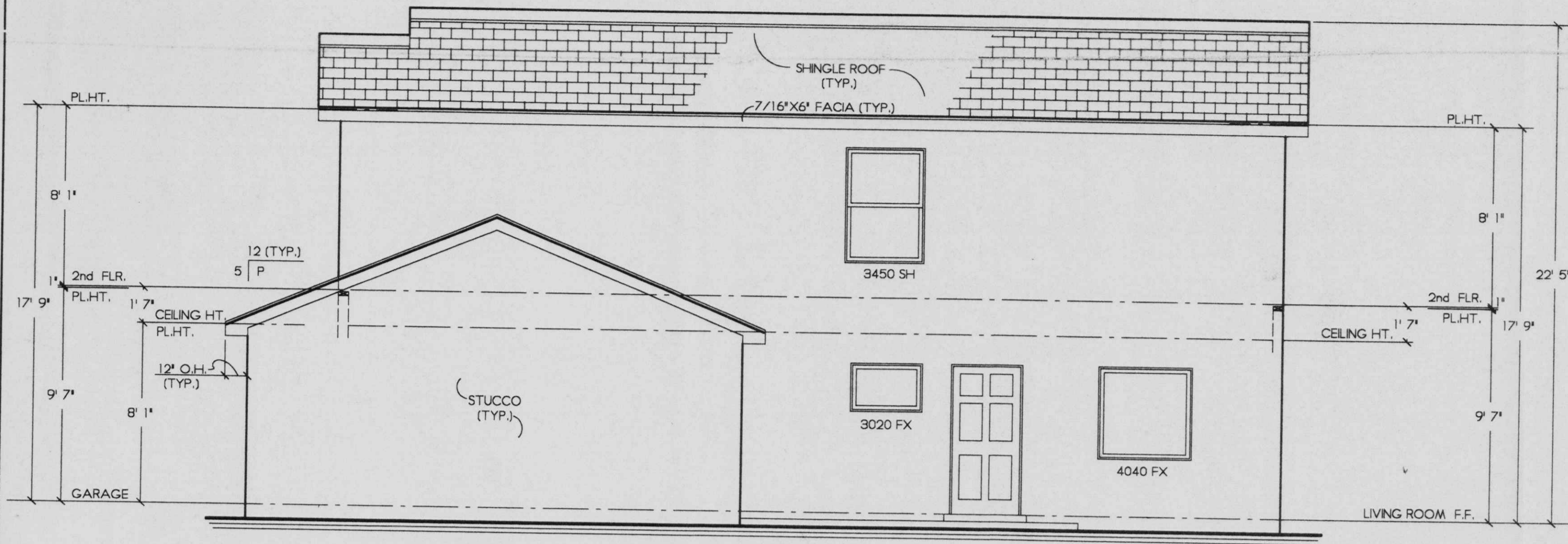


PLAN: PLAN 80
 JOB NO: 21084
 COMPUTER: E-PLAN-80.FCD
 REVISIONS:
 31 JAN 02
 22 FEB 02
 06 MAY 02
 1/4" = 1'-0"
 ELEVATION PLANS
 ARTISTIC HOMES PLAN 80
 SANDIA DESIGNERS
 298-2842
 Albuquerque, New Mexico
 COPYRIGHT 2002

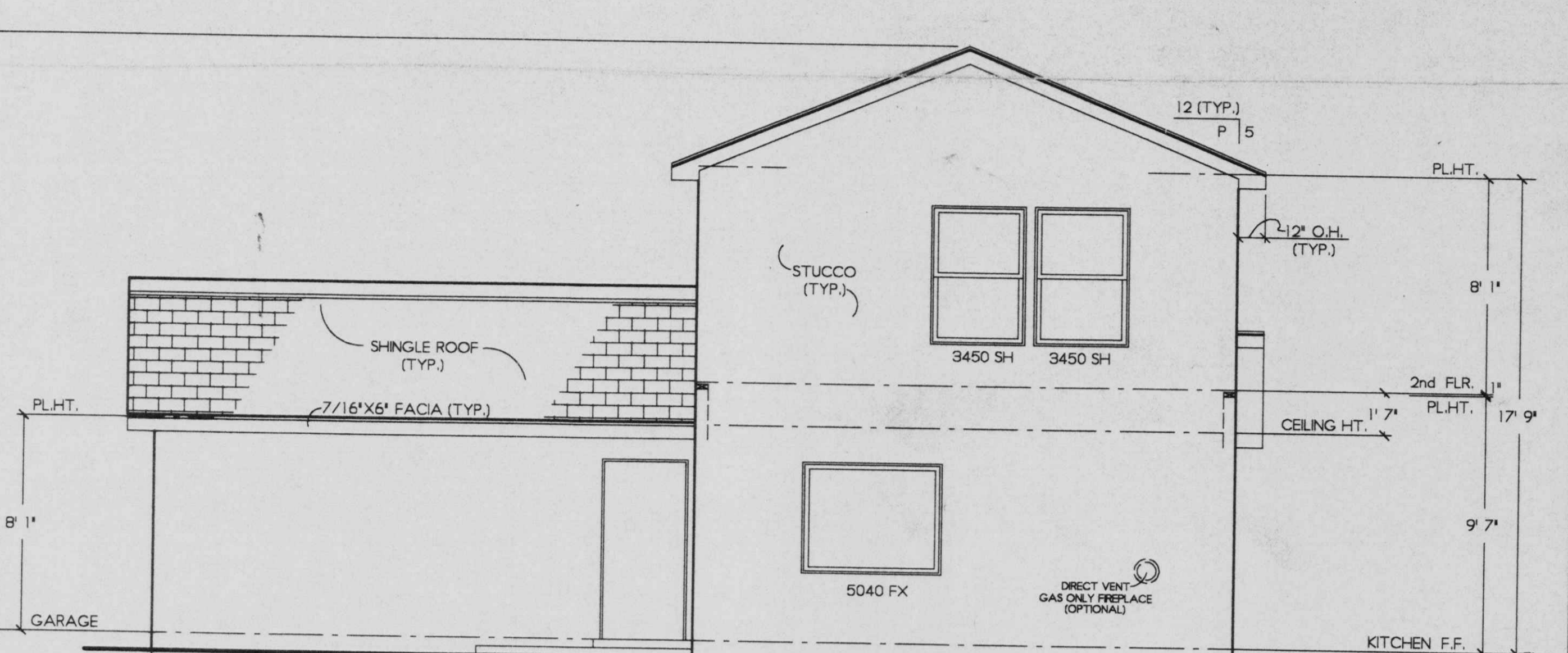
**RIDGE VIEW VILLAGE
 SUBDIVISION**
 ROOF COLORS AND MATERIALS: ASPHALT SHINGLES...
 TAMKO ROOFING PRODUCTS, SERIES: GLASS-SEAL
 RUSTIC SLATE, TWEED BLEND, WEATHERED WOOD,
 RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY.
 TRIM COLOR: WHITE
 STUCCO COLORS: SONNEBORN: DESERT LACE, LUNA,
 TORREON, PALOMA, AMARILLA, AND SUEDE.
 NOTE: WINDOW SIZE IS ROUGH OPENING

NOTE:
 FOR FRONT ELEVATION
 CHECK (✓) OPTION BOX
 EXAMPLE: OPTION A

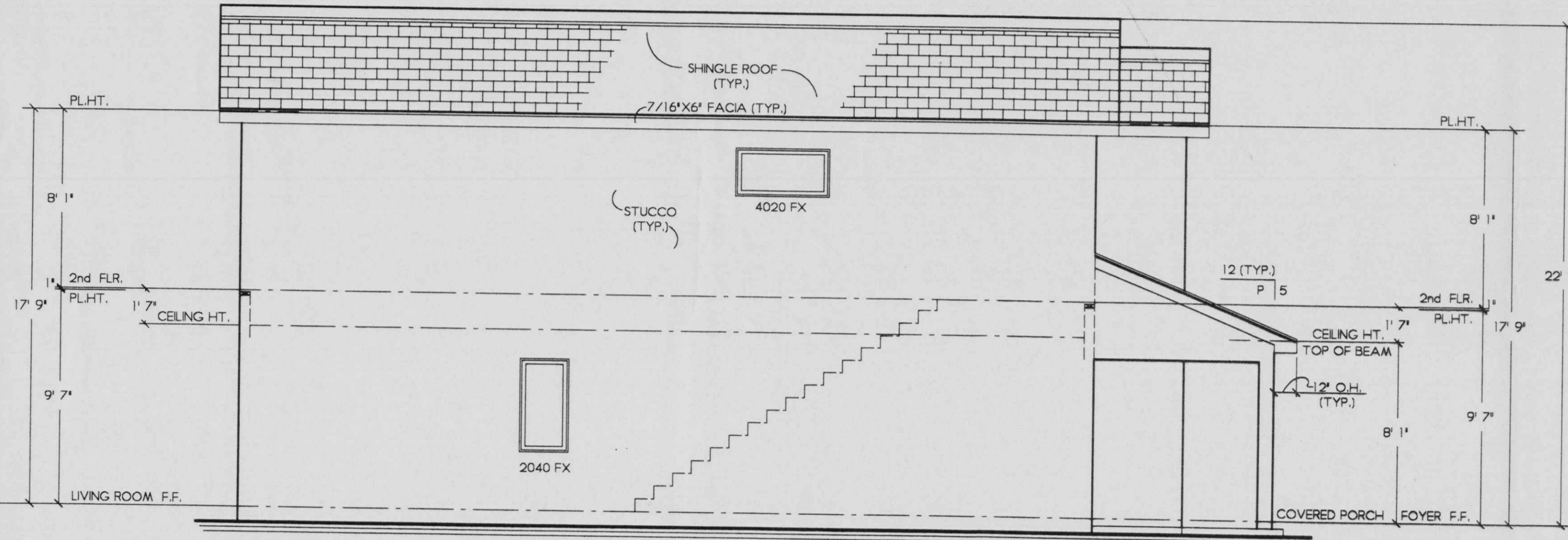




RIGHT SIDE ELEVATION
1/4"=1'0"



