

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT, DEVELOPMENT REVIEW DIVISION
P.O. BOX 1293, ALBUQUERQUE, NM 87103

April 20, 2004

Pete Daskalos Properties
5321 Menaul Blvd. NE
Albuq. NM 87110

CERTIFICATE OF ZONING

FILE: 04EPC 02039 (Project 1000931)
DATE OF FINAL ACTION: January 15, 2004
LEGAL DESCRIPTION: for all or a portion of Tracts 1C,
Seville Addn, a zone map amendment from SU-1 Church &
Related Facilities to SU-1 for C-1 Uses, located on
UNIVERSE NW, between IRVING BLVD. NW and
WESTSIDE BLVD. NW, containing approximately 9 acres.
(A-10) Carmen Marrone, Staff Planner

THE POSSIBLE APPEAL PERIOD HAVING EXPIRED, THE ZONING ON THE ABOVE CITED
PROPERTY IS NOW CHANGED AS FOLLOWS:

**FROM SU-1 CHURCH AND RELATED FACILITIES/O-1/R-2 PERMISSIVE USES
TO SU-1 FOR C-1 USES INCLUDING RESTAURANTS W/FULL SERVICE LIQUOR AND LIQUOR
SALES FOR OFF PREMISE CONSUMPTION ANCILLARY TO A FULL SERVICE GROCERY STORE**

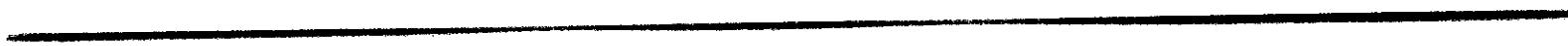
Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of a zone map amendment does not constitute approval of plans for a building permit. Site and building plans need to be reviewed, approved and signed-off by the Environmental Planning Commission, the Development Review Board, the Design Review Committee and/or the Building and Safety Division, as applicable and as required by the site's zoning, before a building permit will be issued.

Sincerely,

For 
Victor Chavez
Planning Director

VC/ac

cc: Zoning Code Services Division
Neal Weinberg, AGIS Division



- b. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
- c. Traffic Impact Study is required and has been submitted.
- d. Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site.
- e. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- f. Site plan shall comply and be designed per DPM Standards.
- g. Narrow 56' driveway on Coors Blvd., as shown on site plan, to 30' in width.
- h. Provide cross access agreement between tracts.
- i. Platting should be a concurrent DRB action.
- j. Access at Coors Boulevard and Ouray Road shall be limited to right-turn in and right-turn out access only consistent with the Coors Corridor Plan.
- k. Provision for the fourth southbound travel lane on Coors Boulevard adjacent to the subject property, consistent with the Coors Corridor Plan (see figure 6).

MOVED BY COMMISSIONER DEICHMANN
SECONDED BY COMMISSIONER KLEBESADEL

MOTION PASSED UNANIMOUSLY

NOTE: COMMISSIONER PENA HAS LEFT AT THIS TIME

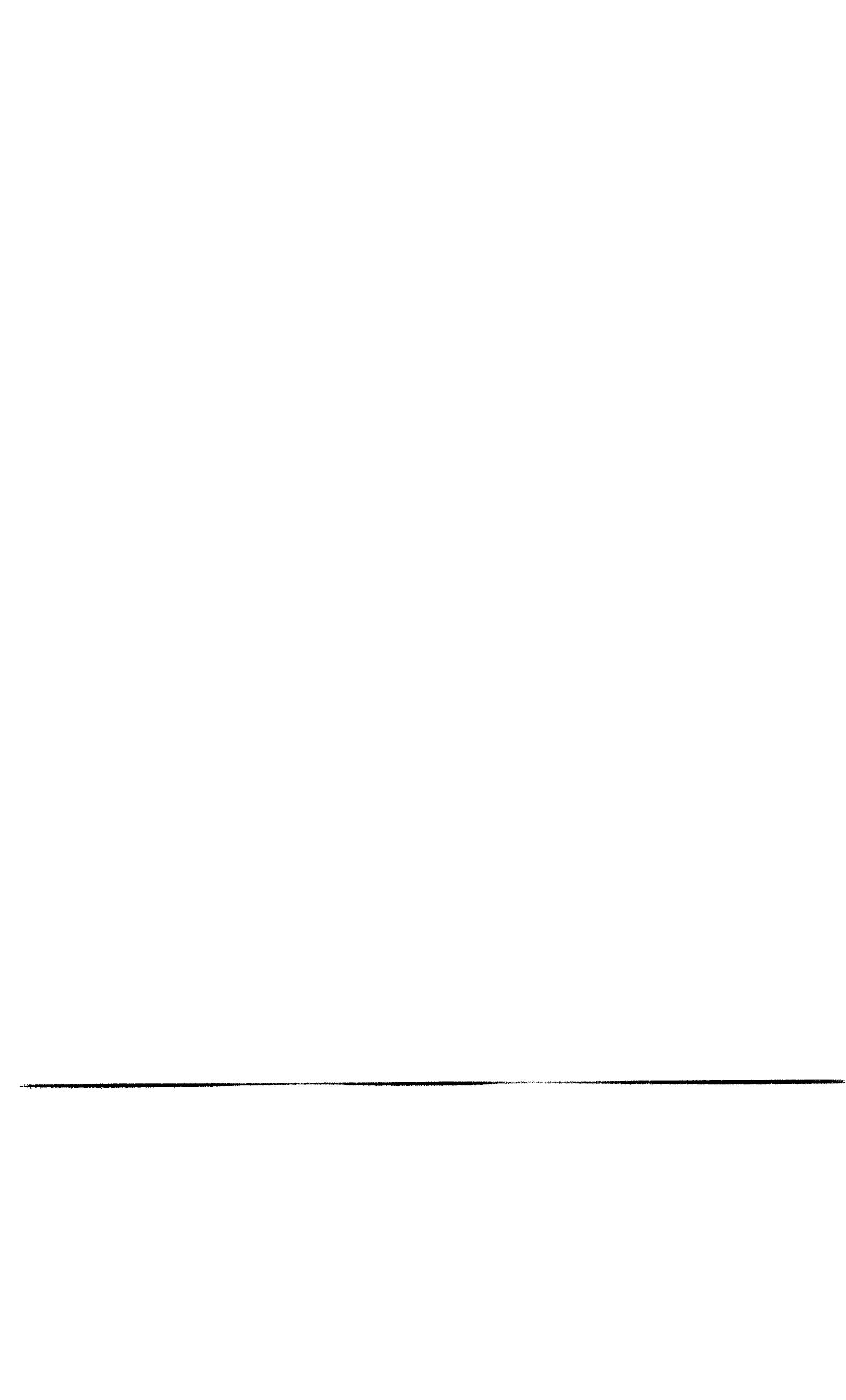
13. Project # 1000931
03EPC-02038 EPC Site Development
Plan-Subdivision
03EPC-02039 Zone Map Amendment

DAC ENTERPRISES, INC. agent for PETE DASKALOS PROPERTIES request the above actions for all or a portion of Tracts 1C, **Seville Addn**, a zone map amendment from SU-1 Church & Related Facilities to SU-1 for C-1 Uses, located on UNIVERSE NW, between IRVING BLVD. NW and WESTSIDE BLVD. NW, containing approximately 9 acres. (A-10) Carmen Marrone, Staff Planner **(ZONE MAP AMENDMENT APPROVED. SITE PLAN APPROVED WITH CONDITIONS)**

STAFF PRESENT:

Carmen Marrone, Planning Department

PERSONS PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:



Jim Strozier, 924 Park Ave. SW
Laura Horton, 7224 Cascada Rd. NW
Pete Daskalos, 5321 Menaul NE

THERE WAS NO ONE PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:

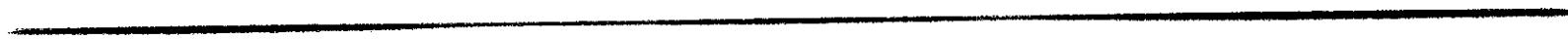
MS. MARRONE: Reiterated comments made in the staff report in which denial was recommended for both the zone map amendment and site plan for subdivision.

FINAL ACTION TAKEN

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to approve Project 1000931/03EPC 02039, a request for a zone map amendment from SU-1 for Church and Related Facilities/O-1/R-2 Permissive Uses to SU-1 for C-1 Uses including restaurants w/ full service liquor and liquor sales for off premise consumption ancillary to a full service grocery store, for Lot 1C, Seville Addition, based on the following Findings:

FINDINGS:

1. This is a request for a zone map amendment from SU-1 for Church and Related Facilities/O-1 and R-2 Permissive Uses to SU-1 for C-1 Uses including restaurants w/ full service liquor and liquor sales for off premise consumption ancillary to a full service grocery store for approximately 9 acres of land, legally described as Lot 1C, Seville Addition, located at the northeast corner of Universe and Irving Boulevard NW.
2. The subject site was rezoned in February of 2001 as part of a larger rezoning action (*Project #1000931*) for approximately 146 acres surrounding the subject site. The zoning action also included approval of a Site Plan for Subdivision that includes the subject site. The Site Plan for Subdivision contains Design Guidelines that control development of the site.
3. According to Urban Growth Projections for the Northwest Mesa, which includes the Seven Bar and Paradise Communities, residential development and population growth has occurred at a faster rate than anticipated by the *West Side Strategic Plan*.
4. The Albuquerque Metropolitan Housing Digest (2003) indicates residential development has far outpaced commercial development in the Northwest Mesa. The result of this "unbalanced growth" is that residents of the Northwest Mesa must drive farther to obtain services.
5. The request for zone change to SU-1 for C-1 Uses will implement the *Comprehensive Plan's Economic Development Policy 6a* by providing new jobs and services in an area that is rapidly growing.
6. The request fulfills the goal for Established Urban areas of the *Comprehensive Plan* by proposing urban land uses that will offer variety and choice in transportation and work areas.



7. The request for SU-1 zoning complies with Policies 5d and 5e for Established Urban areas in the *Comprehensive Plan* by providing site plan control through a public review process that will ensure the integrity of the neighborhoods.
8. The TVI campus, northwest of the subject site, is a designated Community Activity Center per the *West Side Strategic Plan* and the *Comprehensive Plan*. The TVI campus is expected to provide educational facilities and administrative offices for 4,000 students and will not provide commercial services for the surrounding community.
9. The subject site is "adjacent" (*as defined in the West Side Strategic Plan*) to the TVI Community Activity Center. Page 86 of the *West Side Strategic Plan* states, ".future uses developed adjacent to any center should be designed and built to support the center and provide effective transition to surrounding neighborhoods." The request for commercial zoning will reinforce and compliment the TVI Community Activity Center as recommended in the *West Side Strategic Plan*.
10. The request for a zone map amendment is justified per Policy 1.3 of the *West Side Strategic Plan* that states, "Commercial development shall occur in concentrated clustered areas rather than new strip developments." The subject site is considered part of the "cluster" of activity that will include the TVI campus and the Seville Neighborhood Center, north of the site. The site is not considered "strip development" as defined in the *West Side Strategic Plan* since the buildable site is less than 1000 feet in length and is located at the intersection of two important transportation links.
11. The request for a zone map amendment is justified per Section 1.D(2) of *R-270-1980* because residential development and population growth has occurred at a faster rate than projected by the *West Side Strategic Plan* and because the recent development of the TVI campus has created a need for support services.
12. The request for a zone map amendment is more beneficial to the community, per Section 1.D (3) of *R-270-1980*, by implementing Economic Development Policy 6a of the *Comprehensive Plan* to provide new jobs and services in an area that is rapidly growing.
13. The Ventana Ranch Neighborhood Association fully supports this request according to a memo submitted February 12, 2004. There is no known neighborhood opposition to this request.

MOVED BY COMMISSIONER STEELE
SECONDED BY COMMISSIONER CHAVEZ

MOTION PASSED 5-1 (COMMISSIONER
DEICHMANN VOTED NO.
COMMISSIONER PENA LEFT AND DID
NOT VOTE)

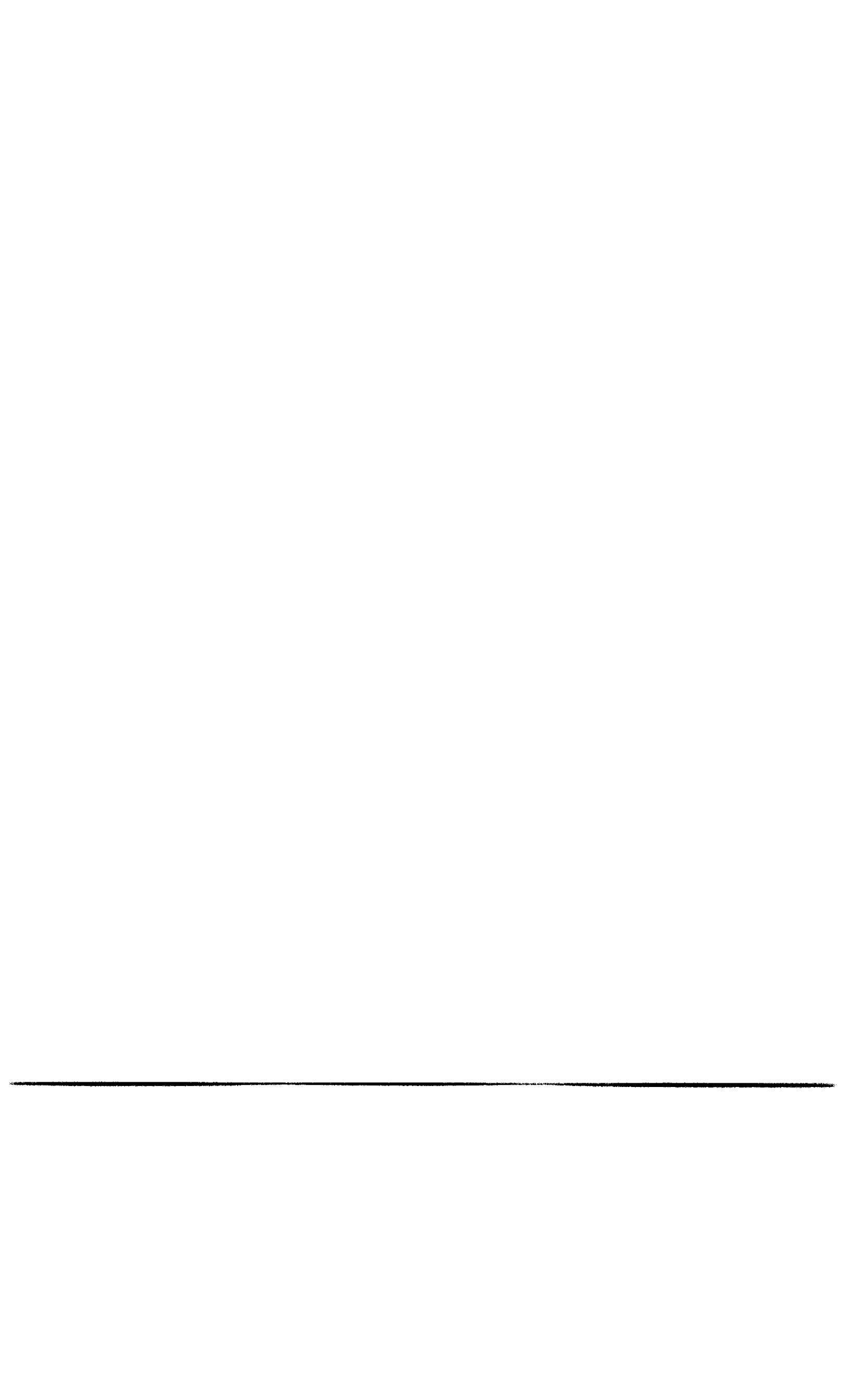
NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to approve Project 1000931/03EPC 03EPC 02038, a request for a Site Plan for Subdivision, for Lot 1C, Seville Addition, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a Site Plan for Subdivision for approximately 9 acres of land, legally described as Lot 1C, Seville Addition, located at the northeast corner of Universe and Irving Boulevard NW.
2. The request meets the policies of the *Comprehensive Plan* by creating a quality urban environment which perpetuates integrated communities within the metropolitan area and by offering variety and choice in transportation and work areas.
3. In February 2001, the EPC approved a site plan for subdivision and associated design guidelines for approximately 146 acres that included the subject site (*Project #1000931*). Future development of the site shall comply with these design guidelines.
4. The site is located adjacent to the Calabacillas Arroyo, which is a designated Major Open Space Arroyo per the *Facility Plan for Arroyos*, a Rank 2 Plan. Major Open Space Arroyos are to remain in a natural or semi-natural condition. The Calabacillas Arroyo is also designated a Major Open Space Link per the *Facility Plan for Arroyos*. Major Open Space Links are intended to provide continuous east-west linkages between Major Open Space areas. Future development of the site will be required to comply with the design guidelines outlined in Chapter 2, Section F of the *Facility Plan for Arroyos*.
5. The *West Side Strategic Plan* contains Design Guidelines for Commercial Development on page 172 of the Plan. Future development of the site shall comply with these Design Guidelines.
6. The Ventana Ranch Neighborhood Association fully supports this request according to a memo submitted February 12, 2004. There is no known neighborhood opposition to this request.

CONDITIONS:

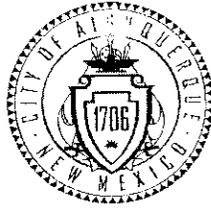
1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Future development of the site shall comply with the design guidelines on page 2 of the Site Plan for Subdivision, as provided by the applicant.
3. Future development of the site shall comply with the design guidelines that accompany the previously approved site plan for subdivision that control the site, *Project #1000931*.



4. Future development of the site shall comply with the design guidelines outlined in Chapter 2, Section F of the *Facility Plan for Arroyos*.
5. The *West Side Strategic Plan* contains Design Guidelines for Commercial Development on page 172 of the Plan. Future development of the site shall comply with these Design Guidelines.
6. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS and NMDOT:
 - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
 - c. Traffic Impact Study is required and must be submitted prior to any DRB action or prior to EPC Site Development Plan for Building Permit action, which ever is made first.
 - d. At a minimum, access to site shall meet DPM requirements but may be modified by the Traffic Engineer depending on the results of the TIS.
 - e. All access points to be designed per DPM standards.
 - f. Construction of a *minimum* 10 foot wide trail facility along Unser Boulevard as designated on the Long Range Bikeways System, and more specifically detailed in the City's DPM standards.
 - g. Platting should be a concurrent DRB action.
 - h. Dedication of a *minimum* 43 feet of right-of-way from the centerline of Universe Boulevard, a minor arterial as designated on the Long Range Roadway System.
 - i. Dedication of a *minimum* 43 feet of right-of-way from the centerline of Irving Boulevard, a minor arterial as designated on the Long Range Roadway System.
 - j. Dedication of an additional 6 feet of right-of-way along Universe Boulevard and Irving Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
 - k. Provision for bicycle lanes along Universe Boulevard and Irving Boulevard adjacent the subject property, as specified in the West Side Strategic Plan and Long Range Bikeway System.

MOVED BY COMMISSIONER STEELE
SECONDED BY COMMISSIONER CHAVEZ

MOTION PASSED 5-1
(COMMISSIONER DEICHMANN
VOTED NO. COMMISSIONER
PENA LEFT AND DID NOT VOTE)



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: February 20, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1000931**
03EPC-02038 EPC Site Development Plan-
Subdivision
03EPC-02039 Zone Map Amendment

Pete Daskalos Properties
5321 Menaul Blvd. NE
Albuq. NM 87110

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-

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13. The Ventana Ranch Neighborhood Association fully supports this request according to a memo submitted February 12, 2004. There is no known neighborhood opposition to this request.

On February 19, 2004 the Environmental Planning Commission voted to approve Project 1000931/03EPC 03EPC 02038, a request for a Site Plan for Subdivision, for Lot 1C, Seville Addition, based on the following Findings and subject to the following Conditions:

FINDINGS:

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5. The *West Side Strategic Plan* contains Design Guidelines for Commercial Development on page 172 of the Plan. Future development of the site shall comply with these Design Guidelines.

6. The Ventana Ranch Neighborhood Association fully supports this request according to a memo submitted February 12, 2004. There is no known neighborhood opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
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 3. Future development of the site shall comply with the design guidelines that accompany the previously approved site plan for subdivision that control the site, *Project #1000931*.
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 - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
 - c. Traffic Impact Study is required and must be submitted prior to any DRB action or prior to EPC Site Development Plan for Building Permit action, which ever is made first.
 - d. At a minimum, access to site shall meet DPM requirements but may be modified by the Traffic Engineer depending on the results of the TIS.
 - e. All access points to be designed per DPM standards.
-

- f. Construction of a *minimum* 10 foot wide trail facility along Unser Boulevard as designated on the Long Range Bikeways System, and more specifically detailed in the City's DPM standards.
- g. Platting should be a concurrent DRB action.
- h. Dedication of a *minimum* 43 feet of right-of-way from the centerline of Universe Boulevard, a minor arterial as designated on the Long Range Roadway System.
- i. Dedication of a *minimum* 43 feet of right-of-way from the centerline of Irving Boulevard, a minor arterial as designated on the Long Range Roadway System.
- j. Dedication of an additional 6 feet of right-of-way along Universe Boulevard and Irving Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
- k. Provision for bicycle lanes along Universe Boulevard and Irving Boulevard adjacent the subject property, as specified in the West Side Strategic Plan and Long Range Bikeway System.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **MARCH 5, 2004** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

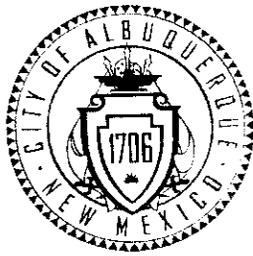
OFFICIAL NOTICE OF DECISION
FEBRUARY 19, 2004
PROJECT #1000931
PAGE 6 OF 6

Sincerely,


for Victor J. Chavez
Planning Director

VJC/CM/ac

cc: DAC Enterprises, Inc., P.O. Box 16658, Albuquerque, NM 87191
Laura Horton, Ventana Ranch, 7224 Cascada Rd NW, Albuquerque, NM 87114
Bruce Nyberg, Ventana Ranch, 6824 Blusfield Rd. NW, Albuquerque, NM 87114



ENVIRONMENTAL PLANNING COMMISSION

A G E N D A

Thursday, February 19, 2004, 8:30 a.m.

Plaza del Sol Hearing Room
Lower Level
600 2nd Street NW

MEMBERS

Jeffery Jesionowski, Chairman
Mick McMahan, Vice Chair

Camilla Serrano
Jens Deichmann
David Steele

Larry Chavez
Virginia Klebesadel
Klarissa Pena

NOTE: A LUNCH BREAK AND DINNER BREAK WILL BE ANNOUNCED AS NECESSARY

Agenda items will be heard in the order specified unless changes are approved by the EPC at the beginning of the hearing; deferral and withdrawal requests (by applicants) are generally reviewed at this time (see item 1A and 1B below). Applications with no known opposition that are supported by the Planning Department are scheduled at the beginning of the agenda; these cases are noted with an asterisk (*). Applications deferred from a previous hearing are normally scheduled at the end of the agenda.

There is no set time for cases to be heard. However, interested parties can monitor the progress of the hearing by calling the Planning Department at 924-3860. All parties wishing to address the Commission must sign-in with the Commission Secretary at the front table prior to the case being heard. Please be prepared to provide brief and concise testimony to the Commission if you intend to speak. **In the interest of time, presentation times are limited as follows, unless otherwise granted by the Commission Chair: Staff - 5 minutes; Applicant - 10 minutes; Public speakers - 2 minutes each.**

All written materials - including petitions, legal analysis and other documents - should be submitted at least 10 days prior to the public hearing, ensuring presentation at the EPC Study Session. The EPC strongly discourages submission of written material at the public hearing. Except in extraordinary circumstances, the EPC will not consider written materials submitted at the hearing. In the event the EPC believes that newly submitted material may influence its final decision, the application may be deferred to a subsequent hearing.

NOTE: ANY AGENDA ITEMS NOT HEARD BY 8:30 P.M. MAY BE DEFERRED TO ANOTHER HEARING DATE AS DETERMINED BY THE PLANNING COMMISSION.

1. Call to Order.

- A. Announcement of Changes and/or Additions to the Agenda
- B. Approval of the Amended Agenda
- C. Approval of Minutes for December 18, 2003.

2. Project #1003277 The Planning Department requests EPC recommendation of approval to the
04EPC 00121 City Council for Project #1003227. This will be the first agenda item at the February 19, 2004
public hearing at 8:30 am in the Plaza del Sol hearing room, 600 2nd Street NW. The project
consists of text amendments to the Subdivision, Sidewalk, and Street Tree Ordinances that
relate to the design of Major Local Streets and related public infrastructure. (The amendments
to the Sidewalk Ordinance include: requiring minimum six-foot wide sidewalks and sidewalk
setback distance on Collector and Major Local Streets, and requiring transverse sidewalk
slopes to comply with The Americans with Disability Act (ADA). The Street Tree Ordinance
amendments include: adding a definition for Major Local Street consistent with the definition
in Subdivision Ordinance, changing the requirements for Street Tree Plans, and requiring
street trees on Major Local Streets. The Subdivision amendments include changing the
definition of Major Local Street, allowing vehicular access to narrow residential lots from
alleys, and establishing Major Local Street characteristics and right of way elements.) Paula
Donahue, staff planner.

3. Project # 1003098*

03EPC-01913 EPC Site Development Plan-
Amendment to Building Permit

PATRICK HANIGER agent(s) for GENERAL
ASSEMBLY CHURCH request the above action(s) for
all or a portion of Tract(s) 281, **Town of Atrisco Grant**,
zoned SU-1 for Church & Related Facilities, located on
57TH ST. NW, between BICE ROAD NW and DEL
OESTE ROAD NW, containing approximately 1 acre(s).
(H-11) (Deborah Stover, Staff Planner

4. Project # 1001989*

03EPC-02184 EPC Site Development Plan-
Building Permit

DAC ENTERPRISES, INC. agent(s) for HECTOR
HERNANDEZ request the above action(s) for all or a
portion of Tract(s) C2A2, **Lands of Campbell, Airport
Unit, Town of Atrisco Grant**, zoned SU-1 Fraternal
Club & C-1 Uses w/full service liquor for consumption
on premise, located on COORS BLVD. NW, between
FORTUNA RD. NW and GLENRIO RD. NW,
containing approximately 1.095 acres. (J-11) Makita
Hill, Staff Planner

5. Project # 1002848*

03EPC-02047 EPC Site Development Plan-
Amendment to Building Permit

TIERRA WEST LLC agent(s) for LARRY MILLER GROUP request the above action(s) for all or a portion of Tract(s) A & B, **American Toyota**, zoned SU-2 SU-1 Auto Sales Serv Rep, located on ALAMEDA BLVD. NE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR. NE, containing approximately 5 acre(s). (C-18) Deborah Stover, Staff Planner

6. Project # 1003168*

03EPC-02190 Zone Map Amendment
03EPC-02191 EPC Site Development Plan-
Building Permit

ISAAC BENTON & ASSOCIATES agents for AL SOTO request the above actions for all or a portion of Lot 29, **Palisades Addition**, a zone map amendment from R-1 to SU-1 for Bed & Breakfast, located on LOMA ALTA CT. NW, between PALISADES DRIVE NW and ATRISCO DRIVE NW, containing approximately 2 acres. (J-11) Elvira Lopez, Staff Planner

7. Project # 1000390*

03EPC-02182 EPC Site Development Plan-
Building Permit

GEORGE RAINHART ARCH. & ASSOC. agent(s) for LAS VENTANAS LTD. PARTNERSHIP/C/OSANDIA request the above action(s) for all or a portion of Lot(s) H1,H2,H3,H4, **Ventana Square at Ventana Ranch**, zoned SU-1 for Restricted C-2 Uses, located on the NE corner of PARADISE BLVD. and UNIVERSE BLVD. NW, between PARADISE BLVD. NW and PASEO DEL NORTE BLVD. NW, containing approximately 5 acre(s). (B-10) Deborah Stover, Staff Planner

8. Project # 1003169*

03EPC-02193 EPC Site Development Plan-
Building Permit

SMPC ARCHITECTS agents for RIO VISTA CHURCH request the above action for all or a portion of Lot A, **Riverview Addition**, zoned SU-1 Church & Related Facility, located on SW CORNER OF GOLF COURSE & SHELLY ROSE RD. NW, between PASEO DEL NORTE NW and IRVING NW, containing approximately 3 acres. (C-12) Carmen Marrone, Staff Planner

9. Project # 1003171*

03EPC-02197 Zone Map Amendment

Sylvia Wertzman agent for VICTOR MADRID request the above action for all or a portion of Lot 1A, **Alvarado Gardens**, a zone map amendment from RA-2 to RT, located on MATTHEW AVE. NW, between RIO GRANDE BLVD. NW and MATTHEW PL. NW, containing approximately 1 acre(s). (G-13) Elvira Lopez, Staff Planner

10. Project # 1003172*

03EPC-02192 Zone Map Amendment

CONSENSUS PLANNING, INC. agents for CLEARBROOK INVESTMENTS INC. request the above action for all or a portion of Tract 1D, **Seville Subdivision**, a zone map amendment from R-1 to R-LT, located on KAYENTA ST. NW, between IRVING BLVD. NW and CALABACILLAS ARROYO, containing approximately 7 acre(s). (A-10) Carmen Marrone, Staff Planner

11. Project # 1003170*

03EPC-02194 EPC Site Development Plan-Building Permit

SITES SOUTHWEST agent(s) for COA WATER RESOURCES DEPT. request the above action(s) for , **Elena Gallegos Grant**, zoned SU-1 for Sand & Gravel Extr & Rel. Act., located on MISSION AVE. NE, between TOKAY ST. NE and CHAPPELL DR. NE, containing approximately 161 acre(s). (E-16) Chris Hyer, Staff Planner

12. Project # 1002459

03EPC-02052 EPC Site Development Plan-Building Permit

03EPC-02187 EPC Site Development Plan-Amendment to Subdivision

DEKKER/PERICH/SABATINI agent for SCM PROPERTY CO. LLC request the above actions for all or a portion of **W.H. Brunell Addition**, zoned SU-1 for a Commercial Development to include a Truck Terminal and Related C-2 Uses and P, located on COORS BLVD NW, between OURAY NW and QUAIL NW, containing approximately 7.625 acres. (H-11) Juanita Vigil, Staff Planner

13. Project # 1003127

03EPC-02056 EPC Site Development Plan-Building Permit

BILL BURK, THIRD, ARCHITECT agent for GILBERT ENTERPRISES LLC request the above action for all or a portion of Tract 3A4, **Eagle Ranch**, zoned SU-1 for C-1 Permissive & Conditional Uses & Package Liquors Sales, located on GOLF COURSE ROAD NW, between AVOCET RD. NW and KEA AVE. NW, containing approximately 1 acres. (B-12) Carmen Marrone, Staff Planner

14. Project # 1002948

03EPC- 01736

03DRB-01485 Major-Preliminary Plat Approval

03DRB-01486 Minor-Sidewalk Variance

03DRB-01497 Minor-Temp Defer SDWK

Juan R. Alderete et al, appeals the Development Review Board's approval of the above action(s) for all or a portion of Tract(s) A-1, Lot(s) 1 & 2, Tract(s) 171a1b2, **LANDS OF JACK CULLY**, zoned RA-2 residential and agricultural zone, located on ADOBE RD NW, between MONTANO RD and GUADALUPE TR containing approximately 6 acre(s). (F-14) **(DEFERRED FROM DECEMBER 18, 2003)**

15. Project # 1002941
03EPC-01467 EPC Sector Development
Plan
03EPC-01466 Zone Map Amendment

CONSENSUS PLANNING INC. agent for SUNSTATE REALTY request the above actions for all of Tract H20, **Riverview Subdivision**, a zone map amendment from RO-1 to RA-2, located at the southwest corner of Eagle Ranch Rd. and Coors Blvd. NW, containing approximately 5 acres. (C-12) Carmen Marrone, Staff Planner **(DEFERRED FROM NOVEMBER 20, 2003)**

16. Project # 1000931
03EPC-02038 EPC Site Development Plan-
Subdivision
03EPC-02039 Zone Map Amendment

DAC ENTERPRISES, INC. agent for PETE DASKALOS PROPERTIES request the above actions for all or a portion of Tracts 1C, **Seville Addn**, a zone map amendment from SU-1 Church & Related Facilities to SU-1 for C-1 Uses, located on UNIVERSE NW, between IRVING BLVD. NW and WESTSIDE BLVD. NW, containing approximately 9 acres. (A-10) Carmen Marrone, Staff Planner **(DEFERRED FROM JANUARY 15, 2004)**

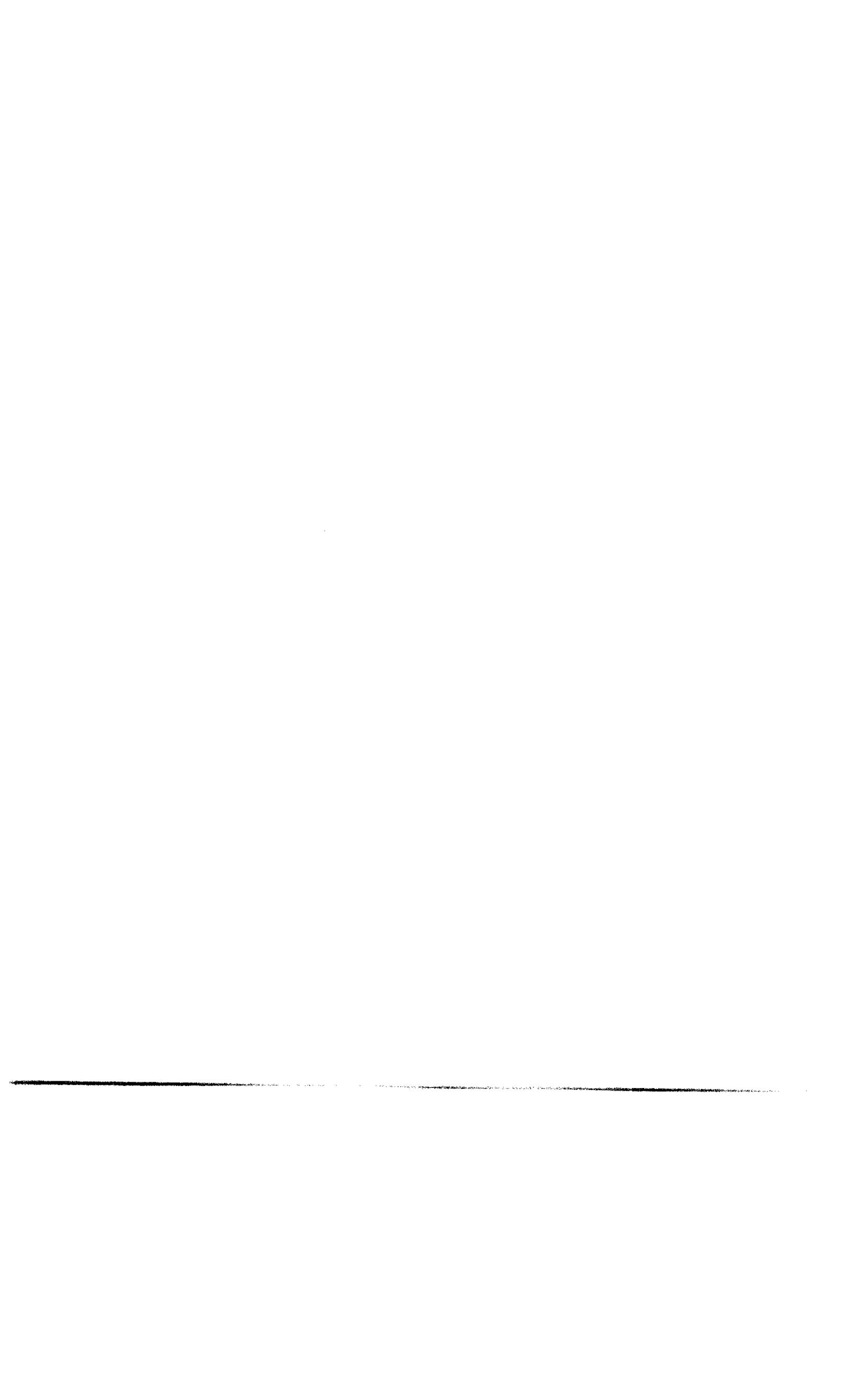
17. Project # 1003126
03EPC-02055 EPC Site Development Plan-
Subdivision
03EPC-02057 EPC Site Development Plan-
Building Permit

ADVANCED ENGINEERING AND CONSULTING LLC agents for SCOTT HAUQUITZ request the above action(s) for all or a portion of Tract(s) 45-B, **MRGCD Map 29**, zoned SU-1 for IP Uses, located on EDITH BLVD. NE, between OSUNA ROAD NE and TYLER St. NE, containing approximately 7 acre(s). (E-15) Deborah Stover, Staff Planner **(DEFERRED FROM JANUARY 15, 2004)**

18. Project # 1000575
03EPC-01661 EPC Site Development
Plan-Amendment to Building Permit

DEKKER/PERICH/SABATINI agents for PRESBYTERIAN HEALTHCARE SERVICES request the above action(s) for all or a portion of Tract(s) 1-9, **Presbyterian Hospital Main Campus**, zoned SU-1 SU-2 Hospital & Related Uses, located on CENTRAL SE, between OAK SE and SYCAMORE SE, containing approximately 27 acres. (K-15) Carmen Marrone, Staff Planner **(DEFERRED FROM JANUARY 15, 2004)**

19. OTHER MATTERS



Staff Report

Agenda Number: 16
Project Number: 1000931
Case Number: 03EPC 02038 & 02039
February 19, 2004

Agent	DAC Enterprises, Inc.
Applicant	Pete Daskalos Properties
Requests	Zone Map Amendment and Site Plan for Subdivision
Legal Desc.	Lot 1C, Seville Addition
Location	northeast corner of Universe and Irving Boulevard NW
Size	Approximately 9 acres
Existing Zoning	SU-1/Church & Related Facilities and O-1/R-2 Permissive Uses
Proposed Zoning	SU-1/C-1 Uses including Restaurants w/full service liquor and liquor sales for off-premise consumption ancillary to a full service grocery store

Staff Recommendation

DENIAL of 03EPC 02039, Zone Map Amendment, based on the findings on page 18.

DENIAL of 03EPC 02038, Site Plan for Subdivision, based on the findings on page 20.

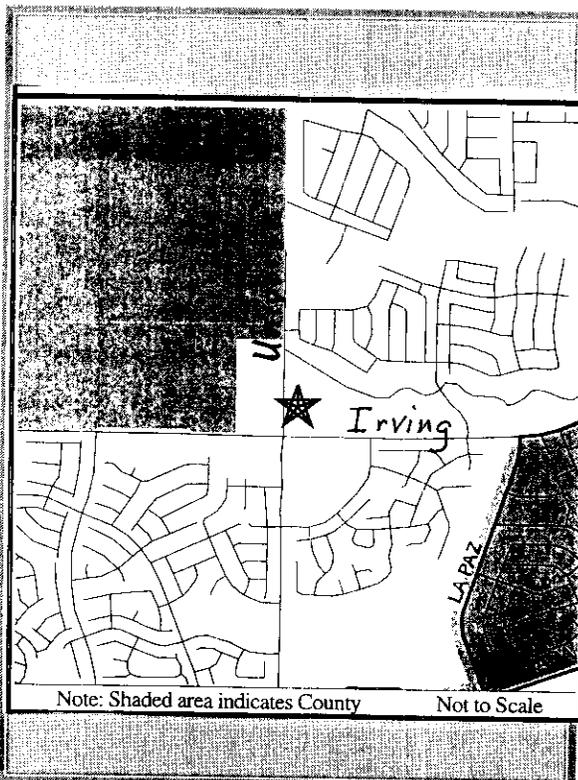
Staff Planner
Carmen Marrone

Summary of Analysis

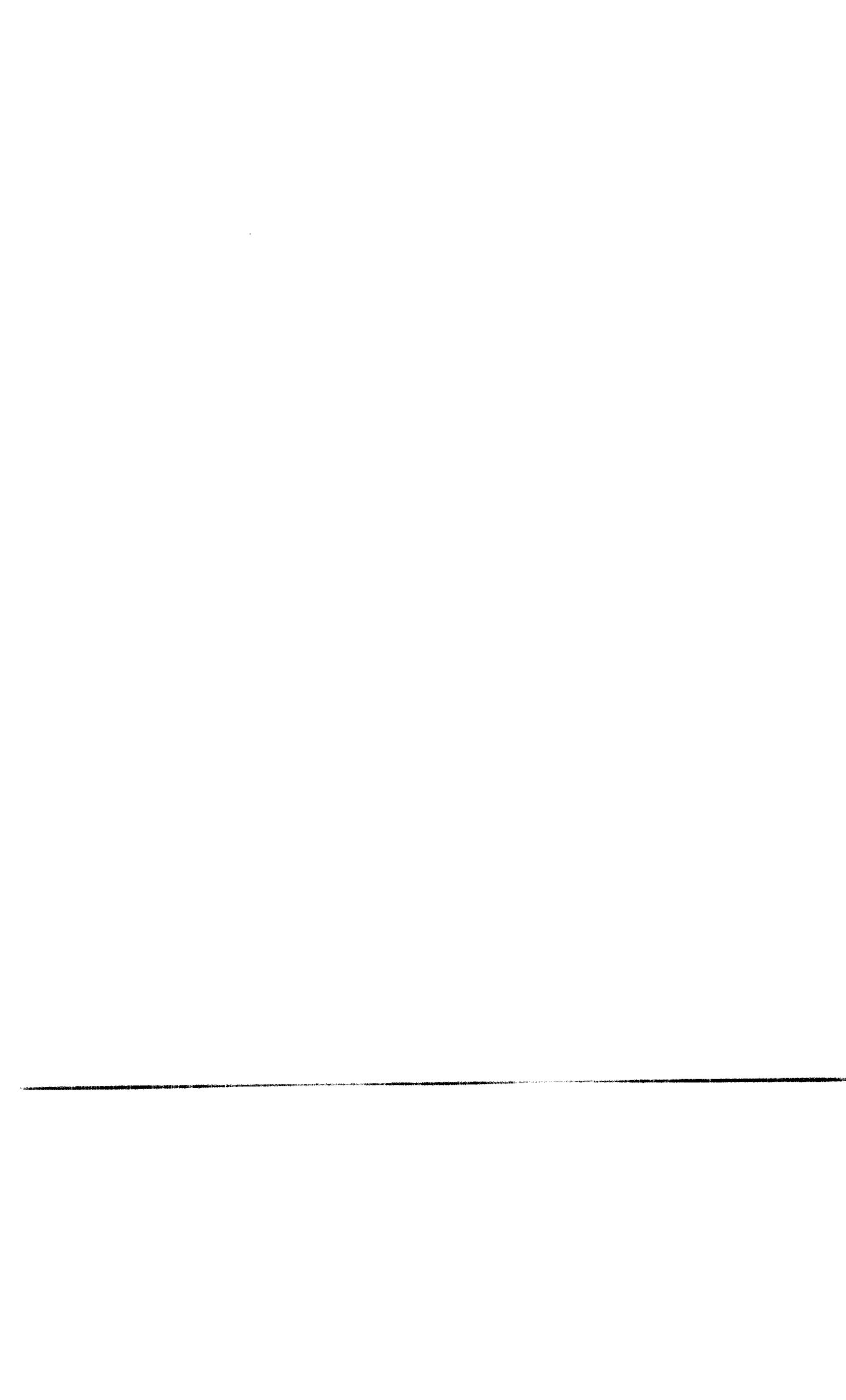
This is a request for a zone map amendment and a site plan for subdivision for a 9-acre parcel located at the northeast corner of Universe and Irving Blvd. NW. This case was deferred from the January 2004 EPC hearing at the request of the applicant. The applicant's reason for deferral was to respond to staff's recommendation of denial. The subject site is part of a larger site (146 acres) that recently received EPC approval of a zone map amendment and a site plan for subdivision (*Project #1000931*, February 2001).

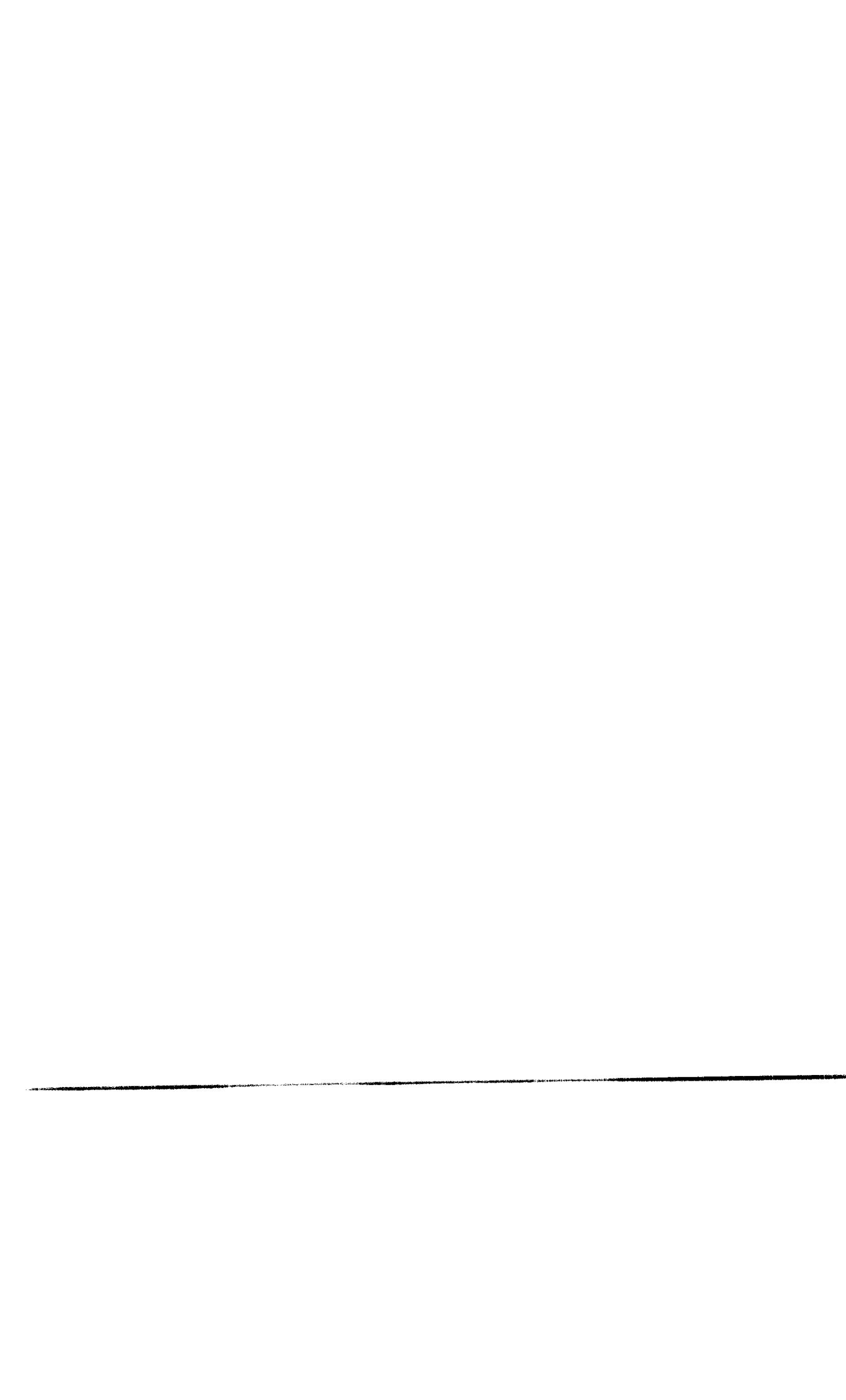
The applicant is proposing to establish a new commercial center on the site which is in conflict with community-based policies of the *West Side Strategic Plan* and the *Comprehensive Plan*. The requested zoning is also in conflict with the low/medium residential designation of the *Westside/McMahon Land Use and Transportation Guide*. The zone map amendment is not supported per *Resolution 270-1980* because the applicant fails to provide convincing evidence that the existing zoning is inappropriate based on changed conditions.

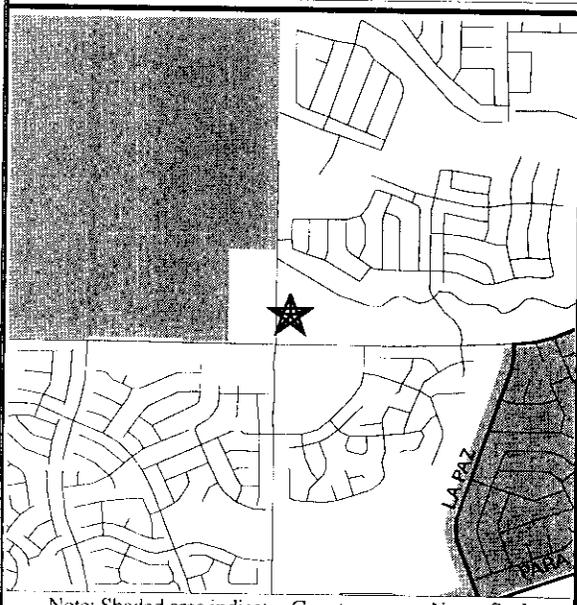
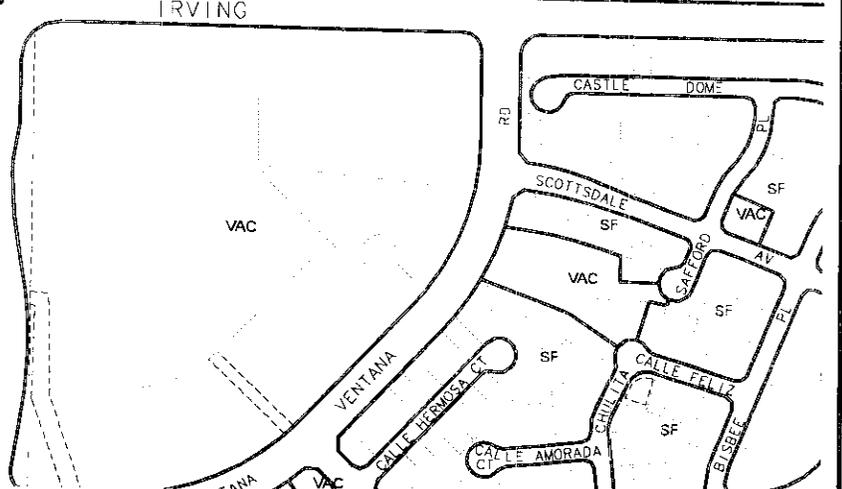
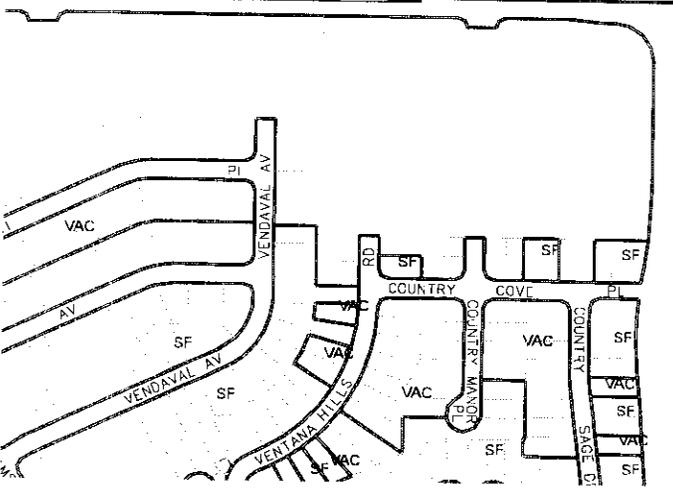
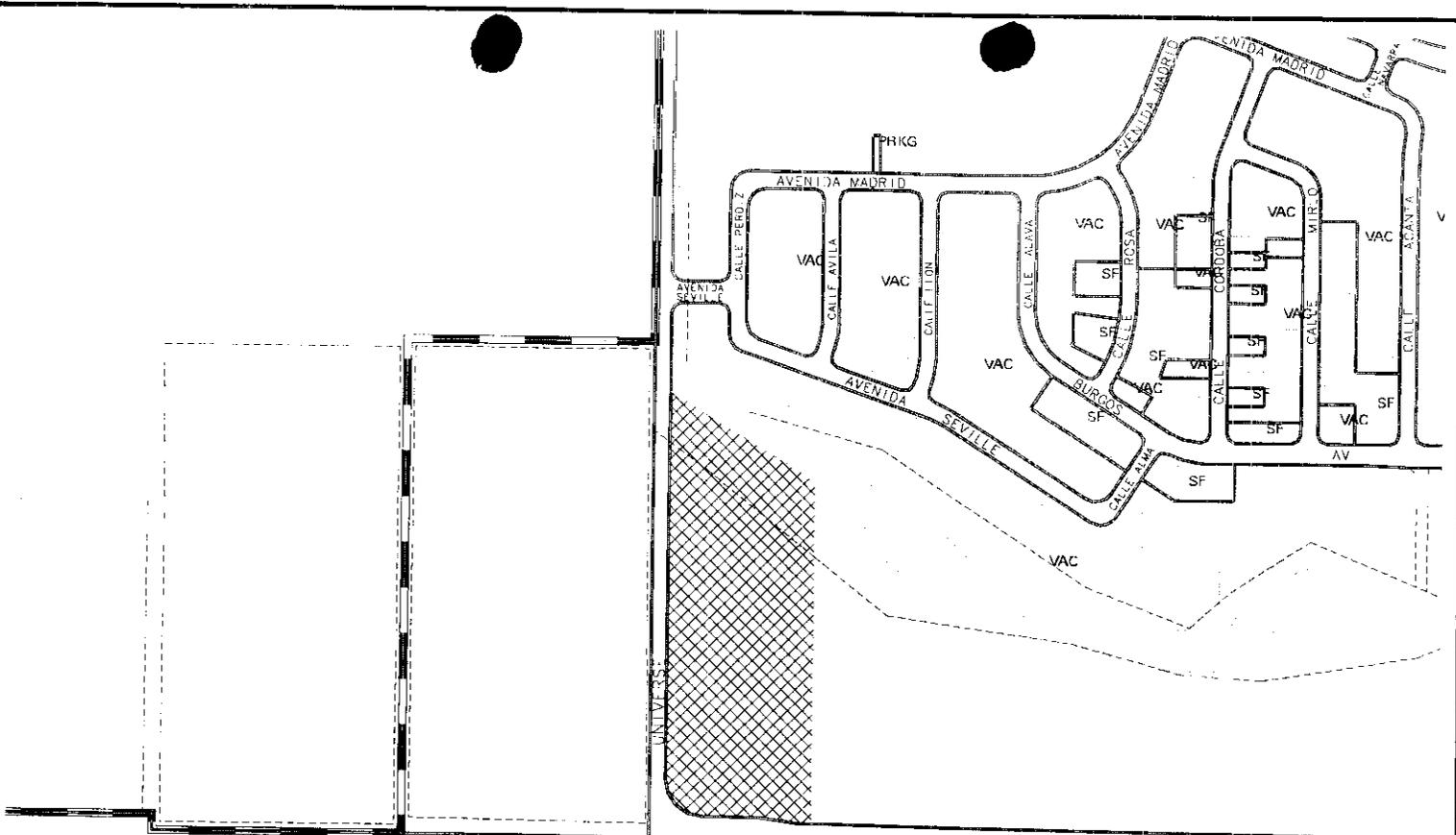
Additional staff comments can be found beginning on page 15.



City Departments and other interested agencies reviewed this application from 12/08/03 to 12/19/03. Agency comments were used in the preparation of this report, and begin on page 22.







LAND USE MAP

KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial -Retail, Service, Wholesale
- DRNG Drainage
- EDUC Public or Private School
- GOLF Golf Course
- MED Medical Office or Facility
- MFG Manufacturing or Mining
- MH Mobile Home
- MULT Multi-Family or Group Home
- OFF Office
- ORG Social or Civic Organization
- PARK Park, Recreation or Open Space
- PRKG Parking
- PUBF Public Facility
- RELG Religious Facility
- SF Single Family
- TRAN Transportation Facility
- UTIL Utility
- VAC Vacant Land or Abandoned Bldgs
- WH Warehousing & Storage



Scale 1"=492'

PROJECT NO.
1000931

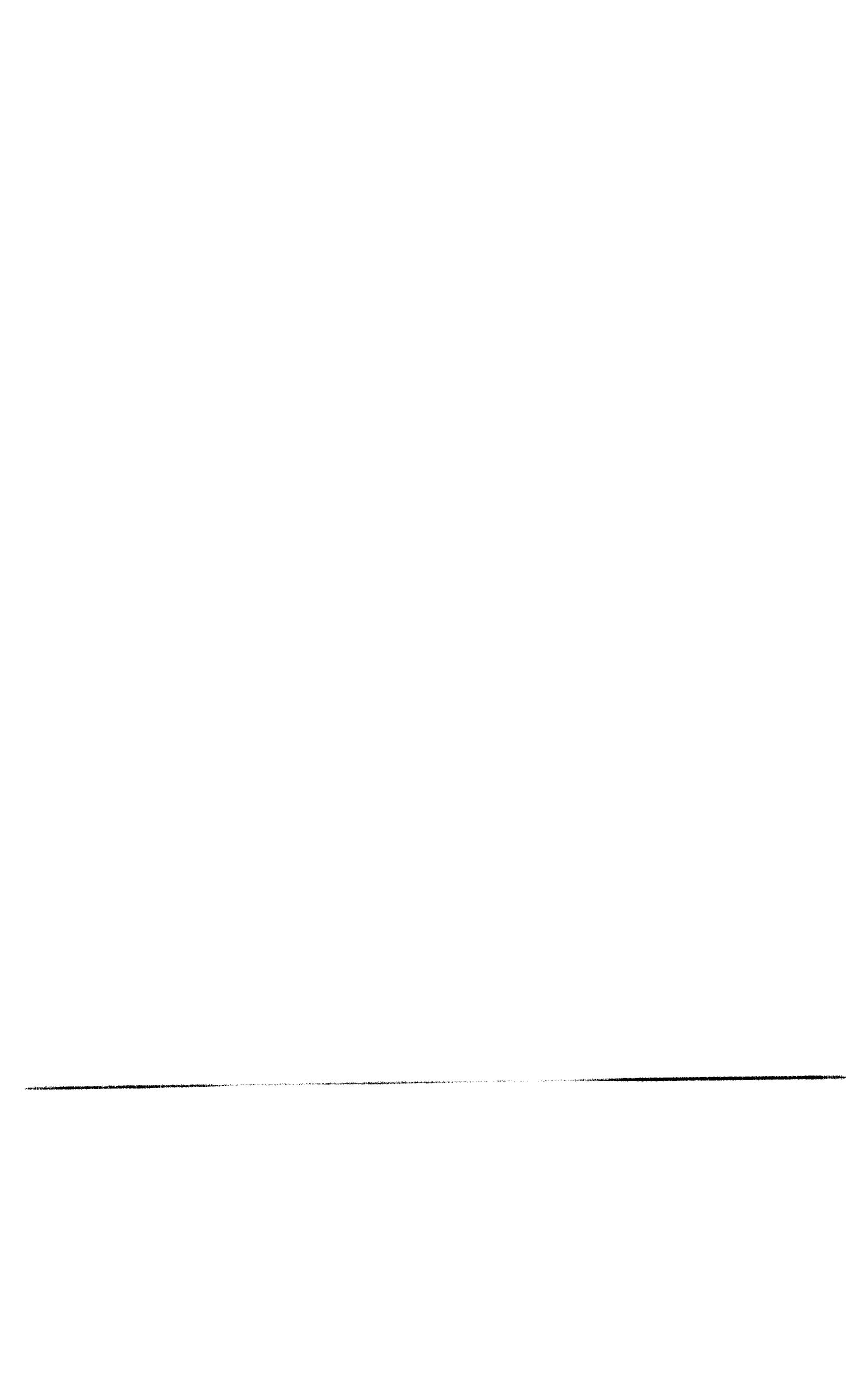
HEARING DATE
1-15-04

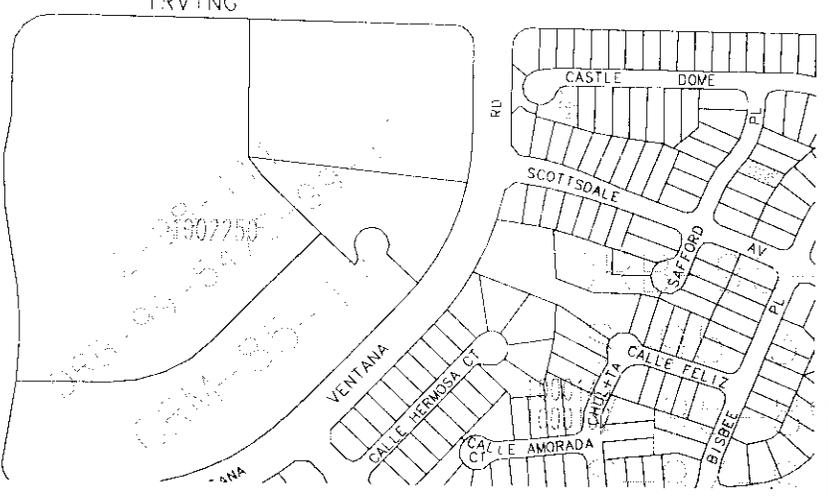
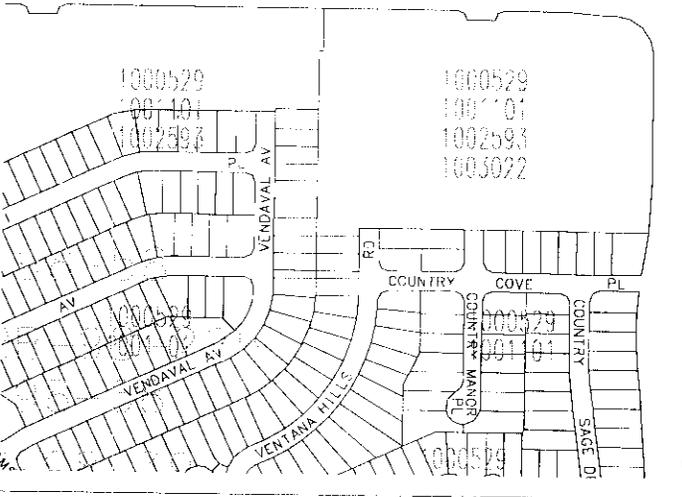
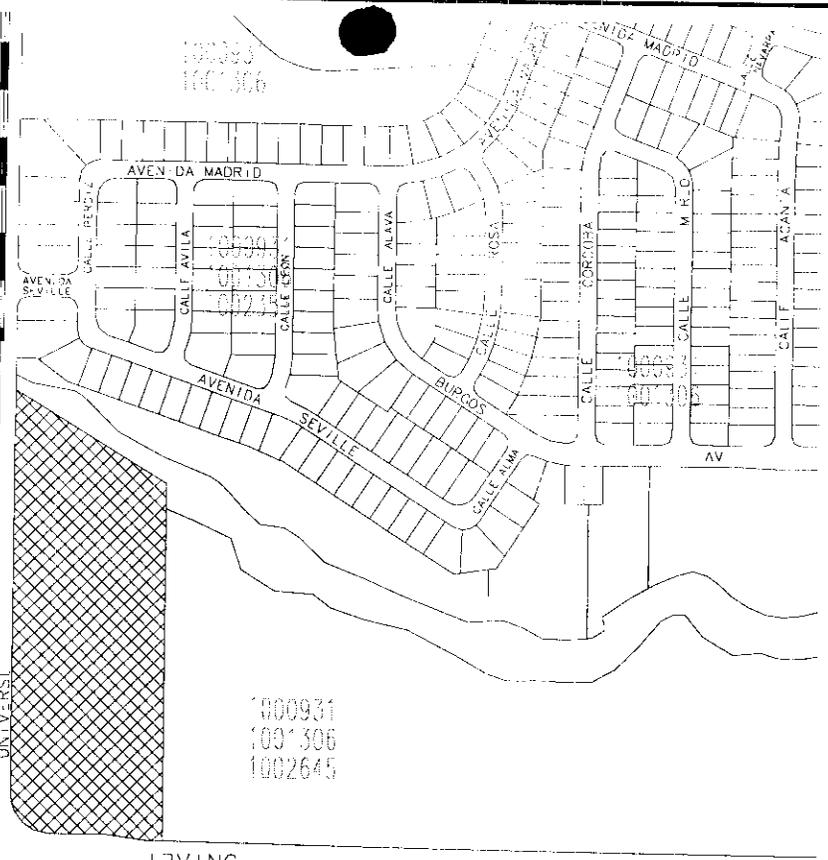
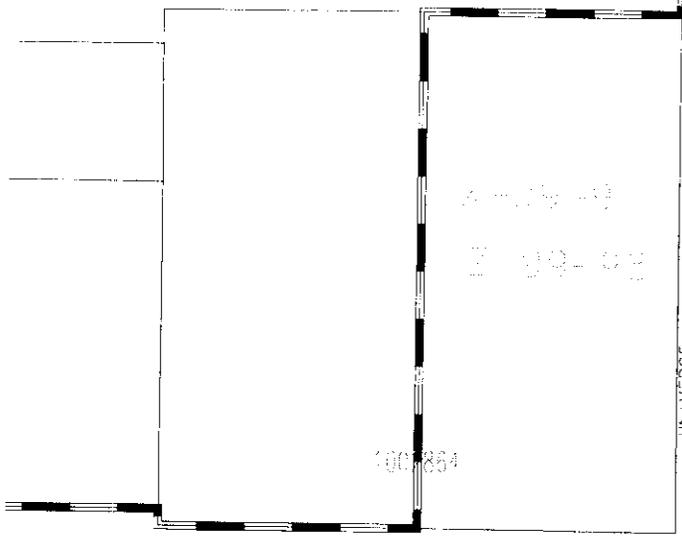
MAP NO.
A-10

ADDITIONAL CASE NUMBER(S)
03EPC-02038
03EPC-02039

Note: Shaded area indicates County

Not to Scale





HISTORY MAP



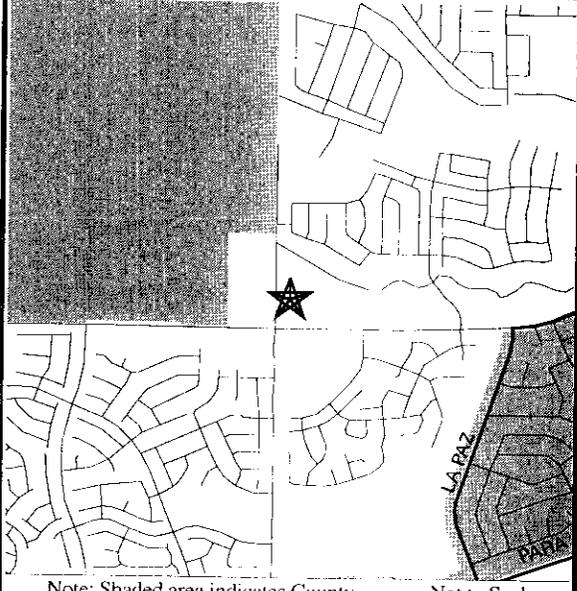
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PROJECT NO.
1000931

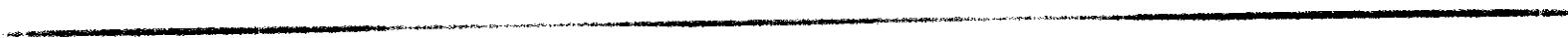
HEARING DATE
1-15-04

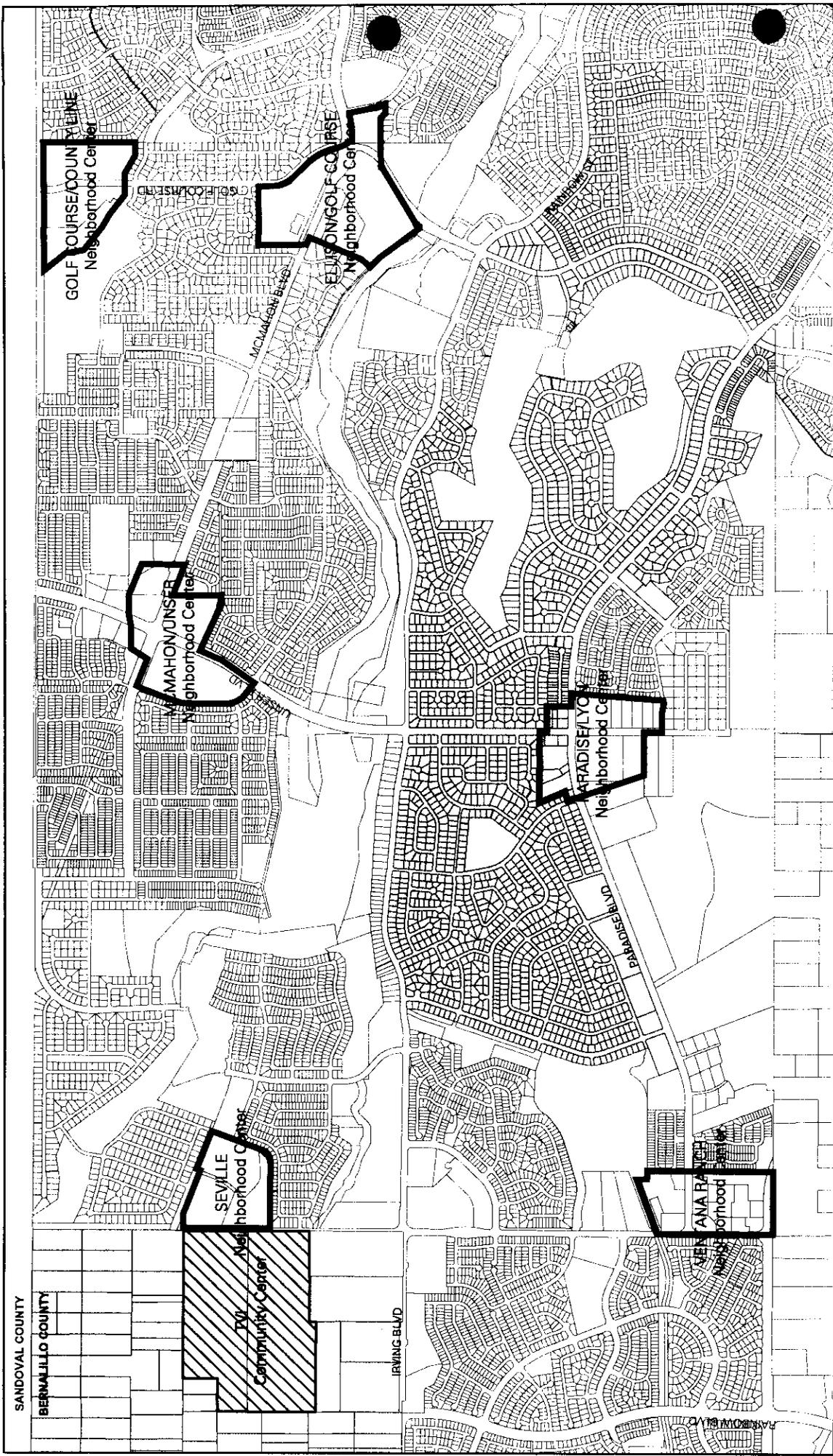
MAP NO.
A-10

ADDITIONAL CASE NUMBER(S)
03EPC-02038
03EPC-02039



Note: Shaded area indicates County Not to Scale

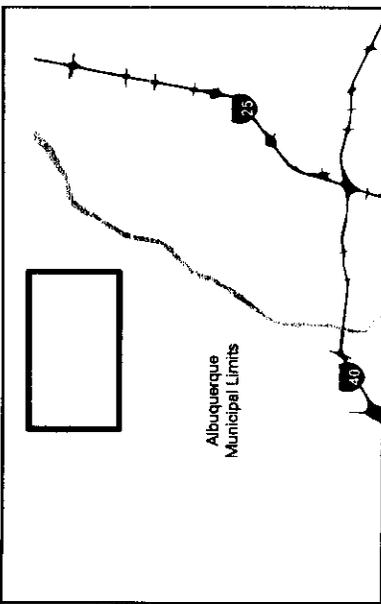
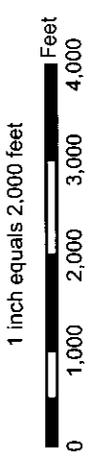




Legend

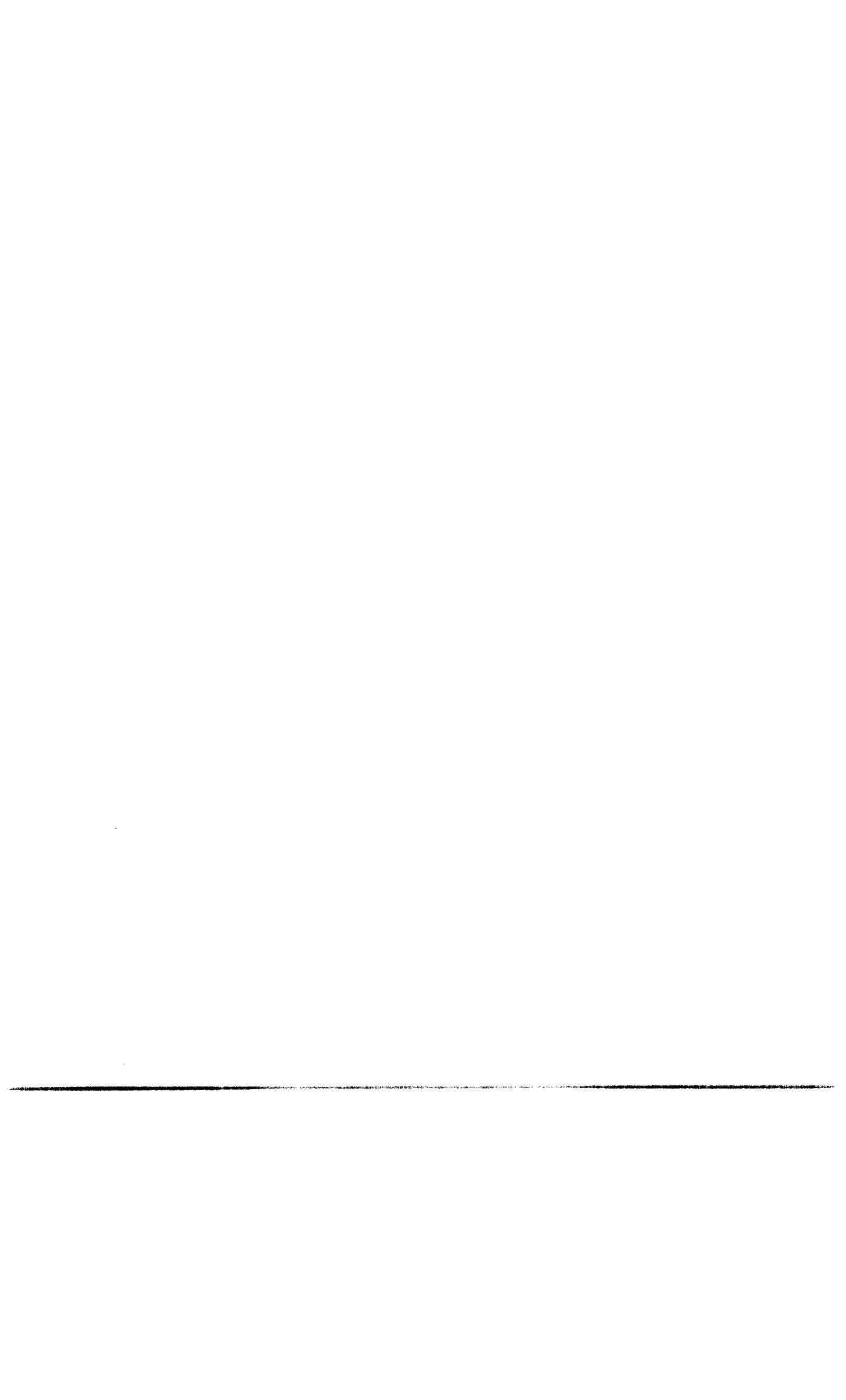
-  Neighborhood Centers
-  Community Centers

Albuquerque Municipal Limits
 Unincorporated Areas



SANDOVAL COUNTY
 BERNALILLO COUNTY

Albuquerque
 Municipal Limits



Development Services Report

SUMMARY OF REQUEST

Requests	<i>Zone Map Amendment and Site Plan for Subdivision</i>
Location	<i>northeast corner of Universe and Irving Boulevard NW</i>

AREA CHARACTERISTICS AND ZONING HISTORY

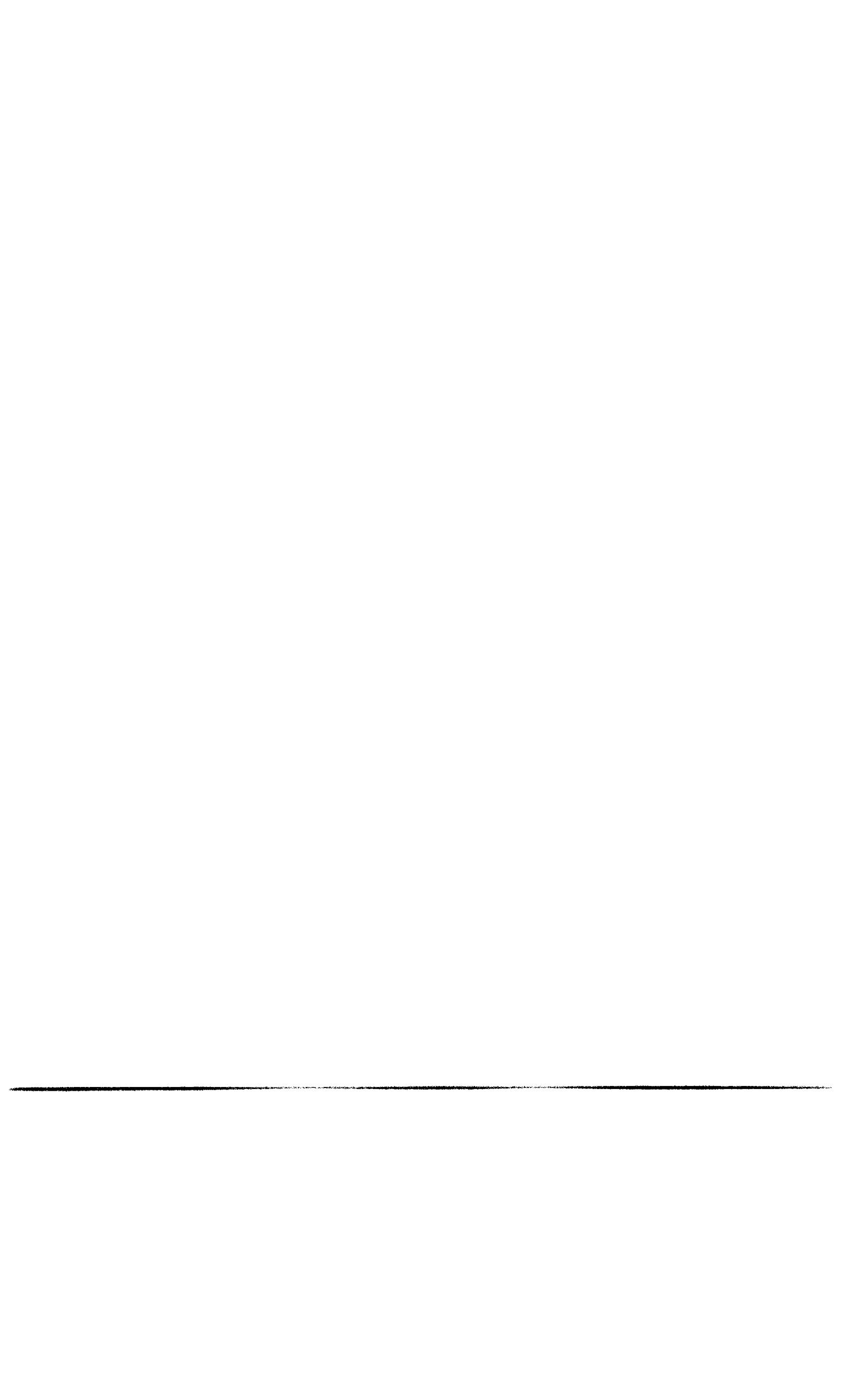
Surrounding zoning, plan designations, and land uses:

	Zoning	Comprehensive Plan Area; Applicable Rank II & III Plans	Land Use
Site	SU-1 for Church & Related Facilities/O-1/R-2 Uses	Established Urban Area; <i>West Side Strategic Plan;</i> <i>Westside/McMahon Corridor Study;</i> <i>Facility Plan for Arroyos</i>	undeveloped
North	R-LT		residential development under construction
South	SU-1 for R-2 and SU-1 for Church & Related Facilities or R-2 Uses		undeveloped
East	R-LT		undeveloped
West	R-LT		undeveloped
Northwest	A-1 (County)		TVI Westside Campus

Background, History and Context

This is a request for a zone map amendment and a site plan for subdivision for approximately nine acres of land located at the northeast corner of Universe and Irving Blvd. NW. The land surrounding the subject site is residentially zoned and mostly undeveloped. The site is part of a larger development known as the Seville Subdivision. A new TVI campus was recently constructed northwest of the site and across Universe Boulevard. The TVI campus is designated a Community Activity Center per the *West Side Strategic Plan* and the *Comprehensive Plan*. Ventana Ranch, Phase I, a planned residential community, is near completion to the south and southwest of the site. The site is located at the intersection of two minor arterials, Irving and Universe. The Calabacillas Arroyo runs along the northern boundary of the site.

