

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
___ Major Subdivision action		___ Annexation	
___ Minor Subdivision action		___ County Submittal	
___ Vacation	V	___ EPC Submittal	
___ Variance (Non-Zoning)		___ Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	___ Sector Plan (Phase I, II, III)	
___ for Subdivision Purposes		___ Amendment to Sector, Area, Facility or Comprehensive Plan	
<input checked="" type="checkbox"/> for Building Permit		___ Text Amendment (Zoning Code/Sub Regs)	
___ IP Master Development Plan			
___ Cert. of Appropriateness (LUCC)	L		
		APPEAL / PROTEST of...	A
		___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: FAMILY WORSHIP CENTER - JOHN GRIEGO AGENT PHONE: _____

ADDRESS: 1100 GLEN RID ROAD FAX: _____

CITY: ALBUQUERQUE STATE: NM ZIP: _____ E-MAIL: _____

Proprietary interest in site: ARCHITECTS 438-0027

AGENT (if any): JOHN GRIEGO & GERALD CHAVEZ PHONE: 603-1794

ADDRESS: 2810 SILVER LN FAX: 438-0028-F

CITY: SANTA FE STATE: NM ZIP: 87501 E-MAIL: QUEPASANO@ATTNOSP

DESCRIPTION OF REQUEST: SITE PLAN FOR SUBDIV & SITE PLAN FOR BLDG PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LAND OF 226 & 227 & 228 - 229 & 230 Block: _____ Unit: AIRPORT

Subdiv. / Addn. TOWN OF ATRISCO GRANT - AIRPORT UNIT

Current Zoning: SU-1 CHURCH Proposed zoning: _____

Zone Atlas page(s): J-10 No. of existing lots: (1) No. of proposed lots: (1)

Total area of site (acres) 7.6 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No ___ but site is within 5 miles of the city limits.) Within 1000FT of a landfill? (NO)

UPC No. _____ MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: GLEN RID & 72ND ST W / I-40 NORTH

Between: _____ and _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX_Z, V, S, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team . Date of review: _____

SIGNATURE John C. Griego DATE 7-03-03

(Print) John C. Griego _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>03EPC - 01111</u>	<u>SP AP</u>	<u>PI</u>	<u>\$ 385.-</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	<u>NO</u>	_____	<u>\$ 75.-</u>
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____

Hearing date AUG 31 2003

John C. Griego 7/3/03
Planner signature / date

Project # 1000694

FORM P(1): SITE PLAN REVIEW - E.P.C. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

IP MASTER DEVELOPMENT PLAN

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 30 copies for EPC public hearings.
For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
 - Site plans and related drawings reduced to 8.5" x 11" format
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 30 copies for EPC public hearings.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 30 copies for EPC public hearings.
- Site plans and related drawings reduced to 8.5" x 11" format
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent *7/3/03 NLT 2 p. 17*
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist
- 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
- Fee (see schedule) *385 + 75 460*
- Any original and/or related file numbers are listed on the cover application

NOTE: For wireless telecom facilities (administrative reviews that have been referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:

- Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
 - Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
 - Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
 - Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
 - Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
 - Registered Engineer's stamp on the Site Development Plans
 - Office of Community & Neighborhood Coordination inquiry response as above based on 1/4 mile radius
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 30 copies for EPC public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 30 copies for EPC public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 30 copies for EPC public hearings
 - Site plans and related drawings reduced to 8.5" x 11" format
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John C. Gruezo Applicant name (print)
John C. Gruezo Applicant signature / date
 7-03-03



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 OSEPC - 01111

JAM 7/3/03
 Planner signature / date
 Project # 1000694

CASE # 1080694

GRIEGO&associates LLC

2810 Siler Lane, Santa Fe, New Mexico
505 438-0027 fax 438-0028

July 03, 2003

Environmental Planning Commission (EPC)
City of Albuquerque
Via : Russel Brito, Planner
City of Albuquerque

Re: project summary

AGENT	GRIEGO&associates LLC
APPLICANT	FAMILY WORSHIP CENTER, John Griego agent
REQUESTS	ZONE MAP AMENDMENT (7.36 AC.) AND APPROVAL OF A SITE DEVELOPMENT PLAN FOR SUBDIVISION: BLDG PERMIT
LEGAL DESCRIPTION	SOUTHERLY PORTIONS OF TRACTS 226, 227, 228, 229 AND 230 AIRPORT UNIT TOWN OF ATRISCO CITY OF ALBUQUERQUE BERNALLILLO COUNTY, NEW MEXICO
LOCATION	GLENRIO RD. BETWEEN I-40 TO THE NORTH COORS BLVD. TO THE EAST AND GLENRIO RD. TO THE SOUTH.
SIZE	7.36 AC.
EXISTING ZONING	SU-1

FAX TRANSMITTAL

PAGE 1 of 2

City of Albuquerque Planning Department
Development Review Division
924-3860 / 924-3339 FAX

DATE: 7 July 2003

rev: 6/2003 x:\share\epcstuff\siteplan\NewFaxlist

TO: John Griego FAX #: 438-0028
FROM: Russell Brito Contact Phone #: 924-3337
RE: **Site Development Plan for Building Permit Deficiencies**
Project Description: Family Worship Center
EPC Project #: 1000694 EPC Case #: 03EPC-01111

Upon review, our office has determined that there are deficiencies with your Site Development Plan for Building Permit, submitted for EPC approval. The extent and/or nature of these deficiencies:

Allow for provisional distribution to other agencies and City Departments; eleven (11) copies of a complete site plan that clearly addresses all Site Development Plan for Building Permit Checklist items must be submitted to the Planning Department (staff planner) by _____.

Warrant rejection of this site plan submittal: Deficiencies prevent a complete and meaningful review of the plan(s). Consequently, this request will not be scheduled for the EPC hearing on 21 August 2003; resubmittal of a complete site plan that addresses all Site Development Plan for Building Permit Checklist items is necessary to be scheduled for a future EPC hearing.

DEFICIENCIES:

Site Plan For Building Permit

- Bar Scale
- Dimensions of principal site elements (bldg. footprints, etc.)
- Site lighting locations
- Bicycle parking locations
- Parking spaces numbered per aisle
- Fire hydrant location(s)
- Parking calculations
- Curve radii
- Drive aisle dimensions
- Curb-cut dimensions
- Street pavement width dimension
- Refuse enclosure location
- Utility line easements and utility line locations (water, sewer)

Landscape Plan

- Illustrative planting key
- Square Footage of each planting bed

FAX TRANSMITTAL

City of Albuquerque Planning Department
Development Review Division
924-3860 / 924-3339 FAX

PAGE 2 of 2

DATE: 7 July 2003

DEFICIENCIES (cont.):

Landscape Plan (cont.)

- Landscape calculations are incomplete

Building Elevations

- Bar Scale
- Dimensions of facade elevations (e.g. windows & doors)
- Materials and colors of building elements
- Vertical and horizontal dimensions

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

[Signature] 7-05-03

Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 82" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Existing structures on the site and within 20 feet of the site boundaries
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - ___ 1. Location and typical dimensions, including handicapped spaces
 - ___ 2. Calculations: spaces required: _____ provided: _____
Handicapped spaces required: _____ provided: _____
- B. Bicycle parking & facilities
 - ___ 1. Bicycle racks, spaces required: _____
provided: _____
 - ___ 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - ___ 1. Ingress and egress locations, including width and curve radii dimensions
 - ___ 2. Drive aisle locations, including width and curve radii dimensions
 - ___ 3. End aisle locations, including width and curve radii dimensions
 - ___ 4. Location & orientation of refuse enclosure, with dimensions
 - ___ 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - ___ 1. Location and dimensions of all sidewalks and pedestrian paths
 - ___ 2. Location and dimension of drive aisle crossings, including paving treatment
 - ___ 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - ___ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - ___ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - ___ 3. Location of traffic signs and signals related to the functioning of the proposal
 - ___ 4. Identify existing and proposed medians and median cuts
 - ___ 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - ___ 1. Bikeways and bike-related facilities

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - ___ 1. Location and typical dimensions, including handicapped spaces
 - ___ 2. Calculations: spaces required: _____ provided: _____
 Handicapped spaces required: _____ provided: _____
- B. Bicycle parking & facilities
 - ___ 1. Bicycle racks, spaces required: _____
 provided: _____
 - ___ 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - ___ 1. Ingress and egress locations, including width and curve radii dimensions
 - ___ 2. Drive aisle locations, including width and curve radii dimensions
 - ___ 3. End aisle locations, including width and curve radii dimensions
 - ___ 4. Location & orientation of refuse enclosure, with dimensions
 - ___ 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - ___ 1. Location and dimensions of all sidewalks and pedestrian paths
 - ___ 2. Location and dimension of drive aisle crossings, including paving treatment
 - ___ 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - ___ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - ___ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - ___ 3. Location of traffic signs and signals related to the functioning of the proposal
 - ___ 4. Identify existing and proposed medians and median cuts
 - ___ 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - ___ 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- NA 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

PLANNING DEPARTMENT

P.O. Box 1293
Albuquerque, NM 87103
600 2nd St. NW
Albuquerque, NM 87102



Fax Transmittal Cover Sheet

To: JOHN CRIEGO / JERRY

Company: CRIEGO & ASSOC. LLC

Fax No: 505 438-0028

Telephone: 438-989-9474

From: MARY PISCITELLI

Division: **Administration Planning Department**

Telephone: **505-924-3860**

Total No. Of Pages (Including Cover Page) _____

RECEIVED SEP 04 2003

COMMENTS: EPC SUBMITTAL DEFICIENCIES &

AGENCY COMMENTS

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: FAMILY WORSHIP CENTER
JOHN GRIEGO Date of request: 7/03/03 Zone atlas page(s): SU-1

CURRENT: Zoning SU-1 FOR CHURCH & RELATED USES
Parcel Size (acres / sq.ft.) 7.36 Ac.

Legal Description -
Lot or Tract # 226 - 230 Block # _____
Subdivision Name TOWN OF ATRISCO GRANT

REQUESTED CITY ACTION(S):

Annexation [] Sector Plan []
Comp. Plan [] Zone Change []
Amendment [] Conditional Use []

Site Development Plan:
a) Subdivision [] Building Permit []
b) Build'g Purposes [] Access Permit []
c) Amendment [] Other []

PROPOSED DEVELOPMENT:

No construction / development []
New Construction []
Expansion of existing development []

GENERAL DESCRIPTION OF ACTION: 1

of units - _____
Building Size - 28,000 (sq. ft.) CLASSROOM & MULTI-PURPOSE GYM

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative John Griego Date 7-03-03
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [] BORDERLINE []

PLANNING DEPT. Dev./Bldg. Services Div. Transportation Dev. Sec. 2nd Fl. 600 2nd St. NW Plaza Del Sol Bldg. 924-3994

TRESHOLDS MET? YES [] NO [] Mitigating reasons for not requiring TIS: Previously studied: []

Notes:

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

John Griego 7-3-03
TRAFFIC ENGINEER DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES [] NO [] BORDERLINE []

ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 768-2600

TRESHOLDS MET? YES [] NO [] Mitigating reasons for not requiring AQIA: Previously studied: []

Notes: PER SECTION 14-16-3-14 ZONE CODE

IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

7-3-03
ENVIRONMENTAL HEALTH DATE

Required TIS and / or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS - SUBMITTED ___/___/___
- FINALIZED ___/___/___ TRAFFIC ENGINEER DATE

AQIA - SUBMITTED ___/___/___
- FINALIZED ___/___/___ ENVIRONMENTAL HEALTH DATE

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH

DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Community and Neighborhood Coordination (OCNC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – 924-3913 – will need the following information **BEFORE** neighborhood association information will be released to the applicant / developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at 924-3914. **Your request is for the following: Cell Tower [] Private Development [X] City Project [] -OR- Other []** _____

(specify)

CONTACT NAME: John Griego
COMPANY NAME: Griego & associates LLC
ADDRESS: 2810 Siler lane
ZIP CODE: 87505
PHONE: (505) 438 0027 CELL: (505) 412-9189
FAX: (505) 438 0028

NEIGHBORHOOD ASSOCIATION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS Town of Atrisco Grant
city of ABA Southerly Portions of tracts 226, 227, 228, 229 and 230
(LEGAL DESCRIPTION)

LOCATED ON Glenn Rio Rd
(STREET NAME OR OTHER IDENTIFYING LANDMARK)

BETWEEN I-40 & COORS AND
(STREET NAME OR OTHER IDENTIFYING LANDMARK)

(STREET NAME OR OTHER IDENTIFYING LANDMARK)

THE SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE(S) (J-10-2).

PLEASE HATCH OUT ZONE MAP WHERE PROPERTY IS LOCATED
(ZONE MAP MUST BE PROVIDED WITH REQUEST)

INTEROFFICE MEMORANDUM

TO: SHERAN MATSON, DRB CHAIR
FROM: MARY PISCITELLI, STAFF PLANNER
SUBJECT: FAMILY WORSHIP CENTER, PROJECT #1000694
DATE: 11/26/03
CC: JOHN GRIEGO, JCG ARCHITECTS

This memo will serve as my comments to the above-mentioned case. This case was originally heard in September 2000 for a zone map amendment and a site development plan for subdivision. Due to several issues, the site development plan for subdivision was never completed. The agent resubmitted to the EPC for a site development plan for building permit, with all information that is required for that request. A condition was placed on the approval for the replat of this site for the site development plan for building permit. Other conditions were placed by the EPC as shown in the file.

After reviewing the submitted drawings for the DRB, I found that most of the conditions have been met adequately, but a few minor points will need to be corrected:

- p. L-1. The landscape plan shows the building area as 21,148 sf. The master plan for the site shows the same building area as 28,000 sf. This discrepancy will need to be addressed, because their landscaping calculations are affected by the difference of approximately 7000 sf of building.
- p. L-1 and p. C-7. The landscape plan and the utilities plan for Phase One are not consistent with the Phase One site plan (p. C-5), specifically, the parking configuration on the site plan is different. The parking on the site plan is the approved parking configuration. The EPC placed a condition that the site plan shall be corrected for parking, drive aisles, landscape elements, and building footprint.. All plans (site, utilities, grading and drainage, landscape, etc) shall be consistent with the approved site plan. The plans will need to be closely checked with the site plan as the base plan for all other plans.

A major factor in this project is the bonding or vacation of 72nd Street. AT the EPC hearing, it was expressed that the vacation of 72nd Street, approved by the DRB in 2001, was not completed since the neighboring property owner, who wished to purchase the vacated property, never completed the purchase. The vacation expired in May 2003. Because of this expiration, either the vacation will need to be redone, and the church purchase the property or otherwise work with the neighboring property owner to complete the vacation, or the church will be required to financially guarantee the improvements for 72nd Street. While the applicant states that the owner assumes responsibility for the improvements to the street, it is not apparent in the submittal whether the vacation will be pursued or whether the applicant will be providing documentation to the City for financial guarantee. This matter needs to be resolved with the utilities staff.

*delegated to Hydrology Sr.
(Transparatio
AMARCA sign
Infrastructure &*



NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a **Study Session on Thursday, September 11, 2003, 3:00 p.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following:

1. Distribution & Review – Current Land Use Matters for the August 21, 2003 Public Hearing, which include the projects listed below.

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a **Public Hearing on Thursday, September 18, 2003, 8:30 a.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following items: [Note: these items are not in the order they will be heard]

Project # 1002713

03EPC-00910 Zone Map Amendment
03EPC-00911 EPC Sector Development Plan
Amendment

GARCIA/KRAEMER & ASSOCIATES agent(s) for BENNY S. LOPEZ, ET AL request the above action(s) for all or a portion of Tract(s) 368 B-1, A Portion of Tract 365, Tract 363B2, Tract 369, Tract 368 A1A2, and Tract 368 B-2, **MRGCD Map 41**, and Lots A & B, Luis A & Francisco Arteaga Subdivision, a zone map amendment from SU-2-MR to SU-2-HC, located on BROADWAY SE, between ETHLYN SE and WHEELER SE, containing approximately 3.12 acre(s). (L-14) Juanita Vigil, Staff Planner

Project # 100694

03EPC-01111 EPC Site Development Plan-
Building Permit

JOHN GRIEGO agent for FAMILY WORSHIP CENTER request the above action for all or a portion of Lot 226, 227 228, 229 and 230 **Town of Atrisco Grant -Airport Unit**, zoned SU-1 Church, located on GLENRIO NW, between 72ND ST. NW and I-40, containing approximately 8 acre(s). (J-10) Mary Piscitelli, Staff Planner

Project # 1002635

03EPC-00702 Zone Map Amendment
03EPC-00703 EPC Site Development Plan-
Subdivision
03EPC-00704 EPC Site Development Plan-
Building Permit

CONSENSUS PLANNING, INC. agent(s) for TRICOR SOUTHWEST CORPORATION request the above action(s) for all or a portion of Tract(s) I, **Section 3, T10N**, a zone map amendment from SU-1 Neighborhood Commercial to SU-1 for C -1, located on CANDELARIA ROAD NE, between TRAMWAY BLVD. NE and MOUNTAINSIDE PARKWAY NE, containing approximately 4 acre(s). (H-22) Juanita Vigil, Staff Planner

Project # 1001279
03EPC-01155 EPC Site Development Plan-
Subdivision
03EPC-01093 Zone Map Amendment

COMMUNITY SCIENCES CORP. agents for MARK GONZALES request the above actions for all or a portion of Tract(s) 16-A-1, **Paradise North**, a zone map amendment from R-1 to SU-1 for C-2, located on UNSER BLVD. NW, between UNSER BLVD. NW and MCMAHON BLVD., containing approximately 10 acres. (A-11) Makita Hill, Staff Planner

Project # 1002371
03EPC-01285 Zone Map Amendment

TIERRA WEST LLC, agent for HOFFMANTOWN CHURCH WEST, request the above action for all or a portion of Tract(s) 1A,1B & 1C, Block 15, Alban Hills, Unit 1 and Tract A, Access EasementBosque Meadows, a zone map amendment from SU-1 for R-2 to SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN, containing approximately 17 acre(s). (D-12) Simon Shima, Staff Planner

Project # 1001182
03EPC-01313 Zone Map Amendment

CONSENSUS PLANNING, INC., agent for WESTERN SECURITY REAL ESTATE, INC., request the above action(s) for all or a portion of Tract(s) B, **Westridge Mobile Home Park -Phase 2**, a zone map amendment from SU-1 MH to R-LT, located on AVALON ROAD NW, west of 94th STREET NW, containing approximately 7 acres. (K-9) Simon Shima, Staff Planner

Project # 1002176
03EPC-01317 Zone Map Amendment
03EPC-01318 EPC Site Development Plan-
Subdivision

UPWEST CORPORATION agent(s) for UPWEST CORPORATION request the above action(s) for , **C Varan**, a zone map amendment from C-1 (SC) to SU-1 Residential, located on FOUR HILLS ROAD NE, between WENONAH AVE. and CENTRAL AVE. SE, (L-23) Deborah Stover, Staff Planner

Project # 1002871
03EPC-01319 Zone Map Amendment

DEBBIE HUDSON agent(s) for JUNE KOURI request the above action(s) for all or a portion of Tract(s) B-1, **Panorama Addition**, a zone map amendment from C-2 to R-G, located on CHELWOOD BLVD. NE, between EAST OF CHELWOOD and SOUTH SIDE OF COPPER, containing approximately 1 acre(s). (K-22) Cynthia Borrego, Staff Planner

Project # 1002633
03EPC-01323 EPC Site Development Plan-
Amendment to Subdivision

ADVANCED ENGINEERING AND CONSULTING, LLC agent for JAYEFF CONSTRUCTION request the above action for all or a portion of Lots 9-24, Block 10, **N Abq Acres Tr 3 Unit 3**, zoned SU-2 Mixed Use, located on HOLLY AVE. NE, between VENTURA ST. NE and BARSTOW BLVD. NE, containing approximately 11 acres. (C-20) Carmen Marrone, Staff Planner

Project # 1002873

03EPC-01324 EPC Site Development Plan-
Amendment to Building Permit

DCSW ARCHITECT agent(s) for MORELAND CORPORATION request the above action(s) for all or a portion of Tract(s) 5A, **Yale Business Park**, zoned SU-1 for Permissive O-1, C-2 & IP Uses, located on INTERNATIONAL AVE. SE, between YALE BLVD. SE and Central Ave. SE, containing approximately 5 acre(s). (L-16) Deborah Stover, Staff Planner

Project # 1001620

03EPC-01325 Text Amendment

PLANNING DEPARTMENT agent(s) for CITY OF ALBUQUERQUE request the above action(s) for Amending Section 14-16-2-22(B)ROA1994, to allow single-family residential (SFR) as a special use in the SU-1 Special Use Zone. Russell Brito, Staff Planner

Project # 1002874

03EPC-01326 EPC Site Development Plan-
Building Permit

SITES SOUTHWEST, agent for CITY OF ALBUQUERQUE/WATER UTILITY DIVISION request the above action for all or a portion of Tract S-2A-1, **Atrisco Business Park Unit 2**, zoned IP, located on UNSER BLVD. NW between VOLCANES ROAD NW and I-40, containing approximately 20 acre(s). (J-9) Simon Shima, Staff Planner

03EPC- 01242 Project # 1002640

03DRB-00728 Minor-Temp Defer SDWK
03DRB-00723 Major-Preliminary Plat
Approval
03DRB-00726 Minor-Sidewalk Variance
03DRB-00725 Minor-Sidewalk Variance
03DRB-00724 Major-SiteDev Plan
BldPermit

Robert Fresques, President, agent(s) for Quail Springs Neighborhood Association appeals the Development Review Board's approval of the above action(s) for all or a portion of Lot(s) 22-32, Block(s) 3, Tract(s) 2, NO. ALBUQUERQUE ACRES, **VISTA DEL AGUILA SUBDIVISION**, zoned RD SU-1, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 12 acre(s). (C-19)

Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00 and between 2:00 and 4:00 p.m., Monday through Friday, or you may call April Candelaria at 924-3886. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at the public hearing should contact April Candelaria 924-3886 (VOICE) or 924-3361 (TTY). TTY users may also access the voice number via the New Mexico Relay Network by calling toll free: 1-800-659-8331.

Jeff Jesionowski, Chairman
Environmental Planning Commission

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL AUGUST 27, 2003.

APPROVED

Russell Brito, Senior Planner
Planning Department



ENVIRONMENTAL PLANNING COMMISSION

A G E N D A

Thursday, September 18, 2003, 9:00 a.m.

Dona Ana/Cimarron Room
Albuquerque Convention Center
400 2nd Street NW

NOTE: The location and starting time of this hearing has changed from what was advertised.

MEMBERS

Jeffery Jesionowski, Chairman
Mick McMahan, Vice Chair

John Briscoe
Camilla Serrano
Jens Deichmann

Bevin Owens
Larry Chavez
David Steele

NOTE: A LUNCH BREAK AND DINNER BREAK WILL BE ANNOUNCED AS NECESSARY

Agenda items will be heard in the order specified unless changes are approved by the EPC at the beginning of the hearing; deferral and withdrawal requests (by applicants) are generally reviewed at this time (see item 1A and 1B below). Applications with no known opposition that are supported by the Planning Department are scheduled at the beginning of the agenda; these cases are noted with an asterisk. Applications deferred from a previous hearing are scheduled at the end of the agenda.

There is no set time for cases to be heard. However, interested parties can monitor the progress of the hearing by calling the Planning Department at 924-3860. All parties wishing to address the Commission must sign-in with the Commission Secretary at the front table prior to the case being heard. Please be prepared to provide brief and concise testimony to the Commission if you intend to speak. **In the interest of time, presentation times are limited as follows, unless otherwise granted by the Commission Chair: Staff - 5 minutes; Applicant - 10 minutes; Public speakers - 2 minutes each.**

All written materials - including petitions, legal analysis and other documents - should be submitted at least 10 days prior to the public hearing ensuring presentation at the EPC Study Session. The EPC strongly discourages submission of written material at the public hearing. Except in extraordinary circumstances, the EPC will not consider written materials submitted at the hearing. In the event the EPC believes that newly-submitted material may influence its final decision, the application may be deferred to a subsequent hearing.

NOTE: ANY AGENDA ITEMS NOT HEARD BY 8:30 P.M. MAY BE DEFERRED TO ANOTHER HEARING DATE AS DETERMINED BY THE PLANNING COMMISSION.

1. Call to Order.
 - A. Announcement of Changes and/or Additions to the Agenda
 - B. Approval of the Amended Agenda
 - C. Approval of the Minutes for July 17, 2003.

2. Project # 1000650 *

03EPC-01110 EPC Site Development Plan-
Building Permit
03EPC-01109 EPC Site Development Plan-
Subdivision

TIERRA WEST LLC agent(s) for WALMART STORES, INC. request the above action(s) for all or a portion of Tract(s) 1-A, **Lands of Lamonica & Wenk**, zoned SU-1 C-1 Permissive Uses, located on COORS BLVD. SW, between RIO BRAVO BLVD. and LAMONICA RD., containing approximately 21 acre(s). (P-10) Carmen Marrone, Staff Planner (**CONTINUED FROM AUGUST 21, 2003**)

3. 03EPC- 01242 Project # 1002640

03DRB-00728 Minor-Temp Defer SDWK
03DRB-00723 Major-Preliminary Plat
Approval
03DRB-00726 Minor-Sidewalk Variance
03DRB-00725 Minor-Sidewalk Variance
03DRB-00724 Major-SiteDev Plan
BldgPermit

Robert Fresques, President, agent(s) for Quail Springs Neighborhood Association appeals the Development Review Board's approval of the above action(s) for all or a portion of Lot(s) 22-32, Block(s) 3, Tract(s) 2, NO. ALBUQUERQUE ACRES, **VISTA DEL AGUILA SUBDIVISION**, zoned RD SU-1, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 12 acre(s). (C-19)

4. Project # 1002635 *

03EPC-00702 Zone Map Amendment
03EPC-00703 EPC Site Development Plan-
Subdivision
03EPC-00704 EPC Site Development Plan-
Building Permit

CONSENSUS PLANNING, INC. agent(s) for TRICOR SOUTHWEST CORPORATION request the above action(s) for all or a portion of Tract(s) I, **Section 3, T10N**, a zone map amendment from SU-1 Neighborhood Commercial to SU-1 for C -1, located on CANDELARIA ROAD NE, between TRAMWAY BLVD. NE and MOUNTAINSIDE PARKWAY NE, containing approximately 4 acre(s). (H-22) Juanita Vigil, Staff Planner

5. Project # 1000694 *

03EPC-01111 EPC Site Development Plan-
Building Permit

JOHN GRIEGO agent for FAMILY WORSHIP CENTER request the above action for all or a portion of Lot 226, 227 228, 229 and 230 **Town of Atrisco Grant - Airport Unit**, zoned SU-1 Church, located on GLENRIO NW, between 72ND ST. NW and I-40, containing approximately 8 acre(s). (J-10) Mary Piscitelli, Staff Planner

6. Project # 1002371 *

03EPC-01285 Zone Map Amendment

TIERRA WEST LLC, agent for HOFFMANTOWN CHURCH WEST, request the above action for all or a portion of Tract(s) 1A,1B & 1C, Block 15, Alban Hills, Unit 1 and Tract A, Access EasementBosque Meadows, a zone map amendment from SU-1 for R-2 to SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN, containing approximately 17 acre(s). (D-12) Simon Shima, Staff Planner

7. Project # 1001182 *

03EPC-01313 Zone Map Amendment

CONSENSUS PLANNING, INC., agent for WESTERN SECURITY REAL ESTATE, INC., request the above action(s) for all or a portion of Tract(s) B, **Westridge Mobile Home Park -Phase 2**, a zone map amendment from SU-1 MH to R-LT, located on AVALON ROAD NW, west of 94th STREET NW, containing approximately 7 acres. (K-9) Simon Shima, Staff Planner

8. Project # 1002871 *

03EPC-01319 Zone Map Amendment

DEBBIE HUDSON agent(s) for JUNE KOURI request the above action(s) for all or a portion of Tract(s) B-1, **Panorama Addition**, a zone map amendment from C-2 to R-G, located on CHELWOOD BLVD. NE, between EAST OF CHELWOOD and SOUTH SIDE OF COPPER, containing approximately 1 acre(s). (K-22) Cynthia Borrego, Staff Planner

9. Project # 1002633 *

03EPC-01323 EPC Site Development Plan-Amendment to Subdivision

ADVANCED ENGINEERING AND CONSULTING, LLC agent for JAYEFF CONSTRUCTION request the above action for all or a portion of Lots 9-24, Block 10, **N Abq Acres Tr 3 Unit 3**, zoned SU-2 Mixed Use, located on HOLLY AVE. NE, between VENTURA ST. NE and BARSTOW BLVD. NE, containing approximately 11 acres. (C-20) Carmen Marrone, Staff Planner

10. Project # 1002633 *

03EPC-00694 EPC Site Development Plan-Building Permit

ADVANCED ENGINEERING AND CONSULTING, LLC agent for JAYEFF CONSTRUCTION request the above actions for all or a portion of Lots 9-24, Block 10, Tract 3, Unit 3, **North Albuquerque Acres**, zoned SU-2 Mixed Use, located on HOLLY AVE NE, between VENTURA STREET NE and BARSTOW STREET NE, containing approximately 11 acres. (C-20) Carmen Marrone, Staff Planner **(DEFERRED FROM JULY 10, 2003)**

11. Project # 1001279 *

03EPC-01155 EPC Site Development Plan-
Subdivision
03EPC-01093 Zone Map Amendment

COMMUNITY SCIENCES CORP. agents for MARK GONZALES request the above actions for all or a portion of Tract(s) 16-A-1, **Paradise North**, a zone map amendment from R-1 to SU-1 for C-2, located on UNSER BLVD. NW, between UNSER BLVD. NW and MCMAHON BLVD., containing approximately 10 acres. (A-11) Makita Hill, Staff Planner

12. Project # 1000875 *

03EPC-00503 Zone Map Amendment
03EPC-00504 EPC Site Development Plan-
Amendment to Subdivision

COMMUNITY SCIENCES CORPORATION agent(s) for FINELAND LL & JEFFREY L. FINE request the above action(s) for all or a portion of Tract(s) E, **Fineland Development**, a zone map amendment from SU-1 for R-2 to SU-1 for C-1, located on MCMAHON BLVD. NW, between UNSER BLVD. NW and STONEBRIDGE DRIVE NW, containing approximately 3 acre(s). (A-11) Makita Hill, Staff Planner **(DEFERRED FROM AUGUST 21, 2003)**

13. Project # 1002873 *

03EPC-01324 EPC Site Development Plan-
Amendment to Building Permit

DCSW ARCHITECT agent(s) for MORELAND CORPORATION request the above action(s) for all or a portion of Tract(s) 5A, **Yale Business Park**, zoned SU-1 for Permissive O-1, C-2 & IP Uses, located on INTERNATIONAL AVE. SE, between YALE BLVD. SE and Central Ave. SE, containing approximately 5 acre(s). (L-16) Deborah Stover, Staff Planner

14. Project # 1002874 *

03EPC-01326 EPC Site Development Plan-
Building Permit

SITES SOUTHWEST, agent for CITY OF ALBUQUERQUE/WATER UTILITY DIVISION request the above action for all or a portion of Tract S-2A-1, **Atrisco Business Park Unit 2**, zoned IP, located on UNSER BLVD. NW between VOLCANES ROAD NW and I-40, containing approximately 20 acre(s). (J-9) Simon Shima, Staff Planner

15. Project # 1001620 *

03EPC-01325 Text Amendment

PLANNING DEPARTMENT agent(s) for CITY OF ALBUQUERQUE request the above action(s) for Amending Section 14-16-2-22(B)ROA1994, to allow single-family residential (SFR) as a special use in the SU-1 Special Use Zone. Russell Brito, Staff Planner

16. Project # 1002176

03EPC-01317 Zone Map Amendment
03EPC-01318 EPC Site Development Plan-
Subdivision

UPWEST CORPORATION agent(s) for UPWEST CORPORATION request the above action(s) for , **C Varan**, a zone map amendment from C-1 (SC) to SU-1 Residential, located on FOUR HILLS ROAD NE, between WENONAH AVE. and CENTRAL AVE. SE, (L-23) Deborah Stover, Staff Planner

17. Project # 1001712

03EPC-00323 Annexation
03EPC-00325 Zone Map Amendment
03EPC-00361 Site Development Plan for
Subdivision

TIERRA WEST LLC agent(s) for E. BLAUGRUND & ASSOC., C/O JOHN MYERS request the above action(s) for all or a portion of Lot(s) A, B, C, **Taylor Ranch**, zone map amendment from A-1 SU-Permit for C-1 & R-2 to R-T & SU-1 for C-1, located on LA ORILLA ROAD NW, between VIA CORTE DEL SUR NW and COORS BLVD. NW, containing approximately 16 acre(s). (E-12) Chris Hyer, Staff Planner **(DEFERRED FROM JULY 17, 2003)**

18. Project # 1002796

03EPC-01100 EPC Site Development Plan-
Building Permit
03EPC-01101 Zone Map Amendment
03EPC-01099 EPC Site Development Plan-
Subdivision

RHODE MAY KELLER MCNAMARA ARCHITECTS agent(s) for ALBUQUERFQUE FIRE DEPARTMENT request the above action(s) for all or a portion of Lots 7, 8 9 10, Block 4, Loma Verde Subdivision and Lots 7, 8, 9, 10, 11, Kay Addition, zoned C-2 and SU-1 Firestation, located on DALLAS NE, between CHARLESTON NE and DALLAS NE, containing approximately 2 acre(s). (K-19) Debbie Stover, Staff Planner **(DEFERRED FROM AUGUST 21, 2003)**

19. Project # 1002713

03EPC-00910 Zone Map Amendment
03EPC-00911 EPC Sector Development Plan
Amendment

GARCIA/KRAEMER & ASSOCIATES agent(s) for BENNY S. LOPEZ, ET AL request the above action(s) for all or a portion of Tract(s) 368 B-1, A Portion of Tract 365, Tract 363B2, Tract 369, Tract 368 A1A2, and Tract 368 B-2, **MRGCD Map 41**, and Lots A & B. Luis A & Francisco Arteaga Subdivision, a zone map amendment from SU-2-MR to SU-2-HC, located on BROADWAY SE, between ETHLYN SE and WHEELER SE, containing approximately 3.12 acre(s). (L-14) Juanita Vigil, Staff Planner **(DEFERRED FROM AUGUST 21, 2003)**

20. Project # 1002717
03EPC-00924 Zone Map Amendment

TIMOTHY FLYNN-OBRIEN agent(s) for WEST BLUFF CENTER LLC, A NM LIABILITY CO request the above action(s) for all or a portion of Tract(s) 303 and Tracts 304, 305, and 306, **Town of Atrisco Grant**, a zone map amendment from SU-1/O-1/PRD to SU-1 for IP Uses, located on COORS BLVD. NW, between CORONA DRIVE NW and ALAMOGORDO DRIVE NW, containing approximately 7 acre(s). (H-11) Russell Brito, Staff Planner **(CONTINUED FROM AUGUST 21, 2003)**

21. OTHER MATTERS



Staff Report

Agent	John Griego
Applicant	Family Worship Center
Request(s)	Site Development Plan for Building Permit
Legal Description	Tracts 226-230, Lands of the Town of Atrisco Grant – Airport Unit
Location	Glenrio Road and 72 nd Street
Size	Approximately 7.6 acres
Existing Zoning	SU-1 for Church and Related Uses
Proposed Zoning	No Change

Staff Recommendation

APPROVAL of 03EPC-01111, based on the findings on page 8, and subject to the conditions of approval beginning on page 9.