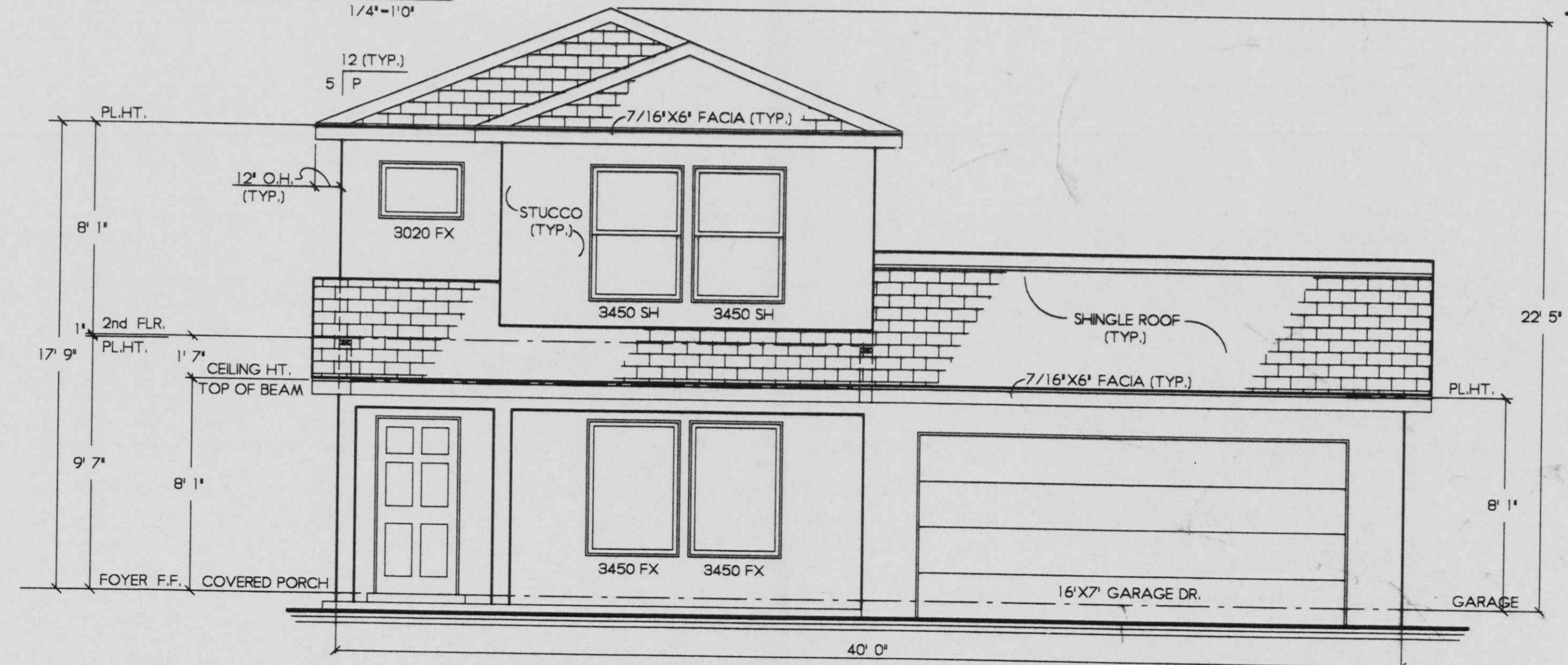
REAR ELEVATION
1/4"=1'0"



LEFT SIDE ELEVATION
1/4"=1'0"



FRONT ELEVATION ELEVATION 'A'
1/4"=1'0"



FRONT ELEVATION ELEVATION 'B'
1/4"=1'0"

PLAN: PLAN 81
JOB NO.: 22001
COMPUTER: E-PLN-81.FCD

REVISIONS:

1/4"=1'0"

ELEVATION PLANS
ARTISTIC HOMES PLAN 81

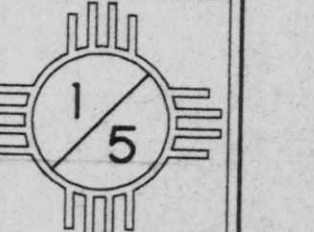
SANDIA DESIGNERS
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Albuquerque, New Mexico
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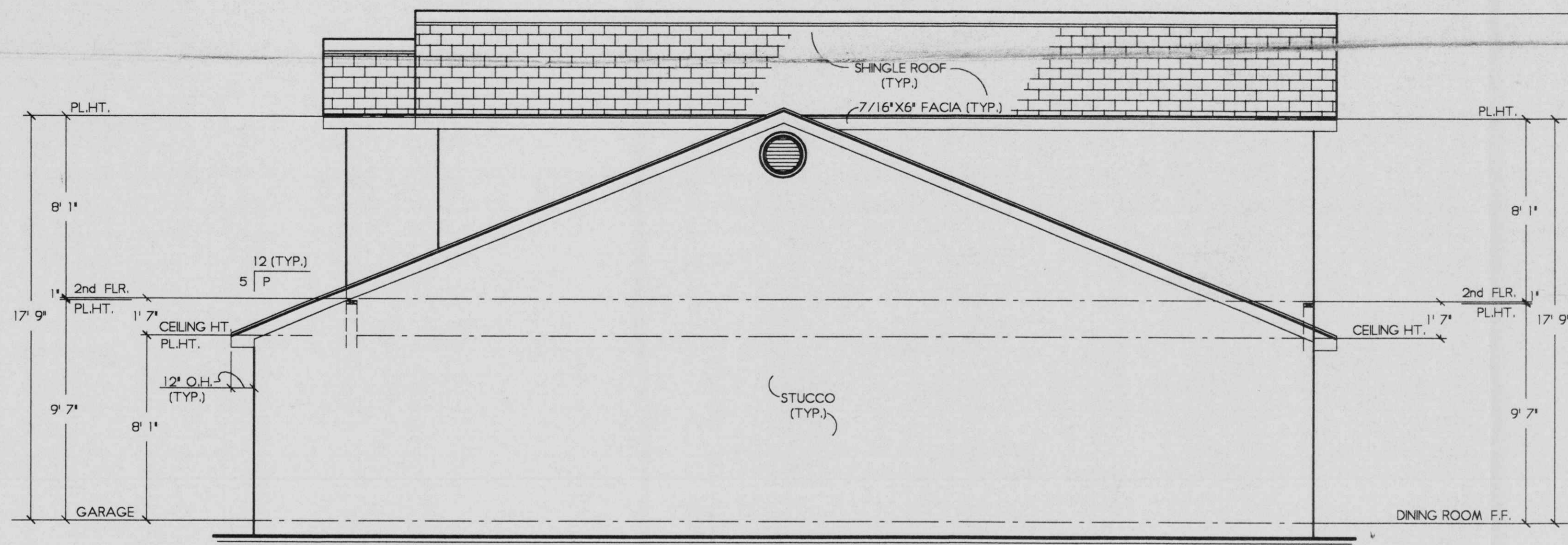
**RIDGE VIEW VILLAGE
SUBDIVISION**

ROOF COLORS AND MATERIALS: ASPHALT SHINGLES;
TAMKO ROOFING PRODUCTS, SERIES GLASS-SEAL;
RUSTIC SLATE, TWEED BLEND, WEATHERED WOOD;
RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY.
TRIM COLOR: WHITE
STUCCO COLORS: SONNEBORN: DESERT LACE, LUNA,
TORREON, PALOMA, AMARILLA, AND SUEDE.