In February 2001, the EPC approved a zone map amendment for approximately 146 acres that included the subject site (*Project #1000931*). The site was rezoned from R-1 to SU-1 for Church



and Related Facilities to include O-1 and R-2 Uses. The zoning action also included the rezoning of approximately 20 acres north of the site, at the southeast corner of Universe and McMahan NW, to SU-1 for C-1 Uses and the rezoning of approximately 117 acres north and east of the subject site to R-LT. The EPC found that the 20-acre parcel at the southeast corner of Universe and McMahan met the criteria for the establishment of a new Neighborhood Center per Policy 1.9 of the *West Side Strategic Plan* (p. 39) and requested that the *West Side Strategic Plan* be amended to designate this corner as a Neighborhood Center. A letter dated January 30, 2001 was submitted to the City Council requesting such action (see attached). This action, however, never occurred as part of the 2002 amendments to the *West Side Strategic Plan*.

Associated with the 2001 zone map amendment, the EPC also approved a request for site plan for subdivision along with associated Design Guidelines that control the subject site. To date, the site plan for subdivision has not received final sign off by the DRB.

APPLICABLE PLANS AND POLICIES

Albuquerque / Bernalillo County Comprehensive Plan

The subject site is located in the area designated Established Urban by the *Comprehensive Plan* with a Goal to "create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment." Applicable policies include:

Policy 5a: The Established and Developing Urban areas as shown by the plan map shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

Policy 5d: The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

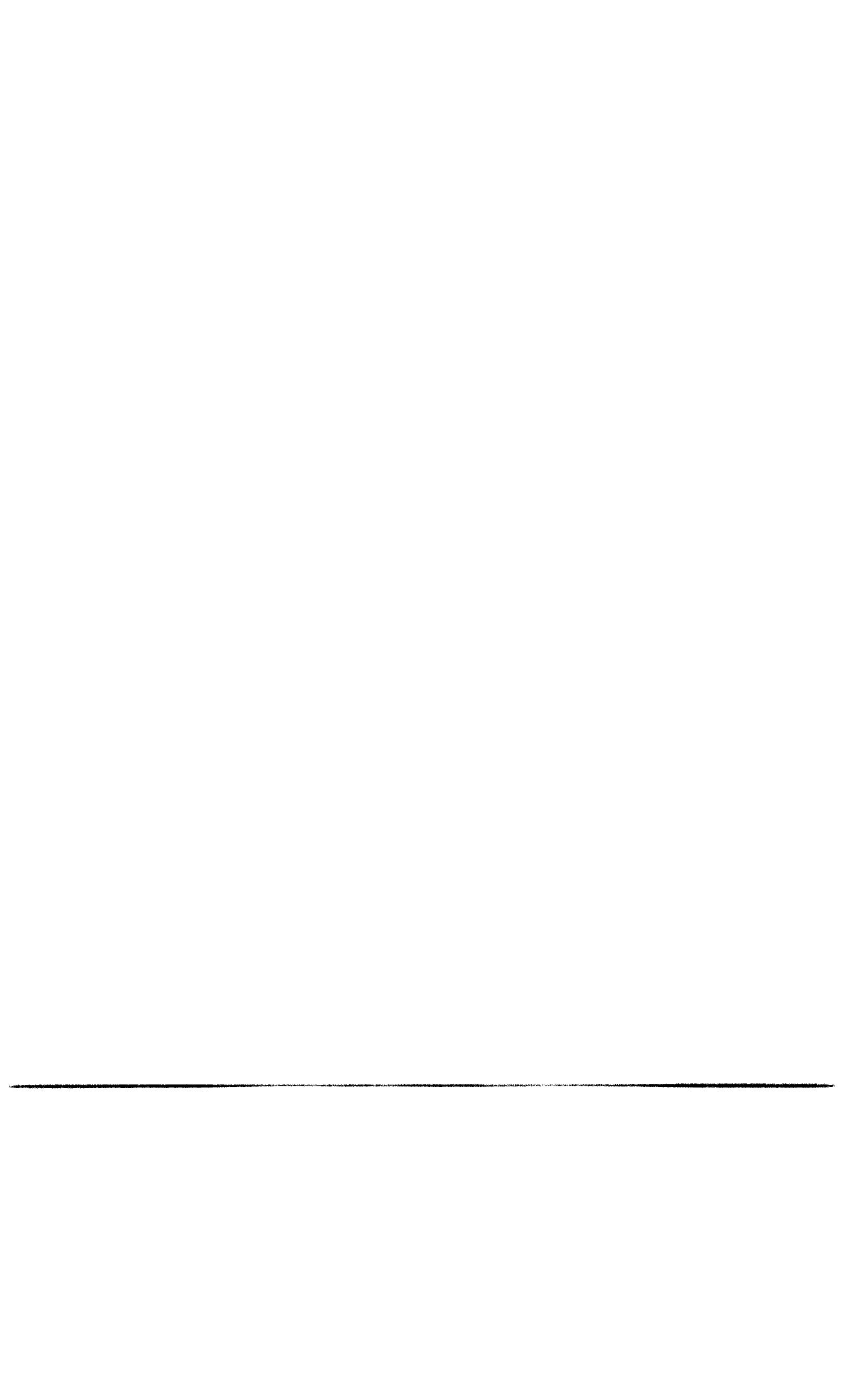
Policy 5e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods and can be ensured.

Policy 5g: Development shall be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.

Policy 5i: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

Policy 5j: Where new commercial development occurs, it should generally be located in existing commercially zoned areas as follows:

- In small neighborhood-oriented centers provided with pedestrian and bicycle access within reasonable distance of residential areas for walking or bicycling.



Policy 5k: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

Policy 5l: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

Policy 5m: Urban and site design which maintains and enhances unique vistas and improved the quality of the visual environment shall be encouraged.

West Side Strategic Plan, Rank 2 Area Plan

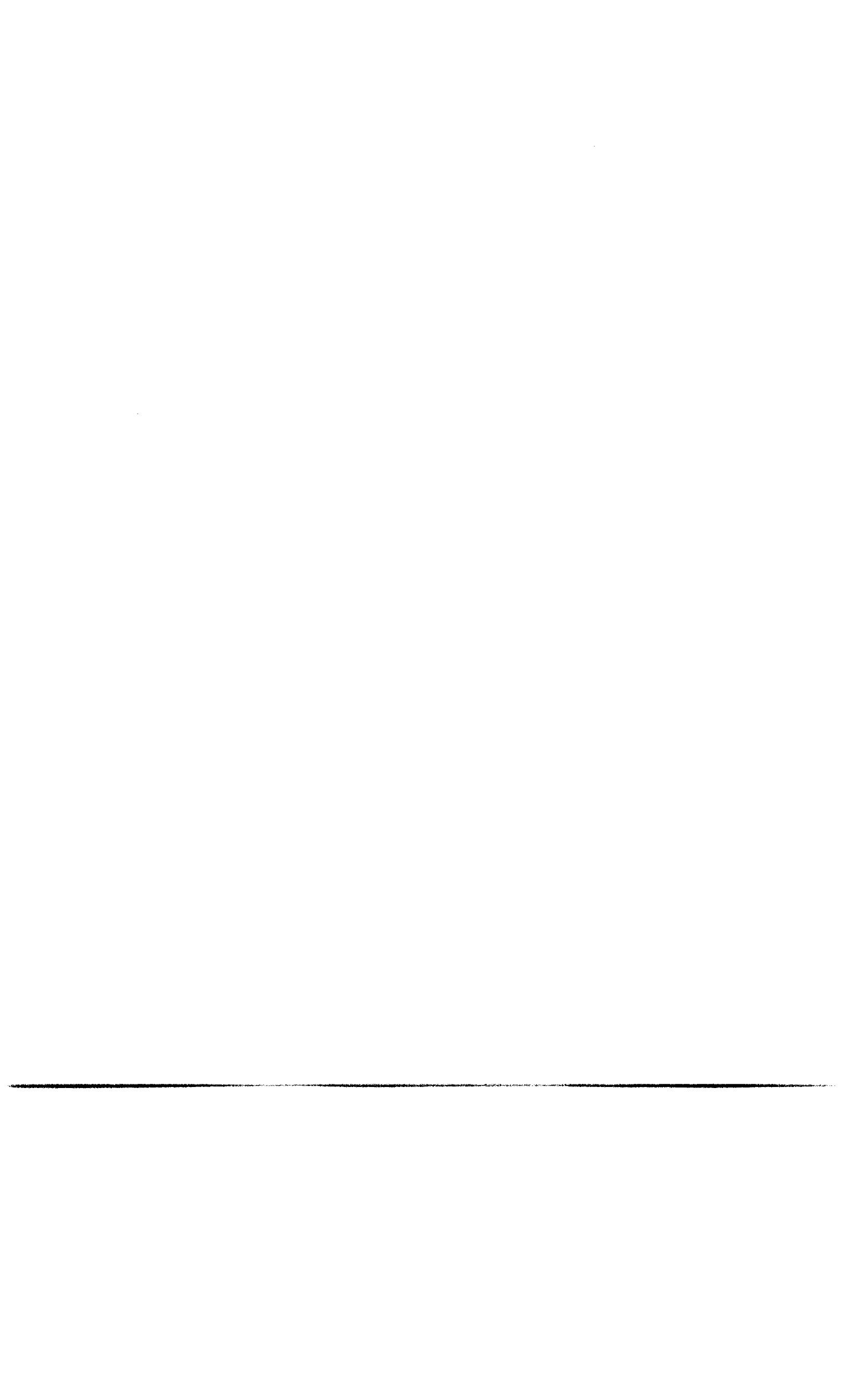
The *West Side Strategic Plan* (WSSP) was first adopted in 1997 and recently amended in 2002 (R-01-278). The WSSP is based on a Community Concept that identifies thirteen communities in the plan area. Each Community is comprised of Neighborhood Activity Centers and Community Activity Centers. The WSSP describes uses that are desirable in each type of Center and contains policies to facilitate the development of these Centers. The WSSP emphasizes throughout its text the concept of commercial development in cluster configurations in contrast to the traditionally evolved strip commercial development. Applicable policies include the following:

Policy 1.1: Thirteen distinct communities, as shown on the community plan and described individually in this plan, shall constitute the existing and future urban form of the West Side. Communities shall develop with areas of higher density (in community and neighborhood centers), surrounded by areas of lower density. Bernalillo County and the City of Albuquerque Planning Commission shall require that high density and non-residential development occur within Community and Neighborhood Centers. Low-density residential development (typical 3-5du/acre subdivisions, or large lot rural subdivisions) shall not be approved within the centers.

Policy 1.3: Strip commercial developments shall not be approved on the West Side. Commercial development shall occur in concentrated clustered areas rather than new strip developments. Zone changes to commercial, industrial, or office uses for areas outside the centers are strongly discouraged, in order to reinforce the Neighborhood and Community Centers. Changes of commercial and office zoning outside the centers to residential use is encouraged. This policy is meant to impact the design and layout of commercial areas and their connections to adjacent development and to encourage clustering of commercial and office uses in activity centers. It is not intended to rezone allowed commercial uses.

Policy 1.9: In the Established and Developing Urban areas mapped by the Albuquerque/Bernalillo County *Comprehensive Plan*, future neighborhood and community centers may be designated and developed at appropriate locations, determined as follows:

- **Market Area** – Community Centers should be located to serve a primary service area of about 30,000 people within approximately a three mile radius of the center; neighborhood centers should be located to serve approximately 15,000 population within about one mile radius of the center. Uses typical of community centers would likely be accessed on a weekly basis, whereas those in a neighborhood center might be used almost daily.



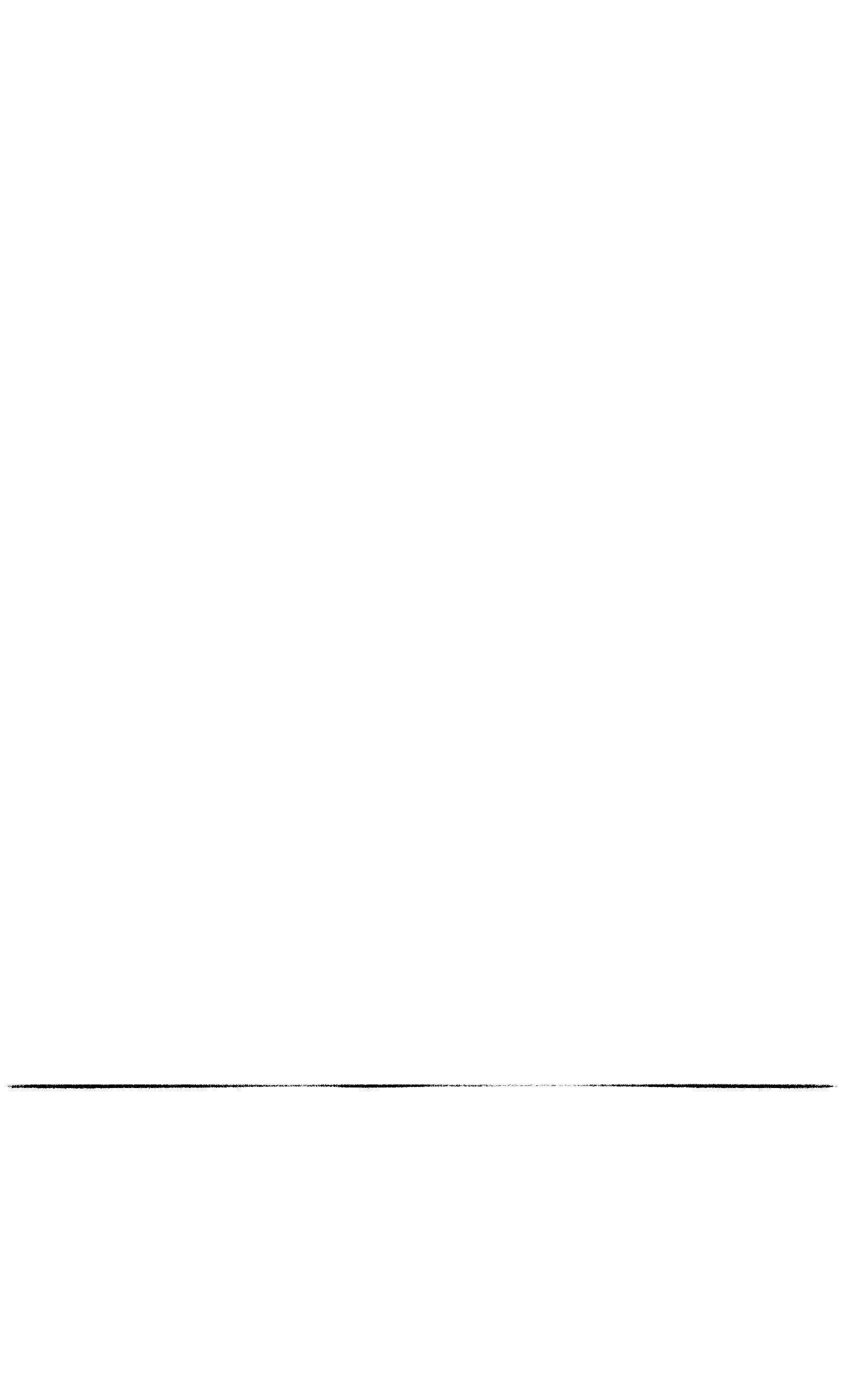
- **Access/Connections** – Community Centers shall be easily accessible by automobile, located at the intersections of at least one major and one minor arterial street, and connected to public transit service as well as the community-wide trail/bikeway network. Neighborhood Centers should be less automobile oriented, located on minor arterial and/or collector streets, and connected to public transit service as well as informal pedestrian and bicycle ways. Both community and neighborhood centers shall be very accommodating to the pedestrian even within predominately off-street parking areas.
- **Scale** – Community Centers shall be composed of blocks with buildings well connected by sidewalks and public spaces like plazas. Shared parking, through mainly off-street, should be encouraged, and larger parking areas may be divided into smaller ones or used for structured parking and/or additional active land uses. Neighborhood centers should also have small blocks, but with small clusters of shared parking as well as on-street parking. Both community and neighborhood centers shall have outdoor areas that encourage gathering; both shall include bicycle parking and both shall provide safe pedestrian connection among buildings and between buildings and parking areas. In the Reserve Area mapped by the *Comprehensive Plan*, neighborhood and center Plans for new Planned Communities must be provided by the developer/owner according to the Planned Community Guideline requirement.
- **Location** – A major facility or employer located in a manner which creates a focus and stimulus to economic and social activity may also be a reason for designating a new center.

Policy 1.10: Designated neighborhood and community centers shall be reviewed periodically for viability and appropriateness; if a center comes to exhibit characteristics which justify it, its designation may be amended from neighborhood to community or vice-versa. Similarly, new centers may be located/designated based upon the criteria outlined in Policy 1.9

Page 41 of the WSSP states, “The strategies of the Community Concept section of the Plan shall be implemented through systematic follow-through on all policies requiring further action, and by enforcement of all policies stating intent. Uniform enforcement and consistency with stated intent is required in order to achieve the urban form envisioned herein which has been endorsed by the public.”

The subject site is located within the Seven Bar Ranch Community Area of the WSSP (p.50). This community lies between the Calabacillas Arroyo and the Bernalillo County line, and between the Rio Grande and an area slightly west of the Rainbow Boulevard corridor. For planning purposes, this area is estimated to contain a population of 18,700 with 7,500 housing units at full buildout.

Policy 3.4, page 51, of the Seven Bar Ranch Community area states the following: “Several clusters of neighborhoods will develop within the Seven Bar Ranch Community. Each of these shall be served by a Neighborhood Center, so neighborhood commercial, public and quasi-public uses, and other uses appropriate for such Centers shall be encouraged...”



The Seven Bar Ranch Community is identified as a "partially developed community" per the WSSP (p.85). In general, partially developed communities are smaller than the 40,000 minimum population recommended for a community. As a result, partially developed communities will not support a Community Center on their own and will support fewer Neighborhood Centers (p.87). The WSSP suggests that higher density housing may be needed in the Seven Bar community to support the development of Neighborhood Centers in the western portion of the community (p.87)

Westside-McMahon Land Use and Transportation Guide

In 1999, the City Council adopted the Westside-McMahon Land Use and Transportation Guide (Guide) as part of the *West Side Strategic Plan* (WSSP) to establish more specific land use and transportation policies for a large portion of the Seven Bar Ranch Community. The Guide has been synthesized into a map known as Attachment A. The Attachment A map establishes land use policy that is to be used in the review of development and rezoning proposals within the boundaries of the Guide. Such proposals should be generally consistent with density, type and hierarchy of uses as illustrated in Attachment A. The Attachment A map designates the subject site as low/medium residential. Low density residential is defined as less than 7 dwelling units per acre while medium density is defined as 7 to 15 dwelling units per acre.

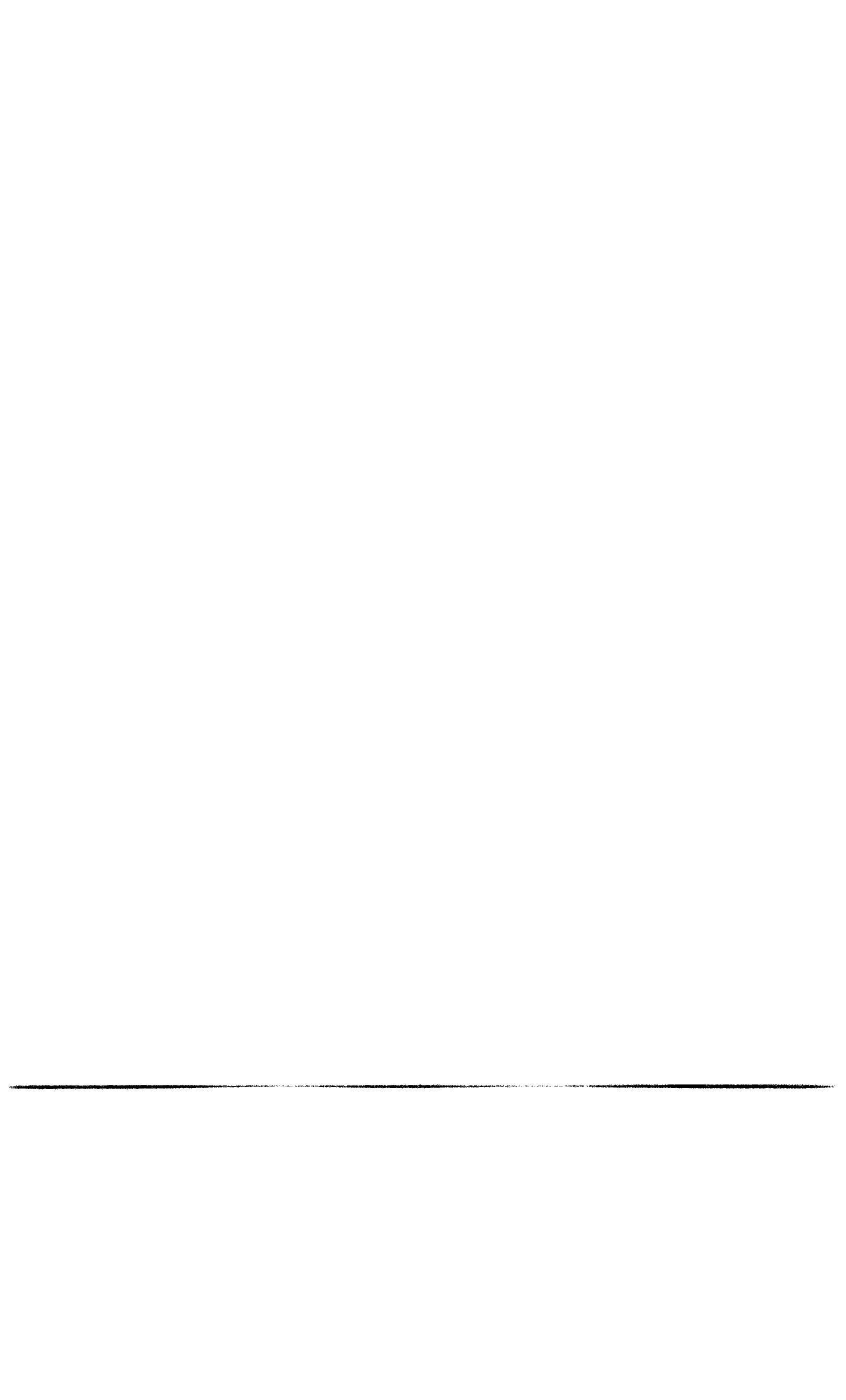
Per Attachment A map, neighborhood-scale commercial development is proposed at the intersection of McMahon and Universe, 1,000 feet north of the subject site.

Facility Plan for Arroyos, Rank 2 Plan

The Facility Plan for Arroyos establishes guidelines and procedures for implementing the goals of the Comprehensive Plan in order to create a multi-purpose network of recreational trails and open space along arroyos. The Calabacillas Arroyo, which abuts the northern boundary of the site, is designated a Major Open Space Arroyo and a Major Open Space Link per the *Facility Plan*. Major Open Space Arroyos are to remain in a natural or semi-natural condition and Major Open Space Links are intended to provide continuous east-west linkages between Major Open Space areas. Chapter 2, Section F of the *Facility Plan* contains design guidelines for development adjacent to Major Open Space arroyos and Major Open Space links. The goal of the design guidelines is to promote a highly visible and extensively used network of recreational trails adjacent to arroyos. In order to do so, the presence of barriers such as walls and fences lining the arroyo corridor must be kept to a minimum. Landscaped open areas must be manipulated so that the extremely linear nature of the arroyo corridor is softened, and the public open space within the corridor is integrated with public open areas in adjacent developments.

Resolution 270-1980 (Policies for Zone Map Change Applications)

This Resolution outlines policies and requirements for deciding zone map change applications pursuant to the Comprehensive City Zoning Code. There are several tests that must be met and the applicant must provide sound justification for the change. The burden is on the applicant to show why a change should be made, not on the City to show why the change should not be made.



The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: there was an error when the existing zone map pattern was created; or changed neighborhood or community conditions justify the change; or a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan.

Long Range Roadway System

The Long Range Roadway System map designates Universe Boulevard as a Study Corridor containing a Minor Arterial, with a right-of-way of 86'.

The Long Range Roadway System map designates Irving Boulevard as a Minor Arterial, with bicycle lanes.

According to Policy 6.24 of the *West Side Strategic Plan*, "all arterials shall have bike lanes..." The City Engineer may require up to six additional feet of right-of-way adjacent to the property on Universe Boulevard and Irving Boulevard to accommodate the designated bike lanes.

ANALYSIS - ZONE MAP AMENDMENT

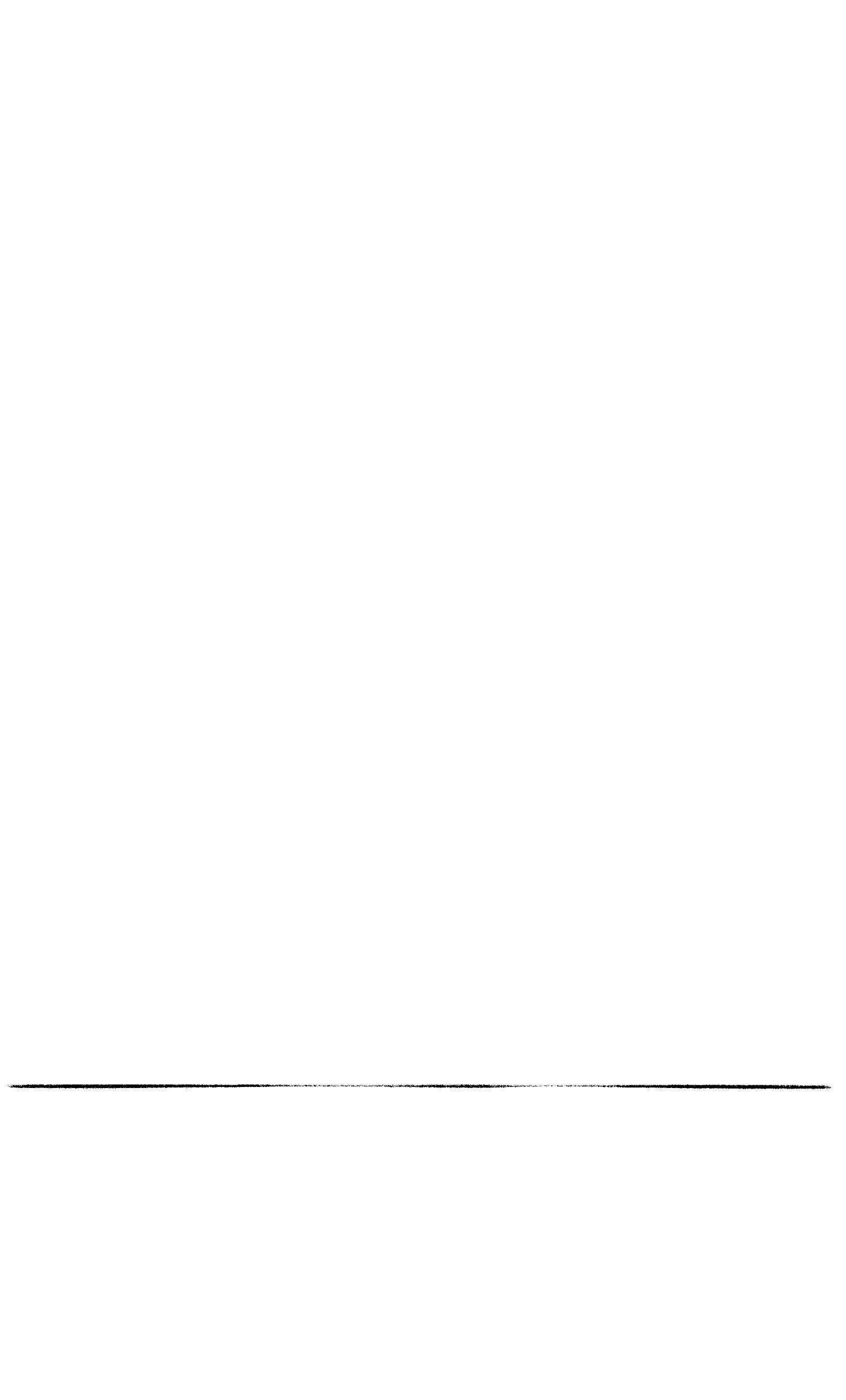
Conformance to Adopted Plans, Policies, and Ordinances

This is a request for a zone map amendment from SU-1 for Church and Related Facilities and O-1 and R-2 Permissive Uses to SU-1 for C-1 Uses including restaurants w/ full service liquor and liquor sales for off premise consumption ancillary to a full service grocery store. The current zoning was established in February of 2001 (*Project #1000931*) as part of a larger rezoning action for approximately 146 acres surrounding the subject site. When the current zoning was established, the EPC found that the southeast corner of McMahon and Unser was appropriate as a future Neighborhood Activity Center and the subject site was appropriate for church and related uses given that the site is designated "low/medium residential" per the Westside/McMahon Land Use and Transportation Guide.

Comprehensive Plan

The applicant cites several policies from the Comprehensive Plan to support the request for zone change including Transportation and Economic Policies. The applicant states that the proposed zoning will support Land Use Policy i by providing a transition between the residential development east of the site and the TVI campus west of the site. The TVI campus is a designated Community Activity Center, however, it is not located immediately west of the site, it is located northwest of the site and across Universe Boulevard. The only uses proposed within the boundary of this Center are institutional uses related to TVI. Residential zoning exists east and west of the site.

The request is not supported by Policy j for Established Urban areas which states that new commercial development should generally occur in existing commercially zoned areas such as small neighborhood-oriented centers. The request is also in conflict with Land Use Policy h for



Activity Centers (p.II-35) by proposing new commercial development outside of designated Activity Centers. Proposed commercial development on the subject site will erode the chances of developing the surrounding Neighborhood Centers to their full potential.

West Side Strategic Plan

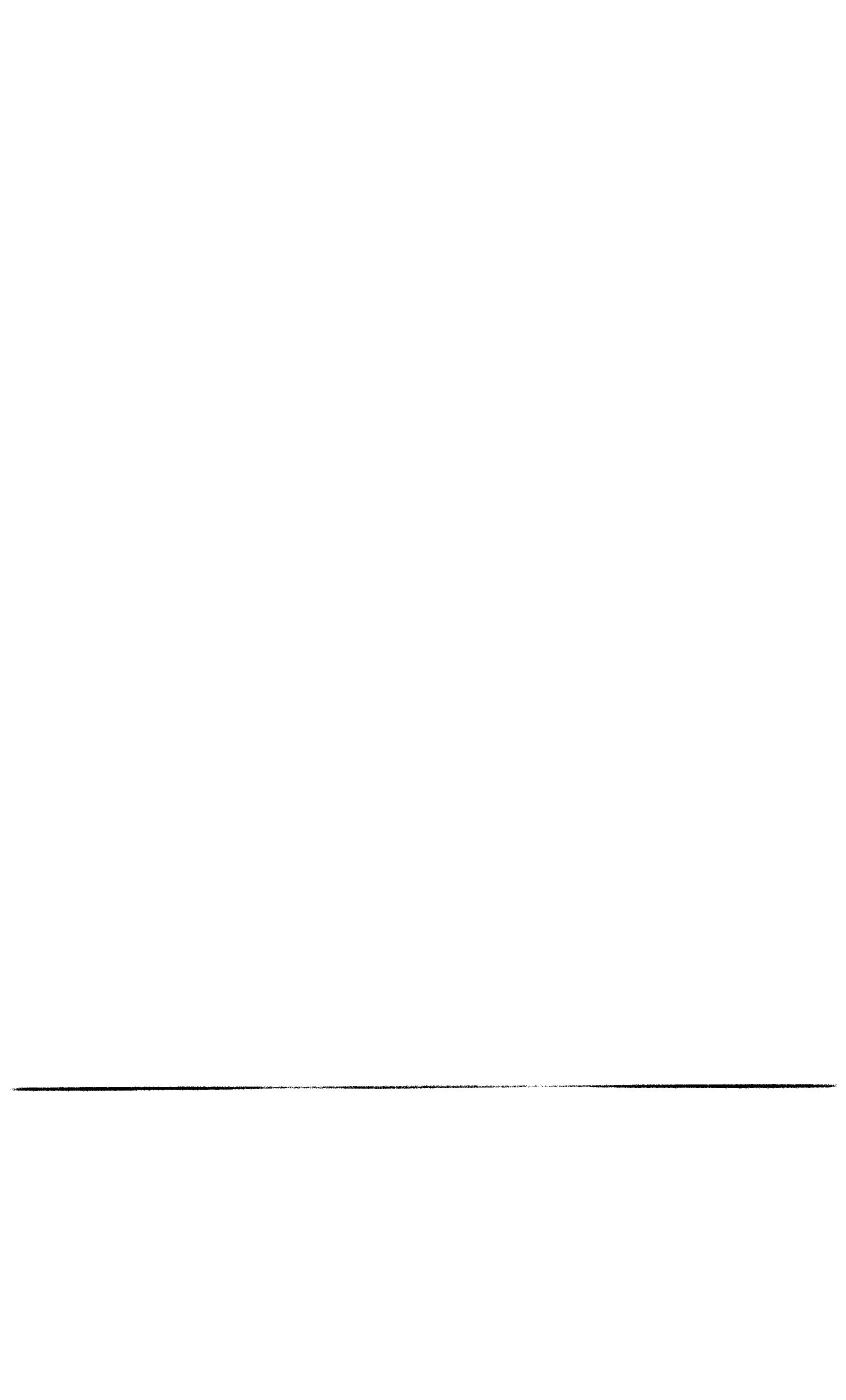
The WSSP emphasizes the concept of commercial development in cluster configurations in contrast to the traditionally evolved strip commercial development. The request for commercial zoning is in conflict with Policy 1.1 of the WSSP that requires that "...high density and non-residential development occur within Community and Neighborhood Centers." There are two Neighborhood Centers north and south of the subject site. One is approximately 1,000 feet north of the site on Universe Blvd. (Seville Neighborhood Center, 25 acres) and the other is approximately one mile south of the site on Universe Blvd. (Ventana Square, 30 acres). Development is currently proposed within the Ventana Square Center to the south.

The request for commercial zoning is also in conflict with Policy 1.3 of the WSSP that states, "Commercial development shall occur in concentrated clustered areas rather than new strip developments. Zone changes to commercial uses for areas outside the centers are strongly discouraged, in order to reinforce the Neighborhood and Community Centers." The applicant is proposing commercial development outside of a designated Neighborhood or Community Center. The applicant's reasons for proposing new commercial development outside of designated centers is that "the West Side is sorely underserved by neighborhood retail centers and that the Neighborhood Center to the north has yet to be constructed." The applicant further claims that the proposed development will provide retail choices that are available on the east side of town. These are not compelling reasons for granting a zone change per the WSSP. Instead, the applicant must demonstrate that the site meets the criteria of Policy 1.9 of the WSSP for designation as a future neighborhood center, which he has not. The requested zoning will impact future development of designated Neighborhood Centers in the area and will result in strip commercial development that is strongly discouraged in the WSSP.

The subject site is within the Seven Bar Ranch Community which is identified as a "partially developed community" per the WSSP (p.85). In general, partially developed communities are smaller than the 40,000 minimum population recommended for a community. As a result, partially developed communities will not support a Community Center on their own and will support fewer Neighborhood Centers (p.87). Population and housing figures are given to support three Neighborhood Centers in the Seven Bar Ranch Community. The applicant has not provided any evidence that the population or housing figures have increased in the area that warrant the development of a new Neighborhood Center on the subject site.

Westside-McMahon Land Use and Transportation Guide

The subject site is designated "low/medium residential" in the Westside-McMahon Land Use and Transportation Guide (Guide). In February 2001, Project #1000931, the EPC found that the current zoning, SU-1 for Church and Related Facilities and O-1/R-2 Permissive Uses, was appropriate under the "low/medium residential" designation of the Guide. The proposed zoning would allow Permissive and Conditional uses of the C-1 zone including liquor sales for off-



premise consumption that is first allowed in the C-2 zone. These uses are not compatible with the "low/medium residential" designation of the Guide and are much more intense than what the Guide recommends for the site.

Resolution 270-1980

This Resolution outlines policies and requirements for deciding zone map change applications. The burden is on the applicant to show why a change should be made, not on the City to show why the change should not be made. The applicant argues that the rapid growth of the residential component of the area as well as the opening of TVI and the likelihood of increased density adjacent to the proposed development constitutes changed neighborhood conditions that justify the zone change. While the recent development of the TVI campus is considered a changed condition that affects the entire surrounding area, the applicant does not demonstrate why the current zoning is inappropriate due to the recent development of the TVI campus.

The applicant further states that the proposed zoning will be more advantageous to the community, as articulated in Policy a of the Economic Development section of the *Comprehensive Plan*, because the uses allowed under the proposed zone will provide much needed retail services for both the neighborhood and TVI and will mitigate the need of the TVI campus to provide for such services. Staff finds that the proposed zoning will not be more advantageous to community as the applicant suggests because the additional commercial zoning will impede development of the already designated Community and Neighborhood Centers in the area and will result in a strip commercial development that is discouraged under Land Use Policy h under Activity Centers of the *Comprehensive Plan* and Policy 1.3 of the WSSP. The proposed zoning will result in the destabilization of land use and zoning (Policy B) and some of the uses allowed under the proposed zone may be harmful to adjacent residentially zoned property (Policy E).

The applicant claims that new commercial development on the site is needed because "the west side is sorely underserved by neighborhood retail centers and the proposed activity center to the north has yet to be constructed."

The zone change request is considered "strip zoning" according to Policy J of *R-270-1980* because the proposed zone is different from surrounding zoning and because the site is a strip of land along a street. Strip commercial zoning may be approved only where:

1. the change will clearly facilitate realization of the *Comprehensive Plan* and any other adopted plans, and
2. the area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zoned or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.

Strip commercial zoning is not justified on the site because it will be in conflict with Land Use Policy h of the *Comprehensive Plan* and Policy 1.3 of the WSSP. The proposed zone will not function as a transition between adjacent residential zoning to the east and the TVI campus to the

west because the zone will allow uses that are more intense than the uses proposed on the TVI campus.

ANALYSIS – SITE PLAN FOR SUBDIVISION

Conformance to Adopted Plans, Policies, and Ordinances

Zoning Code: The Zoning Code defines a Site Plan for Subdivision as a plan at a scale of at least 1 inch to 100 feet which covers at least one lot and specifies: the site, proposed use, pedestrian and vehicular ingress and egress, any internal circulation requirements and, for each lot, maximum building height, minimum building setback, and maximum total dwelling units and/or nonresidential uses/ maximum floor area ratio. In addition to the Zoning Code requirements, the inclusion of design guidelines for future site development plans for building permit is strongly recommended.

The applicant has included a set of Design Guidelines that are meant to supplement the already approved design guidelines for the larger 146-acre site plan for subdivision. The supplementary guidelines should be made part of the current submittal.

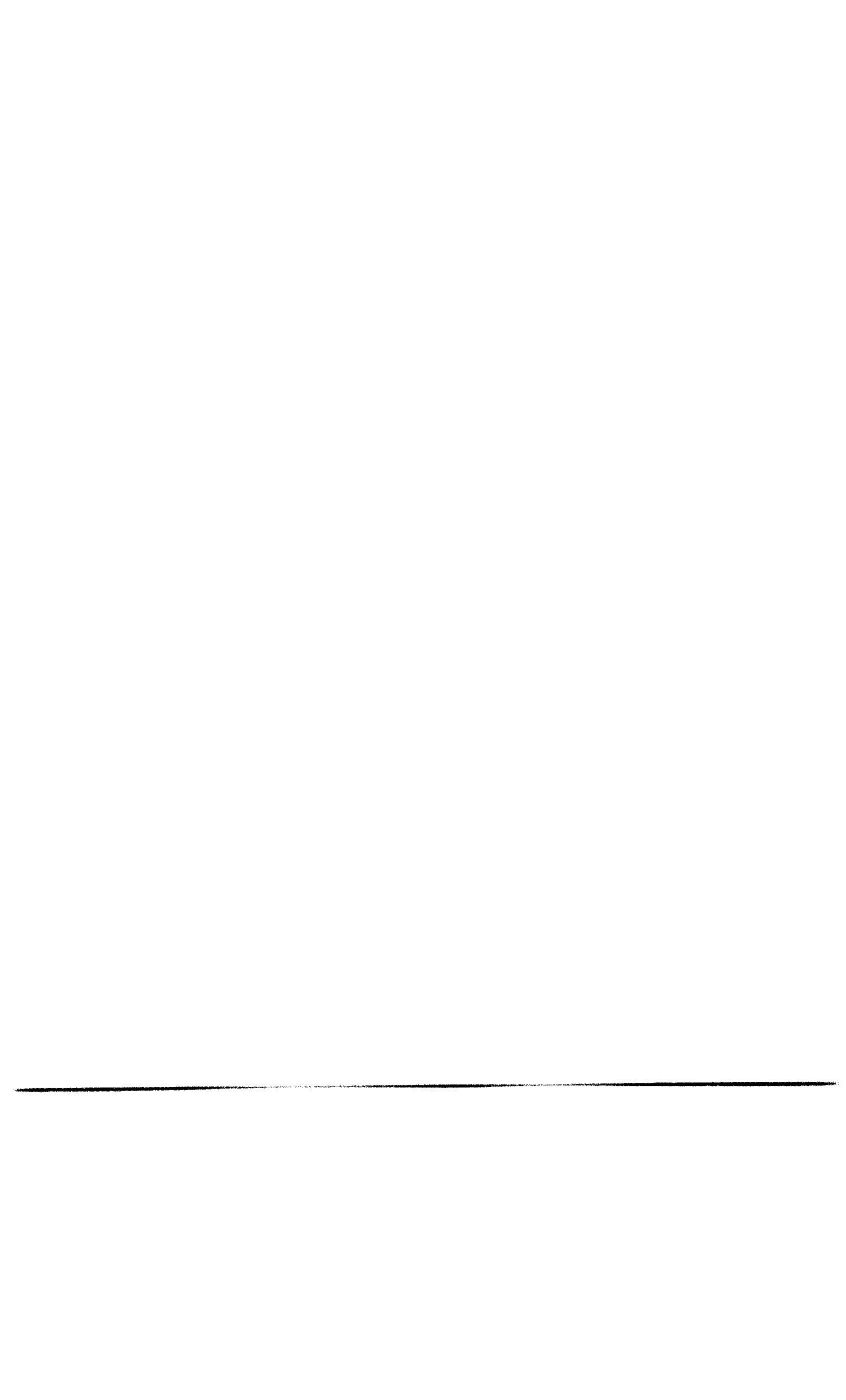
The submittal is at a scale of 1" = 80' which does not meet the requirements of the Zoning Code. The applicant proposes to retain the existing platting and will not be creating any new lots. The submittal indicates a linear shopping center with a large anchor store (grocery) at the north end of the site. Two smaller pads are proposed adjacent to Universe Boulevard – a drive-up bank and a restaurant. Total square footage of all the buildings is 400,425 square feet, which amounts to an F.A.R. of .30. The Design Guidelines indicate that the maximum building height will be limited to 25-foot parapet heights for main building walls.

According to the Design Guidelines, the general architectural design of the shopping center and pad structures will be similar to the TVI campus buildings west of the site. Structures are to be predominately flat-roofed, however some small portions of the buildings are planned to have sloped roofs. The applicant anticipates that future site plans for building permits for each site will be delegated to Planning staff.

Vehicular Access: The submittal indicates three access points off of Universe Blvd. and one access point off of Irving Blvd. Access to the site must meet DPM requirements but may be modified by the Traffic Engineer depending on the results of the TIS.

Pedestrian Access: Pedestrian crossings of vehicle circulation areas will be a minimum of 6 feet in width and will consist of an alternative textured material and slightly raised. Provisions will be made for adequate pedestrian circulation with handicapped features within the site and to the adjacent streets. Unidirectional ramps will be provided at pedestrian sidewalks and entrances.

West Side Strategic Plan (WSSP): The WSSP contains Design Guidelines for Commercial Development on page 172 of the Plan. Future development of the site shall comply with these Design Guidelines.



The layout of the site is in conflict with Policy 1.3 of the WSSP that discourages strip commercial developments on the West Side. Strip commercial is defined as "A long, narrow development style usually found along major thoroughfares with a series of commercial establishments. This style is characterized by a strip of buildings oriented solely toward the nearest roadway with no connection to adjacent land uses or neighborhoods. It is often no more than one lot deep, but extends for miles cumulatively and has a large parking lot adjacent to the major road." (WSSP p.293) The site is approximately 350 wide and 1,050 feet long at Universe Boulevard which lends itself to strip commercial development. Commercial development typically requires visibility from the street, ample parking in front of the building, signage to the street, etc. in order to make the site marketable. These marketing strategies limit the building layout, especially if the site is long and narrow (similar to the subject site). Church and office uses, on the other hand, can be more flexible with their design because marketing the site is not as crucial. Therefore, the subject site is more suitable for uses under the current zoning because building layout can be more flexible and because there is less of a chance that "strip" design will occur.

Facility Plan for Arroyos: Chapter 2, Section F of the *Facility Plan* contains design guidelines for development adjacent to Major Open Space arroyos and Major Open Space links. The goal of the design guidelines is to promote a highly visible and extensively used network of recreational trails adjacent to arroyos. In order to do so, the presence of barriers such as walls and fences lining the arroyo corridor must be kept to a minimum. Landscaped open areas must be manipulated so that the extremely linear nature of the arroyo corridor is softened, and the public open space within the corridor is integrated with public open areas in adjacent developments.

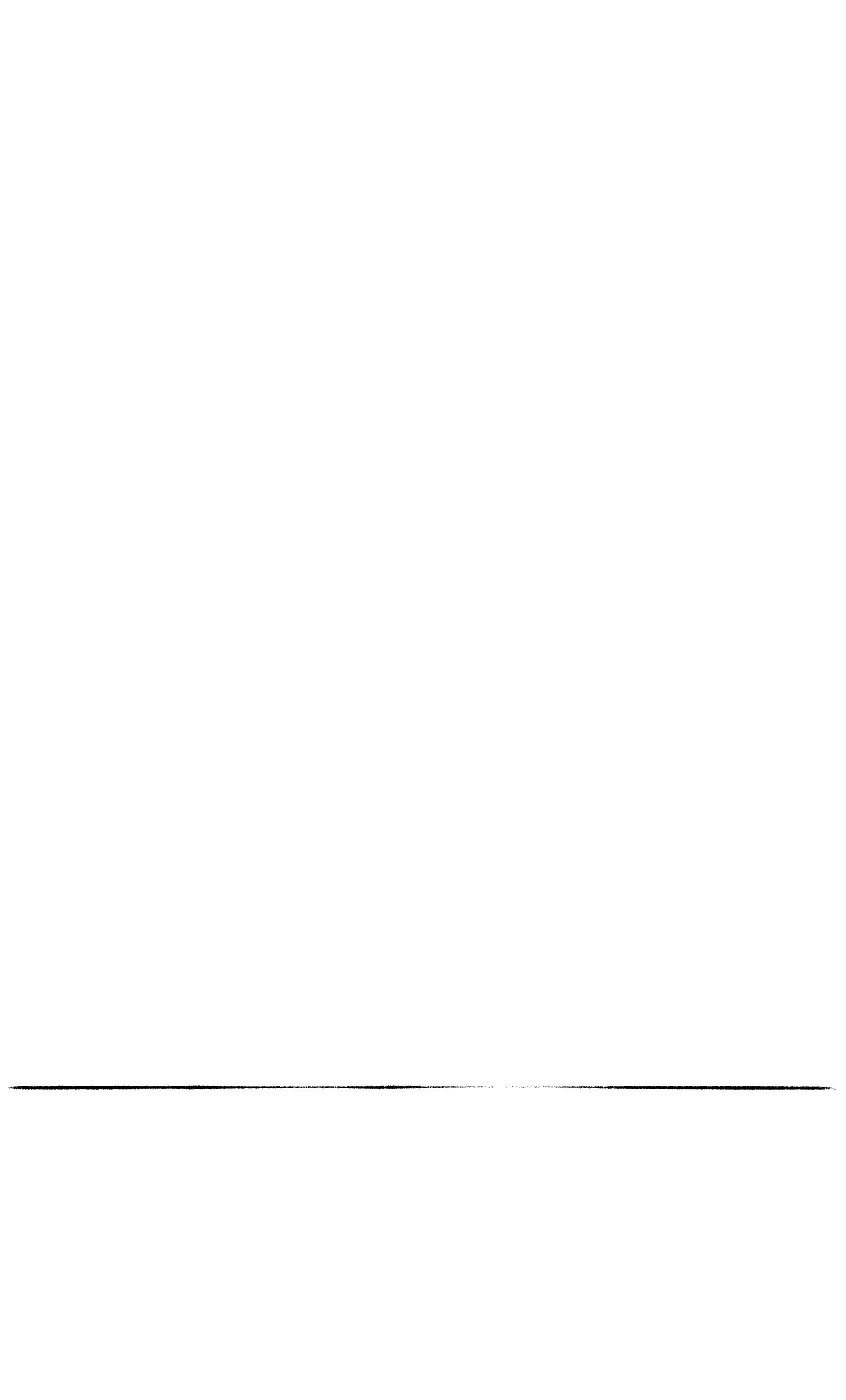
Site Plan for Subdivision Design Guidelines: In February 2001, the EPC approved a site plan for subdivision and associated design guidelines for approximately 146 acres that included the subject site (Project #1000931). Future development of the site must comply with these design guidelines.

Concerns of Reviewing Agencies / Pre-Hearing Discussion

Commenting agencies do not express major concerns regarding the proposed zone map amendment and site plan for subdivision. The site is within the jurisdiction of New Mexico Utilities Inc. franchise area. Water, sanitary sewer, and fire protection services will depend on their system capabilities. AMAFCA comments that it appears that the delivery area on the site plan is encroaching within the Prudent Line of the Calabacillas Arroyo and special bank protection measures may be required.

Neighborhood Concerns

The Ventana Ranch Neighborhood Association was contacted regarding this request. No neighborhood comments have been received.



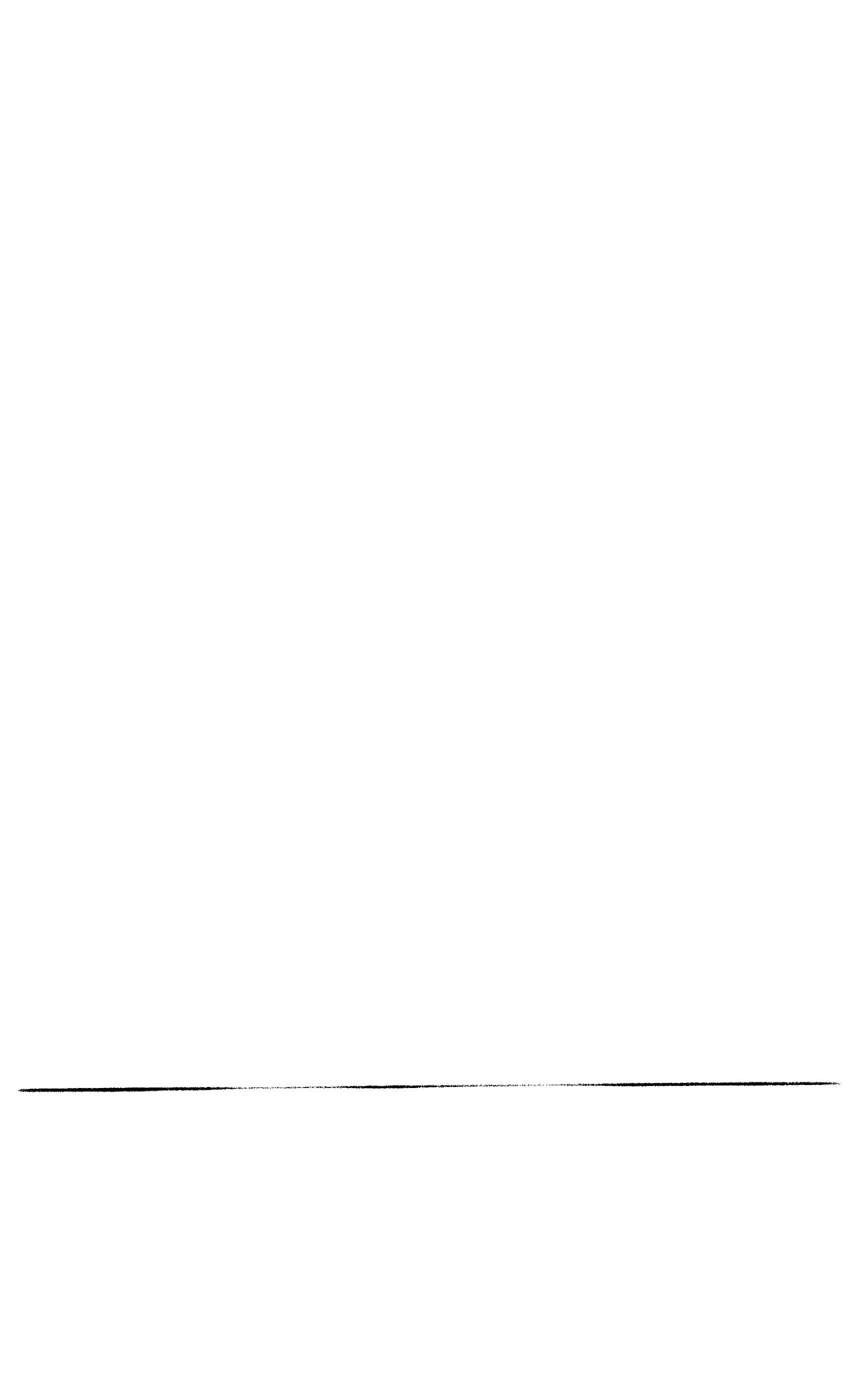
Conclusions

This is a request for a zone map amendment and a site plan for subdivision for approximately nine acres of land located at the northeast corner of Universe and Irving Boulevard NW. The applicant is requesting a zone change from SU-1 for Church and Related Facilities and O-1 and R-2 Permissive Uses to SU-1 for C-1 Uses including Restaurants w/full service liquor and Liquor Sales for off-premise consumption ancillary to a full service grocery store. The subject site is part of a larger site (146 acres) that was rezoned in February 2001. As part of the 2001 request involving the 146-acre parcel, the EPC also approved a site plan for subdivision with associated design guidelines that govern the subject site.

The request for zone map amendment is in conflict with several important policies of the Comprehensive Plan and the West Side Strategic Plan. The requested zoning is also in conflict with the low/medium residential designation of the Westside/McMahon Land Use and Transportation Guide. The applicant has not demonstrated why the current zoning is inappropriate due to changed conditions or why the proposed zoning will be more advantageous to the community, as required by Resolution 270-1980.

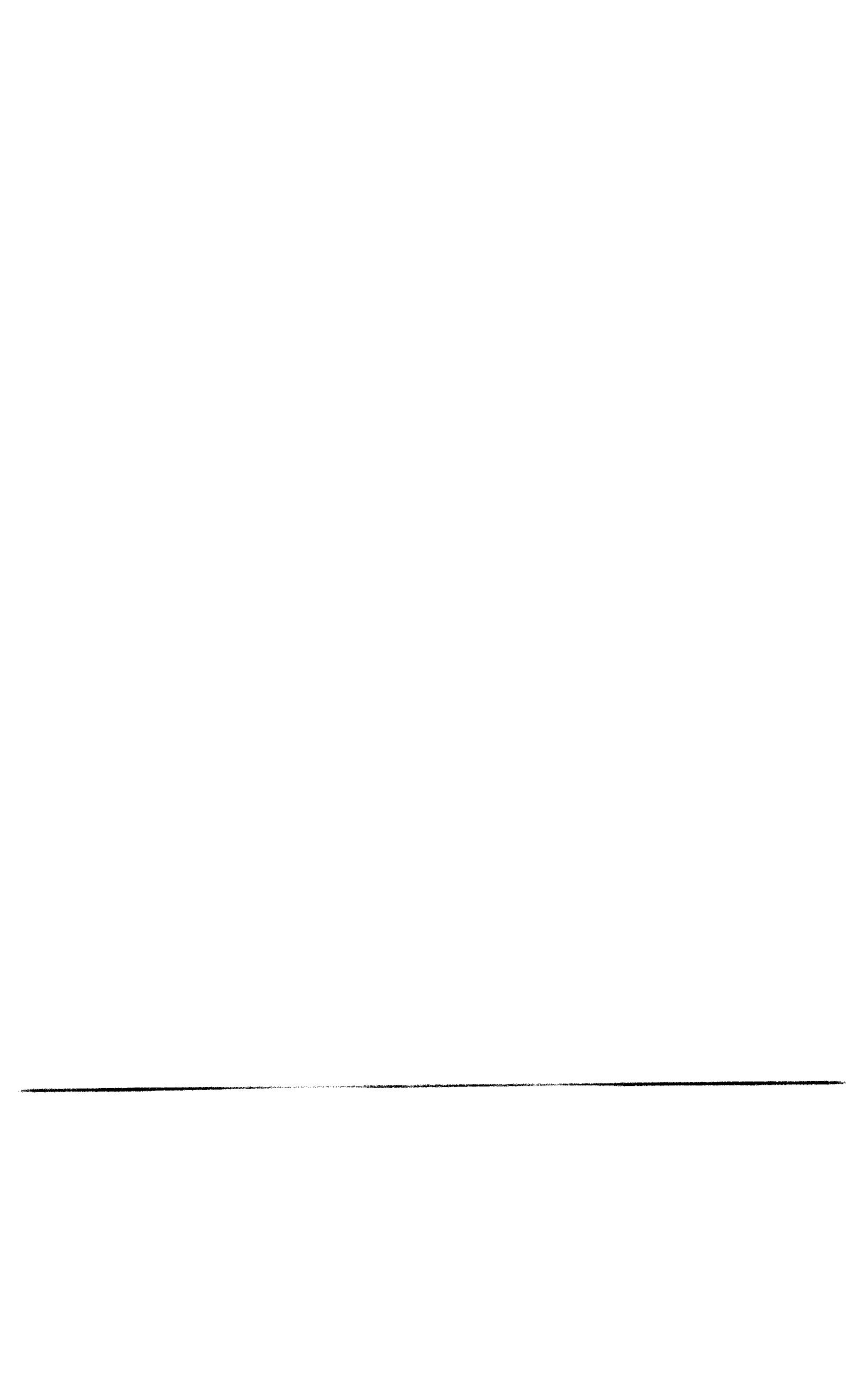
The site plan for subdivision indicates a strip commercial design that is in conflict with policies in the Comprehensive Plan and the West Side Strategic Plan.

Since both requests are inconsistent with applicable goals and policies of the Comprehensive Plan and the West Side Strategic Plan, staff recommends denial of both requests.

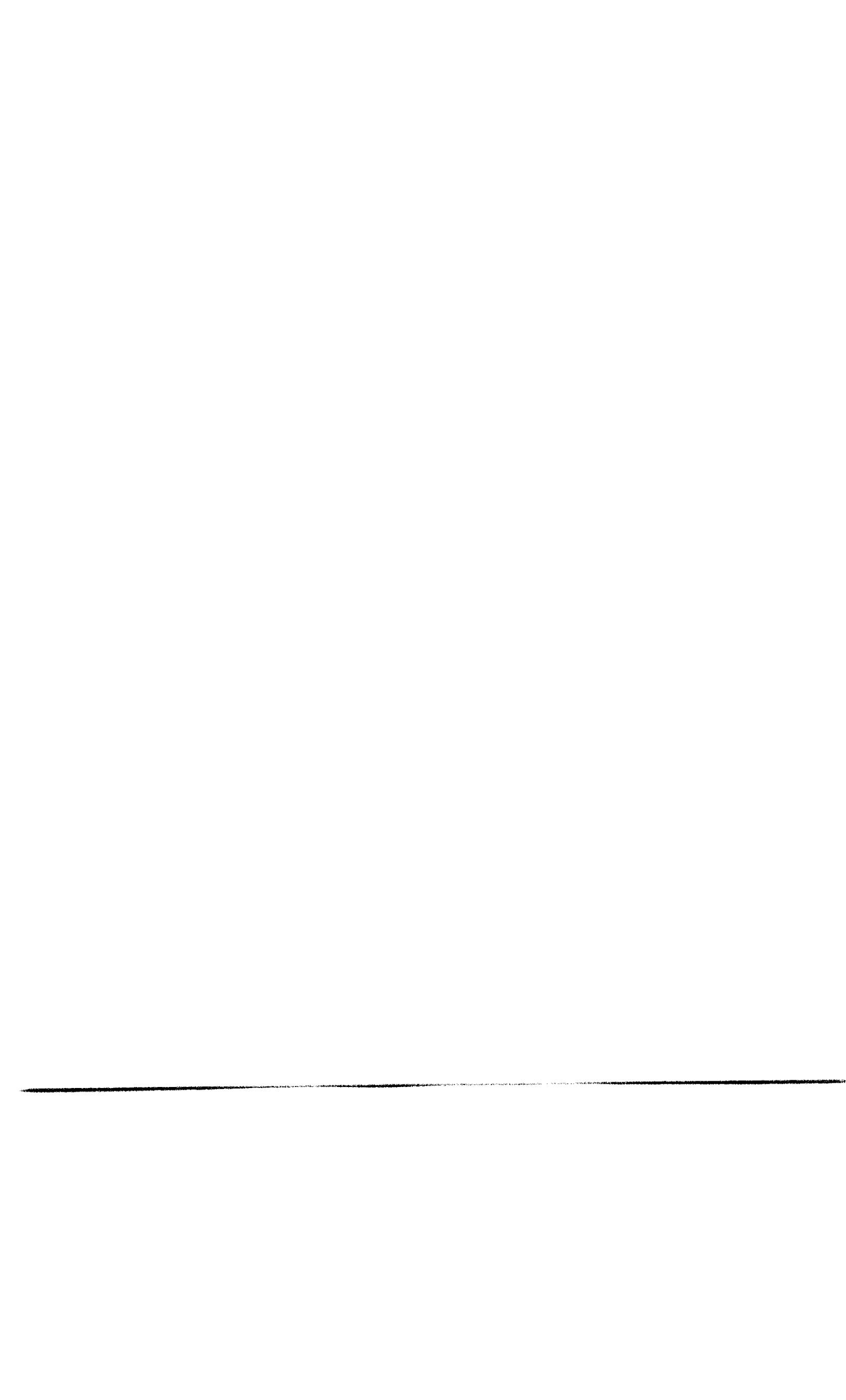


FINDINGS – 03EPC 02039, Zone Map Amendment, January 15, 2004

1. This is a request for a zone map amendment from SU-1 for Church and Related Facilities and O-1 and R-2 Permissive Uses to SU-1 for C-1 Uses including restaurants w/ full service liquor and liquor sales for off premise consumption ancillary to a full service grocery store for approximately 9 acres of land, legally described as Lot 1C, Seville Addition, located at the northeast corner of Universe and Irving Boulevard NW.
2. The current zoning was established in February of 2001 (*Project #1000931*) as part of a larger rezoning action for approximately 146 acres surrounding the subject site. When the current zoning was established, the EPC found that a 20-acre parcel at the southeast corner of McMahon and Unser, 1000 feet north of the subject site, met the criteria for the establishment of a new Neighborhood Activity Center.
3. The subject site is located in the area designated Established Urban by the *Comprehensive Plan*. The request is in conflict with Land Use Policy i because the proposed zoning will allow uses that are more intense than the uses proposed west of the site and therefore, will not provide a transition between residential development to the east and the TVI campus to the west.
4. The request is not supported by Policy j for Established Urban areas, which states that new commercial development should generally occur in existing commercially zoned areas such as small neighborhood-oriented centers.
5. The request is in conflict with *Comprehensive Plan* Land Use Policy h for Activity Centers by proposing new commercial development outside of designated Activity Centers.
6. The request for commercial zoning is in conflict with Policy 1.1 of the *West Side Strategic Plan (WSSP)* that requires "...high density and non-residential development occur within Community and Neighborhood Centers." There are two Neighborhood Centers north and south of the subject site. One is approximately 1,000 feet north of the site on Universe Blvd. (Seville Neighborhood Center) and the other is approximately one mile south of the site on Universe Blvd. (Ventana Square).