Staff Planner

Mary Piscitelli, AICP

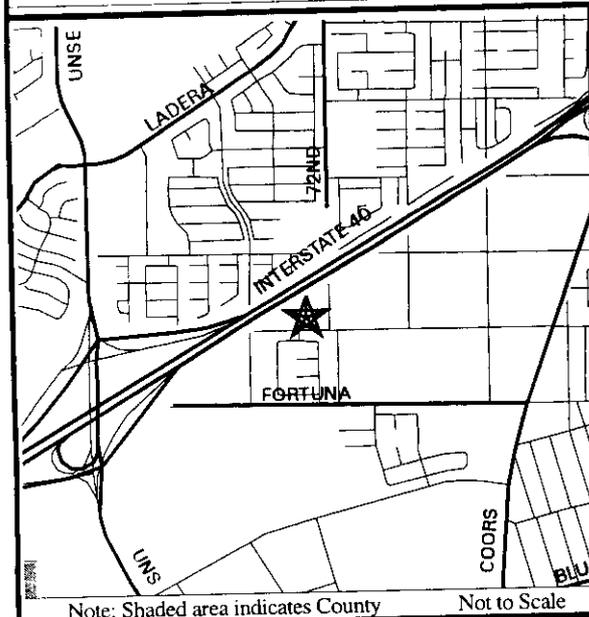
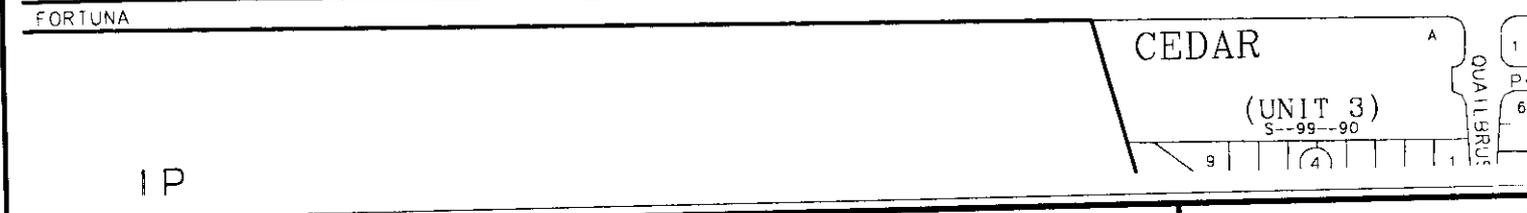
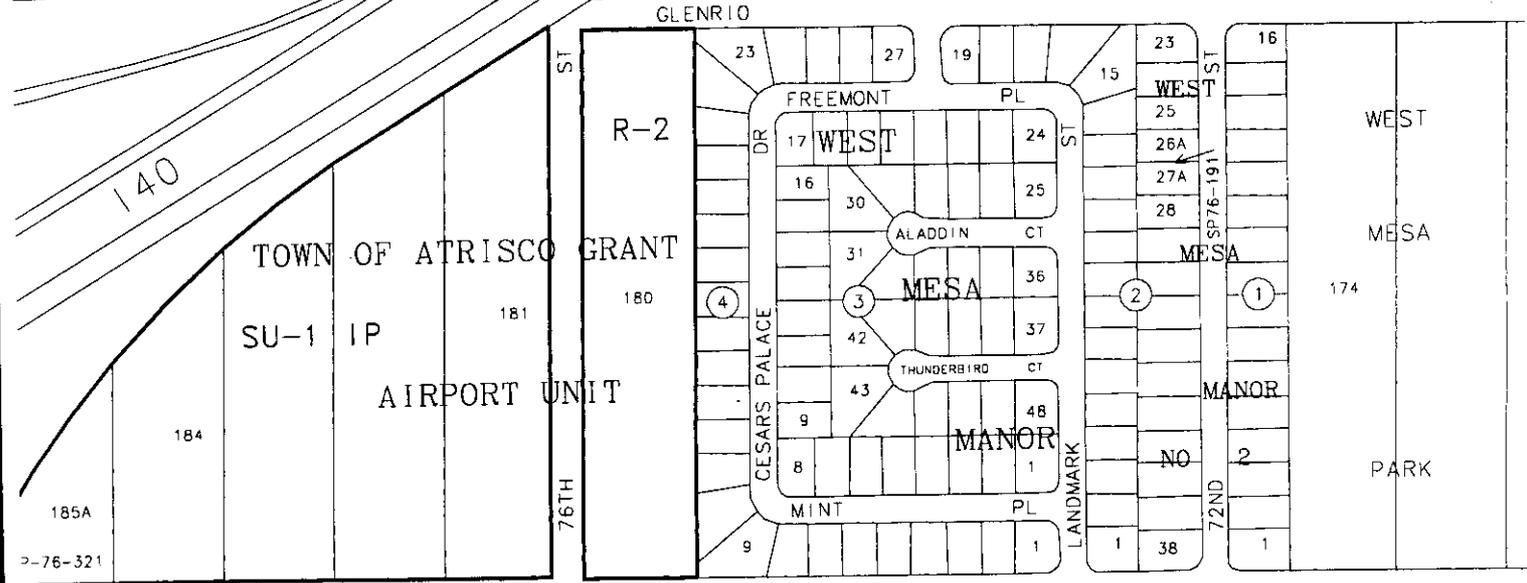
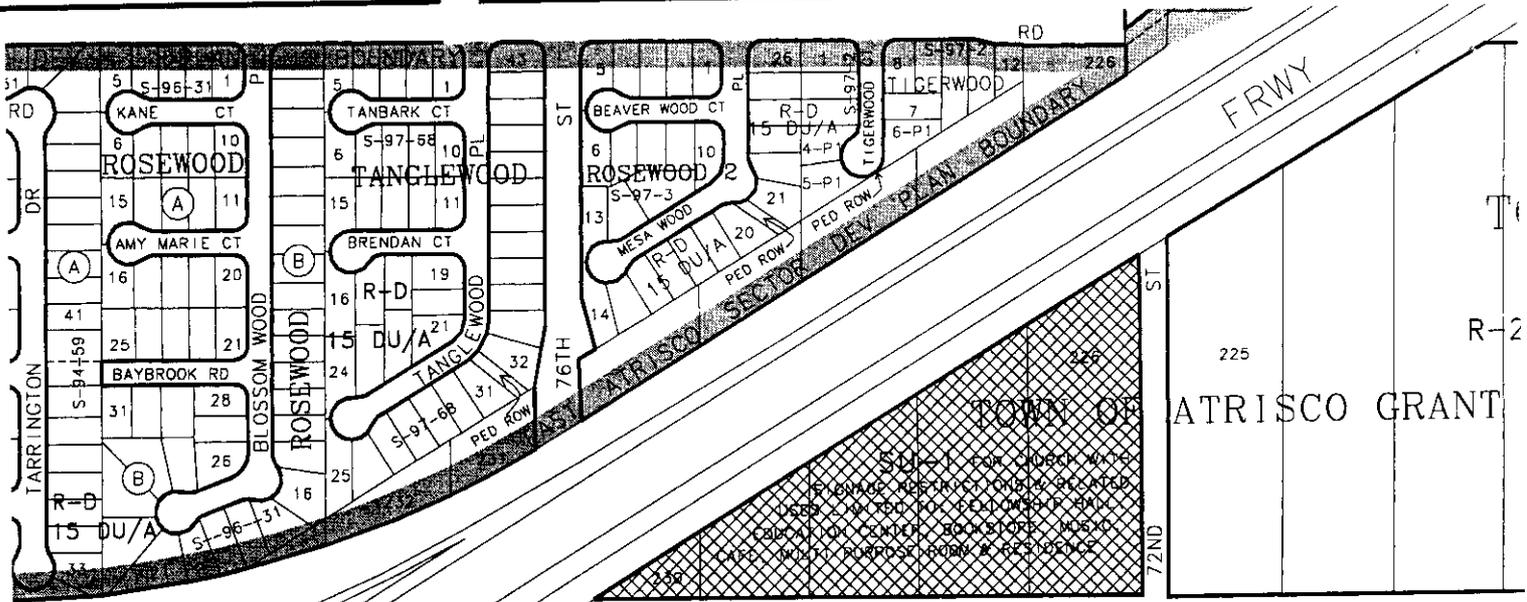
Summary of Analysis

This is a request for a site development plan for building permit for this vacant parcel. In 2000, the EPC approved a zone map amendment and a site development plan for subdivision. The site development plan for subdivision was never finalized by the DRB. However, staff has determined that a site plan for building permit will be adequate to address all issues since there is no plan to subdivide the property.

Although the submitted site plan shows the full build-out of the site, the current request before the EPC is for Phase One, the development of the site for the Fellowship Hall. Staff recommends approval of this request, as the requirements for the site development plan for building permit have been met. Conditions have been recommended.



City Departments and other interested agencies reviewed this application from 8/11/03 – 8/22/03. Agency comments were used in the preparation of this report, and begin on page 12.



ZONING MAP

Scale 1" = 365'

PROJECT NO.
1000694

HEARING DATE
08-21-03

MAP NO.
J-10

ADDITIONAL CASE NUMBER(S)
03EPC-01111

Note: Shaded area indicates County Not to Scale



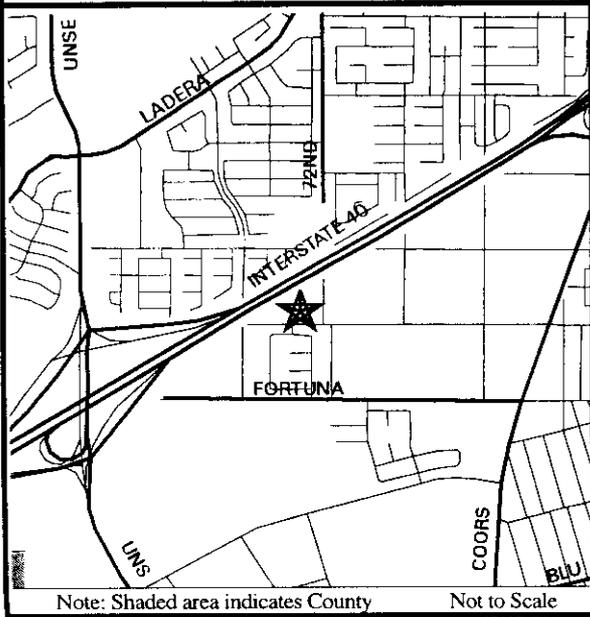
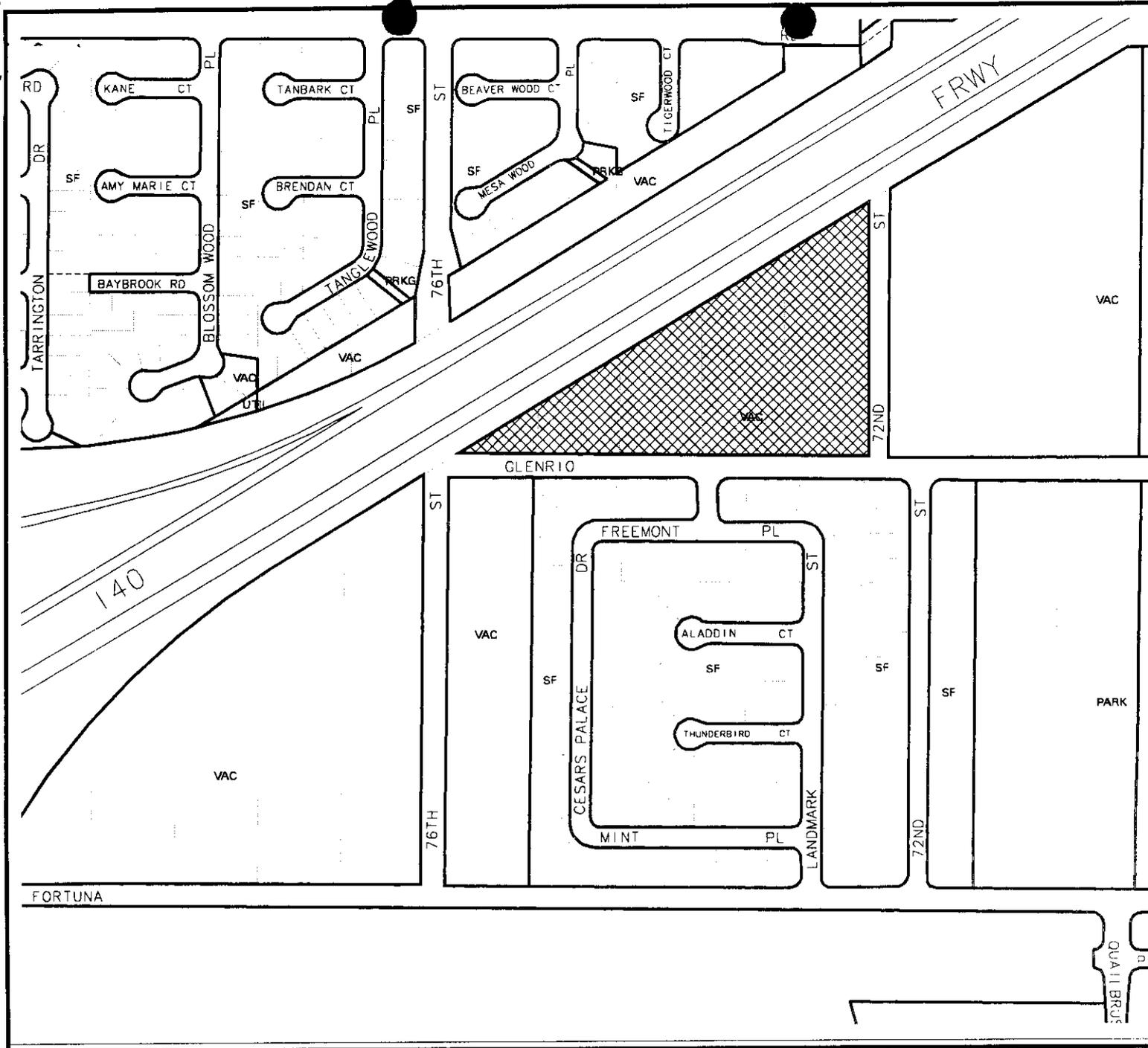
Scale 1" = 365'

PROJECT NO.
1000694

HEARING DATE
08-21-03

MAP NO.
J-10

ADDITIONAL CASE NUMBER(S)
03EPC-01111



Note: Shaded area indicates County Not to Scale

LAND USE MAP

KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial -Retail, Service, Wholesale
- DRNG Drainage
- EDUC Public or Private School
- GOLF Golf Course
- MED Medical Office or Facility
- MFG Manufacturing or Mining
- MH Mobile Home
- MULT Multi-Family or Group Home
- OFF Office
- ORG Social or Civic Organization
- PARK Park, Recreation or Open Space
- PRKG Parking
- PUBF Public Facility
- RELG Religious Facility
- SF Single Family
- TRAN Transportation Facility
- UTIL Utility
- VAC Vacant Land or Abandoned Bldgs
- WH Warehousing & Storage



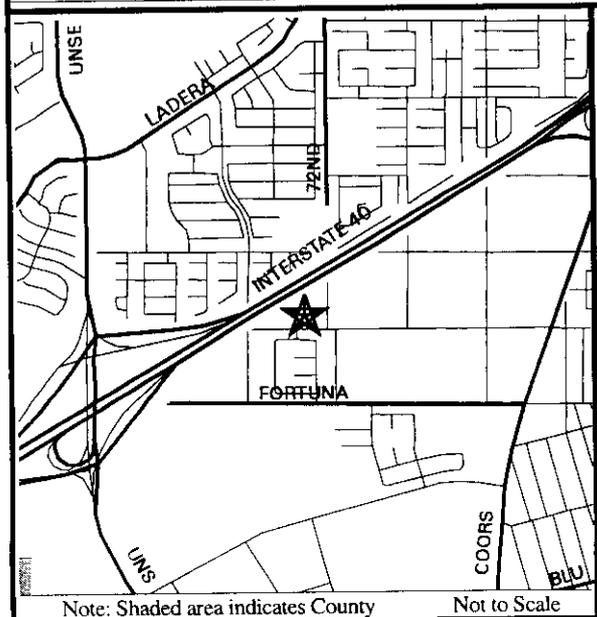
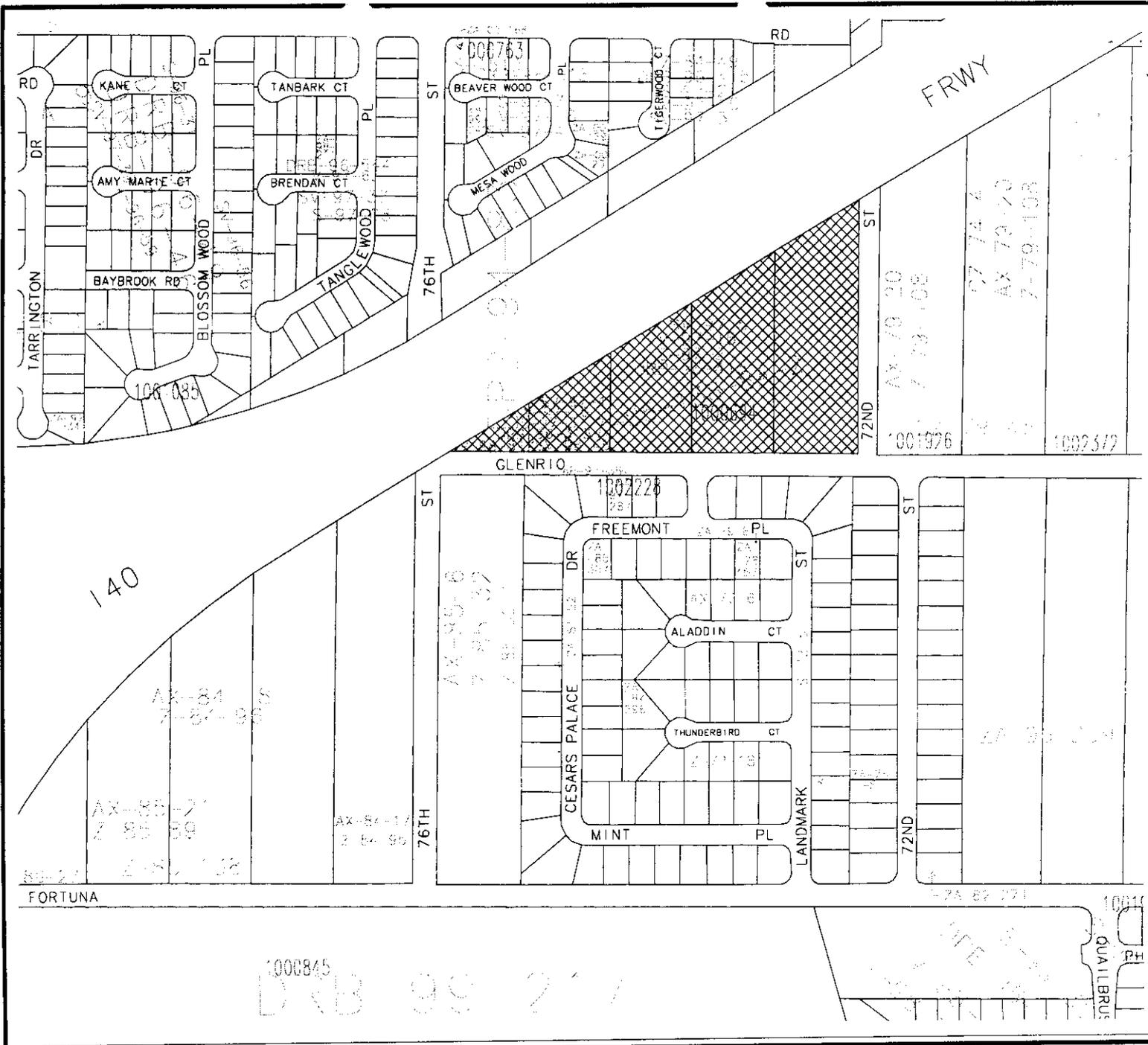
Scale 1" = 365'

PROJECT NO.
1000694

HEARING DATE
08-21-03

MAP NO.
J-10

ADDITIONAL CASE NUMBER(S)
03EPC-01111



HISTORY MAP



Scale 1" = 365'

**PROJECT NO.
1000694**

**HEARING DATE
08-21-03**

**MAP NO.
J-10**

**ADDITIONAL CASE NUMBER(S)
03EPC-01111**

Note: Shaded area indicates County Not to Scale

Development Services Report

SUMMARY OF REQUEST

Request	<i>Site Development Plan for Building Permit</i>
Location	<i>Glenrio Road and 72nd Street</i>

AREA CHARACTERISTICS AND ZONING HISTORY

Surrounding zoning, plan designations, and land uses:

	Zoning	Comprehensive Plan Area; Applicable Rank II & III Plans	Land Use
Site	SU-1 for Church and Related Uses	<i>Comprehensive Plan, West Side Strategic Plan</i>	Vacant
North	Immediately north: I-40; north of I-40: RD (15 du/ac)	<i>Comprehensive Plan, West Side Strategic Plan E. Atrisco Sector Development Plan (n. of I-40)</i>	Highway, medium density residential
South	R-1	<i>Comprehensive Plan, West Side Strategic Plan</i>	Residential
East	Adjacent: 72 nd Street, east of 72 nd Street: R-2	<i>Comprehensive Plan, West Side Strategic Plan</i>	Residential (undeveloped)
West	Immediately west: I-40; southwest of I-40: R-2	<i>Comprehensive Plan, West Side Strategic Plan</i>	Residential (undeveloped)

Background, History and Context

This application is a request for a site development plan for building permit for Phase One development for Tracts 226-230, Town of Atrisco Grant, Airport Unit. There are five lots approved for consolidation on the subject site, consisting of 7.361 acres. The SU-1 Zone was approved in 2000 for Church with Signage Restrictions and Related Uses limited to: Fellowship Hall, Education Center, Bookstore, Music, Café, and Multipurpose Room and Residence. The request for the Phase One development is for the Fellowship Hall.

The subject site is bounded on the north and west by I-40, on the east by 72nd Street (unimproved), on the south by Glenrio Road, and intersecting with 76th Street at the southwest corner. The subject site is triangular. North of I-40 is Rosewood, a 15 du/acre development. South of the subject site is West Mesa Manor, an R-1 subdivision. To the east is R-2 zoning on subdivided but undeveloped land. South and west of the site is subdivided land zoned R-2.

This site was annexed as part of the Northwest Area Plan annexation in 1985 (Z-85-138-8A-2). In 1985, the subject site was annexed as a portion of Annexation 8A of that annexation plan with West Mesa Manor. West Mesa Manor was developed as R-1; the subject site was not developed under the R-2 zoning. The zone map amendment to SU-1 in 2000 was for building this church with its related facilities (00110-00000-01020/00121).

A brief synopsis of the approval history since 2000 is warranted. The recommended vacation of 72nd Street was approved by the DRB in 2002. The applicant was not interested in purchasing the vacated land, but performed the vacation as a benefit to the property owner to the east, whom, at that time, wished to purchase the vacated right-of-way. That property owner never completed the purchase of the vacated right-of-way, and on May 22, 2003, the vacation expired.

The agent brought forward the site development plan for subdivision for final signoff at the DRB in March 2003. However, sign off was never achieved. Staff has subsequently advised the applicant that a site plan for subdivision is unnecessary since no subdivision actions are anticipated. Approval of a site plan for building permit will satisfactorily address the development issued.

Many transportation utility improvements are noted in the agency comments for the development of this site. The vacation action will be necessary, or otherwise financial guarantees for improvements to Glenrio and 72nd Street will be necessary before final sign off.

APPLICABLE PLANS AND POLICIES

Albuquerque / Bernalillo County Comprehensive Plan

The subject site is located in the area designated Established Urban Area of the Comprehensive Plan, which has a goal to "create a quality urban environment which perpetuates the tradition of identifiable, individual, but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment."

Applicable policies include:

Policy a: The Established and Developing Urban Areas... shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

Policy d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

Policy k: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

Policy l: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

West Side Strategic Plan (Rank II Area Plan)

The *West Side Strategic Plan* was first adopted in 1997. The Plan generally encompasses properties west of the Rio Grande; specific boundaries are shown on page 2 in the Plan. It sets forth goals and policies regarding land use. The specific area in which the subject site is located is the Atrisco Business Park. Policies for that area include:

Policy 3.31 It is appropriate for new development, both residential and non-residential, to occur in this Community. Redevelopment efforts associated with the existing five-acre tracts in this area shall be initiated.

Resolution 91-1998 (R-70)

This Resolution establishes an overall direction for implementation of the City's growth policies, with a framework emphasizing:

- development of community and regional activity centers and major transportation corridors (high capacity corridors); encourage increased densities and mixed uses in activity centers and corridors; meet the needs of residents closer to their homes or employment to decrease Vehicle Miles Traveled and automobile dependence.
- maintenance, enhancements and upgrades of roads and utilities in the core area, to prevent deterioration of existing communities and to encourage infill; diversify the Downtown land use mix with public facilities, hotels, office and retail development, more and higher density housing; generate more activity and attract more private investment in the Downtown area.
- enhance transit system performance, consistent with the principles of a compact urban form and a network of centers and corridors; improve the viability of transit as an alternative to the single-occupancy vehicle and reduce Vehicle Miles Traveled; improve pedestrian mobility and the character of the pedestrian environment, transit orientation and bicycle connections, within centers and corridors.
- plan the timing of road and utility construction to ensure orderly growth, and coordinate capacity increases and street extensions; transportation improvement programs must recognize the significance of natural, historic, and cultural resources and include strategies for minimizing adverse impacts on them.

Long Range Roadway System

The Long Range Roadway System designates Glenrio Road as a Major Local street, with a right-of-way of 56-60'.

The Long Range Roadway System designates 72nd Street as a local street, with a right-of-way of 56-60'.

ANALYSIS

Conformance to Adopted Plans, Policies, and Ordinances

This request for site development plan for building permit is in conformance with the adopted policies of the *Comprehensive Plan*, that require that quality and innovation in design shall be encouraged which is appropriate to the plan area.

This request is in conformance with the *West Side Strategic Plan* policy for the Atrisco Business Park Community, which allows for residential and non-residential development and redevelopment in this community area. Since this site has never been developed, developing the site for a neighborhood use, as a church and facilities, is an appropriate development. Additionally, the site will contain a playground area, that, according to the previous application in 2000, the church will allow neighborhood use.

Site Plan Layout / Configuration

The packet includes a revised site plan (11 X 17 size sheets) plus the original submittal from 8/3/03. Both plan sets are submitted for EPC review, since certain sheets in the 8/3/03 submittal were found to have discrepancies and were subsequently revised by the agent. The site plan, drainage plan, utility plan, parking details, landscape plan, and exterior elevations were revised based on the initial staff review for completeness. Other sheets in the original 8/3/03 submittal were not revised.

The revised site plan shows the site at full build out, which is in four phases. The subject request is for Phase One development, for the easternmost portion of the site, containing the Fellowship Hall. Because this is a phased development, Phase One needs to be developed in a manner that meets all requirements, such as parking and drainage. Phase One cannot depend on a future phase of development to meet requirements for Phase One.

The site plan for the Fellowship Hall shows the building placed in the center of the site with parking on three sides, and the church (Phase Two) connected on the southwest of the Fellowship Hall. The lobby, connecting the buildings, will be built as part of Phase One and the church connected when Phase Two is developed.

The revised site plan has a different footprint for the Fellowship Hall than what is shown on the drainage plan, site utility plan, and landscape plan. The drainage plan, utilities plan, and landscape plan will need to be consistent with the site plan for building permit upon approval.

Vehicular Access, Circulation, and Parking

The revised site plan, revised drainage plan, revised site utility plan, revised landscape plan and the original site plan, original site lighting plan, and original landscape plan have different parking configurations. The deficiencies in the plans were identified during the preliminary staff review on 8/8/03. No revisions were submitted. After the Pre-Hearing Discussion, staff submitted the agency comments and resubmitted the deficiencies list to the agent. It seems they never received the deficiencies list. The site plan was then revised to include the noted deficiencies and incorporated the agency comments. An attempt was made to revise the site plan

according to the comments from Transportation Development regarding the parking spaces dimensions and configuration. There are still many issues with the site plan and parking configuration. These issues are listed below:

1. The parking spaces, shown on the 8/3/03 submitted plans, show angled parking spaces with 18' drive aisles. The revised site plan shows perpendicular parking spaces 18' long with an 18' drive aisle. The DPM requires that angled parking can be 18' deep, measuring along the length of the angled stripe. No overhang is included in that 18'; if an overhang is necessary, the parking space should be 20'. An 18' is an acceptable width for a one-way drive aisle, but a two-way drive aisle needs to be 24'.
2. The Transportation Development comments are for both Phase One and Phase Two parking. The comment from Transportation was indicating the parking area called Row F only, in that those 7 spaces should be perpendicular. The agents have responded to the comments, however; it appears they did not understand the comments. All of the parking spaces in Rows C, E, F, G, H, J, K, L, M, N O, and P were changed to perpendicular spaces, but no increase in dimension of the length of the space or width of drive aisle was made. A decrease in parking spaces appears to have occurred due to the increase of size each perpendicular space requires.
3. The parking calculations show 125 spaces required for the Fellowship Hall. Staff counted 211 parking spaces for Phase One. On the revised site plan, as on the original 8/3/03 plan set, no separation of Phase One parking and Phase Two parking is made.
4. The drainage plan, the site utility plan, and the landscape plan show different building footprint and different parking lot configurations, specifically the area of the site south of the Fellowship Hall.
5. Due to the one-way drive aisles, the agent needs to provide an egress drive aisle, or provide two-way drive aisles throughout. The egress drive aisle could be a temporary roadway west of the Fellowship Hall (rear of the building), exiting at the same easternmost driveway. This egress aisle could be eliminated when Phase Two is constructed.
6. The south and west drive aisle, containing parking rows A and B with the accessible spaces, needs proper egress, as it is also shown as a one-way drive aisle.
7. The second driveway on Glenrio is planned for Phase Two, and cannot be used to meet Phase One requirements unless it will be constructed as a part of Phase One, which is not what is shown on the site plan. These considerations are noted in the Transportation Development comments.

None of these issues are insurmountable for this request, but they do require resolution before DRB sign off. Staff recommends that the agent work with the Traffic Engineer to revise the parking lot and drive aisles for Phase One. It appears that the site plan has an overage of parking, and so, therefore, elimination of some parking spaces might be an acceptable approach to resolve the identified parking issues. The agent should consult the Development Process Manual, Chapter 23, Section 7, for the parking lot layout, size of spaces, and size of drive aisles.

Pedestrian and Bicycle Access and Circulation, Transit Access

It appears from the site plan that the front elevation faces southeast, where the lobby is shown. The pedestrian could access the site from Glenrio, where a sidewalk is shown. There is no sidewalk or pedestrian crossing shown on the site plan crossing the drive aisles, or around the porte cochere at the lobby. The pedestrian would have to walk across the asphalt. Staff suggests that marked pedestrian crossing areas are shown on the site plan for pedestrian safety.

A sidewalk should be considered for the area fronting on the unimproved 72nd Street, so that pedestrians crossing from other places might access from a rectilinear route. If a north-south sidewalk is built up to a crossing where Row C parking begins, a more direct pedestrian route to the front door than crossing at the drive aisles, around the porte cochere.

The accessible parking spaces are appropriately placed on the site, with easy access to the church and Fellowship Hall grounds. As noted previously, the drive aisle for the accessible parking area needs to either be widened or an egress drive needs to be added.

Lighting and Security

Single head and double head site lighting is shown on the site plan. The design guidelines state that the lanterns shall be fully shielded and that the maximum height of the poles for the site lights is 20'.

The only perimeter fencing is at the right-of-way line for I-40 on the north and west sides of the site. No other site security fencing is shown.

Landscaping

The master plan for the site shows the fully landscaped site. Landscape buffers of trees and shrubs are shown for the I-40 right-of-way, 72nd Street, and Glenrio Road. Most of the landscaping for the site is at the perimeter. The Phase One Fellowship Hall and the Phase Two church show landscape plants and walkway surfaces surrounding the buildings, which are joined by a common lobby. A tree is shown in the courtyard on the site plan, however, no tree is shown on the landscape plan in the courtyard. Trees are shown on the northwest side of the Fellowship Hall on the landscape plan, but not shown on the site plan. One tree is shown in the planter bed at the porte cochere on the site plan; several plants and trees are shown in the same area on the landscape plan. These areas demonstrate that the landscape plan needs to be consistent with the site plan.

The landscape plan shows a clear legend of plant varieties for trees and shrubs. However, concrete pavement and varieties of groundcover are not called out on the landscape plan. Staff recommends that specifications showing selected surface treatment for the pavement surfaces and selected groundcover material (living and non-living groundcover) are shown in plan and on the legend of the landscape plan for DRB sign-off.

Grading, Drainage, Utility Plans

The grading and drainage plan shows a ponding area where the accessible parking spaces are shown on the site plan. The grading and drainage plan will need to conform to the site plan upon the site development plan for building permit approval.

Architecture and Signage

The building footprint for the Fellowship Hall is shown differently on the various plans in the submittal. The area of concern is the lobby area, and what portion of that space will be built in Phase One. The lobby area for Phase One will need to be clarified on the site plan, and all other drawings, the grading, utilities, landscape plans and the elevations will need to conform to the site plan.

The building design is a contemporary structure, with a metal roof and metal windows, and a synthetic stucco system exterior. The building has few vertical or horizontal offsets or openings (such as elevation offsets, roofline offsets, windows, doors, or other openings). The roofline does change between low pitches and shed rooflines.

The Fellowship Hall is noted on the site plan to be 28,700 square feet, with the Phase Two church measuring 22,823 square feet. The building footprint of the Fellowship Hall, however, is substantially larger than the footprint of the church. The elevation measurements indicate that the building is approximately 37,000 square feet. Staff recommends that measurements between the building footprint on the site plan be coordinated with building elevation measurements.

Concerns of Reviewing Agencies / Pre-Hearing Discussion

The reviewing agency comments suggest that further discussion with Transportation Development, Utilities, and Hydrology to both clarify the submitted plans and to bring those elements into conformity with the site plan. Staff has recommended to the agent that they discuss the comments directly with the agency review staff before the hearing.

Neighborhood Concerns

No neighborhood concerns have been raised. No facilitated meeting was necessary for this project.

Conclusions

There are several identified problems with the site plan and the continuity between each plan. Elements on all plans need to be corrected. The site plan needs to be corrected for parking, drive aisles, and building footprint. The drainage plan the site utilities plan, and the landscape plan need to be corrected with the south parking area, the porte cochere, and building footprint.