NOTE: WINDOW SIZE IS ROUGH OPENING

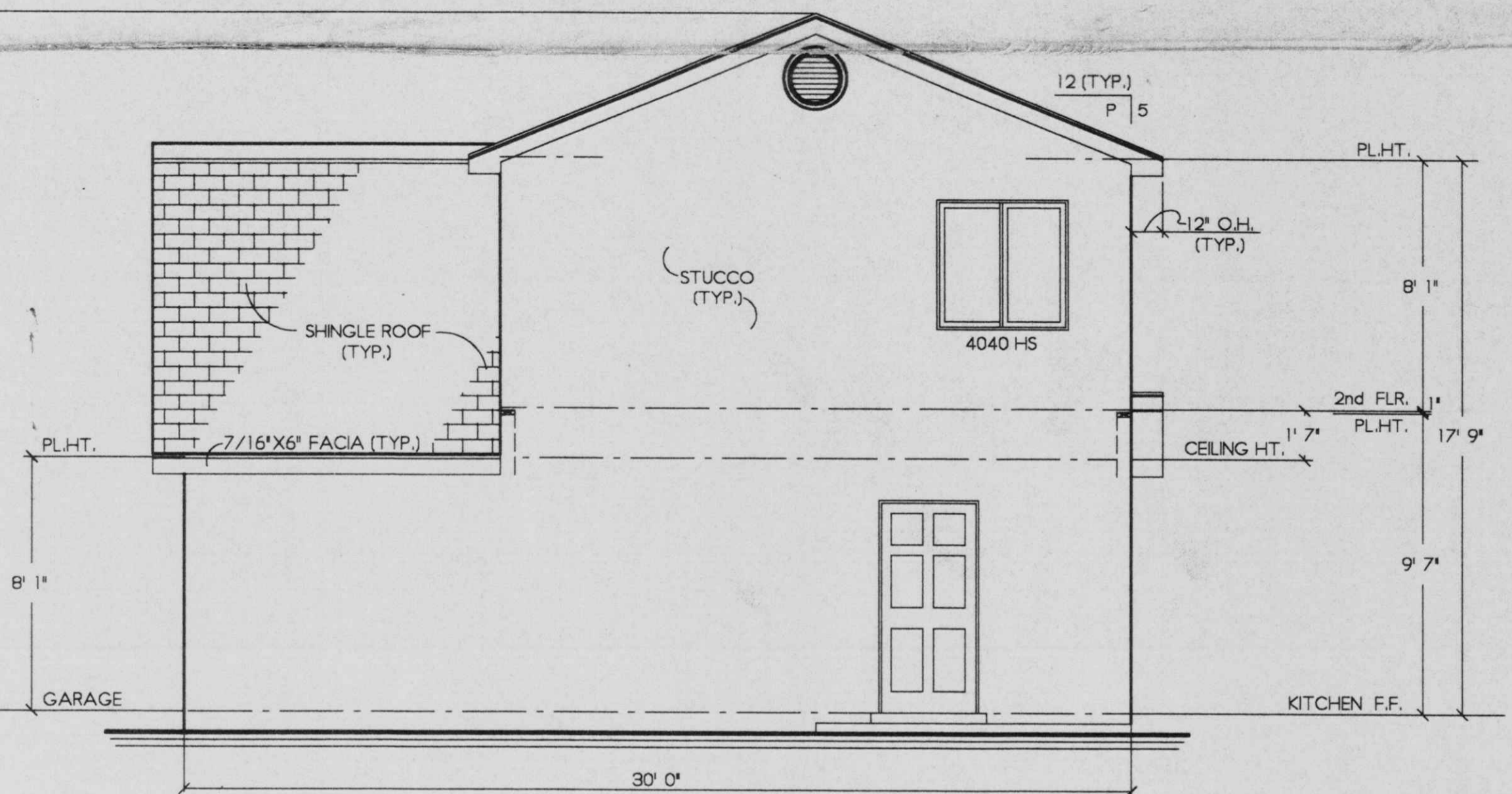
NOTE:
FOR FRONT ELEVATION
CHECK (✓) OPTION BOX
EXAMPLE: OPTION A





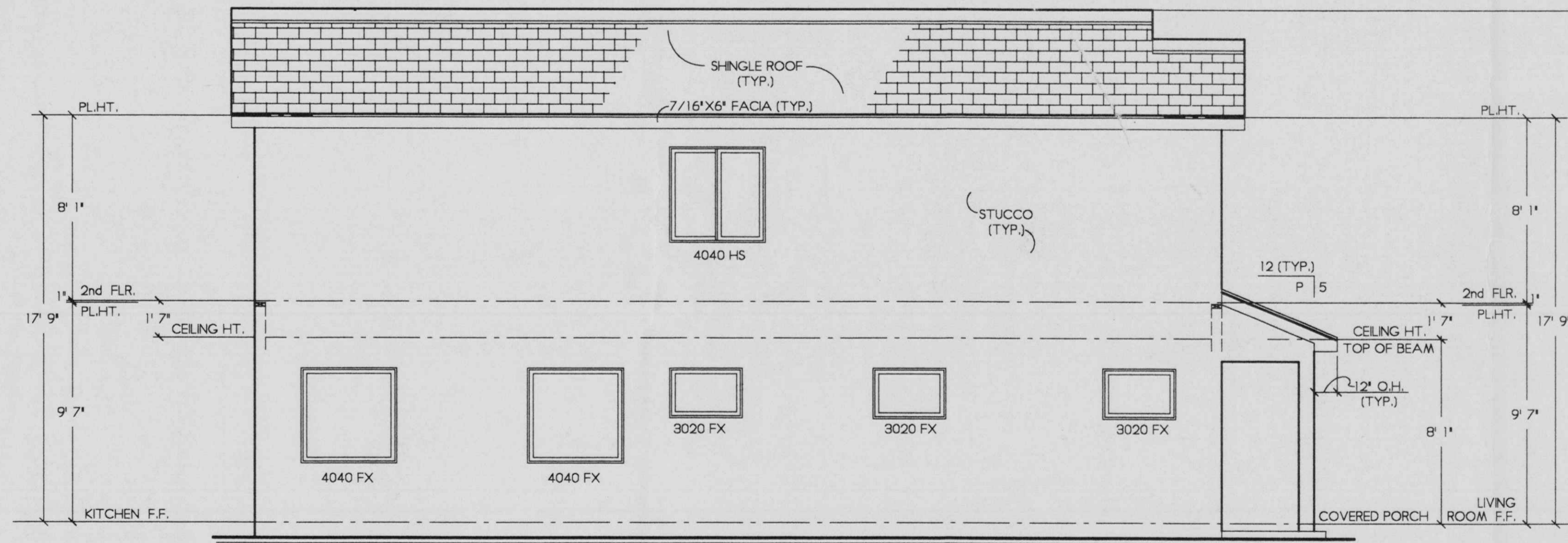
RIGHT SIDE ELEVATION

1/4"=1'0"



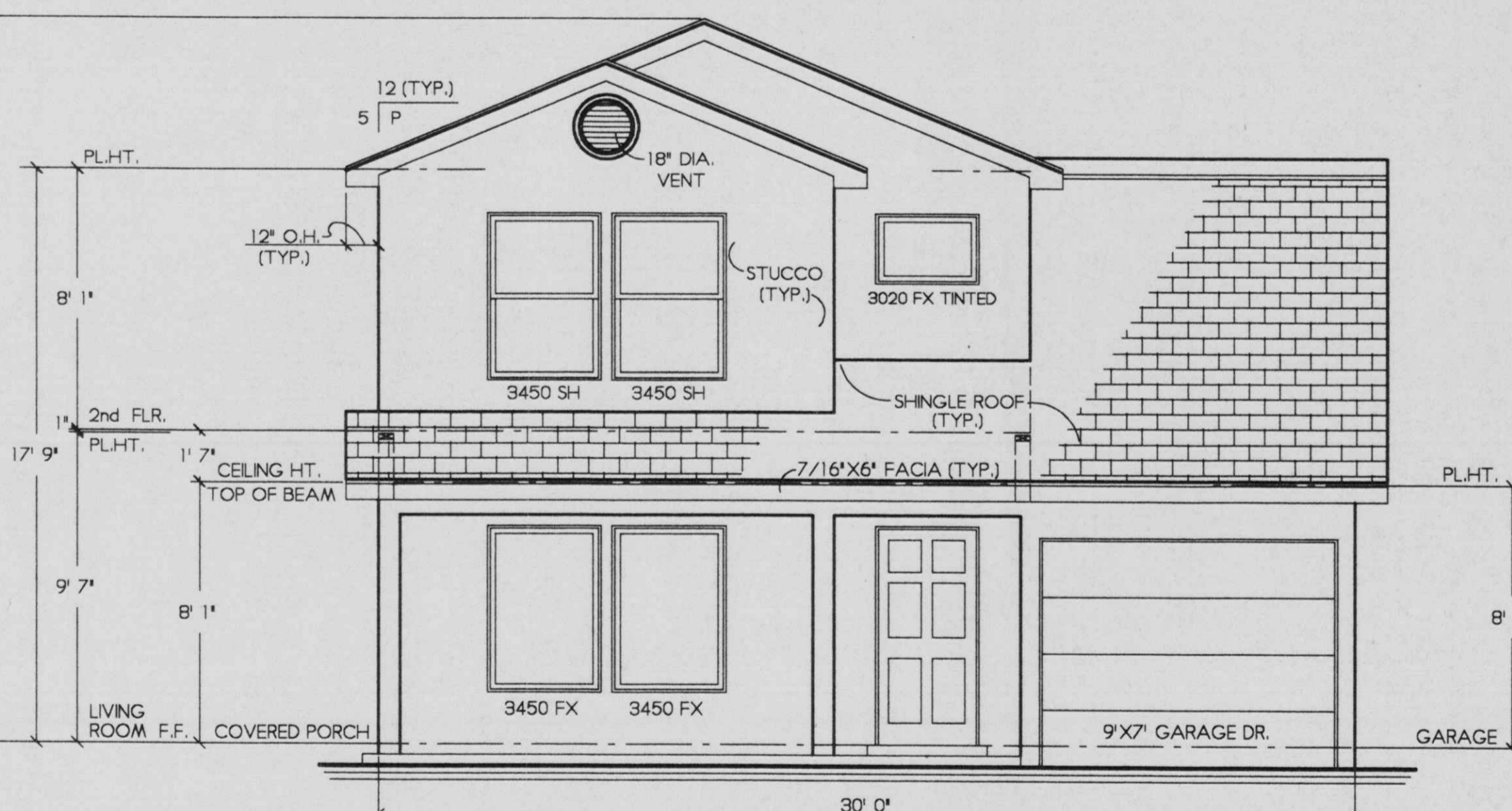
REAR ELEVATION

1/4"=1'0"



LEFT SIDE ELEVATION

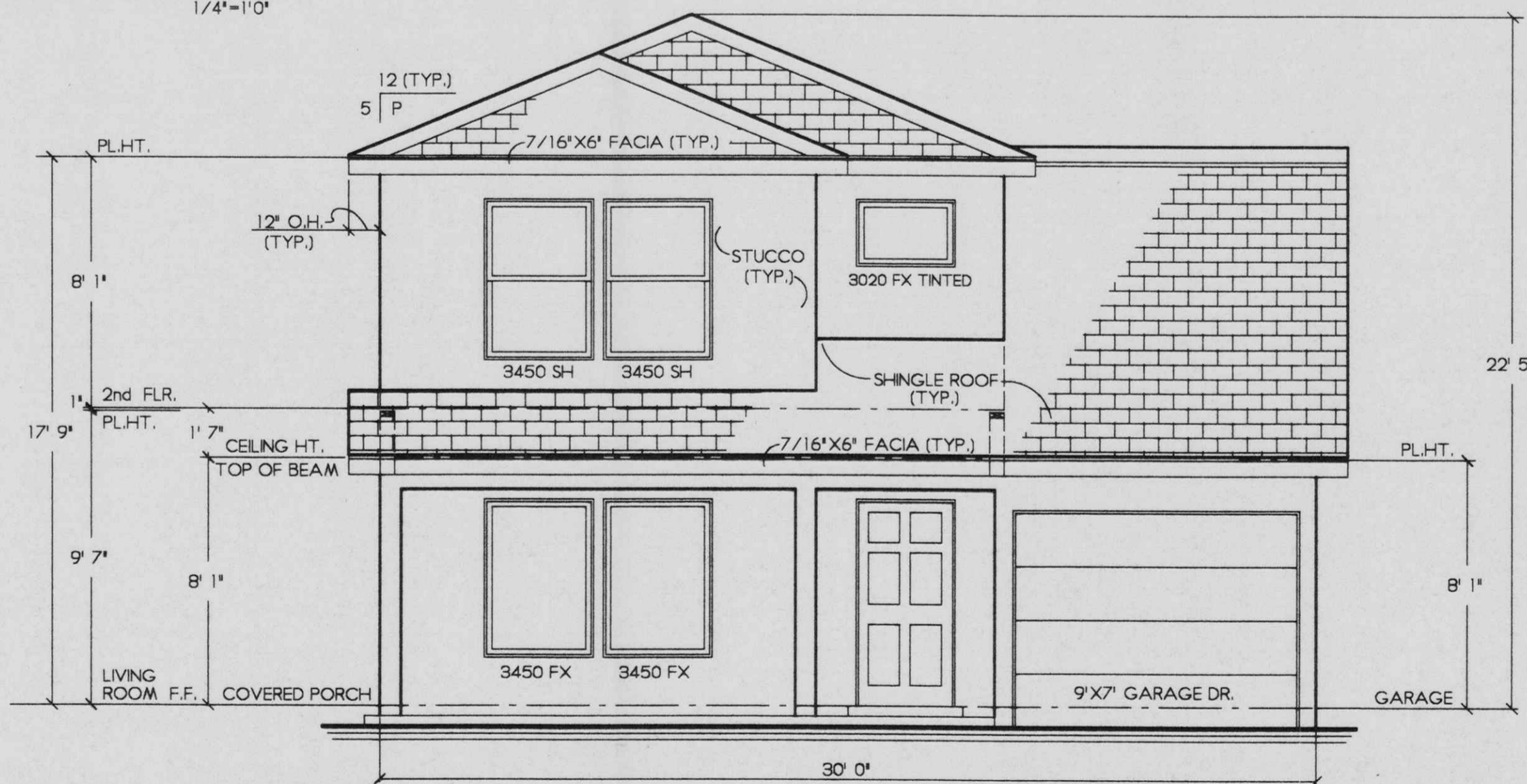
1/4"=1'0"