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7. Proposed commercial development on the subject site will detract from and erode the chances of developing the surrounding Neighborhood Centers to their full potential.
 8. The request for commercial zoning is in conflict with Policy 1.3 of the *WSSP* that states, "Commercial development shall occur in concentrated clustered areas rather than new strip developments. Zone changes to commercial uses for areas outside the centers are strongly discouraged, in order to reinforce the Neighborhood and Community Centers."
 9. The subject site is designated "low/medium residential" in the *Westside-McMahon Land Use and Transportation Guide* (Guide). In February 2001, Project #1000931, the EPC found that the current zoning, SU-1 for Church and Related Facilities/O-1/R-2 Permissive Uses, was appropriate under the "low/medium residential" designation of the Guide.
 10. The proposed zoning will not be more advantageous to the community per *R-270-1980* because the additional commercial zoning on the site will impede development of the already designated Community and Neighborhood Centers and will result in a strip commercial development that is discouraged under Activity Centers Policy h of the *Comprehensive Plan* and Policy 1.3 of the *WSSP*.
 11. The proposed zoning will result in the destabilization of land use and zoning (Policy B, R-270-1980) and some of the uses under the proposed zone may be harmful to adjacent residentially zoned property (Policy E, R-270-1980).
 12. The zone change request is considered "strip zoning" according to Policy J of *R-270-1980* because the proposed zone is different from surrounding zoning and because the site is a strip of land along a street.
 13. The accompanying site development plan for subdivision request (03EPC 02038) is not supported by Policy 1.3 of the *West Side Strategic Plan* because the site plan represents strip commercial development which is strongly discouraged on the West Side.

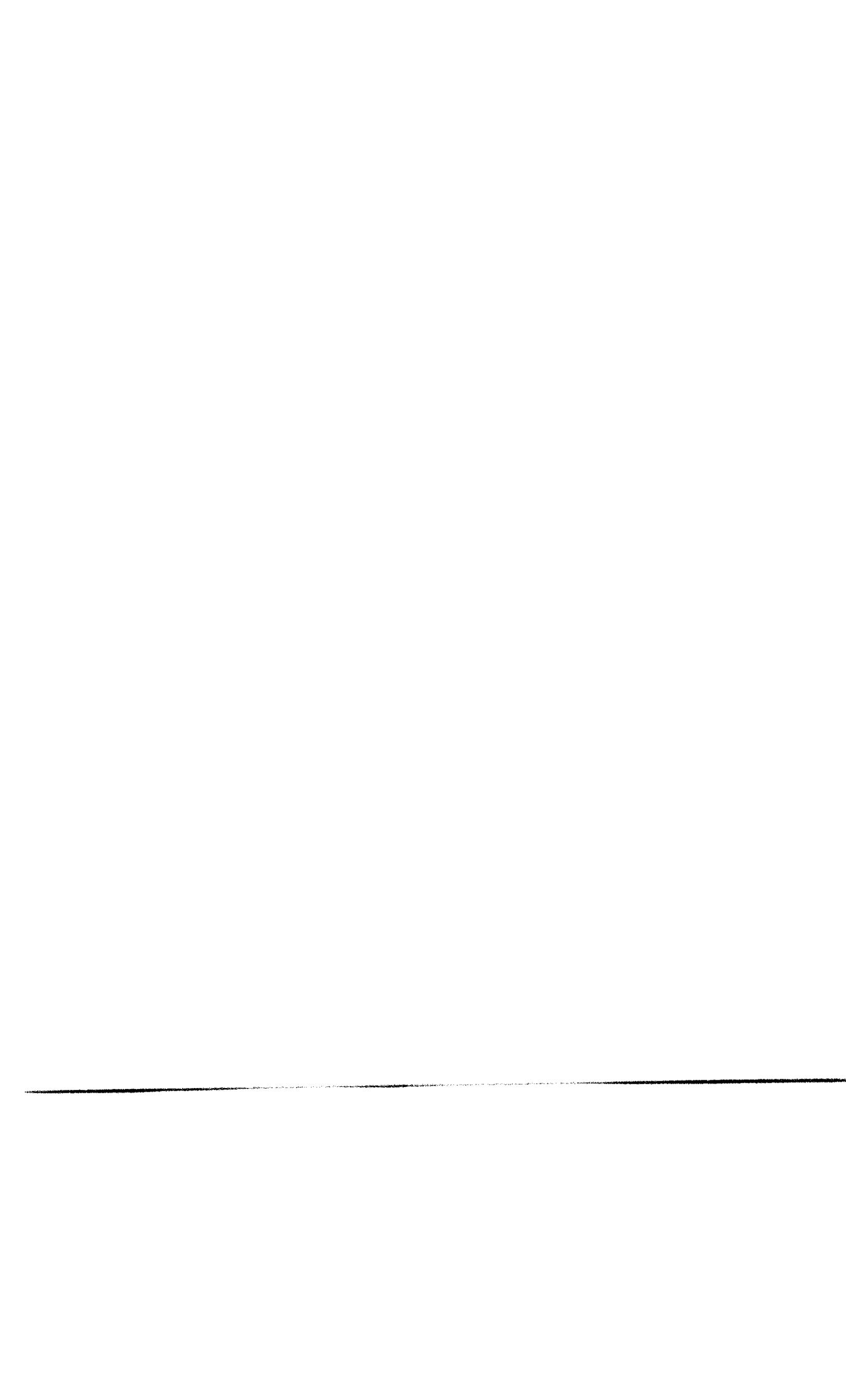


RECOMMENDATION – 03EPC 02039, January 15, 2004

DENIAL of 03EPC 02039, a request for a zone map amendment from SU-1 for Church and Related Facilities/O-1/R-2 Permissive Uses to SU-1 for C-1 Uses including restaurants w/ full service liquor and liquor sales for off premise consumption ancillary to a full service grocery store, for Lot 1C, Seville Addition, based on the preceding Findings.

FINDINGS – 03EPC 02038, Site Plan for Subdivision, January 15, 2004

1. This is a request for a Site Plan for Subdivision for approximately 9 acres of land, legally described as Lot 1C, Seville Addition, located at the northeast corner of Universe and Irving Boulevard NW.
2. In February 2001, the EPC approved a site plan for subdivision for approximately 146 acres that included the subject site. The approved site plan for subdivision contains a set of design guidelines that are intended to guide development of the subject site.
3. The applicant proposes a linear shopping center with a large anchor store at the north end of the site and two smaller pads adjacent to Universe Boulevard. The layout of the site is in conflict with Policy 1.3 of the *West Side Strategic Plan* that discourages strip commercial developments on the West Side. Strip commercial is defined as “A long, narrow development style usually found along major thoroughfares with a series of commercial establishments. This style is characterized by a strip of buildings oriented solely toward the nearest roadway with no connection to adjacent land uses or neighborhoods. It is often no more than one lot deep, but extends for miles cumulatively and has a large parking lot adjacent to the major road.” (WSSP p.293)
4. Commercial development is not appropriate on the site because the lot dimensions encourage “strip” design. Church and Office uses are more appropriate on the site because the building layout can be more flexible.



RECOMMENDATION –03EPC 02038, January 15, 2004

DENIAL of 03EPC 02038, a request for a Site Plan for Subdivision, for Lot 1C, Seville Addition, based on the preceding Findings.

ACTION TAKEN BY THE ENVIRONMENTAL PLANNING COMMISSION ON 1/15/04

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to Defer Project 03EPC 02038 at the owner's request to the EPC Public Hearing of February 19, 2004.

ADDITIONAL COMMENTS TO THE EPC FOR FEBRUARY 19, 2004

This case was scheduled to be heard by the EPC on January 15, 2004 but was deferred at the owner's request in order to respond to staff's recommendation of DENIAL. On February 8, 2004, staff received a letter from the applicant announcing that he had changed agents. The agent for this case is no longer DAC Enterprises, Inc. The new agent is Consensus Planning. On February 9, Consensus Planning submitted demographic/housing analyses to justify the request for zone change from SU-1/Church & Related Facilities and O-1/R-2 Permissive Uses to SU-1/C-1 Uses including Restaurants with full service liquor and liquor sales for off-premise consumption ancillary to a full service grocery store. The purpose of the analysis is to support the argument that more commercial opportunities are needed in the Northwest Mesa. On February 11, 2004, Consensus Planning submitted additional information to justify the request for zone change. Staff has had less than two days to prepare an analysis based on the newly-submitted information.

The demographic/housing analysis looks at the area referred to as the Northwest Mesa which includes the Seven Bar and Paradise communities, whose boundaries extend from the County line on the north to Paseo del Norte to the south and Rainbow Boulevard on the west to the Rio Grande to the east. Per the analysis, the West Side Strategic Plan anticipates a combined population of both communities to total 34,376 people by 2020. Urban Growth Projections for this same area predict 38,549 in 2010.

The applicant's analysis refers to Policy 1.9 in the West Side Strategic Plan which provides criteria for designation of future neighborhood and community centers. According to this policy, neighborhood centers should be located to serve approximately 15,000 population within a one-mile radius of the center. There are six (6) designated neighborhood centers in the Northwest Mesa, as described above

(please see attached map). Per Policy 1.9, there are more than enough neighborhood centers to supply the necessary goods and services for both the Paradise and the Seven Bar communities.

The demographic analysis demonstrates that the Northwest Mesa is growing at a rapid pace and has far outpaced commercial development, however, the numbers do not justify the need for additional commercial zoning when, in fact, there are already 6 neighborhood centers in the area; one less than 1,000 feet to the north, another 1 mile south and four others to the east. The lack of existing commercial services to serve the ever-growing community is used by the applicant to justify the need for more commercial zoning. However, according to Policy 1.9, there is enough commercial zoning to serve the communities per the six designated neighborhood centers. Just because commercial development is lagging, does not justify the need for more commercial zoning. The applicant uses some of the language of the West Side Strategic Plan, Policy 1.9, but is not proposing an amendment to the Plan to designate a new neighborhood center.

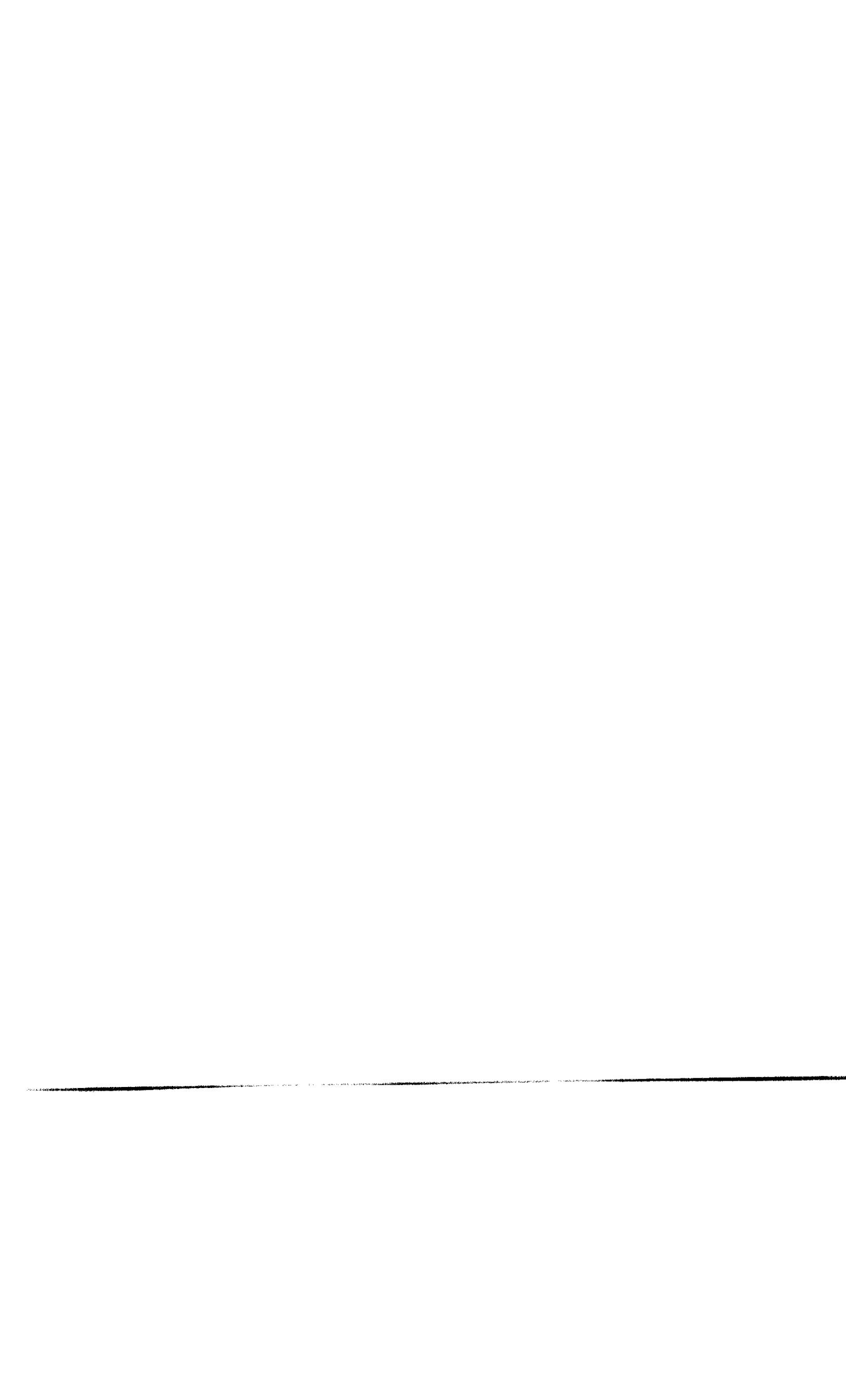
The applicant further claims that the request for zone change is justified per Resolution 270-1980 and claims "changed conditions" warrant the zone change. The applicant refers to the Centers and Corridors amendments to the Comprehensive Plan that "promote density within walking distance of high capacity corridors." Neither Universe or Irving Boulevard are designated high capacity corridors and "density" refers to residential uses.

The applicant further refers to recent annexations and zone changes to R-LT that have resulted in an increase in the population in the Northwest Mesa. While these changes do qualify as "changed conditions" to justify the need for development of commercial services, the applicant fails to demonstrate why these changes make the current zoning on the site inappropriate.

The applicant claims that the requested commercial zoning is more advantageous to the community because the rapid pace of residential growth calls for added commercial services. The applicant fails to demonstrate how a different use category is more advantageous to the community, *as articulated in the Comprehensive Plan or other City master plans* (emphasis added) as required in Section 1.D(3), R-270-1980. Furthermore, the applicant fails to address Goals and Policies of the Rank 1 Comprehensive Plan to show that the proposed change is not in conflict with adopted elements of this plan (Section 1.C).

The staff report for this case dated 1/15/04 contains Findings for Denial that the applicant fails to address. The subject request is in conflict with several important policies of the Comprehensive Plan and the West Side Strategic Plan regarding Activity Centers and commercial zone changes outside of Activity Centers. The requested zoning is also in conflict with the "low/medium residential" designation of the Westside/McMahon Land Use and Transportation Guide which is an adopted part of the West Side Strategic Plan.

With regard to the request for approval of a site plan for subdivision, the Planning Commission should keep in mind that the Zoning Code requires a site development plan to accompany a request for SU-1 zoning because of the designation's unique nature and the discretion given to the EPC for review and



approval. A request for SU-1 zoning is dependant on the accompanying site development plan and vice versa.

The applicant submitted a revised site plan that basically shows the same layout as the original submittal except for an added pedestrian path between the anchor and the strip of shops to connect to the residential development behind the shops and some added public outdoor space. The West Side Strategic Plan (p.37) states, "Standards for all West Side commercial development will focus on design rather than on land use or zoning. Through design of the commercial site, the development should integrate with existing neighborhoods, provide safe, convenient pedestrian and bicycle access, not turn its back on the neighborhoods or focus solely on arterial traffic, and avoid long expanses of parking lots at their street frontages." The submitted site plan represents a linear layout that integrates minimally with the adjacent neighborhood. Although a pedestrian linkage is provided from the site to the residential development to the east, the buildings turn their backs to the neighborhood.

The Facility Plan for Arroyos contains design guidelines for development adjacent to the Calabacillas Arroyo, which is a designated Major Open Space Arroyo and a Major Open Space Link (p.55). Policy 1 calls for buildings to have windows and public open areas oriented to the arroyo. The submittal indicates that the back of the anchor store will be oriented to the arroyo as well as the delivery and service area. This is in significant conflict with Policy 1.

Policy 3 calls for pedestrian and bicycle access to the arroyo and screening of service areas adjacent to the arroyo. The delivery/service area behind the anchor store should be screened with one or more of the following:

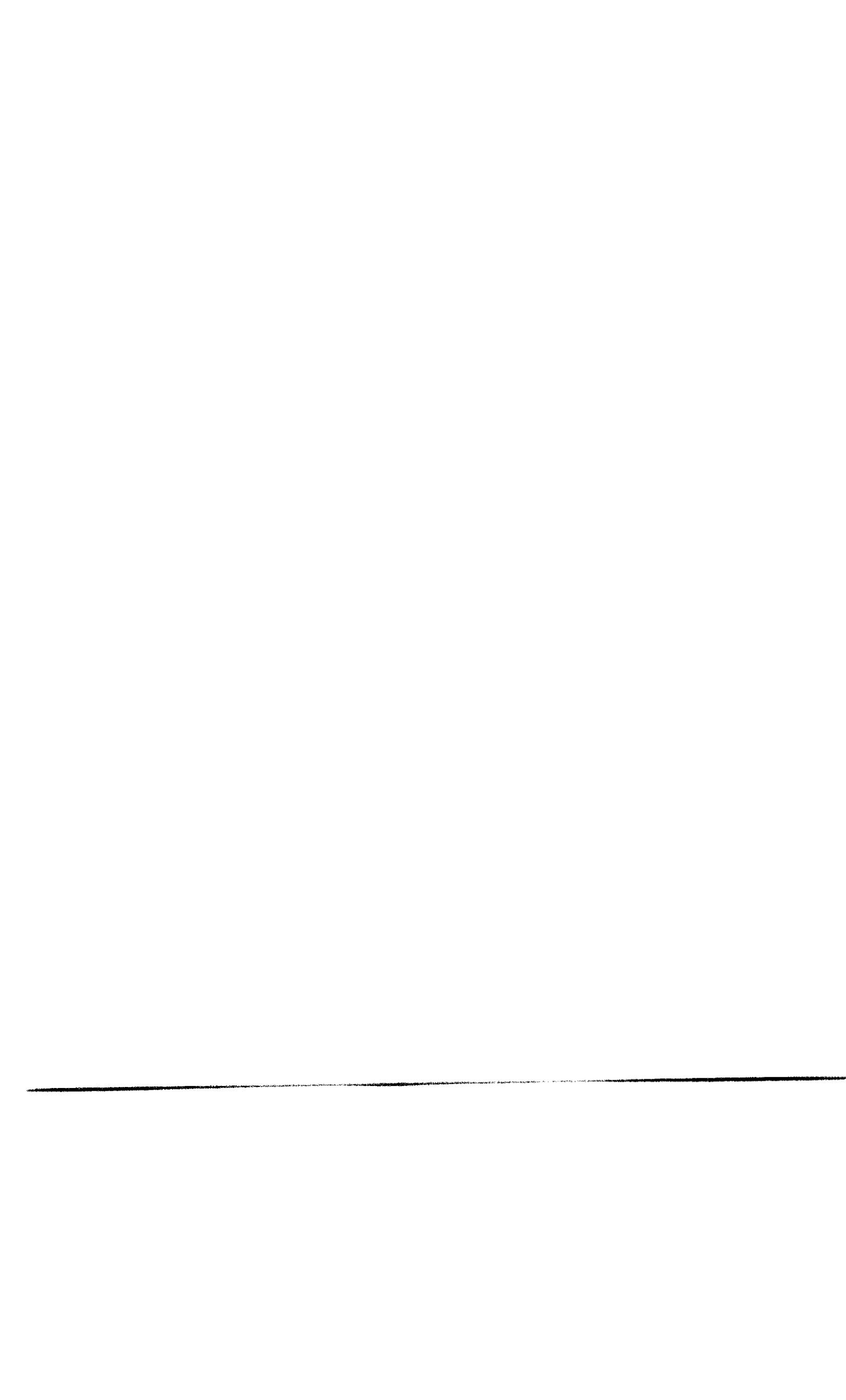
- low walls (4' high recommended)
- shrubs
- trees
- earth berms

Per the Facility Plan for Arroyos, landscaping within the public outdoor space adjacent to the arroyo shall consist primarily of native or naturalized vegetation with the predominate form being tree masses, preferably drought resistant shade trees located in clusters, offset from the arroyo right-of-way.

The site plan for subdivision is in general compliance with the requirements of the Zoning Code, Section 14-16-1-5 which defines the basic elements to be contained in a site plan for subdivision. The site plan for subdivision is in general compliance with the design requirements of the West Side Strategic Plan except that the retail shops have their back to the neighborhood. The site plan for subdivision is in significant conflict with Policy 1, page 56 of the Facility Plan for Arroyos because the anchor store has its back to the arroyo and because the delivery/service area is located along the arroyo.

The site plan for subdivision could be adjusted to meet the requirements of the aforementioned *Plans*, but at the present, staff cannot support approval of the site plan for subdivision.

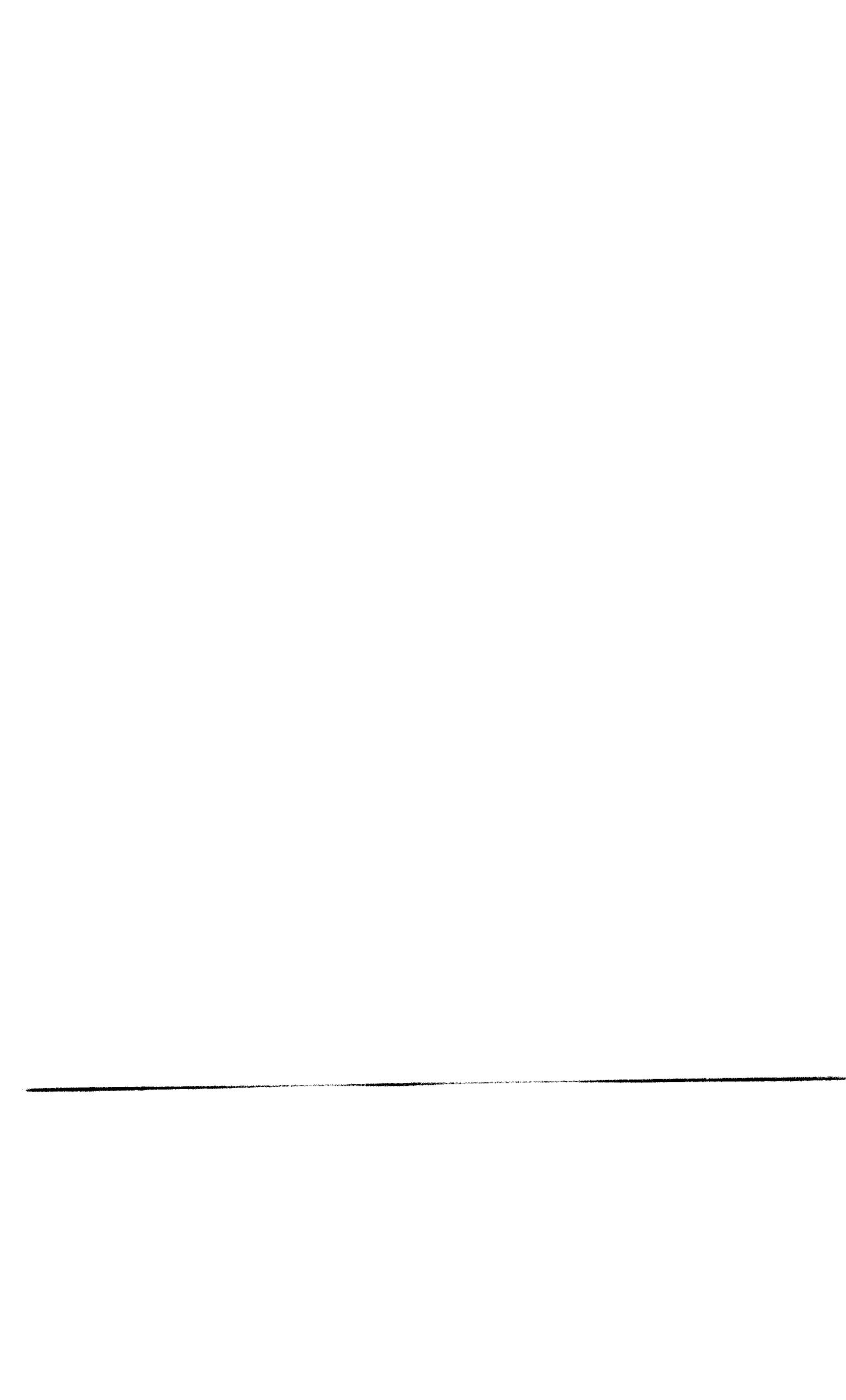
Staff recommends denial of both requests.



FINDINGS – 03EPC 02039, Zone Map Amendment, February 19, 2004

1. This is a request for a zone map amendment from SU-1 for Church and Related Facilities and O-1 and R-2 Permissive Uses to SU-1 for C-1 Uses including restaurants w/ full service liquor and liquor sales for off premise consumption ancillary to a full service grocery store for approximately 9 acres of land, legally described as Lot 1C, Seville Addition, located at the northeast corner of Universe and Irving Boulevard NW.
2. The current zoning was established in February of 2001 (*Project #1000931*) as part of a larger rezoning action for approximately 146 acres surrounding the subject site. When the current zoning was established, the EPC found that a 20-acre parcel at the southeast corner of McMahon and Unser, 1000 feet north of the subject site, met the criteria for the establishment of a new Neighborhood Activity Center.
3. The request is not supported by Policy j for Established Urban areas, which states that new commercial development should generally occur in existing commercially zoned areas such as small neighborhood-oriented centers.
4. The request is in conflict with *Comprehensive Plan* Land Use Policy h for Activity Centers by proposing new commercial development outside of designated Activity Centers.
5. The request for commercial zoning is in conflict with Policy 1.1 of the *West Side Strategic Plan (WSSP)* that requires "...high density and non-residential development occur within Community and Neighborhood Centers." There are two Neighborhood Centers north and south of the subject site. One is approximately 1,000 feet north of the site on Universe Blvd. (Seville Neighborhood Center) and the other is approximately one mile south of the site on Universe Blvd. (Ventana Square).
6. The request for commercial zoning is in conflict with Policy 1.3 of the *WSSP* that states, "Commercial development shall occur in concentrated clustered areas rather than new strip developments. Zone changes to commercial uses for areas outside the centers are strongly discouraged, in order to reinforce the Neighborhood and Community Centers."

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7. The request for zone change is in significant conflict with Policy 1.9 of the *West Side Strategic Plan* because there are already six designated Neighborhood Centers in the Paradise and Seven Bar Communities, each with a capacity to serve approximately 15,000 population within a one mile radius of the center. Urban Growth Projections indicate a combined total population for the Seven Bar and Paradise Communities to be 38,549 by the year 2010.
 8. The applicant refers to Policy 1.9 of the *West Side Strategic Plan* to justify the need for more commercial zoning, but is not proposing an amendment to the *Plan* to designate a new neighborhood center.
 9. The subject site is designated "low/medium residential" in the *Westside-McMahon Land Use and Transportation Guide* (Guide). In February 2001, Project #1000931, the EPC found that the current zoning, SU-1 for Church and Related Facilities/O-1/R-2 Permissive Uses, was appropriate for the site under the "low/medium residential" designation of the Guide.
 10. The proposed zoning will not be more advantageous to the community per *R-270-1980* because the additional commercial zoning on the site may impede development of the already designated Community and Neighborhood Centers and will result in a strip commercial development that is discouraged under Activity Centers Policy h of the *Comprehensive Plan* and Policy 1.3 of the *WSSP*.
 11. The proposed zoning will result in the destabilization of land use and zoning (Policy B, *R-270-1980*) and some of the uses under the proposed zone may be harmful to adjacent residentially zoned property (Policy E, *R-270-1980*).
 12. The accompanying site development plan for subdivision request (03EPC 02038) is not supported by the general design guidelines for commercial development of the *West Side Strategic Plan* and is not supported by Policy 1 of the *Facility Plan for Arroyos*.

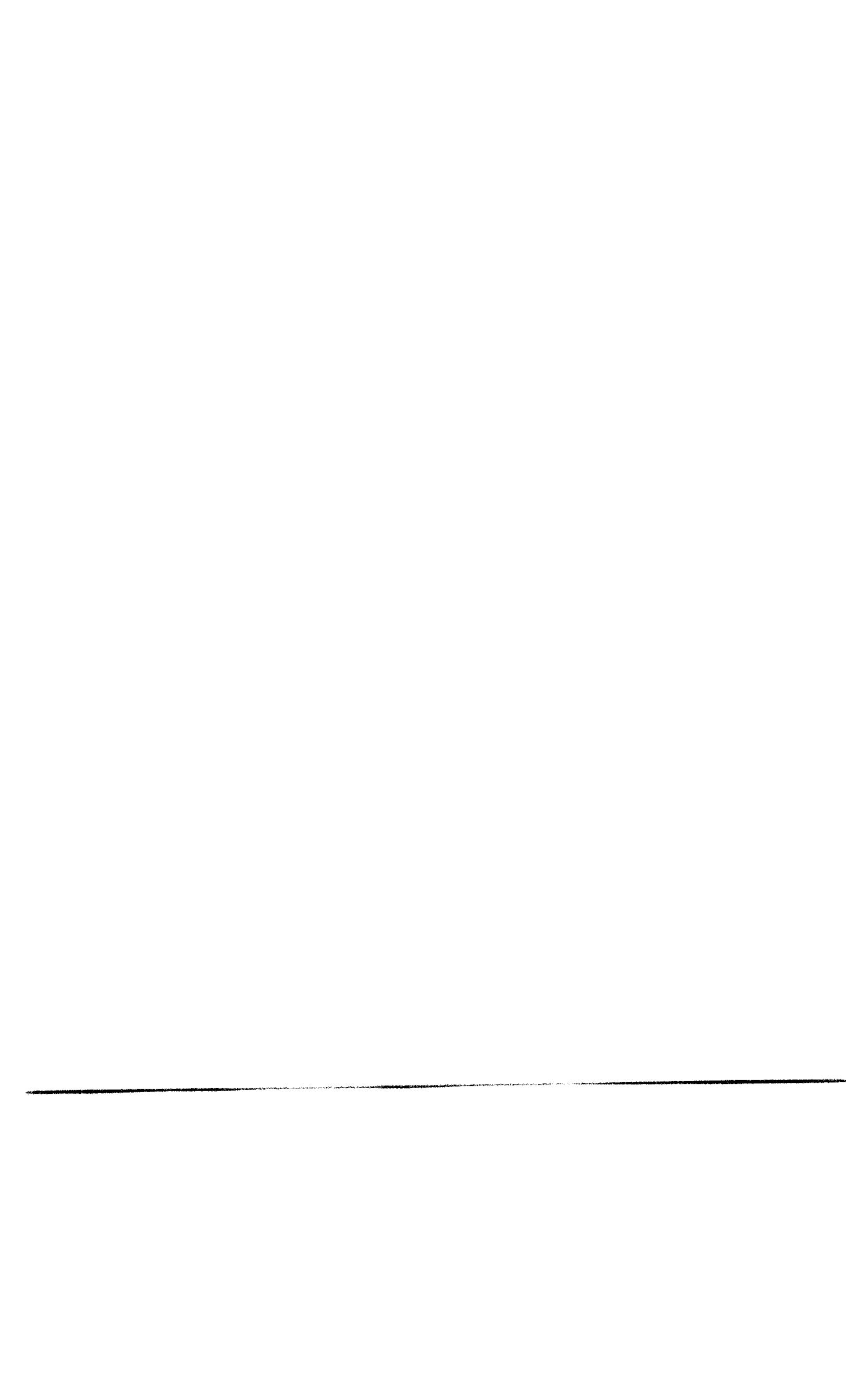


RECOMMENDATION – 03EPC 02039, February 19, 2004

DENIAL of 03EPC 02039, a request for a zone map amendment from SU-1 for Church and Related Facilities/O-1/R-2 Permissive Uses to SU-1 for C-1 Uses including restaurants w/ full service liquor and liquor sales for off premise consumption ancillary to a full service grocery store, for Lot 1C, Seville Addition, based on the preceding Findings.

FINDINGS – 03EPC 02038, Site Plan for Subdivision, February 19, 2004

1. This is a request for a Site Plan for Subdivision for approximately 9 acres of land, legally described as Lot 1C, Seville Addition, located at the northeast corner of Universe and Irving Boulevard NW.
2. In February 2001, the EPC approved a site plan for subdivision for approximately 146 acres that included the subject site. The approved site plan for subdivision contains a set of design guidelines that are intended to guide development of the subject site.
3. The applicant proposes a linear shopping center with a large anchor store at the north end of the site and two smaller pads adjacent to Universe Boulevard. The layout of the site is in conflict with general design standards for commercial development per the *West Side Strategic Plan* that encourage buildings to be located closer to the street and discourage backs of buildings facing neighborhoods.
4. The submittal is in significant conflict with Policy 1 of the *Facility Plan for Arroyos* because the proposed anchor store has its back to the arroyo and because the delivery/service area is located adjacent to the arroyo.
5. The Zone Map Amendment request that this site plan accompanies is not justified as outlined in the Findings for Case 03EPC 2039.



RECOMMENDATION –03EPC 02038, February 19, 2004

DENIAL of 03EPC 02038, a request for a Site Plan for Subdivision, for Lot 1C, Seville Addition, based on the preceding Findings.

C. Marrone

*Carmen Marrone
Planner*

cc: Pete Daskalos Properties, 5321 Menaul Blvd. NE, Albuquerque, NM 87110
DAC Enterprises, Inc., P.O. Box 16658, Albuquerque, NM 87191
Laura Horton, Ventana Ranch, 7224 Cascada Rd NW, Albuquerque, NM 87114
Bruce Nyberg, Ventana Ranch, 6824 Blusfield Rd. NW, Albuquerque, NM 87114

Attachments

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Code Services

Reviewed, no comments.

Office of Neighborhood Coordination

Ventana Ranch ®

PUBLIC WORKS DEPARTMENT

Transportation Development:

- All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- Traffic Impact Study is required and must be submitted prior to any DRB action or prior to EPC Site Development Plan for Building Permit action, which ever is made first.
- At a minimum, access to site shall meet DPM requirements but may be modified by the Traffic Engineer depending on the results of the TIS.
- All access points to be designed per DPM standards.

Utility Development:

- Development area is within the jurisdiction of New Mexico Utilities Inc. franchise area. Water, sanitary sewer, and fire protection services will depend on their system capabilities. An Availability Statement from New Mexico Utilities Inc. will be required. Any infrastructure to be constructed as part of this project must be designed to the City of Albuquerque's standards. This includes water and sewer lines that will be owned and operated by NMUI. No Conditions.

Traffic Engineering Operations:

- No comments received.

Hydrology:

- No objection to the zone map amendment request. An approved conceptual grading and drainage plan is required for Site Plan signoff by City Engineer. Approval required prior to placement on DRB agenda.
- **Condition:** Platting should be a concurrent DRB action.

Transportation Planning:

Findings

- Universe Boulevard is designated a study corridor on the Long Range Roadway System map.
- The Universe Boulevard study corridor is proposed to contain a minor arterial with a *minimum* right-of-way width of 86 feet.
- Consistent with policy 6.24 of the West Side Strategic Plan, "all arterials shall have bike lanes...."
- Irving Boulevard is a minor arterial with bicycle lanes as designated on the Long Range Roadway System and Long Range Bikeway System.

- The City Engineer may require up to six (6) additional feet of right-of-way adjacent the property on Universe Boulevard and Irving Boulevard, to accommodate the designated bike lanes.
- Consistent with the West Side Strategic Plan, and more specifically, the Land Use and Transportation policy guide adopted for the Westside-McMahon Corridor (R-249/Enactment 117-1999), the subject site is identified for low/medium residential development rather than commercial uses. Per the policy guide, neighborhood-scale commercial development is proposed at the intersection of McMahon and Universe.

Conditions

- Dedication of a *minimum* 43 feet of right-of-way from the centerline of Universe Boulevard, a minor arterial as designated on the Long Range Roadway System.
- Dedication of a *minimum* 43 feet of right-of-way from the centerline of Irving Boulevard, a minor arterial as designated on the Long Range Roadway System.
- Dedication of an additional 6 feet of right-of-way along Universe Boulevard and Irving Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
- Provision for bicycle lanes along Universe Boulevard and Irving Boulevard adjacent the subject property, as specified in the West Side Strategic Plan and Long Range Bikeway System.

Street Maintenance:

- No comments received.

Water Resources, Water Utilities and Wastewater Utilities:

- No comments received.

New Mexico Department of Transportation:

- No comments received.

RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS and NMDOT:

Conditions of approval for the proposed Zone Map Amendment and Site Development Plan for Subdivision shall include:

- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- c. Traffic Impact Study is required and must be submitted prior to any DRB action or prior to EPC Site Development Plan for Building Permit action, which ever is made first.
- d. At a minimum, access to site shall meet DPM requirements but may be modified by the Traffic Engineer depending on the results of the TIS.
- e. All access points to be designed per DPM standards.
- f. Construction of a *minimum* 10 foot wide trail facility along Unser Boulevard as designated on the Long Range Bikeways System, and more specifically detailed in the City's DPM standards.
- g. Platting should be a concurrent DRB action.
- h. Dedication of a *minimum* 43 feet of right-of-way from the centerline of Universe Boulevard, a minor arterial as designated on the Long Range Roadway System.

-
- i. Dedication of a *minimum* 43 feet of right-of-way from the centerline of Irving Boulevard, a minor arterial as designated on the Long Range Roadway System.
 - j. Dedication of an additional 6 feet of right-of-way along Universe Boulevard and Irving Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
 - k. Provision for bicycle lanes along Universe Boulevard and Irving Boulevard adjacent the subject property, as specified in the West Side Strategic Plan and Long Range Bikeway System.

ENVIRONMENTAL HEALTH DEPARTMENT

Air Quality Division

Environmental Services Division

PARKS AND RECREATION

Planning and Design

For informational purposes only: The Trails & Bikeways Facility Plan proposes a secondary trail in this location along the Calabacillas Arroyo. There are no requirements for the trail associated with this request.

Open Space Division

No adverse comment.

POLICE DEPARTMENT/Planning

no comments

SOLID WASTE MANAGEMENT DEPARTMENT

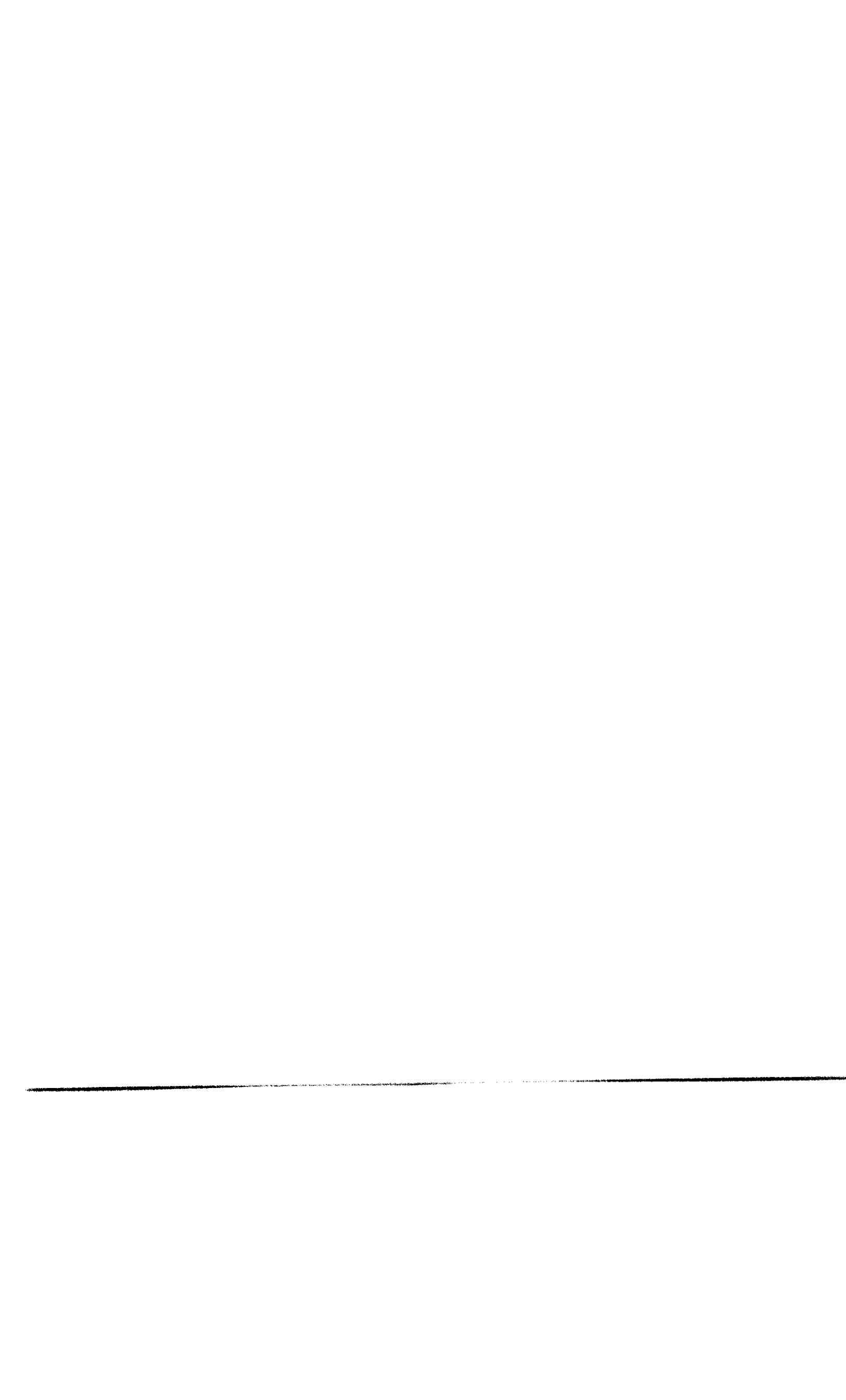
Refuse Division

Approved on condition, will comply with all SWMD requirements and ordinances including sanitary sewer drain for food services.

FIRE DEPARTMENT/Planning

No Adverse Comments

TRANSIT DEPARTMENT



COMMENTS FROM OTHER AGENCIES

BERNALILLO COUNTY

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

No objection to requested actions. The drainage plan must be coordinated with AMAFCA. It appears that the delivery area is encroaching within the Prudent Line of the Calabacillas Arroyo, and special bank protection measures may be required.

ALBUQUERQUE PUBLIC SCHOOLS

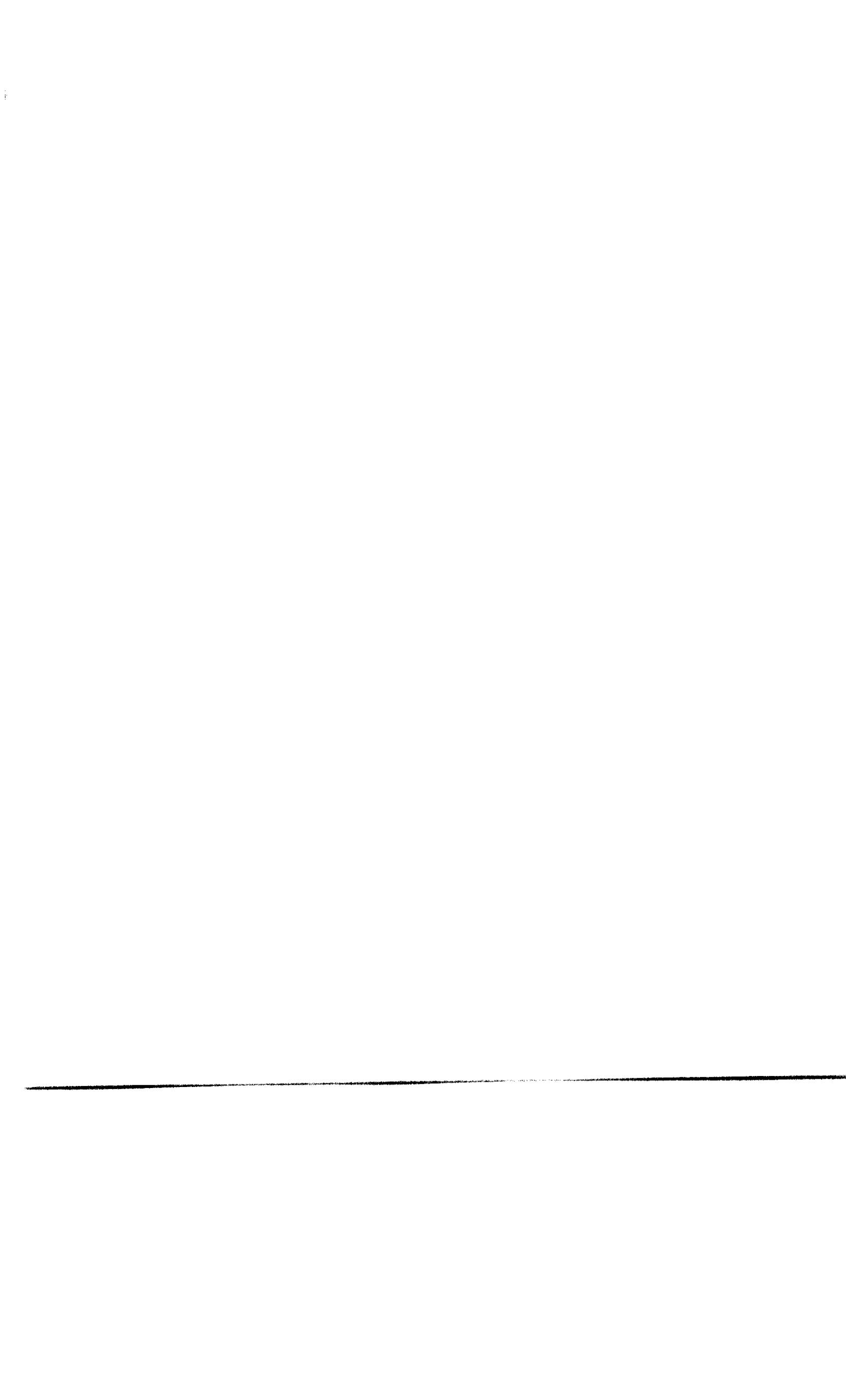
MID-REGION COUNCIL OF GOVERNMENTS

No adverse comment. For information, the Long Range Roadway System designates both Irving and Universe as minor arterials, with a consequent right-of-way of 86 feet. The Long Range Bikeway System also proposes a bike lane along Irving.

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

PUBLIC SERVICE COMPANY OF NEW MEXICO

There is an 115kV transmission line on the Western boundary and overhead distribution lines on both the Western and Southern boundary. There is a 6-inch gas line South of Irving and West of Universe





City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: January 16, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1000931**
03EPC-02038 EPC Site Development Plan-
Subdivision
03EPC-02039 Zone Map Amendment

Pete Daskalos Properties
5321 Menaul Blvd. NE
Albuq. NM 87110

LEGAL DESCRIPTION: for all or a portion of Tracts 1C, **Seville Addn**, a zone map amendment from SU-1 Church & Related Facilities to SU-1 for C-1 Uses, located on UNIVERSE NW, between IRVING BLVD. NW and WESTSIDE BLVD. NW, containing approximately 9 acres. (A-10) Carmen Marrone, Staff Planner

On January 15, 2004 the Environmental Planning Commission voted to defer Project 1000931/ 03EPC-02038 EPC Site Development Plan-Subdivision and 03EPC-02039 Zone Map Amendment to the following Environmental Planning Commission Public Hearing on February 19, 2004.

There is a \$110.00 fee when a deferral is made at the request of an applicant/agent. Payment is due by January 30, 2004 and may be paid at the Land Development Coordination counter at the Plaza del Sol Building. Failure to pay may result in removal from the agenda.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JANUARY 30, 2004 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

OFFICIAL NOTICE OF DECISION
JANUARY 15, 2004
PROJECT #1000931
PAGE 2 OF 2

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Victor J. Chavez
Planning Director

VJC/CM/ac

cc: DAC Enterprises, Inc., P.O. Box 16658, Albuquerque, NM 87191
Laura Horton, Ventana Ranch, 7224 Cascada Rd NW, Albuquerque, NM 87114
Bruce Nyberg, Ventana Ranch, 6824 Blusfield Rd. NW, Albuquerque, NM 87114

CITY OF ALBUQUERQUE
DEVELOPMENT SERVICES DIVISION
P.O. BOX 1293, ALBUQUERQUE, NM 87103

Curb West, Inc.
6301 Indian School NE, Suite 208
Albuq. NM 87110

May 3, 2001

CERTIFICATION OF ZONING

FILE: 00110 00000 01626 (Project #1000931)
DATE OF FINAL ACTION: February 15, 2001
LEGAL DESCRIPTION: for Tract B-2 & Lots 1-
28 & Lots 1-29, Block 15 & 16, Paradise Heights
Addition, located on Irving Boulevard between
Universe Boulevard and Unser Boulevard,
containing approximately 146.8 acres. (A-10)
Mary Piscitelli, Staff Planner

THE POSSIBLE APPEAL PERIOD HAVING EXPIRED, THE ZONING ON THE ABOVE CITED
PROPERTY IS NOW CHANGED AS FOLLOWS:

**FROM R-1
TO**

**R-LT, R-1 AND SU-1 FOR C-1 USES TO SU-1 FOR C-1 USES (INCLUDING RESTAURANTS WITH
FULL-SERVICE LIQUOR AND LIQUOR SALES FOR OFF-PREMISE CONSUMPTION
ANCILLARY TO FULL SERVICE GROCERY STORE AND LIMITED TO THE BUILDING AREA
WHERE DRIVE-UP WINDOWS, SALE OF MINIATURES, SINGLES, 40 OZ. CONTAINERS, AND
FORTIFIED WINES ARE PROHIBITED)/O-1 AND R-2 USES, AND FROM R-1 TO SU-1 FOR
CHURCH AND RELATED FACILITIES RESTRICTED TO OFFICE, DAY CARE, AND SCHOOL
USES NOT TO EXCEED 25% OF THE BUILDING SQUARE FOOTAGE/O-1/R-2, FOR TRACT B-2
& LOTS 1-28 & LOTS 1-29, BLOCK 15 & 16, UNIT FIVE, PARADISE HEIGHTS ADDITION**

Successful applicants are reminded that other regulations of the City must be complied with, even after approval
of the zoning is secured. Approval of this case does not constitute approval of plans for a building permit. You
should take two copies of your plans to the Building & Inspection Division of the City to initiate a building
permit.

Sincerely,


for Robert McCabe
Planning Director

RM/ac
cc: Zoning
Neal Weinberg/AGIS



3. 00110 00000 01626 Consensus Planning, Inc., agents for Curb West, Inc. request a
00128 00000 01625 zone map from SU-1 for C-1 and R-1 to SU-1 for Church and
Project #1000931 related facilities O-1, and R-2 Permissive Uses; SU-1 for C-1 O-1
and R-2, (with restaurants with full service liquor and liquor sales
for off site consumption) and R-LT for Tract B-2 & Lots 1-28 &
Lots 1-29, Block 15 & 16, Paradise Heights Addition, located on
Irving Boulevard between Universe Boulevard and Unser
Boulevard, containing approximately 146.8 acres. (A-10) Mary
Piscitelli, Staff Planner **(APPROVED ZONE MAP AMENDMENT
TO SU-1 FOR CHURCH & RELATED FACILTIES O-1, AND R-2
PERMISSIVE USES; SU-1 FOR C-1 O-1 & R-2 (WITH
RESTAURANTS WILL FULL SERVICE LIQUOR AND LIQUOR
SALES FOR OFF SITE CONSUMPTION & R-LT). (APPROVED
SITE DEVELOPMENT PLAN WITH CONDITIONS.)**

STAFF PRESENT:

Mary Piscitelli, Planning Department

PERSONS PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:

Jim Strozier, 924 Park Ave. SW

THERE WAS NO ONE PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:

MS. PISCITELLI: Reiterated comments made in the staff report in which approval was recommended for the zone map amendment and site plan for subdivision.

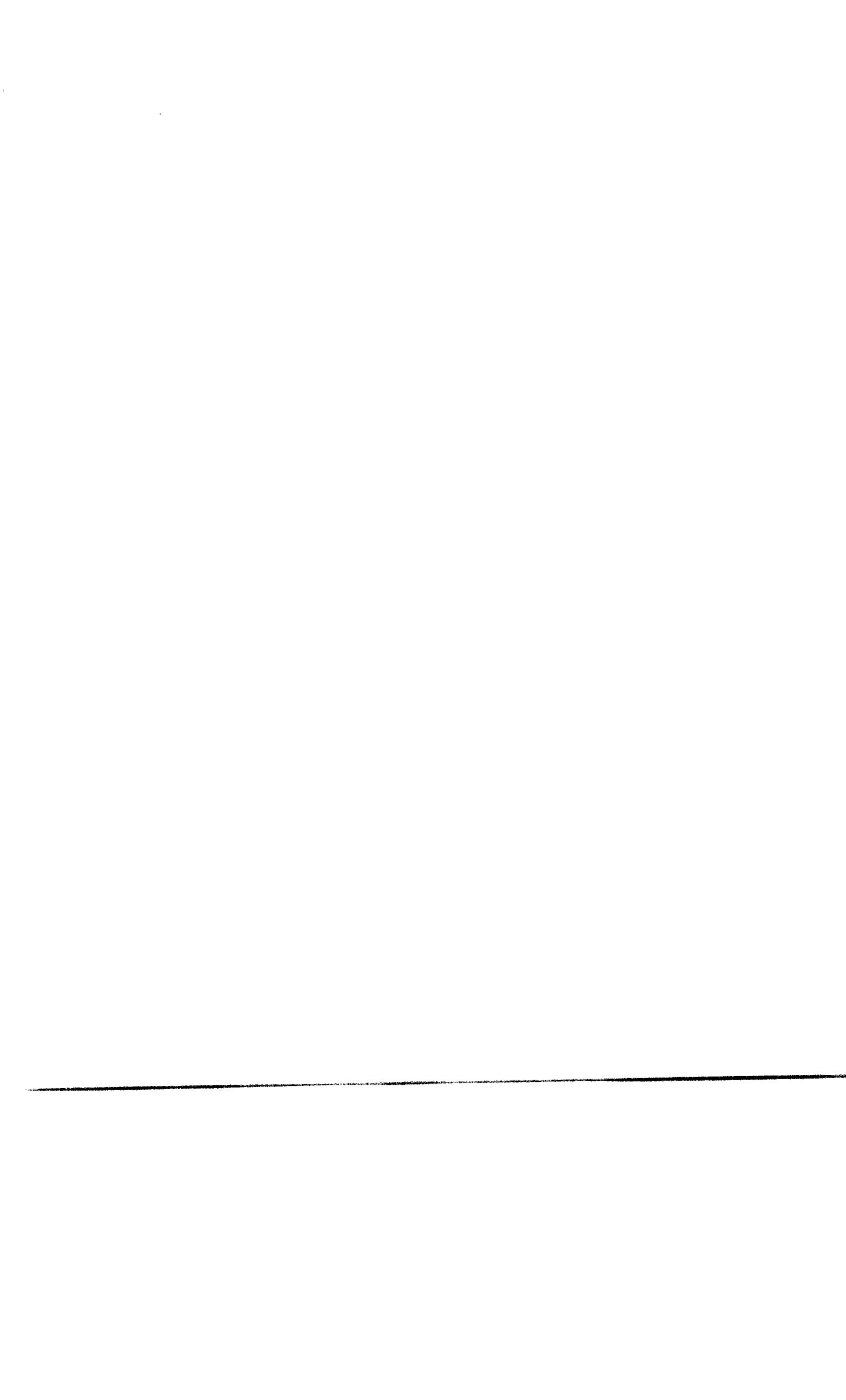
FINAL ACTION TAKEN

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to approve 00110 00000 01626, a request for zone map amendments from R-1 to R-LT, R-1 and SU-1 for C-1 Uses to SU-1 for C-1 Uses (including restaurants with full-service liquor and liquor sales for off-premise consumption ancillary to full service grocery store and limited to the building area where drive-up windows, sale of miniatures, singles, 40 oz. containers, and fortified wines are prohibited)/O-1 and R-2 uses, and from R-1 to SU-1 for Church and Related Facilities restricted to office, day care, and school uses not to exceed 25% of the building square footage/O-1/R-2, for Tract B-2 & Lots 1-28 & Lots 1-29, Block 15 & 16, Unit Five, Paradise Heights Addition, based on the following Findings:

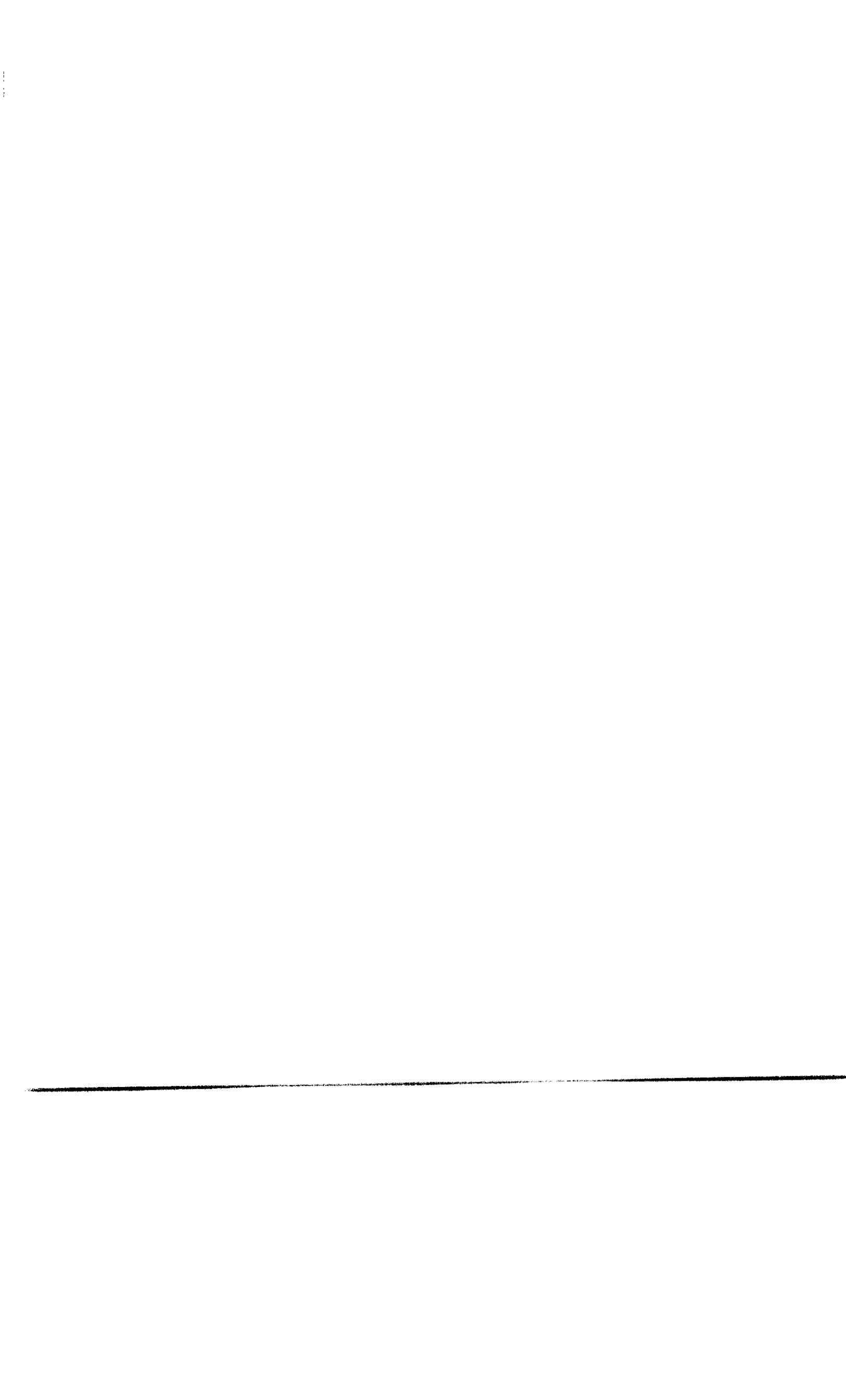


FINDINGS:

1. This is a request for a zone map amendment from existing R-1 to R-LT, from existing R-1 and SU-1 for C-1 uses to SU-1 for C-1 Uses (including restaurants with full-service liquor and liquor sales for consumption off-premises ancillary to a full-service grocery store with restaurants with full-service liquor and liquor sales for off-premise consumption and where drive-up windows, sale of miniatures, singles, 40 oz. containers, and fortified wines are prohibited)/O-1/R-2 Uses, located at a vacant parcel at the northeast quadrant of Irving Boulevard and Universe Boulevard.
2. The existing zoning of R-1 was established as part of the Northwest Mesa Annexation. The existing zoning of SU-1 for C-1 uses was established as part of the Paradise Heights Unit 5 Subdivision in 1984.
3. The request furthers the applicable Goals and Policies of the *Comprehensive Plan* by proposing an urban environment which perpetuates the tradition of identifiable, individual, but integrated communities within the metropolitan area and which offers variety and choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.
4. This request furthers the applicable Goals and Policies of the *Comprehensive Plan* by providing a transition from the residential area to the TVI Campus, and responds to the mixed-use goals of the *Comprehensive Plan*.
5. The request furthers the applicable Goals and Policies of the *Comprehensive Plan* by providing access to future transit routes, regional trails, and an activity center/employment center (TVI West Side Campus). This site provides for a balanced circulation system through efficient placement of employment and services, and encouragement of bicycling, walking, and use of transit/paratransit as alternatives to automobile travel, while providing sufficient roadway capacity to meet mobility and access needs.
6. This request furthers the applicable Goals and Policies of the *Comprehensive Plan* by locating the neighborhood center adjacent to the TVI campus. This will provide a stronger communication and planning link with the educational institution and the development of this site.
7. This request furthers the intent and policies of the *West Side Strategic Plan* by proposing a church, office, or higher density housing on this vacant parcel, which will enhance the neighborhood center at Seville. The low-to medium-intensity uses of C-1, O-1, R-2, and SU-1 for Church and Related Facilities are appropriate choices for a neighborhood center to serve the surrounding community.



8. This request furthers the intent and policies of the *West Side Strategic Plan* by proposing the neighborhood center near programmed transit, bike, and pedestrian facilities. By location near the programmed multi-modal facilities, cross-metro trips will be reduced, as local business development and job opportunities will be located near these planned transit, bike, and pedestrian facilities.
9. This request furthers the intent and policies of the *West Side Strategic Plan* and the *Facility Plan for Arroyos* by providing an opportunity to incorporate the west branch of the Calabacillas Arroyo primary trail within the commercial/office center and adjacent residential development.
10. This request furthers the policies contained in the *Westside/McMahon Land Use and Transportation Guide*, in that a neighborhood center is designated at McMahon and Westside. This request is adjacent to that intersection.
11. This request furthers the policies contained in the *Westside/McMahon Land Use and Transportation Guide*, in that the proposed zoning provides opportunities for reducing automobile travel and encourages transit use by locating these uses within the residential area and adjacent to a neighborhood center. Neighborhood-scaled development is encouraged in this policy.
12. This request meets the criteria established in R-270-1980 for a zone change, in that the zone change is justified by the changed community condition of the location of the TVI West Side Campus across Universe. The zone changes are justified as more advantageous to the community, in that the proposed zoning will provide flexibility for the new development of a mixed-use neighborhood center to serve the new TVI campus and the adjacent residential areas without a series of individual zone change requests. Furthermore, the adoption of the *Westside/McMahon Land Use and Transportation Guide* has changed the community conditions to a more transit-oriented low to medium intensity development in this area.
13. The zone changes are justified as more advantageous to the community, in that this center will serve the residential development in the Seville parcel and the adjacent parcels, which do not have any retail, service, or office development planned at this time.
14. This request is not a spot zone, proven by the fact that the proposed tracts are large parcels of land, not individual lots. This request is not in conflict with the adopted policies of the *Comprehensive Plan*, but in fact supports the goals for established and developing urban areas, transportation and transit, economic development, and education.



15. This request furthers the policies set forth in R-91-1998 (R-70), in that the development of this neighborhood center conforms to the framework established under R-70. The increased densities and mixed uses in the center will meet the needs of residents closer to their homes or employment, which will decrease the vehicle miles traveled, thereby decreasing automobile dependence.
16. The zone category specifies C-1 Uses, with the uses of restaurants with full-service liquor and liquor sales for off-premise consumption ancillary to a full-service grocery store use. The restaurant with full-service liquor use is a C-1 conditional use in the Comprehensive City Zoning Code. The liquor sales for off-premise consumption is a permissive and conditional use in C-2. The request would allow these uses to be permissive in the SU-1 for C-1 zone.
17. The zone category of SU-1 for C-1 uses, with the liquor sales for off-premise consumption is in accordance with the permissive use of C-2 as per the Zoning Code language. The harmful impact of the liquor sales for off-premise consumption use is mitigated by: the prohibition of sale of miniatures, 40 oz. Containers, and fortified wines and the prohibition of drive-up windows, and mandating that the liquor use is limited to building area .
18. This request does not specify the maximum square footage, number, or percentages for the related facilities in relation to the proposed SU-1 for Church and Related Facilities.
19. In accordance to the EPC's request at the January 21, 2001 public hearing, a request has been submitted to City Council to designate this center in the *West Side Strategic Plan*. The request will incorporate this center into the Planning Department's request for text amendments to the *West Side Strategic Plan* and the map amendments of the neighborhood centers in the *West Side Strategic Plan*.

MOVED BY COMMISSIONER GARA

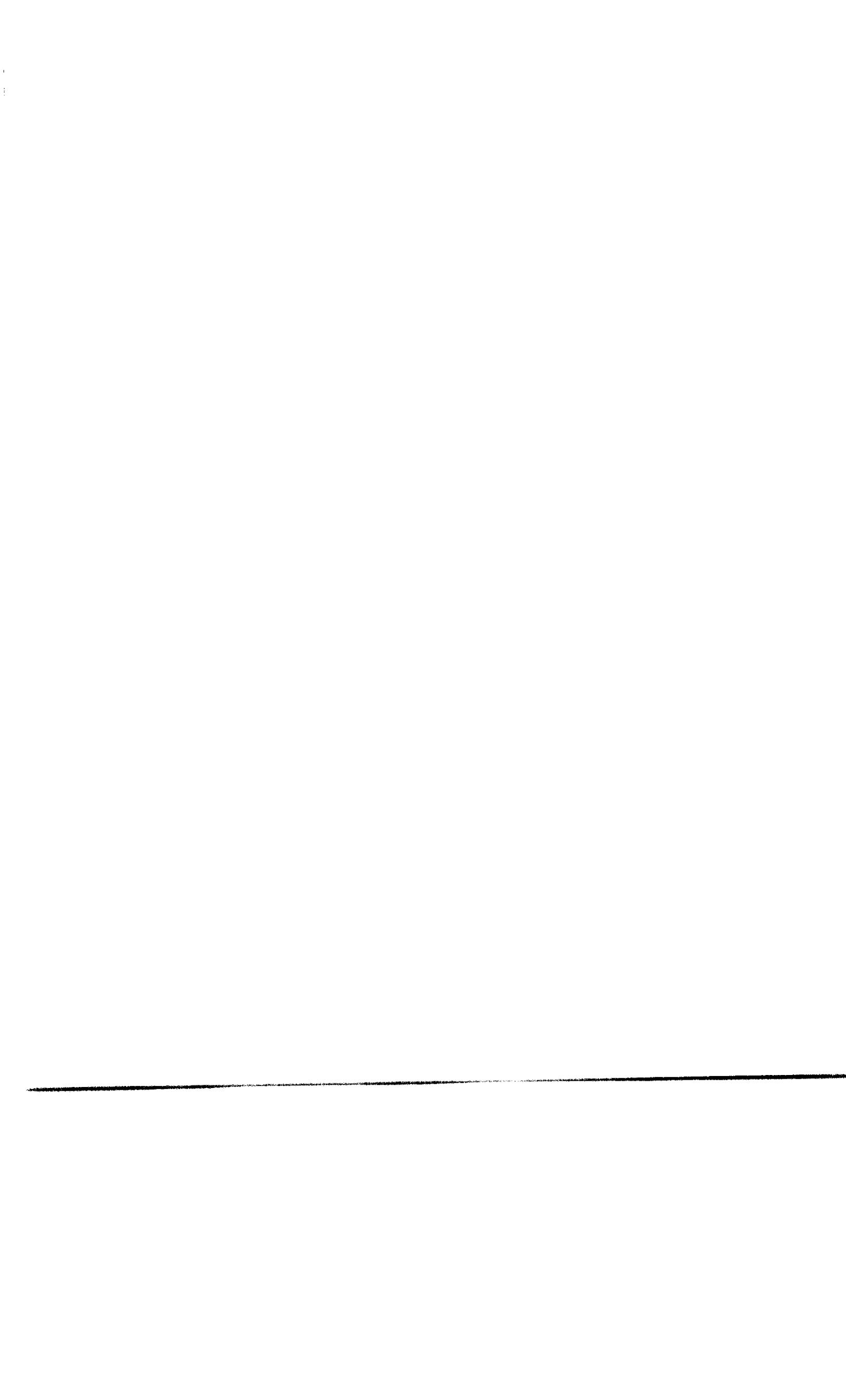
SECONDED BY COMMISSIONER SERRANO

MOTION CARRIED UNANIMOUSLY

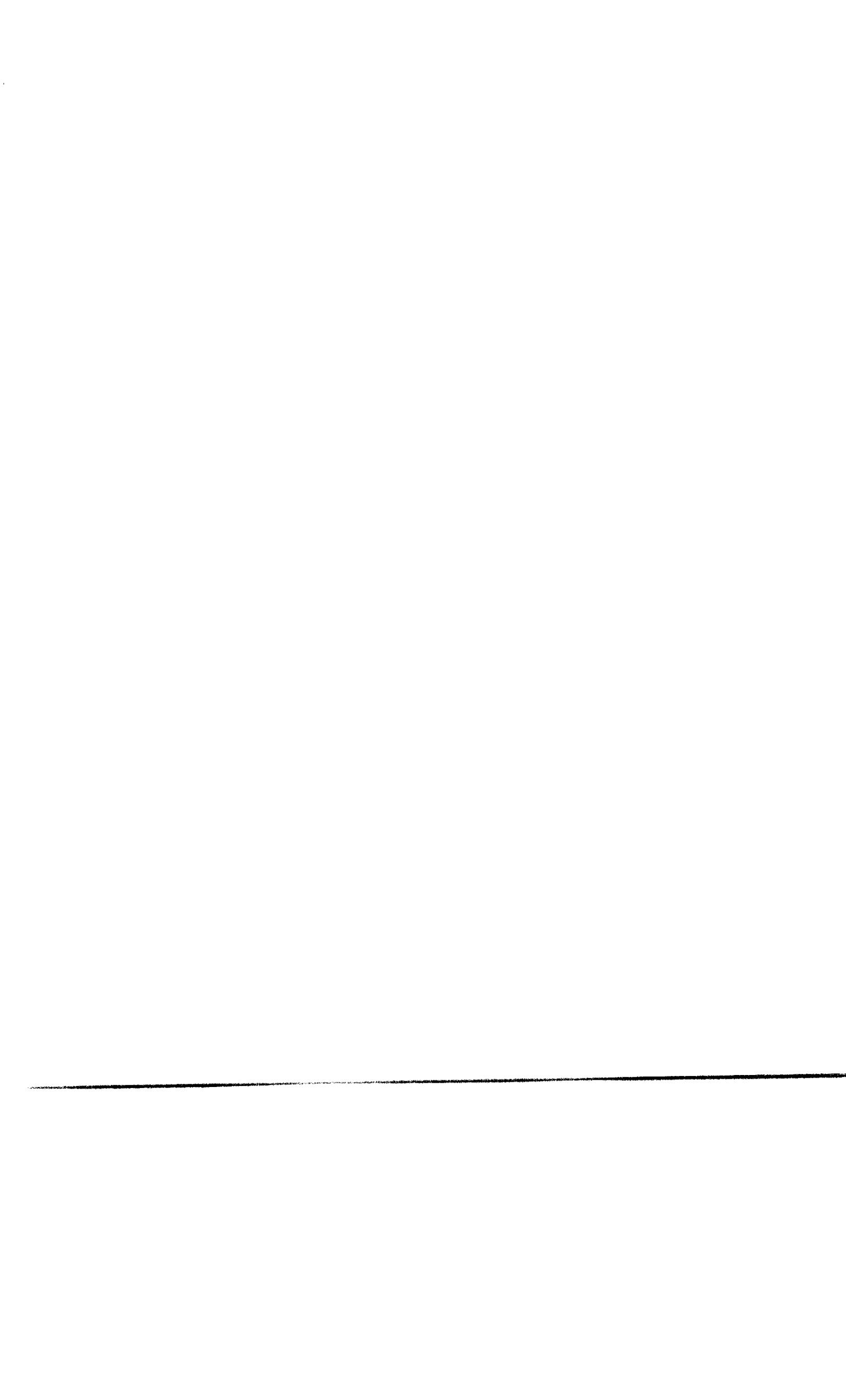
NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to approve 00110 00000 01625, a request for a site plan for subdivision, for Tract B-2 & Lots 1-28 & Lots 1-29, Block 15 & 16, Unit Five, Paradise Heights Addition, based on the following Findings, with the subject to the following Conditions:

FINDINGS:

1. This is a request for a site plan for subdivision, for a vacant parcel located at the northeast quadrant of Irving Boulevard and Universe Boulevard.