When these areas of concern are reconciled, this project can proceed. Staff does not find any of the above listed issues prohibitive to an approval by the EPC; however, substantial conditions have been recommended so that these matters are resolved before final sign off by the Development Review Board.

FINDINGS - (Project #1000694) (Case No. 03EPC-01111)(September 18, 2003)

1. This application is a request for a site development plan for building permit for Phase One development for Tracts 226-230, Town of Atrisco Grant, Airport Unit. The site is 7.361 acres. The application is for approval of the site plan for Phase One development of the Fellowship Hall.
2. The SU-1 Zone was approved in 2000 for Church with Signage Restrictions and Related Uses limited to: Fellowship Hall, Education Center, Bookstore, Music, Café, and Multipurpose Room and Residence.
3. This project had a site plan for subdivision approved by the EPC in 2000. The agent brought forward the site development plan for subdivision for final sign off by the DRB in March 2003. However, sign off was never achieved. Staff has subsequently advised the applicant that a site plan for subdivision is unnecessary since no subdivision actions are anticipated. Approval of a site development plan for building permit will satisfactorily address the development issues.
4. The site development plan for building permit furthers the *Comprehensive Plan* goals and policies for the Established Urban Area by conforming to the applicable policies a, d, k, and l. The *Comprehensive Plan* allows a church to be located on this site, for a fuller range of urban land uses in this area. The design of the building respects neighborhood values in that it is not obtrusively large or tall, and will not be visually obtrusive to the residential areas nearby. The livability of the surrounding neighborhoods is protected through enough established off-street parking for the church and permissive uses. Quality and innovation is encouraged in new development with design appropriate to the plan area. This building and site design is appropriate to the size and scale of the neighborhood.
5. This request furthers the applicable policy 3.31 of the *West Side Strategic Plan*, demonstrating that it is appropriate for a church and related facilities as a non-residential development should occur in the Atrisco Business Park community.
6. Errors have been found on the site development plan for building permit, the drainage plan, the utilities plan, and the landscape plan. The elevations are not in agreement with the building footprint for the Fellowship Hall. These errors can be corrected with minor modifications to the site plan. All errors will need to be rectified before final approval by the DRB.

RECOMMENDATION – (Project #1000694) (Case No. 03EPC-01111)(September 18, 2003)

APPROVAL of 03EPC-01111, a request for a site development plan for building permit for Phase One development for Tracts 226-230, Town of Atrisco Grant, Airport Unit, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL - (Project #1000694) (Case No. 03EPC-01111)(September 18, 2003)

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals. EPC delegates final sign off authority to the DRB.
2. The replatting of the site shall occur concurrently with the final sign off of the site development for building permit by the DRB.
3. The site plan shall be corrected for parking, drive aisles, landscape elements, and building footprint. All plans (site utilities, grading and drainage, landscape, etc.) shall be consistent with the approved site plan.
4. All design aspects of the site shall comply with the design guidelines contained in the site development plan for building permit plan set.
5. The landscape plan shall be corrected to show selected concrete surface treatment and groundcover materials (living and non-living), both on the plan and in the legend.
6. As per the City Engineer Comments:

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- c. Site shall comply and be designed per DPM Standards.
- d. The entire parking lot will need to be constructed in phase 1 for correct circulation. If not, the main drive aisle for phase 1 will need to be modified for two-way circulation or an additional egress will need to be provided for one-way circulation (see Traffic Engineer).
- e. Phase 1 driveway to be 36' – 40' in width (two-way traffic) or 20' – 24' (one-way traffic).
- f. Provide 25' curb returns at site drives.
- g. Maximum width for site drive to residence to be 30'.
- h. Provide angle and typical dimensions of parking spaces. Parking lot layout/site circulation in phase II & I may need to be modified (i.e. drive aisle width, end aisles number of spaces, etc. depending on this info.).
- i. For phase 1 angled parking, north of fellowship hall and adjacent to the 24' drive aisle, change angled parking to perpendicular parking.
- j. For phase two parking, adjacent to education center, provide parking that is perpendicular to building.

-
- k. Site plan on sheet C1.2 should match sheet C1.3 (i.e. parking lot layout).
 - l. Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development before site plan sign off at DRB.
7. As per Solid Waste Management Department Comments: Approved on condition, will coordinate with SWMD on enclosure requirements and ordinances.
 8. As per the Fire Marshall's Office:

New Construction will be reviewed through the normal City of Albuquerque Plan Review Process. Items to be reviewed by AFT will be but not limited to, fire department access and fire hydrant locations, fire alarm systems, sprinkler systems, as well as accessible fire department connections. New additions will require a fire flow statement before DRB.


Mary Viscitelli, AICP
Staff Planner

cc: Family Worship Center,
John Griego, 2810 Siler Ln. Santa Fe, NM 87501
Sally Breeden, 6503 Honeylocust Avenue NW, 87121
Ben Sandoval, 6513 Honeylocust Avenue NW, 87121
Steve Tardy, 7424 Lynwood Drive NW, 87120
Nancy Treviso, 7812 Sherwood Drive NW

Attachments

1. *Notice of Decision, September 21, 2000*
2. *Agency Comments from September 21, 2003 EPC public hearing case report*

CITY OF ALBUQUERQUE AGENCY COMMENTS

Agency comments from the July 2003 submittal for site plan for building permit are shown in italics. Current comments are dated (COMMENTS FOR 9/18) and shown following the 2000 comments. Attached to this report are the agency comments from the September 21, 2000 EPC Public Hearing.

PLANNING DEPARTMENT

Zoning Code Services

Reviewed, no comment.

COMMENTS FOR 9/18

Parking spaces are detailed at less than the minimum required length of 20 feet.

Office of Neighborhood Coordination

Los Volcanes ®

COMMENTS FOR 9/18

Los Volcanes ®

Laurelwood ®

PUBLIC WORKS DEPARTMENT

Transportation Development:

- All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable. [See attached agency comments from Sept. 21, 2000.]*
- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter and sidewalk that have not already been provided for.*
- Site shall comply and be designed per DPM Standards.*
- Parking lot layout/site circulation in phase I & II will need to be modified. See Traffic Engineer.*
- Maximum width for site drives in phase I & II to be 36'.*
- Maximum width for site drive to residence to be 30'.*

Utility Development:

- Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development prior to site plan sign off at DRB. DRB sign off will be contingent on financial guarantees for required infrastructure. Depending on the status of other pending actions could include improvements in 72nd Street. There will be no on-site public infrastructure, but the submittal shows various 'main water and sewer easements.' Language must be deleted, or clarified.*

Traffic Engineering Operations:

- No comments.*

Hydrology:

- An approved conceptual grading and drainage plan is on file for Site Plan sign-off by the City Engineer.*

Condition: Platting should be a concurrent DRB action. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required before placement on DRB agenda.

Transportation Planning:

Information

The applicant is advised that the New Mexico Department of Transportation (NMDOT) is preparing the alignment study and preliminary design for reconstruction of the Coors Boulevard and I-40 Interchange. A number of alignment alternatives are under consideration, including an option for a frontage road along the south side of Interstate 40 between Unser Boulevard and Coors Boulevard. For more information, the applicant is encouraged to contact Mr. Tony Abbo (505 827-9852) the project manager for the NMDOT.

Street Maintenance:

No comments.

Comments continued on next page:

Water Resources, Water Utilities and Wastewater Utilities:

No comments.

New Mexico State Highway and Transportation Department:

No comments.

RECOMMENDED CONDITIONS FROM CITY ENGINEER and PUBLIC WORKS:

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.*
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter and sidewalk that have not already been provided for.*
- c. Site shall comply and be designed per DPM Standards.*
- d. Parking lot layout/site circulation in phase I & II will need to be modified. See Traffic Engineer.*
- e. Maximum width for site drives in phase I & II to be 36'.*
- f. Maximum width for site drive to residence to be 30'.*
- g. There will be no on-site public infrastructure, but the submittal shows various 'main water and sewer easements.' Language must be deleted, or clarified.*
- h. Platting should be a concurrent DRB action. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required before placement on DRB agenda.*

Comments for 9/18

Transportation Development:

All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable. [See attached agency comments from September 21, 2000]

- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- Site shall comply and be designed per DPM Standards.
- The entire parking lot will need to be constructed in phase 1 for correct circulation. If not, the main drive aisle for phase 1 will need to be modified for two-way circulation or an additional egress will need to be provided for one-way circulation (see Traffic Engineer).
- Phase 1 driveway to be 36' – 40' in width (two-way traffic) or 20' – 24' (one-way traffic).
- Provide 25' curb returns at site drives.
- Maximum width for site drive to residence to be 30'.
- Provide angle and typical dimensions of parking spaces. Parking lot layout/site circulation in phase I & II may need to be modified (i.e. drive aisle width, end aisles number of spaces, etc. depending on this info.).
- For phase 1 angled parking, north of fellowship hall and adjacent to the 24' drive aisle, change angled parking to perpendicular parking.
- For phase two parking, adjacent to education center, provide parking that is perpendicular to building.
- Site plan on sheet C1.2 should match sheet C1.3 (i.e. parking lot layout).

Utility Development:

- Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development before site plan sign off at DRB. DRB sign off will be contingent on financial guarantees for required infrastructure, depending on the status of other pending actions, could include improvements in 72nd Street.

Traffic Engineering Operations:

- No comments.

Hydrology:

- No adverse comment on Site Plan for Building Permit.

Transportation Planning:

Information

- The applicant is advised that the New Mexico Department of Transportation (NMDOT) is preparing the alignment study and preliminary design for reconstruction of the Coors Boulevard and I-40 Interchange. A number of alignment alternatives are under consideration, including an option for a frontage road along the south side of Interstate 40 between Unser Boulevard and Coors Boulevard. For more information, the applicant is encouraged to contact Mr. Tony Abbo (505 827-9852) the project manager for the NMDOT.

Comments continued on next page:

Street Maintenance:

- No comments.

Water Resources, Water Utilities and Wastewater Utilities:

- No comments.

New Mexico State Highway and Transportation Department:

- No comments.

RECOMMENDED CONDITIONS FROM CITY ENGINEER and PUBLIC WORKS:

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- c. Site shall comply and be designed per DPM Standards.
- d. The entire parking lot will need to be constructed in phase I for correct circulation. If not, the main drive aisle for phase 1 will need to be modified for two-way circulation or an additional egress will need to be provided for one-way circulation (see Traffic Engineer).
- e. Phase 1 driveway to be 36' – 40' in width (two-way traffic) or 20' – 24' (one-way traffic).
- f. Provide 25' curb returns at site drives.
- g. Maximum width for site drive to residence to be 30'.
- h. Provide angle and typical dimensions of parking spaces. Parking lot layout/site circulation in phase I & II may need to be modified (i.e. drive aisle width, end aisles number of spaces, etc. depending on this info.).
- i. For phase 1 angled parking, north of fellowship hall and adjacent to the 24' drive aisle, change angled parking to perpendicular parking.
- j. For phase two parking, adjacent to education center, provide parking that is perpendicular to building.
- k. Site plan on sheet C1.2 should match sheet C1.3 (i.e. parking lot layout).
- l. Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development before site plan sign off at DRB.

ENVIRONMENTAL HEALTH DEPARTMENT

Air Quality Division

Reviewed, no objection.

Comments 9/18

Environmental Services Division

PARKS AND RECREATION

Planning and Design

Reviewed, no objection.

COMMENTS FOR 9/18

Reviewed, No comment

Open Space Division

COMMENTS FOR 9/18

No adverse comment.

POLICE DEPARTMENT/Planning

Maintenance of landscaping

COMMENTS FOR 9/18

Lighting issues

Maintenance of landscaping

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division

Approved on condition, will coordinate with SWMD on enclosure location Call or details, 761-8142

COMMENTS FOR 9/18

Approved on condition, will coordinate with SWMD on enclosure requirements and ordinances.

FIRE DEPARTMENT/Planning

New construction will be reviewed through the normal City of Albuquerque Plan Review Process. Items to be reviewed by AFD will be but not limited to, fire department access and fire hydrant locations, fire alarm systems, sprinkler systems, as well as accessible fire department connections. New additions will require a fire flow statement before DRB

COMMENTS FOR 9/18

New construction will be reviewed through the normal City of Albuquerque Plan Review Process. Items to be reviewed by AFD will be but not limited to, fire department access and fire hydrant locations, fire alarm systems, sprinkler systems, as well as accessible fire department connections. New additions will require a fire flow statement prior to DRB.

TRANSIT DEPARTMENT

No comment.

COMMENTS FOR 9/18

No comment.

COMMENTS FROM OTHER AGENCIES

BERNALILLO COUNTY

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

No comment

COMMENTS FOR 9/18

No comment

ALBUQUERQUE PUBLIC SCHOOLS

No adverse comments to the above requests (7.6 acres SU-1 for Church) for Family Worship Center Church located on Glenrio NW between 72nd NW and I-40.

COMMENTS FOR 9/18

No adverse comments to the above requests (zoned SU-1 Church on 7.6 acres) Family Worship Center located on Glenrio NW between 72nd NW and I-40.

MID-REGION COUNCIL OF GOVERNMENTS

No adverse comment.

COMMENTS FOR 9/18

No adverse comment.

PUBLIC SERVICE COMPANY OF NEW MEXICO

No comment based upon the information provided to date.

COMMENTS FOR 9/18

No comment based upon the information provided to date.

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 22, 2000

OFFICIAL NOTIFICATION OF DECISION

Family Worship Center
5200 Iliff NW
Albuq. NM 87105

FILE: 00110 00000 01020/00128 00000 01021
LEGAL DESCRIPTION: for Lots 226-230, Town of Atrisco Grant, Airport Unit, located on Glenrio Road NW between Coors Boulevard and I-40, containing approximately 7.361 acres. (J-10) Mary Piscitelli, Staff Planner

On September 21, 2000, the Environmental Planning Commission voted to approve 00110-00000-01020, a request for a zone map amendment from R-2 to SU-1 for Church with signage restrictions and Related Uses limited to the following: fellowship hall, education center, bookstore, music, café, and multi purpose room, and residence , on Tracts 226-230, Town of Atrisco Grant, Airport Unit, generally located on Glenrio Road between 72nd Street and 76th Street based on the following Findings:

FINDINGS:

1. This is a 7.346-acre site located on Glenrio Road between 72nd Street and 76th Street. This is a request for a zone map amendment from R-2 to SU-1 for Church and related uses at Tracts 226-230, Town of Atrisco Grant, Airport Unit. These tracts are vacant land currently.
2. This request would allow a compatible use with the existing R-1 development and the future R-2 multi-unit development adjacent to the subject site.
5. This request fulfills the policies of R-270-1980: the current R-2 zoning is inappropriate, a different zone category would be more beneficial to the community as per the policies of the Comprehensive Plan and the West Side Strategic Plan.
4. The uses listed in the zoning description are intended for the direct mission and use of the church and its members and not intended for uses outside its membership or mission.

On September 21, 2000, the Environmental Planning Commission voted to approve 00110-00000-01021, a request for a site plan for subdivision, on Tracts 226-230, Town of Atrisco Grant, Airport Unit, generally located on Glenrio Road between 72nd Street and 76th Street based on the following Findings and subject to the following Conditions:

ATTACHMENT

1-1

FINDINGS:

1. This is a request for approval of a site development plan for subdivision, for an approximately 7.346 acre site located on Glenrio Road between 72nd Street and 76th Street, more particularly described as Tracts 226-230, Town of Atrisco Grant, Airport Unit.
2. A site plan for subdivision is required for approval of SU-1 zoning.
4. This is site plan for subdivision. If approved, the agent will need to request a site plan for building permit from the EPC.
7. This request furthers the applicable policies of the Comprehensive Plan by conforming to the policies a, d, k, and l, that state that the Established and Developing Urban Area of the Comprehensive Plan shall allow a full range of land uses, that the location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern, that land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; that livability and safety of established residential neighborhoods shall be protected in transportation planning and operations, and that quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.
9. This request furthers the applicable policy 3.31 of the West Side Strategic Plan, demonstrating that it is appropriate for new development, both residential and non-residential, to occur in the Atrisco Business Park community.
11. This property is located immediately east of the Laurelwood-Airport Road Location Study Corridor. As indicated on the Long Range Roadway System map, this corridor envisions a grade separation (overpass) at 76th Street/I-40. No actual corridor study has yet been undertaken, nor is one scheduled; hence, there is no firm plan to construct an overpass. If an overpass were actually to be constructed here, we suggest that a right-of-way taking from the applicant's property might involve 10-20 feet from the SW corner.
13. Infrastructure improvements will be necessary for site plan for building permit. Either financial guarantees for the off- and on-street infrastructure improvements or an approved vacation are alternatives to this issue.
8. This submittal will be adequate with some changes and additions.
9. Pedestrian amenities and pathways that connect parking areas to buildings; buildings to other buildings within the site and buildings to the adjacent streets should be provided.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
3. If the zone change and site plan for subdivision are approved, the agent must request a site plan for building permit from the EPC prior to site development. That proposal will be reviewed as per the design guidelines included with the site plan for subdivision request, along with other relevant factors.
4. An approved grading and drainage plan is required for site plan sign-off by the City Engineer.
6. As per Transportation Development Services conditions for site plan for subdivision approval:
 - a. Construction of pavement, curbs, gutters, and 6 foot sidewalks (to be placed at the property line) on Glenrio Road and on 72nd Street.
 - b. Vacation of 72nd Street as a public street right-of-way should be requested if public access is not required to from this site and the other adjacent properties.
9. As per Transportation Planning recommendations:
 - a. Although construction of an overpass presently seems a remote possibility, it would be appropriate for the applicant's development to be held away from the extreme SW corner of the property.
 - b. The NM State Highway and Transportation Department should be asked to review this case, for drainage concerns, etc.
10. As per Solid Waste, Refuse Division conditions:
 - a. Approved on condition will have refuse enclosure location added to site plan at time of building permit. Must comply with all SWMD Ordinance and requirements. Call TL Baca 761-8142.
12. Pedestrian paths with a 6 foot wide clear path with shade trees at approximately 25 feet on center in 5x5 planters shall be provided along all pathways connection buildings to buildings through parking lots and to the adjacent street.
13. Parking areas shall be restricted to the minimum required plus the maximum of 10% of the allowed use.
9. Design guidelines;
 - . Lighting standards shall be a maximum of 16 feet fully shielded.
 - . No off premise/billboards shall be permitted.

1-3

- b. Monument sign maximum size shall be of the face shall 75 square feet with the maximum height of 8 feet.
 - c. Building mounted signage shall be a maximum of 6% of the façade to which is applied.
 - d. Signage shall not face adjacent residential.
 - f. And shall have a maximum 2 foot letter
 - i. Letters shall be individually backlit channelized letters with a maximum of 2 foot x 2 foot backlit logo shall be permitted.
 - k. Building materials, no plastic/vinyl fascia panels or awnings shall be permitted.
 - m. Any cell towers shall be architecturally integrated into building architecture.
10. Maximum 1,500 square feet for the café, bookstore, music as a combined use.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY **OCTOBER 6, 2000** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,

For Robert R. McCabe, AIA, APA
Planning Director

RM/MP/ac

OFFICIAL NOTICE OF DECISION

00000 01020/00128 00000 01021

SEPTEMBER 21, 2000

PAGE 4

cc: John Griego, 105 E. Marcy, Santa Fe, NM 87501
Imogene Jones, Laurelwood Neigh. Assoc., 1319 Duskfire Dr. NW, Albuquerque, NM 87120
Rich Sacoman, Laurelwood Neigh. Assoc., 7805 Bay Brook Rd. NW, Albuquerque, NM 87120
Curtis Brewer, Berger Briggs, PO Drawer K, Albuquerque, NM 87103

CITY OF ALBUQUERQUE AGENCY COMMENTS
PLANNING DEPARTMENT

Zoning Code Services

"Reviewed, no comment."

PUBLIC WORKS DEPARTMENT

Transportation Development Services:

No adverse comment on the proposed zone change request.

Conditions of approval for the site plan for subdivision should include:

- A) Construction of pavement, curbs, gutters, and 6 foot sidewalks (to be placed at the property line) on Glenrio Road and on 72nd Street.
- B) Vacation of 72nd Street as a public street right-of-way should be requested if public access is not required to from this site and the other adjacent properties.

The following comments must be addressed in the future site plan for building purposes:

Dimensions for all driveways, driving aisles, walkways, and parking spaces must be provided.

The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.

The sidewalk in front of the handicapped spaces must be flush with the parking surface. Wheel stops will be required.

Handicapped parking area and ramps must comply with ADA requirements.

Ramps at intersection must be designed for the appropriate direction of travel for the user, i.e., uni-directional or multi-directional.

Proposed circulation drives and internal parking areas must be paved as per DPM Standards.

The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.

Location of walls, fences and signs must meet the clear sight distance requirements.

Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.

Coordination with the Solid Waste Department with regard to refuse container location and access.

The parking lot layout must be modified to the satisfaction of the Traffic Engineer. Parking end islands must be meet DPM standards, i.e., 10 foot in width and with 15-foot corner radii.

Channelization will be required in proximity of the porte cochere.

Utility Development:

No comment on zone change. The submittal is identified as a conceptual site plan for subdivision. Will there be a separate / future EPC review of site plan for building permit? The plan shows conflicting information of building areas. Development will be contingent on off and on-site public infrastructure. A water and sewer availability statement must be requested and completed prior to DRB action. Financial guarantees will be required as a condition of approval.

ATTACHMENT

2-1

Traffic Engineering Operations:

This appears to be a good location for the facility and traffic control devices are in place.

Hydrology:

The Hydrology Section has no objection to the zone map amendment request. An approved grading and drainage plan is required for site plan sign-off by the City Engineer.

Transportation Planning:

FINDING:

C This property is located immediately east of the Laurelwood-Airport Road Location Study Corridor. As indicated on the Long Range Roadway System map, this corridor envisions a grade separation (overpass) at 76th Street/I-40. No actual corridor study has yet been undertaken, nor is one scheduled; hence, there is no firm plan to construct an overpass. If an overpass were actually to be constructed here, we suggest that a right-of-way taking from the applicant's property might involve 10-20 feet from the SW corner.

RECOMMENDATIONS:

C Although construction of an overpass presently seems a remote possibility, it would be appropriate for the applicant's development to be held away from the extreme SW corner of the property.

C The NM State Highway and Transportation Department should be asked to review this case, for drainage concerns, etc.

ENVIRONMENTAL HEALTH DEPARTMENT

Air Quality Division

"No Comment."

Environmental Services Division

NEIGHBORHOOD SERVICES

"Laurelwood (a recognized association) was notified. West Mesa Manor was also notified."

PARKS AND RECREATION

Design & Development

"No adverse comment."

OPEN SPACE DIVISION

"No adverse comment."

POLICE DEPARTMENT/Planning

Traffic volume

Lighting issues

Maintenance of landscaping

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division

“Approved on condition will have refuse enclosure location added to site plan at time of building permit. Must comply with all SWMD Ordinance and requirements. Call TL Baca 761-8142.”

FIRE DEPARTMENT/Planning

“Unpaved construction roads shall be capable to maintain the load of any emergency apparatus. All new fire hydrant(s) shall be installed and operating prior to this construction project. Our office upon permit stage will conduct its normal plan review for fire department access and structures.”

TRANSIT DEPARTMENT

***COMMENTS FROM OTHER AGENCIES:
BERNALILLO COUNTY***

ALBUQUERQUE METROPOLITAN FLOOD CONTROL AUTHORITY
“No objection. See City Hydrology comments.”

ALBUQUERQUE PUBLIC SCHOOLS

MIDDLE RIO GRANDE COUNCIL OF GOVERNMENTS
“No adverse comment.”

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION Supplemental form S

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN Supplemental form P

- ... for Subdivision Purposes
- ... for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

ZONING & PLANNING Supplemental form Z

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... A

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: FAMILY WORSHIP CENTER - JOHN GRIEGO, AGENT PHONE: _____
 ADDRESS: ELEN RD ROAD FAX: _____
 CITY: ALBU STATE NM ZIP _____ E-MAIL: _____

Proprietary interest in site: ARCHITECTS 438-0027

AGENT (if any): JOHN GRIEGO & GERALD CHAVEZ PHONE: 603-1794

ADDRESS: 2810 SILVER LN FAX: 438 0028-f

CITY: SANTA FE STATE NM ZIP 87501 E-MAIL: QUEPASANON@AIRTELSON

DESCRIPTION OF REQUEST: SITE PLAN FOR SUBDIV & SITE PLAN FOR BLDG PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LAND OF 226 P227 & 228 - 229 & 230 Block: _____ Unit: AIRPORT

Subdiv. / Addn. TOWN OF TRINIDAD GRANT - AIRPORT UNIT

Current Zoning: SU-1 CHURCH Proposed zoning: _____

Zone Atlas page(s): J-10 No. of existing lots: (1) No. of proposed lots: (1)

Total area of site (acres) .76 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No. _____ MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: GLEN RD & 72ND ST W / I-40 NORTH

Between: _____ and _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 7-03-03

(Print) John C. Griego Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING	03 EPC - 01111	SP AP	P1	\$ 385.-
<input checked="" type="checkbox"/> All checklists are complete				\$
<input checked="" type="checkbox"/> All fees have been collected				\$
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill		N/A		\$ 75.-
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				\$

Hearing date Aug 31 2003

[Signature] 7/3/03
Planner signature / date

Project # 1000694

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - ___ 1. Location and typical dimensions, including handicapped spaces
 - ___ 2. Calculations: spaces required: _____ provided: _____
Handicapped spaces required: _____ provided: _____
- B. Bicycle parking & facilities
 - ___ 1. Bicycle racks, spaces required: _____
provided: _____
 - ___ 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - ___ 1. Ingress and egress locations, including width and curve radii dimensions
 - ___ 2. Drive aisle locations, including width and curve radii dimensions
 - ___ 3. End aisle locations, including width and curve radii dimensions
 - ___ 4. Location & orientation of refuse enclosure, with dimensions
 - ___ 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - ___ 1. Location and dimensions of all sidewalks and pedestrian paths
 - ___ 2. Location and dimension of drive aisle crossings, including paving treatment
 - ___ 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - ___ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - ___ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - ___ 3. Location of traffic signs and signals related to the functioning of the proposal
 - ___ 4. Identify existing and proposed medians and median cuts
 - ___ 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - ___ 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

9/2/03

Mary Piscatelli

City of Albuquerque Planning Department
Development Review Section
Albuquerque, New Mexico 87110

Site Development Plan for Building Permit Deficiencies – Revised Submittal
EPC PROJECT No. 1000694, EPC CASE No. 03 EDC 01111

Thank you for your assistance with this revised submittal. The following items correspond to the comments and have been revised on the attached drawing sheets as noted:

Sheet 1 – C-1.2 MASTER PLAN WITH PHASE I

- I-40 RIGHT OF WAY
- PROPERTY LINE DESIGNATION
- PARKING CALCULATIONS / REQUIREMENTS
- CURB CUT DIMENSION @ GELNRIO ROAD
- SITE SIGN LOCATION & DIMENSIONS
- MAIN DRIVEWAY REVISED TO 40' WIDTH
- CURB RETURNS REVISED TO 25'
- RESIDENTIAL SITE DRIVE REVISED TO 30'
- PHASE I ANGULAR PARKING REVISED TO 90 DEGREE PARKING
- PHASE II ANGULAR PARKING REVISED TO 90 DEGREE

Sheet 2 – C-1.3 SITE DRAINAGE PLAN

- SITE GRADING NARRATIVE
- PARKING REVISED TO COMPORT WITH C-1.2

Sheet 3 – C-1.7 UTILITY PLAN - PHASE I

- SITE UTILITIES

Sheet 4 – C-5.2 PARKING DETAILS

- PARKING STALL DIMENSIONS, TYPICAL
- REFUSE ENCLOSURE, DIMENSIONS & ELEVATION

Sheet 5 – L-1 LANDSCAPE PLAN

- BAR SCALE & NORTH ARROW ADDED
- GROUND COVER MATERIAL DESCRIPTION
- LANDSCAPE PHASING DESCRIBED

RECEIVED SEP 04 2003

Sheet 6 – A-4.1.1 EXTERIOR ELEVATIONS

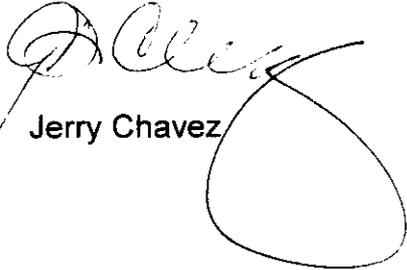
- DOORS DIMENSIONED
- MATERIALS AND COLORS NOTED

Sheet 7 – A-4.1.2 EXTERIOR ELEVATIONS

- DOORS DIMENSIONED
- MATERIALS AND COLORS NOTED

Please contact me if you have any further questions or concerns.

Sincerely,



Jerry Chavez

RECEIVED SEP 04 2003

PLANNING DEPARTMENT

P.O. Box 1293
Albuquerque, NM 87103
600 2nd St. NW
Albuquerque, NM 87102



Fax Transmittal Cover Sheet

To: JOHN GRIEGO / JERRY

Company: GRIEGO & ASSOC. LLC

Fax No: 505 438-0028

Telephone: ~~438~~ 989-9976

From: MARY PISCITELLI

Division: Administration Planning Department

Telephone: 505-924-3860

Total No. Of Pages (including Cover Page) _____

RECEIVED SEP 04 2003

COMMENTS: EPC SUBMITTAL DEFICIENCIES

AGENCY COMMENTS

FAX TRANSMITTAL

PAGE ___ of ___

City of Albuquerque Planning Department
 Development Review Division
 924-3860 / 924-3339 FAX

DATE: 8/8/03

rev: 6/2003 c:\share\epc\stuf\alteplan\NewFax.txt

TO: _____ FAX #: _____

FROM: Melinda Hill Contact Phone #: 924-3879RE: **Site Development Plan for Building Permit Deficiencies**

Project Description: _____

EPC Project #: 1000694 EPC Case #: 03EPC 0111

Upon review, our office has determined that there are deficiencies with your Site Development Plan for Building Permit, submitted for EPC approval. The extent and/or nature of these deficiencies:

Allow for provisional distribution to other agencies and City Departments; eleven (11) copies of a complete site plan that clearly addresses all Site Development Plan for Building Permit Checklist items must be submitted to the Planning Department (staff planner) by _____

Warrant rejection of this site plan submittal: Deficiencies prevent a complete and meaningful review of the plan(s). Consequently, this request will not be scheduled for the EPC hearing on _____; resubmittal of a complete site plan that addresses all Site Development Plan for Building Permit Checklist items is necessary to be scheduled for a future EPC hearing

DEFICIENCIES:

- Indicate Interstate to r.o.w.
- Clearly identify property lines
- Need elevation drawing of refuse container and enclosure
- Need parking calculations for autos and bicycles
- Need refuse enclosure dimensions
- Need curb cut dimensions - width at street edge
- ~~Need curb cut dimensions~~
- Provide utility plan for site.
- Provide bar scale and north arrow for landscape plan.
- Describe type of groundcover material
- Describe phasing of landscaping

RECEIVED SEP 04 2003

FAX TRANSMITTAL

City of Albuquerque Planning Department
Development Review Division
924-3860 / 924-3339 FAX

PAGE 2 of 2DATE: 8/8/03**DEFICIENCIES (cont.):**

- ~~Provide~~
- Provide narrative description on grading plan of existing site topography, proposed grading improvements and topography within 100 foot.
- Need dimensions of doors
- Need material and color information for the building exterior.
- Provide dimensions, materials, colors, for sign. Identify location of sign on the site plan.

RECEIVED SEP 04 2003

Consolidated Comments for EPC Agenda of September 18, 2003

03EPC - 01111 (J-10)

Glenrio / 72nd Area [8 acres] TIS - N

#1000694

Transportation Development:

- All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.
- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- Site shall comply and be designed per DPM Standards.
- Main driveway for phase 1 to be 36' - 40' in width.
- Provide 25' curb returns at site drives.
- Maximum width for site drive to residence to be 30'.
- Provide angle and typical dimensions of parking spaces. Parking lot layout/site circulation in phase I & II may need to be modified (i.e. drive aisle width, end aisles number of spaces, etc. depending on this info.).
- For phase 1 angled parking, north of fellowship hall and adjacent to the 24' drive aisle change angled parking to perpendicular parking.
- For phase two parking, adjacent to education center, provide parking that is perpendicular to building.
- Site plan on sheet C1.2 should match sheet C1.3 (i.e. parking lot layout).

Utility Development:

- Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development prior to site plan sign off at DRB. DRB sign off will be contingent on financial guarantees for required infrastructure, depending on the status of other pending actions, could include improvements in 72nd Street.

Traffic Engineering Operations:

- No comments.

Hydrology:

- No adverse comment on Site Plan for Building Permit.

Transportation Planning:*information*

- The applicant is advised that the New Mexico Department of Transportation (NMDOT) is preparing the alignment study and preliminary design for reconstruction of the Coors Boulevard and I-40 Interchange. A number of alignment alternatives are under consideration, including an option for a frontage road along the south side of interstate 40 between Unser Boulevard and Coors Boulevard. For more information, the applicant is encouraged to contact Mr. Tony Abbo (505 827-9852) the project manager for the NMDOT.

Comments continued on next page:

RECEIVED SEP 04 2003

Street Maintenance:

- No comments.

Water Resources, Water Utilities and Wastewater Utilities:

- No comments.

New Mexico State Highway and Transportation Department:

- No comments.

RECOMMENDED CONDITIONS FROM CITY ENGINEER and PUBLIC WORKS:

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- c. Site shall comply and be designed per DPM Standards.
- d. Main driveway for phase 1 to be 36' – 40' in width.
- e. Provide 25' curb returns at site drives.
- f. Maximum width for site drive to residence to be 30'.
- g. Provide angle and typical dimensions of parking spaces. Parking lot layout/site circulation in phase I & II may need to be modified (i.e. drive aisle width, end aisles number of spaces, etc. depending on this info.).
- h. For phase 1 angled parking, north of fellowship hall and adjacent to the 24' drive aisle change angled parking to perpendicular parking.
- i. For phase two parking, adjacent to education center, provide parking that is perpendicular to building.
- j. Site plan on sheet C1.2 should match sheet C1.3 (i.e. parking lot layout).
- k. Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development prior to site plan sign off at DRB.

RECEIVED SEP 04 2003

Family Worship Center

5200 Cliff N.W.

Albuquerque, New Mexico 87105

Telephone (505) 831-5365

Steve Ulibarri, Pastor



July 3, 2003

Attention: Joe McSorely
Regarding John Griego

To Whom It May Concern:

John Griego is the authorized agent for Family Worship Center.

Sincerely,

A handwritten signature in cursive script that reads "Steve Ulibarri".

Pastor Steve Ulibarri

This submittal is two fold, one, it is a submittal for Site Development Plan for Subdivision and secondly it is a submittal for Site Development Plan for Building Permit Plat .