FRONT ELEVATION

1/4"=1'0"

ELEVATION "A"



FRONT ELEVATION

1/4"=1'0"

ELEVATION "B"

PLAN: E-PLAN-84
JOB NO: 22028
COMPUTER: E-PLAN-84.FCD

REVISIONS:

1	MAY 02
6	MAY 02

1/4"=1'0"

E-PLAN-84

ELEVATION PLANS
ARTISTIC HOMES

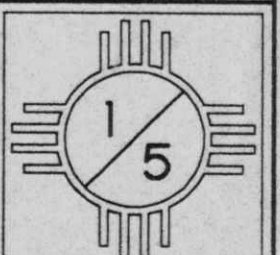
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Albuquerque, New Mexico
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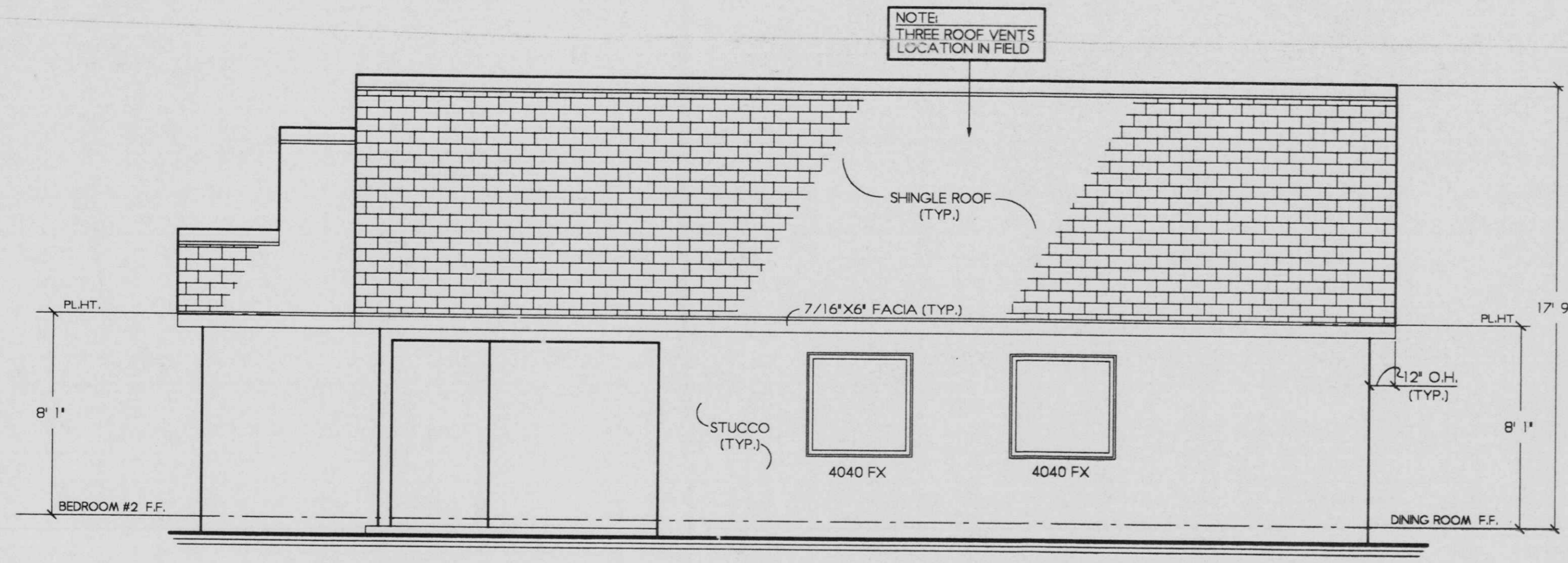
**RIDGE VIEW VILLAGE
SUBDIVISION**

ROOF COLORS AND MATERIALS: ASPHALT SHINGLES:
TAMKO ROOFING PRODUCTS, SERIES: GLASS SEAL:
RUSTIC SLATE, TWEED BLEND, WEATHERED WOOD,
RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY.
TRIM COLOR: WHITE
STUCCO COLORS: SONNEBORN: DESERT LACE, LUNA,
TORREON, PALOMA, AMARILLA, AND SUEDE.

NOTE: WINDOW SIZE IS ROUGH OPENING

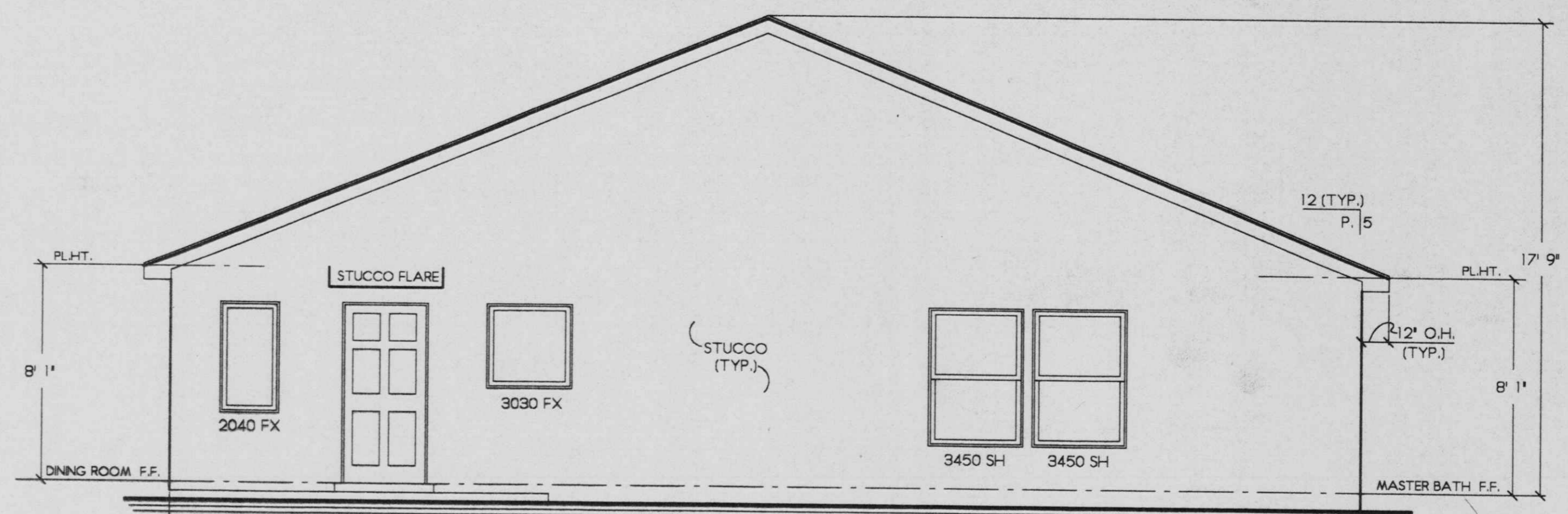
NOTE:
FOR FRONT ELEVATION
CHECK (✓) OPTION BOX
EXAMPLE: OPTION A





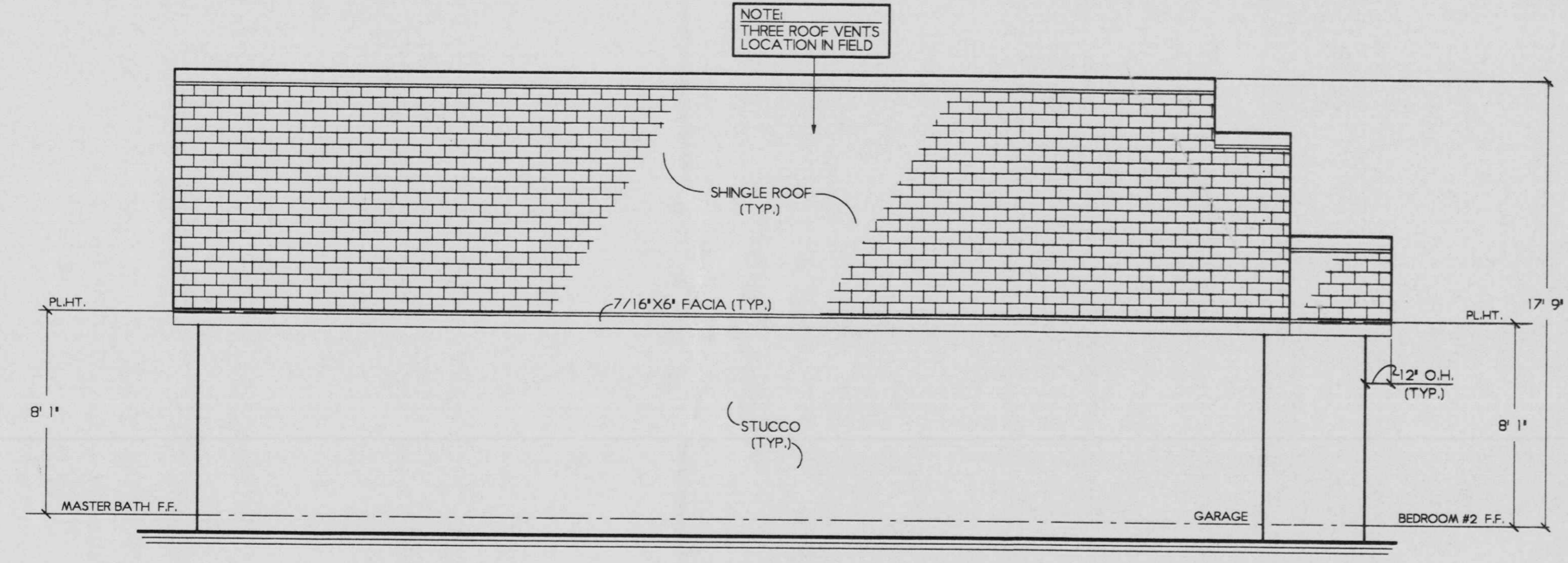
RIGHT SIDE ELEVATION

1/4" = 1'0"