2. A portion of this site, where Tract A-1 is proposed, was platted as part of the Paradise Heights Unit 5 Subdivision in 1983. The remainder of the site has not been platted.
3. The goal of this site plan is to separate the vehicular and pedestrian circulation in order to support the creation a pedestrian-*friendly* atmosphere throughout the site.
4. The request furthers the applicable Goals and Policies of the *Comprehensive Plan* by proposing an urban environment which perpetuates the tradition of identifiable, individual, but integrated communities within the metropolitan area and which offers variety and choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.
5. The amendments further the applicable Goals and Policies of the *Comprehensive Plan* by providing a transition from the residential area to the surrounding community, including the TVI Campus, and responds to the mixed use goals of the *Comprehensive Plan*.
6. The amendments further the applicable Goals and Policies of the *Comprehensive Plan* by providing access to future transit routes, regional trails, and an activity center/employment center (TVI West Side Campus). This site provides for a balanced circulation system through efficient placement of employment and services, and encouragement of bicycling, walking, and use of transit/paratransit as alternatives to automobile travel, while providing sufficient roadway capacity to meet mobility and access needs.
7. This request furthers the applicable Goals and Policies of the *Comprehensive Plan* by locating the neighborhood center adjacent to the TVI campus. This will provide a stronger communication and planning link with the educational institution and the development of this site.
8. This request furthers the intent and policies of the *West Side Strategic Plan* by proposing a church, office, or higher density housing on this vacant tract, which will enhance the neighborhood center at Seville. The low-to medium-intensity uses of SU-1 for Church and Related Facilities, O-1, and R-2 are appropriate choices for a neighborhood area with a center that serves the surrounding community.
9. This request furthers the intent and policies of the *West Side Strategic Plan* by proposing the church, office, and residential uses near programmed transit, bike, and pedestrian facilities. By location near the programmed multimodal facilities, cross-metro trips will be reduced, as local business development and job opportunities will be located near these planned transit, bike, and pedestrian facilities.
10. This request furthers the intent and policies of the *West Side Strategic Plan* and the *Facility Plan for Arroyos* by providing an opportunity to incorporate the west branch of the Calabacillas Arroyo primary trail within the church, office, and residentially zoned tract.

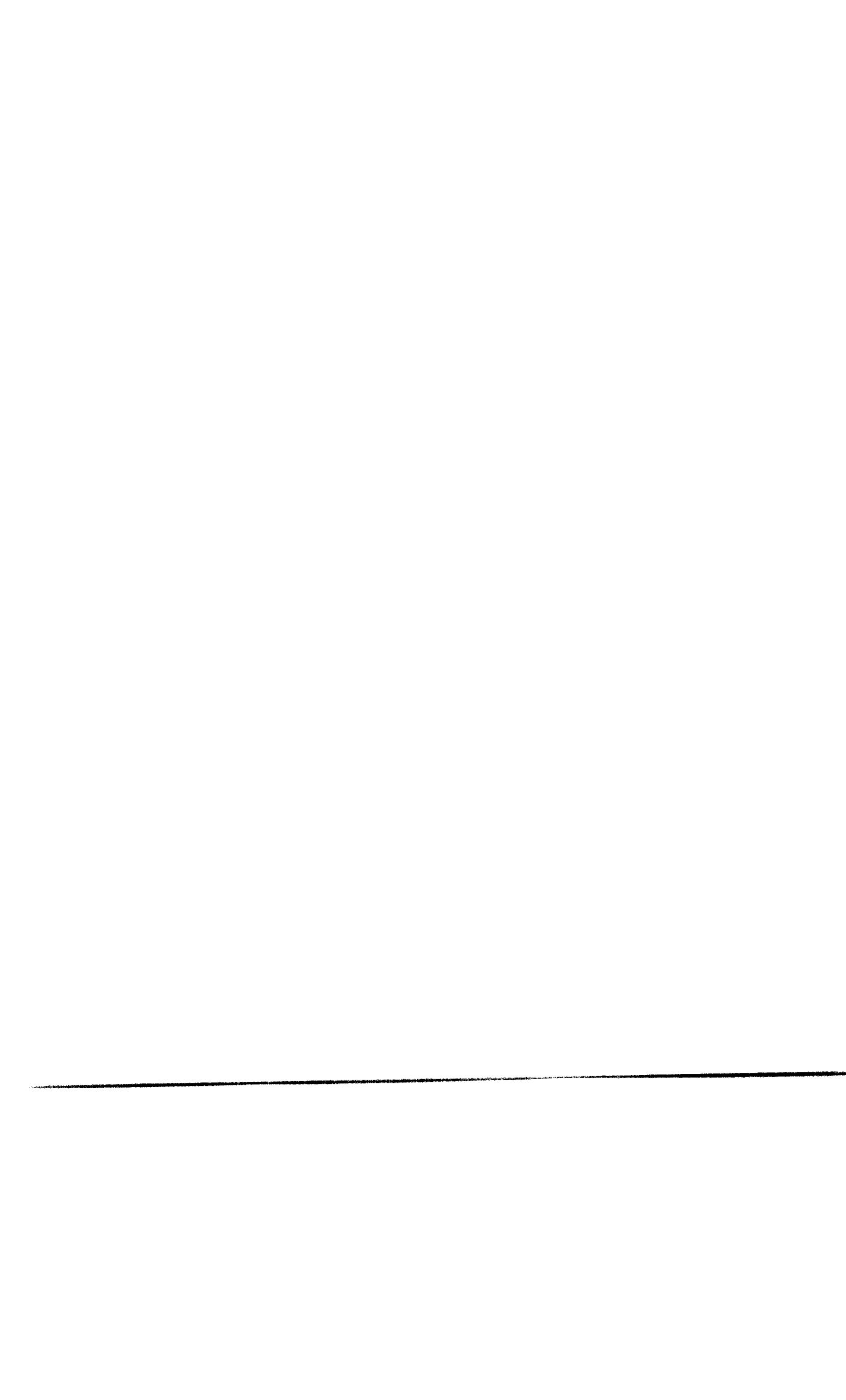


11. This request furthers the policies contained in the *Westside/McMahon Land Use and Transportation Guide*, in that the proposed zoning of SU-1 for Church and Related Facilities/O-1/R-2 provides opportunities for reducing automobile travel and encourages transit use by locating these uses within the residential area and adjacent to a neighborhood center. Neighborhood-scaled development is encouraged in this policy.
12. The City Council-approved *Land Use and Transportation Guide for McMahon Boulevard* (R-249/Enact 117-1999) identified a commercial node at the SE corner of Universe Boulevard and McMahon Boulevard, as proposed in Tract A-1 of the site plan. Further, that outside of this commercial node, the land use guide contemplated the remainder of this site being low to medium residential uses (7 to 15 du/acre). With one exception, the request is consistent with the adopted *Land Use and Transportation Guide for McMahon Boulevard*. The exception being the proposed O-1 uses request in Tract A-2.
13. Although relocation of Tract A-2 to be adjacent to the Tract A-1 was suggested by the Public Works Department, to be more in keeping with the spirit of the *Westside/McMahon Land Use and Transportation Guide*, it was not mandated by the EPC at the January 21, 2001 public hearing.
14. Universe Boulevard is designated on the *Long Range Roadway System* map as a study corridor containing a minor arterial with a minimum right-of-way width of 86 feet.
15. Irving Boulevard is designated on the *Long Range Roadway System* map as a minor arterial with a minimum right-of-way of 86 feet.
16. Universe Boulevard as designated on the recently adopted *Albuquerque Comprehensive On-Street Bicycle Plan* is proposed to include bicycle lanes.
17. Irving Boulevard as designated on the recently adopted *Albuquerque Comprehensive On-Street Bicycle Plan* is proposed to include bicycle lanes.
18. This request furthers the policies set forth in R-91-1998 (R-70), in that the development of this parcel conforms to the framework established under R-70. The increased densities and mixed uses in the center will meet the needs of the residential areas, and with residents closer to their homes or employment, it will decrease the vehicle miles traveled, thereby decreasing automobile dependence.
19. The site plan for subdivision provides design guidelines for Tracts A-1 and A-2.
20. A maximum FAR of .35 for the non-residential uses is proposed for Tracts A-1 and A-2. Residential uses in these tracts are proposed to have a maximum density of 24 du/acre.

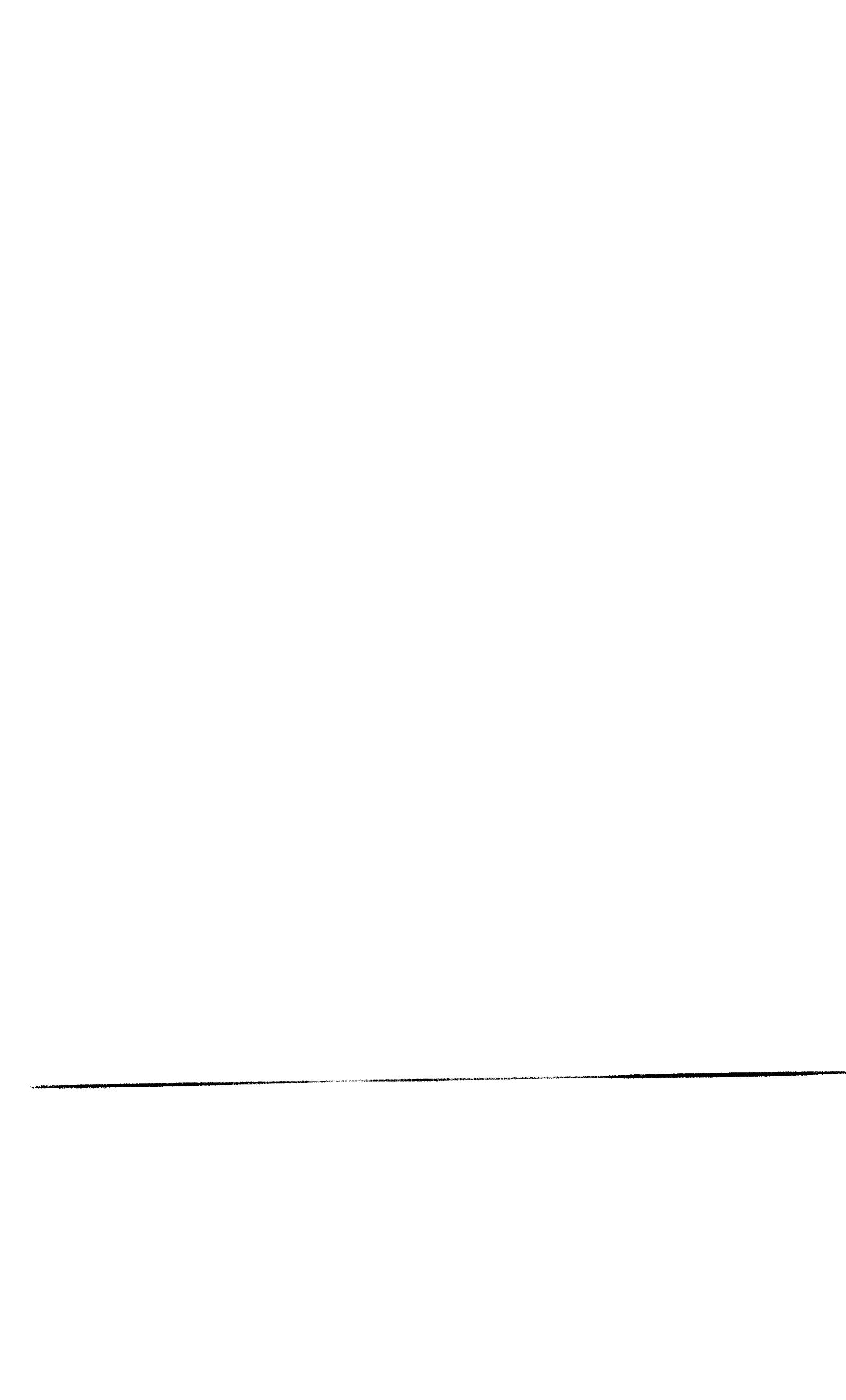
21. The landscape requirement of 15% in the Zoning Code is proposed in this site development plan for subdivision. The Zoning Code requires that 75% of that 15% is living landscape.
22. Primary vehicular access to the neighborhood center at Tract A-2 is aligned with the proposed entry to the TVI. Vehicular access to Tract A-2 is off of Universe Boulevard and Irving.
23. Pedestrian and bike paths are proposed to be provided on all interior streets; however, this site development plan for subdivision does not show these paths. Instead, the request proposes that these paths be developed with future site development plans for building permits.
24. A parallel trail along the Calabacillas Arroyo is proposed in the West Side Strategic Plan and the Facility Plan for Arroyos. This trail is mentioned in the request for site development plan for subdivision; however, it is not located on the site development plan for subdivision. Connections from the internal pedestrian and bike paths to this trail are proposed, but not shown on this site development plan for subdivision.
25. This request for site plan for subdivision can be supported by staff with the proposed modification to the SU-1 for C-1 zone change as it pertains to liquor sales (see findings #16-17 for the zone map amendments). The EPC has approved similar modifications to zone change requests at McMahon and Unser.
26. In accordance to the EPC's request at the January 21, 2001 public hearing, a request has been submitted to City Council to designate this center in the *West Side Strategic Plan*. The request will incorporate this center into the Planning Department's request for text amendments to the *West Side Strategic Plan* and the map amendments of the neighborhood centers in the *West Side Strategic Plan*.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Site plan will be replatted to reflect new zone boundary lines.
3. The design guidelines, as provided with the site development plan for subdivision, shall be considered mandatory for further development of the site. These design guidelines shall be mandated for all portions of the site, including Tract A-1 and Tract A-2.



4. Schematic internal pedestrian paths and bikeways, connecting to the major site entries and the Calabacillas trail, shall be shown on the site plan for subdivision, as part of the DRB submittal.
5. Schematic vehicular ingress and egress shall be shown for Tracts A-2 on the site development plan for subdivision, as part of the DRB submittal.
6. As per the Public Works Department comments:
 - a. The first 150 single family units may proceed to construction without a TIS initially; however, these units will be included as part of the over TIS when performed.
 - b. Completion of the required TIS must be done prior to the submittal of the site plan for building permit for any of the remaining parcels regardless of the proposed land use. Access to the adjacent major streets will be determined as part of the required TIS.
 - c. Development of the McMahon Facility must be analyzed as part of the TIS.
 - d. Dedication of right-of-way for and construction of Universe and Irving Boulevards, with bike lanes.
 - e. A water and sewer availability statement from New Mexico Utilities will be required. Required infrastructure must be financially guaranteed prior to site plan and/or plat approval by the Development Review Board. All infrastructure must be designed to City of Albuquerque Standards, including water and/or sanitary sewer lines owned and operated by NMUI.
 - f. This project shall not proceed without proper transportation infrastructure in place.
 - g. An approved conceptual grading and drainage plan is required for site plan sign-off by the City Engineer / AMAFCA.
 - h. Consider the relocation of O-1 uses in Tract A-2 to a tract adjacent to Tract A-1, consistent with the adopted Land Use and Transportation Guide for McMahon Boulevard.
 - i. Dedication of right-of-way for Universe Boulevard per the *Long Range Roadway System* map, 43-foot minimum from the street centerline.
 - j. Dedication of right-of-way for Irving Boulevard per the *Long Range Roadway System* map, 43-foot minimum from the street centerline.
 - k. Dedication of additional right-of-way along Universe Boulevard and Irving Boulevard as required by the City Engineer to provide for bicycle lanes.
7. As per the Open Space Division comments:
 - a. The R-LT detached open-space requirement should be satisfied by dedication of property within the arroyo channel, in accordance with the Zoning Code formula and based on the number of dwelling units.
 - b. Open Space Division requires preservation of significant natural features in the Calabacillas Arroyo. Outcrops, stands of trees, steep embankments, and other natural features should be incorporated into the Design Guidelines. Please contact Jay Evans at Open Space Division, 452-5207 to coordinate a site visit.

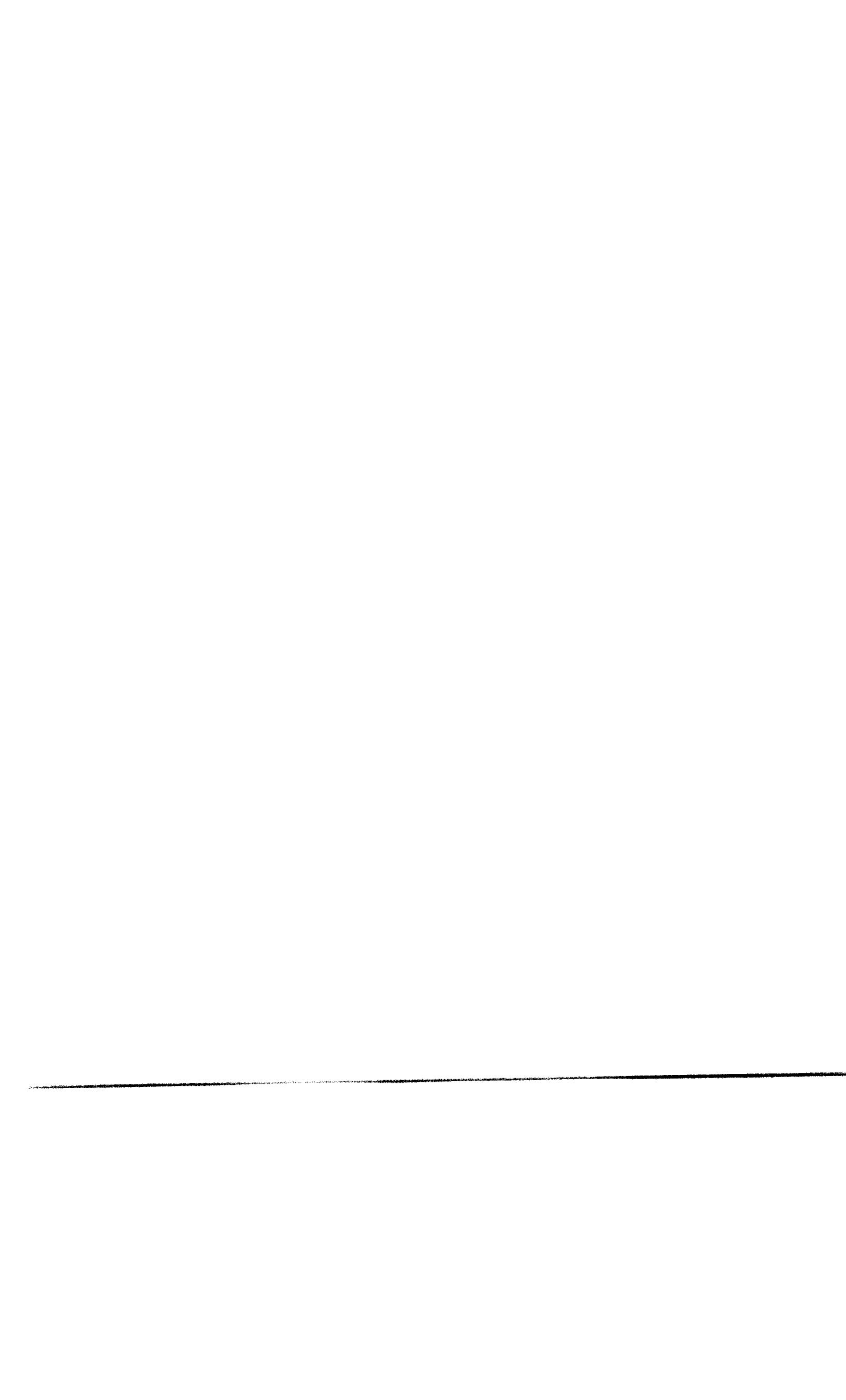


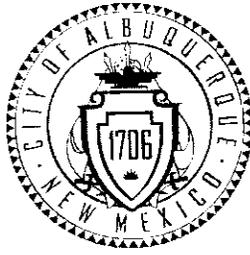
- c. Any drainage improvements to the Calabacillas Arroyo should be designed so as to minimize arroyo bank stabilization.
 - d. General policies (pp. 16-21) and Design Guidelines for Development Adjacent to Major Open Space Arroyos and Major Open Space Links (pp. 1-61) as detailed in the *Facility Plan for Arroyos* should be complied with.
8. As per the Parks and Recreation Department Comments:
- a. Future subdivision plats will be subject to the requirements of the City Park Dedication and Development Ordinance, which includes:
 - b. The dedication of land suitable for the development of a neighborhood park and/or the payment of a fee in lieu of and equal to the value of the required park land dedication prior to sign-off on the related plat.
 - c. The Parks & Recreation Department is interested in acquiring park land within this development to serve future residents and users of the support services that are likely to develop in conjunction with the TVI campus.
 - d. The Trails & Bikeways Facility Plan proposes a secondary trail in this location along the west branch of the Calabacillas Arroyo. As this development proceeds towards design, the Parks & Recreation Department would like to meet with the applicant to discuss feasible park site and trail easement locations.
 - e. The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.
 - f. With regard to the Pedestrian Connections and Trails in the Design Guidelines, any asphalt trail connections in-lieu of sidewalk to city trails will be the maintenance responsibility of the property owner."
9. As per the Solid Waste Department Comments: Approved on condition will comply with all Solid Waste Management Department residential and commercial requirements and specifications.
10. As per AMAFCA Comments: If proposed development discharges to the Calabacillas Arroyo, a license for construction within the AMAFCA right-of-way will also be required. The prudent line shown along the arroyo is based on a draft report and may be modified when the final is received.

MOVED BY COMMISSIONER GARA
SECONDED BY COMMISSIONER SERRANO

MOTION CARRIED UNANIMOUSLY

NOTE: THE FOLLOWING TWO ITEMS 01221 00000 00126 AND 01221 00000 00136 WERE HEARD TOGETHER





ENVIRONMENTAL PLANNING COMMISSION

A G E N D A

Thursday, January 15, 2004, 8:30 a.m.

Plaza del Sol Hearing Room
Lower Level
600 2nd Street NW

MEMBERS

Jeffery Jesionowski, Chairman
Mick McMahan, Vice Chair

Camilla Serrano
Jens Deichmann
David Steele

Larry Chavez
Virginia Klebesadel
Klarissa Pena

NOTE: A LUNCH BREAK AND DINNER BREAK WILL BE ANNOUNCED AS NECESSARY

Agenda items will be heard in the order specified unless changes are approved by the EPC at the beginning of the hearing; deferral and withdrawal requests (by applicants) are generally reviewed at this time (see item 1A and 1B below). Applications with no known opposition that are supported by the Planning Department are scheduled at the beginning of the agenda; these cases are noted with an asterisk (*). Applications deferred from a previous hearing are normally scheduled at the end of the agenda.

There is no set time for cases to be heard. However, interested parties can monitor the progress of the hearing by calling the Planning Department at 924-3860. All parties wishing to address the Commission must sign-in with the Commission Secretary at the front table prior to the case being heard. Please be prepared to provide brief and concise testimony to the Commission if you intend to speak. **In the interest of time, presentation times are limited as follows, unless otherwise granted by the Commission Chair: Staff - 5 minutes; Applicant - 10 minutes; Public speakers - 2 minutes each.**

All written materials - including petitions, legal analysis and other documents - should be submitted at least 10 days prior to the public hearing, ensuring presentation at the EPC Study Session. The EPC strongly discourages submission of written material at the public hearing. Except in extraordinary circumstances, the EPC will not consider written materials submitted at the hearing. In the event the EPC believes that newly submitted material may influence its final decision, the application may be deferred to a subsequent hearing.

NOTE: ANY AGENDA ITEMS NOT HEARD BY 8:30 P.M. MAY BE DEFERRED TO ANOTHER HEARING DATE AS DETERMINED BY THE PLANNING COMMISSION.

1. **Call to Order.**

- A. Announcement of Changes and/or Additions to the Agenda
- B. Approval of the Amended Agenda

2. **Project # 1002792***

03EPC-02034 EPC Site Development Plan-Subdivision
03EPC-02035 EPC Site Development Plan-Building Permit
03EPC-02036 Zone Map Amendment
03EPC-02037 EPC Sector Development Plan

GEORGE RAINHART ARCHITECTS & ASSOCIATES agent(s) for Trust of Albert & Mary Black request the above action(s) for all or a portion of Tract(s) 14A & 14B, **Black Ranch**, from SU-1 for C-1 & Restaurant with full service liquor & SU-1 for O-1 to SU-1 for C-1 & Restaurant with full service liquor and SU-1 for O-1 located on Coors Boulevard., between 7 Bar Loop Road and Alameda Boulevard NW, containing approximately 10 acre(s). (B-14) Deborah Stover, Staff Planner

3. **Project # 1000631***

03EPC-02042 EPC Site Development Plan-Subdivision
03EPC-02043 EPC Site Development Plan-Building Permit

GEORGE RAINHART ARCHITECT & ASSOCIATES agent for JEROME BETTMAN request the above actions for all or a portion of Tracts A2B and B1, **Jeannedale Unit 5**, zoned SU-3, located at the northeast corner of UPTOWN BLVD. and AMERICAS PARKWAY NE, containing approximately 5 acres. (H-18) Carmen Marrone, Staff Planner

4. **Project # 1002779***

03EPC-01061 Annexation
03EPC-02049 Zone Map Amendment

MARK GOODWIN & ASSOCIATES agents for WESTLAND & COBA request the above action(s) for all or a portion of San Jose, Tracts A-1 & 2, and western portion of **Lands of Polo Chavez**, zoned A-1, located on COORS BLVD. SW, between EDUARDO ROAD SW and ARENAL SW, containing approximately 8 acres. (M-11) Elvira Lopez, Staff Planner

5. **Project # 1000163***

03EPC-02053 EPC Site Development Plan-Building Permit

CLAUDIO VIGIL ARCHITECTS agent for SUMNER PEDIATRIC HEALTH SERVICES request the above action for all or a portion of Lot D, **La Cueva Village**, zoned C-2 (SC), located on CARMEL AVE. NE, between WYOMING NE and BARSTOW NE, containing approximately 1 acre. (C-19) Carmen Marrone, Staff Planner

6. Project # 1002529*

03EPC-02058 Zone Map Amendment
03EPC-02059 EPC Site Development Plan-
Subdivision
03EPC-02060 EPC Site Development Plan-
Amendment to Building Permit

CONSENSUS PLANNING, INC. agent(s) for RANDY EASTBURG, CAS, LLC request the a zone map amendment for all or a portion of Tracts 6-B and for Lots 1, 3, 4, from RD to SU-1 for C-1 Permissive Uses and for Lot 2 from RD to SU-1 for C-1 Permissive Uses and Auto Sales and Storage and also for Lot 5 from RD to to SU-1 for O-1 Permissive Uses, **Black Ranch Partition**, and a site plan for subdivision for all the above and site plan for building permit for Lot 2 only, located on COORS BLVD. NW, between WESTSIDE DR. NW and THE CALABACILLAS ARROYO, containing approximately 6 acres. (B-13) Makita Hill, Staff Planner

7. Project # 1003125*

03EPC-02054 EPC Site Development Plan-
Subdivision

CONSENSUS PLANNING, INC. agent(s) for RANCH JOINT VENTURE request the above action(s) for all or a portion of Tract(s) D F < and a portion of S >, **Lands of Double Eagle II Airport**, zoned SU-1 for Airport Related Uses, located on DOUBLE EAGLE II AIRPORT, between PASEO DEL VOLCAN and NORTH OF SHOOTING RANGE, containing approximately 300 acre(s). (F-5) Chris Hyer, Staff Planner

8. Project # 1003126

03EPC-02055 EPC Site Development Plan-
Subdivision
03EPC-02057 EPC Site Development Plan-
Building Permit

ADVANCED ENGINEERING AND CONSULTING LLC agents for SCOTT HAUQUITZ request the above action(s) for all or a portion of Tract(s) 45-B, **MRGCD Map 29**, zoned SU-1 for IP Uses, located on EDITH BLVD. NE, between OSUNA ROAD NE and TYLER St. NE, containing approximately 7 acre(s). (E-15) Deborah Stover, Staff Planner

9. Project # 1002196

03EPC-02048 Zone Map Amendment

GARCIA/KRAEMER & ASSOCIATES agents for TAFAZZUL HUSSAIN ETAL request the above action(s) for all or a portion of Tract(s) 1-B, **Town of Atrisco Grant Unit 6**, a zone map amendment from SU-1 Mobile Home Park to R1, located on CORRIGIDOR DR. SW, between SUNSET GARDENS RD. SW and SALVADOR RD. SW, containing approximately 6 acres. (K-11) Elvira Lopez, Staff Planner

10. Project # 1000931

03EPC-02038 EPC Site Development Plan-
Subdivision
03EPC-02039 Zone Map Amendment

DAC ENTERPRISES, INC. agent for PETE DASKALOS PROPERTIES request the above actions for all or a portion of Tracts 1C, **Seville Addn**, a zone map amendment from SU-1 Church & Related Facilities to SU-1 for C-1 Uses, located on UNIVERSE NW, between IRVING BLVD. NW and WESTSIDE BLVD. NW, containing approximately 9 acres. (A-10) Carmen Marrone, Staff Planner

11. Project # 1003128

03EPC-02061 Zone Map Amendment
03EPC-02062 EPC Sector Development Plan

CONSENSUS PLANNING, INC. agent(s) for BANDELIER PROPERTIES request the above action(s) for all or a portion of Lot(s) 1-5, Tract 5, Unit A, Block 11, **North Albuquerque Acres**, a zone map amendment from RD to C-1, located on PASEO DEL NORTE NE, between LOUISIANA BLVD. NE and SAN PEDRO BLVD. NE, containing approximately 4 acre(s). (D-18) Elvira Lopez, Staff Planner

12. Project # 1002943

03EPC-01469 Zone Map Amendment
03EPC-02046 EPC Site Development Plan-
Building Permit

GARCIA/KRAEMER & ASSOCIATES agent(s) for DAVID & SANDRA MOLLOHAN & BOB & MARY COC request the above action(s) for all or a portion of Lots 16 & 17, Block 26, **East End Addition**, a zone map amendment from R-1 to SU-1 for C-1 Uses, located on VIRGINIA NE, between LOMAS NE and MARBLE NE, containing approximately .34 acre. (J-19) Juanita Vigil, Staff Planner **(DEFERRED FROM DECEMBER 18, 2003)**

13. Project # 1003102

03EPC-01925 Zone Map Amendment
03EPC-01929 EPC Site Development Plan-
Building Permit

DEKKER/PERICH/SABATINI agent(s) for SM & R G ROUP request the above actions for all or a portion of Lots 12, 14, **Replat of Ferrari Esquibel-Palmer Sec 23**, a zone map amendment from SU-1 PRD 22 DU/ac & Office to SU-1 for PRD 22 du/ac, office, C-1 Retail (excluding auto parts and supply sales, drive-up restaurants, liquor sales, gasoline sales, hardware and building material sales), car wash, and restaurant, located on JUAN TABO NE, between MONTGOMERY BLVD. NE & LAGRIMA DE ORO NE, containing approx. 2 acres. (F-21) Makita Hill, Staff Planner **(DEFERRED FROM DECEMBER 18, 2003)**

14. Project # 1002624

03EPC 00935 EPC Site Development
Plan for Subdivision
03EPC-02050 EPC Site Development
Plan-Building Permit

DEKKER/PERICH/SABATINI agents for NEW DAY YOUTH & FAMILY SERVICES request the above action(s) **Within Section 36, Township 10N, Range 3E**. Zoned SU-1 for Short Term Shelter, located on RIDGECREST DR. SE, between SAN PEDRO SE and LOUISIANA BLVD. SE, containing approximately 10 acres. (M-18) Juanita Vigil, Staff Planner **(DEFERRED FROM DECEMBER 18, 2003)**

15. Project # 1003097

03EPC-01908 EPC Sector Development
Plan
03EPC-01909 Zone Map Amendment
03EPC-01910 EPC Site Development
Plan-Subdivision

DAC ENTERPRISES, INC., agent for DIAMOND SHAMROCK, request the above actions for all or a portion of Lot 1-C, **El Rancho Atrisco Phase III**, zoned RD, located on LADERA DRIVE NW, between COORS BLVD. NW and MARKET ST. NW, containing approximately 1 acre. (H-9) Simon Shima, Staff Planner **(DEFERRED FROM DECEMBER 18, 2003)**

16. Project # 1001370

03EPC-01062 Annexation
03EPC-01920 Zone Map Amendment
03EPC-01922 EPC Site Development
Plan-Subdivision

MARK GOODWIN & ASSOCIATES, PA agents for JUAN TABO HILLS LLC & OTHERS request the above action(s) for and W/2-SW/4&W/2-E/2-SW/4, Sec. 34, T.10 N, R 4E and SE/4-SE/4, SEC.33, T.10 N, R.4E, and E/2-SE/4-NE/4 (AKA Tract B), Sec. 33, T.10N, R 4E, **NE/4 SE/4, SEC 33, T.10N, R 4E**, zoned County A-1 & RD, located on JUAN TABO BLVD. NE, between EUBANK BLVD. NE and FOUR HILLS ROAD NE, containing approximately 327 acres. (M-21) Chris Hyer, Staff Planner **(DEFERRED FROM DECEMBER 18, 2003)**

17. Project # 1000575

03EPC-01661 EPC Site Development
Plan-Amendment to Building Permit

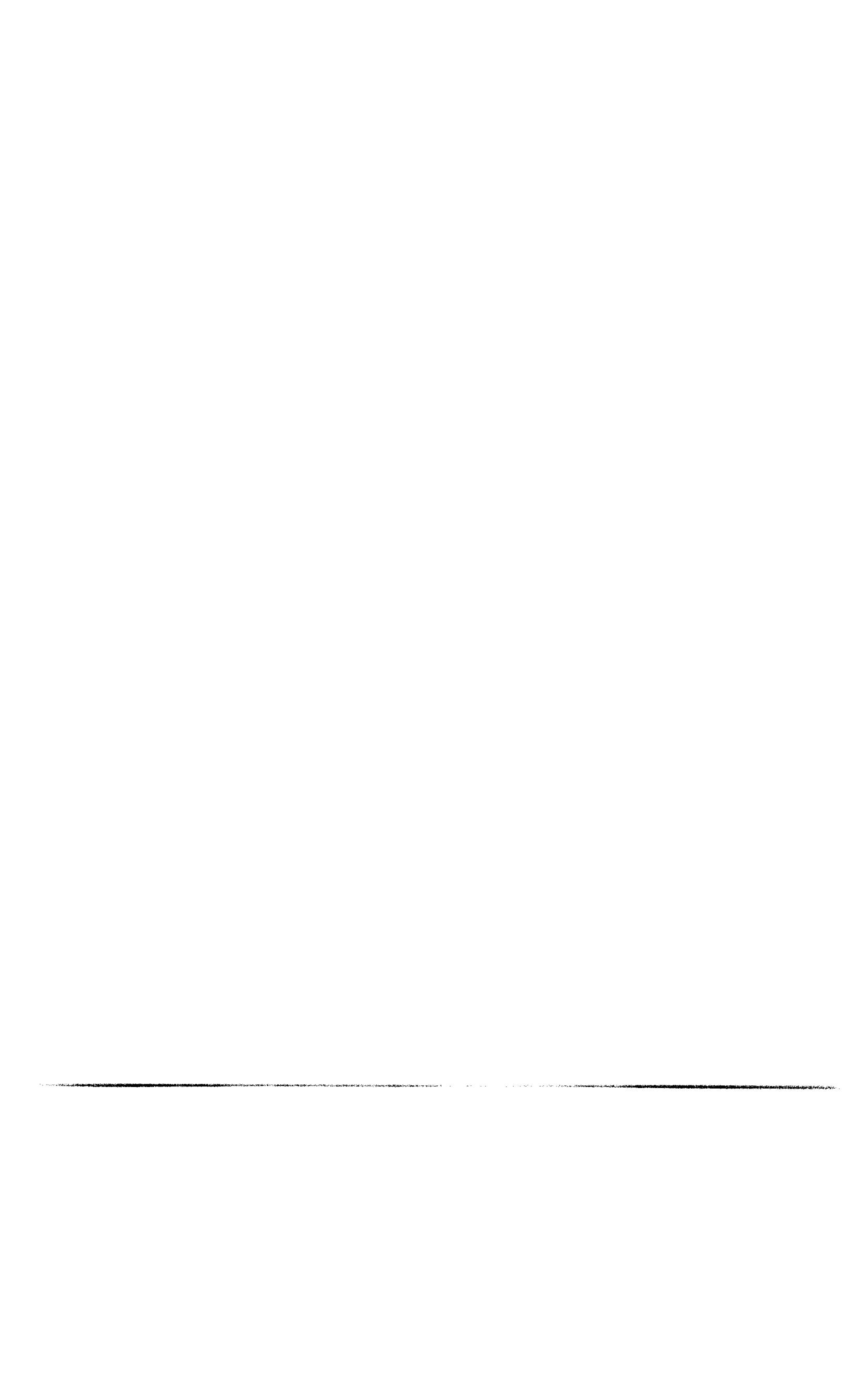
DEKKER/PERICH/SABATINI agents for PRESBYTERIAN HEALTHCARE SERVICES request the above action(s) for all or a portion of Tract(s) 1-9, **Presbyterian Hospital Main Campus**, zoned SU-1 SU-2 Hospital & Related Uses, located on CENTRAL SE, between OAK SE and SYCAMORE SE, containing approximately 27 acres. (K-15) Carmen Marrone, Staff Planner **(DEFERRED FROM DECEMBER 18, 2003)**

18. Project # 1001712

03EPC-00323 Annexation
03EPC-00325 Zone Map Amendment
03EPC-00361 Site Development Plan for
Subdivision

TIERRA WEST LLC agent(s) for E. BLAUGRUND & ASSOC., C/O JOHN MYERS request the above action(s) for all or a portion of Lot(s) A, B, C, **Taylor Ranch**, zone map amendment from A-1 SU-Permit for C-1 & R-2 to R-T & SU-1 for C-1, located on LA ORILLA ROAD NW, between VIA CORTE DEL SUR NW and COORS BLVD. NW, containing approximately 16 acre(s). (E-12) Chris Hyer, Staff Planner **(DEFERRED FROM NOVEMBER 20, 2003)**

19. OTHER MATTERS



Staff Report

Agenda Number: 10
Project Number: 1000931
Case Number: 03EPC 02038 & 02039
January 15, 2004

Agent	DAC Enterprises, Inc.
Applicant	Pete Daskalos Properties
Requests	Zone Map Amendment; Site Plan for Subdivision
Legal Desc.	Lot 1C, Seville Addition
Location	northeast corner of Universe and Irving Boulevard NW
Size	Approximately 9 acres
Existing Zoning	SU-1/Church & Related Facilities and O-1/R-2 Permissive Uses
Proposed Zoning	SU-1/C-1 Uses including Restaurants w/full service liquor and Liquor Sales for off-premise consumption ancillary to a full service grocery store

Staff Recommendation

**DENIAL of 03EPC 02039, Zone Map
Amendment, based on the findings on
page 10.**

**DENIAL of 03EPC 02038, Site Plan for
Subdivision, based on the findings on
page 12.**

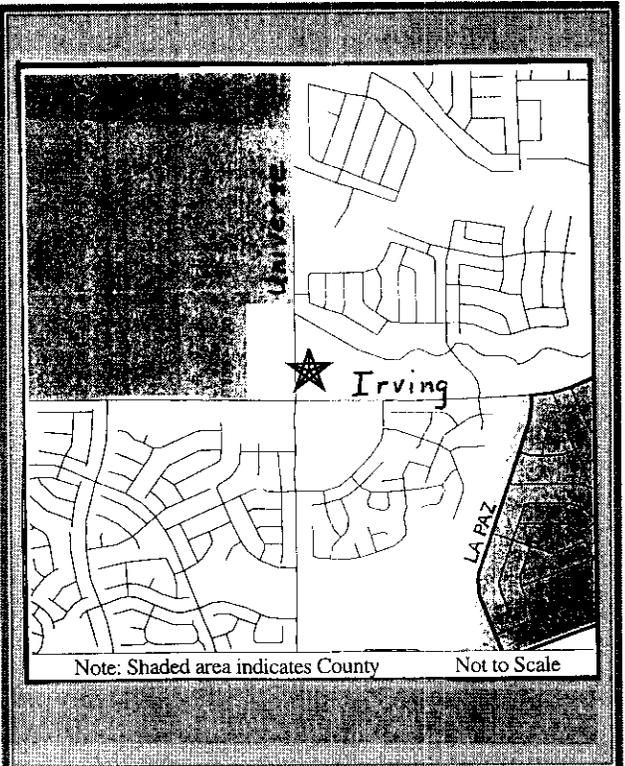
Staff Planner
Carmen Marrone

Summary of Analysis

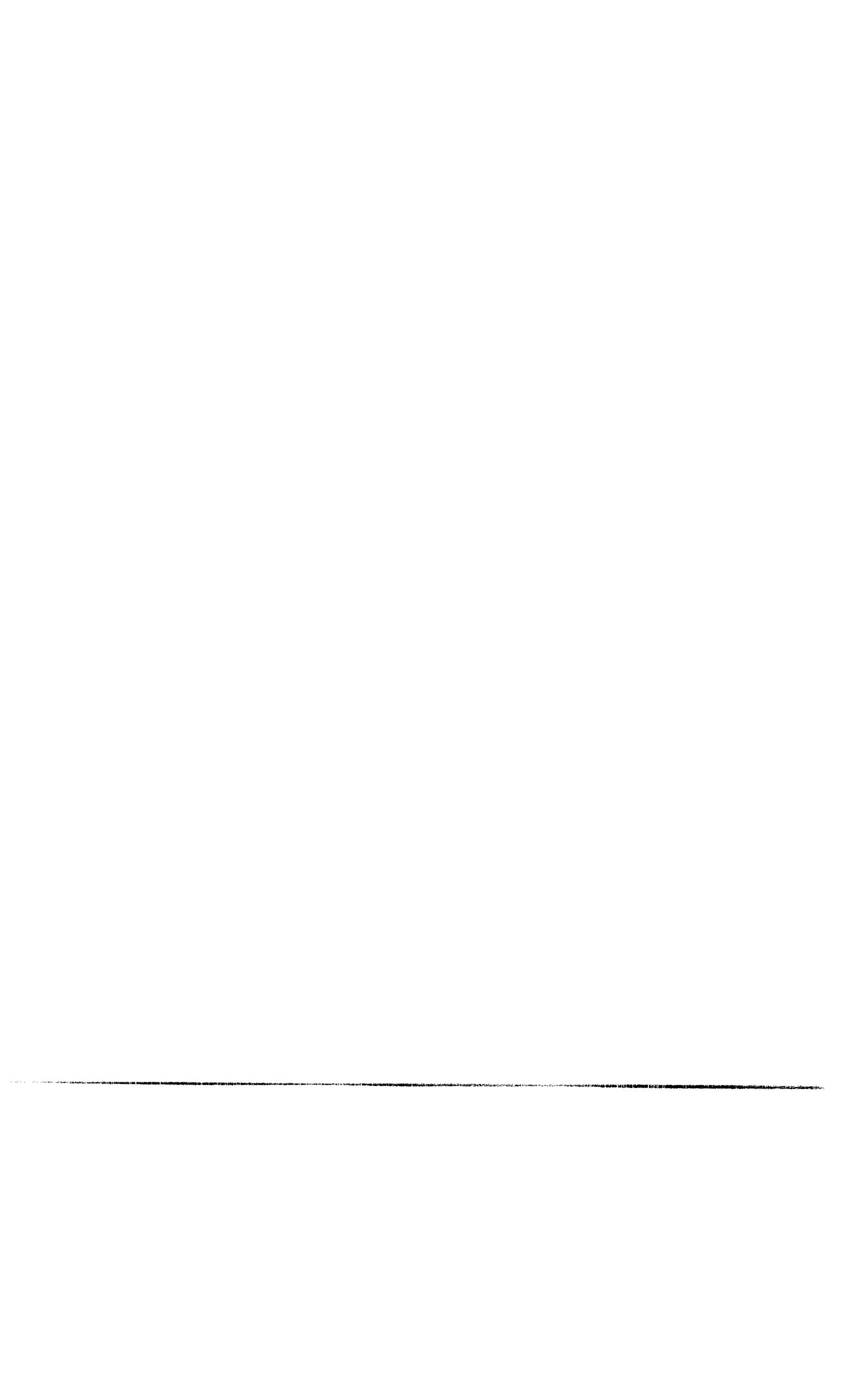
This is a request for a zone map amendment and a site plan for subdivision for approximately nine acres of land located at the northeast corner of Universe and Irving Boulevard NW. The subject site is part of a larger site (146 acres) that was rezoned in February 2001. In February 2001, a site plan for subdivision with accompanying design guidelines was also approved for the larger 146-acre site.

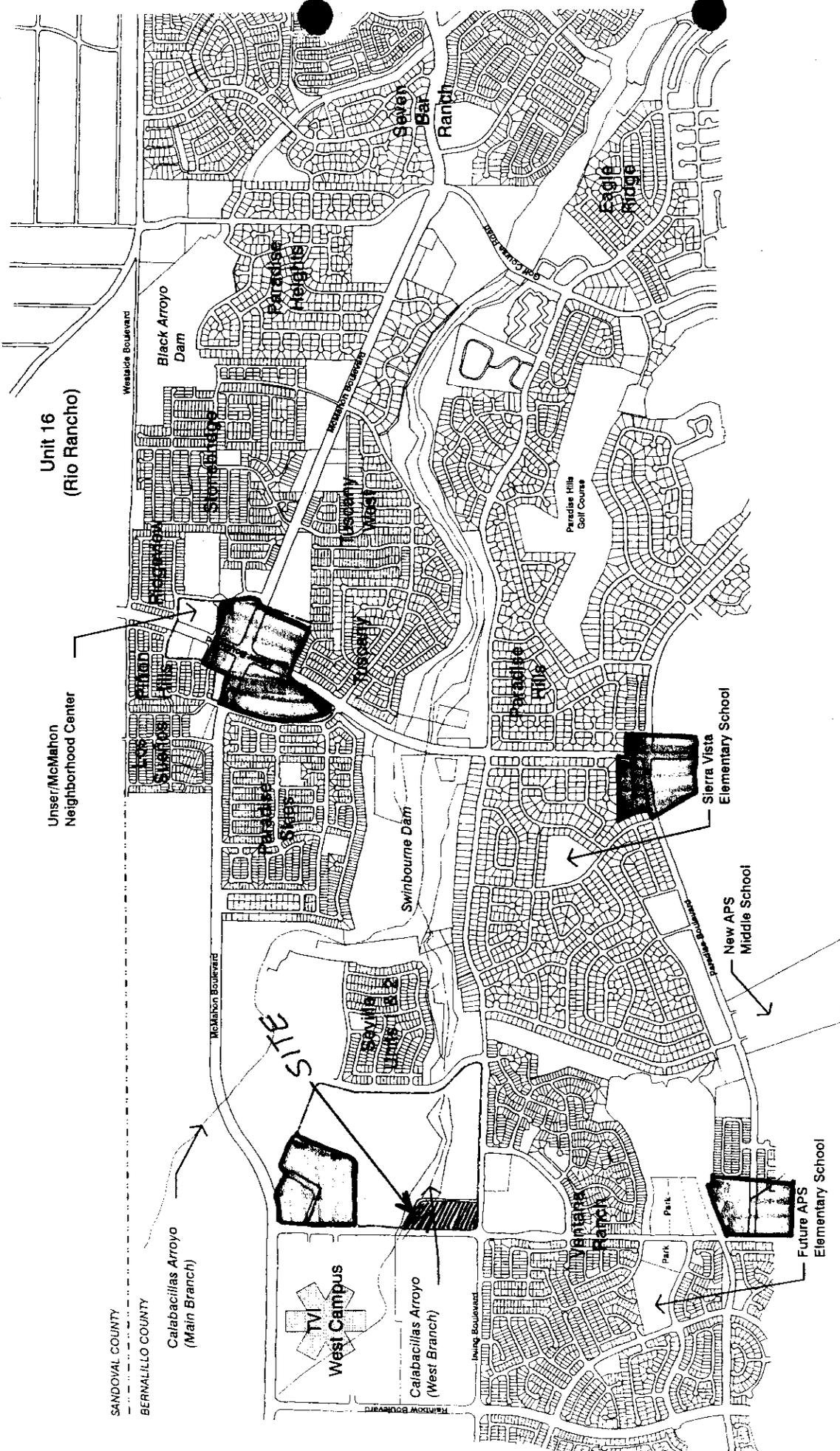
The request for zone map amendment and site plan for subdivision are in significant conflict with several important policies of the *Comprehensive Plan* and the *West Side Strategic Plan*. The requested zoning is also in conflict with the low/medium residential designation of the *Westside/McMahon Land Use and Transportation Guide*. The zone map amendment is not supported per *Resolution 270-1980* and the site plan for subdivision meets the definition of "strip commercial" as defined in the WSSP.

Staff recommends DENIAL of both requests.



City Departments and other interested agencies reviewed this application from 12/08/03 to 12/19/03.
Agency comments were used in the preparation of this report, and begin on page 14





SANDOVAL COUNTY
BERNALILLO COUNTY

Calabacillas Arroyo
(Main Branch)

TV
West Campus

Calabacillas Arroyo
(West Branch)

Unit 16
(Rio Rancho)

Unser/McMahon
Neighborhood Center

SITE

Swinbourne Dam

Black Arroyo
Dam

Paradise
Heights

Seven
Bar
Rancho

Paradise Hills
Golf Course

Eagle
Ridge

Sierra Vista
Elementary School

New APS
Middle School

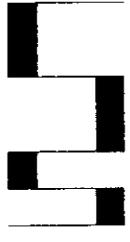
Future APS
Elementary School

AREA MAP

Seville Neighborhood Center



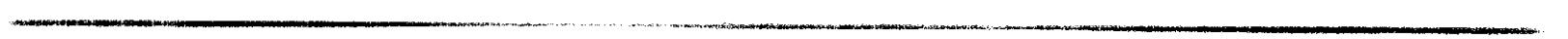
Neighborhood Center

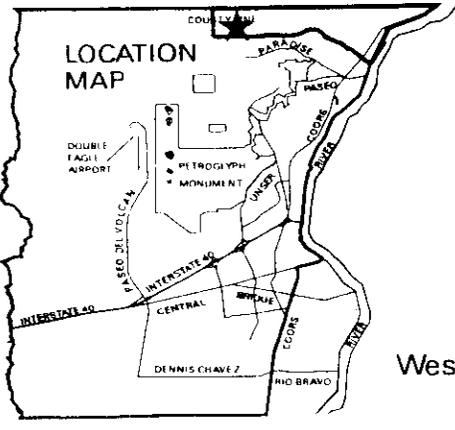
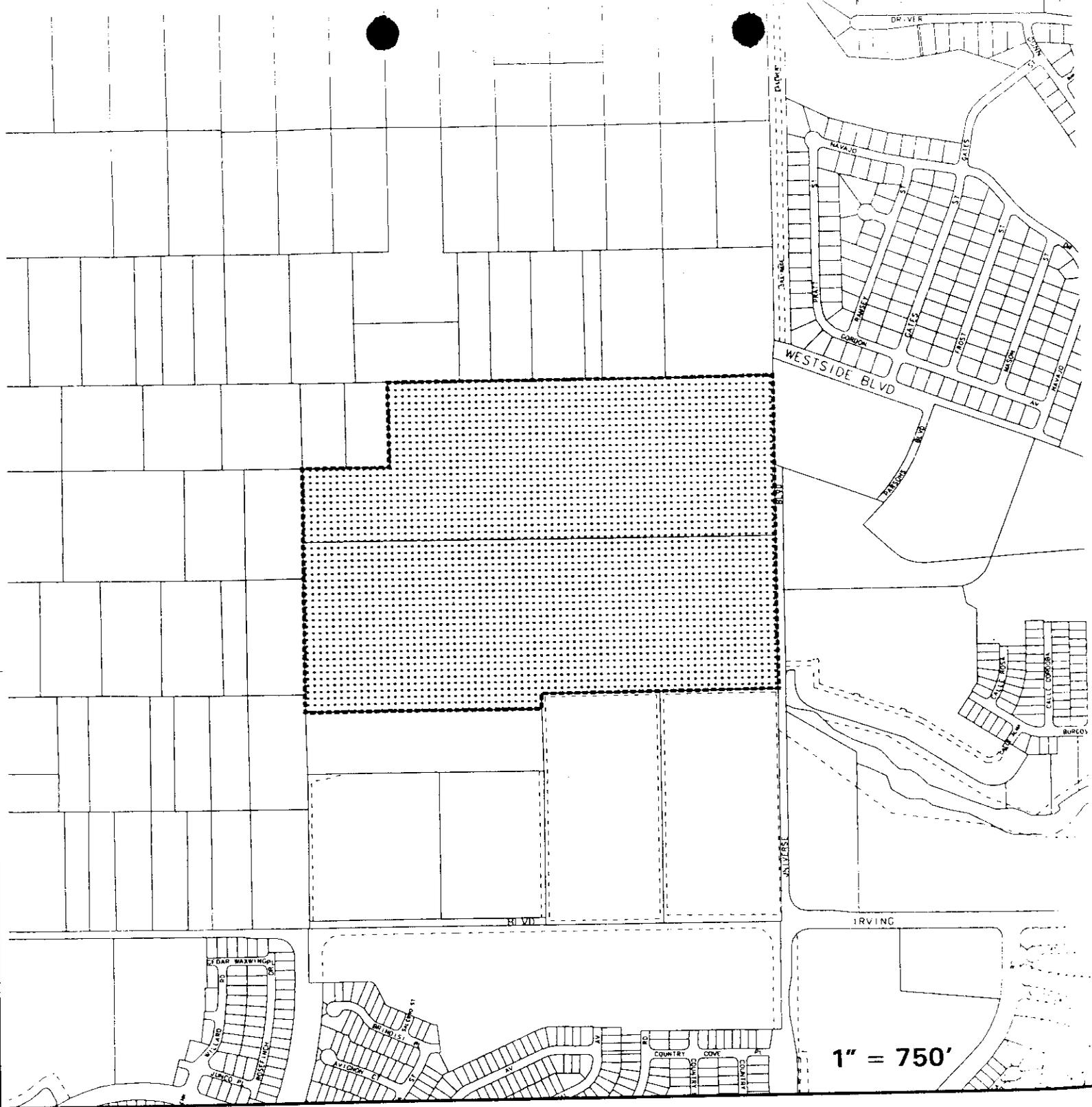


January, 2001

0 500 1000 2000 4000 feet

North



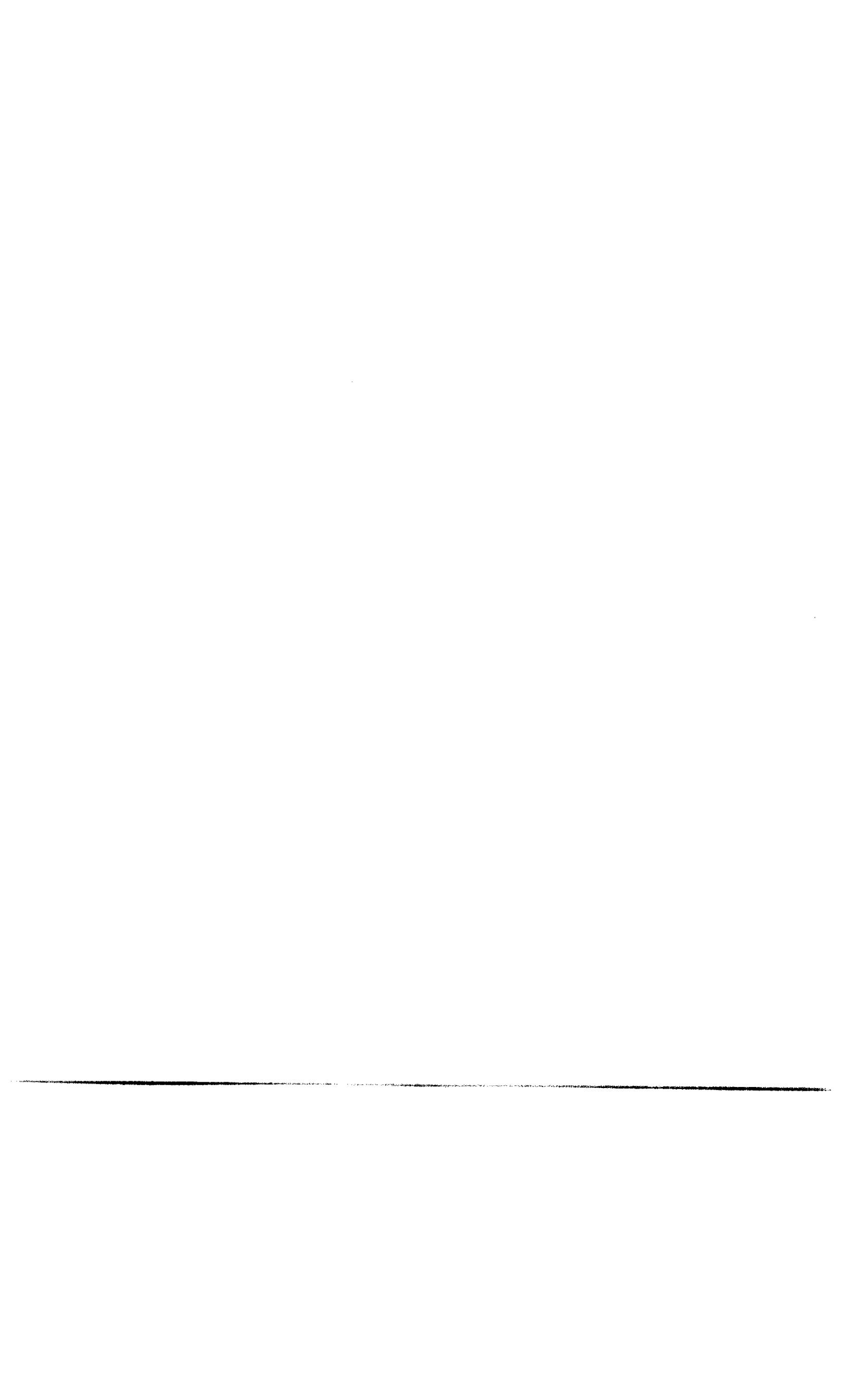


T-VI
COMMUNITY ACTIVITY CENTER
serving the SEVEN BAR COMMUNITY

West Side Strategic Plan

Map printed January 13, 2003





Development Services Report

SUMMARY OF REQUEST

Requests	<i>Zone Map Amendment and Site Plan for Subdivision</i>
Location	<i>northeast corner of Universe and Irving Boulevard NW</i>

AREA CHARACTERISTICS AND ZONING HISTORY

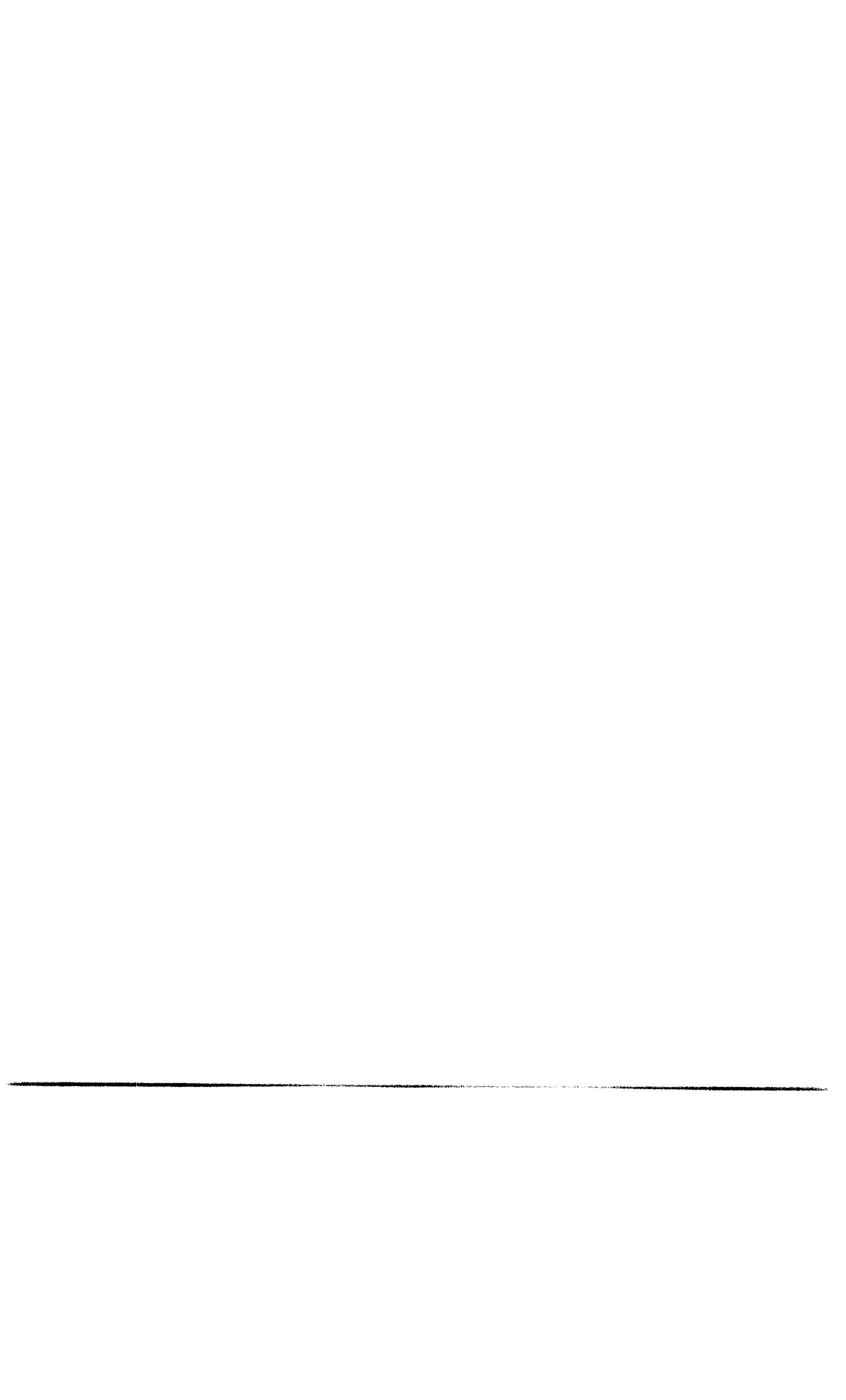
Surrounding zoning, plan designations, and land uses:

	Zoning	Comprehensive Plan Area; Applicable Rank II & III Plans	Land Use
Site	SU-1 for Church & Related Facilities/O-1/R-2 Uses	Established Urban Area; West Side Strategic Plan; Westside/McMahon Corridor Study	undeveloped
North	R-LT	same as above	residential development under construction
South	SU-1 for R-2 and SU-1 for Church & Related Facilities or R-2 Uses	same as above	undeveloped
East	R-LT	same as above	undeveloped
West	R-LT	same as above	undeveloped
Northwest	A-1 (County)	same as above	TVI Westside Campus

Background, History and Context

This is a request for a zone map amendment and a site plan for subdivision for approximately nine acres of land located at the northeast corner of Universe and Irving Blvd. NW. The subject site is surrounded by land that is mostly vacant but developing rapidly. A new TVI campus was recently constructed northwest of the site and Ventana Ranch, Phase I, a planned residential community, is near completion to the south and southwest. The site is located at the intersection of two arterials, Irving and Universe and abuts the Calabacillas Arroyo on the north.

In February 2002, the EPC approved a zone map amendment for approximately 146 acres that included the subject site (*Project #1000931*). The site was rezoned from R-1 to SU-1 for Church and Related Facilities to include O-1 and R-2 Uses. The zoning action also included the rezoning of approximately 20 acres north of the site, at the southeast corner of Universe and McMahon NW, to SU-1 for C-1 Uses and the rezoning of approximately 117 acres north and



east of the subject site to R-LT. The EPC found that the 20-acre parcel at the southeast corner of Universe and McMahon met the criteria for the establishment of a new Neighborhood Center per Policy 1.9 of the *West Side Strategic Plan* (p. 39) and requested that the *West Side Strategic Plan* be amended to designate this corner as a Neighborhood Center. A letter dated January 30, 2001 was submitted to the City Council requesting such action (see attached). This action, however, never occurred as part of the 2002 amendments to the *West Side Strategic Plan*.

Associated with the 2001 zone map amendment, the EPC also approved a request for site plan for subdivision along with associated Design Guidelines that control the subject site. To date, the site plan for subdivision has not received final sign off by the DRB.

APPLICABLE PLANS AND POLICIES

Albuquerque / Bernalillo County Comprehensive Plan

The subject site is located in the area designated Established Urban by the *Comprehensive Plan* with a Goal to "create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment." Applicable policies include:

Policy 5a: The Established and Developing Urban areas as shown by the plan map shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

Policy 5d: The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

Policy 5e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods and can be ensured.

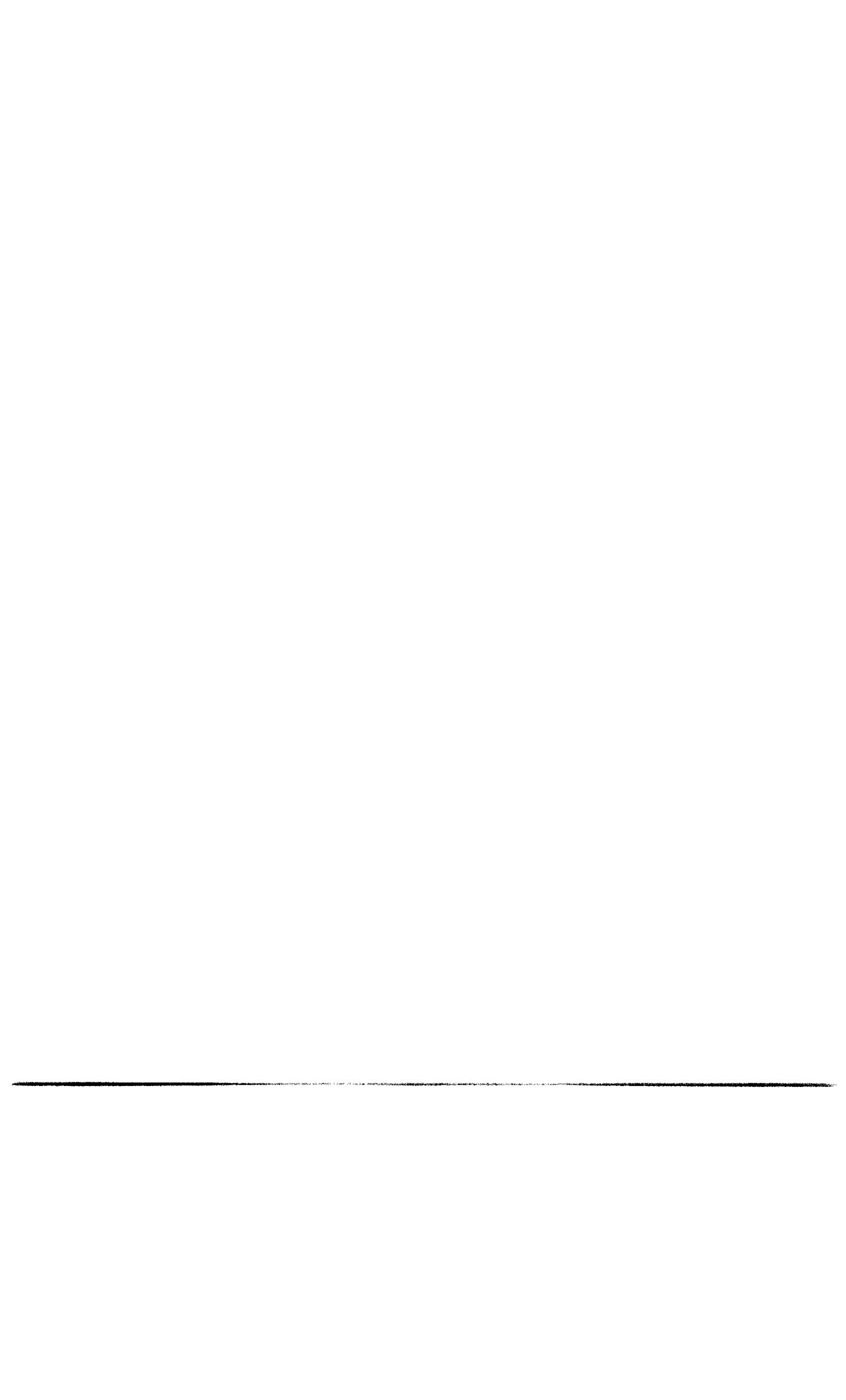
Policy 5g: Development shall be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.

Policy 5i: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

Policy 5j: Where new commercial development occurs, it should generally be located in existing commercially zoned areas as follows:

- In small neighborhood-oriented centers provided with pedestrian and bicycle access within reasonable distance of residential areas for walking or bicycling.

Policy 5k: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.



Policy 5l: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

Policy 5m: Urban and site design which maintains and enhances unique vistas and improved the quality of the visual environment shall be encouraged.

West Side Strategic Plan, Rank 2 Area Plan

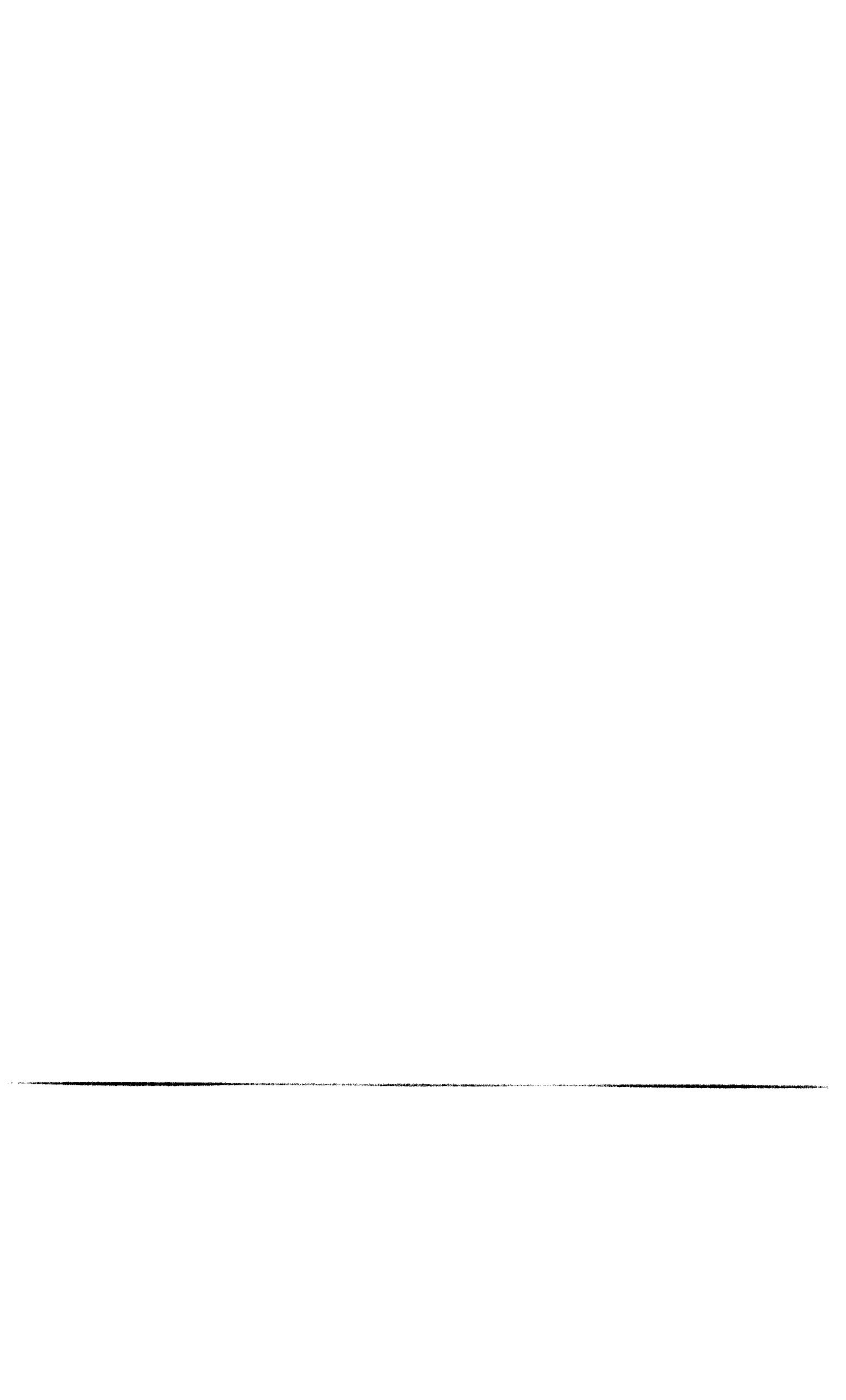
The *West Side Strategic Plan* (WSSP) was first adopted in 1997 and recently amended in 2002 (R-01-278). The WSSP is based on a Community Concept that identifies thirteen communities in the plan area. Each Community is comprised of Neighborhood Activity Centers and Community Activity Centers. The WSSP describes uses that are desirable in each type of Center and contains policies to facilitate the development of these Centers. The WSSP emphasizes throughout its text the concept of commercial development in cluster configurations in contrast to the traditionally evolved strip commercial development. Applicable policies include the following:

Policy 1.1: Thirteen distinct communities, as shown on the community plan and described individually in this plan, shall constitute the existing and future urban form of the West Side. Communities shall develop with areas of higher density (in community and neighborhood centers), surrounded by areas of lower density. Bernalillo County and the City of Albuquerque Planning Commission shall require that high density and non-residential development occur within Community and Neighborhood Centers. Low-density residential development (typical 3-5 du/acre subdivisions, or large lot rural subdivisions) shall not be approved within the centers.