Approved

7-03-03

2810 Siler Lane, Santa Fe, New Mexico
505 438-0027 fax 438-0028

July 03, 2003

Environmental Planning Commission (EPC)
City of Albuquerque
Via : Russel Brito, Planner
City of Albuquerque

Re: project summary

AGENT

GRIEGO&associates LLC

APPLICANT

FAMILY WORSHIP CENTER, John Griego agent

REQUESTS

~~ZONE MAP AMENDMENT (7.36 AC.) AND~~
APPROVAL OF A SITE DEVELOPMENT PLAN
FOR SUBDIVISION: BLDG PERMIT

LEGAL DESCRIPTION

SOUTHERLY PORTIONS OF
TRACTS 226, 227, 228, 229 AND 230
AIRPORT UNIT
TOWN OF ATRISCO
CITY OF ALBUQUERQUE
BERNALLILLO COUNTY, NEW MEXICO

LOCATION

GLENRIO RD. BETWEEN I-40 TO THE NORTH
COORS BLVD. TO THE EAST AND GLENRIO RD. TO THE
SOUTH.

SIZE

7.36 AC.

EXISTING ZONING

SU-1

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: FAMILY WORSHIP CENTER
JOHN GRIEGO Date of request: 7-10-03 Zone atlas page(s): SL-1

CURRENT: Zoning SL-1 FOR CHURCH & RELATED USES Legal Description - Lot or Tract # 226-230 Block # _____

Parcel Size (acres / sq.ft.) 7.36 AC Subdivision Name TOWN OF ATRISCO GRANT - AIRPORT UNIT

REQUESTED CITY ACTION(S):
Annexation [] Sector Plan [] Site Development Plan: Building Permit []
Comp. Plan [] Zone Change [] a) Subdivision [] Access Permit []
Amendment [] Conditional Use [] b) Build'g Purposes [] Other []
c) Amendment []

PROPOSED DEVELOPMENT: No construction / development [] # of units - _____
New Construction [] Building Size - 20,000 (sq. ft.) CLASSROOM & MULTI-PURPOSE CTR
Expansion of existing development []

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative John Griego Date 7-03-03
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [] BORDERLINE []

PLANNING DEPT. Dev./Bldg. Services Div. Transportation Dev. Sec. 2nd Fl. 600 2nd St. NW Plaza Del Sol Bldg. 924-3994

THRESHOLDS MET? YES [] NO [] Mitigating reasons for not requiring TIS: Previously studied: []
Notes:

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature] 7-3-03
TRAFFIC ENGINEER DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES [] NO [] BORDERLINE []

ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 768-2600

THRESHOLDS MET? YES [] NO [] Mitigating reasons for not requiring AQIA: Previously studied: []
Notes: PER SECTION 14-16-3-14 ZONE CODE

IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

[Signature] 7-3-03
ENVIRONMENTAL HEALTH DATE

Required TIS and / or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS - SUBMITTED ___/___/___ TRAFFIC ENGINEER DATE
- FINALIZED ___/___/___
AQIA - SUBMITTED ___/___/___ ENVIRONMENTAL HEALTH DATE
- FINALIZED ___/___/___

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: July 3, 2003

TO CONTACT NAME: John Griego
COMPANY/AGENCY: Griego & Associates LLC
ADDRESS/ZIP: 2810 Silver Lane Santa Fe NM 87505
PHONE/FAX #: 505-438-0027 / 505-438-0028

Thank you for your inquiry of 7-3-03 (date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Down of Arisco Grant, City of Albuquerque, Southerly portions of tracts 226, 227, 228, 229 and 230. zone map page(s) 5-10

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Los Volcanes
Neighborhood Association
Contacts: Sally Breeden
6503 Honeylocust Ave NW
352-0159 (h) 262-7361 (w) 87121
Ben Sandoval
6516 Honeylocust A. NW
836-4419 (h) 87121

Laurelwood
Neighborhood Association
Contacts: Steve Tardy
7424 Lynwood Dr NW
323-7771 (h) 87120
Nancy Treviso
7812 Sherwood Dr NW
831-6132 (h) 87120

See reverse side for additional Neighborhood Association Information: YES { } NO

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dulaine S. Carmona
OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.

RECEIVED SEP 04 2003

- NOTES:**
1. SEE PARKING LOT DETAILS ON SHEET C-3.2
 2. "C" DENOTES A PARKING SPOT DESIGNED FOR COMPACT CARS.

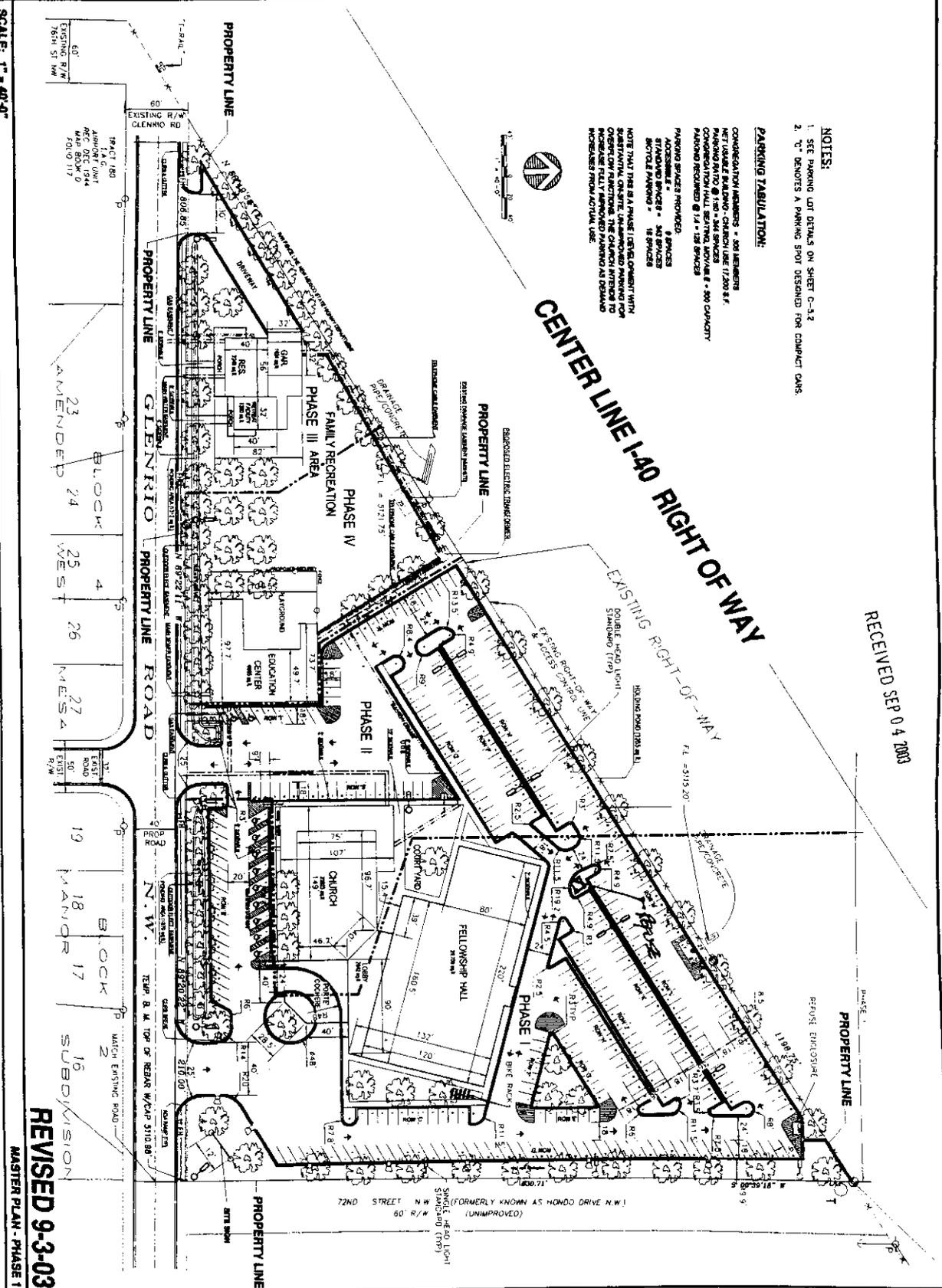
PARKING TABULATION:

CONGREGATION MEMBERS = 200 MEMBERS
 NET LEASE BUILDING CHURCH USE 17,200 S.F.
 PARKING RATIO @ 1:80 = 244 SPACES
 CONGREGATION HALL SEATING AVAILABLE = 500 CAPACITY
 PARKING REQUIRED @ 1:1 = 125 SPACES

PARKING SPACES PROVIDED:
 ACCESSIBLE = 8 SPACES
 STANDARD SPACES = 30 SPACES
 SPECIAL PARKING = 18 SPACES



CENTER LINE I-40 RIGHT OF WAY



SCALE: 1" = 40'-0"

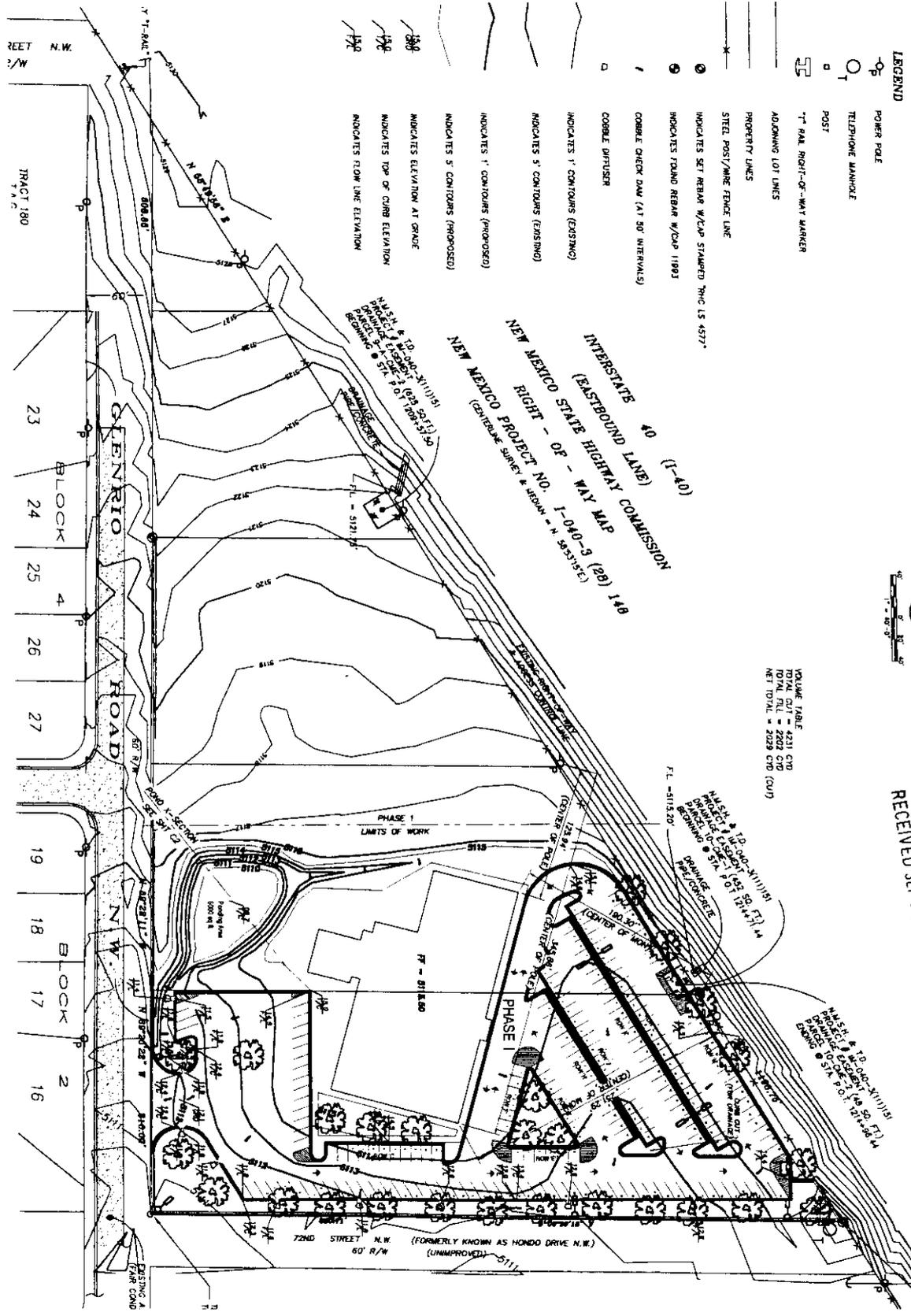
REVISED 9-3-03
 MASTER PLAN - PHASE I

PROJECT TITLE	MASTER SITE PLAN PHASE I
SCALE	1" = 40'-0"
SHEET NO.	C12
TOTAL SHEETS	7
DATE	08-17-03
DESIGNED BY	WR
CHECKED BY	JC

**FAMILY WORSHIP CENTER
 FELLOWSHIP HALL & CLASSROOMS**
 7311 GLENRIO RD.
 ALBUQUERQUE, NEW MEXICO

GRIEGO
 ARCHITECTURAL
 FIRM
 1000 1/2 N. 10TH ST.
 ALBUQUERQUE, NM 87102
 TEL: 505-263-0000
 FAX: 505-263-0009
 WWW.GRIEGO.COM

SCALE 1" = 40'-0"



- LEGEND**
- POWER POLE
 - TELEPHONE MANHOLE
 - POST
 - 1" RAIL RIGHT-OF-WAY MARKER
 - ADJOINING LOT LINES
 - PROPERTY LINES
 - STEEL POST/WIRE FENCE LINE
 - INDICATES SET REBAR W/ CAP STAMPED "MC 15 4577"
 - INDICATES FOUND REBAR W/ CAP 11993
 - COBBLE CHECK DAM (AT 50' INTERVALS)
 - COBBLE DIFFUSER
 - INDICATES 1' CONTOURS (EXISTING)
 - INDICATES 5' CONTOURS (EXISTING)
 - INDICATES 1' CONTOURS (PROPOSED)
 - INDICATES 5' CONTOURS (PROPOSED)
 - INDICATES ELEVATION AT GRADE
 - INDICATES TOP OF CURB ELEVATION
 - INDICATES FLOW LINE ELEVATION

VOLUME TABLE
 TOTAL CUT = 4231 CUB
 TOTAL FILL = 2202 CUB
 NET TOTAL = 2029 CUB (CUT)

RECEIVED SEP 04 2003

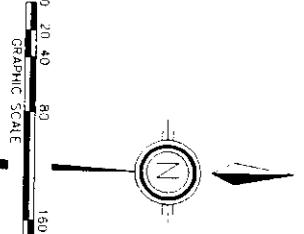
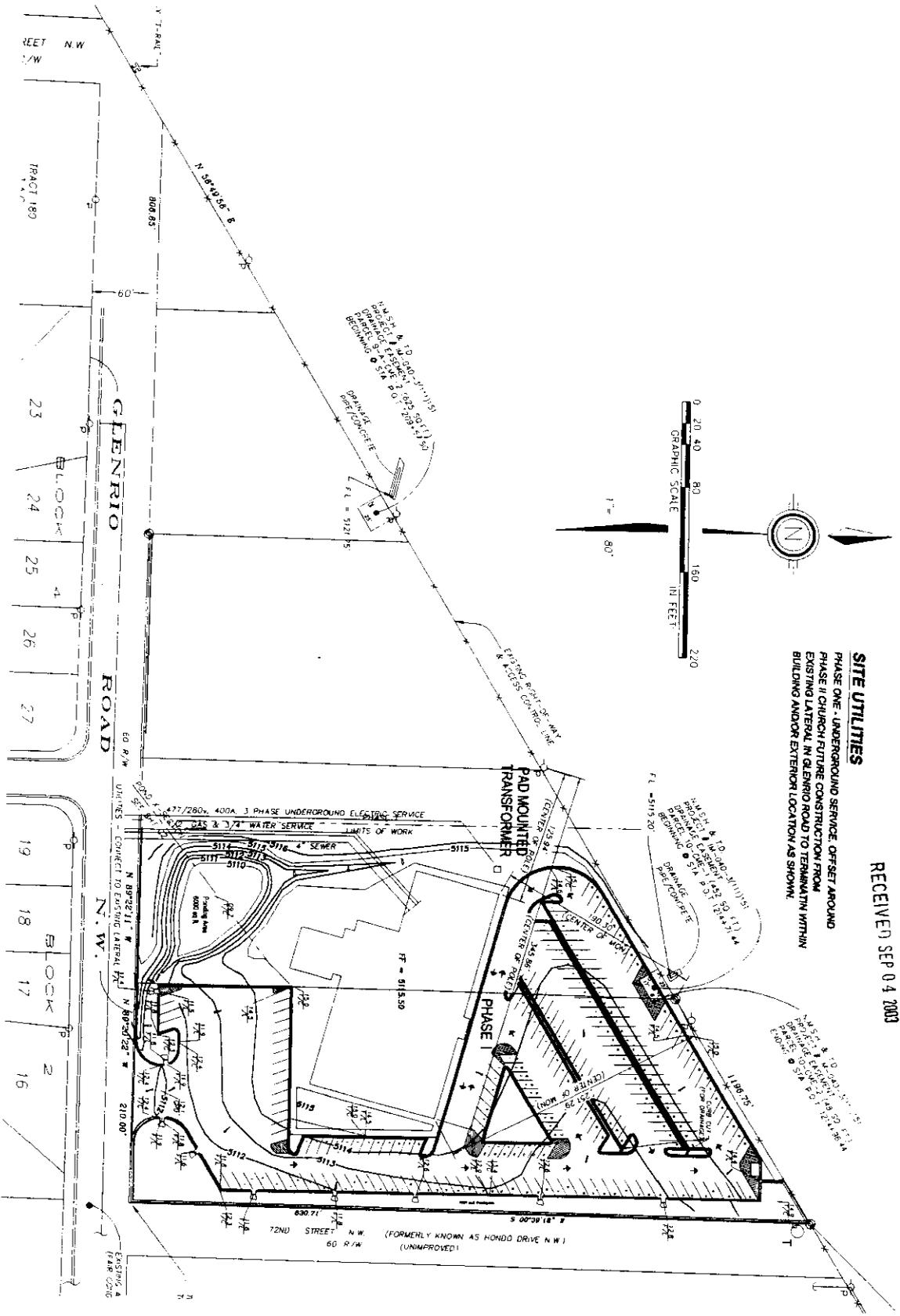
REVISED 9-3-03
 SITE DRAINAGE PLAN

DATE	BY	CHKD
08-12-03	JG	JG
SHEET TITLE DRAINAGE PLAN SCALE 1" = 40'-0" 2 OF 7 C1.3 WR JG		

**FAMILY WORSHIP CENTER
 FELLOWSHIP HALL & CLASSROOMS**
 7311 GLENRIO RD.
 ALBUQUERQUE, NEW MEXICO

GRIEGO
 & Associates LLC
 ENGINEERING
 ARCHITECTURE
 7114 ALBU RD. N.E.
 ALBUQUERQUE, NM 87131
 TEL: 505-261-8800
 FAX: 505-261-8808
 www.griego.com

SCALE 1" = 40'-0"



SITE UTILITIES
 PHASE ONE - UNDERGROUND SERVICE OFFSET AROUND
 PHASE II CHURCH FUTURE CONSTRUCTION FROM
 EXISTING LATERAL IN GLENRIO ROAD TO TERMINATE WITHIN
 BUILDING AND/OR EXTERIOR LOCATION AS SHOWN

RECEIVED SEP 04 2003

REVISED 9-3-03
 SITE UTILITY PLAN

**FAMILY WORSHIP CENTER
 FELLOWSHIP HALL & CLASSROOMS**
 7311 GLENRIO RD.
 ALBUQUERQUE, NEW MEXICO

GRIEGO
 ARCHITECTURE
 4810 24TH ST. NE
 ALBUQUERQUE, NM 87110
 TEL: 505/261-1111
 FAX: 505/261-1112
 WWW.GRIEGOARCH.COM

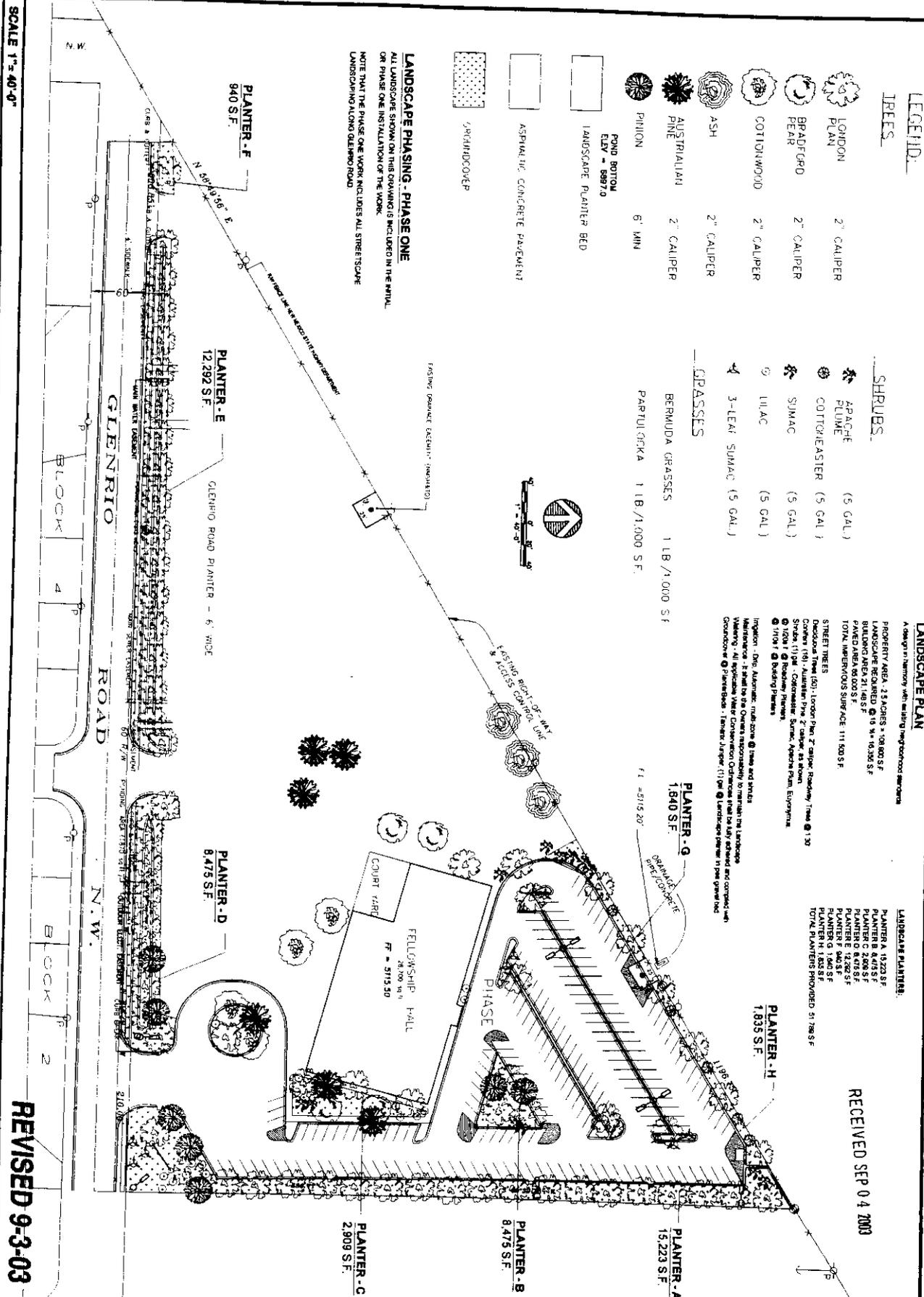
DATE	11-10	BY	MS
SCALE	1" = 40'-0"		
SHEET TITLE	SITE UTILITY PLAN		
NO.	3	OF	7
PROJECT	C1.7		

LEGEND

TREES	SHRUBS	GRASSES
LONDON PLAN	APACHE PLUME (5 GAL.)	BERMUDA GRASSES 1 LB / 1,000 SF
BRADFORD PEAR	COTTONWOOD (5 GAL.)	PARTULA GRASS 1 LB / 1,000 SF
COTTONWOOD	LILAC (5 GAL.)	
ASH	3-LEAF SUMAC (5 GAL.)	
AUSTRALIAN PINE		
PINON		
POND BOTTOM ELEV. = 8997.0		
LANDSCAPE PLANTER BED		
ASPHALTIC CONCRETE PAVEMENT		
GRASSHOCKEY		

LANDSCAPE PHASING - PHASE ONE

ALL LANDSCAPE SHOWN ON THIS DRAWING IS INCLUDED IN THE INITIAL OR PHASE ONE INSTALLATION OF THE WORK.
NOTE THAT THE PHASE ONE WORK INCLUDES ALL STREETSCAPE LANDSCAPING ALONG GLENRIO ROAD.



LANDSCAPE PLAN

A design in memory with existing landscape elements

PROPERTY AREA - 23 ACRES = 1,018,000 SF
 LANDSCAPE REQUIRED @ 18" W. = 16,328 SF
 BUILDING AREA 21,148 SF
 PAVED AREA 60,000 SF
 TOTAL LANDSCAPE SURFACE 111,800 SF

STREET TREES
 Deciduous Tree (50') - London Plan, 2" caliper, Roundtop, 1 tree @ 130
 Deciduous Tree (18') - Australian Pine, 2" caliper, as shown
 Shrubs (1) gal - Cotoneaster, Sumac, Alberta Plum, Euonymus
 1" @ 1200' @ Redwood, Privet
 1" @ 1200' @ Redwood, Privet

IMPLICATIONS - This landscape installation @ 18" W. and Street
 Maintenance is to be by the Owner, responsibility for the landscape
 Maintenance - All applicable Water Conservation Ordinances shall apply and comply with
 Groundcover @ Planters/Bed - 1" @ 1000' @ Landscape fabric 1" @ 1000' @ 1" @ 1000'

LANDSCAPE PLANTERS:

PLANTER A 15,223 SF
 PLANTER B 8,475 SF
 PLANTER C 2,809 SF
 PLANTER D 8,475 SF
 PLANTER E 12,292 SF
 PLANTER F 940 SF
 PLANTER G 1,840 SF
 PLANTER H 1,835 SF
 TOTAL PLANTERS PROVIDED: 51,796 SF

RECEIVED SEP 04 2003

FOR REVIEW ONLY

**FAMILY WORSHIP CENTER
 CHURCH IMPROVEMENTS**

GLEN RIO RD.
 ALBUQUERQUE, NEW MEXICO

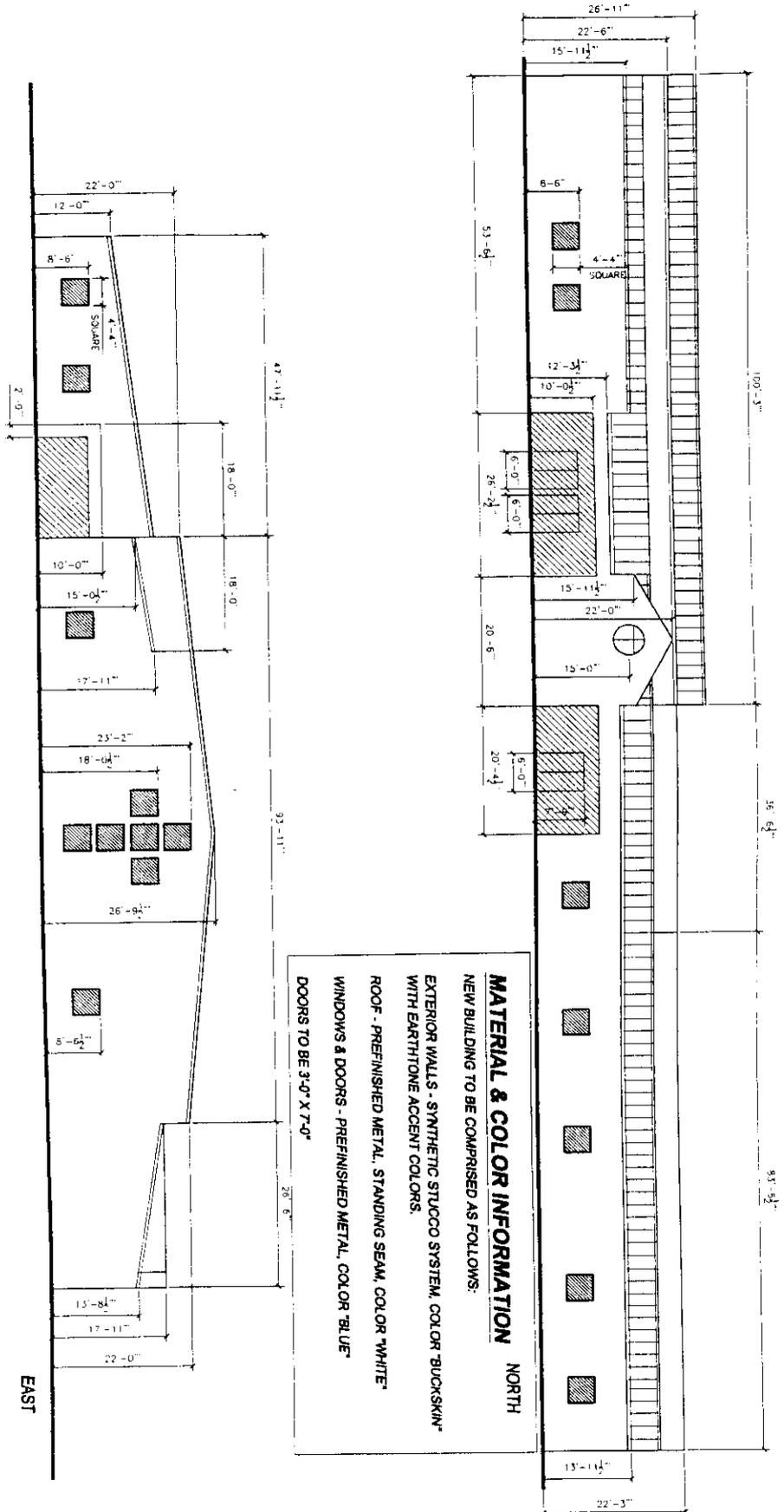
GRIEGO & ASSOCIATES, LLC
 ENGINEERING ARCHITECTURE
 2801 18TH AVENUE, N.W.
 ALBUQUERQUE, NM 87104
 505-261-0000
 505-261-0001

REVISED 9-3-03

LANDSCAPE PLAN

DWG. NO. 5 of 7
 DATE: 7-3-02
 DRAWN BY: JG

SCALE: 1/8" = 1'-0"



MATERIAL & COLOR INFORMATION

NEW BUILDING TO BE COMPRISED AS FOLLOWS:

EXTERIOR WALLS - SYNTHETIC STUCCO SYSTEM, COLOR "BUCKSKIN" WITH EARTHTONE ACCENT COLORS.

ROOF - PREFINISHED METAL, STANDING SEAM, COLOR "WHITE"

WINDOWS & DOORS - PREFINISHED METAL, COLOR "BLUE"

DOORS TO BE 3'-0" X 7'-0"

REVISED 9-3-03

EXTERIOR ELEVATIONS

DATE	2-11-03	SCALE	1/8" = 1'-0"
NO. OF SHEETS	6	OF	7
A4.1.1			
FAMILY WORSHIP CENTER EXTERIOR ELEVATIONS			

**FAMILY WORSHIP CENTER
FELLOWSHIP HALL & CLASSROOMS**

7311 GLENRIO RD.
ALBUQUERQUE, NEW MEXICO

RECEIVED SEP 04 2003

ARCHITECT
ALBUQUERQUE
& ASSOCIATES LTD

7311 GLENRIO RD.
ALBUQUERQUE, NM 87109
TEL: 505-263-2022
FAX: 505-263-2024
www.pwacdesign.com

5. Project # 1000694 *
03EPC-01111 EPC Site Development
Plan-Building Permit

JOHN GRIEGO agent for FAMILY WORSHIP CENTER request the above action for all or a portion of Lot 226, 227 228, 229 and 230 **Town of Atrisco Grant -Airport Unit**, zoned SU-1 Church, located on GLENRIO NW, between 72ND ST. NW and I-40, containing approximately 8 acre(s). (J-10) Mary Piscitelli, Staff Planner **(APPROVED WITH CONDITIONS)**

STAFF PRESENT:

Mary Piscitelli, Planning Department

PERSON PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:

Gerald Chavez, 2810 Siler Ln. Santa Fe, NM

THERE WAS NO ONE PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:

MS. PISCITELLI: Reiterated comments made in the staff report in which approval was recommend for the site plan.

FINAL ACTION TAKEN

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to approve Project 1000694/ 03EPC-01111, a request for a site development plan for building permit for Phase One development for Tracts 226-230, Town of Atrisco Grant, Airport Unit, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This application is a request for a site development plan for building permit for Phase One development for Tracts 226-230, Town of Atrisco Grant, Airport Unit. The site is 7.361 acres. The application is for approval of the site plan for Phase One development of the Fellowship Hall.
2. The SU-1 Zone was approved in 2000 for Church with Signage Restrictions and Related Uses limited to: Fellowship Hall, Education Center, Bookstore, Music, Café, and Multipurpose Room and Residence.

3. This project had a site plan for subdivision approved by the EPC in 2000. The agent brought forward the site development plan for subdivision for final sign off by the DRB in March 2003. However, sign off was never achieved. Staff has subsequently advised the applicant that a site plan for subdivision is unnecessary since no subdivision actions are anticipated. Approval of a site development plan for building permit will satisfactorily address the development issues.
4. The site development plan for building permit furthers the *Comprehensive Plan* goals and policies for the Established Urban Area by conforming to the applicable policies a, d, k, and l. The *Comprehensive Plan* allows a church to be located on this site, for a fuller range of urban land uses in this area. The design of the building respects neighborhood values in that it is not obtrusively large or tall, and will not be visually obtrusive to the residential areas nearby. The livability of the surrounding neighborhoods is protected through enough established off-street parking for the church and permissive uses. Quality and innovation is encouraged in new development with design appropriate to the plan area. This building and site design is appropriate to the size and scale of the neighborhood.
5. This request furthers the applicable policy 3.31 of the *West Side Strategic Plan*, demonstrating that it is appropriate for a church and related facilities as a non-residential development should occur in the Atrisco Business Park community.
6. Errors have been found on the site development plan for building permit, the drainage plan, the utilities plan, and the landscape plan. The elevations are not in agreement with the building footprint for the Fellowship Hall. These errors can be corrected with minor modifications to the site plan. All errors will need to be rectified before final approval by the DRB.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals. EPC delegates final sign off authority to the DRB.
2. The replatting of the site shall occur concurrently with the final sign off of the site development for building permit by the DRB.