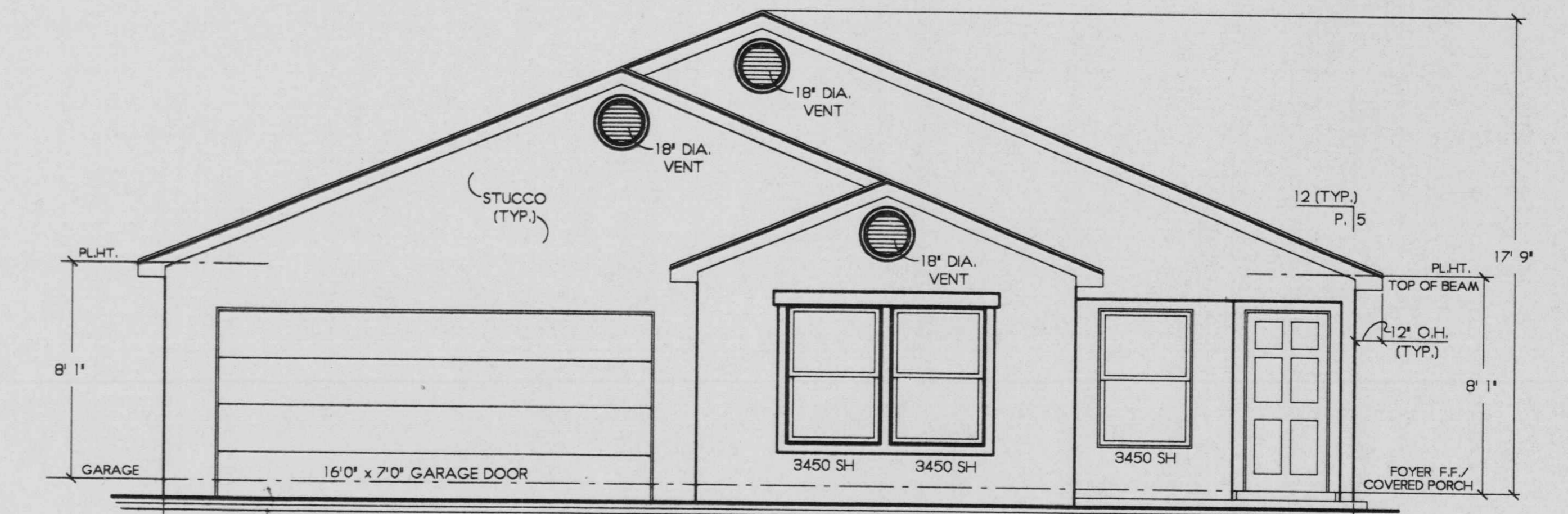
REAR ELEVATION

1/4" = 1'0"



LEFT SIDE ELEVATION

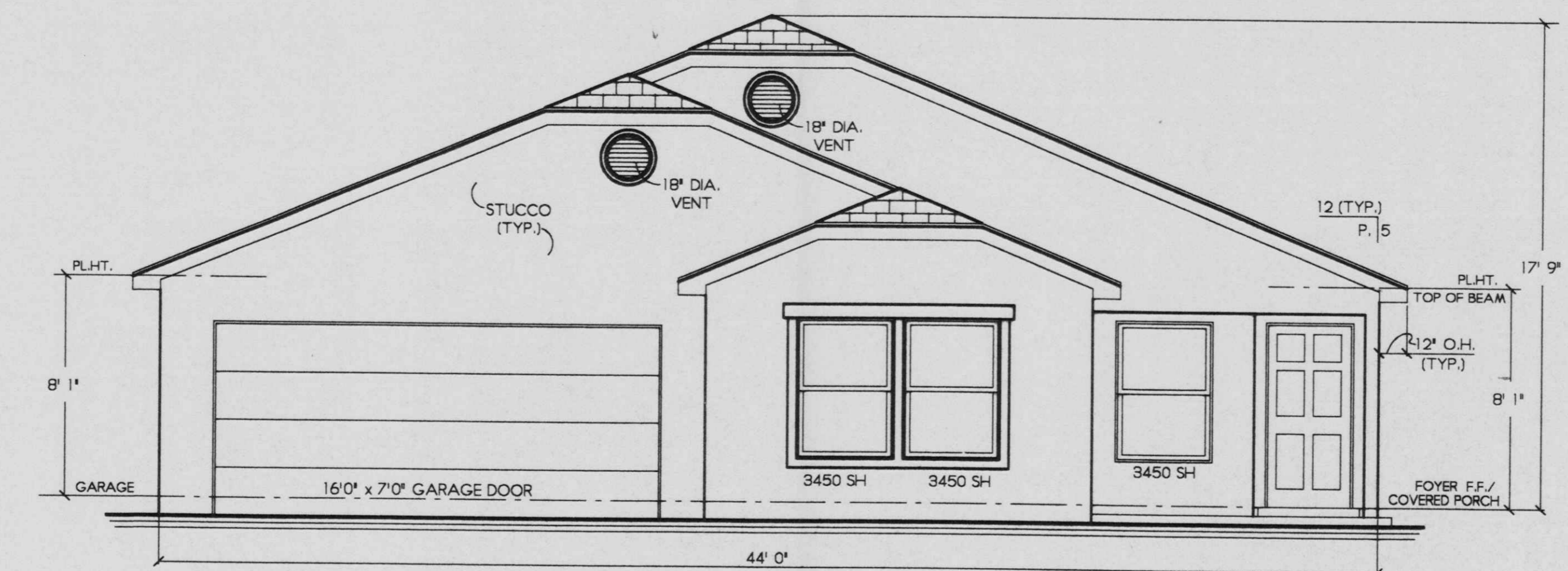
1/4" = 1'0"



FRONT ELEVATION

1/4" = 1'0"

ELEVATION "A"



FRONT ELEVATION

1/4" = 1'0"

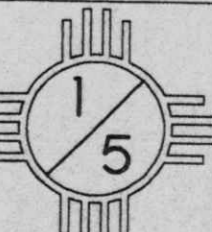
ELEVATION "B"

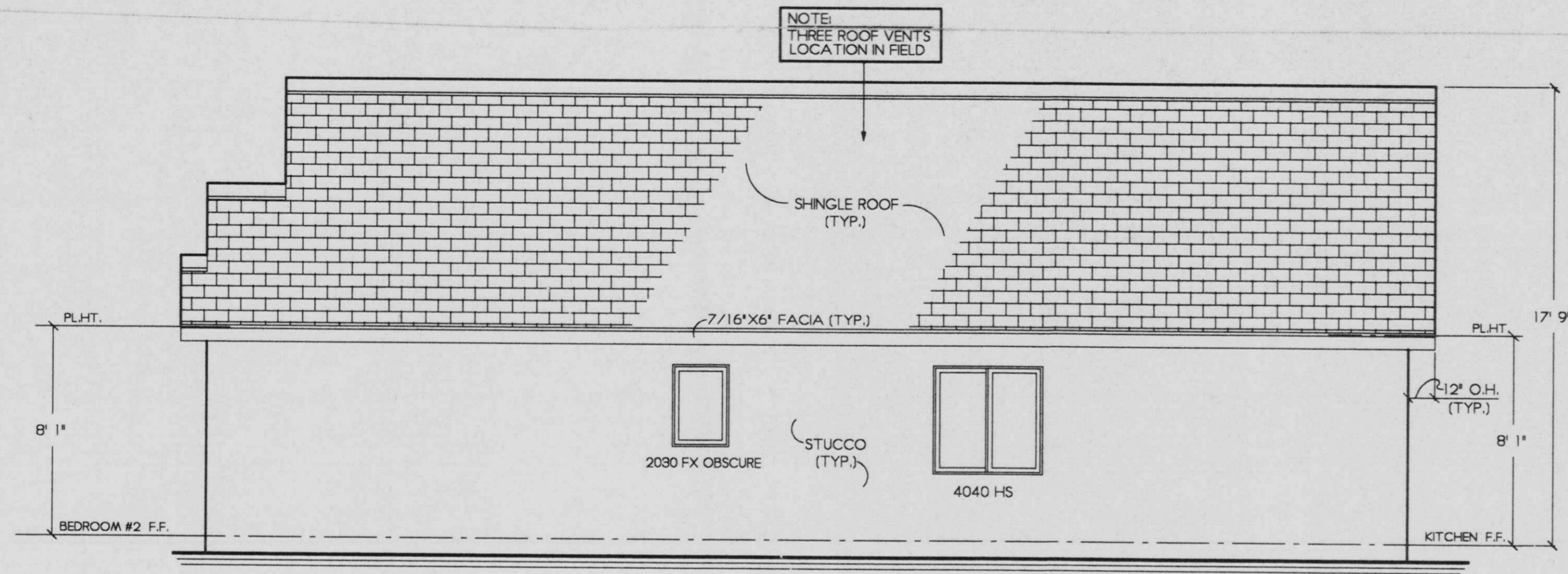
RIDGE VIEW VILLAGE
SUBDIVISION

ROOF COLORS AND MATERIALS: ASPHALT SHINGLES:
TAMKO ROOFING PRODUCTS, SERIES: GLASS-SEAL:
RUSTIC SLATE, TWEED BLEND, WEATHERED WOOD,
RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY.
TRIM COLOR: WHITE
STUCCO COLORS: SONNEBORN, DESERT LACE, LUNA,
TORREON, PALOMA, AMARILLA, AND SUEDA