Policy 1.3: Strip commercial developments shall not be approved on the West Side. Commercial development shall occur in concentrated clustered areas rather than new strip developments. Zone changes to commercial, industrial, or office uses for areas outside the centers are strongly discouraged, in order to reinforce the Neighborhood and Community Centers. Changes of commercial and office zoning outside the centers to residential use is encouraged. This policy is meant to impact the design and layout of commercial areas and their connections to adjacent development and to encourage clustering of commercial and office uses in activity centers. It is not intended to rezone allowed commercial uses.

Policy 1.9: In the Established and Developing Urban areas mapped by the Albuquerque/Bernalillo County *Comprehensive Plan*, future neighborhood and community centers may be designated and developed at appropriate locations, determined as follows:

- Market Area – Community Centers should be located to serve a primary service area of about 30,000 people within approximately a three mile radius of the center; neighborhood centers should be located to serve approximately 15,000 population within about one mile radius of the center. Uses typical of community centers would likely be accessed on a weekly basis, whereas those in a neighborhood center might be used almost daily.
- Access/Connections – Community Centers shall be easily accessible by automobile, located at the intersections of at least one major and one minor arterial street, and connected to public transit service as well as the community-wide trail/bikeway network. Neighborhood Centers should be less automobile oriented, located on minor arterial and/or collector streets,



and connected to public transit service as well as informal pedestrian and bicycle ways. Both community and neighborhood centers shall be very accommodating to the pedestrian even within predominately off-street parking areas.

- Scale – Community Centers shall be composed of blocks with buildings well connected by sidewalks and public spaces like plazas. Shared parking, through mainly off-street, should be encouraged, and larger parking areas may be divided into smaller ones or used for structured parking and/or additional active land uses. Neighborhood centers should also have small blocks, but with small clusters of shared parking as well as on-street parking. Both community and neighborhood centers shall have outdoor areas that encourage gathering; both shall include bicycle parking and both shall provide safe pedestrian connection among buildings and between buildings and parking areas. In the Reserve Area mapped by the *Comprehensive Plan*, neighborhood and center Plans for new Planned Communities must be provided by the developer/owner according to the Planned Community Guideline requirement.
- Location – A major facility or employer located in a manner which creates a focus and stimulus to economic and social activity may also be a reason for designating a new center.

The subject site is located within the Seven Bar Ranch Community Area of the WSSP. This community lies between the Calabacillas Arroyo and the Bernalillo County line, and between the Rio Grande and an area slightly west of the Rainbow Boulevard corridor. *Policy 3.4*, page 51, of the Seven Bar Ranch Community area states the following: “Several clusters of neighborhoods will develop within the Seven Bar Ranch Community. Each of these shall be served by a Neighborhood Center, so neighborhood commercial, public and quasi-public uses, and other uses appropriate for such Centers shall be encouraged...”

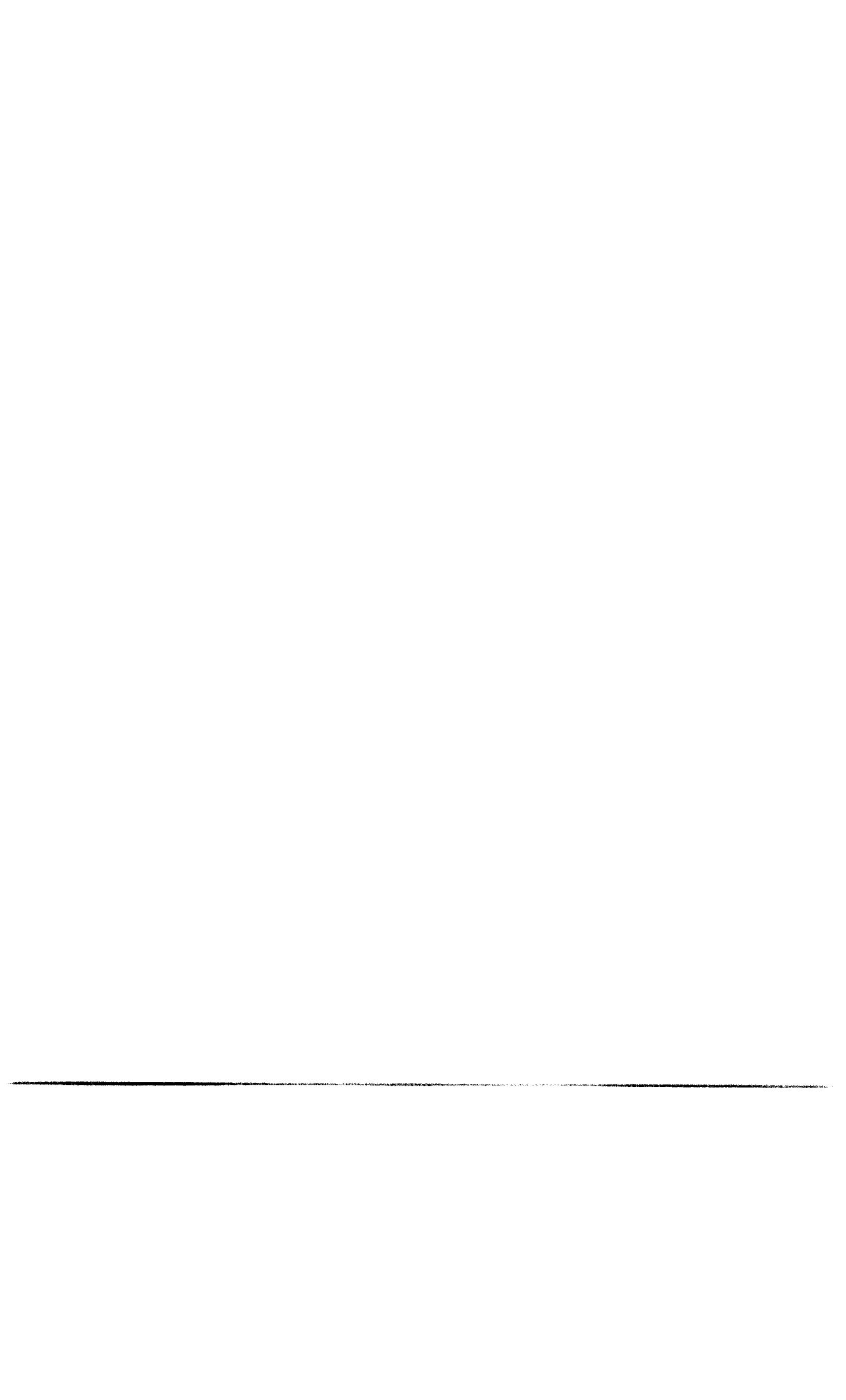
Westside-McMahon Land Use and Transportation Guide

In 1999, the City Council adopted the Westside-McMahon Land Use and Transportation Guide to establish more specific land use and transportation policies for a large portion of the Seven Bar Ranch Community. This Land Use and Transportation Guide has been synthesized into a map (Attachment A) which is part of the WSSP. The Attachment A map designates the subject site as low/medium residential. Low density residential is defined as less than 7 dwelling units per acre while medium density is defined as 7 to 15 dwelling units per acre.

Per the Attachment A map, neighborhood-scale commercial development is proposed at the intersection of McMahon and Universe, 1,000 feet north of the subject site.

Resolution 270-1980 (Policies for Zone Map Change Applications)

This Resolution outlines policies and requirements for deciding zone map change applications pursuant to the Comprehensive City Zoning Code. There are several tests that must be met and the applicant must provide sound justification for the change. The burden is on the applicant to show why a change should be made, not on the City to show why the change should not be made.



The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: there was an error when the existing zone map pattern was created; or changed neighborhood or community conditions justify the change; or a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan.

Long Range Roadway System

The Long Range Roadway System map designates Universe Boulevard as a Study Corridor containing a Minor Arterial, with a right-of-way of 86'.

The Long Range Roadway System map designates Irving Boulevard as a Minor Arterial, with bicycle lanes.

According to Policy 6.24 of the *West Side Strategic Plan*, "all arterials shall have bike lanes..." The City Engineer may require up to six additional feet of right-of-way adjacent to the property on Universe Boulevard and Irving Boulevard to accommodate the designated bike lanes.

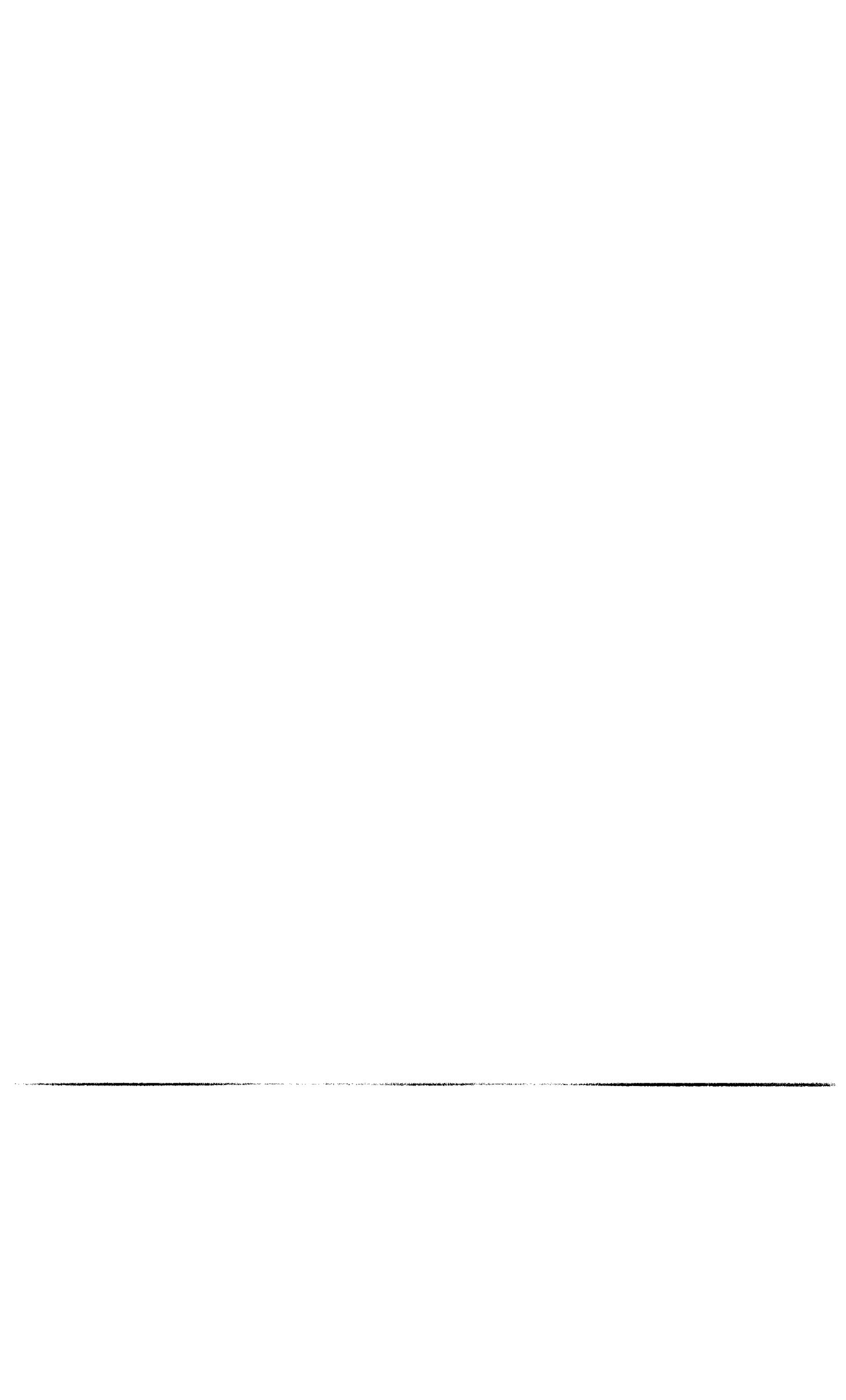
ANALYSIS - ZONE MAP AMENDMENT

Conformance to Adopted Plans, Policies, and Ordinances

This is a request for a zone map amendment from SU-1 for Church and Related Facilities and O-1 and R-2 Permissive Uses to SU-1 for C-1 Uses including restaurants w/ full service liquor and liquor sales for off premise consumption ancillary to a full service grocery store. The current zoning was established in February of 2001 (*Project #1000931*) as part of a larger rezoning action for approximately 146 acres surrounding the subject site. When the current zoning was established, the EPC found that the southeast corner of McMahan and Unser was also appropriate as a future Neighborhood Activity Center and that the subject site was appropriate for church and related uses given that the site is designated "low/medium residential" per the Westside/McMahan Land Use and Transportation Guide.

Comprehensive Plan

The applicant cites several policies from the Comprehensive Plan to support the request for zone change including Transportation and Economic Policies. The applicant states that the proposed zoning will support Land Use Policy i by providing a transition between the residential development east of the site and the TVI campus west of the site. The TVI campus is a designated Community Activity Center, however, the only uses proposed within the boundary of this Center are institutional uses related to TVI. The applicant is requesting SU-1 for C-1 uses to include liquor sales that are not allowed as Permissive Uses under the C-1 zone. The proposed zone will allow uses that are more intense than the uses proposed within the TVI campus and therefore, will not provide a transition between residential development to the east and the TVI campus to the west. Instead, the current zoning, SU-1 for Church and Related Uses to include O-1 and R-2 Permissive Uses will provide a better transition as found by the EPC on February 15, 2001, Project #1000931.



Furthermore, the request is not supported by Policy j for Established Urban areas which states that new commercial development should generally occur in existing commercially zoned areas such as small neighborhood-oriented centers. The request is also in conflict with Land Use Policy h for Activity Centers (p.II-35) by proposing new commercial development outside of designated Activity Centers. Proposed commercial development on the subject site will erode the chances of developing the surrounding Neighborhood Centers to their full potential.

West Side Strategic Plan

The WSSP emphasizes the concept of commercial development in cluster configurations in contrast to the traditionally evolved strip commercial development. The request for commercial zoning is in conflict with Policy 1.1 of the WSSP that requires that "...high density and non-residential development occur within Community and Neighborhood Centers." There are two Neighborhood Centers north and south of the subject site. One is approximately 1,000 feet north of the site on Universe Blvd. (Seville Neighborhood Center, 25 acres) and the other is approximately one mile south of the site on Universe Blvd. (Ventana Square, 30 acres).

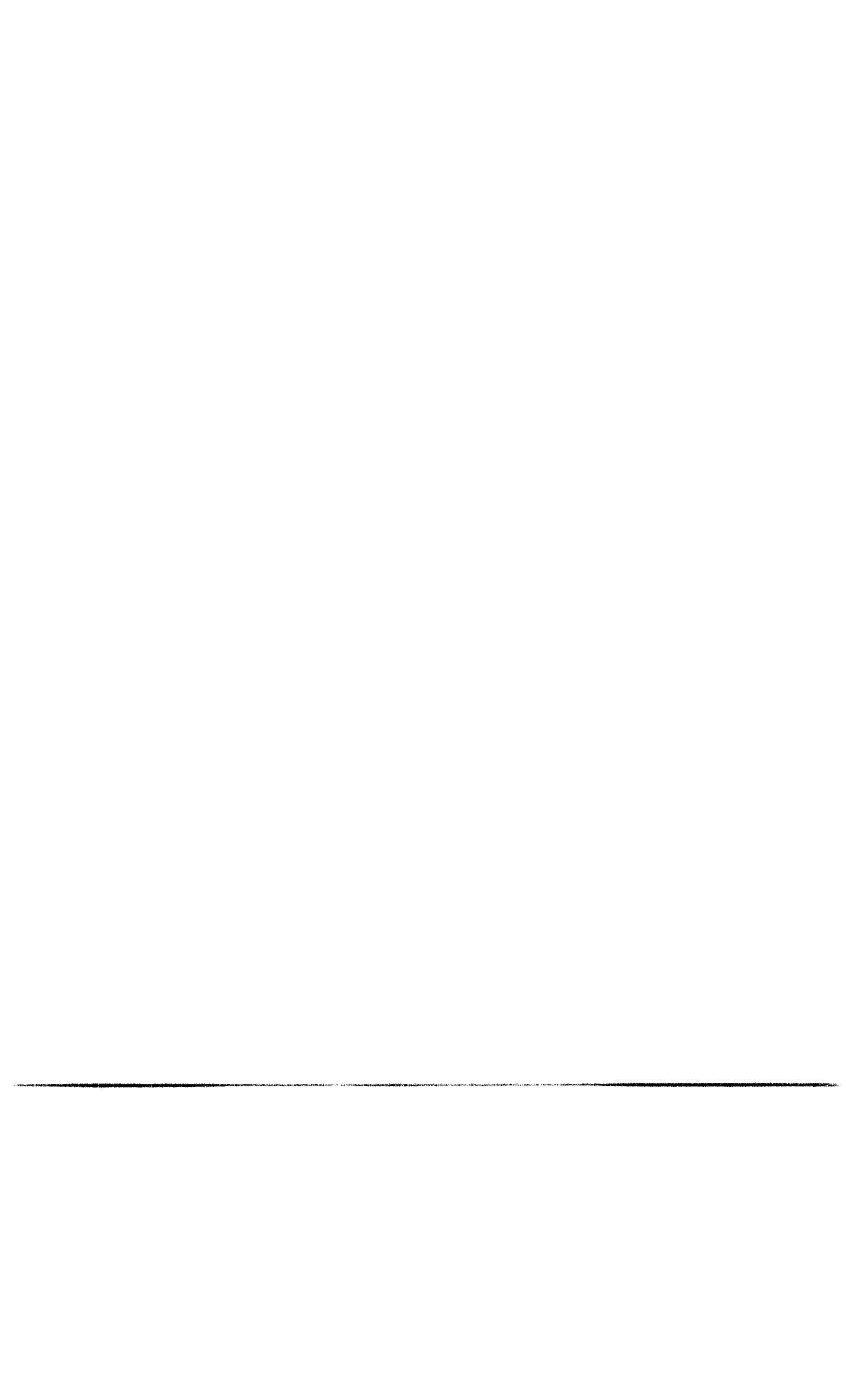
The request for commercial zoning is also in conflict with Policy 1.3 of the WSSP that states, "Commercial development shall occur in concentrated clustered areas rather than new strip developments. Zone changes to commercial uses for areas outside the centers are strongly discouraged, in order to reinforce the Neighborhood and Community Centers." This policy is meant to encourage clustering of commercial and office uses in activity centers. The requested zoning will impact future development of designated Neighborhood Centers in the area and will result in strip commercial development that is strongly discouraged in the WSSP.

Westside-McMahon Land Use and Transportation Guide

The subject site is designated "low/medium residential" in the Westside-McMahon Land Use and Transportation Guide (Guide). In February 2001, Project #1000931, the EPC found that the current zoning, SU-1 for Church and Related Facilities and O-1/R-2 Permissive Uses, was appropriate under the "low/medium residential" designation of the Guide. The proposed zoning would allow Permissive and Conditional uses of the C-1 zone including liquor sales for off-premise consumption that is first allowed in the C-2 zone. These uses are not compatible with the "low/medium residential" designation of the Guide and are much more intense than what the Guide recommends for the site.

Resolution 270-1980

This Resolution outlines policies and requirements for deciding zone map change applications. The burden is on the applicant to show why a change should be made, not on the City to show why the change should not be made. The applicant argues that the rapid growth of the residential component of the area as well as the opening of TVI and the likelihood of increased density adjacent to the proposed development constitutes changed neighborhood conditions that justify the zone change. While the recent development of the TVI campus is considered a changed condition that affects the entire surrounding area, the applicant does not demonstrate why the current zoning is inappropriate due to the recent development of the TVI campus.



The applicant further states that the proposed zoning will be more advantageous to the community, as articulated in Policy a of the Economic Development section of the *Comprehensive Plan*, because the uses allowed under the proposed zone will provide much needed retail services for both the neighborhood and TVI and will mitigate the need of the TVI campus to provide for such services. Staff finds that the proposed zoning will not be more advantageous to community as the applicant suggests because the additional commercial zoning will impede development of the already designated Community and Neighborhood Centers in the area and will result in a strip commercial development that is discouraged under Land Use Policy h under Activity Centers of the *Comprehensive Plan* and Policy 1.3 of the WSSP. The proposed zoning will result in the destabilization of land use and zoning (Policy B) and some of the uses allowed under the proposed zone may be harmful to adjacent residentially zoned property (Policy E).

The zone change request is considered "strip zoning" according to Policy J of *R-270-1980* because the proposed zone is different from surrounding zoning and because the site is a strip of land along a street. Strip commercial zoning may be approved only where:

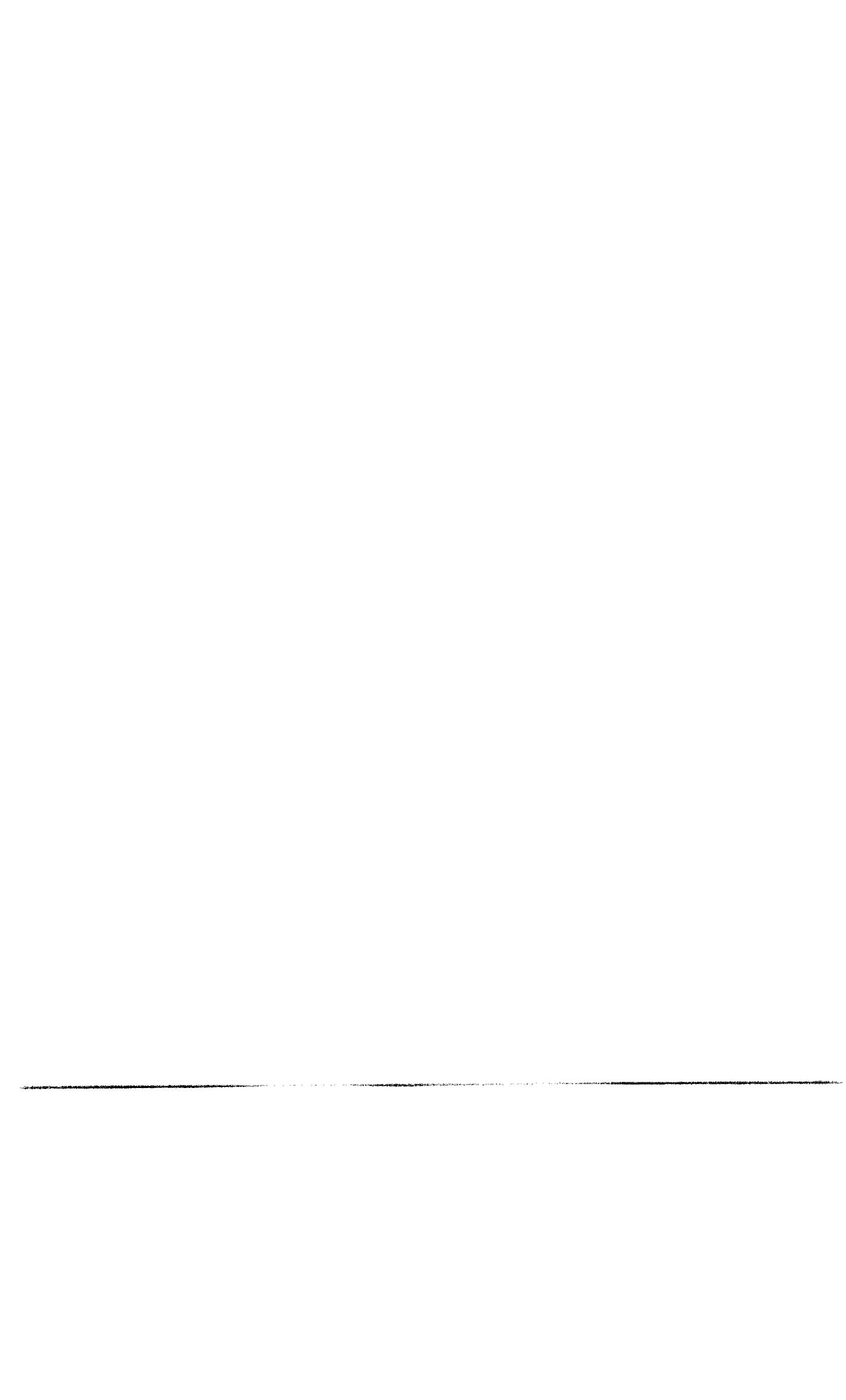
1. the change will clearly facilitate realization of the *Comprehensive Plan* and any other adopted plans, and
2. the area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zoned or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.

Strip commercial zoning is not justified on the site because it will be in conflict with Land Use Policy h of the *Comprehensive Plan* and Policy 1.3 of the WSSP. The proposed zone will not function as a transition between adjacent residential zoning to the east and the TVI campus to the west because the zone will allow uses that are more intense than the uses proposed on the TVI campus.

ANALYSIS – SITE PLAN FOR SUBDIVISION

The Zoning Code defines a Site Plan for Subdivision as a plan at a scale of at least 1 inch to 100 feet which covers at least one lot and specifies: the site, proposed use, pedestrian and vehicular ingress and egress, any internal circulation requirements and, for each lot, maximum building height, minimum building setback, and maximum total dwelling units and/or nonresidential uses/maximum floor area ratio. In addition to the Zoning Code requirements, the inclusion of design guidelines for future site development plans for building permit is strongly recommended. The applicant has included a set of Design Guidelines that are meant to supplement the already approved design guidelines for the larger 146-acre site plan for subdivision. The supplementary guidelines should be made part of the current submittal.

The submittal is at a scale of 1" = 80' which does not meet the requirements of the Zoning Code. The applicant proposes to retain the existing platting and will not be creating any new lots. The submittal indicates a linear shopping center with a large anchor store (grocery) at the north end of the site. Two smaller pads are proposed adjacent to Universe Boulevard – a drive-up bank



and a restaurant. Total square footage of all the buildings is 400,425 square feet, which amounts to an F.A.R. of .30. The Design Guidelines indicate that the maximum building height will be limited to 25-foot parapet heights for main building walls.

The layout of the site is in conflict with Policy 1.3 of the WSSP that discourages strip commercial developments on the West Side. Strip commercial is defined as "A long, narrow development style usually found along major thoroughfares with a series of commercial establishments. This style is characterized by a strip of buildings oriented solely toward the nearest roadway with no connection to adjacent land uses or neighborhoods. It is often no more than one lot deep, but extends for miles cumulatively and has a large parking lot adjacent to the major road." (WSSP p.293) The site is approximately 350 wide and 1,050 feet long at Universe Boulevard which lends itself to strip commercial development. Commercial development typically requires visibility from the street, ample parking in front of the building, signage to the street, etc. in order to make the site marketable. These marketing strategies limit the building layout, especially if the site is long and narrow (similar to the subject site). Church and office uses, on the other hand, can be more flexible with their design because marketing the site is not as crucial. Therefore, the subject site is more suitable for uses under the current zoning because building layout can be more flexible and because there is less of a chance that "strip" design will occur.

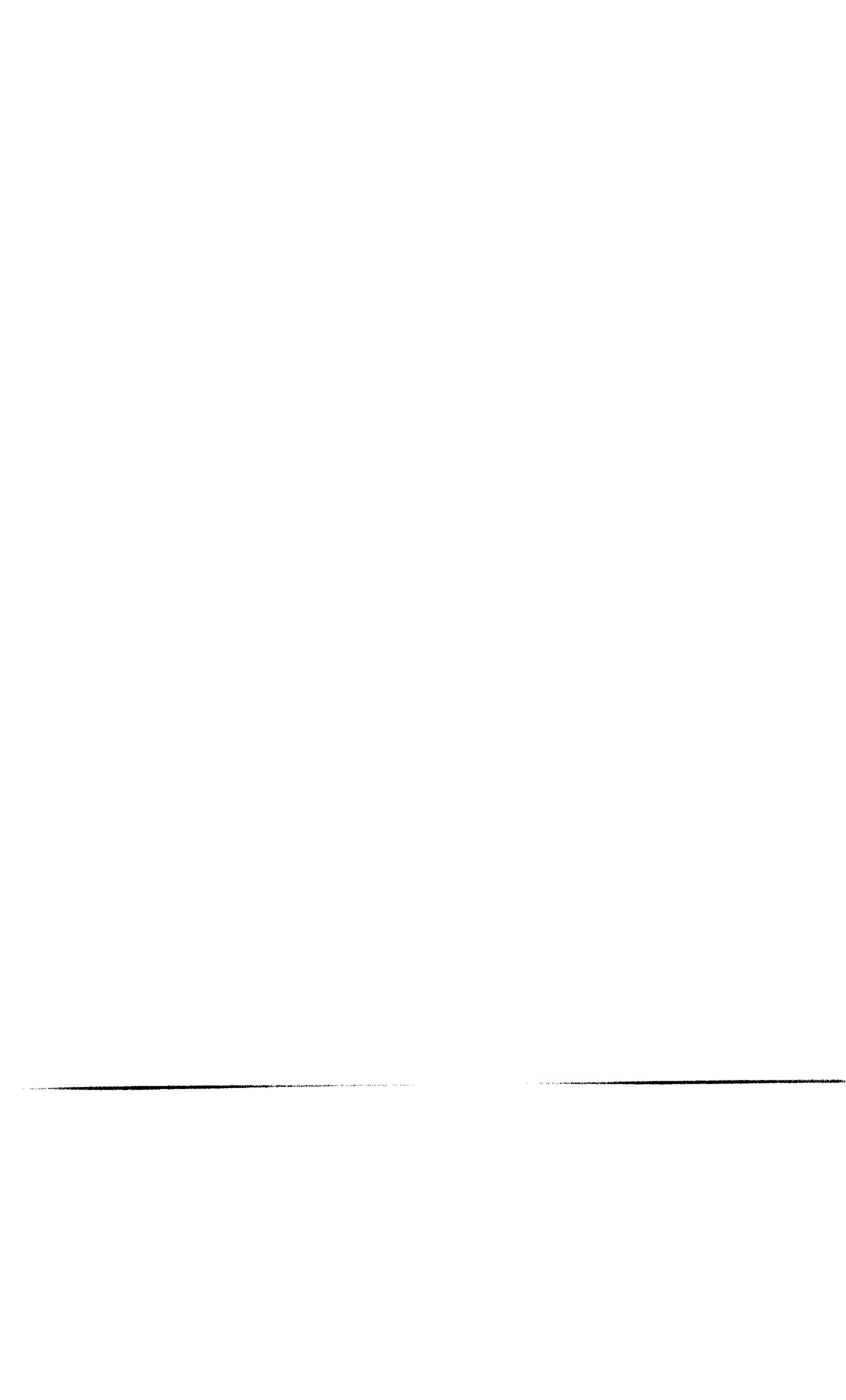
According to the Design Guidelines, the general architectural design of the shopping center and pad structures will be similar to the TVI campus buildings west of the site. Structures are to be predominately flat-roofed, however some small portions of the buildings are planned to have sloped roofs. The applicant anticipates that future site plans for building permits for each site will be delegated to Planning staff.

Vehicular Access: The submittal indicates three access points off of Universe Blvd. and one access point off of Irving Blvd. Access to the site must meet DPM requirements but may be modified by the Traffic Engineer depending on the results of the TIS.

Pedestrian Access: Pedestrian crossings of vehicle circulation areas will be a minimum of 6 feet in width and will consist of an alternative textured material and slightly raised. Provisions will be made for adequate pedestrian circulation with handicapped features within the site and to the adjacent streets. Unidirectional ramps will be provided at pedestrian sidewalks and entrances.

Concerns of Reviewing Agencies / Pre-Hearing Discussion

Commenting agencies do not express major concerns regarding the proposed zone map amendment and site plan for subdivision. The site is within the jurisdiction of New Mexico Utilities Inc. franchise area. Water, sanitary sewer, and fire protection services will depend on their system capabilities. AMAFCA comments that it appears that the delivery area on the site plan is encroaching within the Prudent Line of the Calabacillas Arroyo and special bank protection measures may be required.



Neighborhood Concerns

The Ventana Ranch Neighborhood Association was contacted regarding this request. No neighborhood comments have been received.

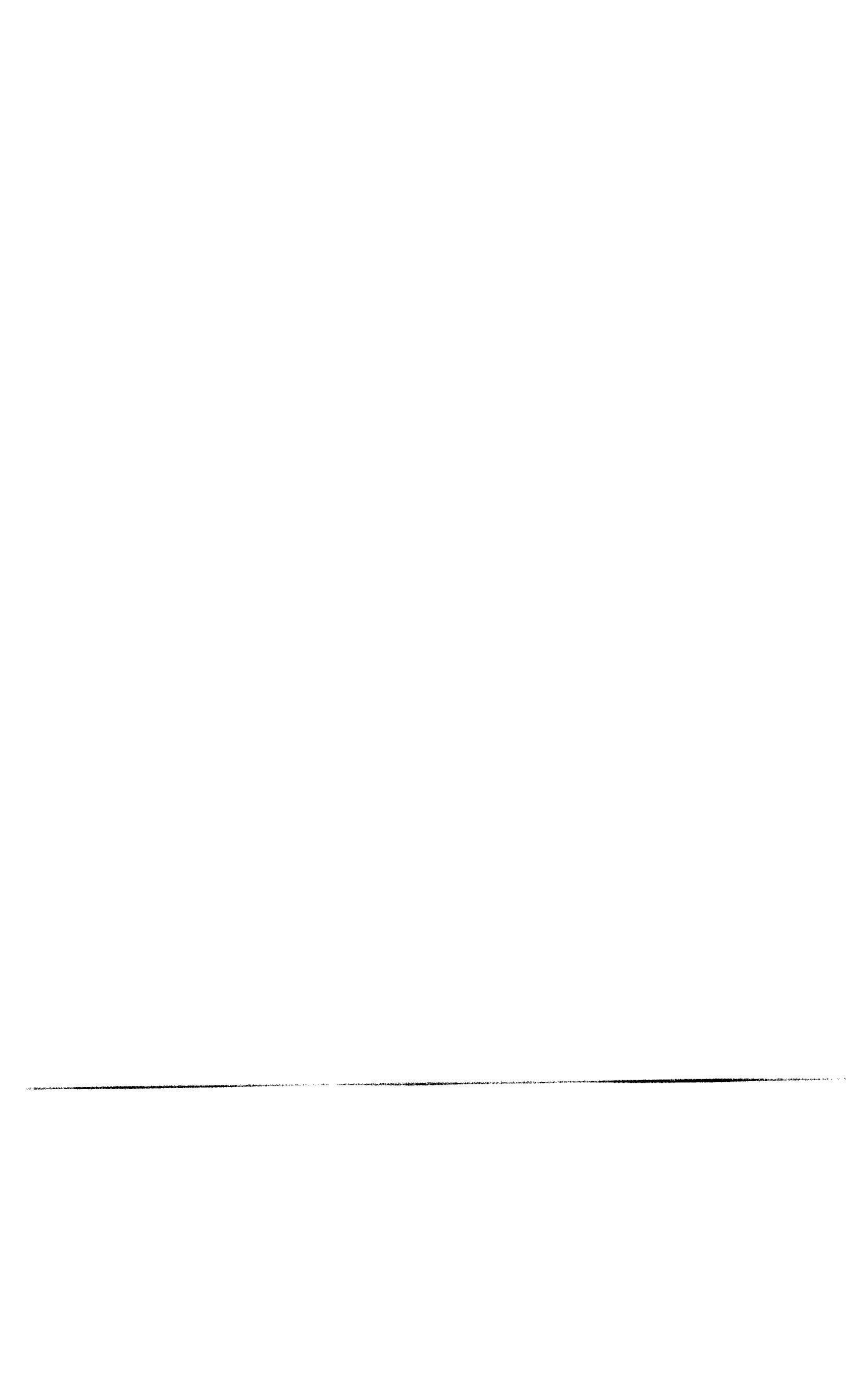
Conclusions

This is a request for a zone map amendment and a site plan for subdivision for approximately nine acres of land located at the northeast corner of Universe and Irving Boulevard NW. The applicant is requesting a zone change from SU-1 for Church and Related Facilities and O-1 and R-2 Permissive Uses to SU-1 for C-1 Uses including Restaurants w/full service liquor and Liquor Sales for off-premise consumption ancillary to a full service grocery store. The subject site is part of a larger site (146 acres) that was rezoned in February 2001. As part of the 2001 request involving the 146-acre parcel, the EPC also approved a site plan for subdivision with associated design guidelines that govern the subject site.

The request for zone map amendment is in conflict with several important policies of the Comprehensive Plan and the West Side Strategic Plan. The requested zoning is also in conflict with the low/medium residential designation of the Westside/McMahon Land Use and Transportation Guide. The applicant has not demonstrated why the current zoning is inappropriate due to changed conditions or why the proposed zoning will be more advantageous to the community, as required by Resolution 270-1980.

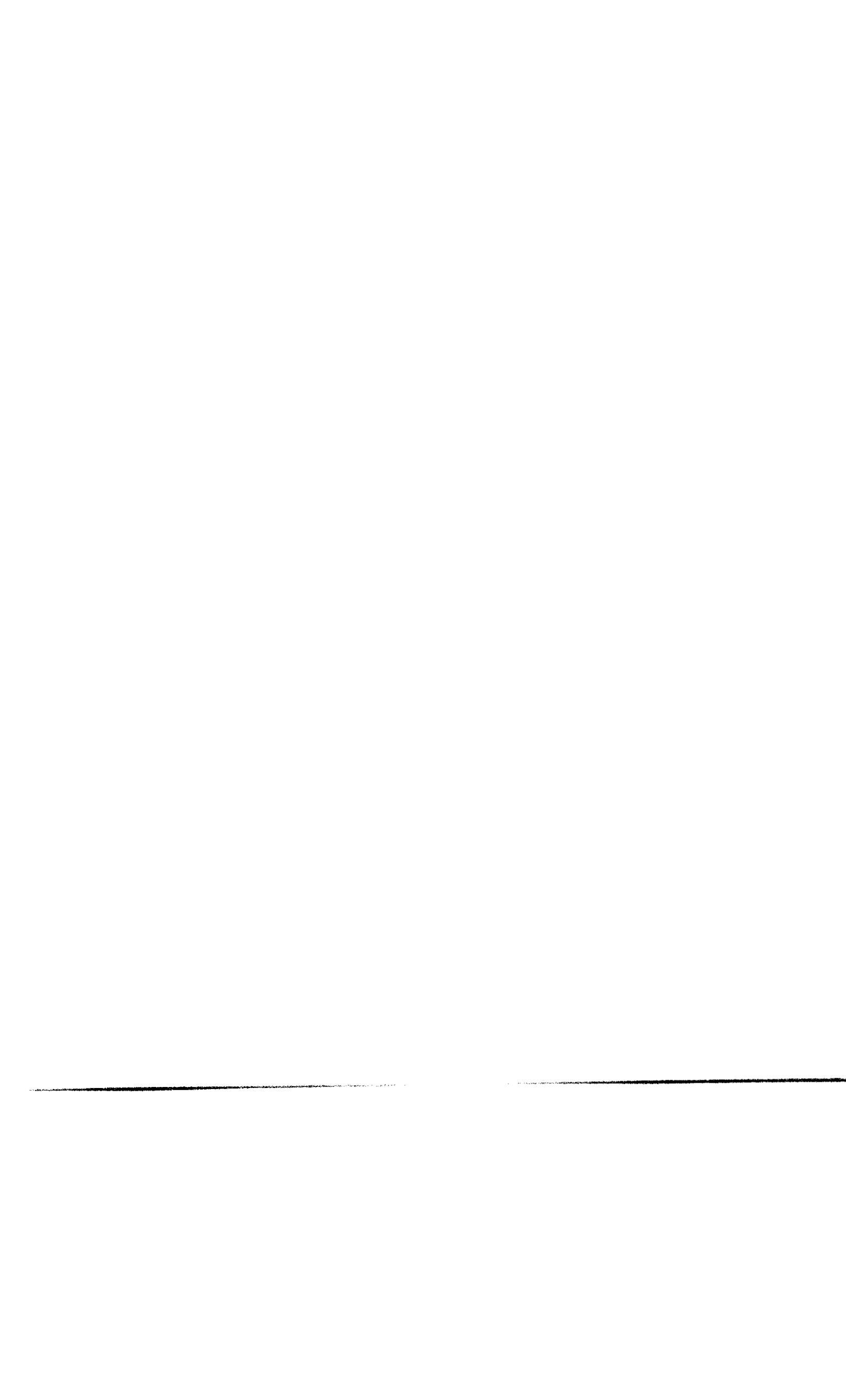
The site plan for subdivision indicates a strip commercial design that is in conflict with policies in the Comprehensive Plan and the West Side Strategic Plan.

Since both requests are inconsistent with applicable goals and policies of the Comprehensive Plan and the West Side Strategic Plan, staff recommends denial of both requests.

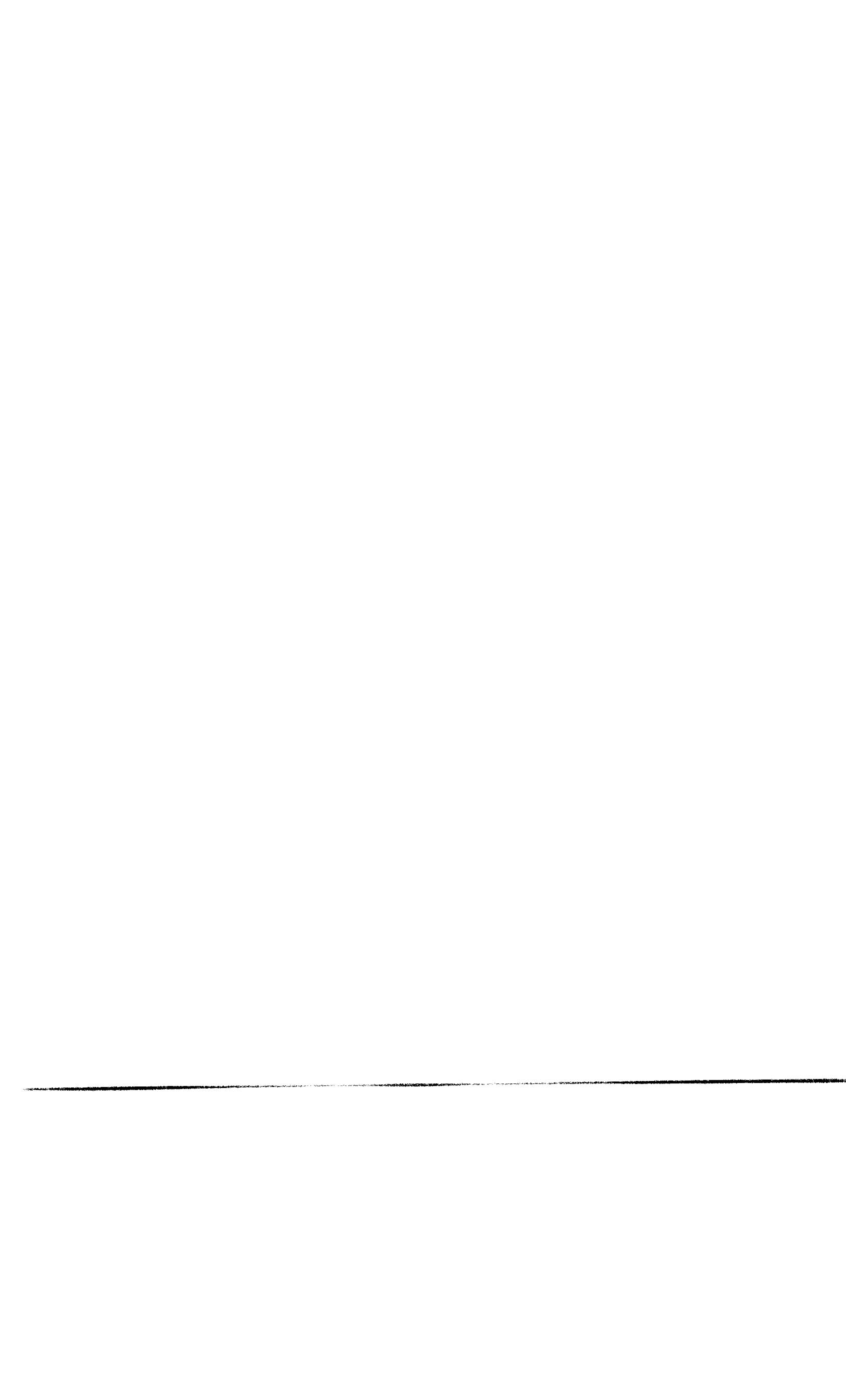


FINDINGS – 03EPC 02039, Zone Map Amendment, January 15, 2004

1. This is a request for a zone map amendment from SU-1 for Church and Related Facilities and O-1 and R-2 Permissive Uses to SU-1 for C-1 Uses including restaurants w/ full service liquor and liquor sales for off premise consumption ancillary to a full service grocery store for approximately 9 acres of land, legally described as Lot 1C, Seville Addition, located at the northeast corner of Universe and Irving Boulevard NW.
2. The current zoning was established in February of 2001 (*Project #1000931*) as part of a larger rezoning action for approximately 146 acres surrounding the subject site. When the current zoning was established, the EPC found that a 20-acre parcel at the southeast corner of McMahan and Unser, 1000 feet north of the subject site, met the criteria for the establishment of a new Neighborhood Activity Center.
3. The subject site is located in the area designated Established Urban by the *Comprehensive Plan*. The request is in conflict with Land Use Policy i because the proposed zoning will allow uses that are more intense than the uses proposed west of the site and therefore, will not provide a transition between residential development to the east and the TVI campus to the west.
4. The request is not supported by Policy j for Established Urban areas, which states that new commercial development should generally occur in existing commercially zoned areas such as small neighborhood-oriented centers.
5. The request is in conflict with *Comprehensive Plan* Land Use Policy h for Activity Centers by proposing new commercial development outside of designated Activity Centers.
6. The request for commercial zoning is in conflict with Policy 1.1 of the *West Side Strategic Plan (WSSP)* that requires "...high density and non-residential development occur within Community and Neighborhood Centers." There are two Neighborhood Centers north and south of the subject site. One is approximately 1,000 feet north of the site on Universe Blvd. (Seville Neighborhood Center) and the other is approximately one mile south of the site on Universe Blvd. (Ventana Square).



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7. Proposed commercial development on the subject site will detract from and erode the chances of developing the surrounding Neighborhood Centers to their full potential.
 8. The request for commercial zoning is in conflict with Policy 1.3 of the *WSSP* that states, "Commercial development shall occur in concentrated clustered areas rather than new strip developments. Zone changes to commercial uses for areas outside the centers are strongly discouraged, in order to reinforce the Neighborhood and Community Centers."
 9. The subject site is designated "low/medium residential" in the *Westside-McMahon Land Use and Transportation Guide* (Guide). In February 2001, Project #1000931, the EPC found that the current zoning, SU-1 for Church and Related Facilities/O-1/R-2 Permissive Uses, was appropriate under the "low/medium residential" designation of the Guide.
 10. The proposed zoning will not be more advantageous to the community per *R-270-1980* because the additional commercial zoning on the site will impede development of the already designated Community and Neighborhood Centers and will result in a strip commercial development that is discouraged under Activity Centers Policy h of the *Comprehensive Plan* and Policy 1.3 of the *WSSP*.
 11. The proposed zoning will result in the destabilization of land use and zoning (Policy B, *R-270-1980*) and some of the uses under the proposed zone may be harmful to adjacent residentially zoned property (Policy E, *R-270-1980*).
 12. The zone change request is considered "strip zoning" according to Policy J of *R-270-1980* because the proposed zone is different from surrounding zoning and because the site is a strip of land along a street.
 13. The accompanying site development plan for subdivision request (03EPC 02038) is not supported by Policy 1.3 of the *West Side Strategic Plan* because the site plan represents strip commercial development which is strongly discouraged on the West Side.

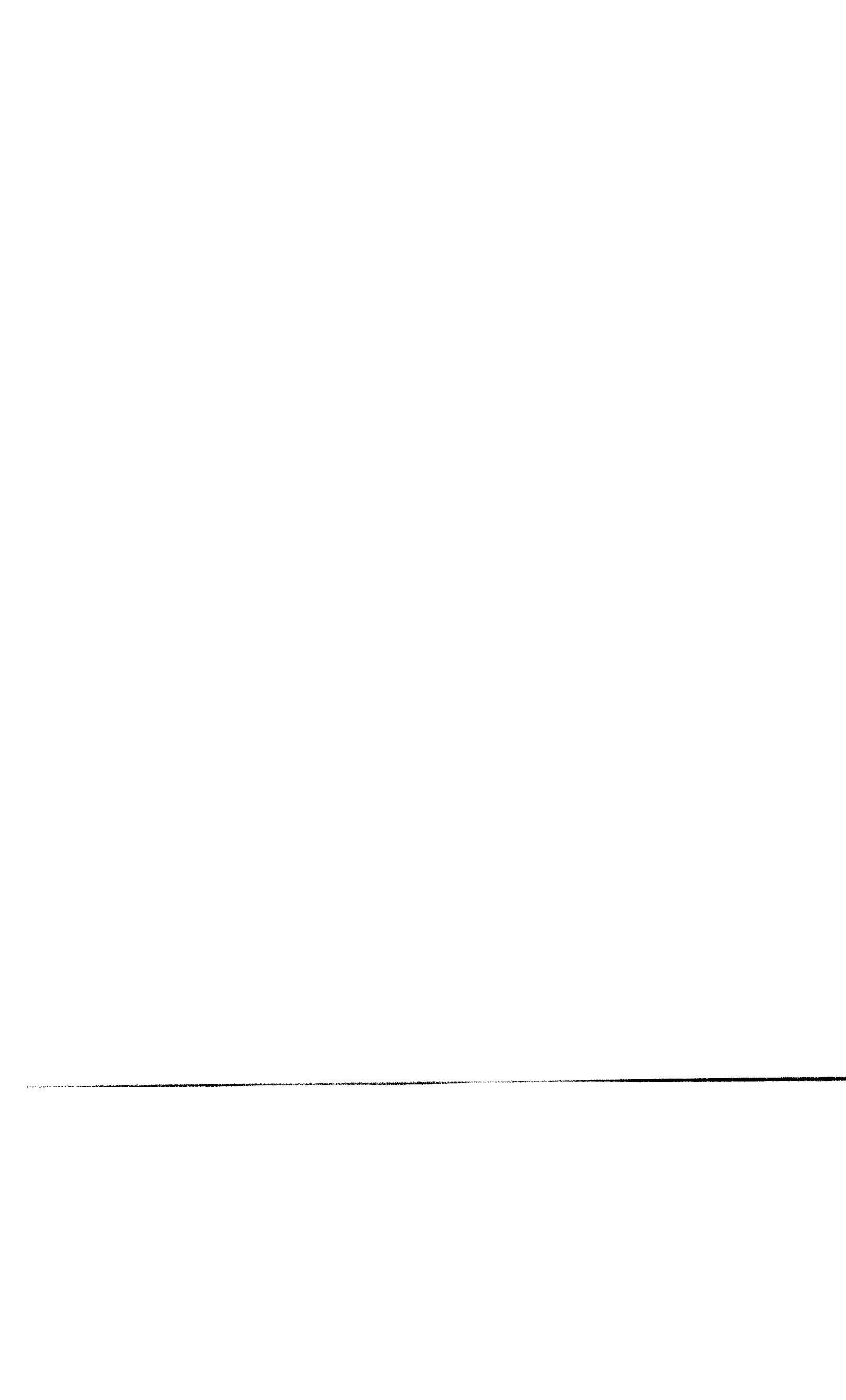


RECOMMENDATION – 03EPC 02039, January 15, 2004

DENIAL of 03EPC 02039, a request for a zone map amendment from SU-1 for Church and Related Facilities/O-1/R-2 Permissive Uses to SU-1 for C-1 Uses including restaurants w/ full service liquor and liquor sales for off premise consumption ancillary to a full service grocery store, for Lot 1C, Seville Addition, based on the preceding Findings.

FINDINGS – 03EPC 02038, Site Plan for Subdivision, January 15, 2004

1. This is a request for a Site Plan for Subdivision for approximately 9 acres of land, legally described as Lot 1C, Seville Addition, located at the northeast corner of Universe and Irving Boulevard NW.
2. In February 2001, the EPC approved a site plan for subdivision for approximately 146 acres that included the subject site. The approved site plan for subdivision contains a set of design guidelines that are intended to guide development of the subject site.
3. The applicant proposes a linear shopping center with a large anchor store at the north end of the site and two smaller pads adjacent to Universe Boulevard. The layout of the site is in conflict with Policy 1.3 of the *West Side Strategic Plan* that discourages strip commercial developments on the West Side. Strip commercial is defined as “A long, narrow development style usually found along major thoroughfares with a series of commercial establishments. This style is characterized by a strip of buildings oriented solely toward the nearest roadway with no connection to adjacent land uses or neighborhoods. It is often no more than one lot deep, but extends for miles cumulatively and has a large parking lot adjacent to the major road.” (WSSP p.293)
4. Commercial development is not appropriate on the site because the lot dimensions encourage “strip” design. Church and Office uses are more appropriate on the site because the building layout can be more flexible.



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5. The Zone Map Amendment request that this site plan accompanies is not justified as outlined in the Findings for Case 03EPC 2039.

RECOMMENDATION –03EPC 02038, January 15, 2004

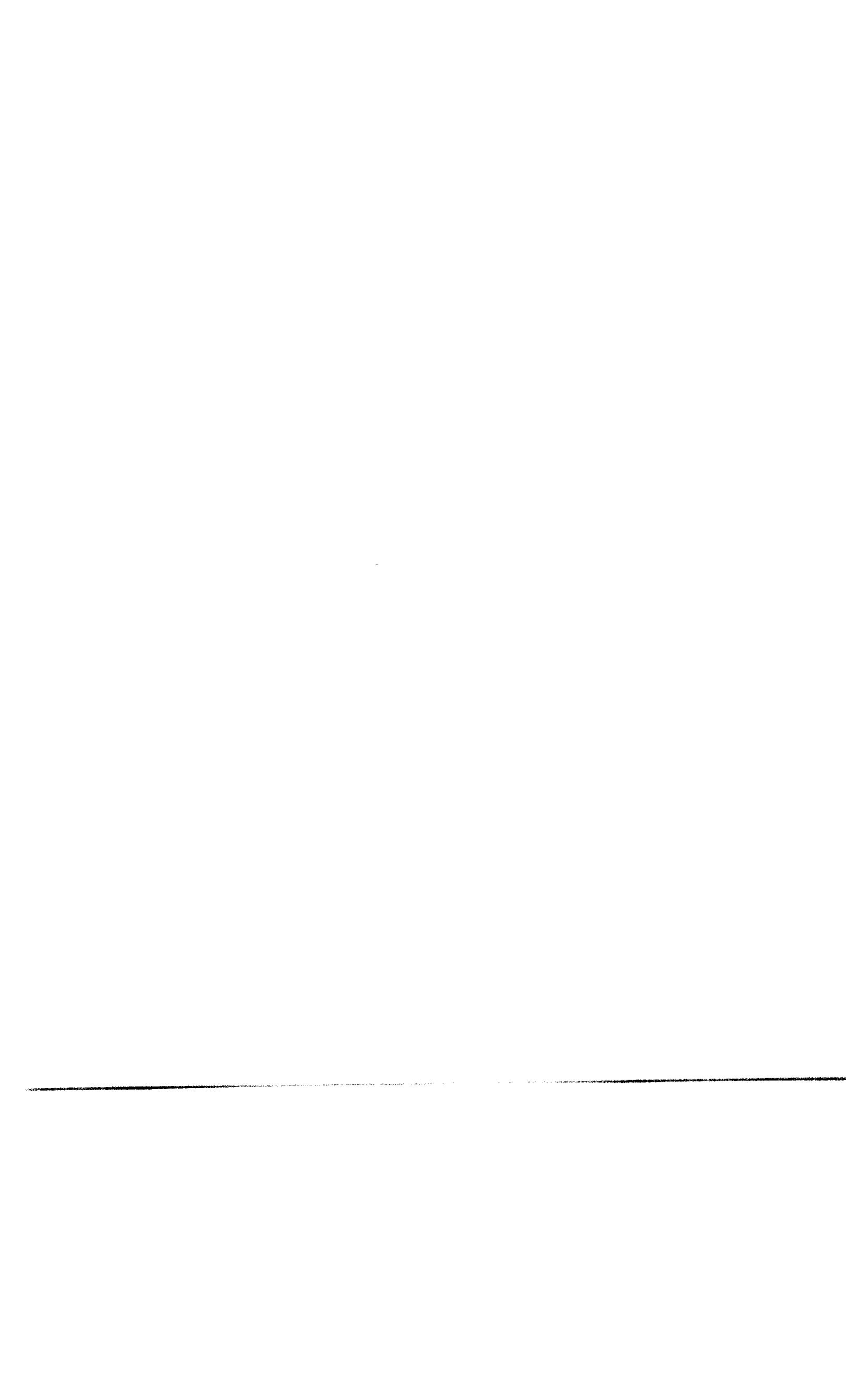
DENIAL of 03EPC 02038, a request for a Site Plan for Subdivision, for Lot 1C, Seville Addition, based on the preceding Findings.

C. Marrone

*Carmen Marrone
Planner*

cc: Pete Daskalos Properties, 5321 Menaul Blvd. NE, Albuquerque, NM 87110
DAC Enterprises, Inc., P.O. Box 16658, Albuquerque, NM 87191
Laura Horton, Ventana Ranch, 7224 Cascada Rd NW, Albuquerque, NM 87114
Bruce Nyberg, Ventana Ranch, 6824 Blusfield Rd. NW, Albuquerque, NM 87114

Attachments



CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Code Services

Reviewed, no comments.

Office of Neighborhood Coordination

Ventana Ranch ®

PUBLIC WORKS DEPARTMENT

Transportation Development:

- All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- Traffic Impact Study is required and must be submitted prior to any DRB action or prior to EPC Site Development Plan for Building Permit action, which ever is made first.
- At a minimum, access to site shall meet DPM requirements but may be modified by the Traffic Engineer depending on the results of the TIS.
- All access points to be designed per DPM standards.

Utility Development:

- Development area is within the jurisdiction of New Mexico Utilities Inc. franchise area. Water, sanitary sewer, and fire protection services will depend on their system capabilities. An Availability Statement from New Mexico Utilities Inc. will be required. Any infrastructure to be constructed as part of this project must be designed to the City of Albuquerque's standards. This includes water and sewer lines that will be owned and operated by NMUI. No Conditions.

Traffic Engineering Operations:

- No comments received.

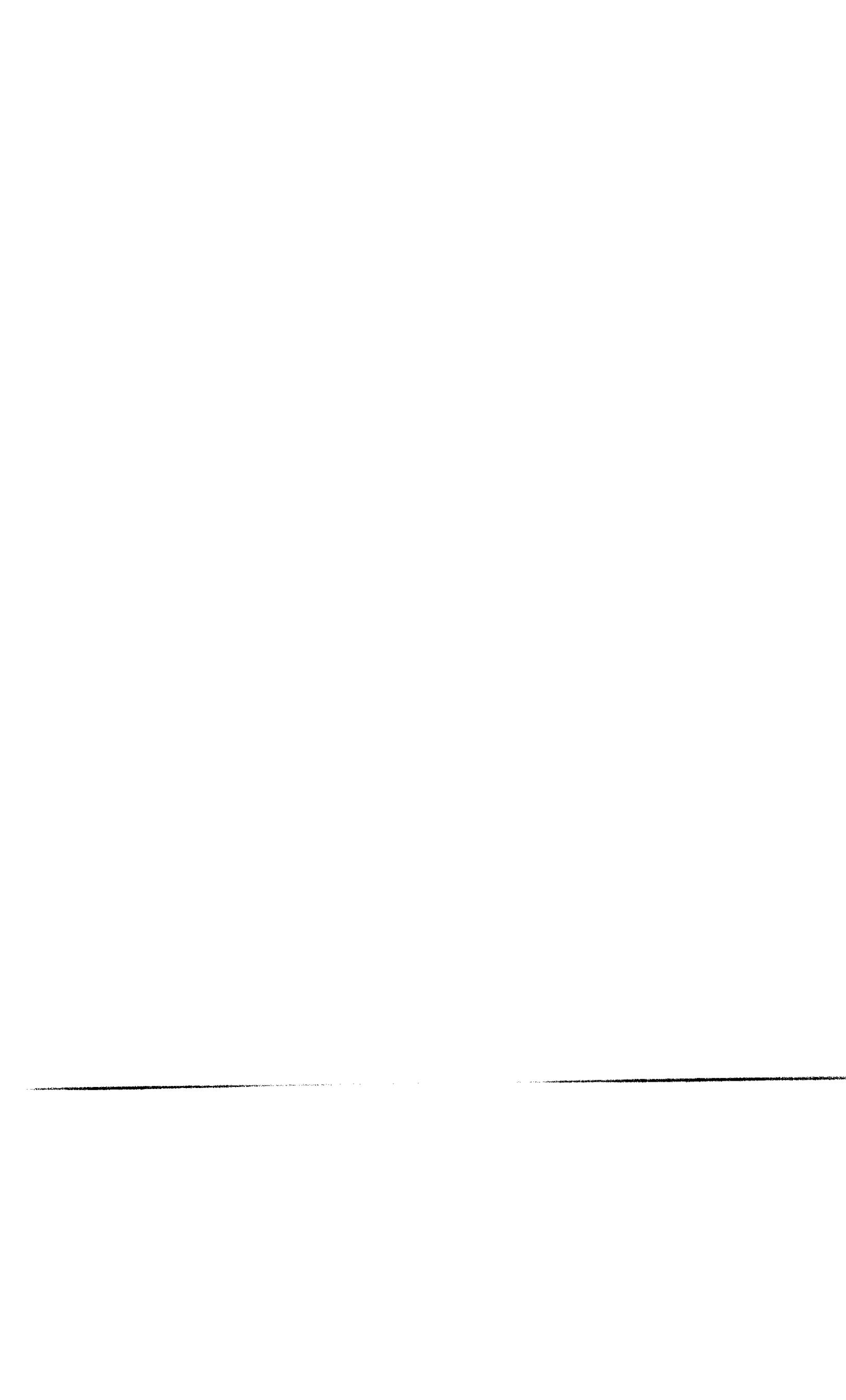
Hydrology:

- No objection to the zone map amendment request. An approved conceptual grading and drainage plan is required for Site Plan signoff by City Engineer. Approval required prior to placement on DRB agenda.
- **Condition:** Platting should be a concurrent DRB action.

Transportation Planning:

Findings

- Universe Boulevard is designated a study corridor on the Long Range Roadway System map.
- The Universe Boulevard study corridor is proposed to contain a minor arterial with a *minimum* right-of-way width of 86 feet.
- Consistent with policy 6.24 of the West Side Strategic Plan, "all arterials shall have bike lanes...."
- Irving Boulevard is a minor arterial with bicycle lanes as designated on the Long Range Roadway System and Long Range Bikeway System.



- The City Engineer may require up to six (6) additional feet of right-of-way adjacent the property on Universe Boulevard and Irving Boulevard, to accommodate the designated bike lanes.
- Consistent with the West Side Strategic Plan, and more specifically, the Land Use and Transportation policy guide adopted for the Westside-McMahon Corridor (R-249/Enactment 117-1999), the subject site is identified for low/medium residential development rather than commercial uses. Per the policy guide, neighborhood-scale commercial development is proposed at the intersection of McMahon and Universe.

Conditions

- Dedication of a *minimum* 43 feet of right-of-way from the centerline of Universe Boulevard, a minor arterial as designated on the Long Range Roadway System.
- Dedication of a *minimum* 43 feet of right-of-way from the centerline of Irving Boulevard, a minor arterial as designated on the Long Range Roadway System.
- Dedication of an additional 6 feet of right-of-way along Universe Boulevard and Irving Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
- Provision for bicycle lanes along Universe Boulevard and Irving Boulevard adjacent the subject property, as specified in the West Side Strategic Plan and Long Range Bikeway System.

Street Maintenance:

- No comments received.

Water Resources, Water Utilities and Wastewater Utilities:

- No comments received.

New Mexico Department of Transportation:

- No comments received.

RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS and NMDOT:

Conditions of approval for the proposed Zone Map Amendment and Site Development Plan for Subdivision shall include:

- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- c. Traffic Impact Study is required and must be submitted prior to any DRB action or prior to EPC Site Development Plan for Building Permit action, which ever is made first.
- d. At a minimum, access to site shall meet DPM requirements but may be modified by the Traffic Engineer depending on the results of the TIS.
- e. All access points to be designed per DPM standards.
- f. Construction of a *minimum* 10 foot wide trail facility along Unser Boulevard as designated on the Long Range Bikeways System, and more specifically detailed in the City's DPM standards.
- g. Platting should be a concurrent DRB action.
- h. Dedication of a *minimum* 43 feet of right-of-way from the centerline of Universe Boulevard, a minor arterial as designated on the Long Range Roadway System.

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- i. Dedication of a *minimum* 43 feet of right-of-way from the centerline of Irving Boulevard, a minor arterial as designated on the Long Range Roadway System.
 - j. Dedication of an additional 6 feet of right-of-way along Universe Boulevard and Irving Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
 - k. Provision for bicycle lanes along Universe Boulevard and Irving Boulevard adjacent the subject property, as specified in the West Side Strategic Plan and Long Range Bikeway System.

ENVIRONMENTAL HEALTH DEPARTMENT

Air Quality Division

Environmental Services Division

PARKS AND RECREATION

Planning and Design

For informational purposes only: The Trails & Bikeways Facility Plan proposes a secondary trail in this location along the Calabacillas Arroyo. There are no requirements for the trail associated with this request.

Open Space Division

No adverse comment.

POLICE DEPARTMENT/Planning

no comments

SOLID WASTE MANAGEMENT DEPARTMENT

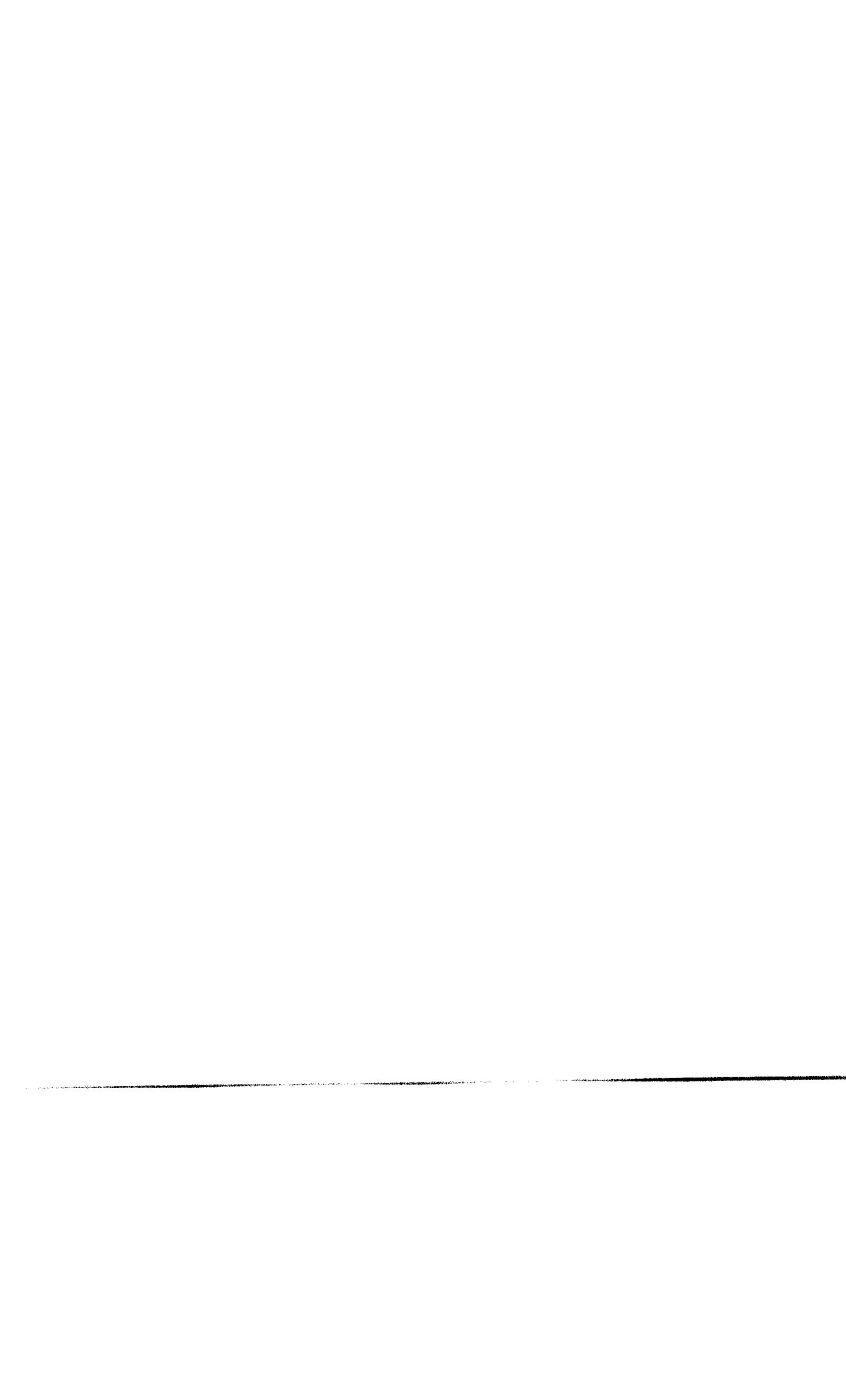
Refuse Division

Approved on condition, will comply with all SWMD requirements and ordinances including sanitary sewer drain for food services.

FIRE DEPARTMENT/Planning

No Adverse Comments

TRANSIT DEPARTMENT



COMMENTS FROM OTHER AGENCIES

BERNALILLO COUNTY

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

No objection to requested actions. The drainage plan must be coordinated with AMAFCA. It appears that the delivery area is encroaching within the Prudent Line of the Calabacillas Arroyo, and special bank protection measures may be required.

ALBUQUERQUE PUBLIC SCHOOLS

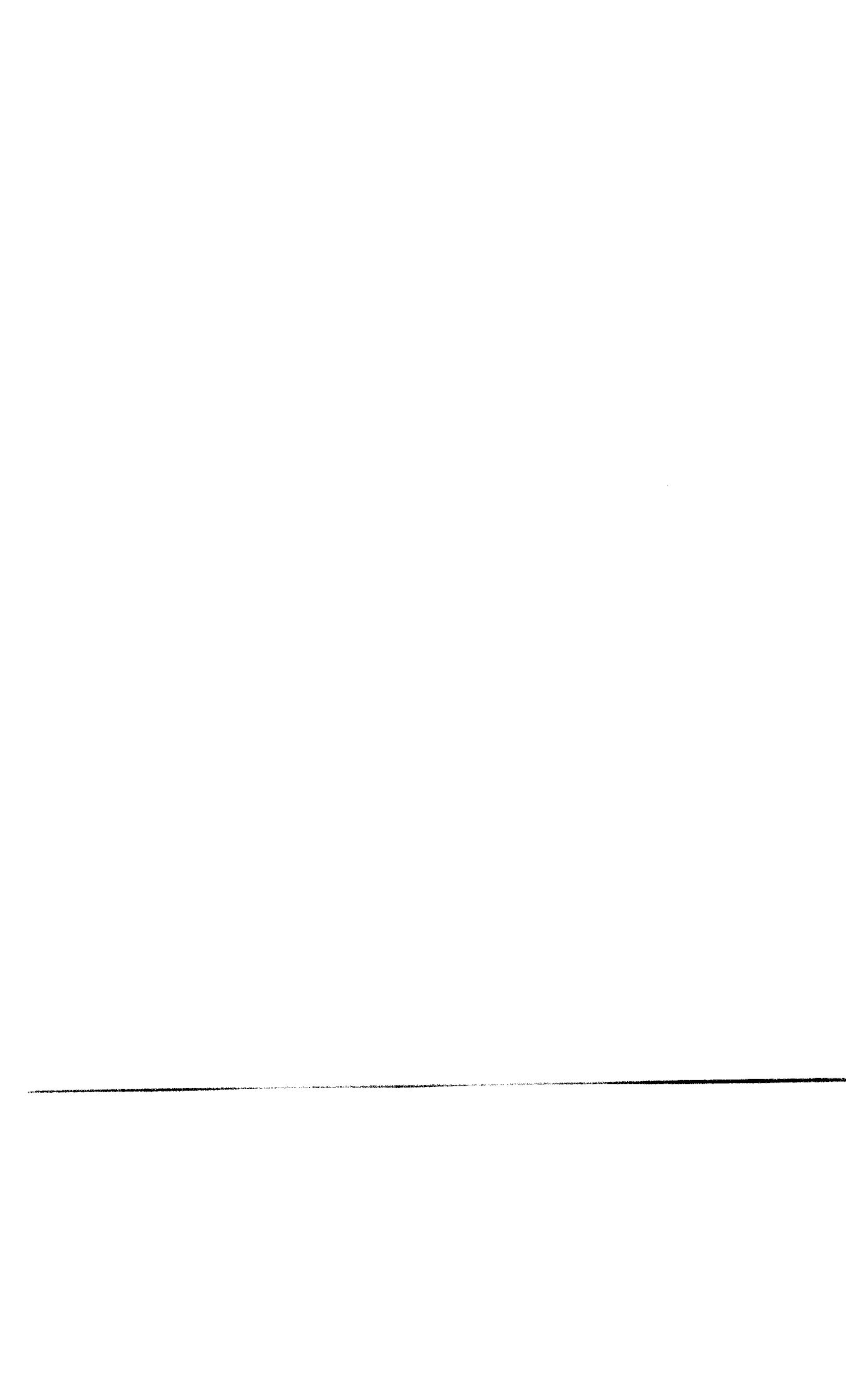
MID-REGION COUNCIL OF GOVERNMENTS

No adverse comment. For information, the Long Range Roadway System designates both Irving and Universe as minor arterials, with a consequent right-of-way of 86 feet. The Long Range Bikeway System also proposes a bike lane along Irving.