3. The site plan shall be corrected for parking, drive aisles, landscape elements, and building footprint. All plans (site utilities, grading and drainage, landscape, etc.) shall be consistent with the approved site plan.
4. All design aspects of the site shall comply with the design guidelines contained in the site development plan for building permit plan set.
5. The landscape plan shall be corrected to show selected concrete surface treatment and groundcover materials (living and non-living), both on the plan and in the legend. Vines shall be used at the chain link fencing at the perimeter of the site.
6. As per the City Engineer Comments:
Conditions of approval for the proposed Site Development Plan for Building Permit shall include:
 - a. **All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.**
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
 - c. Site shall comply and be designed per DPM Standards.
 - d. The entire parking lot will need to be constructed in phase 1 for correct circulation. If not, the main drive aisle for phase 1 will need to be modified for two-way circulation or an additional egress will need to be provided for one-way circulation (see Traffic Engineer).
 - e. Phase 1 driveway to be 36' – 40' in width (two-way traffic) or 20' – 24' (one-way traffic).
 - f. Provide 25' curb returns at site drives.
 - g. Maximum width for site drive to residence to be 30'.
 - h. Provide angle and typical dimensions of parking spaces. Parking lot layout/site circulation in phase II & I may need to be modified (i.e. drive aisle width, end aisles number of spaces, etc. depending on this info.).
 - i. For phase 1 angled parking, north of fellowship hall and adjacent to the 24' drive aisle, change angled parking to perpendicular parking.
 - j. For phase two parking, adjacent to education center, provide parking that is perpendicular to building.
 - k. Site plan on sheet C1.2 should match sheet C1.3 (i.e. parking lot layout).
 - l. Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development before site plan sign off at DRB.
7. As per Solid Waste Management Department Comments: Approved on condition, will coordinate with SWMD on enclosure requirements and ordinances.

8. As per the Fire Marshall's Office:
New Construction will be reviewed through the normal City of Albuquerque Plan Review Process. Items to be reviewed by AFT will be but not limited to, fire department access and fire hydrant locations, fire alarm systems, sprinkler systems, as well as accessible fire department connections. New additions will require a fire flow statement before DRB.

MOVED BY COMMISSIONER STEELE
SECONDED BY COMMISSIONER CHAVEZ

MOTION PASSED UNANIMOUSLY

6. Project # 1002371 *
03EPC-01285 Zone Map Amendment

TIERRA WEST LLC, agent for HOFFMANTOWN CHURCH WEST, request the above action for all or a portion of Tract(s) 1A,1B & 1C, Block 15, Alban Hills, Unit 1 and Tract A, Access EasementBosque Meadows, a zone map amendment from SU-1 for R-2 to SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN, containing approximately 17 acre(s). (D-12) Simon Shima, Staff Planner **(CONTINUED TO OCTOBER 16, 2003)**

STAFF PRESENT:

Simon Shima, Planning Department

PERSON PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:

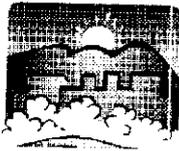
Ron Bohanann, 8509 Jefferson NE
John Myers, 1401 Central Ave. NW

THERE WAS NO ONE PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:

MR. SHIMA: Reiterated comments made in the staff report in which approval was recommended.

FINAL ACTION TAKEN

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to continue Project 1002371/ 03EPC-01285 Zone Map Amendment to the Environmental Planning Commission Public Hearing on October 16, 2003 at the request of the agent.



Staff Report

Agent	John Griego
Applicant	Family Worship Center
Request(s)	Site Development Plan for Building Permit
Legal Description	Tracts 226-230, Lands of the Town of Atrisco Grant – Airport Unit
Location	Glenrio Road and 72 nd Street
Size	Approximately 7.6 acres
Existing Zoning	SU-1 for Church and Related Uses
Proposed Zoning	No Change

Staff Recommendation

APPROVAL of 03EPC-01111, based on the findings on page 8, and subject to the conditions of approval beginning on page 9.

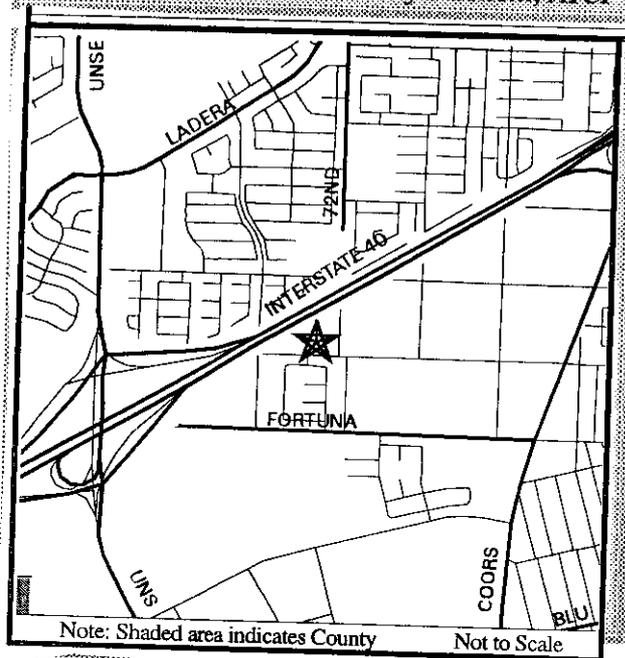
Staff Planner

Mary Piscitelli, AICP

Summary of Analysis

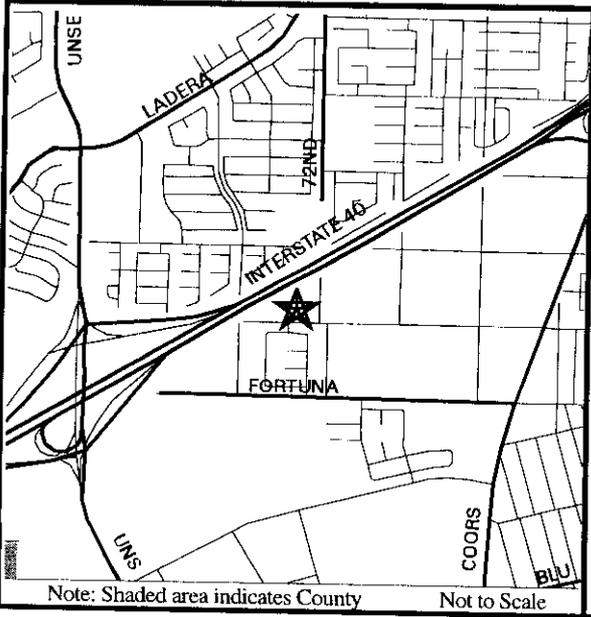
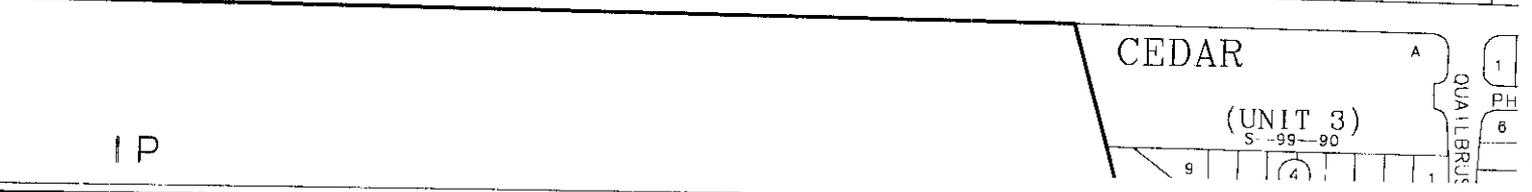
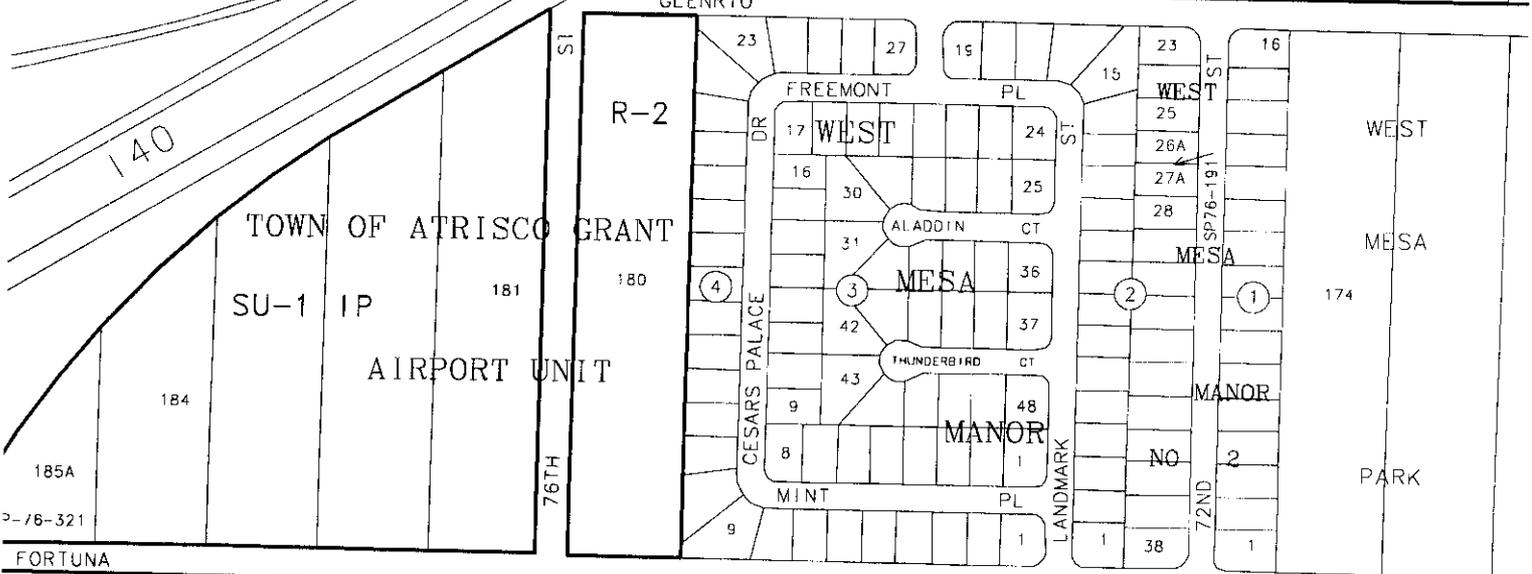
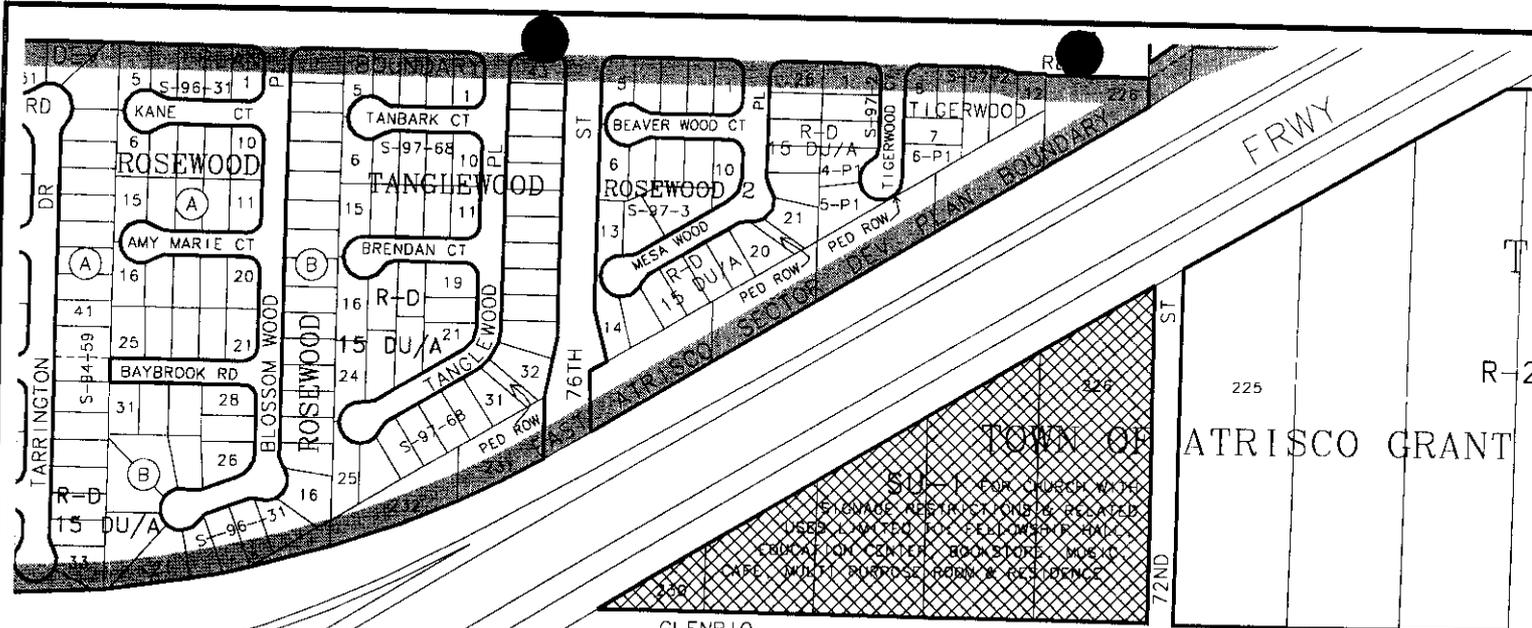
This is a request for a site development plan for building permit for this vacant parcel. In 2000, the EPC approved a zone map amendment and a site development plan for subdivision. The site development plan for subdivision was never finalized by the DRB. However, staff has determined that a site plan for building permit will be adequate to address all issues since there is no plan to subdivide the property.

Although the submitted site plan shows the full build-out of the site, the current request before the EPC is for Phase One, the development of the site for the Fellowship Hall. Staff recommends approval of this request, as the requirements for the site development plan for building permit have been met. Conditions have been recommended.



Note: Shaded area indicates County Not to Scale

City Departments and other interested agencies reviewed this application from 8/11/03 – 8/22/03. Agency comments were used in the preparation of this report, and begin on page 12.



ZONING MAP



Scale 1" = 365'

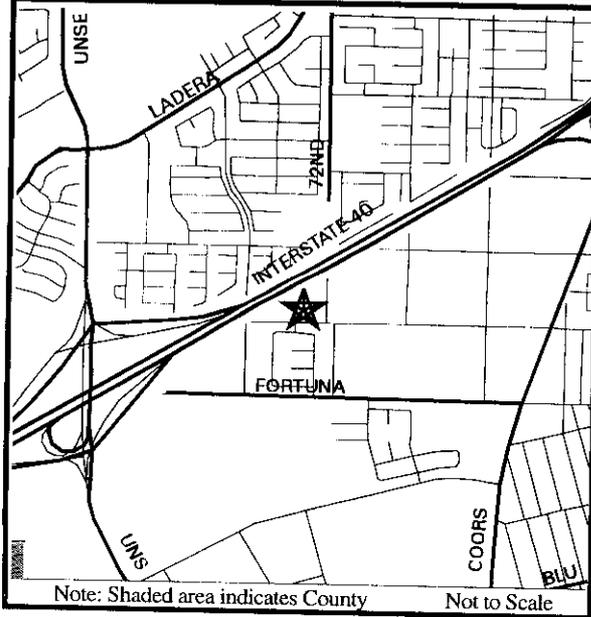
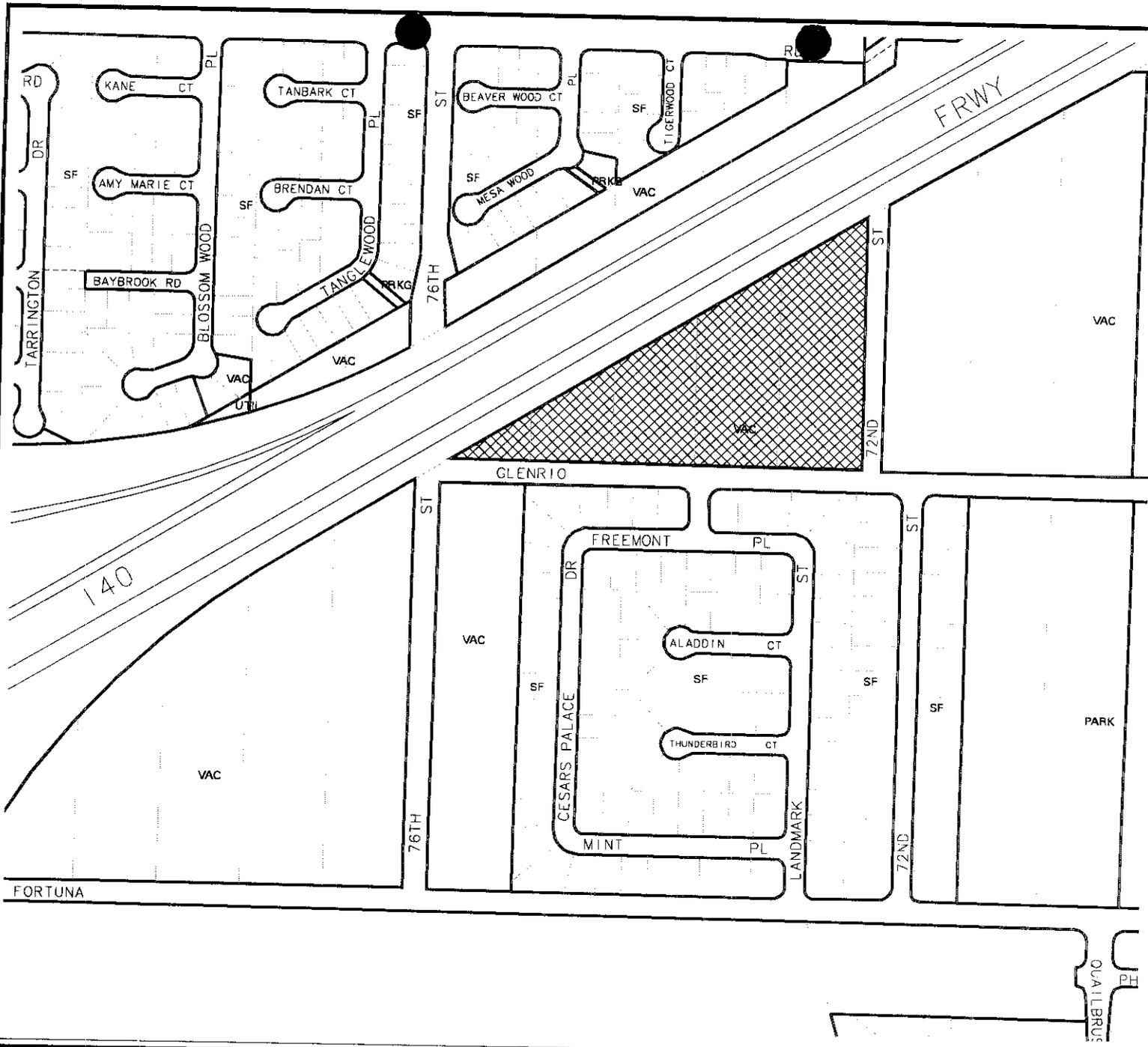
PROJECT NO.
1000694

HEARING DATE
08-21-03

MAP NO.
J-10

ADDITIONAL CASE NUMBER(S)
03EPC-01111

Note: Shaded area indicates County Not to Scale



LAND USE MAP

KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial -Retail, Service, Wholesale
- DRNG Drainage
- EDUC Public or Private School
- GOLF Golf Course
- MED Medical Office or Facility
- MFG Manufacturing or Mining
- MH Mobile Home
- MULT Multi-Family or Group Home
- OFF Office
- ORG Social or Civic Organization
- PARK Park, Recreation or Open Space
- PRKG Parking
- PUBF Public Facility
- RELG Religious Facility
- SF Single Family
- TRAN Transportation Facility
- UTIL Utility
- VAC Vacant Land or Abandoned Bldgs
- WH Warehousing & Storage



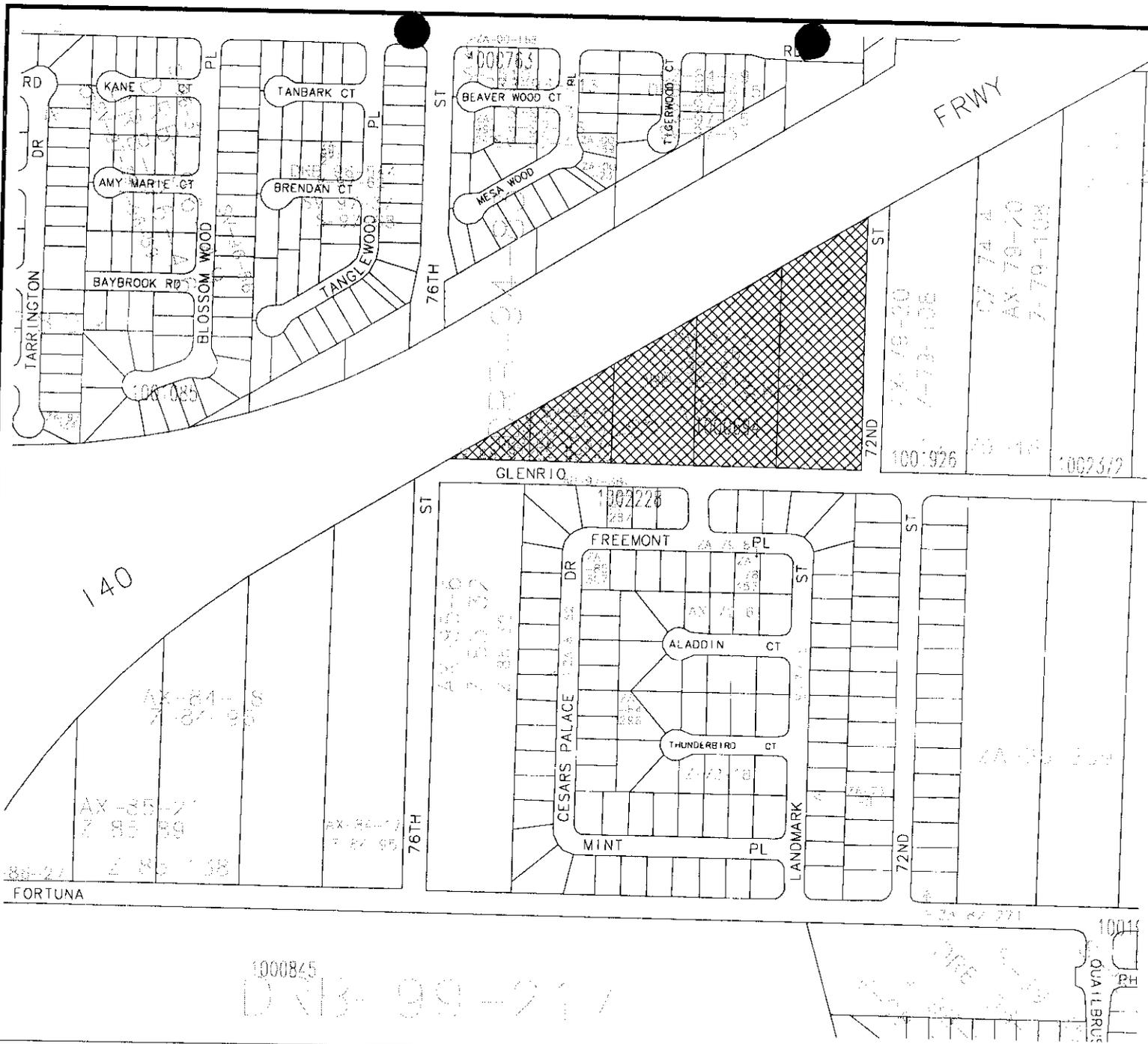
Scale 1" = 365'

PROJECT NO.
1000694

HEARING DATE
08-21-03

MAP NO.
J-10

ADDITIONAL CASE NUMBER(S)
03EPC-01111



HISTORY MAP



Scale 1" = 365'

PROJECT NO.
1000694

HEARING DATE
08-21-03

MAP NO.
J-10

ADDITIONAL CASE NUMBER(S)
03EPC-0111

Note: Shaded area indicates County Not to Scale

Development Services Report

SUMMARY OF REQUEST

Request	<i>Site Development Plan for Building Permit</i>
Location	<i>Glenrio Road and 72nd Street</i>

AREA CHARACTERISTICS AND ZONING HISTORY

Surrounding zoning, plan designations, and land uses:

	<i>Zoning</i>	<i>Comprehensive Plan Area; Applicable Rank II & III Plans</i>	<i>Land Use</i>
Site	SU-1 for Church and Related Uses	<i>Comprehensive Plan, West Side Strategic Plan</i>	Vacant
North	Immediately north: I-40; north of I-40: RD (15 du/ac)	<i>Comprehensive Plan, West Side Strategic Plan E. Atrisco Sector Development Plan (n. of I-40)</i>	Highway, medium density residential
South	R-1	<i>Comprehensive Plan, West Side Strategic Plan</i>	Residential
East	Adjacent: 72 nd Street, east of 72 nd Street: R-2	<i>Comprehensive Plan, West Side Strategic Plan</i>	Residential (undeveloped)
West	Immediately west: I-40, southwest of I-40: R-2	<i>Comprehensive Plan, West Side Strategic Plan</i>	Residential (undeveloped)

Background, History and Context

This application is a request for a site development plan for building permit for Phase One development for Tracts 226-230, Town of Atrisco Grant, Airport Unit. There are five lots approved for consolidation on the subject site, consisting of 7.361 acres. The SU-1 Zone was approved in 2000 for Church with Signage Restrictions and Related Uses limited to: Fellowship Hall, Education Center, Bookstore, Music, Café, and Multipurpose Room and Residence. The request for the Phase One development is for the Fellowship Hall.

The subject site is bounded on the north and west by I-40, on the east by 72nd Street (unimproved), on the south by Glenrio Road, and intersecting with 76th Street at the southwest corner. The subject site is triangular. North of I-40 is Rosewood, a 15 du/acre development. South of the subject site is West Mesa Manor, an R-1 subdivision. To the east is R-2 zoning on subdivided but undeveloped land. South and west of the site is subdivided land zoned R-2.

This site was annexed as part of the Northwest Area Plan annexation in 1985 (Z-85-138-8A-2). In 1985, the subject site was annexed as a portion of Annexation 8A of that annexation plan with West Mesa Manor. West Mesa Manor was developed as R-1; the subject site was not developed under the R-2 zoning. The zone map amendment to SU-1 in 2000 was for building this church with its related facilities (00110-00000-01020/00121).

A brief synopsis of the approval history since 2000 is warranted. The recommended vacation of 72nd Street was approved by the DRB in 2002. The applicant was not interested in purchasing the vacated land, but performed the vacation as a benefit to the property owner to the east, whom, at that time, wished to purchase the vacated right-of-way. That property owner never completed the purchase of the vacated right-of-way, and on May 22, 2003, the vacation expired.

The agent brought forward the site development plan for subdivision for final signoff at the DRB in March 2003. However, sign off was never achieved. Staff has subsequently advised the applicant that a site plan for subdivision is unnecessary since no subdivision actions are anticipated. Approval of a site plan for building permit will satisfactorily address the development issued.

Many transportation utility improvements are noted in the agency comments for the development of this site. The vacation action will be necessary, or otherwise financial guarantees for improvements to Glenrio and 72nd Street will be necessary before final sign off.

APPLICABLE PLANS AND POLICIES

Albuquerque / Bernalillo County Comprehensive Plan

The subject site is located in the area designated Established Urban Area of the Comprehensive Plan, which has a goal to "create a quality urban environment which perpetuates the tradition of identifiable, individual, but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment."

Applicable policies include:

Policy a: The Established and Developing Urban Areas... shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

Policy d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

Policy k: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

Policy l: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

West Side Strategic Plan (Rank II Area Plan)

The *West Side Strategic Plan* was first adopted in 1997. The Plan generally encompasses properties west of the Rio Grande; specific boundaries are shown on page 2 in the Plan. It sets forth goals and policies regarding land use. The specific area in which the subject site is located is the Atrisco Business Park. Policies for that area include:

Policy 3.31 It is appropriate for new development, both residential and non-residential, to occur in this Community. Redevelopment efforts associated with the existing five-acre tracts in this area shall be initiated.

Resolution 91-1998 (R-70)

This Resolution establishes an overall direction for implementation of the City's growth policies, with a framework emphasizing:

- development of community and regional activity centers and major transportation corridors (high capacity corridors); encourage increased densities and mixed uses in activity centers and corridors; meet the needs of residents closer to their homes or employment to decrease Vehicle Miles Traveled and automobile dependence.
- maintenance, enhancements and upgrades of roads and utilities in the core area, to prevent deterioration of existing communities and to encourage infill; diversify the Downtown land use mix with public facilities, hotels, office and retail development, more and higher density housing; generate more activity and attract more private investment in the Downtown area.
- enhance transit system performance, consistent with the principles of a compact urban form and a network of centers and corridors; improve the viability of transit as an alternative to the single-occupancy vehicle and reduce Vehicle Miles Traveled; improve pedestrian mobility and the character of the pedestrian environment, transit orientation and bicycle connections, within centers and corridors.
- plan the timing of road and utility construction to ensure orderly growth, and coordinate capacity increases and street extensions; transportation improvement programs must recognize the significance of natural, historic, and cultural resources and include strategies for minimizing adverse impacts on them.

Long Range Roadway System

The Long Range Roadway System designates Glenrio Road as a Major Local street, with a right-of-way of 56-60'.

The Long Range Roadway System designates 72nd Street as a local street, with a right-of-way of 56-60'.

ANALYSIS

Conformance to Adopted Plans, Policies, and Ordinances

This request for site development plan for building permit is in conformance with the adopted policies of the *Comprehensive Plan*, that require that quality and innovation in design shall be encouraged which is appropriate to the plan area.

This request is in conformance with the *West Side Strategic Plan* policy for the Atrisco Business Park Community, which allows for residential and non-residential development and redevelopment in this community area. Since this site has never been developed, developing the site for a neighborhood use, as a church and facilities, is an appropriate development. Additionally, the site will contain a playground area, that, according to the previous application in 2000, the church will allow neighborhood use.

Site Plan Layout / Configuration

The packet includes a revised site plan (11 X 17 size sheets) plus the original submittal from 8/3/03. Both plan sets are submitted for EPC review, since certain sheets in the 8/3/03 submittal were found to have discrepancies and were subsequently revised by the agent. The site plan, drainage plan, utility plan, parking details, landscape plan, and exterior elevations were revised based on the initial staff review for completeness. Other sheets in the original 8/3/03 submittal were not revised.

The revised site plan shows the site at full build out, which is in four phases. The subject request is for Phase One development, for the easternmost portion of the site, containing the Fellowship Hall. Because this is a phased development, Phase One needs to be developed in a manner that meets all requirements, such as parking and drainage. Phase One cannot depend on a future phase of development to meet requirements for Phase One.

The site plan for the Fellowship Hall shows the building placed in the center of the site with parking on three sides, and the church (Phase Two) connected on the southwest of the Fellowship Hall. The lobby, connecting the buildings, will be built as part of Phase One and the church connected when Phase Two is developed.

The revised site plan has a different footprint for the Fellowship Hall than what is shown on the drainage plan, site utility plan, and landscape plan. The drainage plan, utilities plan, and landscape plan will need to be consistent with the site plan for building permit upon approval.

Vehicular Access, Circulation, and Parking

The revised site plan, revised drainage plan, revised site utility plan, revised landscape plan and the original site plan, original site lighting plan, and original landscape plan have different parking configurations. The deficiencies in the plans were identified during the preliminary staff review on 8/8/03. No revisions were submitted. After the Pre-Hearing Discussion, staff submitted the agency comments and resubmitted the deficiencies list to the agent. It seems they never received the deficiencies list. The site plan was then revised to include the noted deficiencies and incorporated the agency comments. An attempt was made to revise the site plan

according to the comments from Transportation Development regarding the parking spaces dimensions and configuration. There are still many issues with the site plan and parking configuration. These issues are listed below:

1. The parking spaces, shown on the 8/3/03 submitted plans, show angled parking spaces with 18' drive aisles. The revised site plan shows perpendicular parking spaces 18' long with an 18' drive aisle. The DPM requires that angled parking can be 18' deep, measuring along the length of the angled stripe. No overhang is included in that 18'; if an overhang is necessary, the parking space should be 20'. An 18' is an acceptable width for a one-way drive aisle, but a two-way drive aisle needs to be 24'.
 2. The Transportation Development comments are for both Phase One and Phase Two parking. The comment from Transportation was indicating the parking area called Row F only, in that those 7 spaces should be perpendicular. The agents have responded to the comments, however; it appears they did not understand the comments. All of the parking spaces in Rows C, E, F, G, H, J, K, L, M, N O, and P were changed to perpendicular spaces, but no increase in dimension of the length of the space or width of drive aisle was made. A decrease in parking spaces appears to have occurred due to the increase of size each perpendicular space requires.
 3. The parking calculations show 125 spaces required for the Fellowship Hall. Staff counted 211 parking spaces for Phase One. On the revised site plan, as on the original 8/3/03 plan set, no separation of Phase One parking and Phase Two parking is made.
 4. The drainage plan, the site utility plan, and the landscape plan show different building footprint and different parking lot configurations, specifically the area of the site south of the Fellowship Hall.
 5. Due to the one-way drive aisles, the agent needs to provide an egress drive aisle, or provide two-way drive aisles throughout. The egress drive aisle could be a temporary roadway west of the Fellowship Hall (rear of the building), exiting at the same easternmost driveway. This egress aisle could be eliminated when Phase Two is constructed.
 6. The south and west drive aisle, containing parking rows A and B with the accessible spaces, needs proper egress, as it is also shown as a one-way drive aisle.
 7. The second driveway on Glenrio is planned for Phase Two, and cannot be used to meet Phase One requirements unless it will be constructed as a part of Phase One, which is not what is shown on the site plan. These considerations are noted in the Transportation Development comments.
- None of these issues are insurmountable for this request, but they do require resolution before DRB sign off. Staff recommends that the agent work with the Traffic Engineer to revise the parking lot and drive aisles for Phase One. It appears that the site plan has an overage of parking, and so, therefore, elimination of some parking spaces might be an acceptable approach to resolve the identified parking issues. The agent should consult the Development Process Manual, Chapter 23, Section 7, for the parking lot layout, size of spaces, and size of drive aisles.

Pedestrian and Bicycle Access and Circulation, Transit Access

It appears from the site plan that the front elevation faces southeast, where the lobby is shown. The pedestrian could access the site from Glenrio, where a sidewalk is shown. There is no sidewalk or pedestrian crossing shown on the site plan crossing the drive aisles, or around the porte cochere at the lobby. The pedestrian would have to walk across the asphalt. Staff suggests that marked pedestrian crossing areas are shown on the site plan for pedestrian safety.

A sidewalk should be considered for the area fronting on the unimproved 72nd Street, so that pedestrians crossing from other places might access from a rectilinear route. If a north-south sidewalk is built up to a crossing where Row C parking begins, a more direct pedestrian route to the front door than crossing at the drive aisles, around the porte cochere.

The accessible parking spaces are appropriately placed on the site, with easy access to the church and Fellowship Hall grounds. As noted previously, the drive aisle for the accessible parking area needs to either be widened or an egress drive needs to be added.

Lighting and Security

Single head and double head site lighting is shown on the site plan. The design guidelines state that the lanterns shall be fully shielded and that the maximum height of the poles for the site lights is 20'.

The only perimeter fencing is at the right-of-way line for I-40 on the north and west sides of the site. No other site security fencing is shown.