NOTE: WINDOW SIZE IS ROUGH OPENING

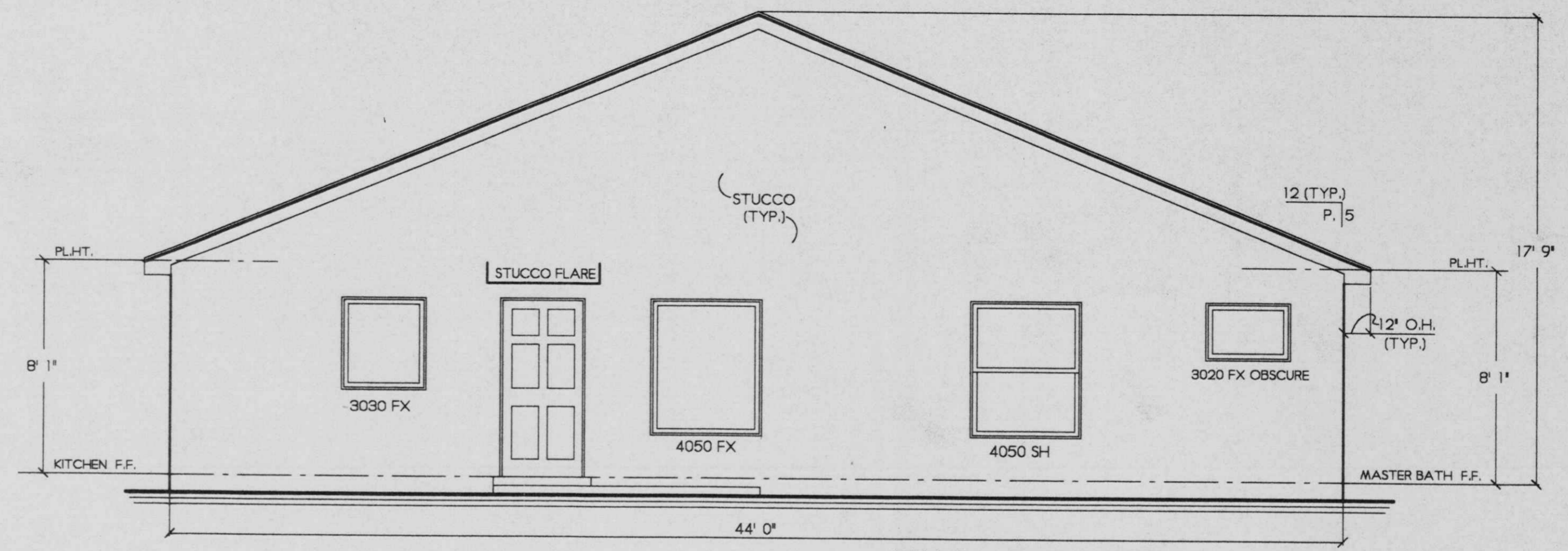
NOTE:
FOR FRONT ELEVATION
CHECK (✓) OPTION BOX
EXAMPLE: OPTION A





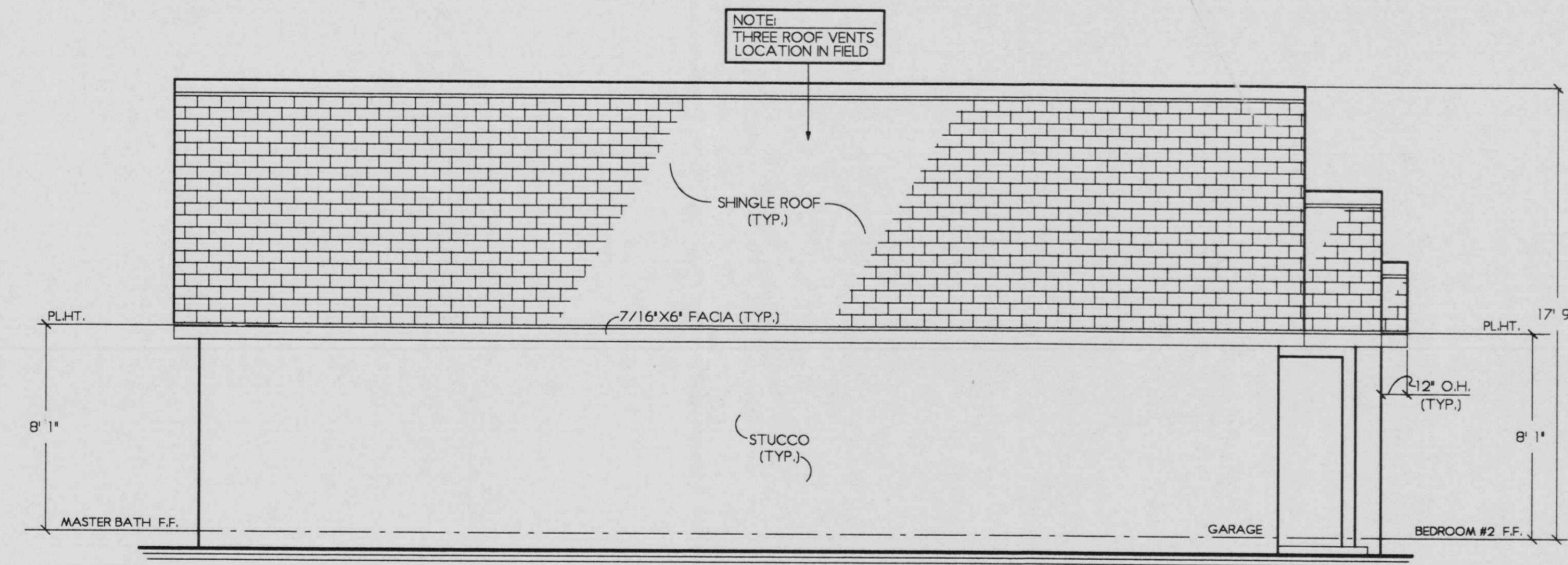
RIGHT SIDE ELEVATION

1/4"=1'0"



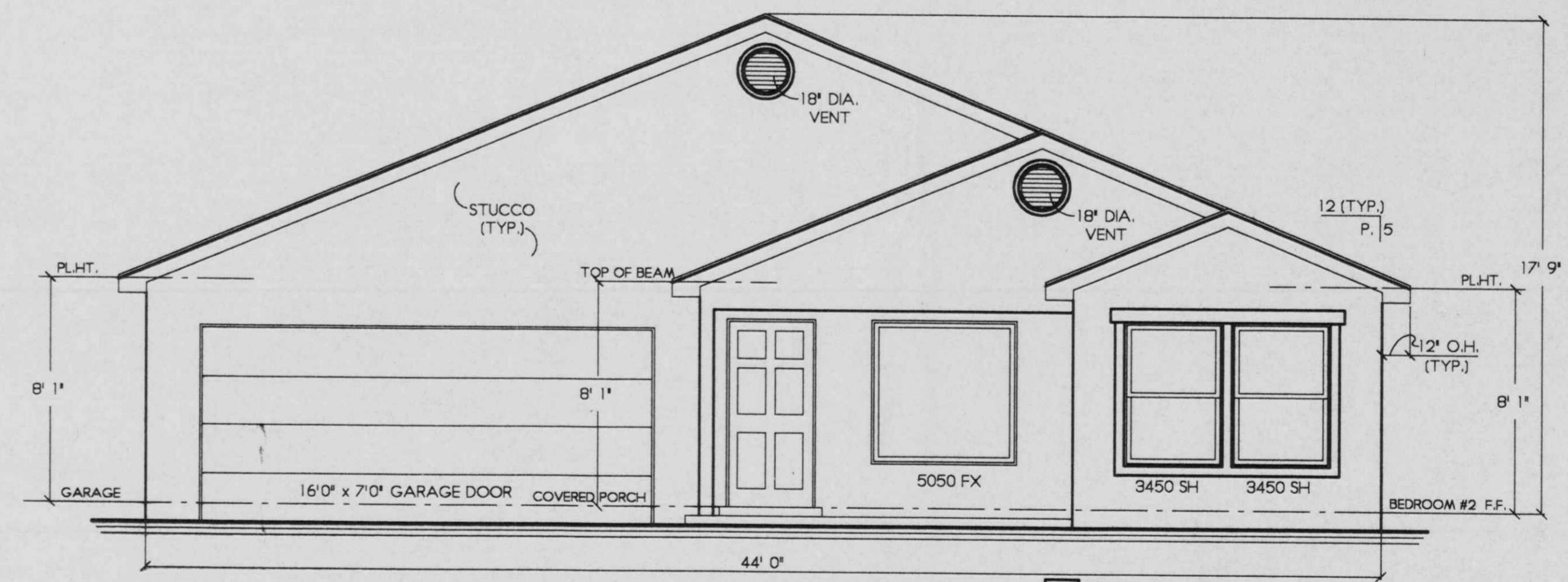
REAR ELEVATION

1/4"=1'0"



LEFT SIDE ELEVATION

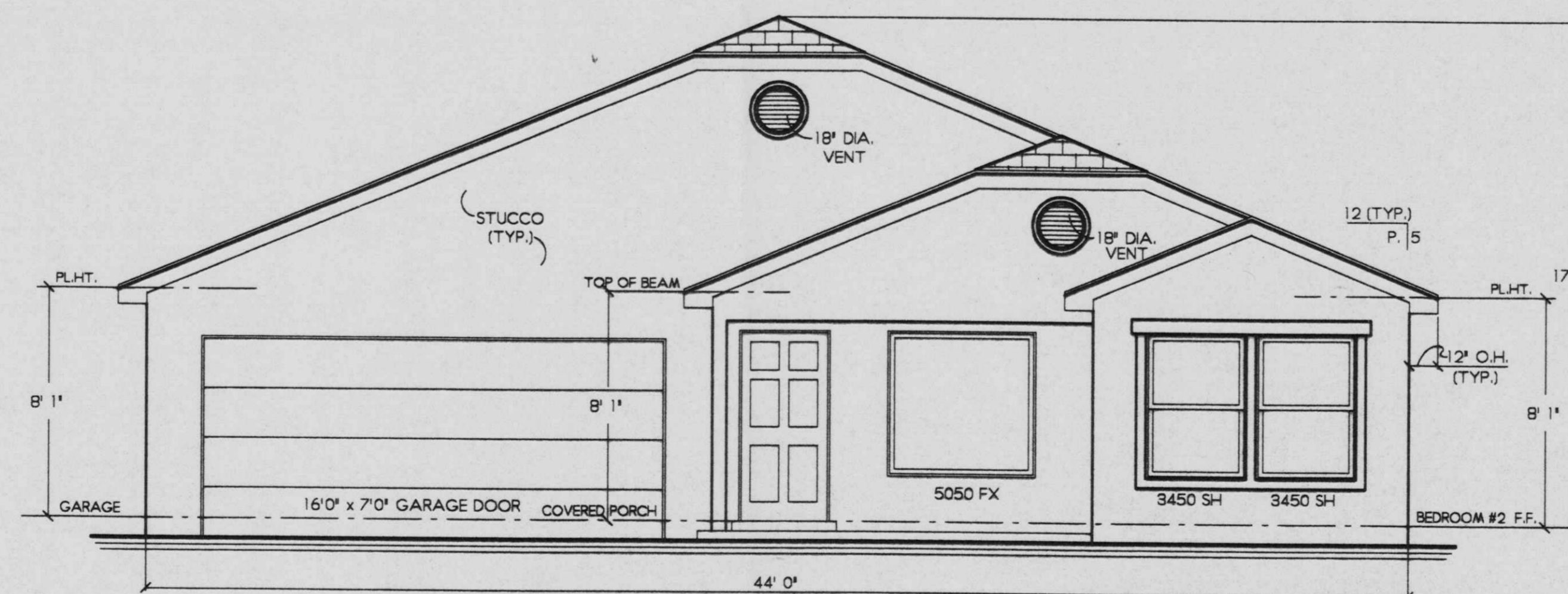
1/4"=1'0"