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

PUBLIC SERVICE COMPANY OF NEW MEXICO

There is an 115kV transmission line on the Western boundary and overhead distribution lines on both the Western and Southern boundary. There is a 6-inch gas line South of Irving and West of Universe





NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a **Study Session on Thursday, January 8, 2004, 3:00 p.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following:

1. Distribution & Review – Current Land Use Matters for the January 15, 2004 Public Hearing, which include the projects listed below.

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a **Public Hearing on Thursday, January 15, 2004, 8:30 a.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following items: [Note: these items are not in the order they will be heard]

Project # 1003102 *

03EPC-01925 Zone Map Amendment
03EPC-01929 EPC Site Development
Plan-Building Permit

DEKKER/PERICH/SABATINI agent(s) for SM & R G ROUP request the above actions for all or a portion of Lots 12, 14, **Replat of Ferrari Esquibel-Palmer Sec 23**, a zone map amendment from SU-1 PRD 22 DU/ac & Office to SU-1 for PRD 22 du/ac, office, C-1 Retail (excluding auto parts and supply sales, drive-up restaurants, liquor sales, gasoline sales, hardware and building material sales), car wash, and restaurant, located on JUAN TABO NE, between MONTGOMERY BLVD. NE & LAGRIMA DE ORO NE, containing approx. 2 acres. (F-21) Makita Hill, Staff Planner

Project # 1002792

03EPC-02034 EPC Site Development Plan-
Subdivision
03EPC-02035 EPC Site Development Plan-
Building Permit
03EPC-02036 Zone Map Amendment
03EPC-02037 EPC Sector Development Plan

GEORGE RAINHART ARCHITECTS & ASSOCIATES agent(s) for Trust of Albert & Mary Black request the above action(s) for all or a portion of Tract(s) 14A & 14B, **Black Ranch**, from SU-1 for C-1 & Restaurant with full service liquor & SU-1 for O-1 to SU-1 for C-1 & Restaurant with full service liquor and SU-1 for O-1 located on Coors Boulevard., between 7 Bar Loop Road and Alameda Boulevard NW, containing approximately 10 acre(s). (B-14) Deborah Stover, Staff Planner

Project # 1000931
03EPC-02038 EPC Site Development Plan-
Subdivision
03EPC-02039 Zone Map Amendment

DAC ENTERPRISES, INC. agent for PETE DASKALOS PROPERTIES request the above actions for all or a portion of Tracts 1C, **Seville Addn**, a zone map amendment from SU-1 Church & Related Facilities to SU-1 for C-1 Uses, located on UNIVERSE NW, between IRVING BLVD. NW and WESTSIDE BLVD. NW, containing approximately 9 acres. (A-10) Carmen Marrone, Staff Planner

Project # 1000631
03EPC-02042 EPC Site Development Plan-
Subdivision
03EPC-02043 EPC Site Development Plan-
Building Permit

GEORGE RAINHART ARCHITECT & ASSOCIATES agent for JEROME BETTMAN request the above actions for all or a portion of Tracts A2B and B1, **Jeannedale Unit 5**, zoned SU-3, located at the northeast corner of UPTOWN BLVD. and AMERICAS PARKWAY NE, containing approximately 5 acres. (H-18) Carmen Marrone, Staff Planner

Project # 1002943
03EPC-01469 Zone Map Amendment
03EPC-02046 EPC Site Development Plan-
Building Permit

GARCIA/KRAEMER & ASSOCIATES agent(s) for DAVID & SANDRA MOLLOHAN & BOB & MARY COC request the above action(s) for all or a portion of Lots 16 & 17, Block 26, **East End Addition**, a zone map amendment from R-1 to SU-1 for C-1 Uses, located on VIRGINIA NE, between LOMAS NE and MARBLE NE, containing approximately .34 acre. (J-19) Juanita Vigil, Staff Planner

Project # 1002196
03EPC-02048 Zone Map Amendment

GARCIA/KRAEMER & ASSOCIATES agents for TAFAZZUL HUSSAIN ETAL request the above action(s) for all or a portion of Tract(s) 1-B, **Town of Atrisco Grant Unit 6**, a zone map amendment from SU-1 Mobile Home Park to RT, located on CORRIGIDOR DR. SW, between SUNSET GARDENS RD. SW and SALVADOR RD. SW, containing approximately 6 acres. (K-11) Elvira Lopez, Staff Planner

Project # 1002779
03EPC-01061 Annexation
03EPC-02049 Zone Map Amendment

MARK GOODWIN & ASSOCIATES agents for WESTLAND & COBA request the above action(s) for all or a portion of San Jose, Tracts A-1 & 2, and western portion of **Lands of Polo Chavez**, zoned A-1, located on COORS BLVD. SW, between EDUARDO ROAD SW and ARENAL SW, containing approximately 8 acres. (M-11) Elvira Lopez, Staff Planner

Project # 1002624
03EPC-02050 EPC Site Development Plan-
Building Permit

DEKKER/PERICH/SABATINI agents for NEW DAY YOUTH & FAMILY SERVICES request the above action(s) **Within Section 36, Township 10N, Range 3E**, Zoned SU-1 for Short Term Shelter, located on RIDGECREST DR. SE, between SAN PEDRO SE and LOUISIANA BLVD. SE, containing approximately 10 acres. (M-18) Juanita Vigil, Staff Planner

Project # 1000163

03EPC-02053 EPC Site Development Plan-
Building Permit

CLAUDIO VIGIL ARCHITECTS agent for SUMNER PEDIATRIC HEALTH SERVICES request the above action for all or a portion of Lot D, **La Cueva Village**, zoned C-2 (SC), located on CARMEL AVE. NE, between WYOMING NE and BARSTOW NE, containing approximately 1 acre. (C-19) Carmen Marrone, Staff Planner

Project # 1002529

03EPC-02058 Zone Map Amendment
03EPC-02059 EPC Site Development Plan-
Subdivision
03EPC-02060 EPC Site Development Plan-
Amendment to Building Permit

CONSENSUS PLANNING, INC. agent(s) for RANDY EASTBURG, CAS, LLC request the a zone map amendment for all or a portion of Tracts 6-B and for Lots 1, 3, 4, from RD to SU-1 for C-1 Permissive Uses and for Lot 2 from RD to SU-1 for C-1 Permissive Uses and Auto Sales and Storage and also for Lot 5 from RD to to SU-1 for O-1 Permissive Uses, **Black Ranch Partition**, and a site plan for subdivision for all the above and site plan for building permit for Lot 2 only, located on COORS BLVD. NW, between WESTSIDE DR. NW and THE CALABACILLAS ARROYO, containing approximately 6 acres. (B-13) Makita Hill, Staff Planner

Project # 1003125

03EPC-02054 EPC Site Development Plan-
Subdivision

CONSENSUS PLANNING, INC. agent(s) for RANCH JOINT VENTURE request the above action(s) for all or a portion of Tract(s) D F < and a portion of S >, **Lands of Double Eagle II Airport**, zoned SU-1 for Airport Related Uses, located on DOUBLE EAGLE II AIRPORT, between PASEO DEL VOLCAN and NORTH OF SHOOTING RANGE, containing approximately 300 acre(s). (F-5) Chris Hyer, Staff Planner

Project # 1003126

03EPC-02055 EPC Site Development Plan-
Subdivision
03EPC-02057 EPC Site Development Plan-
Building Permit

ADVANCED ENGINEERING AND CONSULTING LLC agents for SCOTT HAUQUITZ request the above action(s) for all or a portion of Tract(s) 45-B, **MRGCD Map 29**, zoned SU-1 for IP Uses, located on EDITH BLVD. NE, between OSUNA ROAD NE and TYLER St. NE, containing approximately 7 acre(s). (E-15) Deborah Stover, Staff Planner

Project # 1003128

03EPC-02061 Zone Map Amendment
03EPC-02062 EPC Sector Development Plan

CONSENSUS PLANNING, INC. agent(s) for BANDELIER PROPERTIES request the above action(s) for all or a portion of Lot(s) 1-5, Tract 5, Unit A, Block 11, **North Albuquerque Acres**, a zone map amendment from RD to C-1, located on PASEO DEL NORTE NE, between LOUISIANA BLVD. NE and SAN PEDRO BLVD. NE, containing approximately 4 acre(s). (D-18) Elvira Lopez, Staff Planner

Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00 and between 2:00 and 4:00 p.m., Monday through Friday, or you may call April Candelaria at 924-3886. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at the public hearing should contact April Candelaria 924-3886 (VOICE) or 924-3361 (TTY). TTY users may also access the voice number via the New Mexico Relay Network by calling toll free: 1-800-659-8331.

Jeff Jesionowski, Chairman
Environmental Planning Commission

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL DECEMBER 24, 2003.

APPROVED

Russell Brito, Senior Planner
Planning Department

343

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: JANUARY 15, 2004
Zone Atlas Page: A-10-Z
Notification Radius: 100 Ft.

Project# 1000931
App# 03EPC-02038
App# 03EPC-02039

Cross Reference and Location: N/A

Applicant: PETE DASKALOS PROPERTIES
Address: 5321 MENAUL BLVD NE
ALBUQUERQUE NM 87110

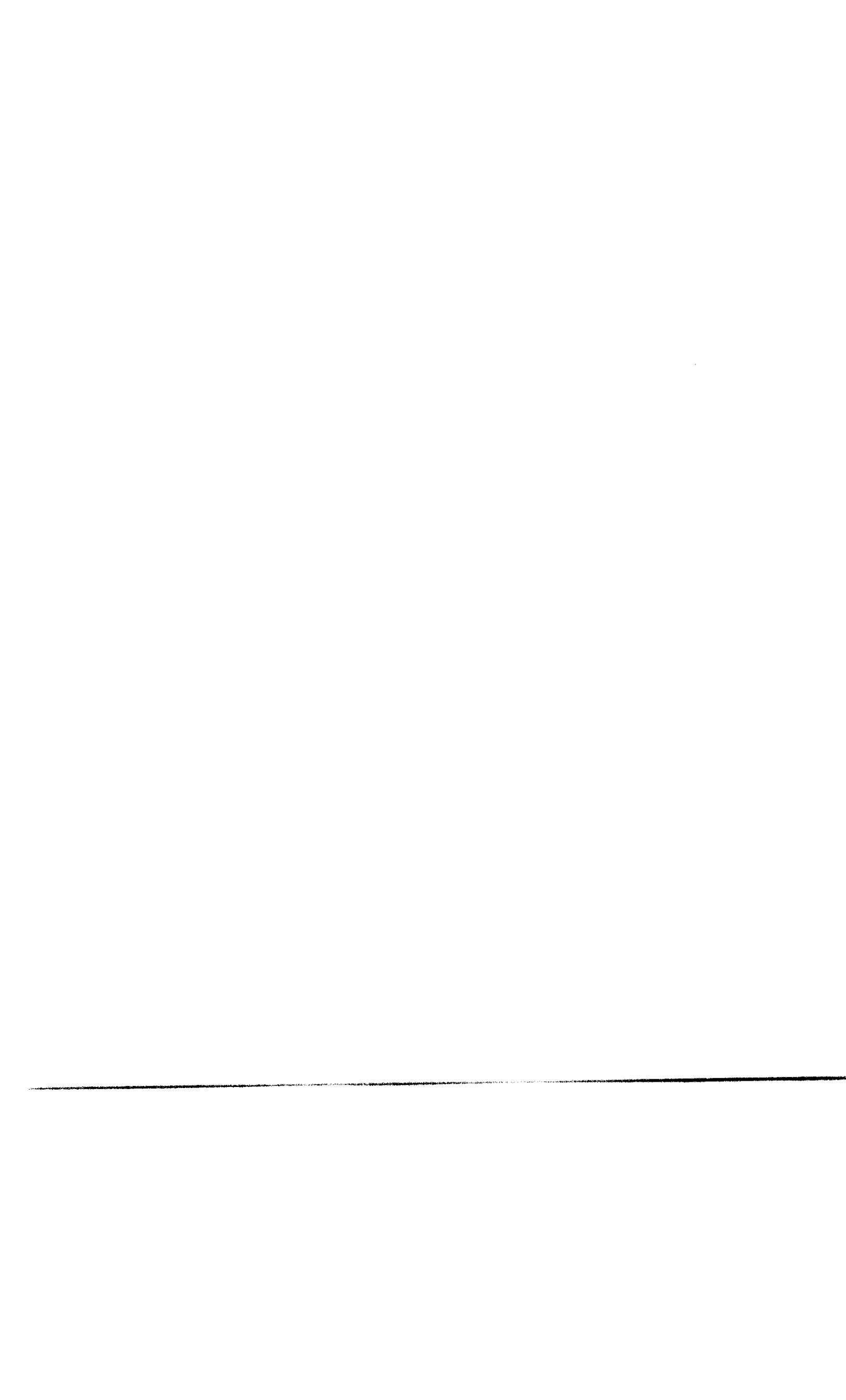
Agent: DAC ENTERPRISES
Address: PO BOX 16658
ALBUQUERQUE NM 87191

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: DECEMBER 31, 2003

Signature: KYLE TSETHLIKAI



101006606613330108	LEGAL: TR 1 -B-1 -D BULK LAND PLAT OF TRACTS 1-A-1, 1-A-2, LAND USE: PROPERTY ADDR: 00000 OWNER NAME: CURB WEST INC & OWNER ADDR: 06301 INDIAN SCHOOL	RD NE ALBUQUERQUE NM	87110
101006607308430107	LEGAL: TR 1 -B-1 -C BULK LAND PLAT OF TRACTS 1-A-1, 1-A-2, LAND USE: PROPERTY ADDR: 00000 OWNER NAME: CURB WEST INC & OWNER ADDR: 06301 INDIAN SCHOOL	RD NE ALBUQUERQUE NM	87110
100906649606740125	LEGAL: TR B LAN D DIVISION PLAT LANDS OF MASSACHUSETTS GEN LAND USE: PROPERTY ADDR: 00000 OWNER NAME: LAS VENTANAS LIMITED PARTNERSH OWNER ADDR: 00010 TRAMWAY	LP NE ALBUQUERQUE NM	87122
101006611804830103	LEGAL: TR 1 -B-1 -B BULK LAND PLAT OF TRACTS 1-A-1, 1-A-2, LAND USE: PROPERTY ADDR: 00000 OWNER NAME: CURB WEST INC & OWNER ADDR: 06301 INDIAN SCHOOL	RD NE ALBUQUERQUE NM	87110
101006602504730102	LEGAL: TR 1 -C S ECOND CORRECTION PLAT BULKLAND PLAT OF TRA LAND USE: PROPERTY ADDR: 00000 OWNER NAME: PARADISE HEIGHTS LLC OWNER ADDR: 06301 INDIAN SCHOOL	RD NE ALBUQUERQUE NM	87110
101006614601830101	LEGAL: TR 1 -B-1 -A BULK LAND PLAT OF TRACTS 1-A-1, 1-A-2, LAND USE: PROPERTY ADDR: 00000 OWNER NAME: WESTFORK LIMITED OWNER ADDR: 06301 INDIAN SCHOOL	RD NE ALBUQUERQUE NM	87110
100906539850412901	LEGAL: TR X -1-A -1-A-1-A-1 PLAT OF COUNTRY MEADOWS SUBDIVI LAND USE: PROPERTY ADDR: 00000 OWNER NAME: LAS VENTANAS LTD PARTNERSHIP OWNER ADDR: 00010 TRAMWAY	LP NE ALBUQUERQUE NM	87122
101006506046520201	LEGAL: TRAC T A- 1 BULK LAND PLAT FOR TRACTS A-1 & A-2 (A R LAND USE: PROPERTY ADDR: 00000 OWNER NAME: LAS VENTANAS LTD PARTNERSHIP OWNER ADDR: 00010 TRAMWAY	LP NE ALBUQUERQUE NM	87122



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: November 26, 2003

TO CONTACT NAME: Doug Crandall
COMPANY/AGENCY: DAC Enterprises Inc.
ADDRESS/ZIP: 9520 Macalpan NE 87109
PHONE/FAX #: 247-5243 / 247-4530

Thank you for your inquiry of 11-26-03 (date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at IC, Seville Addition

zone map page(s) A-10

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Ventana Ranch
Neighborhood Association
Contacts: Laura Horton
7224 Cascada Rd NW
898-8103 (W) 87114
Bruce Nyberg
6824 Blushfield Rd NW
890-6559 (W) 87114

Neighborhood Association
Contacts: _____

See reverse side for additional Neighborhood Association Information: YES { } NO

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalana R. Carmona
OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

.....
Attention: Both contacts per neighborhood association need to be notified.
.....

Robert Jensen, DAC, EA, Inc.
12/3/03

SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission (EPC). Since development proposals vary in type and scale, there may be application requirements that are not included here and others that may not be necessary. Nonetheless, it is the applicant's responsibility to provide a complete submittal. The EPC will not consider incomplete submittals. Incomplete submittals run the risk of not being scheduled for hearing until they are made complete. Site development plans should ordinarily be composed of the following plan sheets:

1. **Site Plan (required)**
2. **Design requirements for future site development plans for building permit (optional, but STRONGLY recommended)**

The following checklist describes the minimum information necessary for each sheet. Most of the site plan requirements for *Sheet #1* are taken from the definition for "SITE DEVELOPMENT PLAN" as outlined in the Zoning Code (§ 14-16-1-1 et. seq.). **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

Accompanying Material

- A. Fee payment
- B. Complete application
- C. Written Summary of Request
- D. 8-1/2" x 11" reductions

SHEET # 1 - SITE PLAN (Required)

- 1. Scale: at least 1" = 100'
- 2. Bar Scale
- 3. North Arrow
- 4. Scaled Vicinity Map
- 5. The Site (property lines)
- 6. Proposed Use(s)
- 7. Pedestrian Ingress and Egress (Access)
- 8. Vehicular Ingress and Egress (Access)
- 9. Any Internal Circulation Requirements
- 10. For each lot:
 - a. Maximum Building Height
 - b. Minimum Building Setback
 - c. Maximum Total Dwelling Units and / or
 - d. Nonresidential Uses' Maximum Floor Area Ratio (F.A.R.)

Listed on Site Plan



VRNA1@aol.com
02/12/04 07:33 PM

To: cmarrone@cabq.gov
cc: cp@consensusplanning.com
Subject: Commercial Center at Universe and Irving

Carmen Marrone
City Planning Department

Ms. Marrone,

Representatives from the Ventana Ranch Neighborhood Association have met twice with representatives of DAC Enterprises concerning the zone change request for the property located on the Northeast corner of Irving and Universe. At this time, the association does not object to the zone change request.

We have worked with the developer's representatives to make the center more neighborhood oriented with pathway links and gathering areas. We have also discussed traffic mitigation measures, including limiting access from Irving Blvd. Irving Blvd. is already over capacity with TVI campus traffic.

We also informed the representatives that our approval of their request is contingent on the completion of McMahon Blvd. to Universe, which we understand is to be completed in '04.

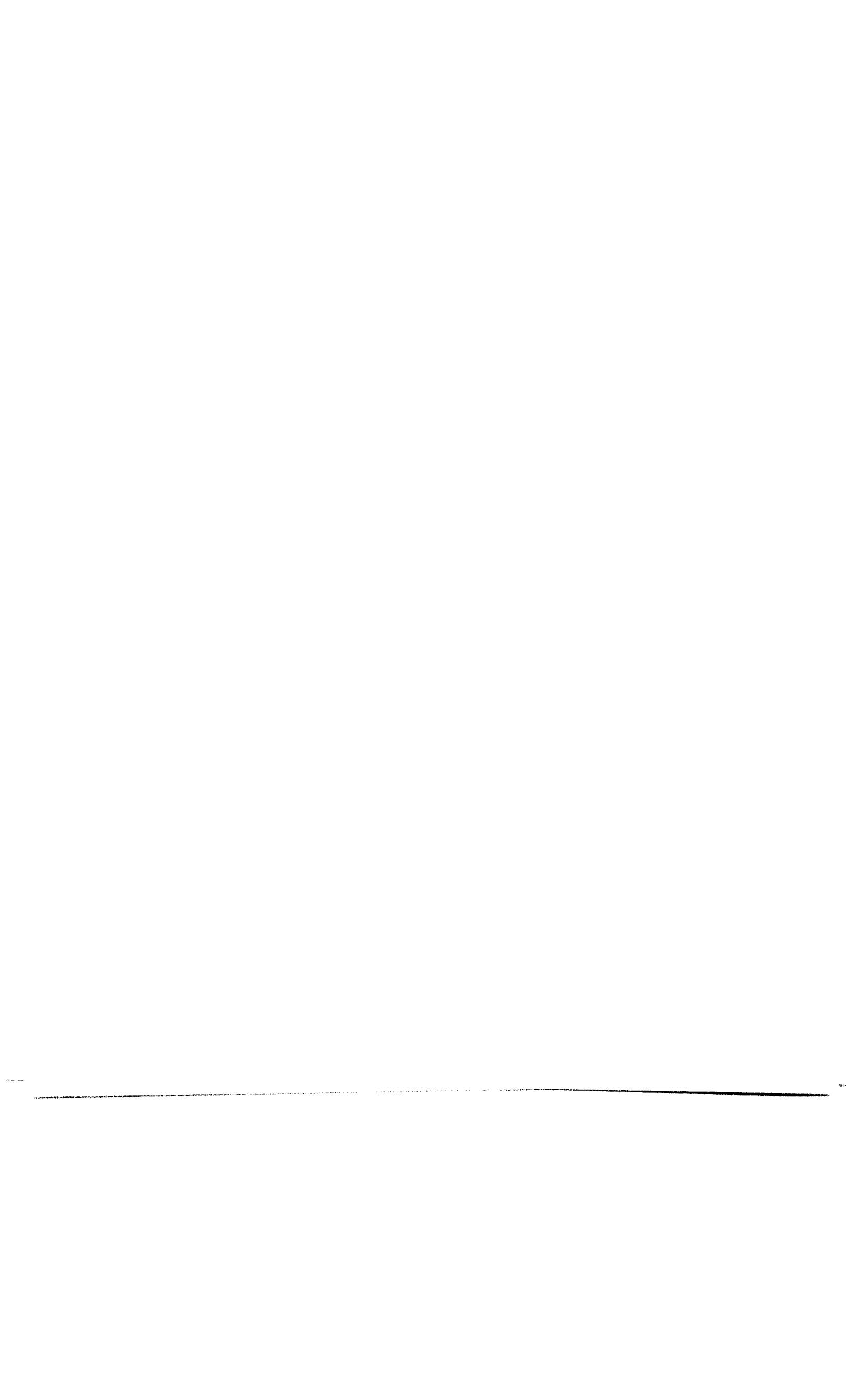
We have asked the developer to work with the city on offsite road improvement agreements and ask that they be in line with that of The Trails and Ventana Ranch West projects.

We appreciate your efforts in improving project design standards.

Sincerely,

Laura Horton
President, Ventana Ranch Neighborhood Association
7224 Cascada Rd NW
Albuquerque, NM 87114
505-898-8103

Project # 1000931
Agenda # 16





ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Pete Daskalos Prop.
AGENT DAC ENT.
ADDRESS PO Box 16658 ALBA., 87191
PROJECT & APP # 100931 03 EPC-02038/02039
PROJECT NAME SEVILLE.

\$ _____ 469099/4916000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ 110⁰⁰ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 110⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

Counterreceipt.doc 12/29/03

01/12/2004 11:48AM LDU:MM
X
RECEIPT# 00018461 US# 007 TRANGH 0000
FUND# 441006 Fund 0110
ACCT# 4971000 TROLUS
AMOUNT \$110.00
DATE 01/12/04
BY [Signature] \$110.00
CHECK# [Signature] \$110.00



 RIS ROBERT ARCHITECTS

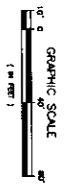
100 Park Avenue SW, Atlanta, New York, Chicago, Los Angeles, San Francisco, Dallas, Houston, Miami, Phoenix, Portland, San Diego, Seattle, Washington



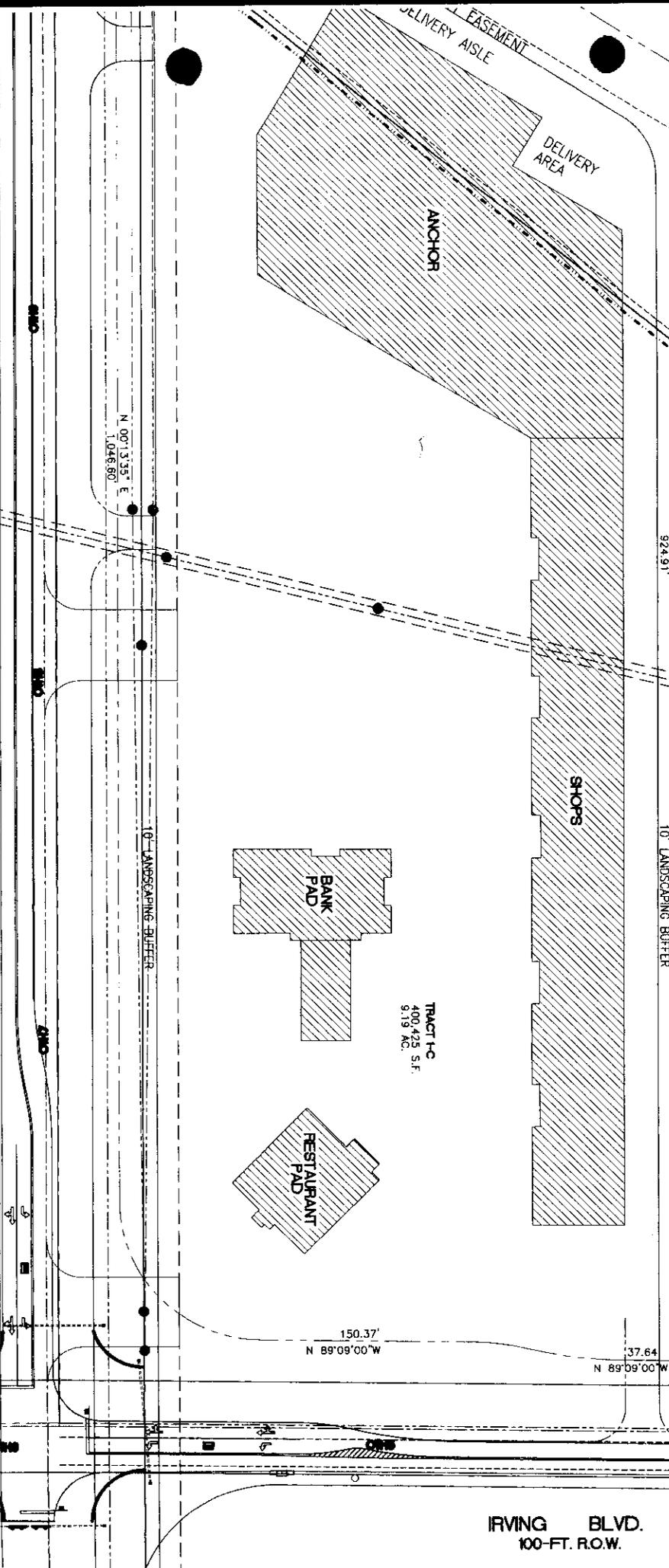
 UNIVERSE PLAZA

 SKETCH PLAT

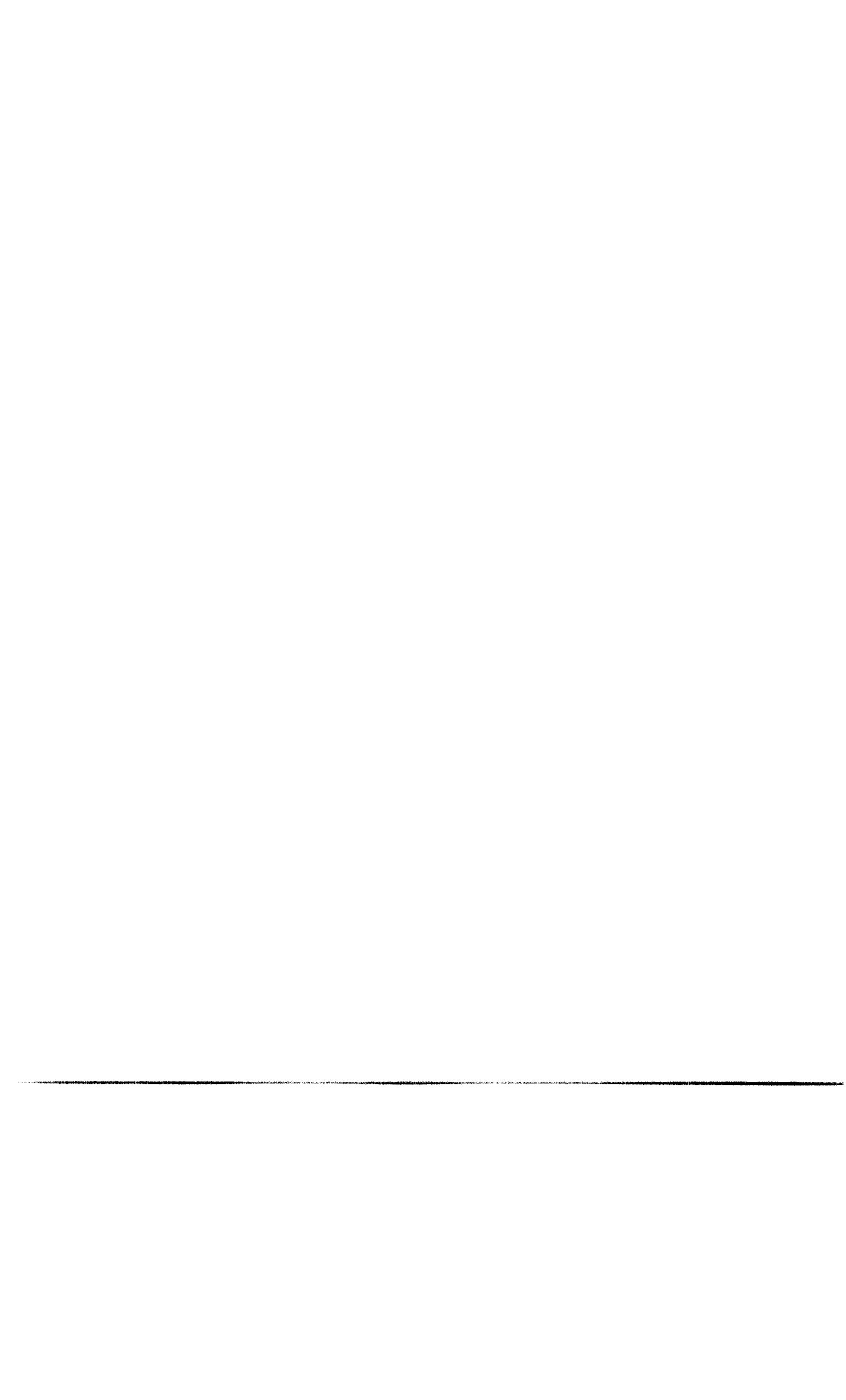
1-1-80



UNIVERSE BLVD.
 95-FT. R.O.W.



IRVING BLVD.
 100-FT. R.O.W.



FAX TRANSMITTAL

PAGE 1 of

City of Albuquerque Planning Department
Development Review Division
924-3860 / 924-3339 FAX

DATE: 12-5-03

rev. 6/2003 x:\share\epc\stuffs\siteplan\NewFaxlist

TO: DAC FAX #: 247-4530

FROM: Planning Contact Phone #: 924-3990

RE: **Site Development Plan for Building Permit Deficiencies**
Project Description: Seville Addn.
EPC Project #: 1000931 EPC Case #: 03EPC 02038/39

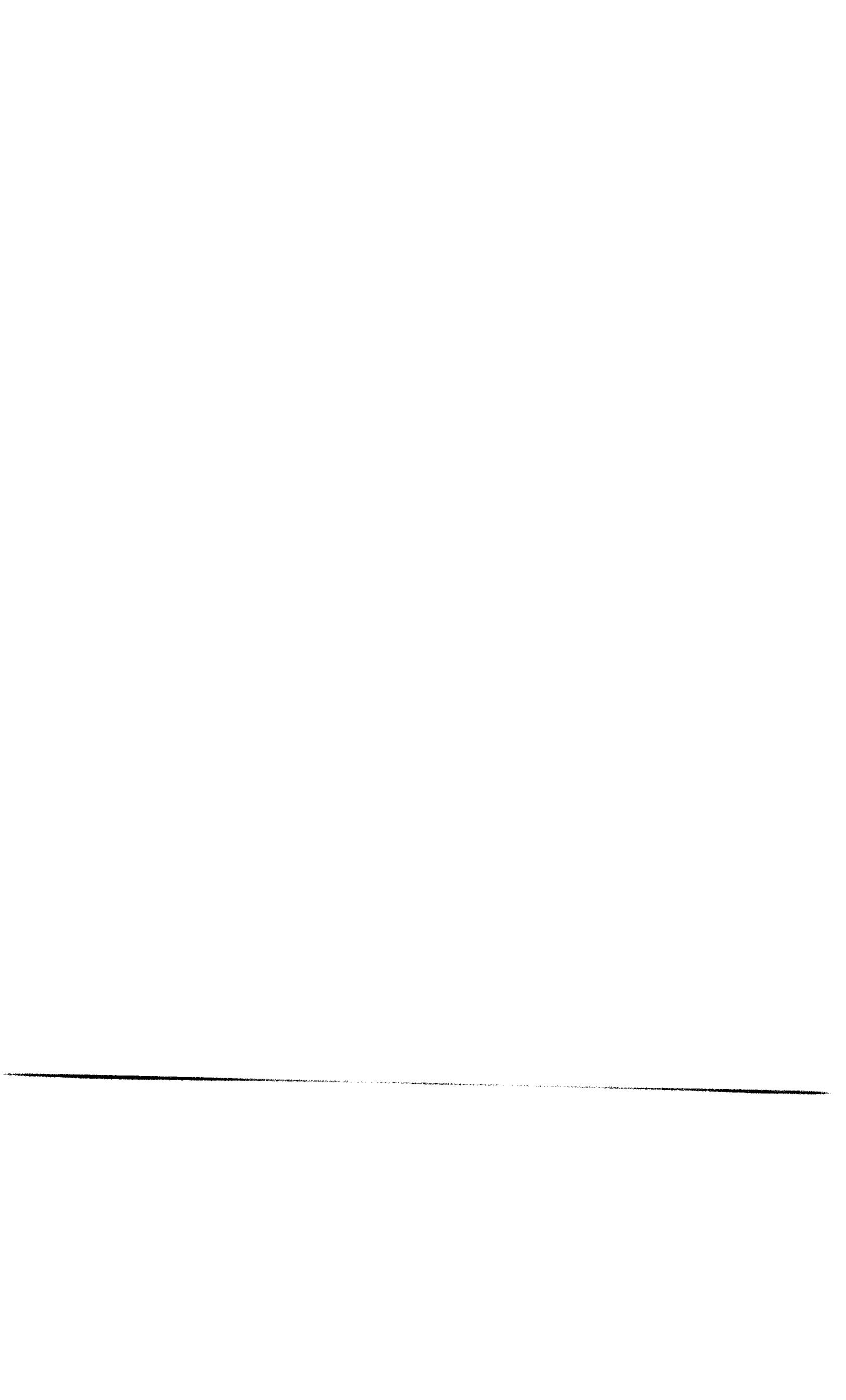
Upon review, our office has determined that there are deficiencies with your Site Development Plan for Building Permit, submitted for EPC approval. The extent and/or nature of these deficiencies:

Allow for provisional distribution to other agencies and City Departments; eleven (11) copies of a complete site plan that clearly addresses all Site Development Plan for Building Permit Checklist items must be submitted to the Planning Department (staff planner) by Dec. 22, 2003.

Warrant rejection of this site plan submittal: Deficiencies prevent a complete and meaningful review of the plan(s). Consequently, this request will not be scheduled for the EPC hearing on _____; resubmittal of a complete site plan that addresses all Site Development Plan for Building Permit Checklist items is necessary to be scheduled for a future EPC hearing.

DEFICIENCIES:

- Need scaled vicinity map
- Need ~~existing~~ original site plan for subdivision
- Need setbacks
- Need FAR



Architectural Design Guidelines

Design guidelines shall comply and coordinate with design guidelines approved for the previous Site Plan for Subdivision (Project # 1000931)

General Architectural

General architectural character for shopping center and pad structures is to follow the general design concept depicted on elevations of the TVI Westside campus, adjacent to the site. Buildings will be smooth colored cementitious finish and cultured stone panels in earth tones similar to TVI campus. Structures are to be predominately flat-roofed, however partial building areas such as central circulation areas, portals, or small extensions of building functions adjacent to the major building mass may have sloped roofs. These roofs are to be pyramid or shed type with pre-finished metal panels similar to the TVI campus. Building heights are limited to 25-ft. parapet heights for main building walls. Sloped roof elements will extend above this height. The approval of the site plans for building permits for each site will be delegated to the city of Albuquerque planning staff.

Pad Architectural Design Standards

Shall include the following elements to provide uniform standards for all pads:

- The major building massing elements shall be clad with ashlar pattern cultured stone panels in earth tones.
- Entry areas shall be earth-tone colored cementitious materials with clear anodized storefront and tinted glazing
- Site screen walls shall be earth-toned cementitious materials that contrast with main building mass.
- Sloped roof materials shall be pre-finished metal panels in a consistent palette of colors

Mechanical Equipment Screening

All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way.

Building Signage

Except as noted under awnings, all signage will be internally illuminated individual type lettering not to exceed 6 percent of the wall area of each building elevation or ten percent of the wall area of the shop building. Letters are to be back lit. Exposed neon, if used, must be within channel lettering. Can type signs are prohibited. Any special logos associated with a specific tenant are to be provided in a non-illuminated fashion for specific approval.

Landscaping

Landscaping of the pads will be from the same landscaping pallet and concept as provided on the master landscaping plan. Landscaping shall be designed in accordance with City of Albuquerque guidelines for water conservation measures.

Awnings

Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed 6 percent of the area of the building wall. Illumination of awnings must be from pendant-mounted fixtures located above the awning. Accent colors on awnings are to be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.

Glazing

Reflective glazing is prohibited. Clear and tinted glass is permitted. The tint color is to be compatible with the general color palette.

Service Areas

Service areas such as refuse locations and compactors are to be totally screened from the view of adjacent areas and public rights-of-way. Freestanding dumpster areas are to be gated. Screening material is to match building wall color and material.

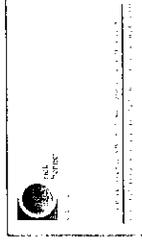
Lighting

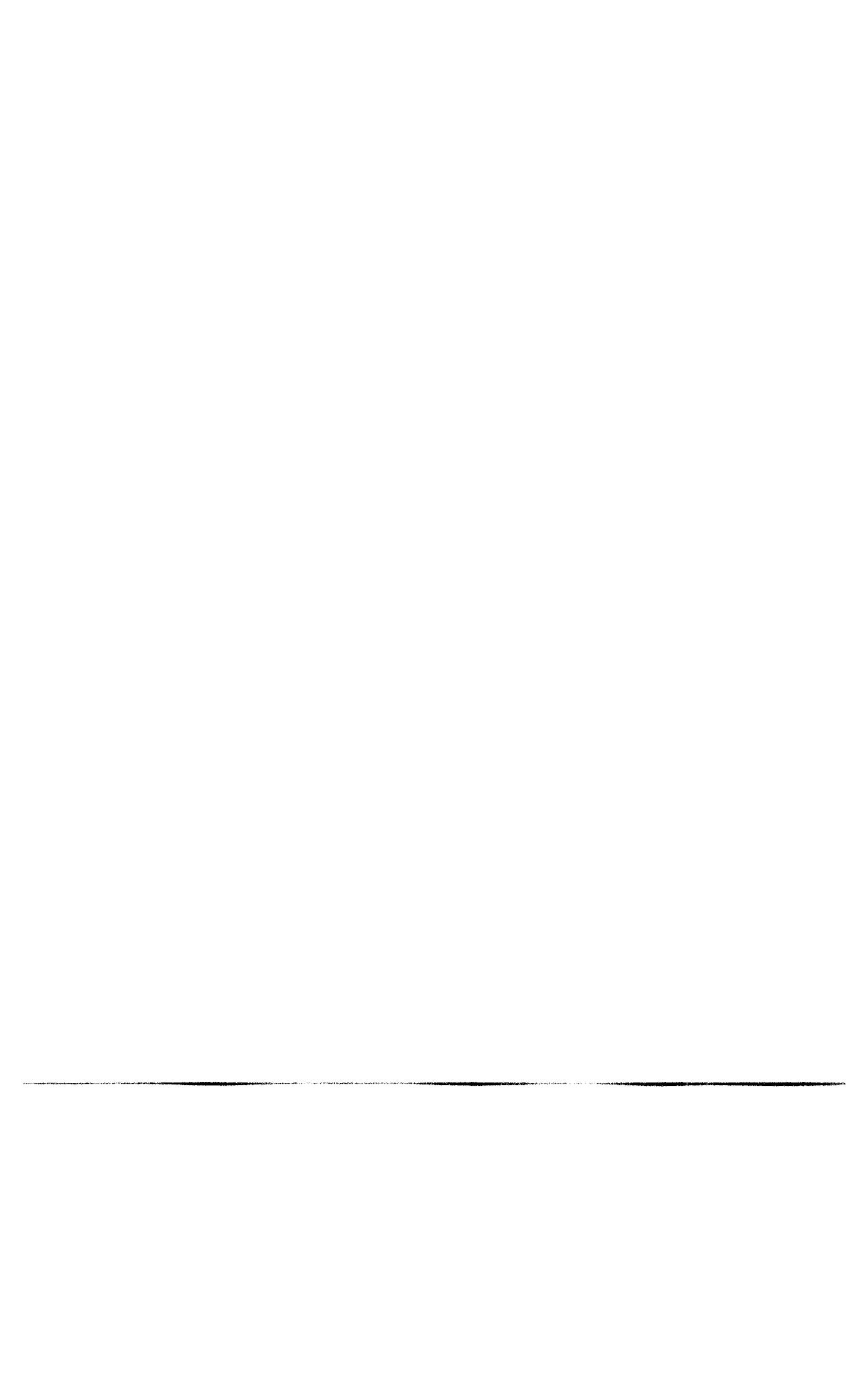
Site lighting for pad structures is to match the site lighting provided for the main parking area. Exposed, (i.e. unshielded) light fixtures are prohibited. All lamps must be shielded shoebox type fixtures. The maximum height for lighting fixtures shall be: 16-ft. for walkways and entry plazas and 20-ft. for street lights and parking areas (restricted to 15-ft. within 70 feet of residential) Site lighting shall not have off-site luminance greater than 1000 foot lamberts.

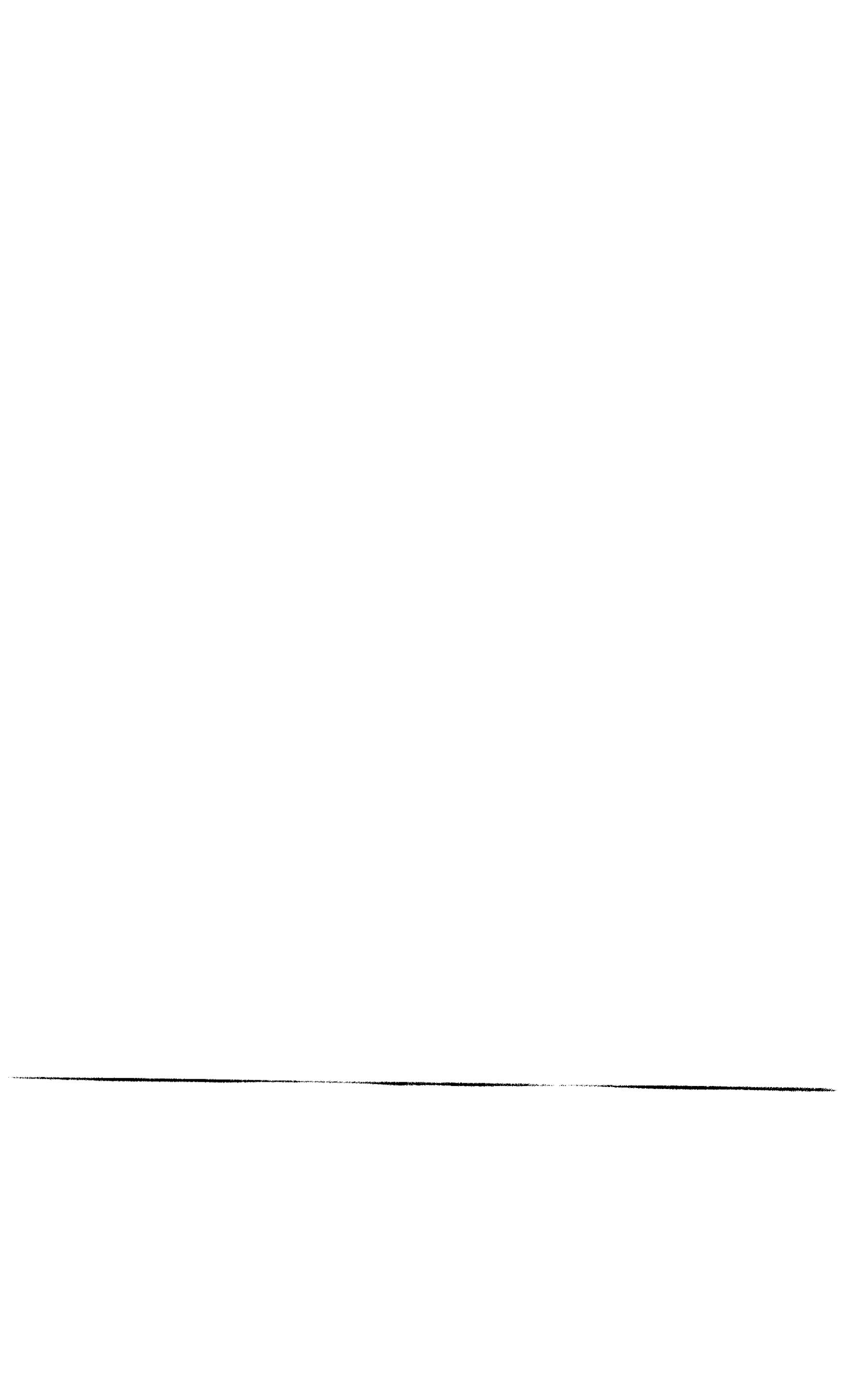
Pedestrian Access

Pedestrian crossings of vehicle circulation areas shall be minimum 6-ft. wide, of an alternative textured material and slightly raised. Provisions shall be made for adequate pedestrian circulation with handicapped features within the site and to the adjacent streets. Unidirectional ramps are needed at pedestrian sidewalks and entrances.

UNIVERSE PLAZA DESIGN GUIDELINES







Architectural Design Guidelines

Design guidelines shall comply and coordinate with design guidelines approved for the previous Site Plan for Subdivision (Project # 1000931)

General Architecture

General architectural character for shopping center and pad structures is to follow the general design concept depicted on elevations of the TVI Westside campus, adjacent to the site. Buildings will be smooth colored cementitious finish and cultured stone panels in earth tones similar to TVI campus. Structures are to be predominately flat-roofed, however partial building areas such as central circulation areas, portals, or small extensions of building functions adjacent to the major building mass may have sloped roofs. These roofs are to be pyramid or shed type with pre-finished metal panels similar to the TVI campus. Building heights are limited to 25-ft. parapet heights for main building walls. Sloped roof elements will extend above this height. The approval of the site plans for building permits for each site will be delegated to the city of Albuquerque planning staff.

Pad Architectural Design Standards

Shall include the following elements to provide uniform standards for all pads:

- The major building massing elements shall be clad with ashlar pattern cultured stone panels in earth tones.
- Entry areas shall be earth-tone colored cementitious materials with clear anodized storefront and tinted glazing
- Site screen walls shall be earth-toned cementitious materials that contrast with main building mass.
- Sloped roof materials shall be pre-finished metal panels in a consistent palette of colors

Mechanical Equipment Screening

All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way.

Building Signage

Except as noted under awnings, all signage will be internally illuminated individual type lettering not to exceed 6 percent of the wall area of each building elevation or ten percent of the wall area of the shop building. Letters are to be back lit. Exposed neon, if used, must be within channel lettering. Can type signs are prohibited. Any special logos associated with a specific tenant are to be provided in a non-illuminated fashion for specific approval.

Landscaping

Landscaping of the pads will be from the same landscaping pallet and concept as provided on the master landscaping plan. Landscaping shall be designed in accordance with City of Albuquerque guidelines for water conservation measures.

Awnings

Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed 6 percent of the area of the building wall. Illumination of awnings must be from pendant-mounted fixtures located above the awning. Accent colors on awnings are to be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.

Glazing

Reflective glazing is prohibited. Clear and tinted glass is permitted. The tint color is to be compatible with the general color palette.

Service Areas

Service areas such as refuse locations and compactors are to be totally screened from the view of adjacent areas and public rights-of-way. Freestanding dumpster areas are to be gated. Screening material is to match building wall color and material.

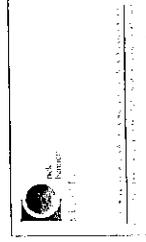
Lighting

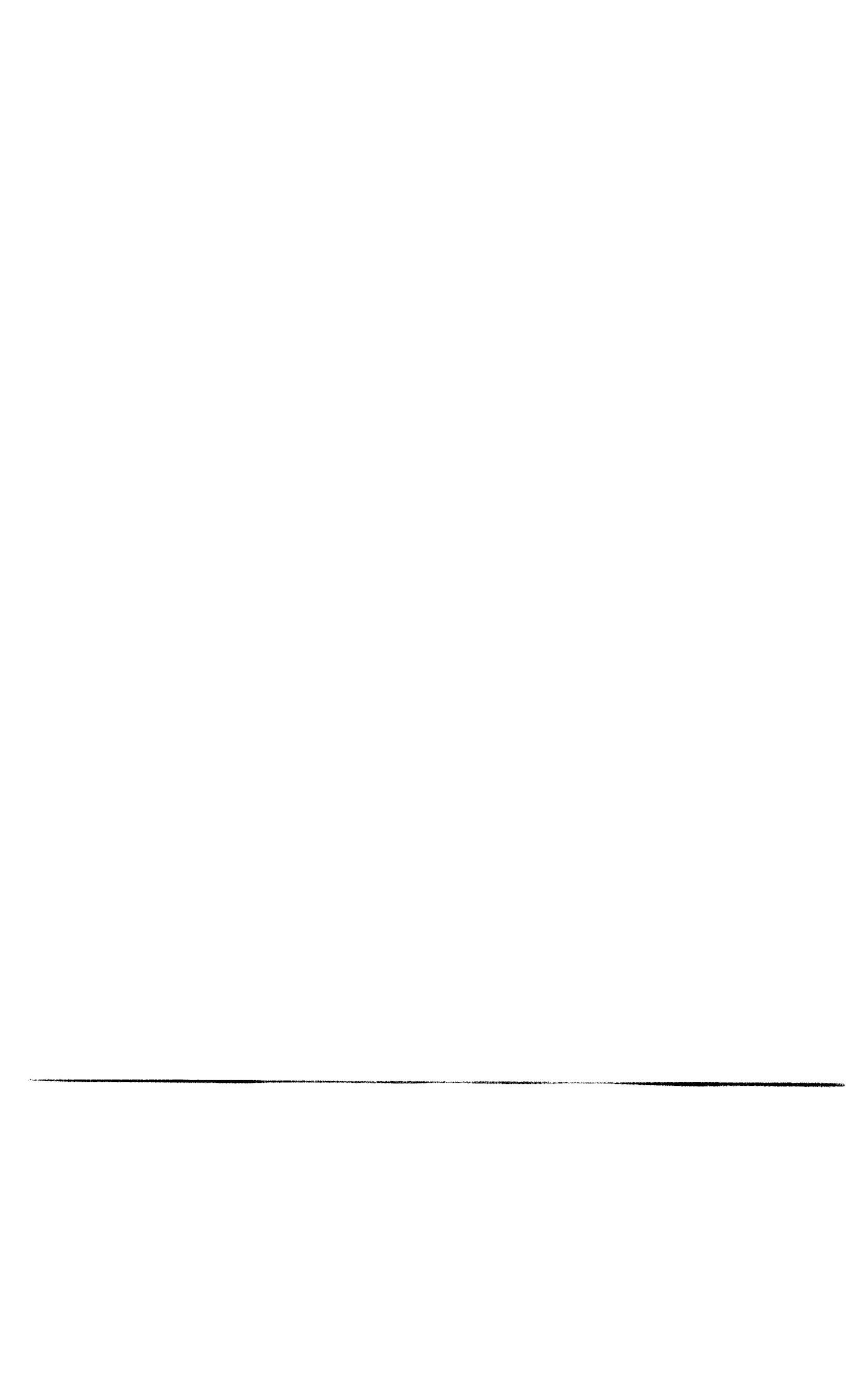
Site lighting for pad structures is to match the site lighting provided for the main parking area. Exposed, (i.e. unshielded) light fixtures are prohibited. All lamps must be shielded shoebox type fixtures. The maximum height for lighting fixtures shall be: 16-ft. for walkways and entry plazas and 20-ft. for street lights and parking areas (restricted to 15-ft. within 70 feet of residential) Site lighting shall not have off-site luminance greater than 1000 foot lamberts.

Pedestrian Access

Pedestrian crossings of vehicle circulation areas shall be minimum 6-ft. wide, of an alternative textured material and slightly raised. Provisions shall be made for adequate pedestrian circulation with handicapped features within the site and to the adjacent streets. Unidirectional ramps are needed at pedestrian sidewalks and entrances.

UNIVERSE PLAZA DESIGN GUIDELINES





City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form **S**

SUBDIVISION

Major Subdivision action

Minor Subdivision action

Vacation **V**

Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

... for Subdivision Purposes

... for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

Supplemental form **Z**

ZONING & PLANNING

Annexation

County Submittal

EPC Submittal

Zone Map Amendment (Establish or Change Zoning)

Sector Plan (Phase I, II, III)

Amendment to Sector, Area, Facility or Comprehensive Plan

Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: PETE DASKALOS PROPERTIES PHONE: (505) 883-0414

ADDRESS: 5321 MENAUL BLVD NE FAX: N/A

CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: N/A

Proprietary interest in site: PURCHASER

AGENT (if any): DAC ENTERPRISES, INC PHONE: (505) 294-5243

ADDRESS: P.O. BOX 14658 FAX: 505-247-4530

CITY: ALBUQUERQUE STATE NM ZIP 87191 E-MAIL: N/A

DESCRIPTION OF REQUEST: SU-1 for C-1 USES (INCLUDING RESTAURANTS w/FULL SERVICE LIQUOR AND LIQUOR SALES FOR OFF-PREMISE CONSUMPTION ANCILLARY to FULL SERVICE GROCERY STORE

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 1C Block: _____ Unit: 8

Subdiv. / Addn. SEVILLE ADDITION

Current Zoning: SU-1 CHURCH & REL FAC Proposed zoning: SU-1 for C-1 USES w/FULL LIQUOR

Zone Atlas page(s): A-10-Z No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 9. Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No. 101006602504730102 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: UNIVERSE NW

Between: IRVING BLVD NW and WESTSIDE BLVD NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): FILE #

001100000001626/00128000001625 1000931

Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team . Date of review: _____

SIGNATURE DAC Enterprises Inc, by Doug Crandall DATE 12-3-03

(Print) Doug Crandall Applicant _____ Agent _____

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>23 EPC - 02038</u>	<u>SPS</u>		\$ <u>385.-</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>- 02039</u>	<u>ZMA</u>		\$ <u>735.-</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill <u>NO</u>		<u>NOTICE</u>		\$ <u>75.-</u>
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>JAN 15 2004</u>			\$ <u>1195.-</u>

DM 12/3/03
Planner signature / date

Project # 1000931

FORM Z: ZONE MAP, ZONING CODE TEXT & PLAN AMENDMENT

ANNEXATION

- Application for zone map amendment including those submittal requirements. See below. Annexation and establishment of zoning must be applied for simultaneously.
- Petition for Annexation Form and necessary attachments
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied).
NOTE: The Zone Atlas must show that the site is in County jurisdiction, but is contiguous to City limits.
- Letter briefly describing, explaining, and justifying the request
NOTE: Justifications must adhere to the policies contained in "Resolution 54-1990"
- Letter of authorization from the property owner if application is submitted by an agent
- BCC Notice of Decision for City Submittals
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

- SECTOR DEVELOPMENT PLAN PHASE I - DRB CONCEPTUAL PLAN REVIEW (Unadvertised)**
- SECTOR DEVELOPMENT PLAN PHASE II - EPC FINAL REVIEW & APPROVAL (Public Hearing)**
- SECTOR DEVELOPMENT PLAN PHASE II - DRB FINAL SIGN-OFF (Unadvertised)**

- Copy of findings from required pre-application meeting (needed for the DRB conceptual plan review only)
- Proposed Sector Plan (30 copies for EPC, 6 copies for DRB)
- Zone Atlas map with the entire plan area precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts (for EPC final review and approval - public hearing only)
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form (for EPC final review and approval public hearing only)
- Fee for EPC final review and approval only (see schedule)
- Any original and/or related file numbers are listed on the cover application

Refer to the schedules for the dates, times and places of D.R.B. Unadvertised meetings and E.P.C. hearings. **Your attendance is required.**

AMENDMENT TO ZONE MAP (ESTABLISHMENT OF ZONING OR ZONE CHANGE)

- Application for sector development plan amendment (required only if site is within a sector plan's boundaries.)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request NOTE: Justifications must adhere to the policies contained in "Resolution 270-1980"
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule) $240 + (55 \times 9) = 495 + 240 = 735$
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

AMENDMENT TO SECTOR DEVELOPMENT, AREA, FACILITY, OR COMPREHENSIVE PLAN

- Proposed Amendment referenced to the materials in the Plan being amended (text and/or map)
- Plan to be amended with materials to be changed noted and marked
- Zone Atlas map with the entire plan/amendment area precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts (sector plans only)
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

AMENDMENT TO ZONING CODE OR SUBDIVISION REGULATIONS TEXT

- Amendment referenced to the sections of the Zone Code/Subdivision Regulations being amended
- Sections of the Zone Code/Subdivision Regulations to be amended with text to be changed noted and marked
- Letter briefly describing, explaining, and justifying the request
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Deej Crandall, DAC, INC
Applicant name (print)
Deej Crandall by PM 12/3/03
Applicant signature / date



Form revised 9/02, 3/03, 7/03

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
03EPC - 02038
03EPC - 02039

JAN 12/3/03
Planner signature / date
Project # 1000931

FORM P(1): SITE PLAN REVIEW – E.P.C. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

IP MASTER DEVELOPMENT PLAN

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 30 copies for EPC public hearings. For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
 - Site plans and related drawings reduced to 8.5" x 11" format
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Completed Site Plan for Subdivision and/or Building Permit Checklist
 - Sign Posting Agreement
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
 - Fee (see schedule) 385
 - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 30 copies for EPC public hearings.
- ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 30 copies for EPC public hearings.
- ___ Site plans and related drawings reduced to 8.5" x 11" format
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Completed Site Plan for Subdivision and/or Building Permit Checklist
- ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
- ___ TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

NOTE: For wireless telecom facilities (administrative reviews that have been referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:

- ___ Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
 - ___ Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
 - ___ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
 - ___ Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
 - ___ Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
 - ___ Registered Engineer's stamp on the Site Development Plans
 - ___ Office of Community & Neighborhood Coordination inquiry response as above based on ¼ mile radius
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 30 copies for EPC public hearings
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 30 copies for EPC public hearings
 - ___ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 30 copies for EPC public hearings
 - ___ Site plans and related drawings reduced to 8.5" x 11" format
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DAC Enterprises, Inc. by Day Crandall
 Applicant name (print)
Day Crandall
 Applicant signature / date



Form revised May 2003

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 03 EPC - 02038
 - 02039

JM 12/3/03
 Planner signature / date
Project # 1000931

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / ENVIRONMENTAL HEALTH INFORMATION FORM

APPLICANT: DAC ENTERPRISES, INC Date of request: 12/1/03 Zone atlas page(s): A-10

CURRENT: Zoning SV-1 Church-Kel-Fa Legal Description - Lot or Tract # 10 Block # _____
Parcel Size (acres / sq.ft.) 9.9 AC Subdivision Name SEVILLE UNIT 8

REQUESTED CITY ACTION(S):

Annexation	[]	Sector Plan	[]	Site Development Plan:	Building Permit	[]
Comp. Plan		Zone Change	[X]	a) Subdivision	Access Permit	[]
Amendment	[]	Conditional Use	[]	b) Build'g Purposes	Other	[]
				c) Amendment		[]

PROPOSED DEVELOPMENT:

GENERAL DESCRIPTION OF ACTION: 1

No construction / development [X] # of units - _____
 New Construction [X] ^{Later} Building Size - _____ (sq. ft.)
 Expansion of existing development []

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative [Signature] Date 12/1/03
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [X] NO [] BORDERLINE []

Planning Dept., Dev. & Bldg. Services Div., Transportation Dev. Section - 2nd FL. 600 2nd St. NW Plaza del Sol Bldg. 924-3994

THRESHOLDS MET? YES [X] NO [] Mitigating reasons for not requiring TIS: Previously studied: []

Notes:

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature]
TRAFFIC ENGINEER

12-1-03
DATE

Per letter dated August 7, 2003 from the Director of the Environmental Health Department to the Director of the Planning Department, "all 5 CO monitors within Bernalillo County are yielding 8-hour average CO levels at less than 50% of the Federal CO standard ..." and "based on our review of the available scientific data, we do not foresee a circumstance where preparation of a detailed air quality study for a land use development will be warranted - regardless of the project size, location or traffic generated".

Required TIS **must be completed prior to applying to the EPC.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS - SUBMITTED ___/___/___
 - FINALIZED ___/___/___

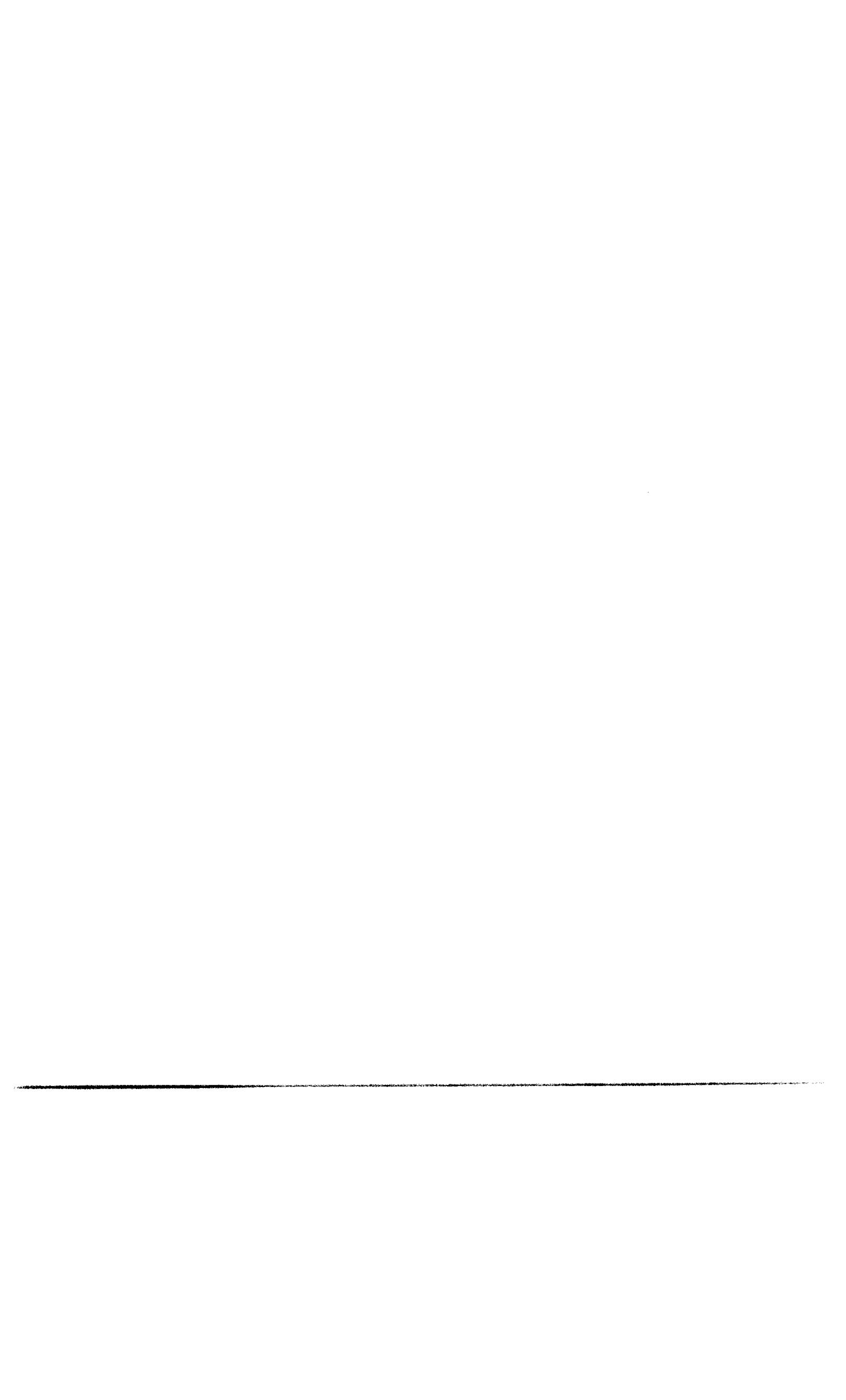
 TRAFFIC ENGINEER

 DATE

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH



December 1, 2003

Chair, Environmental Planning Commission
City of Albuquerque
Albuquerque, New Mexico

REQUEST ZONE CHANGE

Dear Chair and Commissioners:

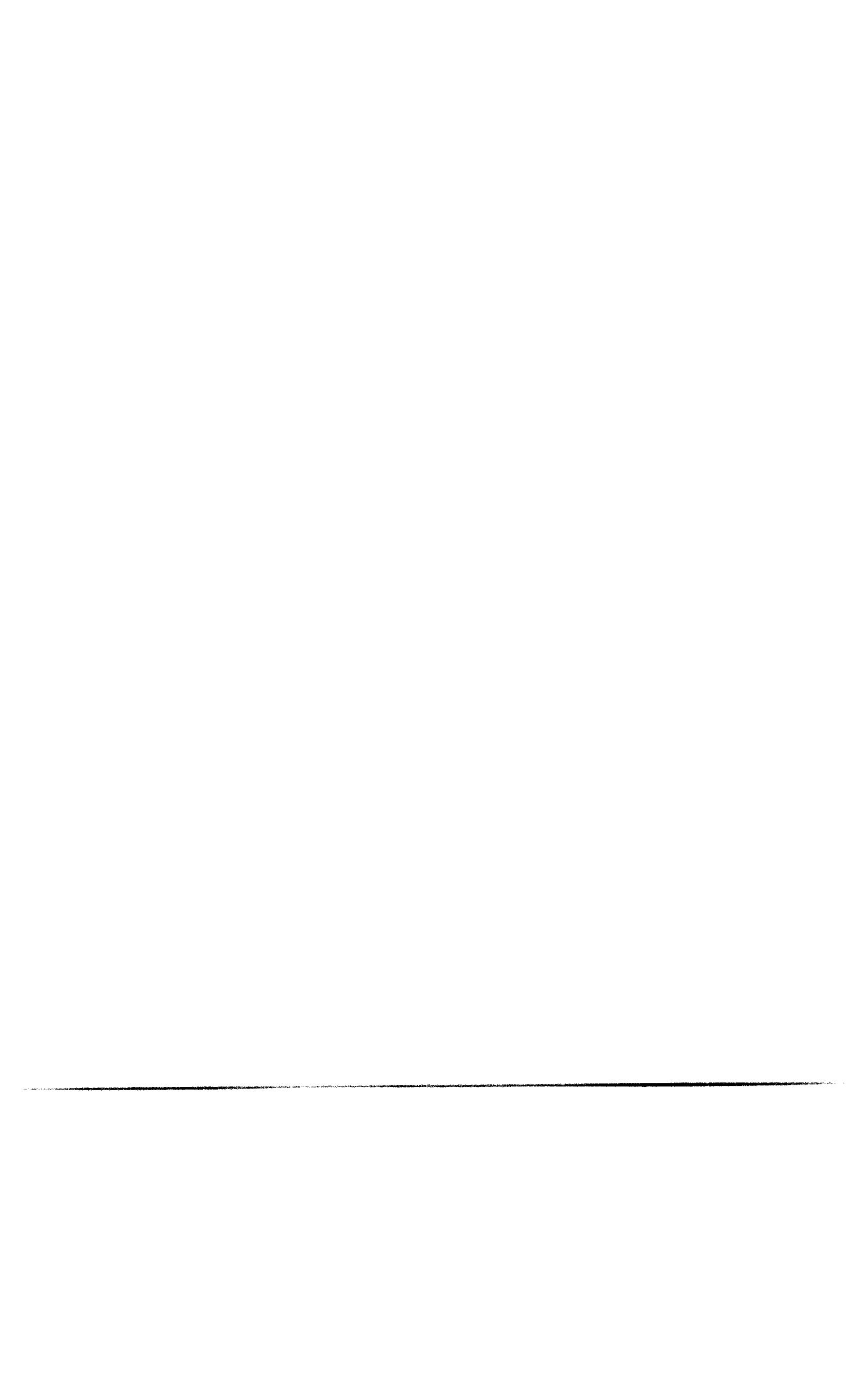
This is a request to amend the City zone map from SU-1 for church and related facilities to SU-1 for C-1 uses including restaurants with full service liquor and liquor sales for off premise consumption ancillary to full service grocery stores. Uses would be further limited by the restrictions described in project 1000931.

The current zoning was approved for this property in 2001. It was part of a large rezoning of approximately 146.8 acres. There was no development on the property at that time and very little development in the area. The property is adjacent to the TVI west side campus.

Policy 1.3 of the *West Side Strategic Plan* identifies activity centers for neighborhoods. The activity center currently identified is the TVI campus. Applicant believes that the TVI campus will not provide commercial uses that would be beneficial to this burgeoning neighborhood. The Westside/Paradise Heights/TVI component of the plan states that "[a] small Neighborhood Center is proposed to serve the western portion of the Seven Bar area." The timing of the center "will depend upon the timing of the residential development." Much of the surrounding area is zoned RL-T (limited townhouse) or SU-1 for R-2 (low density apartments.) The area gives every indication of growing much faster than envisioned. As this request is being written, there is already another request to amend the 2001 zoning action to make an additional 10 acres of R-1(single family) to RL-T.

Policy 1.9 of the *West Side Strategic Plan* states that the establishment of new "neighborhood centers should be located to serve approximately 15,000 population within a one mile radius of the center." Typical uses in the center "might be used almost daily." Although the surrounding area is not near the 15,000 population at this point, TVI students would also use the neighborhood center before and after classes for casual dining and convenience shopping. The center will be further designed with outdoor dining areas to encourage gathering and will provide safe pedestrian connections among buildings, and between buildings and parking areas.

Policy i of the *Albuquerque/Bernalillo County Comprehensive Plan* states that employment and service uses shall be sited to complement residential areas and to minimize adverse affects of noise, lighting, pollution and traffic residential environs. This proposed zoning would provide a transition from the neighborhood to the TVI campus, while providing accessible employment opportunities to both residents and TVI students. This proposed zoning would also further the objectives of the West Side Strategic Plan to "[p]romote job opportunities and business growth in appropriate areas on the West Side."



EPC

December 1, 2003

Page 2

The Goal of the transportation and transit component of the *Albuquerque/Bernalillo County Comprehensive Plan* is to provide a balanced circulation system of employment and services while encouraging bicycling, walking and use of transit and other alternatives to automobile travel.

There should also be sufficient roadway capacity to meet mobility and access needs. This request furthers that goal as it has clear access to major transit routes and two major trail routes (Calabacillas Arroyo and McMahon Blvd.) for bicycles. Policy g asks for pedestrian opportunities to be promoted and integrated into new developments and the applicant is willing to design his site plan to achieve the goals of this policy.