Landscaping

The master plan for the site shows the fully landscaped site. Landscape buffers of trees and shrubs are shown for the I-40 right-of-way, 72nd Street, and Glenrio Road. Most of the landscaping for the site is at the perimeter. The Phase One Fellowship Hall and the Phase Two church show landscape plants and walkway surfaces surrounding the buildings, which are joined by a common lobby. A tree is shown in the courtyard on the site plan, however, no tree is shown on the landscape plan in the courtyard. Trees are shown on the northwest side of the Fellowship Hall on the landscape plan, but not shown on the site plan. One tree is shown in the planter bed at the porte cochere on the site plan; several plants and trees are shown in the same are on the landscape plan. These areas demonstrate that the landscape plan needs to be consistent with the site plan.

The landscape plan shows a clear legend of plant varieties for trees and shrubs. However, concrete pavement and varieties of groundcover are not called out on the landscape plan. Staff recommends that specifications showing selected surface treatment for the pavement surfaces and selected groundcover material (living and non-living groundcover) are shown in plan and on the legend of the landscape plan for DRB sign-off.

Grading, Drainage, Utility Plans

The grading and drainage plan shows a ponding area where the accessible parking spaces are shown on the site plan. The grading and drainage plan will need to conform to the site plan upon the site development plan for building permit approval.

Architecture and Signage

The building footprint for the Fellowship Hall is shown differently on the various plans in the submittal. The area of concern is the lobby area, and what portion of that space will be built in Phase One. The lobby area for Phase One will need to be clarified on the site plan, and all other drawings, the grading, utilities, landscape plans and the elevations will need to conform to the site plan.

The building design is a contemporary structure, with a metal roof and metal windows, and a synthetic stucco system exterior. The building has few vertical or horizontal offsets or openings (such as elevation offsets, roofline offsets, windows, doors, or other openings). The roofline does change between low pitches and shed rooflines.

The Fellowship Hall is noted on the site plan to be 28,700 square feet, with the Phase Two church measuring 22,823 square feet. The building footprint of the Fellowship Hall, however, is substantially larger than the footprint of the church. The elevation measurements indicate that the building is approximately 37,000 square feet. Staff recommends that measurements between the building footprint on the site plan be coordinated with building elevation measurements.

Concerns of Reviewing Agencies / Pre-Hearing Discussion

The reviewing agency comments suggest that further discussion with Transportation Development, Utilities, and Hydrology to both clarify the submitted plans and to bring those elements into conformity with the site plan. Staff has recommended to the agent that they discuss the comments directly with the agency review staff before the hearing.

Neighborhood Concerns

No neighborhood concerns have been raised. No facilitated meeting was necessary for this project.

Conclusions

There are several identified problems with the site plan and the continuity between each plan. Elements on all plans need to be corrected. The site plan needs to be corrected for parking, drive aisles, and building footprint. The drainage plan the site utilities plan, and the landscape plan need to be corrected with the south parking area, the porte cochere, and building footprint.

When these areas of concern are reconciled, this project can proceed. Staff does not find any of the above listed issues prohibitive to an approval by the EPC; however, substantial conditions have been recommended so that these matters are resolved before final sign off by the Development Review Board.

FINDINGS - (Project #1000694) (Case No. 03EPC-01111)(September 18, 2003)

1. This application is a request for a site development plan for building permit for Phase One development for Tracts 226-230, Town of Atrisco Grant, Airport Unit. The site is 7.361 acres. The application is for approval of the site plan for Phase One development of the Fellowship Hall.
2. The SU-1 Zone was approved in 2000 for Church with Signage Restrictions and Related Uses limited to: Fellowship Hall, Education Center, Bookstore, Music, Café, and Multipurpose Room and Residence.
3. This project had a site plan for subdivision approved by the EPC in 2000. The agent brought forward the site development plan for subdivision for final sign off by the DRB in March 2003. However, sign off was never achieved. Staff has subsequently advised the applicant that a site plan for subdivision is unnecessary since no subdivision actions are anticipated. Approval of a site development plan for building permit will satisfactorily address the development issues.
4. The site development plan for building permit furthers the *Comprehensive Plan* goals and policies for the Established Urban Area by conforming to the applicable policies a, d, k, and l. The *Comprehensive Plan* allows a church to be located on this site, for a fuller range of urban land uses in this area. The design of the building respects neighborhood values in that it is not obtrusively large or tall, and will not be visually obtrusive to the residential areas nearby. The livability of the surrounding neighborhoods is protected through enough established off-street parking for the church and permissive uses. Quality and innovation is encouraged in new development with design appropriate to the plan area. This building and site design is appropriate to the size and scale of the neighborhood.
5. This request furthers the applicable policy 3.31 of the *West Side Strategic Plan*, demonstrating that it is appropriate for a church and related facilities as a non-residential development should occur in the Atrisco Business Park community.
6. Errors have been found on the site development plan for building permit, the drainage plan, the utilities plan, and the landscape plan. The elevations are not in agreement with the building footprint for the Fellowship Hall. These errors can be corrected with minor modifications to the site plan. All errors will need to be rectified before final approval by the DRB.

RECOMMENDATION – (Project #1000694) (Case No. 03EPC-01111)(September 18, 2003)

APPROVAL of 03EPC-01111, a request for a site development plan for building permit for Phase One development for Tracts 226-230, Town of Atrisco Grant, Airport Unit, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL - (Project #1000694) (Case No. 03EPC-01111)(September 18, 2003)

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals. EPC delegates final sign off authority to the DRB.
2. The replatting of the site shall occur concurrently with the final sign off of the site development for building permit by the DRB.
3. The site plan shall be corrected for parking, drive aisles, landscape elements, and building footprint. All plans (site utilities, grading and drainage, landscape, etc.) shall be consistent with the approved site plan.
4. All design aspects of the site shall comply with the design guidelines contained in the site development plan for building permit plan set.
5. The landscape plan shall be corrected to show selected concrete surface treatment and groundcover materials (living and non-living), both on the plan and in the legend.
6. As per the City Engineer Comments:

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- c. Site shall comply and be designed per DPM Standards.
- d. The entire parking lot will need to be constructed in phase 1 for correct circulation. If not, the main drive aisle for phase 1 will need to be modified for two-way circulation or an additional egress will need to be provided for one-way circulation (see Traffic Engineer).
- e. Phase 1 driveway to be 36' - 40' in width (two-way traffic) or 20' - 24' (one-way traffic).
- f. Provide 25' curb returns at site drives.
- g. Maximum width for site drive to residence to be 30'.
- h. Provide angle and typical dimensions of parking spaces. Parking lot layout/site circulation in phase II & I may need to be modified (i.e. drive aisle width, end aisles number of spaces, etc. depending on this info.).
- i. For phase 1 angled parking, north of fellowship hall and adjacent to the 24' drive aisle, change angled parking to perpendicular parking.
- j. For phase two parking, adjacent to education center, provide parking that is perpendicular to building.

- k. Site plan on sheet C1.2 should match sheet C1.3 (i.e. parking lot layout).
 - l. Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development before site plan sign off at DRB.
7. As per Solid Waste Management Department Comments: Approved on condition, will coordinate with SWMD on enclosure requirements and ordinances.
8. As per the Fire Marshall's Office:

New Construction will be reviewed through the normal City of Albuquerque Plan Review Process. Items to be reviewed by AFT will be but not limited to, fire department access and fire hydrant locations, fire alarm systems, sprinkler systems, as well as accessible fire department connections. New additions will require a fire flow statement before DRB.


Mary Viscitelli, AICP
Staff Planner

cc: Family Worship Center,
John Griego, 2810 Siler Ln. Santa Fe, NM 87501
Sally Breeden, 6503 Honeylocust Avenue NW, 87121
Ben Sandoval, 6513 Honeylocust Avenue NW, 87121
Steve Tardy, 7424 Lynwood Drive NW, 87120
Nancy Treviso, 7812 Sherwood Drive NW

Attachments

- 1. *Notice of Decision, September 21, 2000*
- 2. *Agency Comments from September 21, 2003 EPC public hearing case report*

CITY OF ALBUQUERQUE AGENCY COMMENTS

Agency comments from the July 2003 submittal for site plan for building permit are shown in italics. Current comments are dated (COMMENTS FOR 9/18) and shown following the 2000 comments. Attached to this report are the agency comments from the September 21, 2000 EPC Public Hearing.

PLANNING DEPARTMENT

Zoning Code Services

Reviewed, no comment.

COMMENTS FOR 9/18

Parking spaces are detailed at less than the minimum required length of 20 feet.

Office of Neighborhood Coordination

Los Volcanes ®

COMMENTS FOR 9/18

Los Volcanes ®

Laurelwood ®

PUBLIC WORKS DEPARTMENT

Transportation Development:

- All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable. [See attached agency comments from Sept. 21, 2000.]*
- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter and sidewalk that have not already been provided for.*
- Site shall comply and be designed per DPM Standards.*
- Parking lot layout/site circulation in phase I & II will need to be modified. See Traffic Engineer.*
- Maximum width for site drives in phase I & II to be 36'.*
- Maximum width for site drive to residence to be 30'.*

Utility Development:

- Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development prior to site plan sign off at DRB. DRB sign off will be contingent on financial guarantees for required infrastructure. Depending on the status of other pending actions could include improvements in 72nd Street. There will be no on-site public infrastructure, but the submittal shows various 'main water and sewer easements.' Language must be deleted, or clarified.*

Traffic Engineering Operations:

- No comments.*

Hydrology:

- An approved conceptual grading and drainage plan is on file for Site Plan sign-off by the City Engineer.*

Condition: Platting should be a concurrent DRB action. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required before placement on DRB agenda.

Transportation Planning:

Information

The applicant is advised that the New Mexico Department of Transportation (NMDOT) is preparing the alignment study and preliminary design for reconstruction of the Coors Boulevard and I-40 Interchange. A number of alignment alternatives are under consideration, including an option for a frontage road along the south side of Interstate 40 between Unser Boulevard and Coors Boulevard. For more information, the applicant is encouraged to contact Mr. Tony Abbo (505 827-9852) the project manager for the NMDOT.

Street Maintenance:

No comments.

Comments continued on next page:

Water Resources, Water Utilities and Wastewater Utilities:

No comments.

New Mexico State Highway and Transportation Department:

No comments.

RECOMMENDED CONDITIONS FROM CITY ENGINEER and PUBLIC WORKS:

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. *All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.*
- b. *The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter and sidewalk that have not already been provided for.*
- c. *Site shall comply and be designed per DPM Standards.*
- d. *Parking lot layout/site circulation in phase I & II will need to be modified. See Traffic Engineer.*
- e. *Maximum width for site drives in phase I & II to be 36'.*
- f. *Maximum width for site drive to residence to be 30'.*
- g. *There will be no on-site public infrastructure, but the submittal shows various 'main water and sewer easements.' Language must be deleted, or clarified.*
- h. *Platting should be a concurrent DRB action. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required before placement on DRB agenda.*

Comments for 9/18

Transportation Development:

All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable. [See attached agency comments from September 21, 2000]

-
- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
 - Site shall comply and be designed per DPM Standards.
 - The entire parking lot will need to be constructed in phase 1 for correct circulation. If not, the main drive aisle for phase 1 will need to be modified for two-way circulation or an additional egress will need to be provided for one-way circulation (see Traffic Engineer).
 - Phase 1 driveway to be 36' – 40' in width (two-way traffic) or 20' – 24' (one-way traffic).
 - Provide 25' curb returns at site drives.
 - Maximum width for site drive to residence to be 30'.
 - Provide angle and typical dimensions of parking spaces. Parking lot layout/site circulation in phase I & II may need to be modified (i.e. drive aisle width, end aisles number of spaces, etc. depending on this info.).
 - For phase 1 angled parking, north of fellowship hall and adjacent to the 24' drive aisle, change angled parking to perpendicular parking.
 - For phase two parking, adjacent to education center, provide parking that is perpendicular to building.
 - Site plan on sheet C1.2 should match sheet C1.3 (i.e. parking lot layout).

Utility Development:

- Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development before site plan sign off at DRB. DRB sign off will be contingent on financial guarantees for required infrastructure, depending on the status of other pending actions, could include improvements in 72nd Street.

Traffic Engineering Operations:

- No comments.

Hydrology:

- No adverse comment on Site Plan for Building Permit.

Transportation Planning:

Information

- The applicant is advised that the New Mexico Department of Transportation (NMDOT) is preparing the alignment study and preliminary design for reconstruction of the Coors Boulevard and I-40 Interchange. A number of alignment alternatives are under consideration, including an option for a frontage road along the south side of Interstate 40 between Unser Boulevard and Coors Boulevard. For more information, the applicant is encouraged to contact Mr. Tony Abbo (505 827-9852) the project manager for the NMDOT.

Comments continued on next page:

Street Maintenance:

- No comments.

Water Resources, Water Utilities and Wastewater Utilities:

- No comments.

New Mexico State Highway and Transportation Department:

- No comments.

RECOMMENDED CONDITIONS FROM CITY ENGINEER and PUBLIC WORKS:

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- c. Site shall comply and be designed per DPM Standards.
- d. The entire parking lot will need to be constructed in phase 1 for correct circulation. If not, the main drive aisle for phase 1 will need to be modified for two-way circulation or an additional egress will need to be provided for one-way circulation (see Traffic Engineer).
- e. Phase 1 driveway to be 36' – 40' in width (two-way traffic) or 20' – 24' (one-way traffic).
- f. Provide 25' curb returns at site drives.
- g. Maximum width for site drive to residence to be 30'.
- h. Provide angle and typical dimensions of parking spaces. Parking lot layout/site circulation in phase I & II may need to be modified (i.e. drive aisle width, end aisles number of spaces, etc. depending on this info.).
- i. For phase 1 angled parking, north of fellowship hall and adjacent to the 24' drive aisle, change angled parking to perpendicular parking.
- j. For phase two parking, adjacent to education center, provide parking that is perpendicular to building.
- k. Site plan on sheet C1.2 should match sheet C1.3 (i.e. parking lot layout).
- l. Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development before site plan sign off at DRB.

ENVIRONMENTAL HEALTH DEPARTMENT

Air Quality Division

Reviewed, no objection.

Comments 9/18

Environmental Services Division

PARKS AND RECREATION

Planning and Design

Reviewed, no objection.

COMMENTS FOR 9/18

Reviewed, No comment

Open Space Division

COMMENTS FOR 9/18

No adverse comment.

POLICE DEPARTMENT/Planning

Maintenance of landscaping

COMMENTS FOR 9/18

Lighting issues

Maintenance of landscaping

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division

Approved on condition, will coordinate with SWMD on enclosure location Call or details, 761-8142

COMMENTS FOR 9/18

Approved on condition, will coordinate with SWMD on enclosure requirements and ordinances.

FIRE DEPARTMENT/Planning

New construction will be reviewed through the normal City of Albuquerque Plan Review Process. Items to be reviewed by AFD will be but not limited to, fire department access and fire hydrant locations, fire alarm systems, sprinkler systems, as well as accessible fire department connections. New additions will require a fire flow statement before DRB

COMMENTS FOR 9/18

New construction will be reviewed through the normal City of Albuquerque Plan Review Process. Items to be reviewed by AFD will be but not limited to, fire department access and fire hydrant locations, fire alarm systems, sprinkler systems, as well as accessible fire department connections. New additions will require a fire flow statement prior to DRB.

TRANSIT DEPARTMENT

No comment.

COMMENTS FOR 9/18

No comment.

COMMENTS FROM OTHER AGENCIES

BERNALILLO COUNTY

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

No comment

COMMENTS FOR 9/18

No comment

ALBUQUERQUE PUBLIC SCHOOLS

No adverse comments to the above requests (7.6 acres SU-1 for Church) for Family Worship Center Church located on Glenrio NW between 72nd NW and I-40.

COMMENTS FOR 9/18

No adverse comments to the above requests (zoned SU-1 Church on 7.6 acres) Family Worship Center located on Glenrio NW between 72nd NW and I-40.

MID-REGION COUNCIL OF GOVERNMENTS

No adverse comment.

COMMENTS FOR 9/18

No adverse comment.

PUBLIC SERVICE COMPANY OF NEW MEXICO

No comment based upon the information provided to date.

COMMENTS FOR 9/18

No comment based upon the information provided to date.

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 22, 2000

OFFICIAL NOTIFICATION OF DECISION

Family Worship Center
5200 Iliff NW
Albuq. NM 87105

FILE: 00110 00000 01020/00128 00000 01021
LEGAL DESCRIPTION: for Lots 226-230, Town of Atrisco Grant, Airport Unit, located on Glenrio Road NW between Coors Boulevard and I-40, containing approximately 7.361 acres. (J-10) Mary Piscitelli, Staff Planner

On September 21, 2000, the Environmental Planning Commission voted to approve 00110-00000-01020, a request for a zone map amendment from R-2 to SU-1 for Church with signage restrictions and Related Uses limited to the following: fellowship hall, education center, bookstore, music, café, and multi purpose room, and residence , on Tracts 226-230, Town of Atrisco Grant, Airport Unit, generally located on Glenrio Road between 72nd Street and 76th Street based on the following Findings:

FINDINGS:

1. This is a 7.346-acre site located on Glenrio Road between 72nd Street and 76th Street. This is a request for a zone map amendment from R-2 to SU-1 for Church and related uses at Tracts 226-230, Town of Atrisco Grant, Airport Unit. These tracts are vacant land currently.
2. This request would allow a compatible use with the existing R-1 development and the future R-2 multi-unit development adjacent to the subject site.
5. This request fulfills the policies of R-270-1980: the current R-2 zoning is inappropriate, a different zone category would be more beneficial to the community as per the policies of the Comprehensive Plan and the West Side Strategic Plan.
4. The uses listed in the zoning description are intended for the direct mission and use of the church and its members and not intended for uses outside its membership or mission.

On September 21, 2000, the Environmental Planning Commission voted to approve 00110-00000-01021, a request for a site plan for subdivision, on Tracts 226-230, Town of Atrisco Grant, Airport Unit, generally located on Glenrio Road between 72nd Street and 76th Street based on the following Findings and subject to the following Conditions:

ATTACHMENT

FINDINGS:

1. This is a request for approval of a site development plan for subdivision, for an approximately 7.346 acre site located on Glenrio Road between 72nd Street and 76th Street, more particularly described as Tracts 226-230, Town of Atrisco Grant, Airport Unit.
2. A site plan for subdivision is required for approval of SU-1 zoning.
4. This is site plan for subdivision. If approved, the agent will need to request a site plan for building permit from the EPC.
7. This request furthers the applicable policies of the Comprehensive Plan by conforming to the policies a, d, k, and l, that state that the Established and Developing Urban Area of the Comprehensive Plan shall allow a full range of land uses, that the location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern, that land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; that livability and safety of established residential neighborhoods shall be protected in transportation planning and operations, and that quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.
9. This request furthers the applicable policy 3.31 of the West Side Strategic Plan, demonstrating that it is appropriate for new development, both residential and non-residential, to occur in the Atrisco Business Park community.
11. This property is located immediately east of the Laurelwood-Airport Road Location Study Corridor. As indicated on the Long Range Roadway System map, this corridor envisions a grade separation (overpass) at 76th Street/I-40. No actual corridor study has yet been undertaken, nor is one scheduled; hence, there is no firm plan to construct an overpass. If an overpass were actually to be constructed here, we suggest that a right-of-way taking from the applicant's property might involve 10-20 feet from the SW corner.
13. Infrastructure improvements will be necessary for site plan for building permit. Either financial guarantees for the off- and on-street infrastructure improvements or an approved vacation are alternatives to this issue.
8. This submittal will be adequate with some changes and additions.
9. Pedestrian amenities and pathways that connect parking areas to buildings; buildings to other buildings within the site and buildings to the adjacent streets should be provided.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
3. If the zone change and site plan for subdivision are approved, the agent must request a site plan for building permit from the EPC prior to site development. That proposal will be reviewed as per the design guidelines included with the site plan for subdivision request, along with other relevant factors.
4. An approved grading and drainage plan is required for site plan sign-off by the City Engineer.
6. As per Transportation Development Services conditions for site plan for subdivision approval:
 - a. Construction of pavement, curbs, gutters, and 6 foot sidewalks (to be placed at the property line) on Glenrio Road and on 72nd Street.
 - b. Vacation of 72nd Street as a public street right-of-way should be requested if public access is not required to from this site and the other adjacent properties.
9. As per Transportation Planning recommendations:
 - a. Although construction of an overpass presently seems a remote possibility, it would be appropriate for the applicant's development to be held away from the extreme SW corner of the property.
 - b. The NM State Highway and Transportation Department should be asked to review this case, for drainage concerns, etc.
10. As per Solid Waste, Refuse Division conditions:
 - a. Approved on condition will have refuse enclosure location added to site plan at time of building permit. Must comply with all SWMD Ordinance and requirements. Call TL Baca 761-8142.
12. Pedestrian paths with a 6 foot wide clear path with shade trees at approximately 25 feet on center in 5x5 planters shall be provided along all pathways connection buildings to buildings through parking lots and to the adjacent street.
13. Parking areas shall be restricted to the minimum required plus the maximum of 10% of the allowed use.
9. Design guidelines;
 - . Lighting standards shall be a maximum of 16 feet fully shielded.
 - . No off premise/billboards shall be permitted.

OFFICIAL NOTICE OF DECISION

00000 01020/00128 00000 01021

SEPTEMBER 21, 2000

PAGE 3

- b. Monument sign maximum size shall be of the face shall 75 square feet with the maximum height of 8 feet.
 - c. Building mounted signage shall be a maximum of 6% of the façade to which is applied.
 - d. Signage shall not face adjacent residential.
 - f. And shall have a maximum 2 foot letter
 - i. Letters shall be individually backlit channelized letters with a maximum of 2 foot x 2 foot backlit logo shall be permitted.
 - k. Building materials, no plastic/vinyl fascia panels or awnings shall be permitted.
 - m. Any cell towers shall be architecturally integrated into building architecture.
10. Maximum 1,500 square feet for the café, bookstore, music as a combined use.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY **OCTOBER 6, 2000** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,


For Robert R. McCabe, AIA, APA
Planning Director

RM/MP/ac

OFFICIAL NOTICE OF DECISION

00000 01020/00128 00000 01021

SEPTEMBER 21, 2000

PAGE 4

cc: John Griego, 105 E. Marcy, Santa Fe, NM 87501
Imogene Jones, Laurelwood Neigh. Assoc., 1319 Duskfire Dr. NW, Albuquerque, NM 87120
Rich Sacoman, Laurelwood Neigh. Assoc., 7805 Bay Brook Rd. NW, Albuquerque, NM 87120
Curtis Brewer, Berger Briggs, PO Drawer K, Albuquerque, NM 87103

CITY OF ALBUQUERQUE AGENCY COMMENTS
PLANNING DEPARTMENT
Zoning Code Services

"Reviewed, no comment."

PUBLIC WORKS DEPARTMENT

Transportation Development Services:

No adverse comment on the proposed zone change request.

Conditions of approval for the site plan for subdivision should include:

- A) Construction of pavement, curbs, gutters, and 6 foot sidewalks (to be placed at the property line) on Glenrio Road and on 72nd Street.
- B) Vacation of 72nd Street as a public street right-of-way should be requested if public access is not required to from this site and the other adjacent properties.

The following comments must be addressed in the future site plan for building purposes:

Dimensions for all driveways, driving aisles, walkways, and parking spaces must be provided.

The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.

The sidewalk in front of the handicapped spaces must be flush with the parking surface. Wheel stops will be required.

Handicapped parking area and ramps must comply with ADA requirements.

Ramps at intersection must be designed for the appropriate direction of travel for the user, i.e., uni-directional or multi-directional.

Proposed circulation drives and internal parking areas must be paved as per DPM Standards.

The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.

Location of walls, fences and signs must meet the clear sight distance requirements.

Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.

Coordination with the Solid Waste Department with regard to refuse container location and access.

The parking lot layout must be modified to the satisfaction of the Traffic Engineer. Parking end islands must be meet DPM standards, i.e., 10 foot in width and with 15-foot corner radii.

Channelization will be required in proximity of the porte cochere.

Utility Development:

No comment on zone change. The submittal is identified as a conceptual site plan for subdivision. Will there be a separate / future EPC review of site plan for building permit? The plan shows conflicting information of building areas. Development will be contingent on off and on-site public infrastructure. A water and sewer availability statement must be requested and completed prior to DRB action. Financial guarantees will be required as a condition of approval.

ATTACHMENT
2-1

Traffic Engineering Operations:

This appears to be a good location for the facility and traffic control devices are in place.

Hydrology:

The Hydrology Section has no objection to the zone map amendment request. An approved grading and drainage plan is required for site plan sign-off by the City Engineer.

Transportation Planning:

FINDING:

C This property is located immediately east of the Laurelwood-Airport Road Location Study Corridor. As indicated on the Long Range Roadway System map, this corridor envisions a grade separation (overpass) at 76th Street/I-40. No actual corridor study has yet been undertaken, nor is one scheduled; hence, there is no firm plan to construct an overpass. If an overpass were actually to be constructed here, we suggest that a right-of-way taking from the applicant's property might involve 10-20 feet from the SW corner.

RECOMMENDATIONS:

C Although construction of an overpass presently seems a remote possibility, it would be appropriate for the applicant's development to be held away from the extreme SW corner of the property.

C The NM State Highway and Transportation Department should be asked to review this case, for drainage concerns, etc.

ENVIRONMENTAL HEALTH DEPARTMENT

Air Quality Division

"No Comment."

Environmental Services Division

NEIGHBORHOOD SERVICES

"Laurelwood (a recognized association) was notified. West Mesa Manor was also notified."

PARKS AND RECREATION

Design & Development

"No adverse comment."

OPEN SPACE DIVISION

"No adverse comment."

POLICE DEPARTMENT/Planning

Traffic volume

Lighting issues

Maintenance of landscaping

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division

"Approved on condition will have refuse enclosure location added to site plan at time of building permit Must comply with all SWMD Ordinance and requirements. Call TL Baca 761-8142."

FIRE DEPARTMENT/Planning

"Unpaved construction roads shall be capable to maintain the load of any emergency apparatus. All new fire hydrant(s) shall be installed and operating prior to this construction project. Our office upon permit stage will conduct its normal plan review for fire department access and structures."

TRANSIT DEPARTMENT

***COMMENTS FROM OTHER AGENCIES:
BERNALILLO COUNTY***

ALBUQUERQUE METROPOLITAN FLOOD CONTROL AUTHORITY

"No objection. See City Hydrology comments."

ALBUQUERQUE PUBLIC SCHOOLS

MIDDLE RIO GRANDE COUNCIL OF GOVERNMENTS

"No adverse comment."

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 2029
CONNECTION TEL 915054380028
SUBADDRESS
CONNECTION ID
ST. TIME 07/07 17:04
USAGE T 02'10
PGS. 2
RESULT OK

FAX TRANSMITTAL

PAGE 1 of 2

City of Albuquerque Planning Department
Development Review Division
924-3860 / 924-3339 FAX

DATE: 7 July 2003

rev 5/2003 x:\share\epc\stuff\siteplan\NewFaxlist

TO: John Griego FAX #: 438-0028

FROM: Russell Brito Contact Phone #: 924-3337

RE: **Site Development Plan for Building Permit Deficiencies**
Project Description: Family Worship Center
EPC Project #: 1000694 EPC Case #: 03EPC-01111

Upon review, our office has determined that there are deficiencies with your Site Development Plan for Building Permit, submitted for EPC approval. The extent and/or nature of these deficiencies:

Allow for provisional distribution to other agencies and City Departments; eleven (11) copies of a complete site plan that clearly addresses all Site Development Plan for Building Permit Checklist items must be submitted to the Planning Department (staff planner) by _____.

Warrant rejection of this site plan submittal: Deficiencies prevent a complete and meaningful review of the plan(s). Consequently, this request will not be scheduled for the EPC hearing on 21 August 2003; resubmittal of a complete site plan that addresses all Site Development Plan for Building Permit Checklist items is necessary to be scheduled for a future EPC hearing.

DEFICIENCIES:

Site Plan for Building Permit

- Bar Scale
- Sidewalk dimensions
- Dimensions of principal site elements (bldg. footprints, etc.)
- Bicycle parking locations

FAX TRANSMITTAL

City of Albuquerque Planning Department
Development Review Division
924-3860 / 924-3339 FAX

rev: 6/2003 x:\share\epc\stuffs\siteplan\NewFaxList

PAGE ___ of ___

DATE: 8/8/03

TO: _____ FAX #: _____

FROM: Melinda Hill Contact Phone #: 924-3879

RE: **Site Development Plan for Building Permit Deficiencies**

Project Description: _____

EPC Project #: 1000694 EPC Case #: 03EPC 0111

Upon review, our office has determined that there are deficiencies with your Site Development Plan for Building Permit, submitted for EPC approval. The extent and/or nature of these deficiencies:

Allow for provisional distribution to other agencies and City Departments; eleven (11) copies of a complete site plan that clearly addresses all Site Development Plan for Building Permit Checklist items must be submitted to the Planning Department (staff planner) by _____.

Warrant rejection of this site plan submittal: Deficiencies prevent a complete and meaningful review of the plan(s). Consequently, this request will not be scheduled for the EPC hearing on _____; resubmittal of a complete site plan that addresses all Site Development Plan for Building Permit Checklist items is necessary to be scheduled for a future EPC hearing.

DEFICIENCIES:

- Indicate Interstate 40 r.o.w.
- Clearly identify property lines
- Need elevation drawing of refuse container and enclosure
- Need parking calculations for autos and bicycles
- Need refuse enclosure dimensions
- Need curb cut dimensions - width at street edge.
- ~~Need curb cut dimensions~~
- Provide utility plan for site.
- Provide bar scale and north arrow for landscape plan.
- Describe type of groundcover material
- Describe phasing of landscaping

FAX TRANSMITTAL

City of Albuquerque Planning Department
Development Review Division
924-3860 / 924-3339 FAX

PAGE 2 of 2

DATE: 8/8/03

DEFICIENCIES (cont.):

- ~~Provide~~
- Provide narrative description on grading plan of existing site topography, proposed grading improvements and topography within 100 foot.
- Need dimensions of doors
- Need material and color information for the building exterior.
- Provide dimensions, materials, colors, for sign. Identify location of sign on the site plan.

This submittal is two fold, one, it is a submittal for Site Development Plan for Subdivision and secondly it is a submittal for Site Development Plan for Building Permit Plat.

Agony 7-03-03

- cc: • LOS VOLCANES NEIGHBORHOOD ASSOC.
c/o Sally Bredon & BEN SANDOVAL
- LAURELWOOD NEIGHBORHOOD ASSOC.
c/o STEVE TARDY & Nancy Trejo



NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a **Study Session on Thursday, September 11, 2003, 3:00 p.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following:

1. Distribution & Review – Current Land Use Matters for the August 21, 2003 Public Hearing, which include the projects listed below.

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a **Public Hearing on Thursday, September 18, 2003, 8:30 a.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following items: [Note: these items are not in the order they will be heard]

Project # 1002713

03EPC-00910 Zone Map Amendment
03EPC-00911 EPC Sector Development Plan Amendment

GARCIA/KRAEMER & ASSOCIATES agent(s) for BENNY S. LOPEZ, ET AL request the above action(s) for all or a portion of Tract(s) 368 B-1, A Portion of Tract 365, Tract 363B2, Tract 369, Tract 368 A1A2, and Tract 368 B-2, **MRGCD Map 41**, and Lots A & B, Luis A & Francisco Arteaga Subdivision, a zone map amendment from SU-2-MR to SU-2-HC, located on BROADWAY SE, between ETHLYN SE and WHEELER SE, containing approximately 3.12 acre(s). (L-14) Juanita Vigil, Staff Planner

Project # 1000694

03EPC-01111 EPC Site Development Plan-Building Permit

JOHN GRIEGO agent for FAMILY WORSHIP CENTER request the above action for all or a portion of Lot 226, 227, 228, 229 and 230 **Town of Atrisco Grant -Airport Unit**, zoned SU-1 Church, located on GLENRIO NW, between 72ND ST. NW and I-40, containing approximately 8 acre(s). (J-10) Mary Piscitelli, Staff Planner

Project # 1002635

03EPC-00702 Zone Map Amendment
03EPC-00703 EPC Site Development Plan-Subdivision
03EPC-00704 EPC Site Development Plan-Building Permit

CONSENSUS PLANNING, INC. agent(s) for TRICOR SOUTHWEST CORPORATION request the above action(s) for all or a portion of Tract(s) I, **Section 3, T10N**, a zone map amendment from SU-1 Neighborhood Commercial to SU-1 for C -1, located on CANDELARIA ROAD NE, between TRAMWAY BLVD. NE and MOUNTAINSIDE PARKWAY NE, containing approximately 4 acre(s). (H-22) Juanita Vigil, Staff Planner

Project # 1001279
03EPC-01155 EPC Site Development Plan-
Subdivision
03EPC-01093 Zone Map Amendment

COMMUNITY SCIENCES CORP. agents for MARK GONZALES request the above actions for all or a portion of Tract(s) 16-A-1, **Paradise North**, a zone map amendment from R-1 to SU-1 for C-2, located on UNSER BLVD. NW, between UNSER BLVD. NW and MCMAHON BLVD., containing approximately 10 acres. (A-11) Makita Hill, Staff Planner

Project # 1002371
03EPC-01285 Zone Map Amendment

TIERRA WEST LLC, agent for HOFFMANTOWN CHURCH WEST, request the above action for all or a portion of Tract(s) 1A,1B & 1C, Block 15, Alban Hills, Unit 1 and Tract A, Access EasementBosque Meadows, a zone map amendment from SU-1 for R-2 to SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN, containing approximately 17 acre(s). (D-12) Simon Shima, Staff Planner

Project # 1001182
03EPC-01313 Zone Map Amendment

CONSENSUS PLANNING, INC., agent for WESTERN SECURITY REAL ESTATE, INC., request the above action(s) for all or a portion of Tract(s) B, **Westridge Mobile Home Park -Phase 2**, a zone map amendment from SU-1 MH to R-LT, located on AVALON ROAD NW, west of 94th STREET NW, containing approximately 7 acres. (K-9) Simon Shima, Staff Planner

Project # 1002176
03EPC-01317 Zone Map Amendment
03EPC-01318 EPC Site Development Plan-
Subdivision

UPWEST CORPORATION agent(s) for UPWEST CORPORATION request the above action(s) for , **C Varan**, a zone map amendment from C-1 (SC) to SU-1 Residential, located on FOUR HILLS ROAD NE, between WENONAH AVE. and CENTRAL AVE. SE, (L-23) Deborah Stover, Staff Planner

Project # 1002871
03EPC-01319 Zone Map Amendment

DEBBIE HUDSON agent(s) for JUNE KOURI request the above action(s) for all or a portion of Tract(s) B-1, **Panorama Addition**, a zone map amendment from C-2 to R-G, located on CHELWOOD BLVD. NE, between EAST OF CHELWOOD and SOUTH SIDE OF COPPER, containing approximately 1 acre(s). (K-22) Cynthia Borrego, Staff Planner

Project # 1002633
03EPC-01323 EPC Site Development Plan-
Amendment to Subdivision

ADVANCED ENGINEERING AND CONSULTING, LLC agent for JAYEFF CONSTRUCTION request the above action for all or a portion of Lots 9-24, Block 10, **N Abq Acres Tr 3 Unit 3**, zoned SU-2 Mixed Use, located on HOLLY AVE. NE, between VENTURA ST. NE and BARSTOW BLVD. NE, containing approximately 11 acres. (C-20) Carmen Marrone, Staff Planner

Project # 1002873
03EPC-01324 EPC Site Development Plan-
Amendment to Building Permit

DCSW ARCHITECT agent(s) for MORELAND CORPORATION request the above action(s) for all or a portion of Tract(s) 5A, **Yale Business Park**, zoned SU-1 for Permissive O-1, C-2 & IP Uses, located on INTERNATIONAL AVE. SE, between YALE BLVD. SE and Central Ave. SE, containing approximately 5 acre(s). (L-16) Deborah Stover, Staff Planner

Project # 1001620
03EPC-01325 Text Amendment

PLANNING DEPARTMENT agent(s) for CITY OF ALBUQUERQUE request the above action(s) for Amending Section 14-16-2-22(B)ROA1994, to allow single-family residential (SFR) as a special use in the SU-1 Special Use Zone. Russell Brito, Staff Planner

Project # 1002874
03EPC-01326 EPC Site Development Plan-
Building Permit

SITES SOUTHWEST, agent for CITY OF ALBUQUERQUE/WATER UTILITY DIVISION request the above action for all or a portion of Tract S-2A-1, **Atrisco Business Park Unit 2**, zoned IP, located on UNSER BLVD. NW between VOLCANES ROAD NW and I-40, containing approximately 20 acre(s). (J-9) Simon Shima, Staff Planner

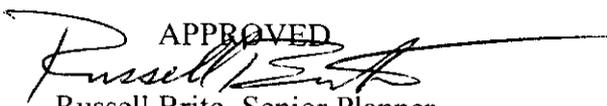
03EPC- 01242 Project # 1002640
03DRB-00728 Minor-Temp Defer SDWK
03DRB-00723 Major-Preliminary Plat
Approval
03DRB-00726 Minor-Sidewalk Variance
03DRB-00725 Minor-Sidewalk Variance
03DRB-00724 Major-SiteDev Plan
BldPermit

Robert Fresques, President, agent(s) for Quail Springs Neighborhood Association appeals the Development Review Board's approval of the above action(s) for all or a portion of Lot(s) 22-32, Block(s) 3, Tract(s) 2, NO. ALBUQUERQUE ACRES, **VISTA DEL AGUILA SUBDIVISION**, zoned RD SU-1, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 12 acre(s). (C-19)

Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00 and between 2:00 and 4:00 p.m., Monday through Friday, or you may call April Candelaria at 924-3886. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at the public hearing should contact April Candelaria 924-3886 (VOICE) or 924-3361 (TTY). TTY users may also access the voice number via the New Mexico Relay Network by calling toll free: 1-800-659-8331.