FRONT ELEVATION

1/4"=1'0"

ELEVATION "A"



FRONT ELEVATION

1/4"=1'0"

ELEVATION "B"

PLAN: PLAN 101
JOB NO.: 21022
COMPUTER: PLN101.FCD

REVISIONS:
25 APRIL 02
30 APRIL 02
06 MAY 02

1/4"=1'0"
PLAN 101

ELEVATION PLANS
ARTISTIC HOMES

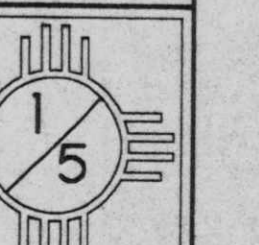
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Albuquerque, New Mexico
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RIDGE VIEW VILLAGE
SUBDIVISION

ROOF COLORS AND MATERIALS: ASPHALT SHINGLES:
TAMKO ROOFING PRODUCTS, SERIES: GLASS-SEAL;
RUSTIC SLATE, TWEED BLEND, WEATHERED WOOD,
RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY.
TRIM COLOR: WHITE
STUCCO COLORS: SONNEBORN: DESERT LACE, LUNA,
TORREON, PALOMA, AMARILLA, AND SUEDE.

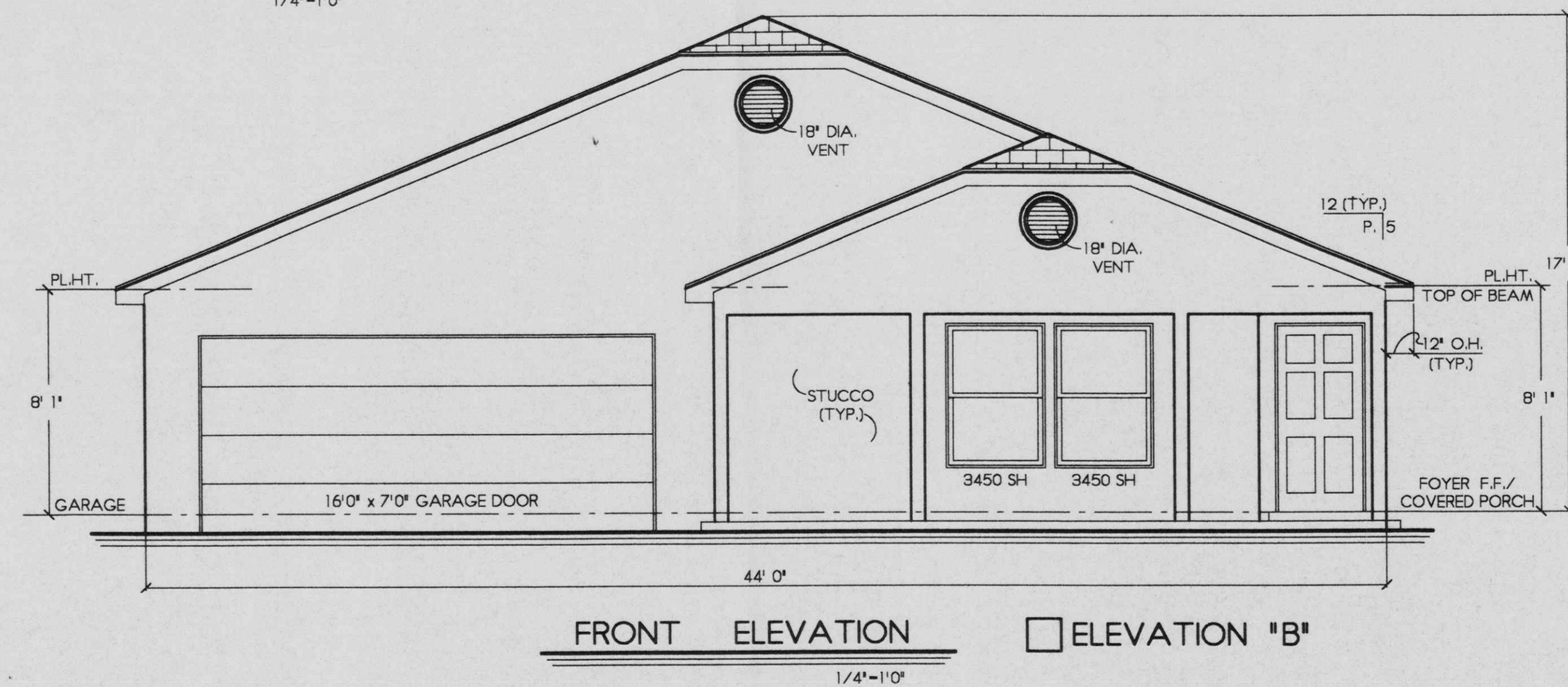
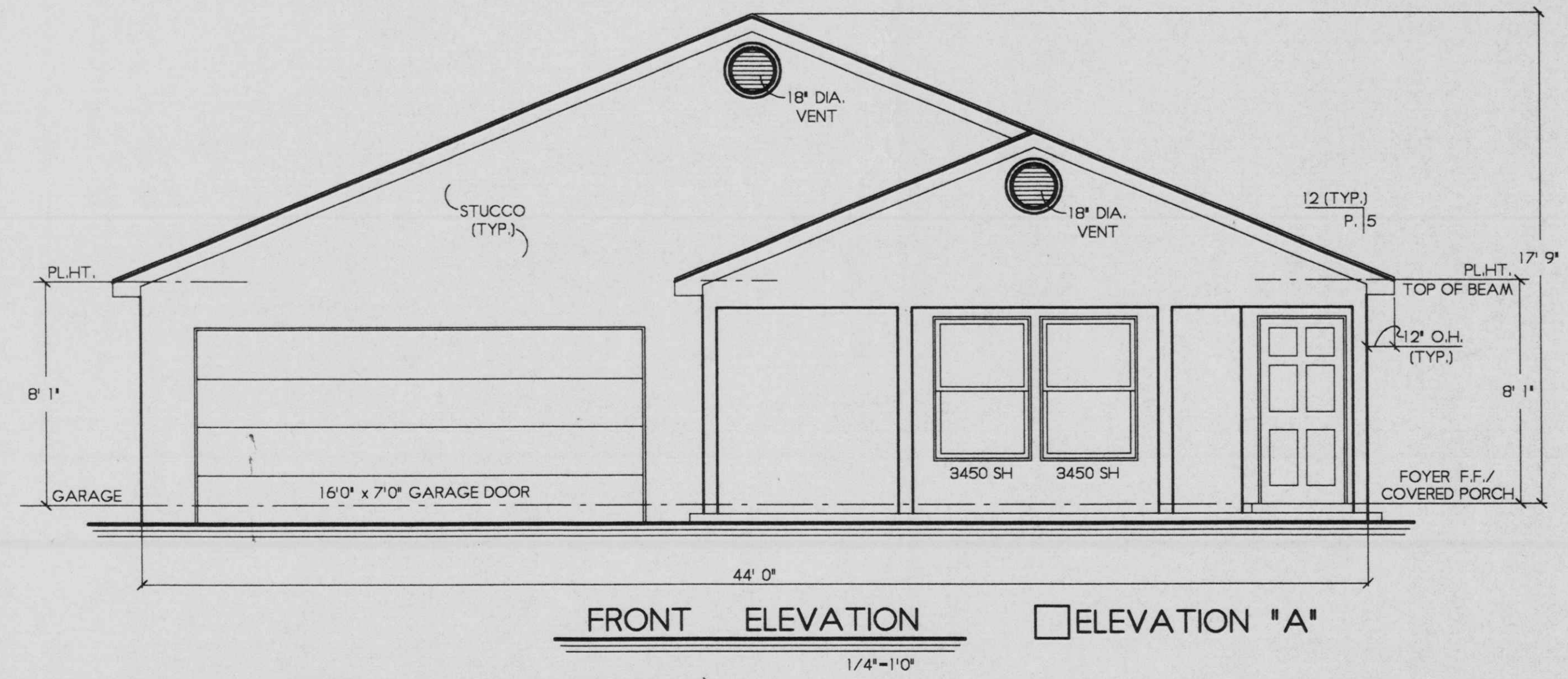
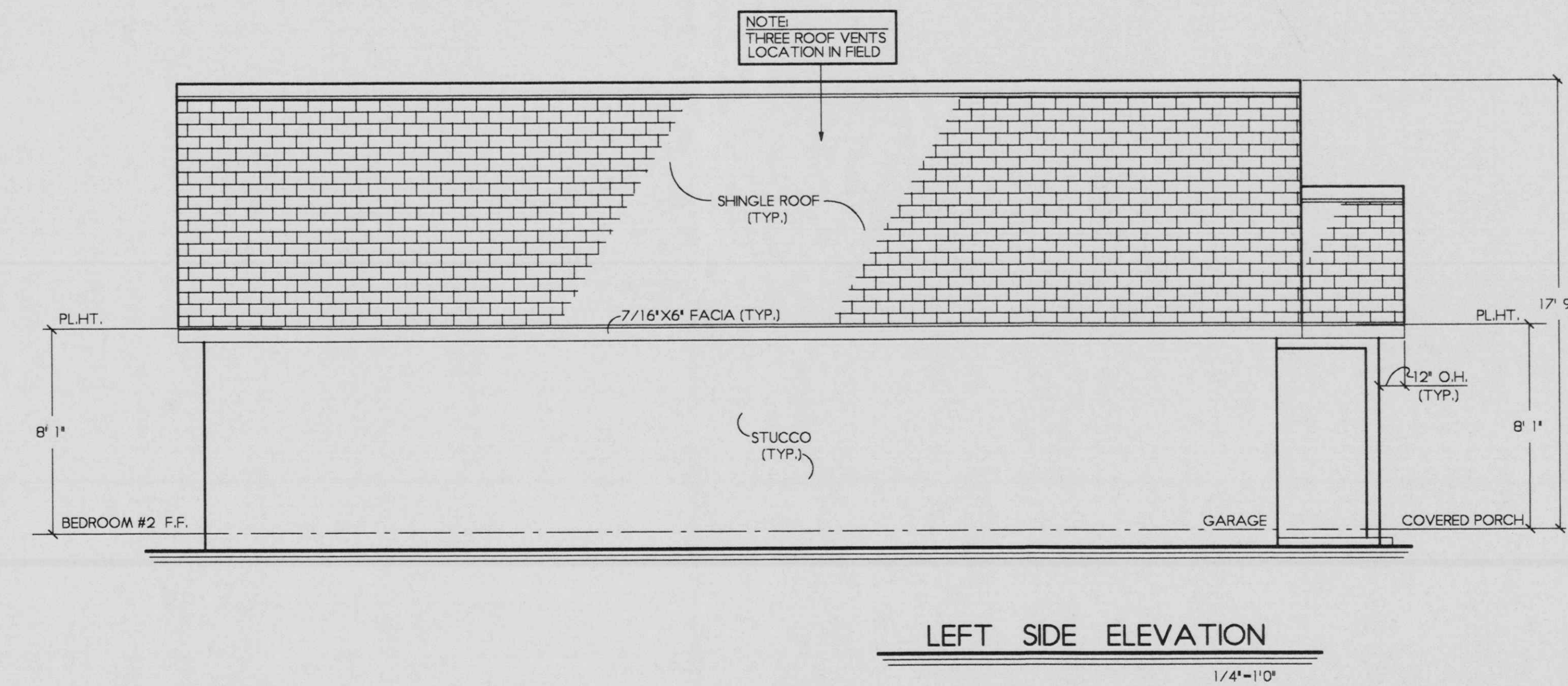
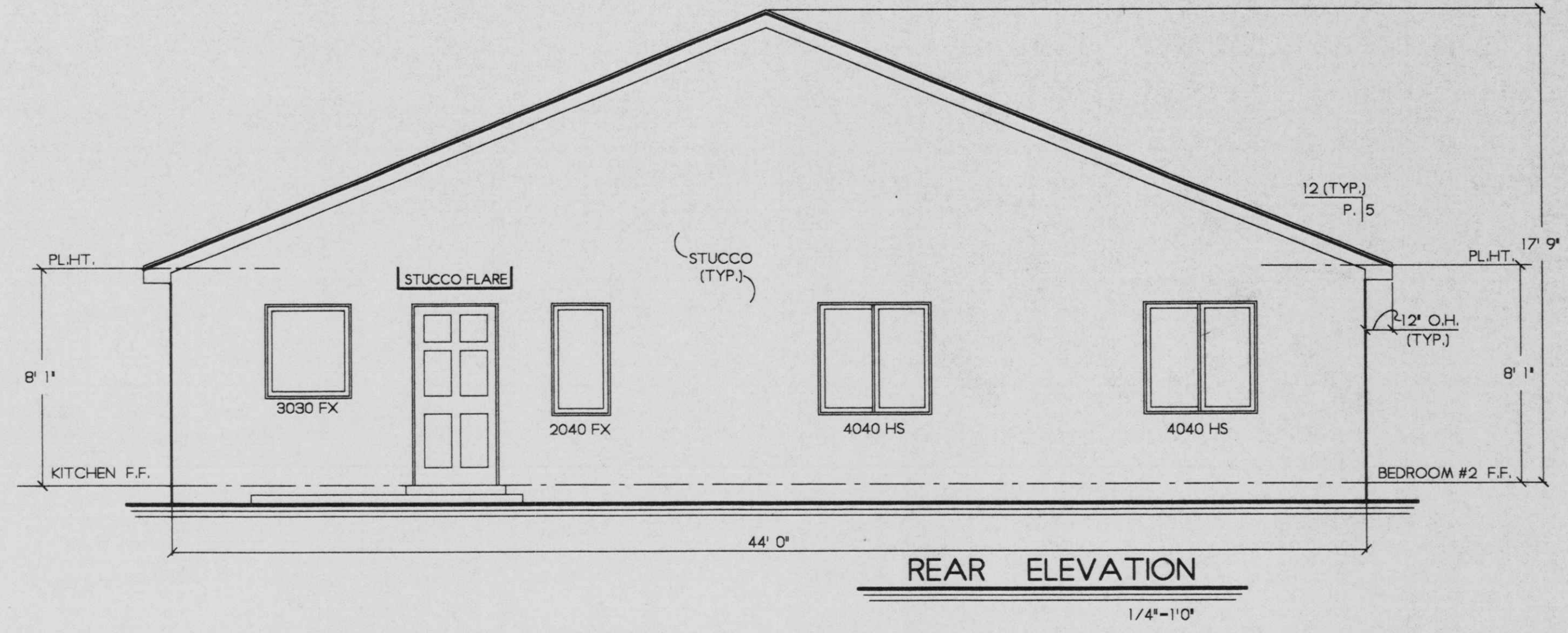