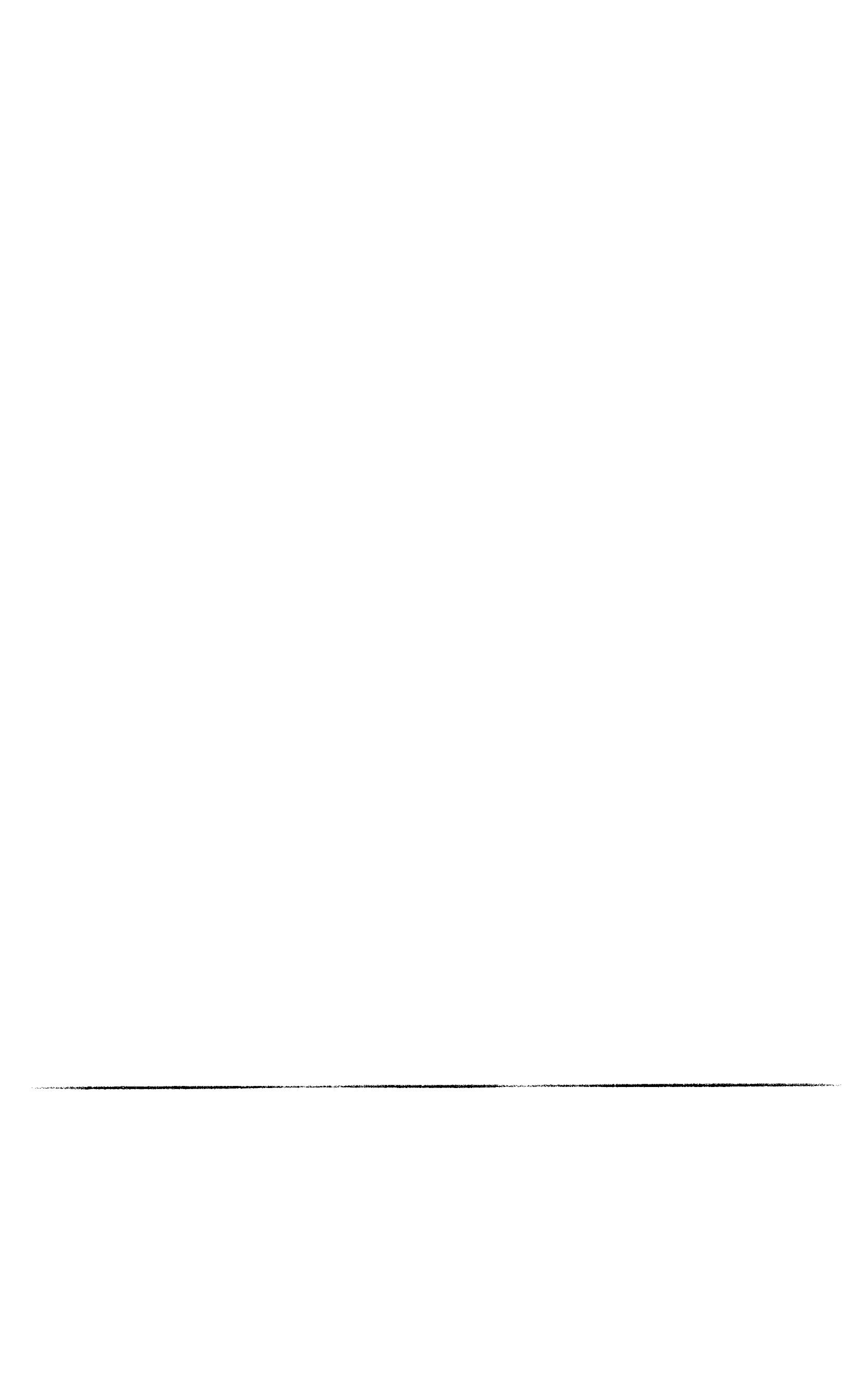
Applicant believes that this development will further the economic goals of the *Albuquerque/Bernalillo County Comprehensive Plan* which states in Policy a that new employment opportunities should accommodate a wide range of occupational skills and salary levels. Major tenants for this development are expected to include a bank, a large retail grocery chain store and at least one national chain restaurant. Smaller retail storefront stores will also be available giving nearby residents an entrepreneurial opportunity. In addition, this site is practically adjacent to TVI, which would reduce travel needs for both students and nearby residents.

The *West Side Strategic Plan* encourages development of neighborhood centers to be fitted into the urban fabric of communities. Most existing non-residential development near this community is located along Coors Boulevard. Applicant believes that because of the increased density of the area and being adjacent to TVI, this proposed neighborhood center will become an integral part of the area and will become a focal point for the community.

Applicant has a strong record of environmentally appropriate development throughout the Albuquerque area. The site plan for subdivision accompanying this request furthers all of the goals found in Policy d of the Community Identity and Urban Design component of the *Albuquerque/Bernalillo County Comprehensive Plan*. Design of this development will also complement the architecture of the TVI campus, thus providing a cohesive architectural style for the educational and retail segments of this community.

Applicant believes that this proposed map amendment complies with all relevant aspects of Resolution 270-1980.

- A. This zone change request is consistent with the health, safety, morals and general welfare of the City. There are no uses that would be allowed by this zone change that would conflict with the intent of this section.
- B. Applicant believes that this proposed map amendment is well justified by the *Albuquerque Bernalillo County Comprehensive Plan* and the *West Side Strategic Plan*.



EPC

December 1, 2003

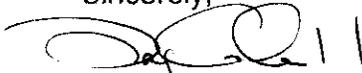
Page 3

- C. As noted, this zone change request is not in conflict with the adopted policies of the *Comprehensive Plan* and does, in fact, further those policies as they apply to transit, transportation and economic development.
- D. Applicant believes that the rapid growth of the residential component of this area, as well as the opening of TVI and the likelihood of increased density adjacent to this development, constitutes changed neighborhood conditions. Further, applicant believes that because the proposed zone change will provide a different use category from that which was previously approved, it will be more advantageous to the community as articulated in the *Comprehensive Plan*. Specifically, this use will provide much needed retail services for both the neighborhood and TVI, and will mitigate the need of the TVI campus to provide for such services.
- E. As noted, there are no allowed uses in this proposed zone change that would be harmful to the adjacent property, the neighborhood or the community. Indeed, the proposed development will be beneficial to the neighborhood and enhance the quality of life for the residents.
- F. Capital funds are neither requested nor expected as a result of this request.
- G. Economic considerations are not considered a determining factor in this request.
- H. Street location is not used as justification for this request.
- I. This request does not constitute a spot zone. It is an integrated development that is part of the larger community surrounding it and a transition to the TVI campus to the northwest.
- J. See I.

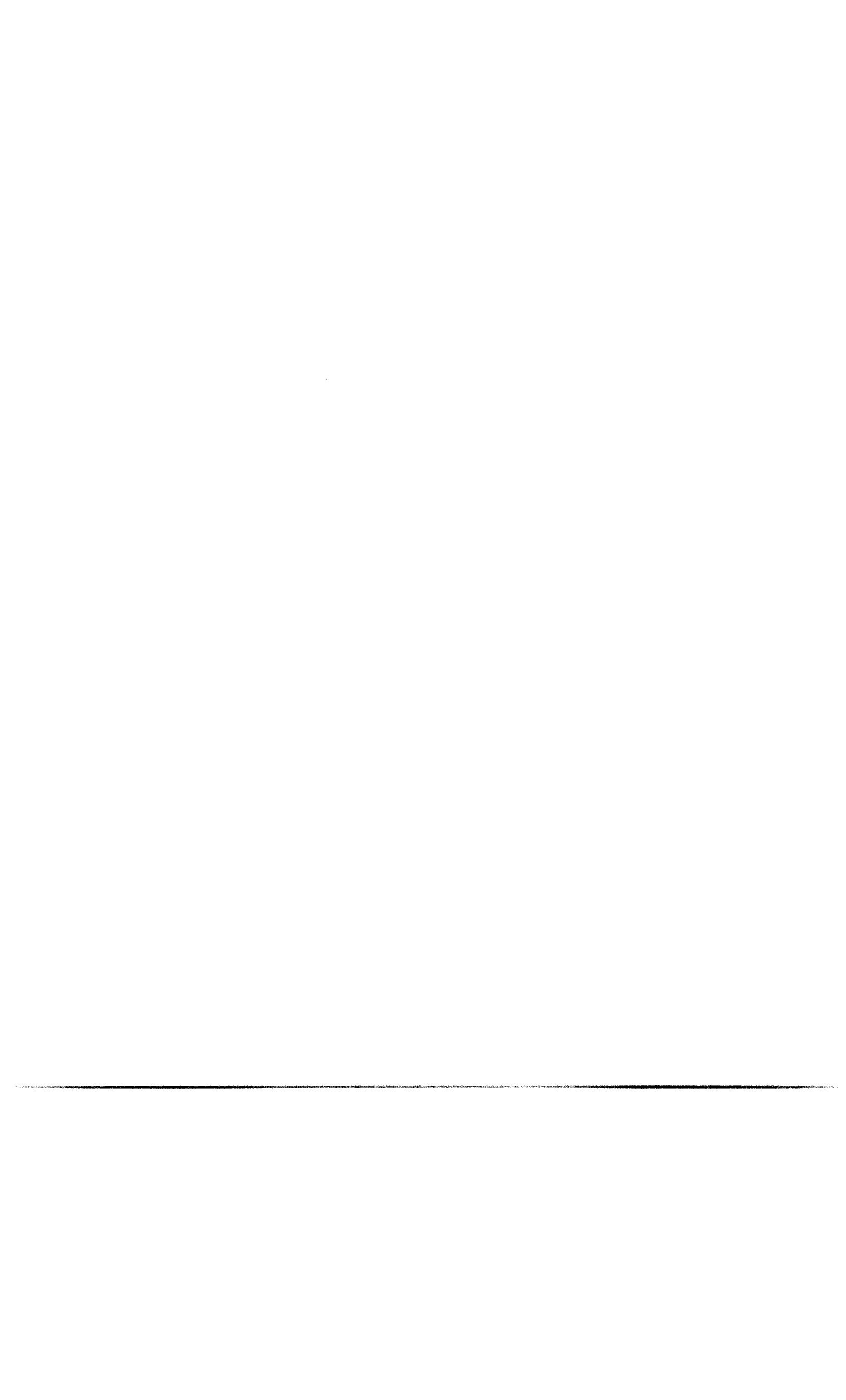
In conclusion, applicant believes that the *Albuquerque/Bernalillo County Comprehensive Plan* and the *West Side Strategic Plan* persuasively support this map amendment. This proposed zone change request also complies with all elements of Resolution 270-1980. Approval of this map amendment will provide a vibrant and vital neighborhood center as a focal point for development of the area. It will also serve as a transition from the TVI campus to the neighborhood and will fit into the long-range transportation goals of the City.

Thank you for your consideration of this request. I look forward to answering any questions you may have at the scheduled hearing.

Sincerely,



Doug Grandall
Principal



January 4, 2004

To: Carmen Marone, Planner

RE: Project # 100931
03EPC-02038/02039

In addition to the justification for zone change in the letter submitted with this application of December 3, 2003, please review the following supplemental information as further justification.

Economic Development and Population Growth

Although economic considerations are not the determining factor in this request, applicant believes that such considerations are important. Policy a of the Economic Development section of the Goals and Policies of the *Comprehensive Plan* states that "[n]ew employment opportunities which will accommodate a wide range of occupational skills and salary levels shall be encouraged and new jobs [shall be] located convenient to areas of most need." Technique #3 of this policy asks prospective employers to hire local residents.

Daskalos Properties, the developer of this parcel has a record of hiring local area residents for his shopping center sites. In a meeting between applicant's agents and the Ventana Ranch Neighborhood, Mr. Daskalos communicated that he was committed to such hiring. Indeed, the location of this development is such that area residents and TVI students would be the most likely individuals interested in working on the site.

Uses proposed for the site include a grocery store, a bank, a chain restaurant and several smaller shops and restaurants. Jobs available would be everything from managers to part time clerks and restaurant help.

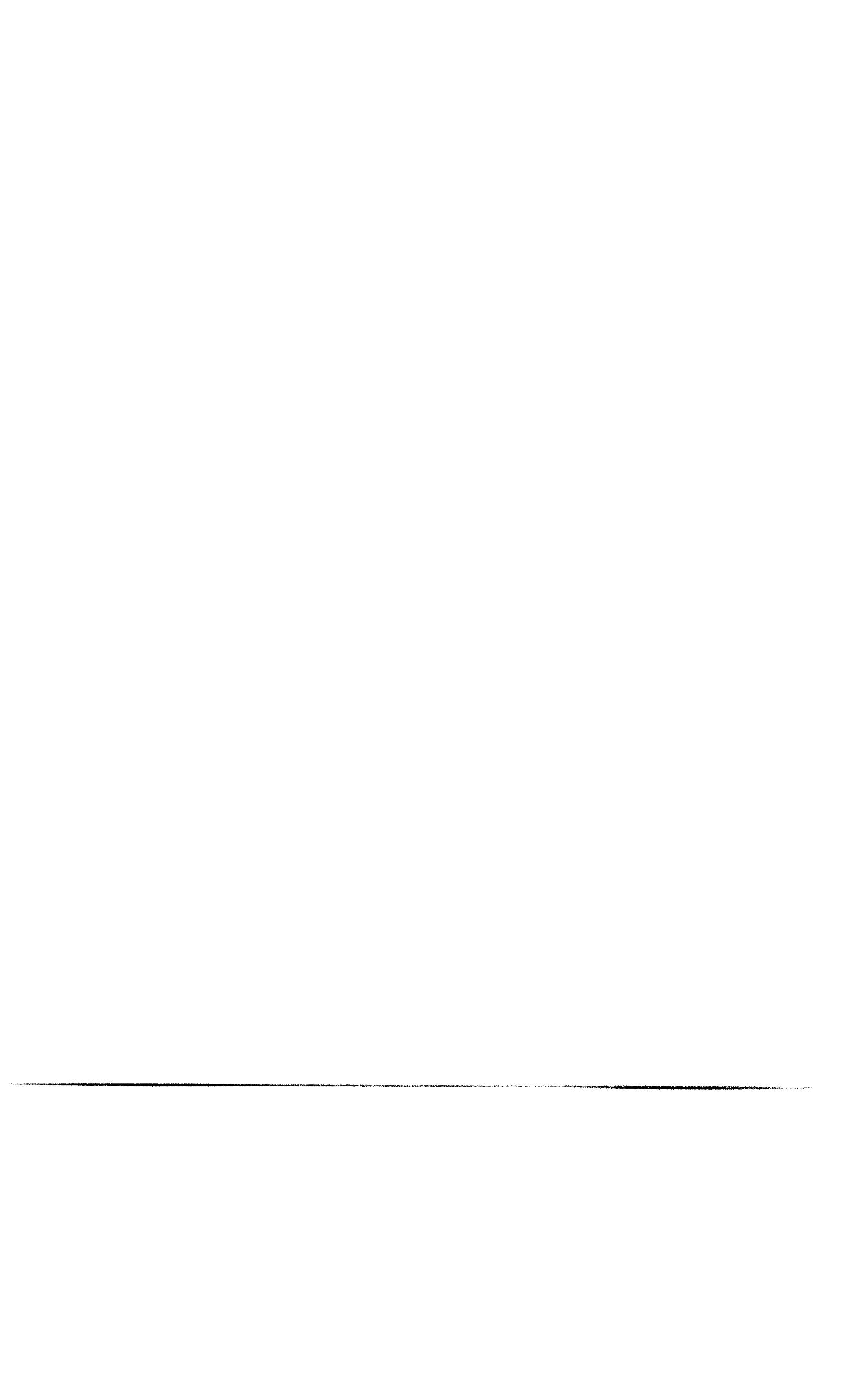
The *Comprehensive Plans* states that population projections indicate that over 50% of Bernalillo County's future population growth will occur west of the Rio Grande. This area is one of the last major development sites in Albuquerque's far northwest heights.

Finally, Policy g states that "[c]oncentration of employment in Activity Centers should be promoted to balance jobs with housing and population and reduce the need to travel." Residential development nearly surrounds this property and, as previously noted, both the area residents and the TVI students would supply the needed labor pool for the business on the site.

TVI

Although the *Comprehensive Plan* designates the Westside TVI campus as an Activity Center and Policy h of that section discourages changing zoning outside such designated centers, applicant feels that the TVI campus will not fulfill the intent of the Activity Center concept. Further, applicant believes that this proposed map amendment will serve as a transition between TVI and the surrounding residential area. Also, Policy d states that "[s]maller Activity Centers serving surrounding areas may be developed, but are not designated or mapped." Applicant believes that the general C-1 nature of the uses in this development and the approximately nine acre lot size would fit the description of a smaller Activity Center.

Table 10 of Policy a regarding Activity Centers states that a Neighborhood Activity Center should provide "for the daily service of convenience goods and personal services for the surrounding neighborhoods. Examples of typical uses include grocery, dry cleaning, deli, etc. The center should not be auto dependent and should ideally service a market area within a one half mile walking area. The TVI campus provides none of these amenities, while this site can be easily



accessed by hundreds of residents within a half-mile.

03EPC-02038/02039

Page 2

Another drawback of the TVI site as an Activity Center is the fact that the campus is outside the Albuquerque City limits.

Gross receipt taxes, permitting and development fees would all go to Bernalillo County. On the other hand, this site will not only service the Ventana Ranch and Seville neighborhoods, it would also draw residents from Paradise Hills, thus bringing gross receipts into the City.

As TVI becomes fully developed, this site will act as a transition from the campus to the residential area. The current zoning on the property, SU-1 for church and related facilities will not provide such a transition as it will likely only be occupied a few days a week at most.

Neighborhood Support

The Ventana Ranch Neighborhood Association, the only recognized neighborhood association in the vicinity, fully supports this request. In addition to providing employment and needed services to the area, the developer has agreed to modify the site plan for subdivision to divide the building along the east side of the development and provide a pedestrian connection from the adjoining neighborhood. Additionally, the developer has agreed to provide a common area in the center, and remains amendable to other improvements that would make the site a neighborhood gathering area.

Inappropriate Zoning & Other Commercial Zoning In The Area

Although this argument was not highlighted in applicant's original letter, the current zoning of the property for a church does not seem to be appropriate for this site. There is already another piece of vacant land zoned for a church. The nine-acre parcel discussed here is not likely to be developed as a church any time soon. It is too large for most churches and there seems little point in having two church zones almost across the street from each other. The Ventana Ranch Neighborhood Association believes that the other site remains appropriate for a church, but that this site is better used for other commercial purposes. This requested zone thus meets the criteria for a new use being more advantageous to the community.

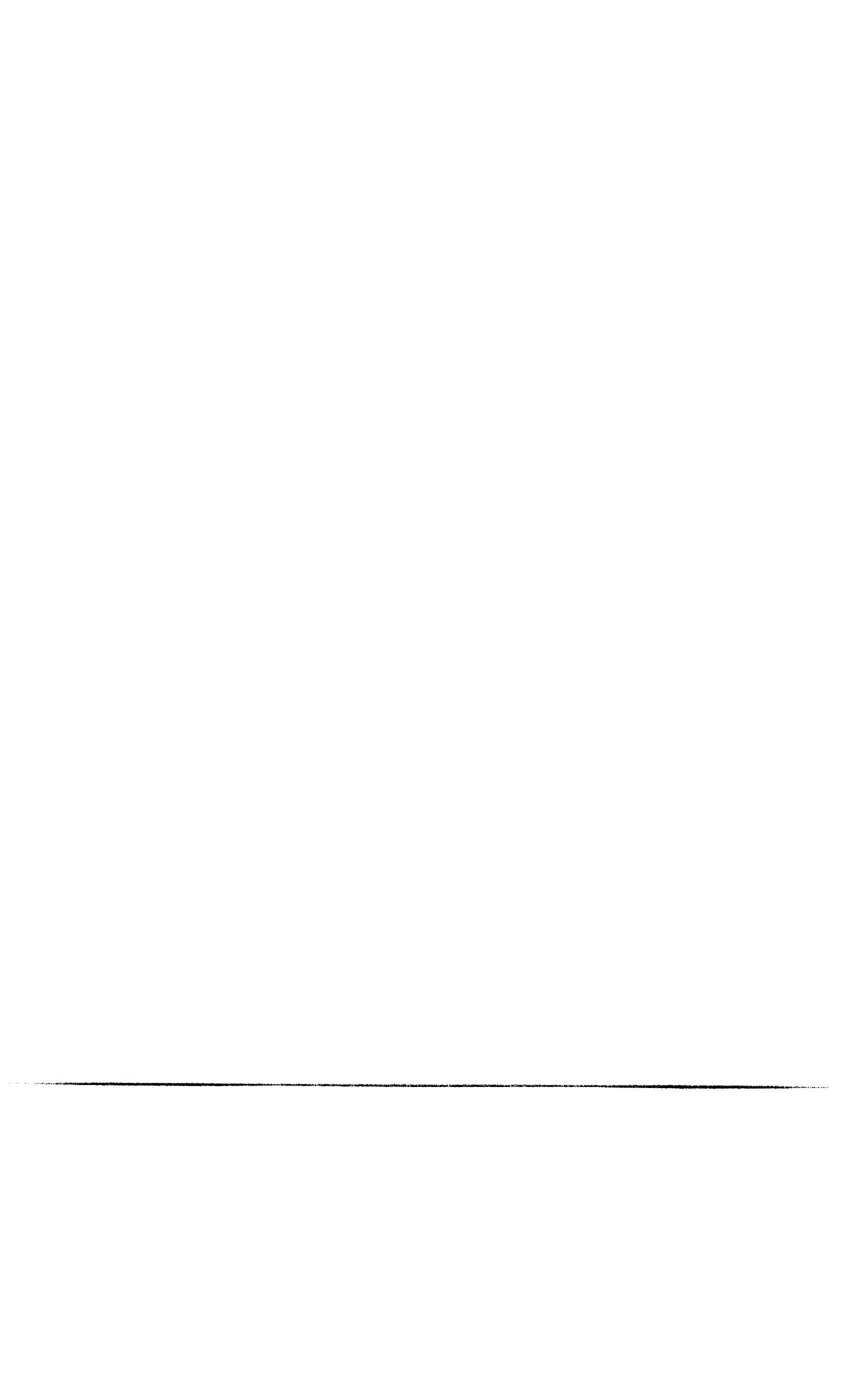
Commercial zoning exists across from the TVI campus to the north, as well as on Paradise and Universe to the south. C-1 equivalent commercial sites also exist along Unser and McMahon. None of these locations would negatively impact this site and vice versa. The exploding population in this area allows ample opportunity for multiple commercial developments. Currently, most residents of the area still most use the businesses along Coors for most of their shopping needs. If approved, this site will be the first in the area to be developed. Other sites will be developed as the market will bear it. To deny this request while no other similar developments are planned would be to deny the nearby residents a shopping alternative.

Respectfully submitted,

Doug Crandall

DAC Enterprises, Inc.

Agent for Pete Daskalos Properties



December 1, 2003

Mr. Pete Daskalos
Pete Daskalos Properties
5321 Menaul NE
Albuquerque, New Mexico 87110

AUTHORIZATION

For Professional Services

Re: Tract 1C, Seville Addition - Consultant services regarding the zone map amendment request for this location. Services to include filing of necessary forms with the City of Albuquerque, attendance at all necessary meetings with City of Albuquerque staff and neighborhood organizations, and to appear before the Environmental Planning Commission as advocate for said site plan approval.

By signing this authorization, client engages DAC Enterprises, Inc. to act as client's agent for all matters regarding this site plan approval.

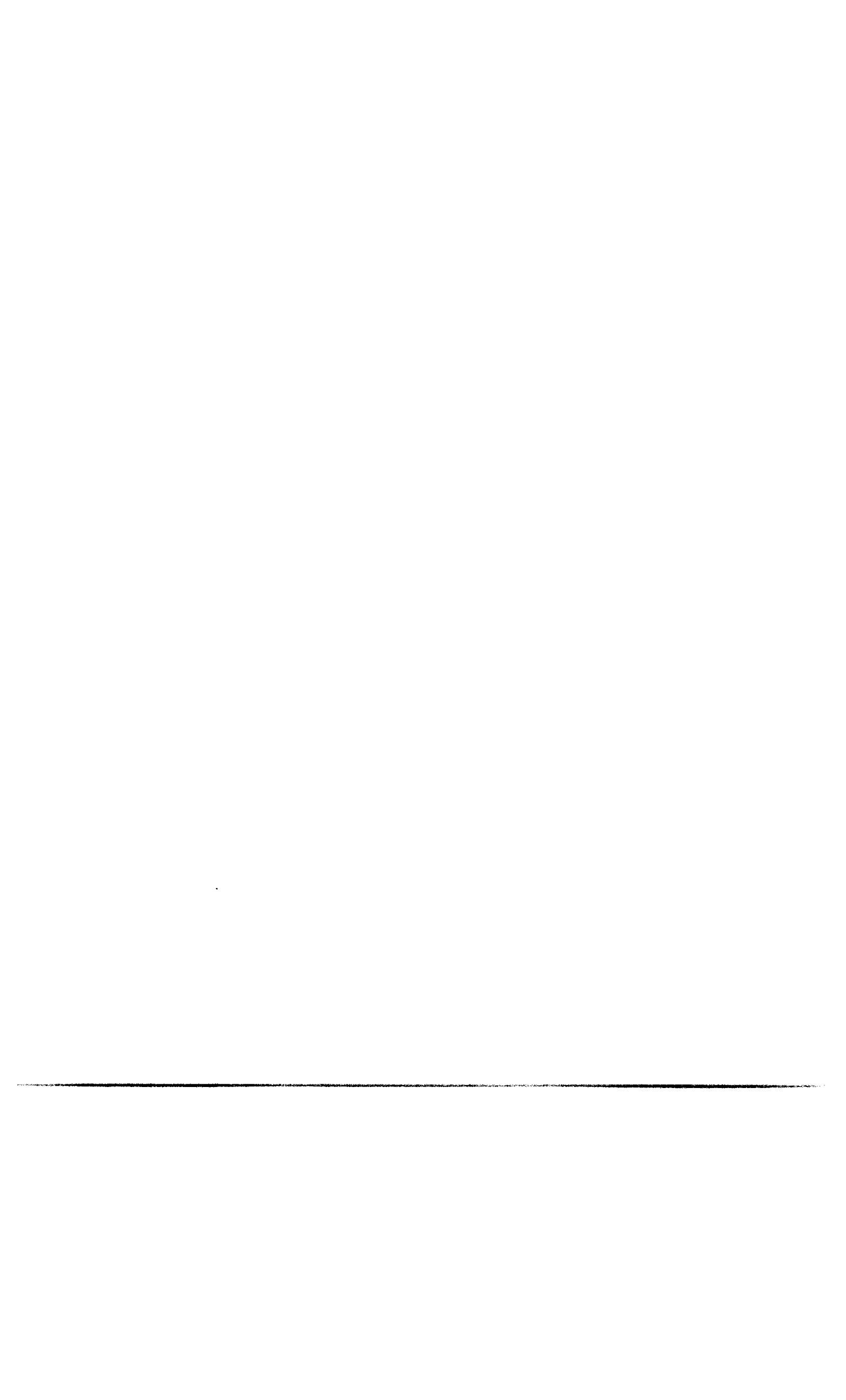
Thank you.

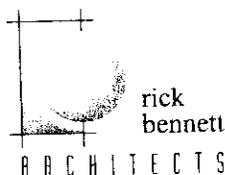
Doug Grandall

Doug Grandall
Principal
DAC Enterprises, Inc.

Accepted by Pete Daskalos:

Pete Daskalos Date 12/2/04





rick
bennett

ARCHITECTS

December 3, 2003

Universe Plaza
Universe Blvd.

REQUEST FOR SP/SUB

Architectural Design Guidelines

General Architectural

General architectural character for shopping center and pad structures is to follow the general design concept depicted on elevations of the TVI Westside campus, adjacent to the site. Buildings will be smooth colored cementitious finish and cultured stone panels in earth tones similar to TVI campus. Structures are to be predominately flat-roofed, however partial building areas such as central circulation areas, portals, or small extensions of building functions adjacent to the major building mass may have sloped roofs. These roofs are to be pyramid or shed type with pre-finished metal panels similar to the TVI campus. Building heights are limited to 25-ft. parapet heights for main building walls. Sloped roof elements will extend above this height. The approval of the site plans for building permits for each site will be delegated to the city of Albuquerque planning staff.

Pad Architectural Design Standards

Shall include the following elements to provide uniform standards for all pads:

- The major building massing elements shall be clad with ashlar pattern cultured stone panels in earth tones.
- Entry areas shall be earth-tone colored cementitious materials with clear anodized storefront and tinted glazing
- Site screen walls shall be earth-toned cementitious materials that contrast with main building mass.
- Sloped roof materials shall be pre-finished metal panels in a consistent palette of colors

Mechanical Equipment Screening

All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way.

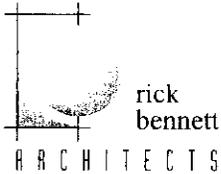
Building Signage

Except as noted under awnings, all signage will be internally illuminated individual type lettering not to exceed 6 percent of the wall area of each building elevation or ten percent of the wall area of the shop building. Letters are to be back lit. Exposed neon, if used, must be within channel lettering. Can type signs are prohibited. Any special logos associated with a specific tenant are to be provided in a non-illuminated fashion for specific approval.

Landscaping

Landscaping of the pads will be from the same landscaping pallet and concept as provided on the master landscaping plan. Landscaping shall be designed in accordance with City of Albuquerque guidelines for water conservation measures.

1104 Park Avenue SW · Albuquerque, New Mexico 87102 505-242-1859 Fax 505-242-6630



Awnings

Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed 6 percent of the area of the building wall. Illumination of awnings must be from pendant-mounted fixtures located above the awning. Accent colors on awnings are to be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.

Glazing

Reflective glazing is prohibited. Clear and tinted glass is permitted. The tint color is to be compatible with the general color palette.

Service Areas

Service areas such as refuse locations and compactors are to be totally screened from the view of adjacent areas and public rights-of-way. Freestanding dumpsite areas are to be gated. Screening material is to match building wall color and material.

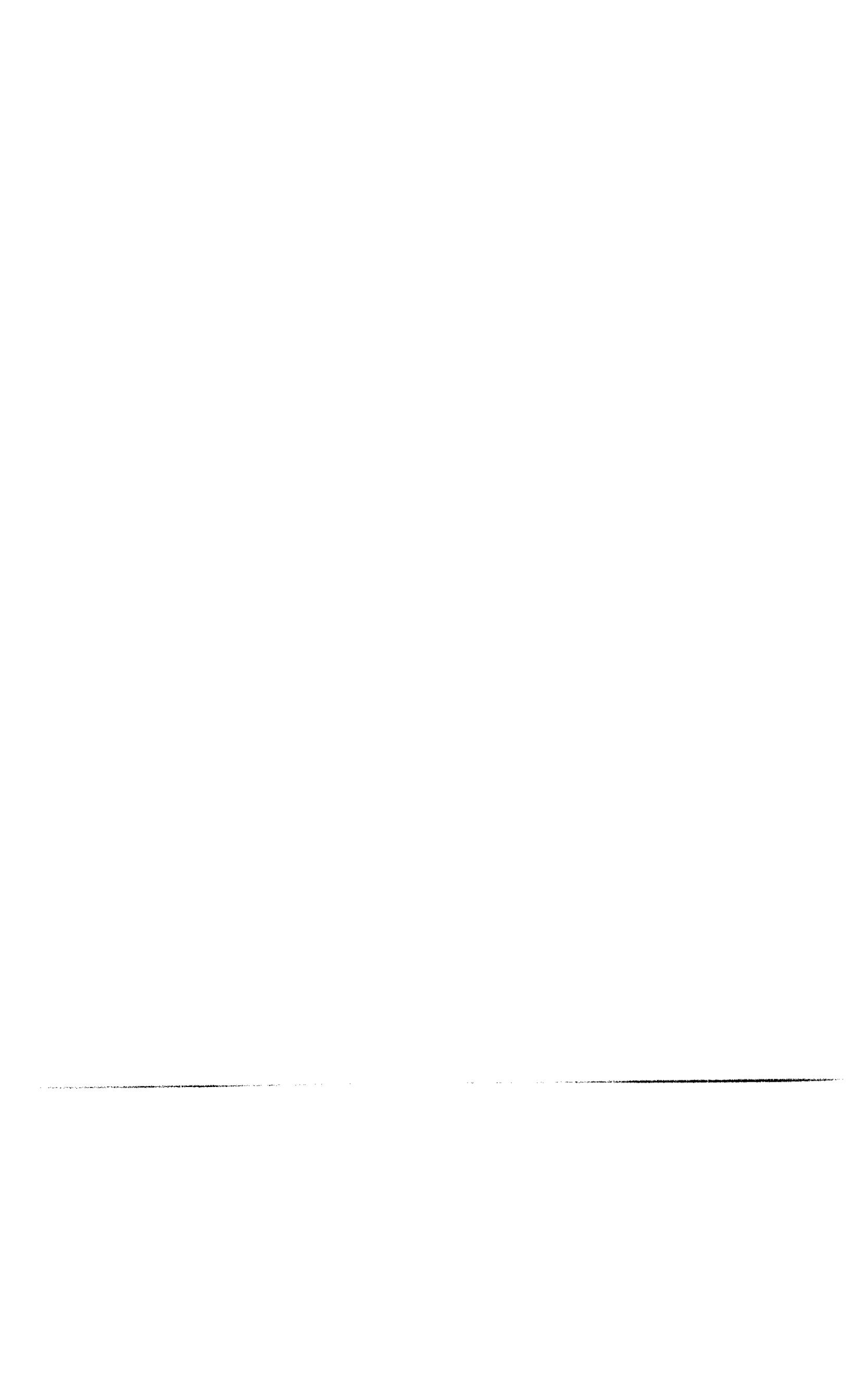
Lighting

Site lighting for pad structures is to match the site lighting provided for the main parking area. Exposed, (i.e. unshielded) light fixtures are prohibited. All lamps must be shielded shoebox type fixtures 35-ft. height maximum including base. Site lighting shall not have off-site luminance greater than 1000 foot lamberts.

Pedestrian Access

Pedestrian crossings of vehicle circulation areas shall be minimum 6-ft. wide, of an alternative textured material and slightly raised. Provisions shall be made for adequate pedestrian circulation with handicapped features within the site and to the adjacent streets. Unidirectional ramps are needed at pedestrian sidewalks and entrances.

M. Bennett
DAC
12/3/03





City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: November 26, 2003

TO CONTACT NAME: Doug Crandall
COMPANY/AGENCY: DAC Enterprises Inc.
ADDRESS/ZIP: 9530 MacArthur NE 87109
PHONE/FAX #: 247-5243 / 247-4530

Thank you for your inquiry of 11-26-03 (date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at IC, Seville Addition

zone map page(s) A-10

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Ventana Ranch

Neighborhood Association

Contacts: Laura Horton

7724 Cascada Rd NW

898-8103 (W) 87114

Bruce Nyberg

6824 Bushfield Rd NW

890-6559 (W) 87114

Neighborhood Association

Contacts:

See reverse side for additional Neighborhood Association Information: YES { } NO {}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalana R. Carmona
OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

planning.recognized.na.form(05/08/01)

Attention: Both contacts per neighborhood association need to be notified.

Additional Neighborhood Association Information

Neighborhood Association

Contacts: _____

As a common courtesy you may notify the surrounding NA(s) for your project.

Neighborhood Association

Contacts: _____

December 2, 2003

CERTIFIED MAIL
Ventana Ranch Neighborhood Association
Laura Horton
7224 Cascada Rd. NW
Albuquerque, NM 87114

Dear Laura,

DAC Enterprises, Inc. has been retained to represent a proposed zone map amendment from SU-1 church and Related Facilities to SU-1 for C-1 Uses (including restaurants with full service liquor and liquor sales for off-premise consumption ancillary to full service grocery store and approval of a proposed Site Development Plan for Subdivision). The property Tract 1C, Seville Addition is located on Universe Blvd, between Irving Blvd and Westside Blvd, and can be located on the attached Zone Map A-10-Z.

The applicant for this request is Pete Daskalos Properties of Albuquerque, NM and they have authorized us to represent them as agent. Please allow us to discuss this request with you to answer any questions you may have.

Sincerely,

Doug Crandall

Doug Crandall, Principal

Enclosure

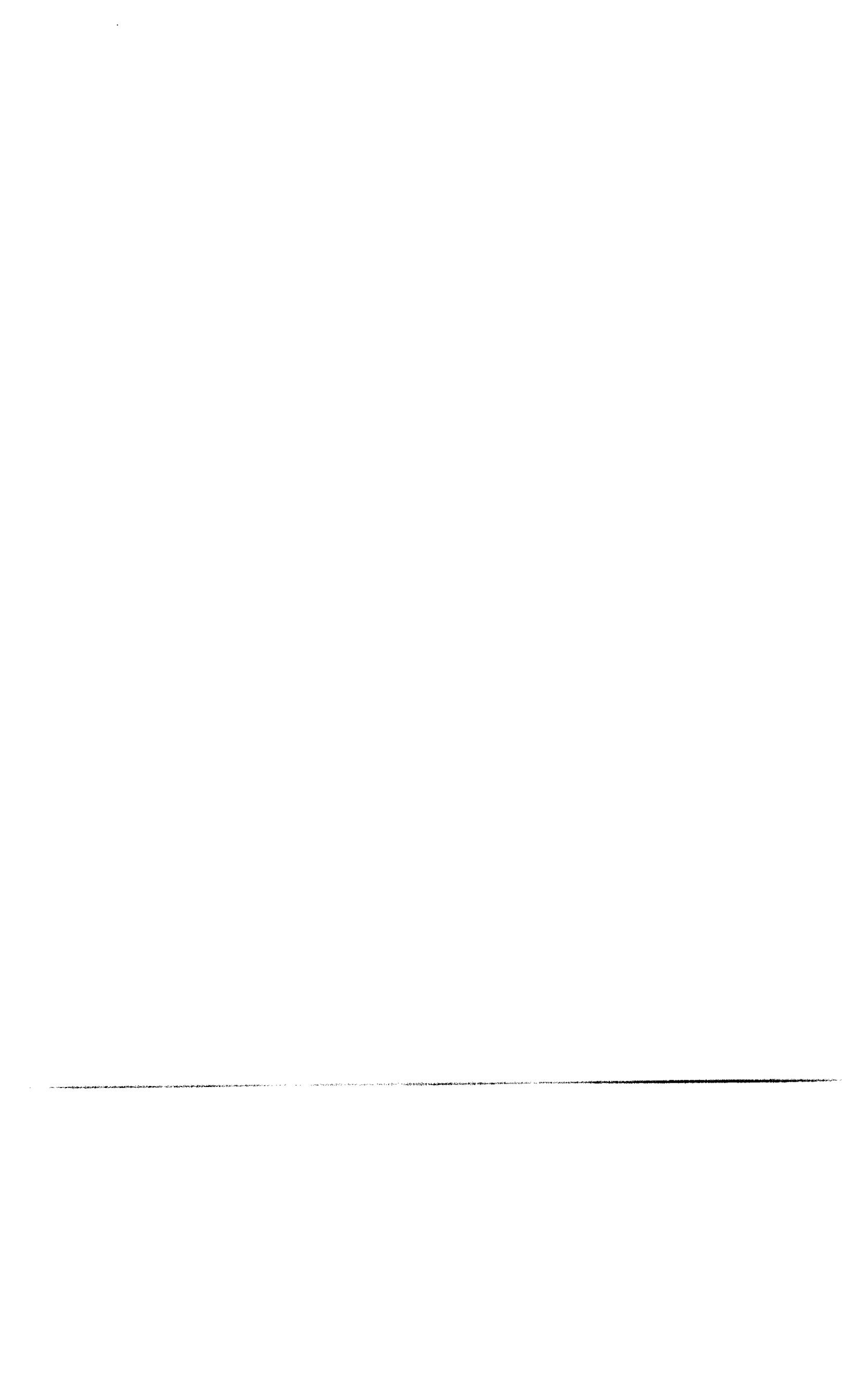
U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

7001 2510 0009 2617 1092

ALBUQUERQUE, NM 87114		UNIT 7 0101
Postage	\$ 0.37	
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.42	
Sent To LAURA HORTON		
Street, Apt. No. or PO Box No. 7224 CASCADA RD NW		
City, State, ZIP+4 ALBUQUERQUE, NM 87114		

PS Form 3800, January 2001

P.O. Box 16658 • Albuq



December 2, 2003

CERTIFIED MAIL
Ventana Ranch Neighborhood Association
Bruce Nyberg
6824 Blushfield Rd NW
Albuquerque, NM 87114

Dear Bruce,

DAC Enterprises, Inc. has been retained to represent a proposed zone map amendment from SU-1 church and Related Facilities to SU-1 for C-1 Uses (including restaurants with full service liquor and liquor sales for off-premise consumption ancillary to full service grocery store and approval of a proposed Site Development Plan for Subdivision). The property Tract 1C, Seville Addition is located on Universe Blvd, between Irving Blvd and Westside Blvd, and can be located on the attached Zone Map A-10-Z.

The applicant for this request is Pete Daskalos Properties of Albuquerque, NM and they have authorized us to represent them as agent. Please allow us to discuss this request with you to answer any questions you may have.

Sincerely,

Doug Crandall

Doug Crandall, Principal

Enclosure

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2792
6000
0152
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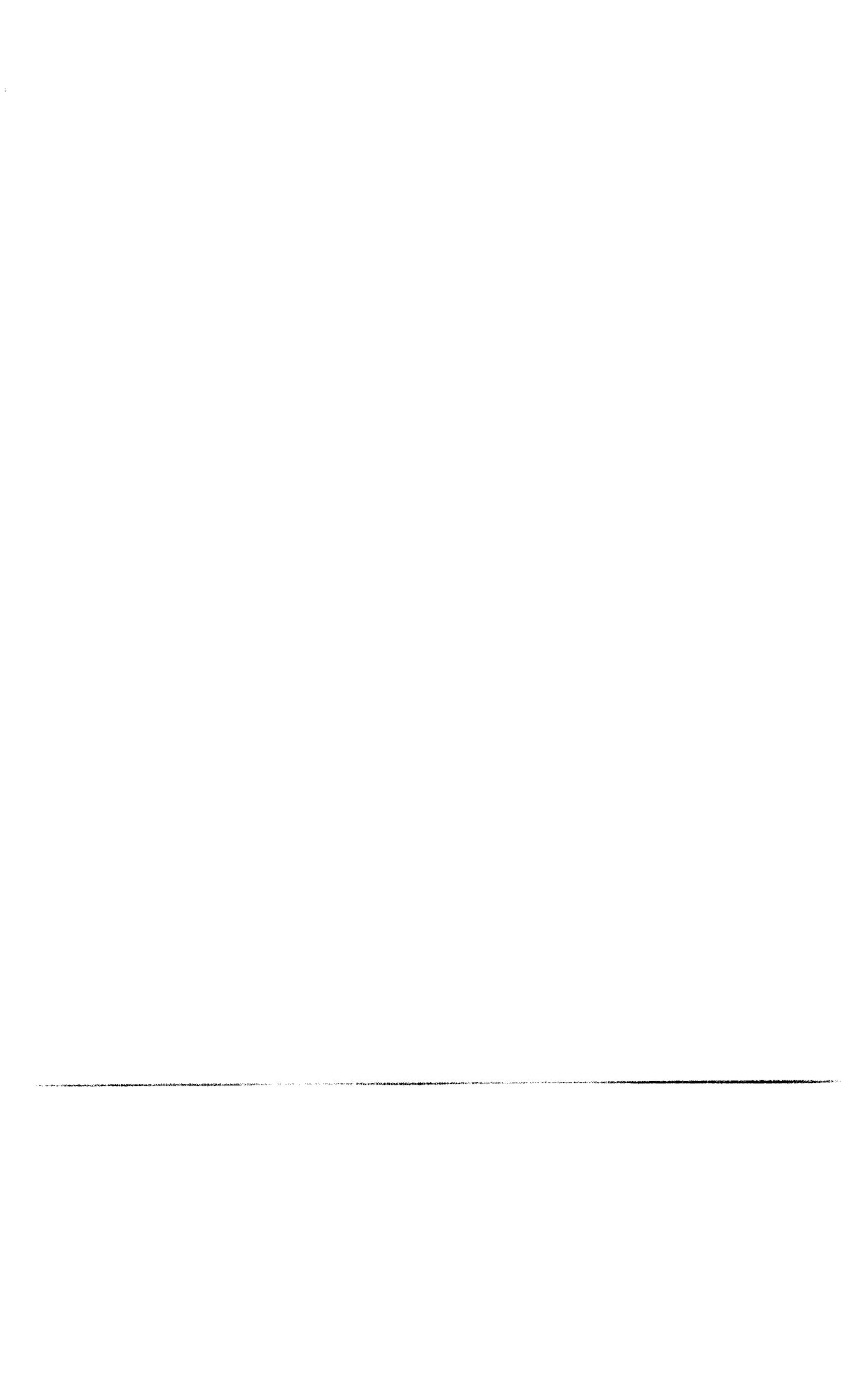
U.S. Postal Service	
CERTIFIED MAIL RECEIPT	
(Domestic Mail Only; No Insurance Coverage Provided)	
ALBUQUERQUE, NM 87114	
Postage	\$ 0.37
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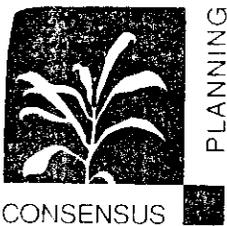
UNIT ID: 0101
SASN
Postmark
Clerk: KCF308
JJD
12/03/03

Sent To **BRUCE NYBERG**
Street, Apt. No.,
or PO Box No. **6824 BLUSHFIELD Rd NW**
City, State, ZIP+4
ALBUQUERQUE, NM 87114

PS Form 3800, January 2001 See Reverse for Instructions

P.O. Box 16658 • Albuquerque





January 30, 2001

Ms. Laura Mason
City Council Office
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: EPC #00110 00000 001626/ 00128 00000 001625
Seville Neighborhood Center

Landscape Architecture
Urban Design
Planning Services

924 Park Avenue SW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Ms. Mason:

The purpose of this letter is to request an additional amendment of the West Side Strategic Plan in conjunction with the Planning Department's proposed amendments. The Planning Commission has recommended approval and we understand that the proposed changes are to be introduced at an upcoming City Council hearing.

At the 18th of January, our firm represented Curb West, Inc. in a zone change and Site Plan for Subdivision request for a new Neighborhood Center to be located at Universe and McMahon Boulevards and across from the new TVI West Side campus. The Commission continued the case to the February 15th EPC hearing primarily in order for us to amend the Design Guidelines. At the same time, however, the Commission directed us to request the addition of the Seville Neighborhood Center in conjunction with the proposed changes to the West Side Strategic Plan.

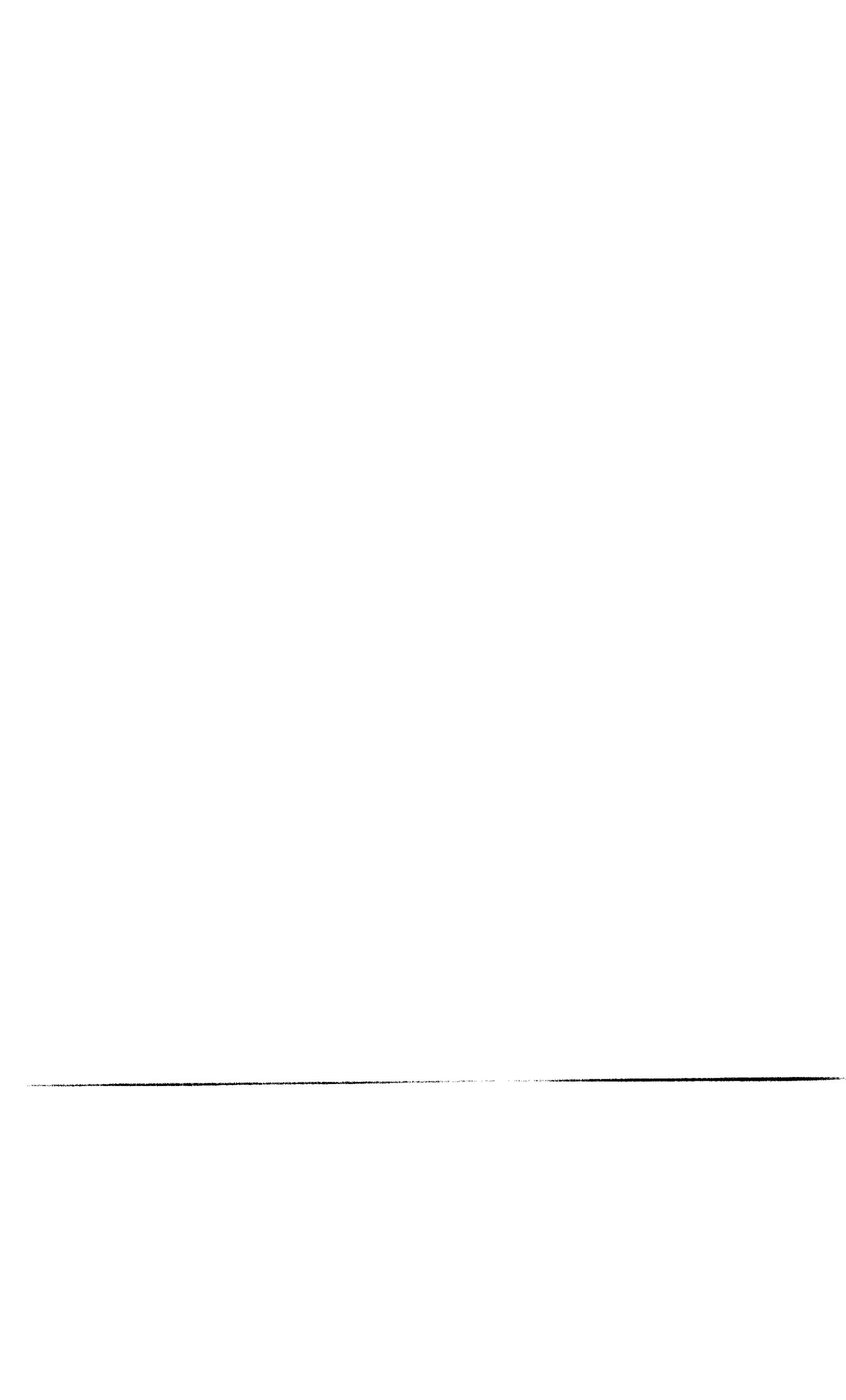
The proposed Seville Neighborhood Center is in compliance with the requirements set forth by the proposed amendments which include criteria for the establishment of new centers listed on page 44 of the proposed changes:

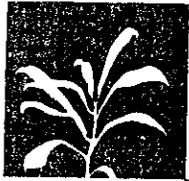
"Policy 1.9. In the Established and Developing Urban areas mapped by the *Albuquerque/Bernalillo County Comprehensive Plan*, future neighborhood and community centers may be designated and developed at appropriate locations, determined as follows:

- Market Area – ...neighborhood centers should be located to serve approximately 15,000 population within about one mile radius of the center. Uses typical of...a neighborhood center might be used almost daily.
- Access/Connections –Neighborhood Centers should be less automobile oriented, located on minor arterial and/or collector streets, and connected to public transit service as well as informal pedestrian and bicycle ways. Both community and neighborhood centers should be very accommodating to the pedestrian even within predominantly off-street parking areas.
- Scale -Neighborhood centers should also have small blocks, but with smaller buildings closer to the street often touching each other

PRINCIPALS

Karen R. Marnette, AICP
James K. Stratis, AICP
Christopher J. Green, ASLA





PLANNING

CONSENSUS

and using small clusters of shared parking as well as on-street parking. Both community and neighborhood centers should have outdoor areas that encourage gathering; both should include bicycle parking and both should provide safe pedestrian connections among buildings and between buildings and parking areas.

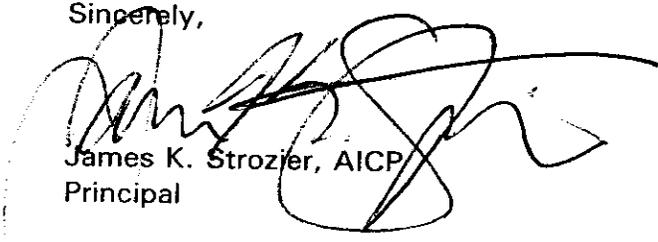
- Location – a major facility or employer located in a manner which creates a focus and stimulus to economic and social activity may also be a reason for designating a new center.”

Regarding Market Area, the Seville Neighborhood Center is located equidistant between two already-designated neighborhood centers, Unser/McMahon and Ventana Square. With respect to Access/Connections, it will be located with a primary entrance from Universe Boulevard, a minor arterial; transit will be providing service in the vicinity of the new TVI campus; and a network of both pedestrian and bicycle trails (that also ties into the Calabacillas Arroyo trail system) will be provided as a part of the new development. For Scale, the design guidelines address many of the issues stated in the criteria including building being closer to the street, small clusters of shared parking, outdoor areas to encourage gathering, bicycle parking, and pedestrian connections among and between buildings and parking areas. As for Location, it is clear that the new TVI campus can be considered a major facility and employer that will create a focus and stimuli for economic and social activity.

In conclusion, we are requesting the inclusion of Seville Neighborhood Center in the proposed changes to the West Side Strategic Plan, which are about to be introduced to the City Council. The Environmental Planning Commission supports this request and, in fact, has directed us to make this request. This center will provide for new commercial and office business activities to support the West Side TVI campus and adjacent neighborhoods.

Thank you for your assistance on this project. Please contact me or Karin Pitman at 764-9801 if you have any questions or require any additional information.

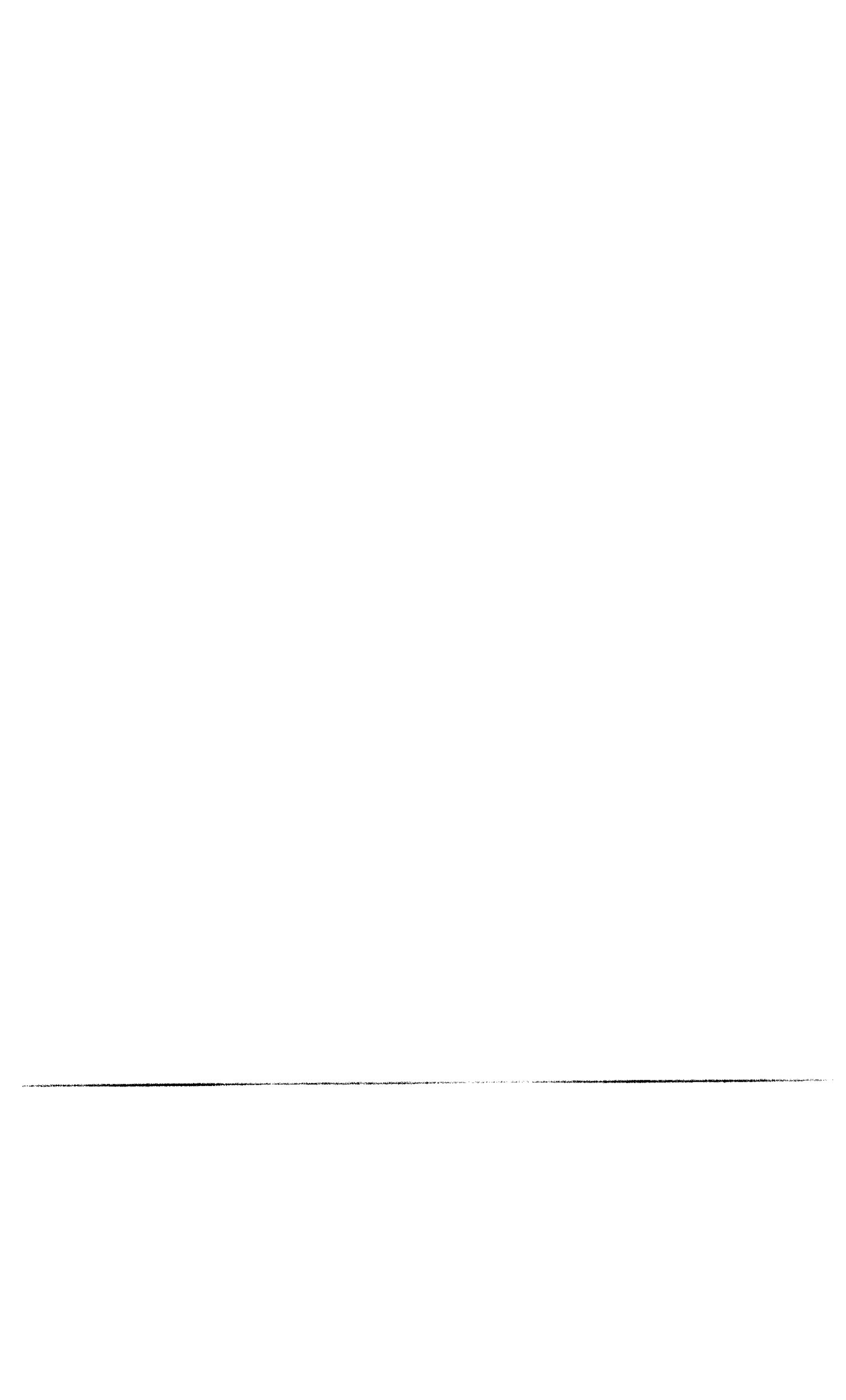
Sincerely,



James K. Strozler, AICP
Principal

Attachment: Proposed Site Plan for Subdivision

c: Stan Strickman, Curb West, Inc.
Mary Piscitelli, Staff Planner, Planning Department



January 11, 2004

Chair, Environmental Planning Commission
City of Albuquerque
Albuquerque, New Mexico

Re: Request For Deferral
Project #100931 03EPC-02038/02039

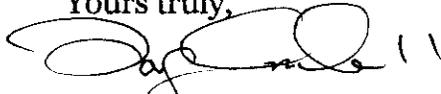
Dear Chair and Commissioners:

Please accept this request for deferral if the above referenced EPC action. Granting of this request will allow applicant adequate time to respond to the Planning Department staff recommendation of denial for this project and to obtain a letter of support from the Ventana Ranch Neighborhood Association.

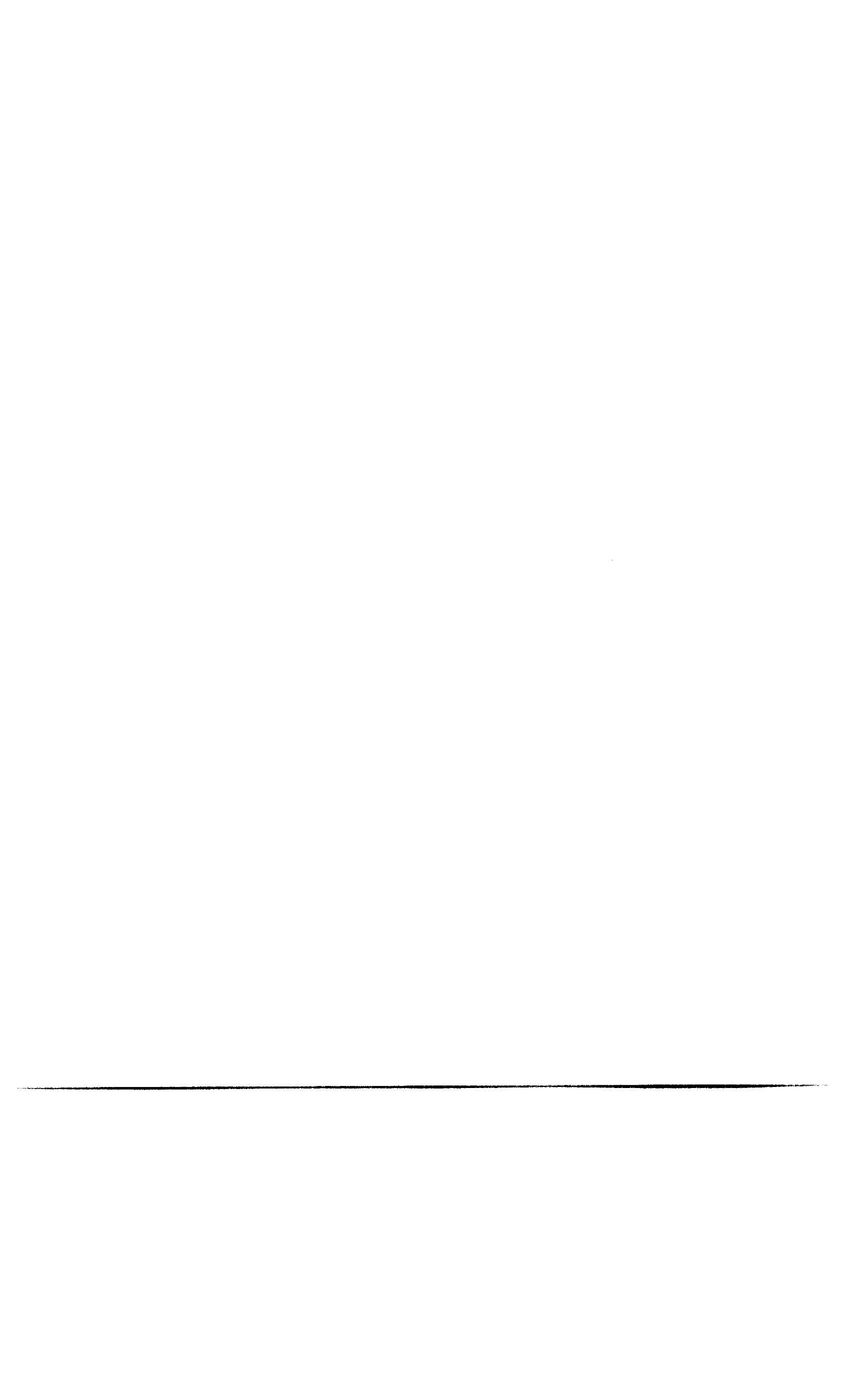
Applicant believes that this project can be supported by the *Comprehensive Plan* and would like an opportunity to submit revised arguments based upon the comments of the Planning Department staff. Applicant is also working with the Ventana Ranch Neighborhood Association regarding the design of the proposal and would like to have time to amend the site plan to reflect the ideas expressed by the neighborhood.

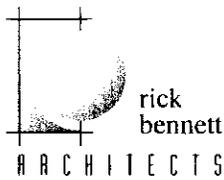
Your consideration of this request is sincerely appreciated.

Yours truly,



Doug Crandall
Principal, DAC Enterprises, Inc.
Agent for Pete Daskalos Properties





January 29, 2004

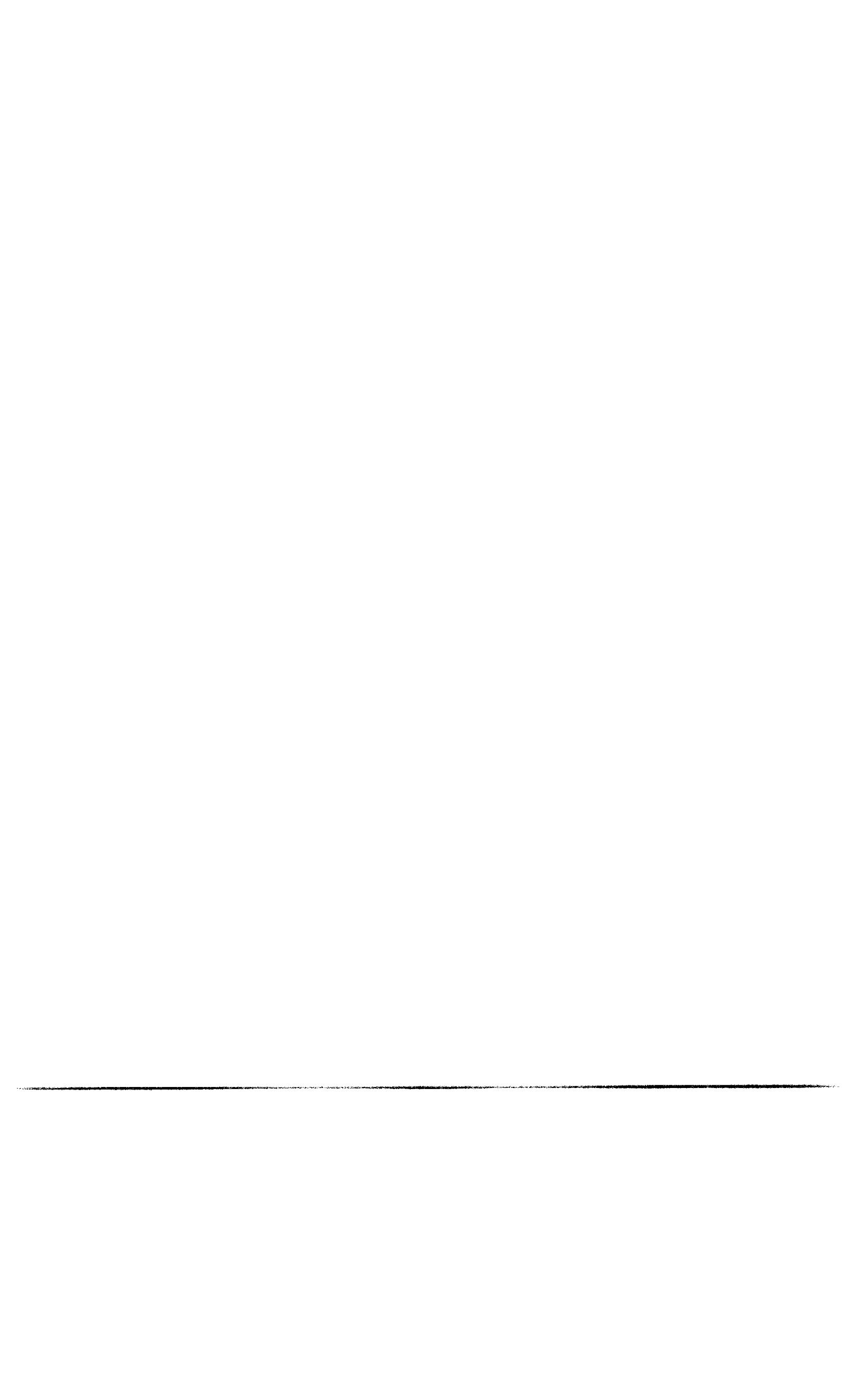
Environmental Planning Commission
City of Albuquerque
600 2nd St. NW
Alb., NM 87102

Re: Universe Plaza (03EPC 02038)

To: Planning staff

Response to Conditions of Approval, dated 1/15/04

1. The plan is at a scale of 1 inch to 80 feet.
2. Pad areas for existing power poles have been removed which were construed as access points. There are (2) access points shown along Universe Blvd., and they will meet DPM requirements.
3. Future development of the site will comply with the submitted design guidelines, and those guidelines will be included as notes on the site plan for subdivision.
4. The previous site plan for subdivision (Project # 1000931) appears to have been reviewed but never approved.
5. There are building pads proposed close to the street frontages per the WSSP.
6. Continuous perimeter walls will not be located adjacent to the arroyo, and walls and fences along the arroyo corridor will be kept to a minimum.
7. The plan has been revised to show public outdoor space along the arroyo per the WSSP.
8. Pedestrian and bicycle access to the arroyo will also be provided as part of the public outdoor space.
9. The plan has been revised to show a pedestrian connection to the adjacent neighborhood to the east.
10. The plan has been revised to show a minimum 20 foot landscaped setback from the arroyo right-of-way. The landscaping will be designed to screen views from the arroyo to the development.
11. The landscaping adjacent to the arroyo will be designed according to the outlined guidelines.
12. The lighting design guidelines will be revised to 16-foot max. height for walkways and entry plazas, and 20-foot max. height for street lights and parking. (15-foot max. within 70 feet of residential)
13. The outlined recommendations that are applicable to this site development will be included for building permit action.



February 1, 2004

Jeffery Jesionowski, Chair, Environmental Planning Commission
City of Albuquerque
Albuquerque, New Mexico

Dear Chair and Commissioners:

Re: 03EPC 02038/02039

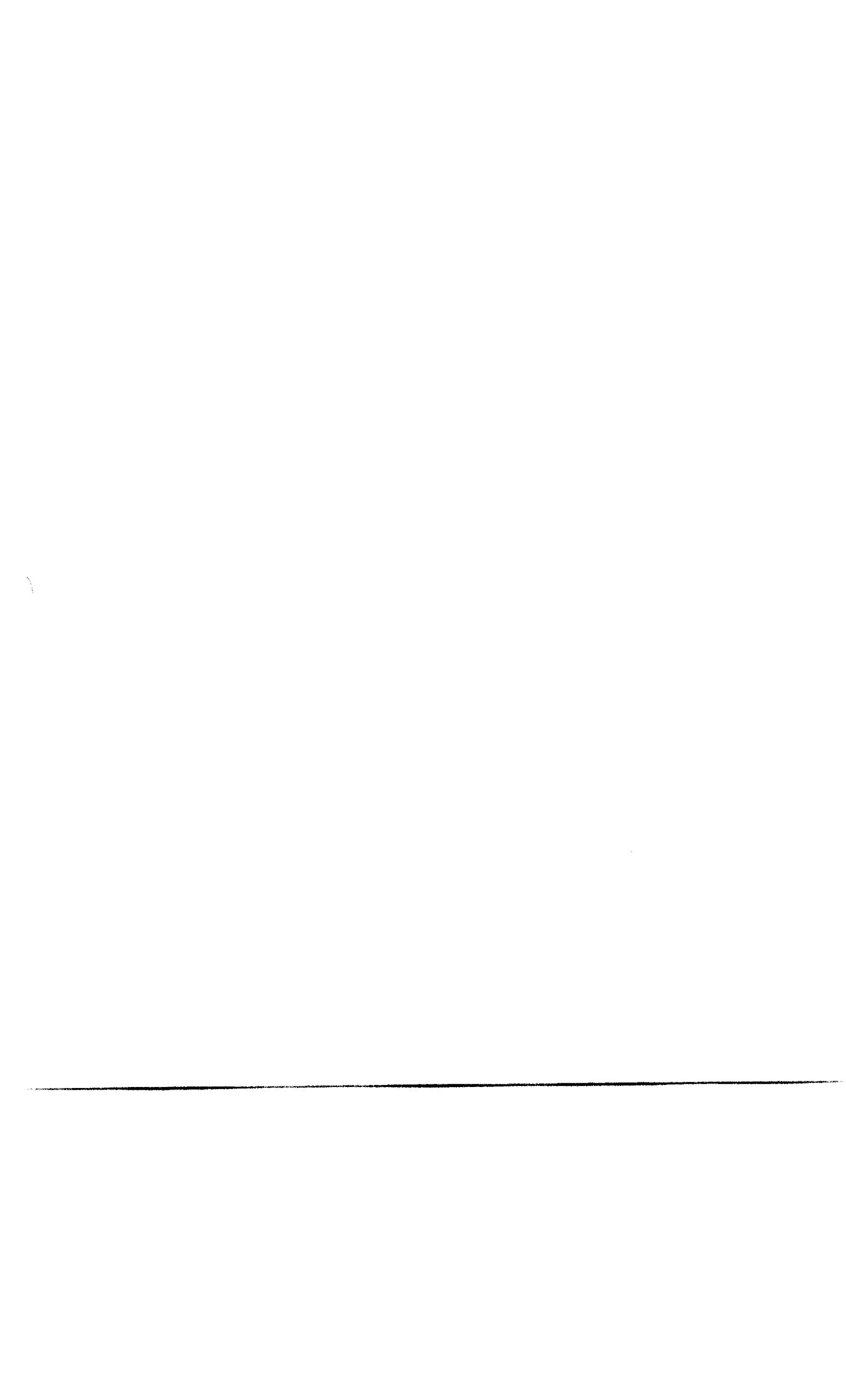
This letter addresses the concerns expressed in the staff report recommending denial of the above referenced cases. This is a request to amend the City zone map from SU-1/ Church & Related Facilities & O-1/R-2 permissive uses to SU-1 for C-1 uses including restaurants with full service liquor and liquor sales for off premise consumption ancillary to full service grocery stores. Uses would be further limited by the restrictions described in project 1000931.

Applicant believes that all conditions for a zone change have been met and that site plan issues noted by staff have been addressed. The major factor for approval remains changed conditions in the neighborhood and that the proposed zone category is more advantageous to the community as articulated in the *Comprehensive Plan*.

Finding #2 of the staff report regarding the zone map amendment request correctly states that the EPC granted approval for a Neighborhood Activity Center approximately 1000 feet to the north. In finding #6, the staff report indicates that because of the proximity to that Neighborhood Activity Center and to another approximately one mile south of the site, that this request violates Policy 1.1 of the *West Side Strategic Plan (WSSP)*.

Applicant believes that the presence of other such centers does not violate the intent of the WSSP, nor will it impede development of areas already designated Community and Neighborhood Center as a stated in Finding #10. On page 36 of the WSSP, the plan states that "[s]everal Neighborhood Clusters (typically 3 to 8) may occur in each Community." The West side is sorely underserved by neighborhood retail centers. The proposed Activity Center to the north has yet to be constructed.