Jeff Jesionowski, Chairman
Environmental Planning Commission

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL AUGUST 27, 2003.

APPROVED

Russell Brito, Senior Planner
Planning Department

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT - DEVELOPMENT SERVICES DIVISION
PROPERTY OWNERSHIP LIST

Meeting Date: 9-18-03
~~8-22-03~~
Zone Atlas Page: J-10-E
Notification Radius: 100 Ft.

App#	<u>135PC-0114</u>
Proj#	<u>100694</u>
Other#	

Cross Reference and Location: _____

Applicant: Family Worship Center

Address: 5200 Tilt NW, 87105

Agent: John Griego & Gerald Chavez

Address: 2810 Silver Ln, Santa Fe NM 87501

SPECIAL INSTRUCTIONS

Notices Must be mailed from the
City 15 days prior to the meeting.

Date Mailed: 9-3-03

Signature: K. Tsethikai

1010058 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE

101005816236720902 LEGAL: S P O R T R 230 TOWN OF ATRISCO GRANT 0.44 AC LAND USE:

PROPERTY ADDR: 00000 N/A

OWNER NAME: GOMEZ JOE F ETUX

OWNER ADDR: 07301 LYWOOD

DR NW ALBUQUERQUE

NM 87120

101005818037320904 LEGAL: S P O R OF TR 229 APU 1.11 AC LAND USE:

PROPERTY ADDR: 00000 N/A

OWNER NAME: MARQUEZ A X BARBOA SAN TURININ

OWNER ADDR: 00916 ALTA VISTA

CT SW ALBUQUERQUE

NM 87105

101005820038020906 LEGAL: S P O R T O F TR 228 APU 1.76 AC LAND USE:

PROPERTY ADDR: 00000 N/A

OWNER NAME: BANDONI LARRY

OWNER ADDR: 01705 SAN CRISTOBAL

SW ALBUQUERQUE

NM 87104

1010058223338920908 LEGAL: ALL OF THE SOUTH POR OF TR 227 AIRPORT UNIT TOWN O LAND USE:

PROPERTY ADDR: 00000 N/A

OWNER NAME: HAMMER BENNETT A

OWNER ADDR: 00000

ALBUQUERQUE

NM 87194

101005824239620910 LEGAL: SOUT H P O R T OF TR 226 A P U LAND USE:

PROPERTY ADDR: 00000 N/A

OWNER NAME: GONZALEZ EMILIA S TRUSTEE GONZ

OWNER ADDR: 10204 LA PAZ

NW ALBUQUERQUE

NM 87114

101005827140310401 LEGAL: * 12 5 S P O R OF TR 225 3.7AC 10N 2E SEC 15 LAND USE:

PROPERTY ADDR: 00000 GLENRIO RD NW

OWNER NAME: LORENTZEN JOHN C/O SW REALTY I

OWNER ADDR: 02909 YALE

BL SE ALBUQUERQUE

NM 87106

101005829141610402 LEGAL: TOWN OF ATRISCO GRANT A.P.U. #8 TRACT 224 CONT 4.1 LAND USE:

PROPERTY ADDR: 00000 GLENRIO RD NW

OWNER NAME: BRUCKNER DONALD G ETUX ETAL

OWNER ADDR: 03305 GRANDE VISTA

NW ALBUQUERQUE

NM 87120

101005829330510102 LEGAL: TOWN OF ATRISCO GRANT AP48 TR 174 LAND USE:

PROPERTY ADDR: 00000 FORTUNA RD NW

OWNER NAME: CITY OF ALBUQUERQUE REAL ESTAT

OWNER ADDR: 00000

ALBUQUERQUE

NM 87103

101005827734910106 LEGAL: *16 1 OF WEST MESA MANOR NO 2 SUBD LAND USE:

PROPERTY ADDR: 00000 828 72ND ST NW
OWNER NAME: ESQUIBEL SYLVESTER & ANN
OWNER ADDR: 00828 72ND

ST NW ALBUQUERQUE NM 87105

101005827734210107

LEGAL: *15 1 OF WEST MESA MANOR NO 2 SUBD
PROPERTY ADDR: 00000 824 72ND ST NW
OWNER NAME: GARCIA MICHAEL & BERNADETTE
OWNER ADDR: 00824 72ND

LAND USE:

ST NW ALBUQUERQUE NM 87105

101005827733610108

LEGAL: *14 1 OF WEST MESA MANOR NO 2 SUBD
PROPERTY ADDR: 00000 820 72ND ST NW
OWNER NAME: MARTINEZ MARDODOQUE ETUX
OWNER ADDR: 02801 KATHERYN

LAND USE:

SE ALBUQUERQUE NM 87108

10100582732910109 LEGAL: *13 1 OF WEST MESA MANOR NO 2 SUBD LAND USE:
PROPERTY ADDR: 00000 816 72ND ST NW
OWNER NAME: CERVANTES CESAR L & YADIRA
OWNER ADDR: 00816 72ND ST NW ALBUQUERQUE NM 87105

101005826132921214 LEGAL: LT 2 6-A BLK 2 REPL OF LTS 26 & 27 BLK 2 WEST MESA LAND USE:
PROPERTY ADDR: 00000 817 72ND ST NW
OWNER NAME: OTERO SHAHN MICHAEL
OWNER ADDR: 00817 72ND ST NW ALBUQUERQUE NM 87121

101005826133621215 LEGAL: *25 2 WE ST MESA MANOR NO 2 SUBD LAND USE:
PROPERTY ADDR: 00000 821 72ND ST NW
OWNER NAME: CARROLL JAMES M ETUX
OWNER ADDR: 00821 72ND ST NW ALBUQUERQUE NM 87105

101005826134221216 LEGAL: *24 2 WE ST MESA MANOR NO 2 SUBD LAND USE:
PROPERTY ADDR: 00000 825 72ND ST NW
OWNER NAME: VARGAS EFREN & MYRNA
OWNER ADDR: 00825 72ND ST NW ALBUQUERQUE NM 87121

101005826134921217 LEGAL: *23 2 OF WEST MESA MANOR NO 2 SUBD LAND USE:
PROPERTY ADDR: 00000 829 72ND ST NW
OWNER NAME: MALONE JOHN E JR & RUTH M C/O
OWNER ADDR: 00623 AMHERST NE ALBUQUERQUE NM 87106

101005825032821224 LEGAL: *13 2 OF WEST MESA MANOR SUBD LAND USE:
PROPERTY ADDR: 00000 824 LANDMARK NW
OWNER NAME: DABNEY JOSEPH F ETUX
OWNER ADDR: 00824 LANDMARK NW ALBUQUERQUE NM 87105

101005825033521223 LEGAL: LOT 14 B LK 2 OF WEST MESA MANOR UNIT #2 LAND USE:
PROPERTY ADDR: 00000 828 LANDMARK ST NW
OWNER NAME: CASTILLO RANDY ETUX
OWNER ADDR: 00828 LANDMARK ST NW ALBUQUERQUE NM 87105

101005825034321222 LEGAL: *15 2 OF WEST MESA MANOR SUBD LAND USE:
PROPERTY ADDR: 00000 832 LANDMARK ST NW
OWNER NAME: MARES RONNIE E & JANET E
OWNER ADDR: 00832 LANDMARK ST NW ALBUQUERQUE NM 87121

101005824334821221 LEGAL: *16 2 OF WEST MESA MANOR SUBD LAND USE:
PROPERTY ADDR: 00000 7301 FREMONT PL NW
OWNER NAME: MCGUINNESS ABEL

OWNER ADDR: 07301 FREMONT PL NW ALBUQUERQUE NM 87121

101005823534921220 LEGAL: *17 2 OF WEST MESA MANOR SUBD LAND USE:

PROPERTY ADDR: 00000 7305 FREMONT NW

OWNER NAME: BIGHAM TRAVIS J & PENNY L

OWNER ADDR: 07305 FREMONT PL NW ALBUQUERQUE NM 87121

101005822934921219 LEGAL: *18 2 OF WEST MESA MANOR SUBD LAND USE:

PROPERTY ADDR: 00000 7309 FREMONT PL NW

OWNER NAME: TOMER BEATRICE & TOMER CHRISTI

OWNER ADDR: 07309 FREMONT NW ALBUQUERQUE NM 87121

101005822234921218 LEGAL: *19 2 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 7313 FREMONT NW
 OWNER NAME: COLEMAN ROBERT A JR
 OWNER ADDR: 07313 FREMONT NW ALBUQUERQUE NM 87121

101005823632221133 LEGAL: *24 3 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 7304 FREMONT NW
 OWNER NAME: MANCHA GEORGE ETUX
 OWNER ADDR: 07304 FREMONT NW ALBUQUERQUE NM 87105

101005822933221134 LEGAL: *23 3 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 7308 FREMONT NW
 OWNER NAME: PATON WILLARD M JR ETUX
 OWNER ADDR: 07308 FREMONT NW ALBUQUERQUE NM 87105

101005822233221135 LEGAL: *22 3 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 7312 FREMONT NW
 OWNER NAME: LOVATO MICHAEL & THERESA N
 OWNER ADDR: 07312 FREMONT PL NW ALBUQUERQUE NM 87121

101005821733221136 LEGAL: *21 3 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 7316 FREMONT NW
 OWNER NAME: JIRON SALLY M & GREG M
 OWNER ADDR: 07316 FREMONT PL NW ALBUQUERQUE NM 87121

101005821033221137 LEGAL: *20 3 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 7400 FREMONT NW
 OWNER NAME: KELEHER KEVIN J & HELEN L
 OWNER ADDR: 07400 FREMONT PL NW ALBUQUERQUE NM 87121

101005820333221138 LEGAL: *19 3 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 7404 FREMONT NW
 OWNER NAME: HOLGUIN PAUL ETUX
 OWNER ADDR: 07404 FREMONT NW ALBUQUERQUE NM 87105

101005819833221139 LEGAL: *18 3 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 7408 FREMONT PL NW
 OWNER NAME: LOPEZ EILEEN
 OWNER ADDR: 07408 FREMONT PL NW ALBUQUERQUE NM 87121

101005819133221140 LEGAL: *17 3 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 7412 FREMONT NW
 OWNER NAME: BREWER WILLIAM W ETUX

OWNER ADDR: 07412 FREMONT NW ALBUQUERQUE NM 87121
1010058178332620321

LEGAL: *20 4 OF WEST MESA MANOR SUBD LAND USE:
PROPERTY ADDR: 00000 817 CAESARS PALACE NM
OWNER NAME: CITIFINANCIAL INC
OWNER ADDR: 00000 HANOVER MD 21076

101005817833320322
LEGAL: *21 4 OF WEST MESA MANOR SUBD LAND USE:
PROPERTY ADDR: 00000 821 CAESARS PALACE NM
OWNER NAME: BARELA ABELICIO B
OWNER ADDR: 00821 CAESARS PALACE NW ALBUQUERQUE NM 87105

101005817734120323 LEGAL: *22 4 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 825 CAESARS PALACE NW
 OWNER NAME: DOMINGUEZ EDWIN ETUX
 OWNER ADDR: 00825 CESARS PALACE NW ALBUQUERQUE NM 87105

101005818234820324 LEGAL: *23 4 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 7417 FREMONT PL NW
 OWNER NAME: BACA MICHAEL A ETUX
 OWNER ADDR: 07417 FREMONT PL NW ALBUQUERQUE NM 87105

101005819034920325 LEGAL: *24 4 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 7413 FREMONT PL NW
 OWNER NAME: SPRUNK STEVE C ETUX
 OWNER ADDR: 07413 FREMONT NW ALBUQUERQUE NM 87105

101005819734920326 LEGAL: *25 4 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 7409 FREMONT PL NW
 OWNER NAME: JARAMILLO LEROY ETUX
 OWNER ADDR: 07409 FREMONT NW ALBUQUERQUE NM 87105

101005820234920327 LEGAL: *26 4 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 7405 FREMONT PL NW
 OWNER NAME: UITER LEONARD P ETUX
 OWNER ADDR: 07405 FREMONT NW ALBUQUERQUE NM 87105

101005820934920328 LEGAL: *27 4 OF WEST MESA MANOR SUBD LAND USE:
 PROPERTY ADDR: 00000 7401 FREMONT PL NW
 OWNER NAME: TORREZ FELIZ V & BERNICE TRUST
 OWNER ADDR: 07401 FREMONT PL NW ALBUQUERQUE NM 87121

101005816030820301 LEGAL: TOWN OF ATRISCO GRANT APUB TR180 10N 2E SEC LAND USE:
 PROPERTY ADDR: 00000 FORTUNA RD NW
 OWNER NAME: RUIZ DAGOBERTO & MIRIAM E & RU
 OWNER ADDR: 01128 ATRISCO DR NW ALBUQUERQUE NM 87105

101005813934420211 LEGAL: NE P OR T R 181 AIRPORT UNIT LESS POR TO R/W ATRISCO LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: LORENTZEN JOHN
 OWNER ADDR: 02909 YALE BL SE ALBUQUERQUE NM 87106

101005812834120209 LEGAL: THE N.W.L Y PORT OF TR 181 SOUTH OF I-40 AIRPORT UNI LAND USE:
 PROPERTY ADDR: 00000
 OWNER NAME: LORENTZEN JOHN

OWNER ADDR: 02909 YALE

BL SE ALBUQUERQUE

NM 87106

101005813332820218

LEGAL: S 10 3.70 OF N 308.70 FT TR 181 AIRPORT UNIT ATR GR LAND USE:

PROPERTY ADDR: 00000 N/A

OWNER NAME: LORENTZEN JOHN

OWNER ADDR: 02909 YALE

BL SE ALBUQUERQUE

NM 87106

101005811237820507

LEGAL: THE SOUT HERLY 0.3696 AC OF TRACT 232 TOWN OF ATRIS LAND USE:

PROPERTY ADDR: 00000 N/A

OWNER NAME: A.M.A.F.C.A.

OWNER ADDR: 02600 PROSPECT

NW ALBUQUERQUE

NM 87107

101005813241220506 LEGAL: THE S'LY 108 FT OF THE N'LY POR OF TR 231 TOWN OF LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: A M A F C A
 OWNER ADDR: 02600 PROSPECT NE ALBUQUERQUE NM 87107

101005815940921018 LEGAL: THE SOUT HERLY 0.5669 AC OF TRACT 230 TOWN OF ATRIS LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: A.M.A.F.C.A.
 OWNER ADDR: 02600 PROSPECT NW ALBUQUERQUE NM 87107

101005817942521016 LEGAL: THE SOUT HERLY 0.5671 AC OF TRACT 229 TOWN OF ATRIS LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: A.M.A.F.C.A.
 OWNER ADDR: 02600 PROSPECT NW ALBUQUERQUE NM 87107

101005820043721014 LEGAL: THE S'LY 117.62 FT OF THE N'LY POR TR 228 TOWN OF LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: A M A F C A
 OWNER ADDR: 02600 PROSPECT NE ALBUQUERQUE NM 87107

101005822044321012 LEGAL: THE S'LY 117.62 FT OF THE N'LY POR OF TR 227 TOWN LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: A M A F C A
 OWNER ADDR: 02600 PROSPECT NE ALBUQUERQUE NM 87107

101005823246521010 LEGAL: NLY POR OF TR 226 TOWN OF ATRISCO GRANT AIRPORT UN LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: AMAFCA
 OWNER ADDR: 02600 PROSPECT NE ALBUQUERQUE NM 87107

101005828748011011 LEGAL: TRAC T A PLAT OF CHAMISA POINTE SUBD UNIT ONE (TOGE LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: CITY OF ALBUQUERQUE REAL ESTAT
 OWNER ADDR: 00000 ALBUQUERQUE NM 87103

101005825546211012 LEGAL: DRAI NAGE ROW PLAT OF CHAMISA POINTE SUBD UNIT ONE LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: CITY OF ALBUQUERQUE REAL ESTAT
 OWNER ADDR: 00000 ALBUQUERQUE NM 87103

Project # 100694

FAMILY WORSHIP CENTER
5200 ILIFF NW
ALBUQUERQUE NM 87105

101005818037320904

MARQUEZ A BARBOA SAN TURNIN
916 ALTA VISTA CT SW
ALBUQUERQUE NM 87105

101005824239620910

GONZALEZ EMILIA S TRUSTEE GON
10204 LA PAZ NW
ALBUQUERQUE NM 87114

101005827734910106

ESQUIBEL SYLVESTER & ANN
828 72ND ST NW
ALBUQUERQUE NM 87105

101005827732910109

CERVANTES CESAR L & YADIRA
816 72ND ST NW
ALBUQUERQUE NM 87105

101005826134221216

VARGAS EFREN & MYRNA
825 72ND ST NW
ALBUQUERQUE NM 87121

101005825033521223

CASTILLO RANDY ETUX
828 LANDMARK ST NW
ALBUQUERQUE NM 87105

101005823534921220

BIGHAM TRAVIS J & PENNY L
7305 FREMONT PL NW
ALBUQUERQUE NM 87121

101005823632221133

MANCHA GEORGE ETUX
7304 FREMONT NW
ALBUQUERQUE NM 87105

101005821733221136

JIRON SALLY M & GREG M
7516 FREMONT PL NW
ALBUQUERQUE NM 87121

Project # 1000694

JOHN GRIEGO & GERALD CHAVEZ
2810 SILER LANE
SANTA FE NM 87501

101005820038020906

BANDONI LARRY
1705 SAN CRISTOBAL SW
ALBUQUERQUE NM 87104

101005827140310401

LORENTZEN JOHN
C/O SW REALTY
2909 YALE BL SE
ALBUQUERQUE NM 87106

101005827734210107

GARCIA MICHAEL & BERNADETTE
824 72ND ST NW
ALBUQUERQUE NM 87105

101005826132921214

OTERO SHAWN MICHAEL
817 72ND ST NW
ALBUQUERQUE NM 87121

101005826134921217

MALONE JOHN E JR & RUTH M C/O
623 AMHERST NE
ALBUQUERQUE NM 87106

101005825034321222

MARES RONNIE E & JANET E
832 LANDMARK ST NW
ALBUQUERQUE NM 87121

101005822934921219

TOMER BEATRICE & TOMER CHRIST
7309 FREMONT NW
ALBUQUERQUE NM 87121

101005822933221134

PATTON WILLARD M JR ETUX
7308 FREMONT NW
ALBUQUERQUE NM 87105

101005821033221137

KELEHER KEVIN J & HELEN L
7400 FREMONT PL NW
ALBUQUERQUE NM 87121

101005816236720902

GOMEZ JOE F ETUX
7301 LYNWOOD DR NW
ALBUQUERQUE NM 87120

101005822338920908

HAMMER BENNETT A
PO BOX 7098
ALBUQUERQUE NM 87194

101005829141610402

BRUCKNER DONALD G ETUX ETAL
3305 GRANDE VISTA NW
ALBUQUERQUE NM 87120

101005827733610108

MARTINEZ MARDOQUEO ETUX
2801 KATHERYN SE
ALBUQUERQUE NM 87108

101005826133621215

CARROLL JAMES M ETUX
821 72ND ST NW
ALBUQUERQUE NM 87105

101005825032821224

DABNEY JOSEPH F ETUX
824 LANDMARK NW
ALBUQUERQUE NM 87105

101005824334821221

MCGUINNESS ABEL
7301 FREMONT PL NW
ALBUQUERQUE NM 87121

101005822234921218

COLEMAN ROBERT A JR
7313 FREMONT NW
ALBUQUERQUE NM 87121

101005822233221135

LOVATO MICHAEL & THERESA N
7312 FREMONT PL NW
ALBUQUERQUE NM 87121

101005820333221138

HOLGUIN PAUL ETUX
7404 FREMONT NW
ALBUQUERQUE NM 87105

101005819833221139

LOPEZ EILEEN
7408 FREMONT PL NW
ALBUQUERQUE NM 87121

101005817833320322

BARELA ABELICIO B
821 CESARS PALACE NW
ALBUQUERQUE NM 87105

101005819034920325

SPRUNK STEVE C ETUX
7413 FREMONT NW
ALBUQUERQUE NM 87105

101005820934920328

TORREZ FELIZ V & BERNICE TRUS
7401 FREMONT PL NW
ALBUQUERQUE NM 87121

101005811237820507

A.M.A.F.C.A.
2600 PROSPECT NW
ALBUQUERQUE NM 87107

101005819133221140

BREWER WILLIAM W ETUX
7412 FREMONT NW
ALBUQUERQUE NM 87121

101005817734120323

DOMINGUEZ EDWIN ETUX
825 CESARS PALACE NW
ALBUQUERQUE NM 87105

101005819734920326

JARAMILLO LEROY ETUX
7409 FREEMONT NW
ALBUQUERQUE NM 87105

101005816030820301

RUIZ DAGOBERTO & MIRIAM E & R
1128 ATRISCO DR NW
ALBUQUERQUE NM 87105

101005817832620321

MONTOYA RUBERN R & JUDY
817 CAESARS PALACE NW
ALBUQUERQUE NM 87121

101005818234820324

BACA MICHAEL A ETUX
7417 FREMONT PL NW
ALBUQUERQUE NM 87105

101005820234920327

UTTER LEONARD P ETUX
7405 FREMONT NW
ALBUQUERQUE NM 87105

101005813934420211

LORENTZEN JOHN
2909 YALE BL SE
ALBUQUERQUE NM 87106

9/2/03

Mary Piscatelli

City of Albuquerque Planning Department
Development Review Section
Albuquerque, New Mexico 87110

Site Development Plan for Building Permit Deficiencies – Revised Submittal
EPC PROJECT No. 1000694, EPC CASE No. 03 EDC 01111

Thank you for your assistance with this revised submittal. The following items correspond to the comments and have been revised on the attached drawing sheets as noted:

Sheet 1 – C-1.2 MASTER PLAN WITH PHASE I

- I-40 RIGHT OF WAY
- PROPERTY LINE DESIGNATION
- PARKING CALCULATIONS / REQUIREMENTS
- CURB CUT DIMENSION @ GELNRIO ROAD
- SITE SIGN LOCATION & DIMENSIONS
- MAIN DRIVEWAY REVISED TO 40' WIDTH
- CURB RETURNS REVISED TO 25'
- RESIDENTIAL SITE DRIVE REVISED TO 30'
- PHASE I ANGULAR PARKING REVISED TO 90 DEGREE PARKING
- PHASE II ANGULAR PARKING REVISED TO 90 DEGREE

Sheet 2 – C-1.3 SITE DRAINAGE PLAN

- SITE GRADING NARRATIVE
- PARKING REVISED TO COMPORT WITH C-1.2

Sheet 3 – C-1.7 UTILITY PLAN - PHASE I

- SITE UTILITIES

Sheet 4 – C-5.2 PARKING DETAILS

- PARKING STALL DIMENSIONS, TYPICAL
- REFUSE ENCLOSURE, DIMENSIONS & ELEVATION

Sheet 5 – L-1 LANDSCAPE PLAN

- BAR SCALE & NORTH ARROW ADDED
- GROUND COVER MATERIAL DESCRIPTION
- LANDSCAPE PHASING DESCRIBED

RECEIVED SEP 04 2003

PLANNING DEPARTMENT

P.O. Box 1293
Albuquerque, NM 87103
600 2nd St. NW
Albuquerque, NM 87102



Fax Transmittal Cover Sheet

To: JOHN GRIEGO / JERRY

Company: GRIEGO & ASSOC. LLC

Fax No: 505 438-0028

Telephone: 438-989-9476

From: MARY PISCITELLI

Division: Administration Planning Department

Telephone: 505-924-3860

Total No. Of Pages (including Cover Page) _____

RECEIVED SEP 04 2003

COMMENTS: EPC SUBMITTAL DEFICIENCIES &

AGENCY COMMENTS

FAX TRANSMITTAL

PAGE ____ of ____

City of Albuquerque Planning Department
 Development Review Division
 924-3860 / 924-3339 FAX
rev: 6/2003 x:\share\epcstuff\siteplan\NewFax.txt

DATE: 8/8/03

TO: _____ FAX #: _____
 FROM: Melita Hill Contact Phone #: 924-3879
 RE: **Site Development Plan for Building Permit Deficiencies**
 Project Description: _____
 EPC Project #: 1000694 EPC Case #: 03EPC 0111

Upon review, our office has determined that there are deficiencies with your Site Development Plan for Building Permit, submitted for EPC approval. The extent and/or nature of these deficiencies:

- Allow for provisional distribution to other agencies and City Departments; eleven (11) copies of a complete site plan that clearly addresses all Site Development Plan for Building Permit Checklist items must be submitted to the Planning Department (staff planner) by _____
- Warrant rejection of this site plan submittal: Deficiencies prevent a complete and meaningful review of the plan(s). Consequently, this request will not be scheduled for the EPC hearing on _____; resubmittal of a complete site plan that addresses all Site Development Plan for Building Permit Checklist items is necessary to be scheduled for a future EPC hearing

DEFICIENCIES:

- Indicate Interstate to r.o.w.
- Clearly identify property lines
- Need elevation drawing of refuse container and enclosure
- Need parking calculations for autos and bicycles
- Need refuse enclosure dimensions
- Need curb cut dimensions - width at street edge.
- ~~Need curb cut dimensions - width at street edge.~~
- Provide utility plan for site.
- Provide bar scale and north arrow for landscape plan.
- Describe type of groundcover material
- Describe phasing of landscaping

RECEIVED SEP 04 2003

FAX TRANSMITTAL

City of Albuquerque Planning Department
Development Review Division
924-3860 / 924-3339 FAX

PAGE 2 of 2DATE: 8/8/03**DEFICIENCIES (cont.):**

- ~~Provide~~
- Provide narrative description on grading plan of existing site topography, proposed grading improvements and topography within 100 feet.
- Need dimensions of doors
- Need material and color information for the building exterior.
- Provide dimensions, materials, colors, for sign. Identify location of sign on the site plan.

RECEIVED SEP 04 2003

Consolidated Comments for EPC Agenda of September 18, 2003**03EPC - 01111 (J-10)**

Glenrio / 72nd Area [8 acres] TIS - N

#1000694**Transportation Development:**

- All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.
- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- Site shall comply and be designed per DPM Standards.
- Main driveway for phase 1 to be 36' - 40' in width.
- Provide 25' curb returns at site drives.
- Maximum width for site drive to residence to be 30'.
- Provide angle and typical dimensions of parking spaces. Parking lot layout/site circulation in phase I & II may need to be modified (i.e. drive aisle width, end aisles number of spaces, etc. depending on this info.).
- For phase 1 angled parking, north of fellowship hall and adjacent to the 24' drive aisle. change angled parking to perpendicular parking.
- For phase two parking, adjacent to education center, provide parking that is perpendicular to building.
- Site plan on sheet C1.2 should match sheet C1.3 (i.e. parking lot layout).

Utility Development:

- Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development prior to site plan sign off at DRB. DRB sign off will be contingent on financial guarantees for required infrastructure, depending on the status of other pending actions, could include improvements in 72nd Street.

Traffic Engineering Operations:

- No comments.

Hydrology:

- No adverse comment on Site Plan for Building Permit.

Transportation Planning:**Information**

- The applicant is advised that the New Mexico Department of Transportation (NMDOT) is preparing the alignment study and preliminary design for reconstruction of the Coors Boulevard and I-40 Interchange. A number of alignment alternatives are under consideration, including an option for a frontage road along the south side of interstate 40 between Unser Boulevard and Coors Boulevard. For more information, the applicant is encouraged to contact Mr. Tony Abbo (505 827-9852) the project manager for the NMDOT.

Comments continued on next page:

RECEIVED SEP 04 2003

Street Maintenance:

- No comments.

Water Resources, Water Utilities and Wastewater Utilities:

- No comments.

New Mexico State Highway and Transportation Department:

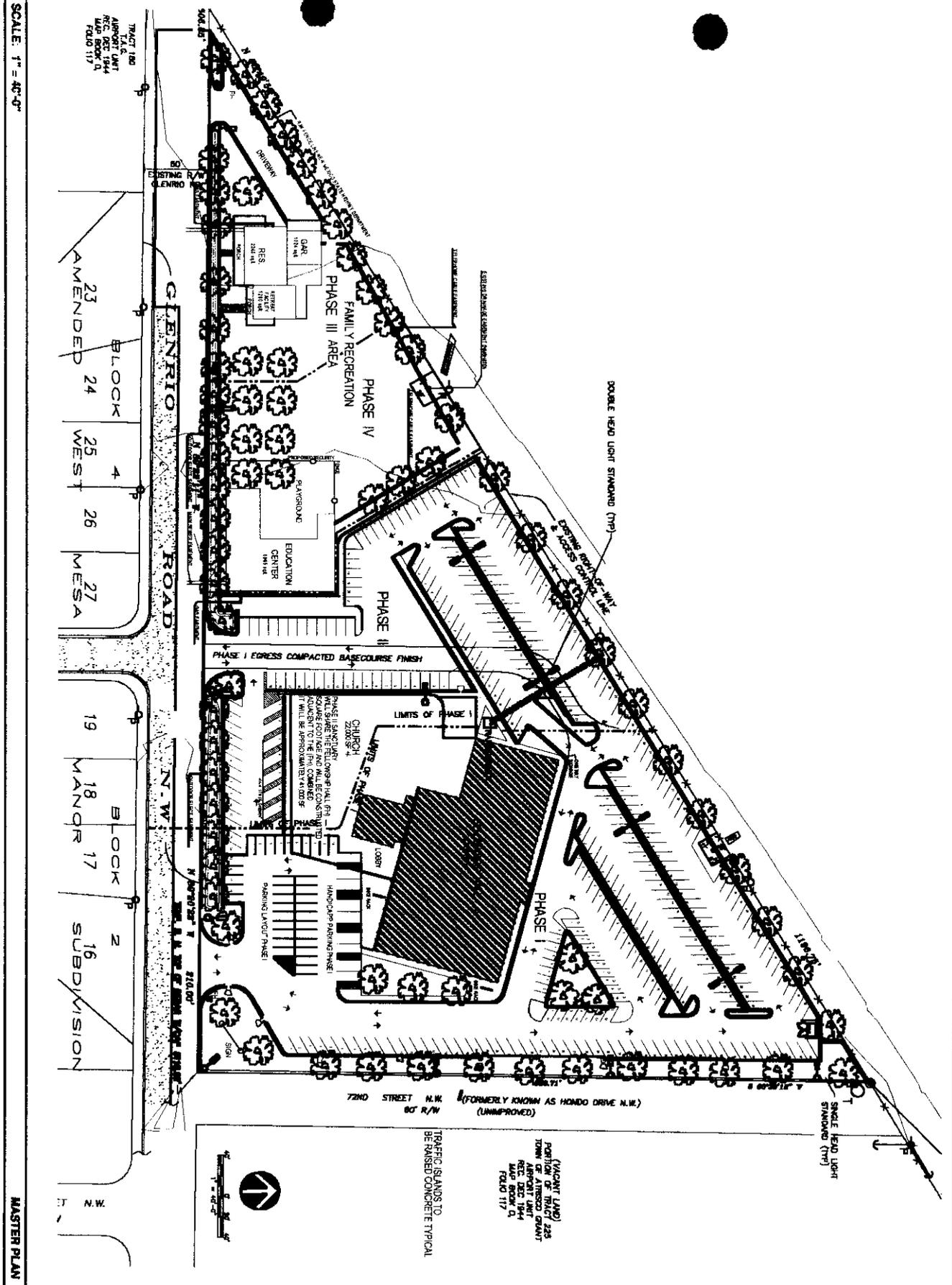
- No comments.

RECOMMENDED CONDITIONS FROM CITY ENGINEER and PUBLIC WORKS:

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- c. Site shall comply and be designed per DPM Standards.
- d. Main driveway for phase 1 to be 36' - 40' in width.
- e. Provide 25' curb returns at site drives.
- f. Maximum width for site drive to residence to be 30'.
- g. Provide angle and typical dimensions of parking spaces. Parking lot layout/site circulation in phase I & II may need to be modified (i.e. drive aisle width, end aisles number of spaces, etc. depending on this info.).
- h. For phase 1 angled parking, north of fellowship hall and adjacent to the 24' drive aisle change angled parking to perpendicular parking.
- i. For phase two parking, adjacent to education center. provide parking that is perpendicular to building.
- j. Site plan on sheet C1.2 should match sheet C1.3 (i.e. parking lot layout).
- k. Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development prior to site plan sign off at DRB.