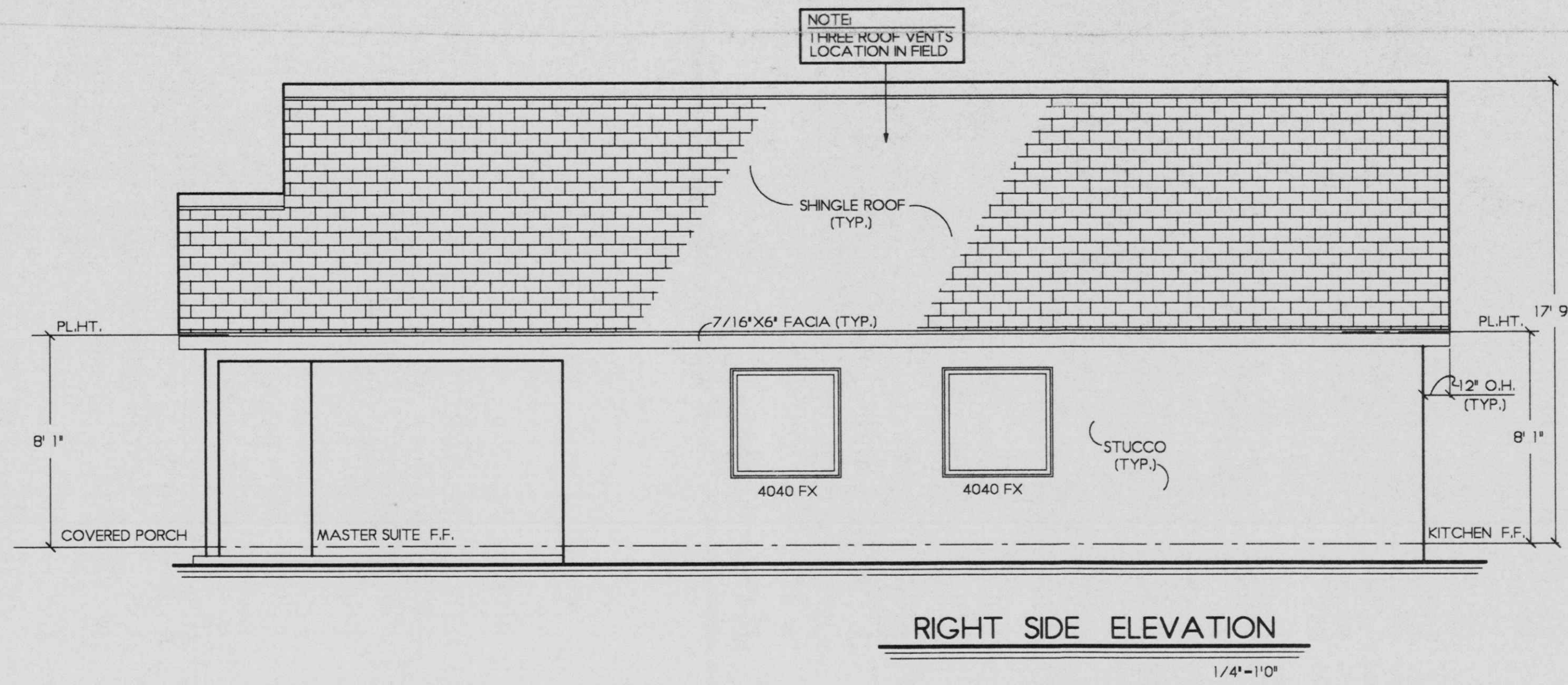
NOTE WINDOW SIZE IS ROUGH OPENING

NOTE:
FOR FRONT ELEVATION
CHECK (✓) OPTION BOX
EXAMPLE: OPTION A



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PLAN 102
 PLAN: 21023
 JOB NO.:
 COMPUTER: PLN102.FCD

REVISIONS:
 25 APRIL 02
 01 MAY 02
 06 MAY 02

1/4" = 1'-0"
 PLAN 102

ELEVATION PLANS
 ARTISTIC HOMES

SANDIA DESIGNERS
 298-2842
 Albuquerque, New Mexico
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RIDGE VIEW VILLAGE
 SUBDIVISION

ROOF COLORS AND MATERIALS: ASPHALT SHINGLES;
 TAMKO ROOFING PRODUCTS, SERIES: GLASS-SEAL;
 RUSTIC SLATE, TWEED BLEND, WEATHERED WOOD,
 RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY.
 TRIM COLOR: WHITE
 STUCCO COLORS: SONNEBORN: DESERT LACE, LUNA,
 TORREON, PALOMA, AMARILLA, AND SUEDE.

NOTE: WINDOW SIZE IS ROUGH OPENING

NOTE:
 FOR FRONT ELEVATION
 CHECK (✓) OPTION BOX
 EXAMPLE: OPTION A