The approval of this request will not "detract and erode" the chances of the surrounding Neighborhood Centers reaching their full potential. It will instead, offer residents of this rapidly growing area the sort of retail choices that are available on the East side of town. As an example, Smith's grocery has a store on Eubank just south of Academy, another at Wyoming and Academy, and a third at Wyoming and Paseo del Norte. Smith's is competing with Albertson's that has a store at Academy and Tramway and another at Wyoming and Harper.



All stores are doing well and the competition and convenience benefits the residents and enhances the neighborhood.

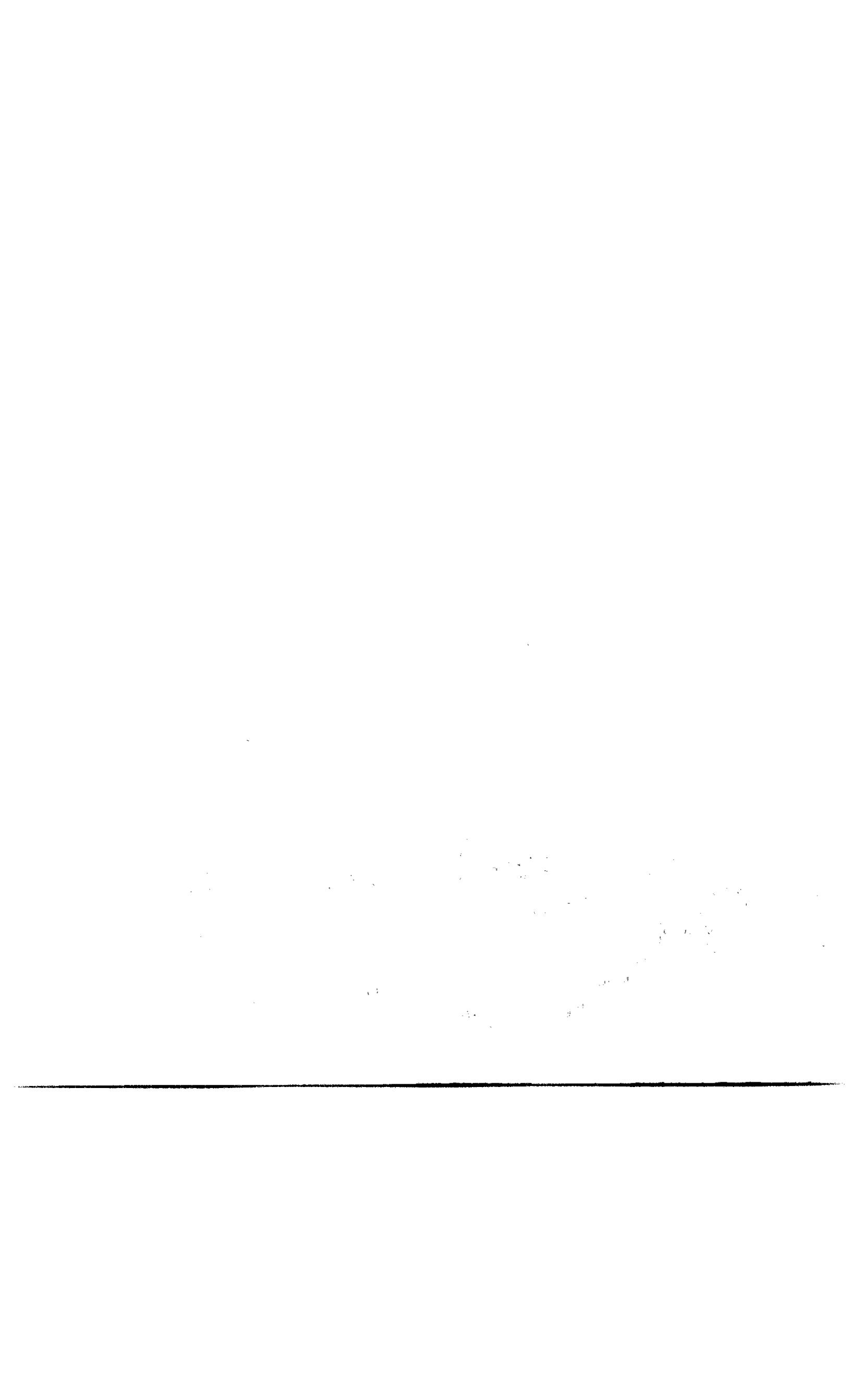
Findings #8, 9, 10, 13 and 14 all relate to this development as a strip center. Applicant disagrees with this interpretation of a strip center as noted in Resolution 270-1980. Section J of the Resolution states that a "zone change request which would give a zone a different from surrounding zoning is generally called 'strip zoning.'" In this case the property is already zoned different from the surrounding zone. The "strip zoning" has already been created by previous EPC action and this request merely asks that the area be re-zoned to a use category more advantageous to the community.

Nonetheless, applicant believes that the proposed map amendment does serve as a transition zone from the TVI campus on the west to the RL-T area to the east. This proposed center will act as market area providing needed businesses that can be accessed by both residents and TVI students. It will be a highly pedestrian oriented development as shown in the site plan, providing access to the Calabacillas Arroyo trail, the TVI campus and the neighborhood to the east. Outdoor areas, gathering places, bicycle and pedestrian access will all be part of site. All of this is in compliance with Policy 1.9 of the *Comprehensive Plan*.

In finding # 11, staff indicates that this zone map amendment will result in some of the proposed uses being harmful to the adjacent residential zone. Applicant disputes this finding. This request allows only C-1 uses, except for the off-premises sale of alcoholic beverages ancillary to a full service grocery store. According to the *Zoning Code*, the C-1 zone is designated a neighborhood commercial zone and provides "uses to satisfy the day to day needs of residential areas."

The zoning designation for this site is identical to the site approved to the north. Applicant believes that justification has been made that the two sites can co-exist and succeed. If the zone category for the site to the north is appropriate and will not be harmful to the residential zone it abuts, then applicant believes that the same applies to this request.

Also, staff notes that the subject site is currently designated "low/medium residential" in the *West Side McMahon Land Use and Transportation Guide,(Guide)* which allows up to 15 dwelling units per acre. However, the current zoning allows R-2 uses, which allow up to 30 dwelling units per acre. Additionally, applicant believes that the current zoning designation that allows R-2 development could be potentially more harmful than the requested zoning.



Although the EPC has to authority to impose landscape restrictions over and above those found in the Zoning Code, the entire focus of that ordinance is to protect residential from non-residential uses. Non-residential uses that abut residentially zoned property must provide additional landscaping buffers, fencing and greater building setbacks to mitigate the impact of the non-residential use.

An R-2 development is considered residential and none of the additional buffering is traditionally required. This nine-acre parcel could conceivably allow for the development of more than 250 apartments, providing a much more intense use than in requested here.

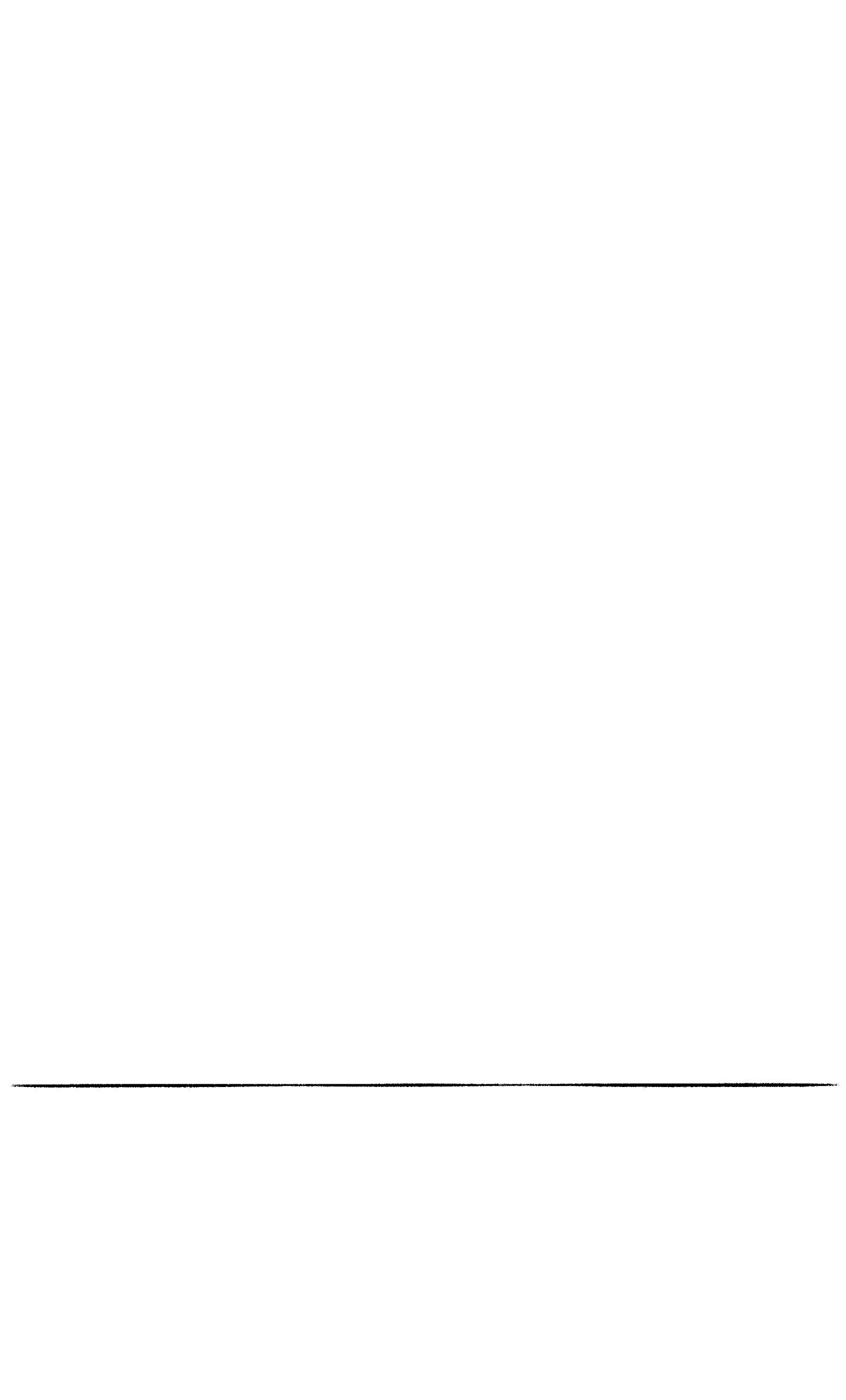
Neighborhood conditions have clearly changed since the original site plan was approved. In addition to the completion of TVI, there has already been an approved zone change on Tract B2b of this same subdivision (03EPC 01924), that re-zoned approximately 10 acres from R-1 to RL-T, thus increasing the density on that parcel from 5 dwelling units per acre to nine d.u.'s per acre. That increase in density is more in keeping with the *Guide* than the 30 d.u.'s per acre currently allowed on this site, and also provides further justification for the benefits of a neighborhood center.

Staff also recommended denial of the site plan for subdivision submitted with this request. Several specific issues were later presented to applicant, all of which have been addressed in another document, including pedestrian connections and a gathering place near the Calabacillas arroyo, as well as a separation of the long building.

There is also a concern from staff in Finding #3 of 03EPC 02038 (Site Plan for Subdivision comments) that the layout of the building is in conflict with the *WSSP* discouraging strip developments. In subsequent comments, staff asked that the buildings be located closer to the street frontage and the parking be configured to the sides and rear of the building. Applicant believes that staff failed to take topography into account when making this conclusion

The site of the proposed development is approximately 20 feet below street grade. Locating buildings along Universe with parking in the rear would essentially mean that vehicular traffic would see rooftops and off street parking. The proposed design would be similar to that of the neighborhood center off Coors and Montano where the topography is the design. Motorists, pedestrians and cyclists are drawn into the development where they will then be welcomed into a pleasant shopping environment away from the madding crowd.

It should be noted as well, that there is currently no record of a signed off site development plan for subdivision for this site.



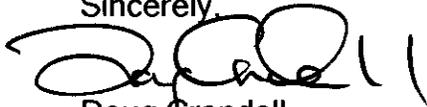
03EPC 02038/02039

February 1, 2004

Page 4

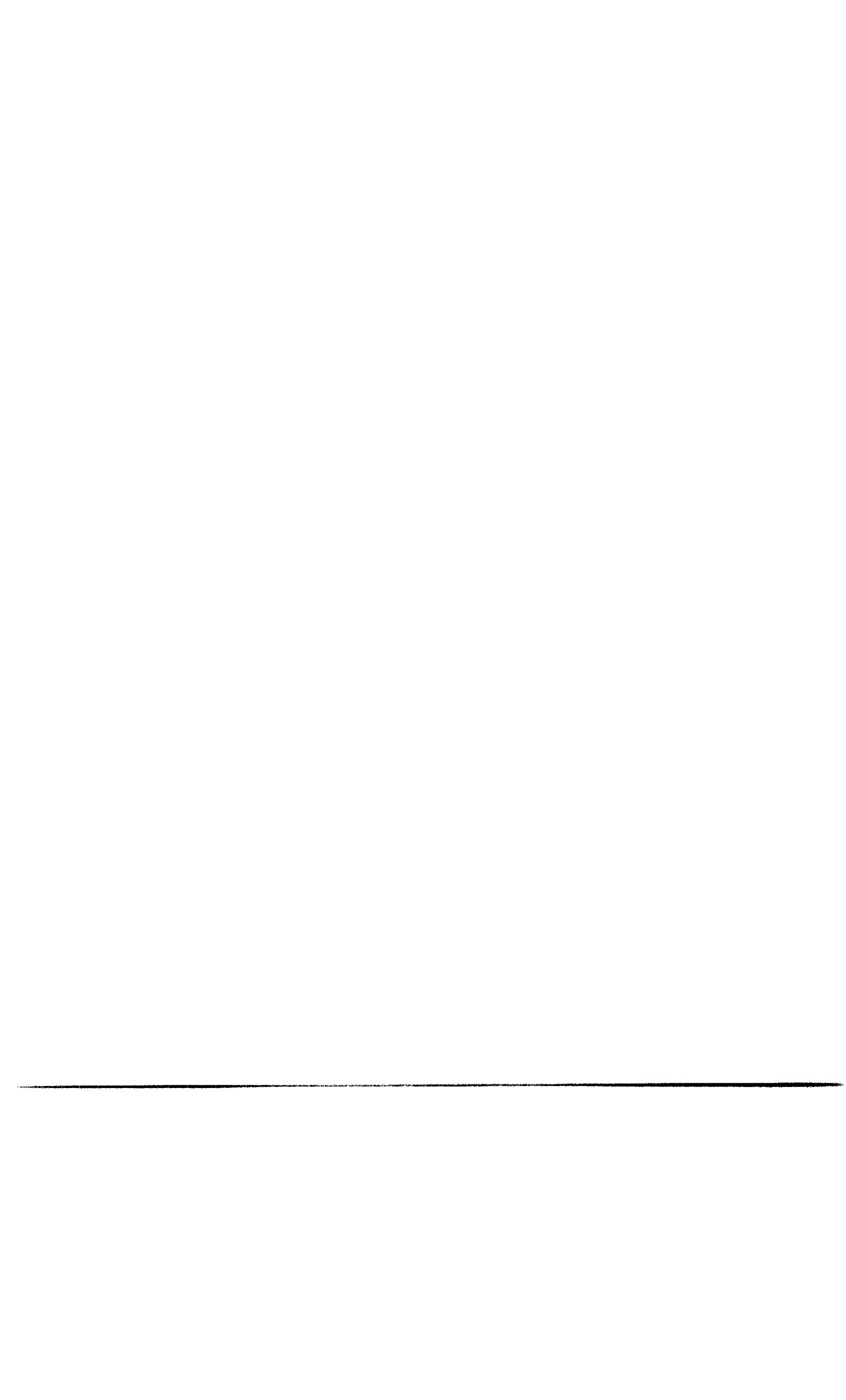
In conclusion, applicant believes that this site does meet all relevant requirements of Resolution 270-1989 and that the arguments brought forth in this document, the two previous documents submitted to staff and the revised site plan are compelling.

Sincerely,

A handwritten signature in black ink, appearing to read "Doug Crandall", written over the typed name.

Doug Crandall
Principal
DAC Enterprises, Inc.

Cc: Pete Daskalos





February 8, 2004

Mr. Jeff Jesionowski, Chairman
Environmental Planning Commission
600 Second Street, NW
Albuquerque, NM 87102

Re: Project #1000931, 03EPC 02038 & 02039

Dear Chairman Jesionowski:

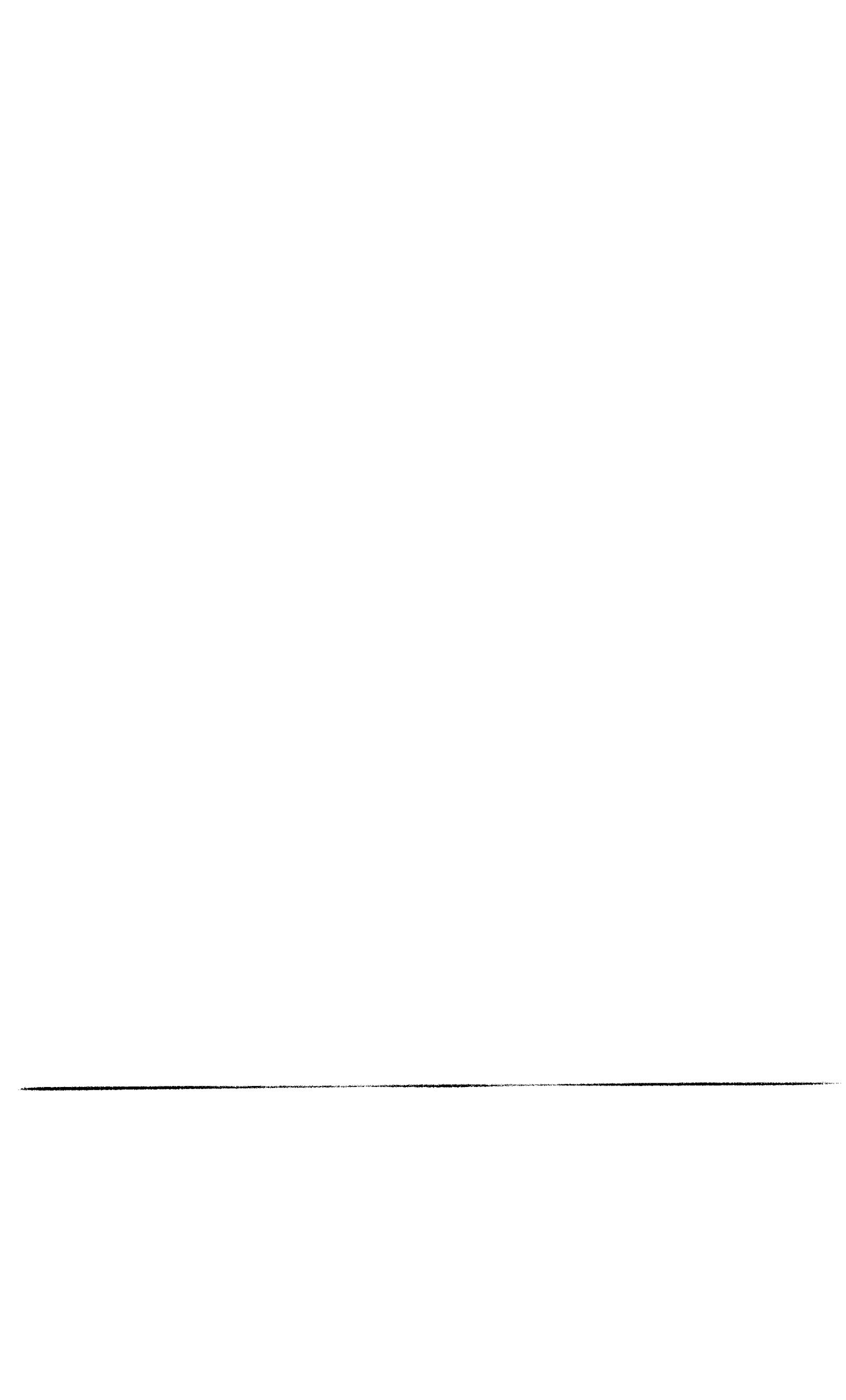
The purpose of this letter is to change agents on the above referenced project and to authorize Consensus Planning, Inc. to act as our agent concerning our zone map amendment and site plan for subdivision requests that are scheduled to be heard at your February 19th public hearing. The subject property is located on the northeast corner of Universe and Irving Boulevards in Northwest Albuquerque.

Please feel free to call Jim Strozier, AICP, Principal with Consensus Planning at 764-9801 with any questions or concerns.

Sincerely,

PETE DASKALOS PROPERTIES

Pete Daskalos
Owner





Memorandum

To: Carmen Marrone, Staff Planner
From: John Valdez, AICP 
Date: February 9, 2004
Re: **Demographic/Housing Analysis**

The purpose of this memo is to analyze demographic and housing data for the Southwest Mesa and Northwest Albuquerque. Three primary sources of data were used in the analysis. These sources are:

- West Side Strategic Plan;
- Urban Growth Projections 2010 for the Albuquerque (Prepared by the Bureau of Business and Economic Research);
- Albuquerque Metropolitan Housing Digest (Published by the Home Builders Association of New Mexico);

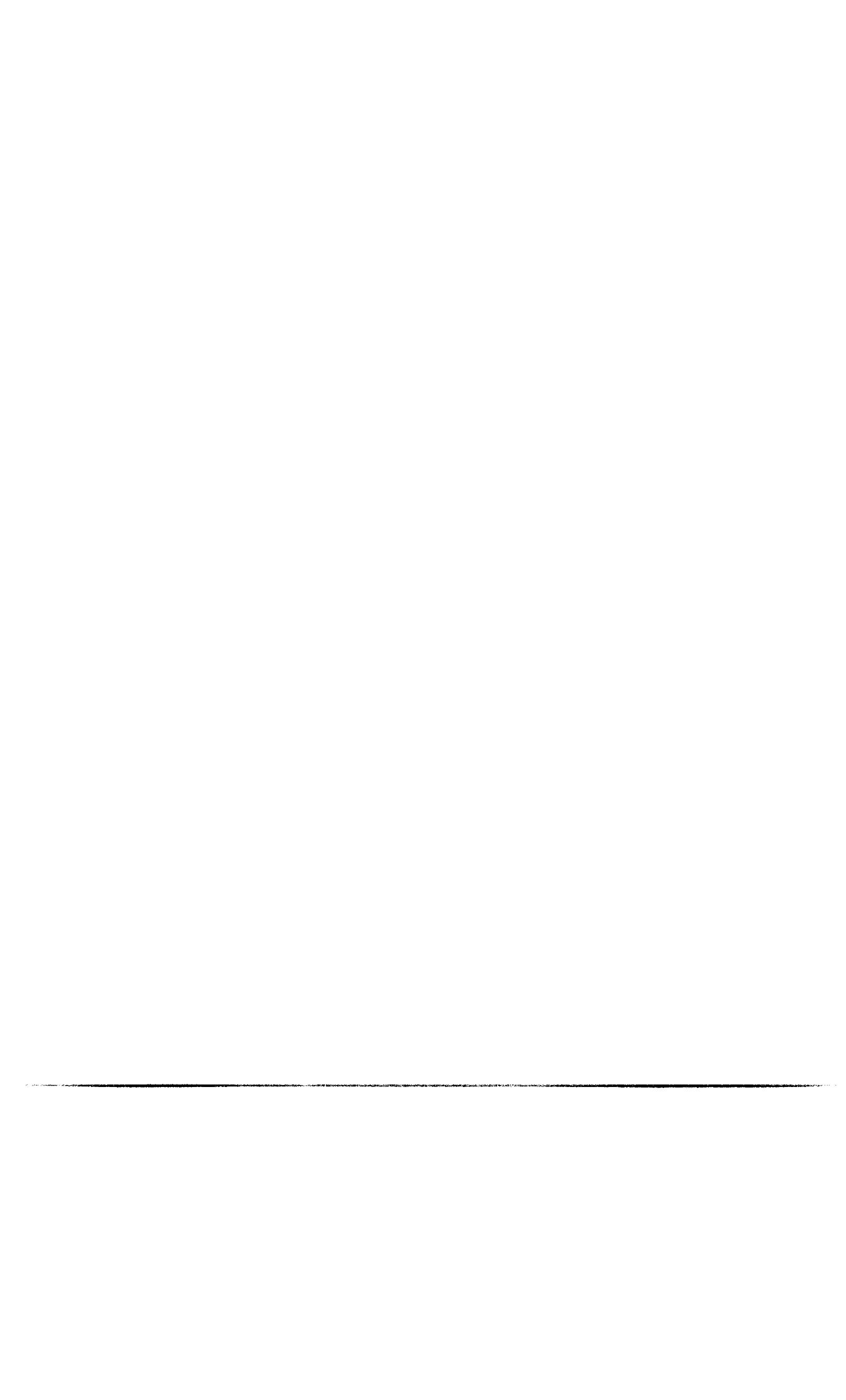
Data sets analyzed included current population, estimated population, the number of housing units, and 2003 new building permit data. The purpose of this analysis is to support the argument that more commercial opportunities are needed in Northwest Albuquerque, particularly the Northwest Mesa. One of the intents of the West Side Strategic Plan is to encourage commercial development into Commercial and Neighborhood Centers, which are based on a Market Area. These Commercial and Neighborhood Centers have been identified in the plan, however, **Policy 1.9** states:

In the Established and Developing Urban areas mapped by the Albuquerque/Bernalillo County Comprehensive Plan, future neighborhood and community centers may be designated and developed at appropriate locations, determined as follows:

Market Area – Community Centers should serve a primary service area of about 30,000 people within approximately a three-mile radius of the center; neighborhood centers should be located to serve approximately 15,000 population within one-mile radius of the center. Uses typical of Community Centers would likely be accessed on a weekly basis, whereas those in a neighborhood center might be used almost daily.

Access/Connections -Neighborhood Centers should be less automobile oriented, located on minor arterial and/or collector

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streets, and connected to public transit service as well as informal pedestrian and bicycle ways. Both community and neighborhood centers shall be very accommodating to the pedestrian even within predominantly off-street parking areas.

Based on this policy, additional Community and Neighborhood Centers could be designated if they meet these conditions. The Northwest Mesa is a rapidly growing area, in which residential development has occurred at a rate not anticipated by the West Side Strategic Plan. Jobs, retail, and service has also not kept up with the residential growth, creating an unequal jobs/housing balance. Residents of the primary residential areas such as Ventana Ranch and Seville must drive long distances to obtain goods and services. The data found within this memo supports the case for commercial development to occur at other locations within the Northwest Mesa.

West Side Strategic Plan

The West Side Strategic Plan provides population, housing, and employment demographics and projections by communities that comprise the West Side. For the northwest part of Albuquerque, the Plan identifies the Paradise Community and the Seven Bar Community, the two primary communities making up the Northwest Mesa. The Ventana Ranch and Seville neighborhoods are located in the Paradise Community.

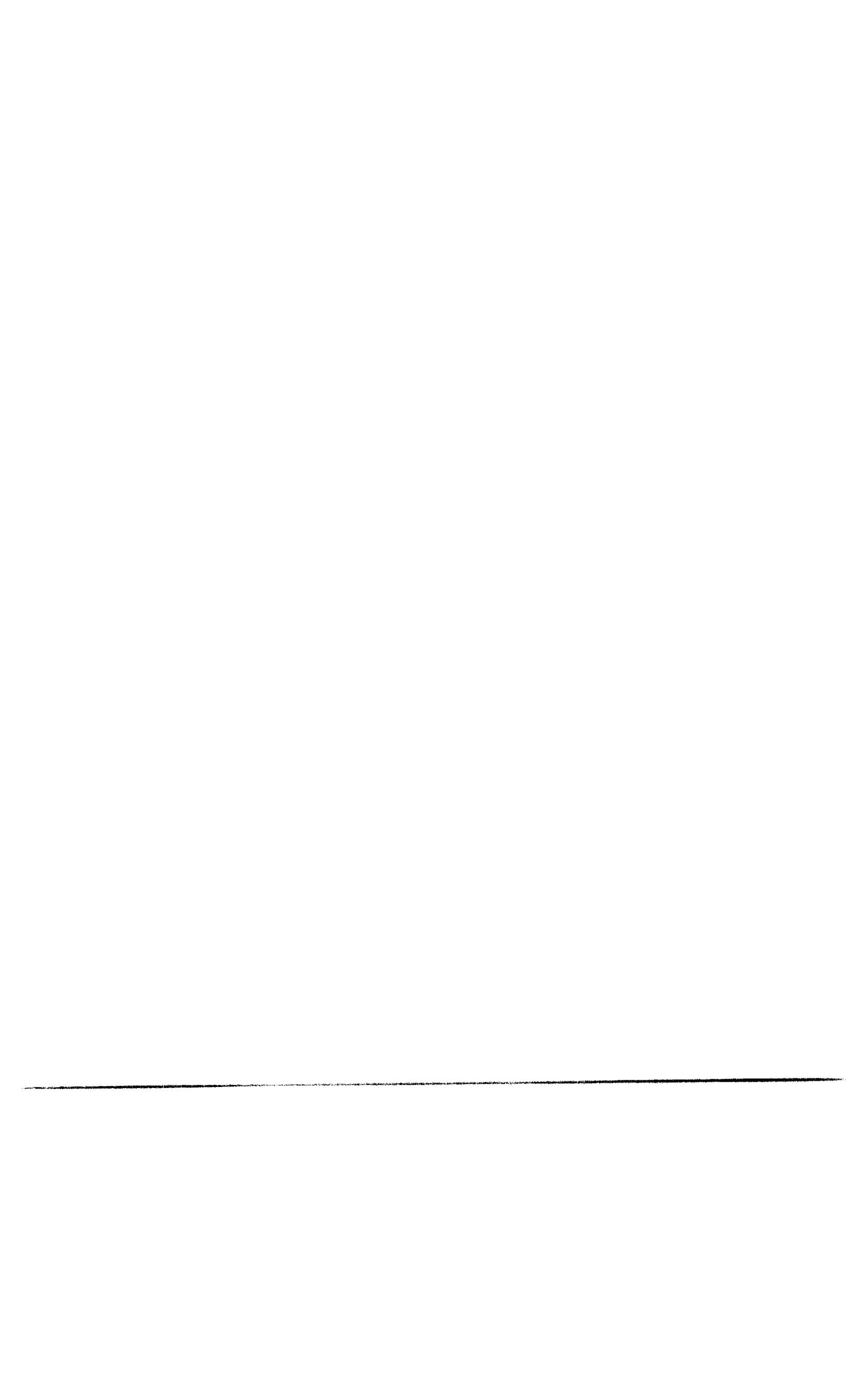
Demographic statistics in the West Side Strategic Plan were current as of March 1997. Demographic data and projections were provided by The Middle Rio Grande Council of Governments (Now called Mid Region Council of Governments). The Council of Governments data is based upon geographical units called Data Analysis Subzones of which the City is divided. Population and housing data for each community is provided below:

Community	1995 Population	1995 Housing	2020 Population	2020 Housing
Paradise	8,126	3,319	19,557	9,270
Seven Bar	3,473	1,895	14,819	8,000

Of the two communities making up the Northwest Mesa, the 1995 combined population totaled 11,599 people with 5,214 homes. The 2020 combined populations for both communities total 34,376 with 17,270 homes. When fully built out, the Plan anticipates the population of the Northwest Mesa to be 40,400 people.

Urban Growth Projections for the Albuquerque Planning Areas

Like the West Side Strategic Plan, the Urban Growth Projections 2010, provide an analysis of population and housing statistics for large geographic areas of the City. Instead of communities, the Urban Growth Projections focuses on Planning Information Areas (PIAs). PIAs are roughly based on data analysis subzones and census tracts. The data found in the Urban Growth Projections is more recent than the West Side Strategic Plan. PIA 12 covers Northwest Albuquerque. Its boundaries are described below:



PIA 12: Includes Paradise Hills, the Bernalillo County Line to the north, south to Paseo del Norte, the Rio Grande to the east, and the volcanoes to the west. The boundaries of PIA 12 are roughly the same as the Paradise and Seven Bar communities described in the West Side Strategic Plan.

The Urban Growth Projections provide population and housing estimates for each PIA in the year 2000 and project the data to the years 2005 and 2010. These projections are found below:

PIA	2000 Population	2005 Population	2010 Population
12	25,084	31,687	38,549

According to the projection, between 2000 and 2010, Northwest Albuquerque is expected to grow by 53%, one of the highest growth rates in Albuquerque. Housing projections are included below:

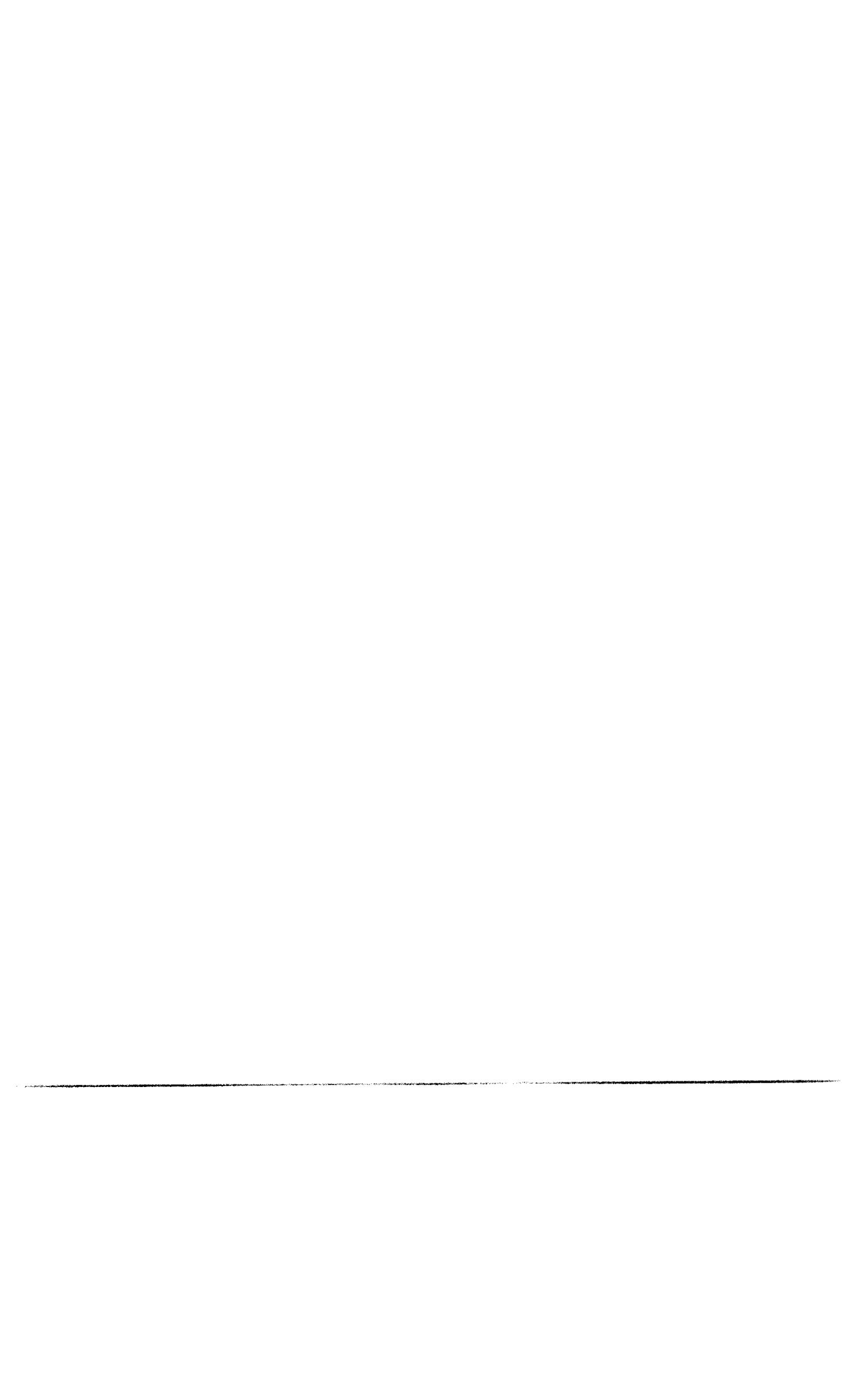
PIA	2000 Housing	2005 Housing	2010 Housing
12	12,073	16,141	20,741

According to the Urban Growth Projections, the Northwest Mesa is expected to see significant housing development over the next six years. The Projections project an increase of 8,668 units, most of which will be developed in the Paradise Community.

Albuquerque Metropolitan Housing Digest

The Albuquerque Metropolitan Housing Digest provides probably the best overall analysis on existing conditions relating to housing construction. The data found in the publication is based upon building permits issued by the City of Albuquerque, tracked by four quadrants. The northwest quadrant is defined as the railroad tracks on the east, Central Avenue on the south, the County line on the north (no western boundary was provided). The southwest quadrant is defined as the railroad tracks on the east and Central Avenue on the north. These are broad geographical boundaries but still provide an insight into building trends in the City. The Digest also provides a summary of the most active subdivisions by area, including the number of units.

For 2003, the total number of permits issued for Northwest Albuquerque was 2,495, which represented a market share of 36.3% of the total permits issued in Albuquerque. The number of permits issued for the northwest are nearly double the amount issued for the next highest quadrant. Southwest Albuquerque permits numbered 1,204, for a market share of 17.5%, the next highest market share. By contrast, the City of Rio Rancho issued 1,198 permits (six less than were issued for the Southwest) and representing 17.4% of the market share. The most active subdivisions in the Albuquerque Metropolitan Area for 2003, together with permit numbers for each are included in the following table.



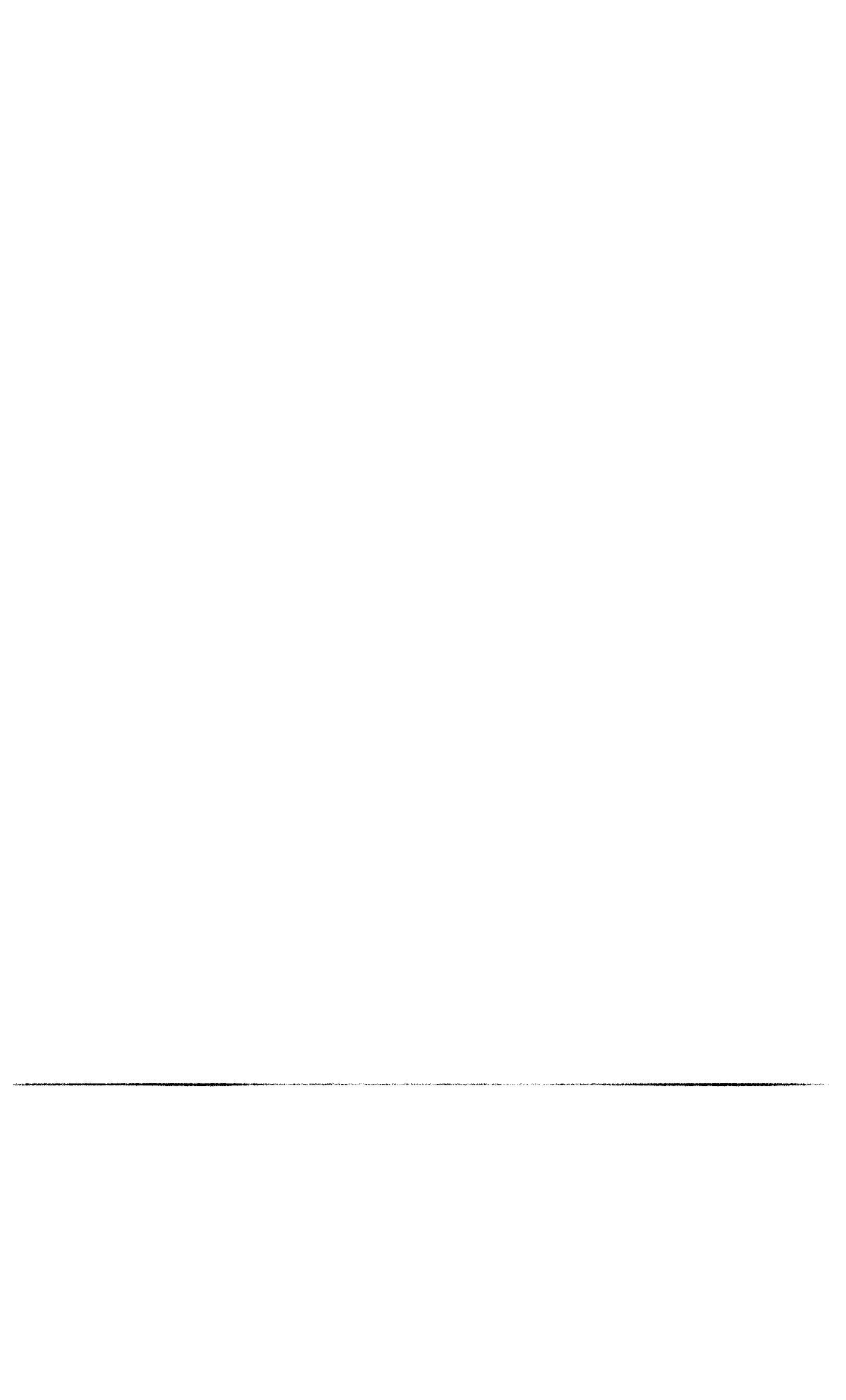
Subdivision Name	Number of Permits Issued	Area
Ventana Communities	571	Northwest
Enchanted Hills	375	Rio Rancho
El Rancho Grande	301	Southwest
Desert Ridge Trails	209	Northeast
Northern Meadows	202	Rio Rancho
Seville	173	Northwest
Unit 17	170	Rio Rancho
Painted Sky	145	Northwest
Stonebridge	135	Northwest
Paseo de Estrella	134	Northeast
Knolls of Paradise Hills	132	Northwest
Los Suenos	131	Northwest
Southwynd	120	Southwest
Ridgeview Village	117	Northwest
Paradise Skies	112	Northwest
High Desert	111	Northeast
Encanto Village	107	Southwest
Sunrise Ranch South	101	Southwest
Valle Grande North	101	Northeast
Oxbow	99	Northwest

Many of the subdivisions on this list are located in far northwest Albuquerque. More specifically, they are located in the Paradise Community and PIA 12, as described above. In fact the majority of the 2,495 permits issued for the Northwest are located in the area north of Paseo del Norte and west of the Rio Grande. The number of permits issued for this area, reaffirms the population and housing projections found in the West Side Strategic Plan and Urban Growth Projections.

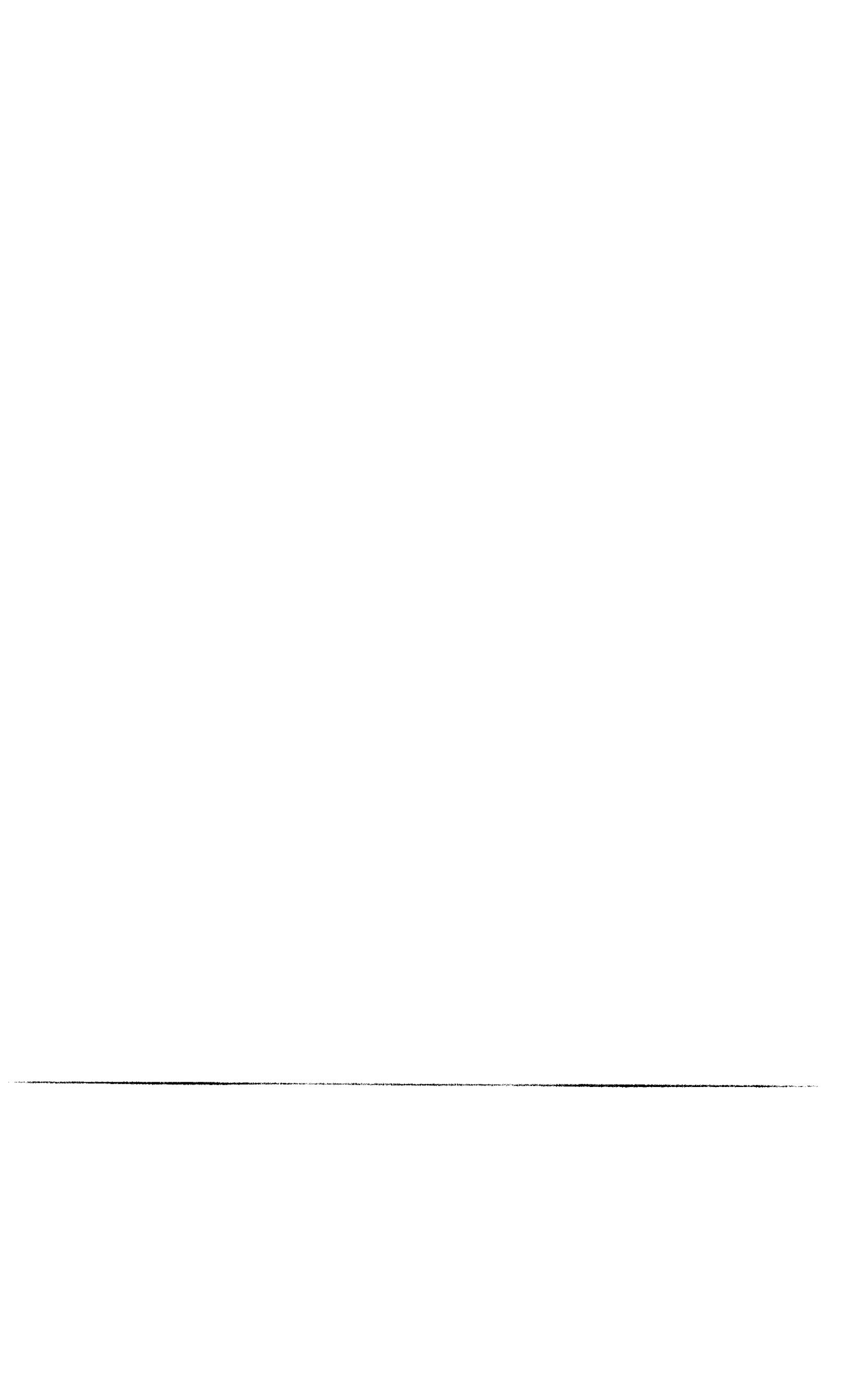
Conclusions

Several conclusions can be reached from the data obtained from all three sources;

- Northwest Albuquerque is one of the fastest growing areas in Albuquerque. This trend is expected to continue given the high amount of developable land located in and west of the Paradise Community.
- PIA 12, encompassing the Paradise Community will remain the fastest growing area in Albuquerque in terms of population growth and housing.
- As indicated by the Urban Growth Projections for Albuquerque Planning areas, residential development and population growth has occurred at a faster rate than anticipated by the West Side Strategic Plan. While the West Side Strategic Plan anticipated that the combined population of both the Paradise and Seven Bar Communities would be 34,376 people in 2020, the Urban Growth Projections, which are a better indicator estimate that the population of the same area will be 38,549 in 2010.

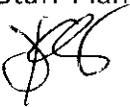


- The same holds true for housing development, with the West Side Strategic Plan anticipating 17,270 homes by 2020. The Urban Growth Projections indicate that by 2005, the number of homes in the Northwest Mesa will number 16,141 homes.
- Given the information in the two previous bullet points, actual growth is occurring at a significantly rapid pace than what the West Side Strategic Plan projected. This point is significant since the Community and Neighborhood Center concepts, the primary commercial areas for West Side Communities were based upon the Plan's projections. For example, the Ventana Ranch Neighborhood Center is estimated to serve 3,109 people in 2020.
- The other two area Neighborhood Centers located within the Northwest Mesa include the McMahon/Unser Neighborhood Center and the Westside/Paradise Heights/T-VI Neighborhood Center, which are projected to serve a population of 3,496 and 2,185 respectively in 2020. Combined, the West Side Strategic Plan estimates that all three Neighborhood Centers will serve a population of 8,790 in 2020.
- When you multiply the number of permits granted in the Ventana Communities, Seville, Painted Sky, Stonebridge, Los Suenos, Ridgeview Village, and Paradise Skies by 2.55, the average household size in Albuquerque, a potential population of 3,525 will join the population already in place, far eclipsing the anticipated population that could be served by commercial uses that develop at the Ventana Neighborhood Center. This does not include the potential population that will be added to the area when Ventana West comes on line. Ventana West was recently annexed and is expected to have a maximum of 1,450 single-family units for a potential population of 3,697 people by itself. When you add the potential population of Ventana West with the 3,525 people identified above, this could add an additional 7,222 people needing services.
- It is clear that the estimated population served by all three neighborhood centers, will be in place far sooner than the 2020 projections.
- Residential development has far outpaced commercial development in the Northwest Mesa, creating several ramifications. First, residents of the Northwest Mesa now have to drive farther to obtain services. Second, this type of development pattern leads to an unfavorable jobs/housing balance. Employment opportunities are limited for the growing residences. An equal jobs/housing balance is sought by the City of Albuquerque, however, this is not being met in the Northwest Mesa.
- According to the Albuquerque Metropolitan Housing Digest, the Northeast and Southeast Quadrants have grown at a slower rate each year. Permits in southeast Albuquerque have actually declined, while the number of permits in the northeast have been flat. This gives further support that housing construction in the Northwest, Southwest Mesa, and Rio Rancho will be the primary growth areas.





Memorandum

To: Carmen Marrone, Staff Planner
From: Jim Strozier, AICP 
Date: February 11, 2004
Re: Project #1000931, 03EPC 02038 & 02039

RECEIVED FEB 11 2004

The purpose of this memorandum is to provide additional support for the justification with regards to Resolution 270-1980 for the above referenced rezoning request from SU-1 for Church & Related Facilities and O-1/R-2 Permissive Uses to SU-1 for C-1 including SU-1 for C-1 Uses including restaurants with full service liquor and liquor sales for off premise consumption ancillary to a full service grocery store for Tract 1C, Seville Subdivision, approximately 9 acres at the northeast corner of Universe and Irving Boulevard. This additional information focuses on item D of the resolution. First, section D.2 addresses changed conditions. These changed conditions are presented in three parts; policy/big picture items, changes to the immediate surroundings, and finally, zone changes that have occurred on adjacent or nearby properties. Second, I will address section D.3 regarding how the proposed change will be "more beneficial" to the community. The application is also consistent with the other sections of Resolution 270-1980 as previously transmitted by DAC Enterprises, Inc.

Resolution 270-1980, D.2: Changed Conditions:

1. Policy and Community Initiatives:

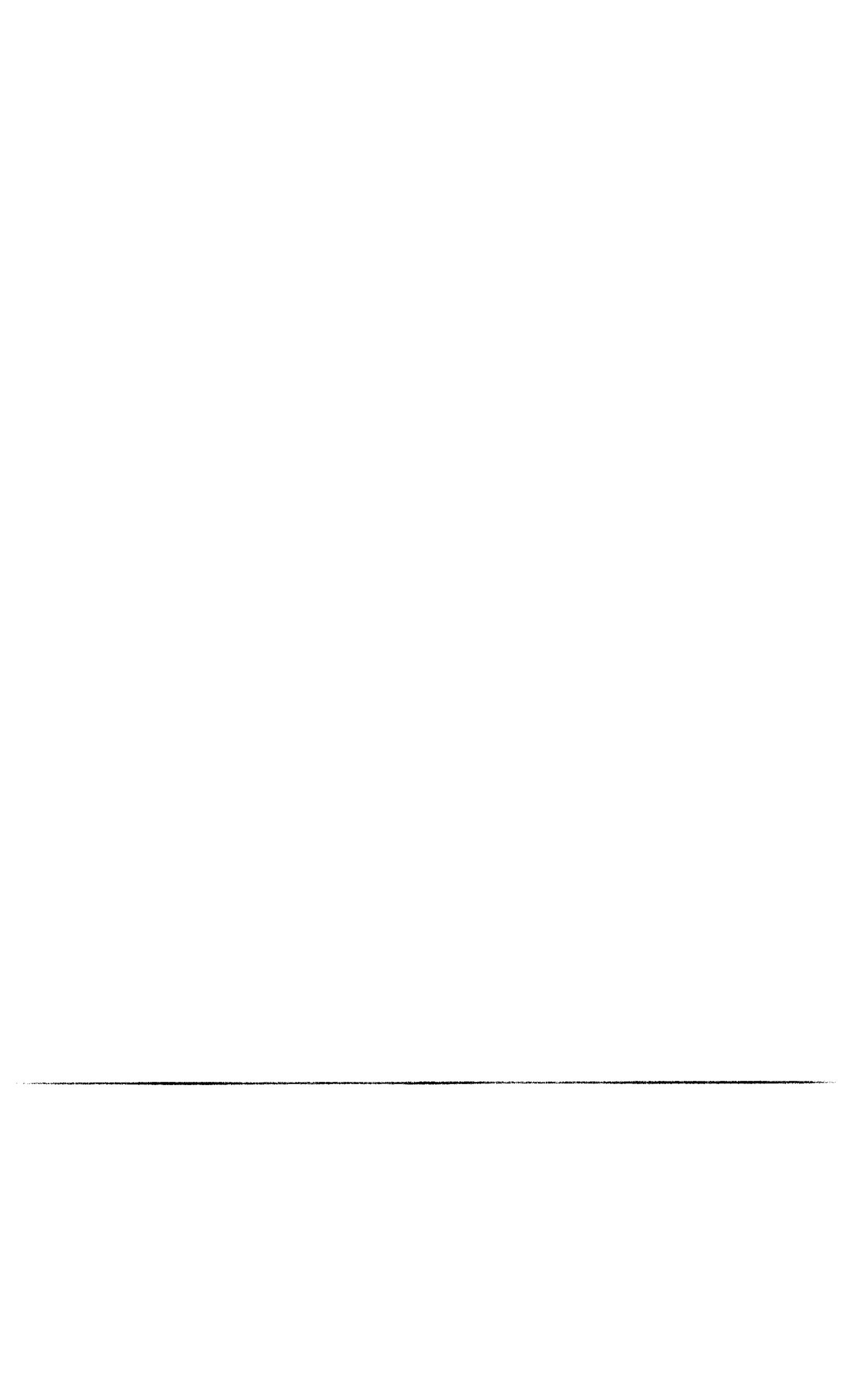
The proposed request responds to citywide policy changes that effect development. The Centers and Corridors amendments to the Comprehensive Plan promote density within walking distance of high capacity corridors.

Irving and Universe Boulevards are identified as Minor Arterials on the Long Range Major Roadway Plan. This intersection is surrounded by higher density single-family developments (R-LT zoning). This location will be convenient to a large number of existing and developing neighborhoods. Universe Boulevard is the primary access to the new TVI campus located approximately ½ mile to the north.

An additional change is the recent annexation of properties to the west of the subject site from Bernalillo County into the City of Rio Rancho. The proposed site will be a convenient and well-located commercial center with the Albuquerque City limits and would serve a rapidly growing population.

Area Changes affecting the site:

Several changes in the immediate area have been completed. It should be noted that several of these changes implement the specific policies outlined above. First is the TVI West Side Campus, the first phase of this 110 acre campus was developed and opened



earlier this year. The campus is expected to provide educational facilities and administrative offices for 4,000 students. The primary changes in the area surrounding the property are the numerous changes from R-1, PRD, and County A-1 to R-LT. These areas are developing as medium to high-density single-family neighborhoods. Immediately to the south and west are Ventana Ranch and the recently annexed Ventana West projects. The bulk of Ventana Ranch is zoned R-LT. All of the recently annexed Ventana West was zoned R-LT with the rationale being changed neighborhood conditions and more beneficial to the community. Almost all of the existing Ventana Ranch community is zoned and developed under the R-LT regulations. The commercial center for Ventana Ranch (Ventana Square) is located approximately 1-mile to the south of the subject property. This is an appropriate spacing for a neighborhood center, which will be at the intersection of two critical access roads into the surrounding communities and services.

Zone Map Amendments Adjacent to the Subject Property:

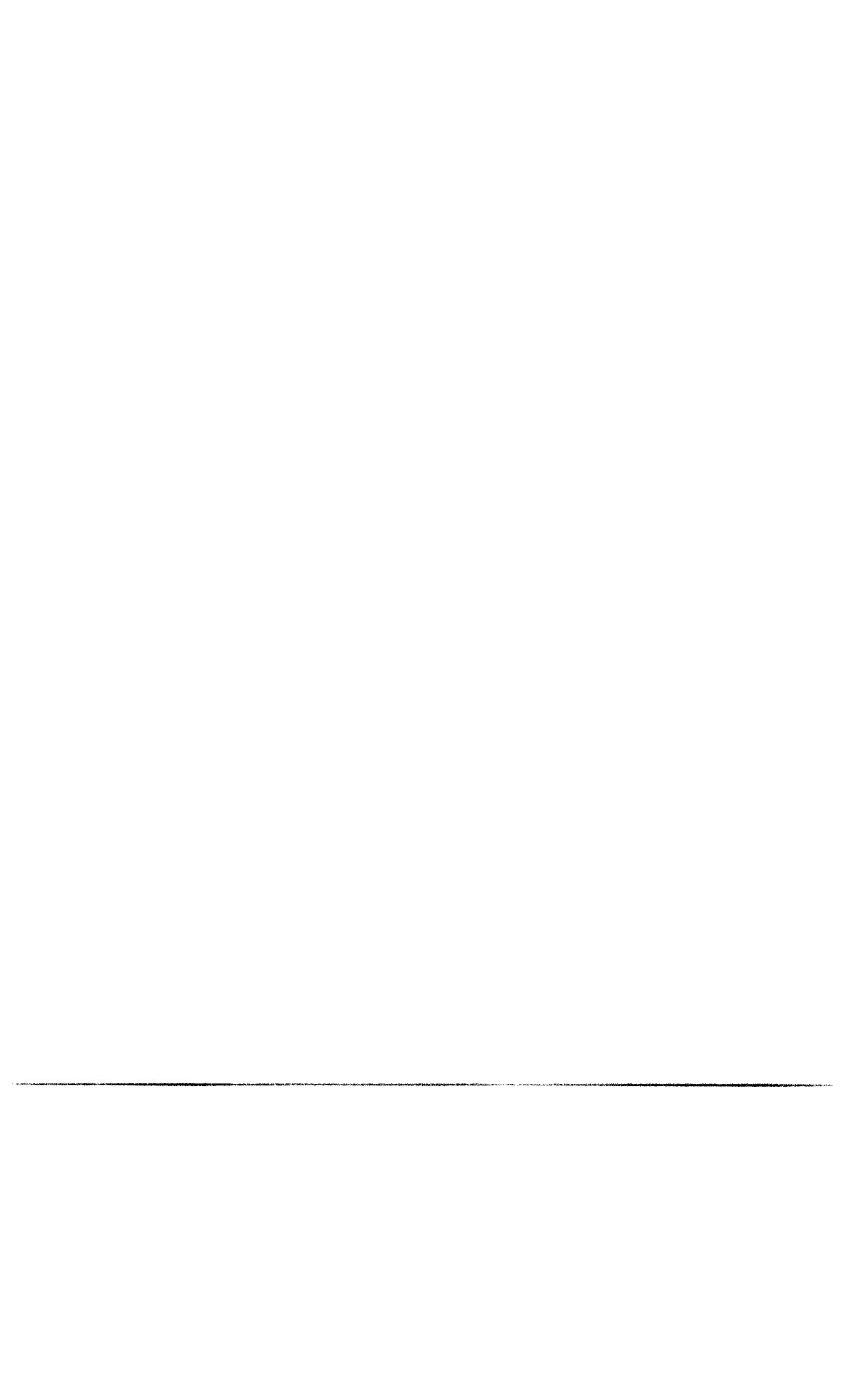
This property was part of Project #1000931, which included a zone map amendment from R-1 to R-LT for the bulk of the property. Another recent case, Project #1001306 rezoned additional property to the north from R-1 to R-LT earlier this month (December 18, 2003). As stated previously, the bulk of Ventana Ranch was zoned R-LT and has primarily developed with single-family homes. There is also a recently approved apartment project being developed just to the south of the subject property in Ventana Ranch. The property to the west, across Universe was annexed into the City and zoned R-LT (this property has not yet developed). And most recently, the City annexed the 288 acres known as Ventana West and zoned this property R-LT. All of these properties are being developed consistent with the current City plans and policies for higher densities and more compact neighborhood design, the end result being a changed condition that warrants additional neighborhood services to serve this rapidly growing portion of the City. The requested zoning will enable this property to develop in a manner that is more consistent with the policies and changed neighborhood conditions outlined above.

Resolution 270-1980, D.3: More Advantageous to the Community:

The requested commercial zoning is more advantageous to the community in several ways. First, the existing and developing neighborhoods are being developed at higher than anticipated densities, thus creating a need for additional commercial services. The SU-1 provides Site Plan control and will require a TIS prior to development in order to address the transportation concerns in the area. Finally, both Ventana Ranch Neighborhood Association and the Paradise Hills Civic Association support the request.

We would respectfully request that staff reconsider this request in light of the additional information provided, recommend approval to the EPC, and that the EPC review and approve the requested zone map amendment. Please do not hesitate to contact me at 764-9801 if you have any questions or require any additional information.

c: Pete Daskalos, Pete Daskalos Properties



Robert M. ... INC, ...
12/3/03

**SITE DEVELOPMENT PLAN
FOR SUBDIVISION CHECKLIST**

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission (EPC). Since development proposals vary in type and scale, there may be application requirements that are not included here and others that may not be necessary. Nonetheless, it is the applicant's responsibility to provide a complete submittal. The EPC will not consider incomplete submittals. Incomplete submittals run the risk of not being scheduled for hearing until they are made complete. Site development plans should ordinarily be composed of the following plan sheets:

1. **Site Plan** (required)
2. **Design requirements for future site development plans for building permit** (optional, but STRONGLY recommended)

The following checklist describes the minimum information necessary for each sheet. Most of the site plan requirements for *Sheet #1* are taken from the definition for "SITE DEVELOPMENT PLAN" as outlined in the Zoning Code (§ 14-16-1-1 et. seq.). The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.

Accompanying Material

- A. Fee payment
- B. Complete application
- C. Written Summary of Request
- D. 8-1/2" x 11" reductions

SHEET # 1 - SITE PLAN (Required)

- 1. Scale: at least 1" = 100'
- 2. Bar Scale
- 3. North Arrow
- 4. Scaled Vicinity Map
- 5. The Site (property lines)
- 6. Proposed Use(s)
- 7. Pedestrian Ingress and Egress (Access)
- 8. Vehicular Ingress and Egress (Access)
- 9. Any Internal Circulation Requirements
- 10. For each lot:
 - a. Maximum Building Height
 - b. Minimum Building Setback
 - c. Maximum Total Dwelling Units and / or
 - d. Nonresidential Uses' Maximum Floor Area Ratio (F.A.R.)

Listed on Site Plan

**SHEET #2 – DESIGN REQUIREMENTS FOR FUTURE SITE DEVELOPMENT
PLANS FOR BUILDING PERMIT (Optional, but STRONGLY
recommended)**

- ___ 1. Overall Design Theme and Land Use Concept
- ___ 2. Off-Street Parking Requirements and Design (Automobile and Bicycle)
- ___ 3. Street Design
- ___ 4. Transit Facilities (benches, shelters, pedestrian connections, etc.)
- ___ 5. Landscape Design Requirements (plant list, buffer areas, locations, amounts, etc.)
- ___ 6. Architectural Design Requirements (façade elements, massing, colors, materials, etc.)
- ___ 7. Signage Design Requirements (face area, colors, materials, maximum height, etc.)
- ___ 8. Lighting Design Requirements (type, locations, colors materials, maximum height, etc.)
- ___ 9. Pedestrian Amenities (walkways, plazas, shade structures, etc.)

ONE STOP SHOP . . . FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4th Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME Pete DASKALOS
AGENT DOUG CRANDALL
ADDRESS _____
PROJECT NO. 1000931
APPLICATION NO. _____

\$ _____ 441006 / 4983000 (DRB Cases)
\$ 120.- 441006 / 4971000 (EPC & AA / LUCC / Appeals)
\$ 75.- 441018 / 4971000 (Notification)
\$ 1195.- Total amount due

STAVROULA LIMITED PARTNERSHIP

5321 MENAUL BLVD., NE
ALBUQUERQUE, NM 87110
(505) 883-0414

NEW MEXICO BANK & TRUST
ALBUQUERQUE, NM 871110-5375

1014

95-654/1070

**** ONE THOUSAND SIXTY FIVE AND 00/100 DOLLARS

TO THE
ORDER OF

12/02/03

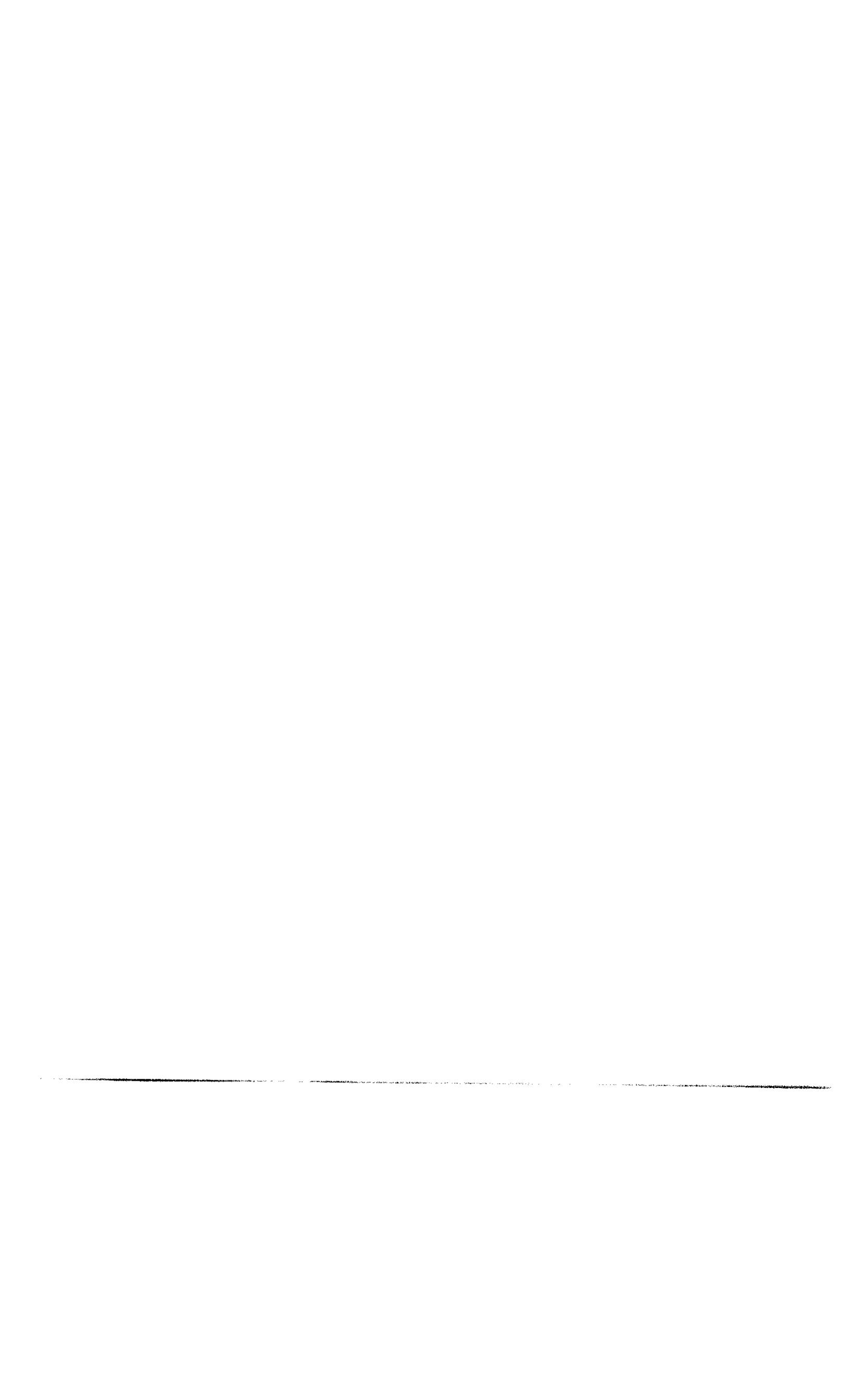
AMOUNT
\$1,065.00****

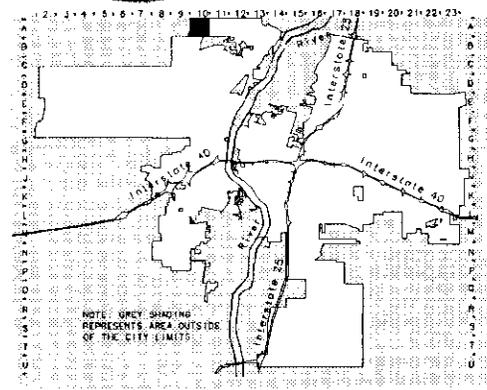
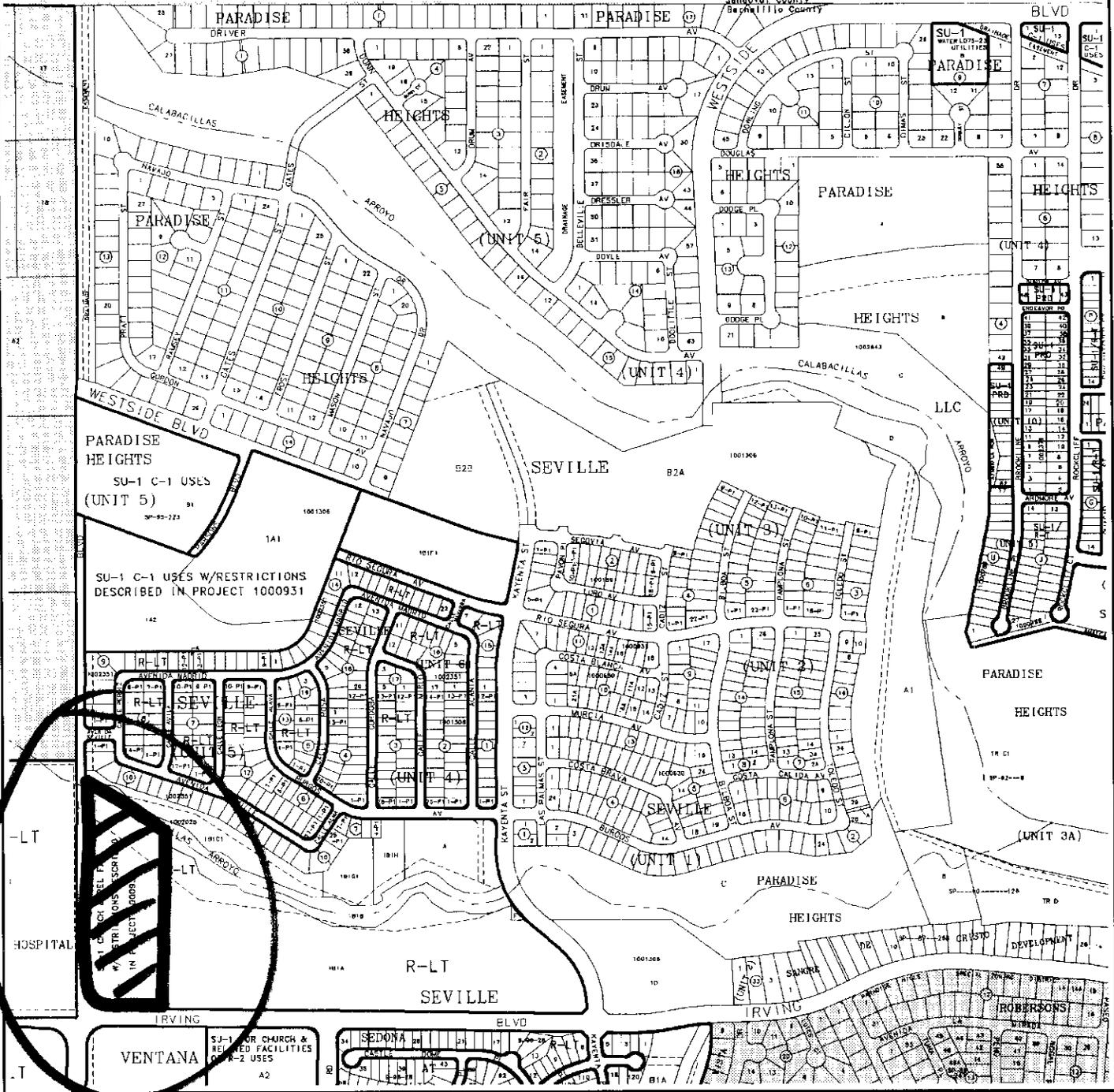
CITY OF ALBUQUERQUE
P.O. BOX 1313
Albuquerque, NM 87103

⑈001014⑈ ⑆107006541⑆ 610 022 6⑈



DATE: 12/02/03 CK#: 1014 TOTAL: \$1,065.00*** BANK: STAV - STAVROULA LIMITED PARTNERSHIP





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PLANNING DEPARTMENT
 © Copyright 2003



Zone Atlas Page
A-10-Z
 Map Amended through November 01, 2003



SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from Dec 31 2003 To JAN 15 2004

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Douglas Randall by POA
(Applicant or Agent)

12/3/03
(Date)

I issued 3 signs for this application, 12/3/03
(Date)

JM
(Staff Member)

03 EPC - 02039
- 02038

DRB PROJECT NUMBER: 1000931