RECEIVED SEP 04 2003



MASTER PLAN

10 of 35

C12

1" = 40'-0"

MASTER PLAN

DATE: 08-15-83

10 of 35

GRIEGO
 & Associates, L.L.C.
 ENGINEERING
 ARCHITECTURE
 PLANNING
 2015 24th St. N.E.
 Albuquerque, NM 87110
 P.O. Box 10000
 P.O. Box 20000
 P.O. Box 30000

**FAMILY WORSHIP CENTER
 FELLOWSHIP HALL & CLASSROOMS**

7311 GLENRIO RD.
 ALBUQUERQUE, NEW MEXICO

REVISED 9/16/03

Project Information GPROJNAM

Search for Project#

Current Project# 1000694

Project Name

Project Type

Project Status

Project Description

MINOR SUBDIVISION SKETCH PLAN REVIEW AND COMMENT

Application	Project #	Application Name	Application Type	Sub Type	Category
00110	00000	01020	1000694	EPC	Zone Map Amendment
00128	00000	01021	1000694	EPC	EPC Site Development Plan
00460	00000	01214	1000694	DRB	Minor Subdivision
02500	00000	00568	1000694	DRB	Major Subdivision
03500	00000	00540	1000694	DRB	Minor Subdivision
				N/A	Subdivision
				Sketch Plan or Plan	Environmental Planning Commi
				Vacation of Pub Right of Way	N/A
				Site Dev Plan Subd EPC	Roadways - Streets / Alleys
					N/A

9/2/03

Mary Piscatelli

City of Albuquerque Planning Department
Development Review Section
Albuquerque, New Mexico 87110

Site Development Plan for Building Permit Deficiencies – Revised Submittal
EPC PROJECT No. 1000694, EPC CASE No. 03 EDC 01111

Thank you for your assistance with this revised submittal. The following items correspond to the comments and have been revised on the attached drawing sheets as noted:

Sheet 1 – C-1.2 MASTER PLAN WITH PHASE I

- I-40 RIGHT OF WAY
- PROPERTY LINE DESIGNATION
- PARKING CALCULATIONS / REQUIREMENTS
- CURB CUT DIMENSION @ GELNRIO ROAD
- SITE SIGN LOCATION & DIMENSIONS
- MAIN DRIVEWAY REVISED TO 40' WIDTH
- CURB RETURNS REVISED TO 25'
- RESIDENTIAL SITE DRIVE REVISED TO 30'
- PHASE I ANGULAR PARKING REVISED TO 90 DEGREE PARKING
- PHASE II ANGULAR PARKING REVISED TO 90 DEGREE

Sheet 2 – C-1.3 SITE DRAINAGE PLAN

- SITE GRADING NARRATIVE
- PARKING REVISED TO COMPORT WITH C-1.2

Sheet 3 – C-1.7 UTILITY PLAN - PHASE I

- SITE UTILITIES

Sheet 4 – C-5.2 PARKING DETAILS

- PARKING STALL DIMENSIONS, TYPICAL
- REFUSE ENCLOSURE, DIMENSIONS & ELEVATION

Sheet 5 – L-1 LANDSCAPE PLAN

- BAR SCALE & NORTH ARROW ADDED
- GROUND COVER MATERIAL DESCRIPTION
- LANDSCAPE PHASING DESCRIBED

RECEIVED SEP 04 2003

Sheet 6 – A-4.1.1 EXTERIOR ELEVATIONS

- DOORS DIMENSIONED
- MATERIALS AND COLORS NOTED

Sheet 7 – A-4.1.2 EXTERIOR ELEVATIONS

- DOORS DIMENSIONED
- MATERIALS AND COLORS NOTED

Please contact me if you have any further questions or concerns.

Sincerely,



Jerry Chavez

RECEIVED SEP 04 2003

FAX TRANSMITTAL

PAGE ____ of ____

City of Albuquerque Planning Department
 Development Review Division
 924-3860 / 924-3339 FAX

DATE: 8/8/03

rev: 6/2003 x:\share\epc\staff\siteplan\NewFaxList

TO: _____ FAX #: _____
 FROM: Melita Hill Contact Phone #: 924-3879
 RE: **Site Development Plan for Building Permit Deficiencies**
 Project Description: _____
 EPC Project #: 1000694 EPC Case #: 03EPC 0111

Upon review, our office has determined that there are deficiencies with your Site Development Plan for Building Permit, submitted for EPC approval. The extent and/or nature of these deficiencies:

- Allow for provisional distribution to other agencies and City Departments; eleven (11) copies of a complete site plan that clearly addresses all Site Development Plan for Building Permit Checklist items must be submitted to the Planning Department (staff planner) by _____
- Warrant rejection of this site plan submittal: Deficiencies prevent a complete and meaningful review of the plan(s). Consequently, this request will not be scheduled for the EPC hearing on _____; resubmittal of a complete site plan that addresses all Site Development Plan for Building Permit Checklist items is necessary to be scheduled for a future EPC hearing

DEFICIENCIES:

- Indicate Interstate to r.o.w.
- Clearly identify property lines
- Need elevation drawing of refuse container and enclosure
- Need parking calculations for autos and bicycles
- Need refuse enclosure dimensions
- Need curb cut dimensions - width at street edge
- ~~Need curb cut dimensions~~
- Provide utility plan for site.
- Provide bar scale and north arrow for landscape plan.
- Describe type of groundcover material
- Describe phasing of landscaping

RECEIVED SEP 04 2003

FAX TRANSMITTALPAGE 2 of 2

City of Albuquerque Planning Department
Development Review Division
924-3860 / 924-3339 FAX

DATE: 8/8/03

DEFICIENCIES (cont.):

- ~~Provide~~
- Provide narrative described on grading plan of existing site topography, proposed grading improvements and topography within 100 feet.
- Need dimensions of doors
- Need material and color information for the building exterior.
- Provide dimensions, materials, colors, for sign. Identify location of sign on the site plan.

RECEIVED SEP 04 2003

Consolidated Comments for EPC Agenda of September 18, 2003

03EPC - 01111 (J-10)

Glenrio / 72nd Area [8 acres] TIS - N

#1000694**Transportation Development:**

- All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.
- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for
- Site shall comply and be designed per DPM Standards.
- Main driveway for phase 1 to be 36' - 40' in width.
- Provide 25' curb returns at site drives.
- Maximum width for site drive to residence to be 30'.
- Provide angle and typical dimensions of parking spaces. Parking lot layout/site circulation in phase I & II may need to be modified (i.e. drive aisle width, end aisles number of spaces, etc. depending on this info.).
- For phase 1 angled parking, north of fellowship hall and adjacent to the 24' drive aisle change angled parking to perpendicular parking.
- For phase two parking, adjacent to education center, provide parking that is perpendicular to building.
- Site plan on sheet C1.2 should match sheet C1.3 (i.e. parking lot layout).

Utility Development:

- Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development prior to site plan sign off at DRB. DRB sign off will be contingent on financial guarantees for required infrastructure, depending on the status of other pending actions, could include improvements in 72nd Street.

Traffic Engineering Operations:

- No comments.

Hydrology:

- No adverse comment on Site Plan for Building Permit.

Transportation Planning:*Information*

- The applicant is advised that the New Mexico Department of Transportation (NMDOT) is preparing the alignment study and preliminary design for reconstruction of the Coors Boulevard and I-40 Interchange. A number of alignment alternatives are under consideration, including an option for a frontage road along the south side of interstate 40 between Unser Boulevard and Coors Boulevard. For more information, the applicant is encouraged to contact Mr. Tony Abbo (505 827-9852) the project manager for the NMDOT.

Comments continued on next page:

RECEIVED SEP 04 2003

Street Maintenance:

- No comments.

Water Resources, Water Utilities and Wastewater Utilities:

- No comments.

New Mexico State Highway and Transportation Department:

- No comments.

RECOMMENDED CONDITIONS FROM CITY ENGINEER and PUBLIC WORKS:

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.
- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
- Site shall comply and be designed per DPM Standards.
- Main driveway for phase 1 to be 36' - 40' in width.
- Provide 25' curb returns at site drives.
- Maximum width for site drive to residence to be 30'.
- Provide angle and typical dimensions of parking spaces. Parking lot layout/site circulation in phase I & II may need to be modified (i.e. drive aisle width, end aisles number of spaces, etc. depending on this info.).
- For phase 1 angled parking, north of fellowship hall and adjacent to the 24' drive aisle change angled parking to perpendicular parking.
- For phase two parking, adjacent to education center, provide parking that is perpendicular to building.
- Site plan on sheet C1.2 should match sheet C1.3 (i.e. parking lot layout).
- Fire protection requirements including instantaneous flow and hydrant placement must be verified with the Fire Marshals office and Utility Development prior to site plan sign off at DRB.

RECEIVED SEP 04 2003

Family Worship Center

5200 Cliff N.W.

Albuquerque, New Mexico 87105

Telephone (505) 831-5365

Steve Ulibarri, Pastor



July 3, 2003

Attention: Joe McSorely
Regarding John Griego

To Whom It May Concern:

John Griego is the authorized agent for Family Worship Center.

Sincerely,

A handwritten signature in cursive script that reads "Steve Ulibarri".

Pastor Steve Ulibarri

This submittal is two fold, one, it is a submittal for Site Development Plan for Subdivision and secondly it is a submittal for Site Development Plan for Building Permit Plat .

[Handwritten signature]

7-03-03

2810 Siler Lane, Santa Fe, New Mexico
505 438-0027 fax 438-0028

July 03, 2003

Environmental Planning Commission (EPC)
City of Albuquerque
Via : Russel Brito, Planner
City of Albuquerque

Re: project summary

AGENT **GRIEGO&associates LLC**
APPLICANT **FAMILY WORSHIP CENTER, John Griego agent**

REQUESTS **~~ZONE MAP AMENDMENT (7.36 AC.) AND~~
APPROVAL OF A SITE DEVELOPMENT PLAN
FOR SUBDIVISION: **BLOG PERMIT****

LEGAL DESCRIPTION **SOUTHERLY PORTIONS OF
TRACTS 226, 227, 228, 229 AND 230
AIRPORT UNIT
TOWN OF ATRISCO
CITY OF ALBUQUERQUE
BERNALLILLO COUNTY, NEW MEXICO**

LOCATION **GLENRIO RD. BETWEEN I-40 TO THE NORTH
COORS BLVD. TO THE EAST AND GLENRIO RD. TO THE
SOUTH.**

SIZE **7.36 AC.**

EXISTING ZONING **SU-1**



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter -- you will need to get an updated letter from our office. It is your responsibility to provide current information -- outdated information may result in a deferral of your case.

Date: July 3, 2003

TO CONTACT NAME: John Greco
COMPANY/AGENCY: Greco & Associates LLC
ADDRESS/ZIP: 2810 Silver Lane Santa Fe NM 87505
PHONE/FAX #: 505-438-0027 / 505-438-0028

Thank you for your inquiry of 7-3-03 (date) requesting the names of Recognized

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Down of America Grant, City of Albuquerque, Southerly portions of tracts 226, 227, 228, 229 and 230. zone map page(s) 5-10

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

Los Volcanes
Neighborhood Association
Contacts: Sally Breeden
6503 Honeylocust Ave NW
352-0159 (W) 262-7361 (W) 87121
Ben Sandoval
6516 Honeylocust A. NW
836-4419 (W) 87121

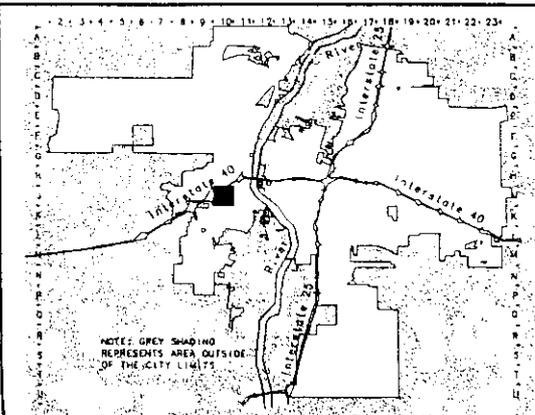
Laurelwood
Neighborhood Association
Contacts: Steve Tardy
7424 Lynwood Dr NW
323-7771 (W) 87120
Nancy Treviso
7812 Sherwood Dr NW
831-6132 (W) 87120

See reverse side for additional Neighborhood Association Information: YES { } NO [X]

Please note that according to O-92 you are required to notify each of these contact persons by CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE the Planning Department will accept your application filing. IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,
Dalaina S. Carmona
OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.



CITY OF
Albuquerque
A G I S
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page

J-10-Z

Map Amended through January 21, 2003

7003 1010 0005 0063 877

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

ALBUQUERQUE, NM 87121

Postage	\$ 0.37	UNIT ID: 0101 Postmark Here Clerk: KVBYSO 07/03/03
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.67	

Sent To: BEN SANDOVAL - LOS VOLCANES
 Street, Apt. No., or PO Box No.: 6516 Honeylocust Pl NW
 City, State, ZIP+4: ALBUQUERQUE, NM 87121

PS Form 3800, June 2002 See Reverse for Instructions

7003 1010 0005 0063 8789

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

ALBUQUERQUE, NM 87120

Postage	\$ 0.60	UNIT ID: 0101 JUL 3 2003 Postmark Here Clerk: KVBYSO 07/03/03
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.90	

Sent To: NANCY TREVISO - LAURELWOOD
 Street, Apt. No., or PO Box No.: 7812 SHERWOOD DR NW
 City, State, ZIP+4: ALBUQUERQUE, NM 87120

PS Form 3800, June 2002 See Reverse for Instructions

7003 1010 0005 0063 8758

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

ALBUQUERQUE, NM 87121

Postage	\$ 0.37	UNIT ID: 0101 Postmark Here Clerk: KVBYSO 07/03/03
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.67	

Sent To: SALLEY BREEDEN - LOS VOLCANES
 Street, Apt. No., or PO Box No.: 6503 Honeylocust Ave NW
 City, State, ZIP+4: ALBUQUERQUE, NM 87121

PS Form 3800, June 2002 See Reverse for Instructions

7003 1010 0005 0063 8765

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

ALBUQUERQUE, NM 87120

Postage	\$ 0.60	UNIT ID: 0101 JUL 3 2003 Postmark Here Clerk: KVBYSO 07/03/03
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.90	

Sent To: STEVE TARTY - LAURELWOOD N.A.
 Street, Apt. No., or PO Box No.: 7424 Lynwood Dr NW
 City, State, ZIP+4: ALBUQUERQUE, NM 87120

PS Form 3800, June 2002 See Reverse for Instructions

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from AUG 6 2003 To AUG 21 2003

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Juan Rego
(Applicant or Agent)

7-03-03
(Date)

I issued 2 signs for this application, 7/3/03, JAM
(Date) (Staff Member)

03EPC - 01111

DRB PROJECT NUMBER: 1000694

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol -2nd & 4TH Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME FAMILY WORSHIP CENTER
AGENT JOAN GRIEGO
ADDRESS _____
PROJECT NO. 1000694
APPLICATION NO. _____

\$ _____ 441006 / 4983000 (DRB Cases)
\$ 385 441006 / 4971000 (EPC & AA / LUCC / Appeals)
\$ 75 441018 / 4971000 (Notification)
\$ 460.- Total amount due

GRIEGO & ASSOCIATES, LLC CONSULTING ENGINEERS, ARCHITECTS, PLANNERS P.O. BOX 8743 505-989-9476 SANTA FE, NM 87504-8743		95-7244/3070 0029009746	5264
DATE <u>7-03-03</u>			
PAY TO THE ORDER OF <u>City of ABQ</u>	\$ <u>460⁰⁰</u>		
<u>four hundred sixty 00/1000</u>		DOLLARS	
CENTURYBANKSM Since 1887 P.O. Box 1507 Santa Fe, New Mexico 87504 • www.centurybank.com			
MEMO _____	<u>Griego</u>		MP
⑆307072443⑆ 002 9009746⑆ 5264			

counterreceipt.doc 10/28/02

NOTICE TO APPLICANT

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTER

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

- . The street address of the subject property.
- . The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
- . A physical description of the location, referenced to streets and existing land use.
- . A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just off the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.

The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

(below this line for OCNC use only)

Point of Inquiry: 7-3-03 Time Entered: lem OCNC Rep. Initials: DC

RECEIVED SEP 04 2003

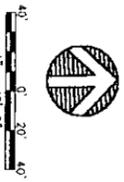
- NOTES:**
- SEE PARKING LOT DETAILS ON SHEET C-5.2
 - "C" DENOTES A PARKING SPOT DESIGNED FOR COMPACT CARS.

PARKING TABULATION:

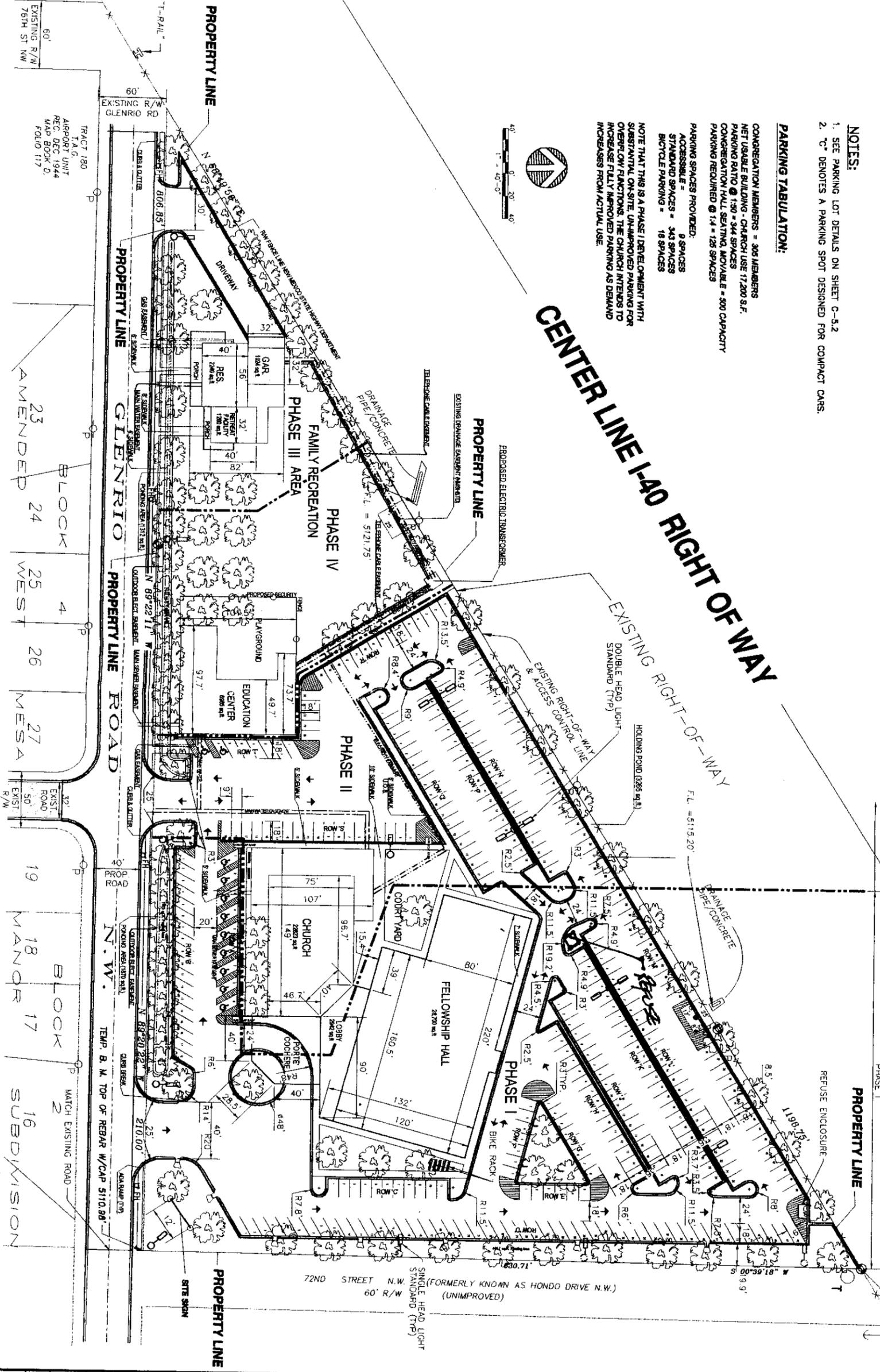
CONGREGATION MEMBERS = 306 MEMBERS
 NET USABLE BUILDING - CHURCH USE 17,200 S.F.
 PARKING RATIO @ 1:50 = 344 SPACES
 CONGREGATION HALL SEATING, MOVABLE = 300 CAPACITY
 PARKING REQUIRED @ 1:4 = 126 SPACES

PARKING SPACES PROVIDED:
 ACCESSIBLE = 9 SPACES
 STANDARD SPACES = 343 SPACES
 BICYCLE PARKING = 18 SPACES

CENTER LINE I-40 RIGHT OF WAY



1" = 40'-0"



SCALE: 1" = 40'-0"

TRACT 180
 T.A.G.
 AIRPORT UNIT
 REC. DEC 1944
 MAP BOOK D
 FOLIO 117

EXISTING R/W
 GLENRIO RD
 60'

EXISTING R/W
 50'

TEMP. B. M. TOP OF REBAR W/CAP 5110.98

72ND STREET N.W.
 (FORMERLY KNOWN AS HONDO DRIVE N.W.)
 60' R/W
 (UNIMPROVED)

REVISED 9-3-03

MASTER PLAN - PHASE I

**FAMILY WORSHIP CENTER
 FELLOWSHIP HALL & CLASSROOMS**

7311 GLENRIO RD.
 ALBUQUERQUE, NEW MEXICO

GRIEGO
 & ASSOCIATES LLC
 ENGINEERING
 ARCHITECTURE
 PLANNING

2810 GLEN LN
 SANTA FE, NM
 FAX 505-438-0028
 * griego@griego.net

SHEET TITLE	1 OF 7
MASTER SITE PLAN - PHASE I	
SCALE	1" = 40'-0"
DATE	9-11-03
REVISION	WR
DATE	JG

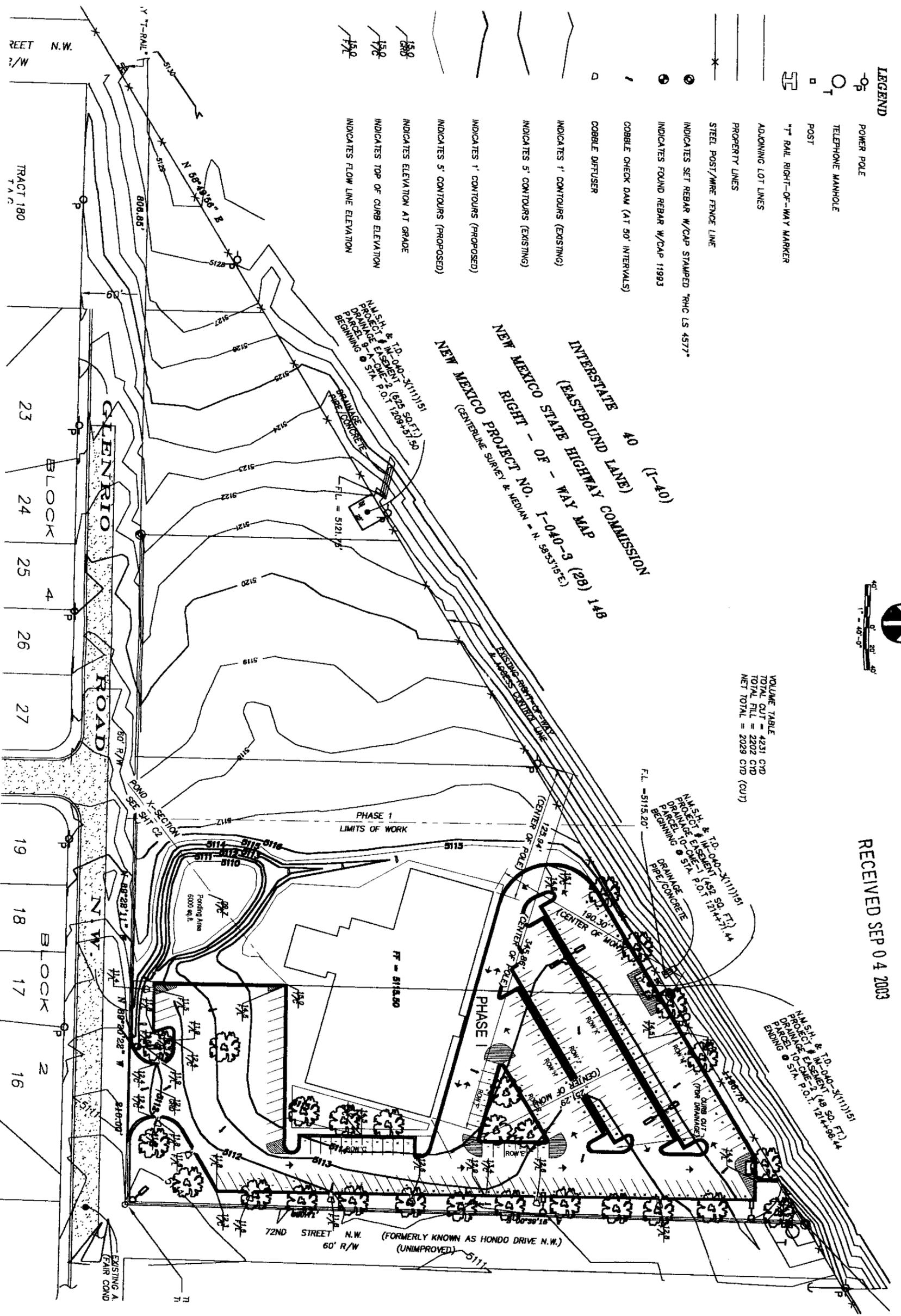
LEGEND

- POWER POLE
- TELEPHONE MANHOLE
- POST
- ⊥ RAIL RIGHT-OF-WAY MARKER
- ADJOINING LOT LINES
- PROPERTY LINES
- STEEL POST/WIRE FENCE LINE
- INDICATES SET REBAR W/CAP STAMPED "RHC LS 4577"
- INDICATES FOUND REBAR W/CAP 11993
- COBBLE CHECK DAM (AT 50' INTERVALS)
- COBBLE DIFFUSER
- INDICATES 1' CONTOURS (EXISTING)
- INDICATES 5' CONTOURS (EXISTING)
- INDICATES 1' CONTOURS (PROPOSED)
- INDICATES 5' CONTOURS (PROPOSED)
- INDICATES ELEVATION AT GRADE
- INDICATES TOP OF CURB ELEVATION
- INDICATES FLOW LINE ELEVATION



VOLUME TABLE
 TOTAL CUT = 4231 CYD
 TOTAL FILL = 2202 CYD
 NET TOTAL = 2029 CYD (CUT)

RECEIVED SEP 04 2003



**FAMILY WORSHIP CENTER
 FELLOWSHIP HALL & CLASSROOMS**

7311 GLENRIO RD.
 ALBUQUERQUE, NEW MEXICO

GRIEGO
 & ASSOCIATES LLC
 ENGINEERING
 ARCHITECTURE
 PLANNING
 2310 ALBER LN
 SANTA FE, NM
 87505-4390
 FAX 505-439-0028
 g. griego@griego.com

PLOT DATES

SHEET TITLE
DRAINAGE PLAN

SCALE
 1" = 40'-0"

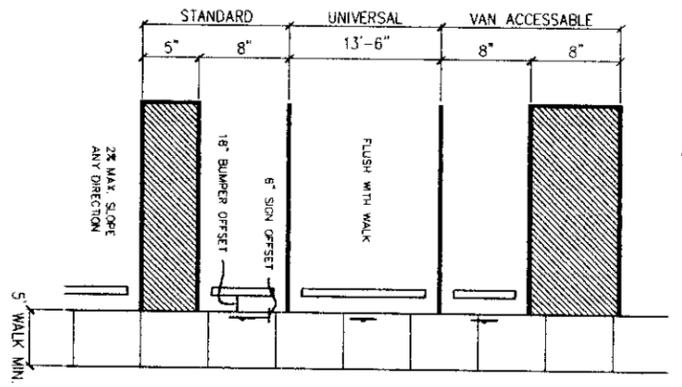
C1.3

2 OF 7

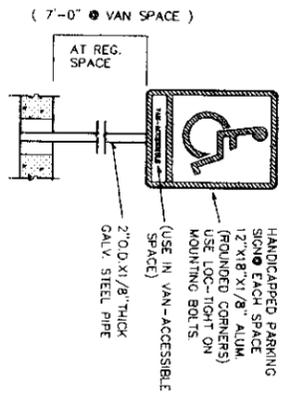
DATE: 8-11-03
 DRAWN: WR
 CHECKED: JG

REVISED 9-3-03
 SITE DRAINAGE PLAN

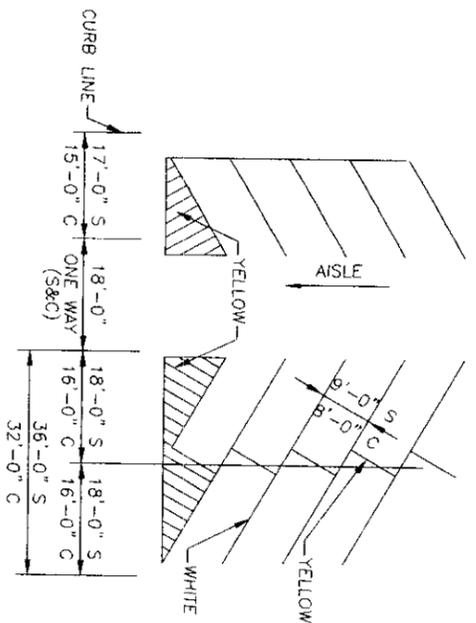
SCALE 1" = 40'-0"



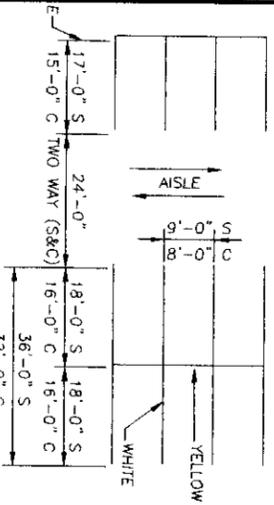
NTS HANDICAP PARKING STALLS



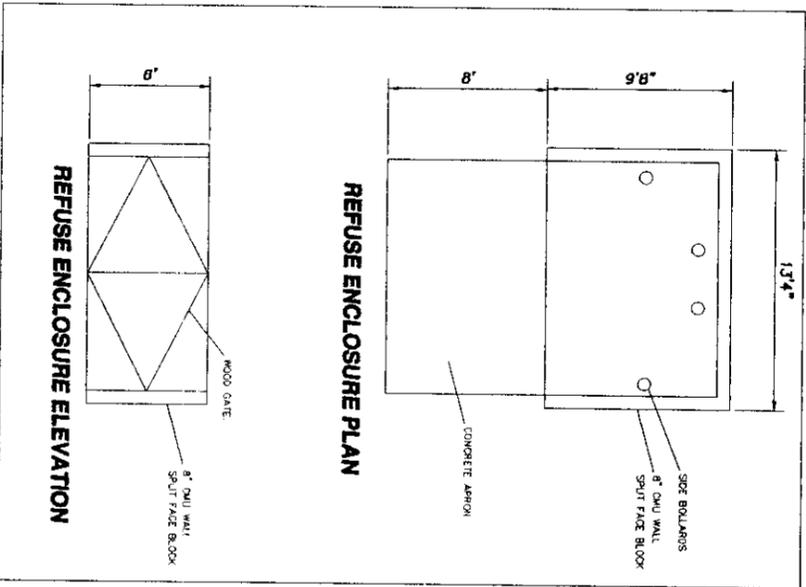
NTS H.C. PARKING SIGN



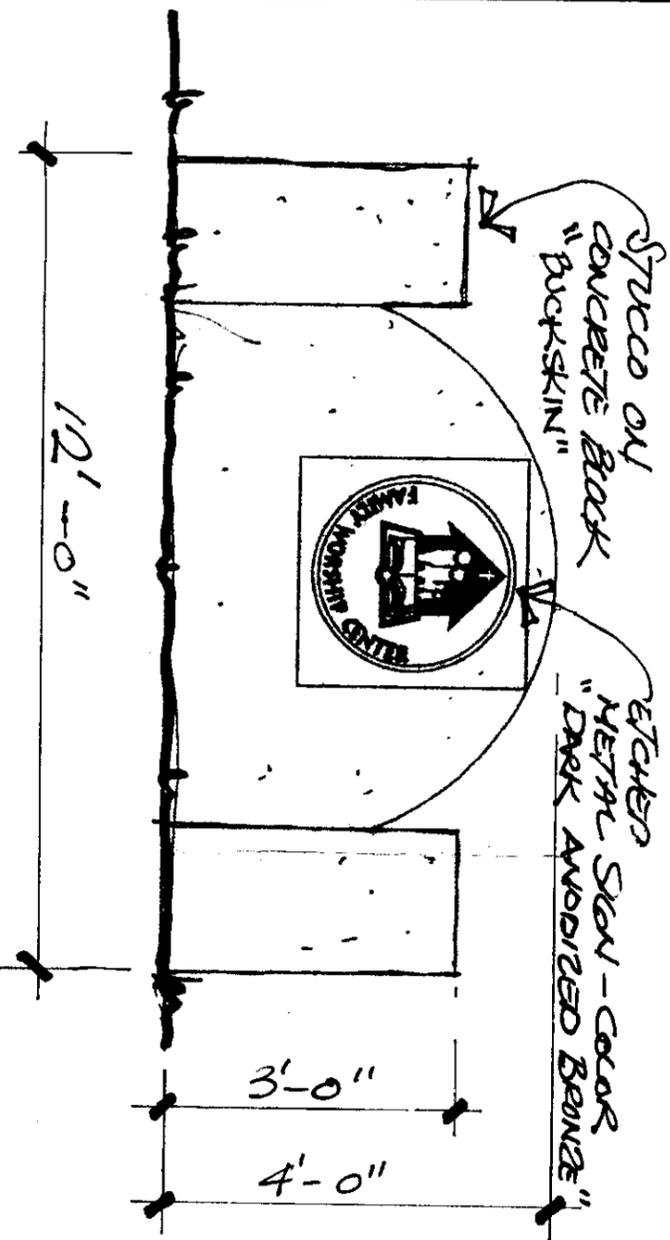
NTS 30° PARKING LAYOUT



NTS 90° PARKING LAYOUT



1/4" = 1'-0" REFUSE ENCLOSURE



NTS SITE SIGN

RECEIVED SEP 04 2003

LEGEND
S = STANDARD CAR
C = COMPACT CAR (USE ONLY ON LARGE PARKING LOTS)

NOTES
1. PAINT ALL LINES 4" WIDE
2. PARKING BUMPERS AND WHEEL STOPS ARE DISCOURAGED WHERE POSSIBLE DUE TO SNOW REMOVAL

**FAMILY WORSHIP CENTER
FELLOWSHIP HALL & CLASSROOMS**

7311 GLENRIO RD.
ALBUQUERQUE, NEW MEXICO

GRIEGO & ASSOCIATES LLC
ENGINEERING
ARCHITECTURE
PLANNING
2810 GLENN LN
SANTA FE, NM
87505
FAX 505-452-0022
g.griego@griego.com

SHEET TITLE
**PARKING
DETAILS**
SCALE
NO SCALE

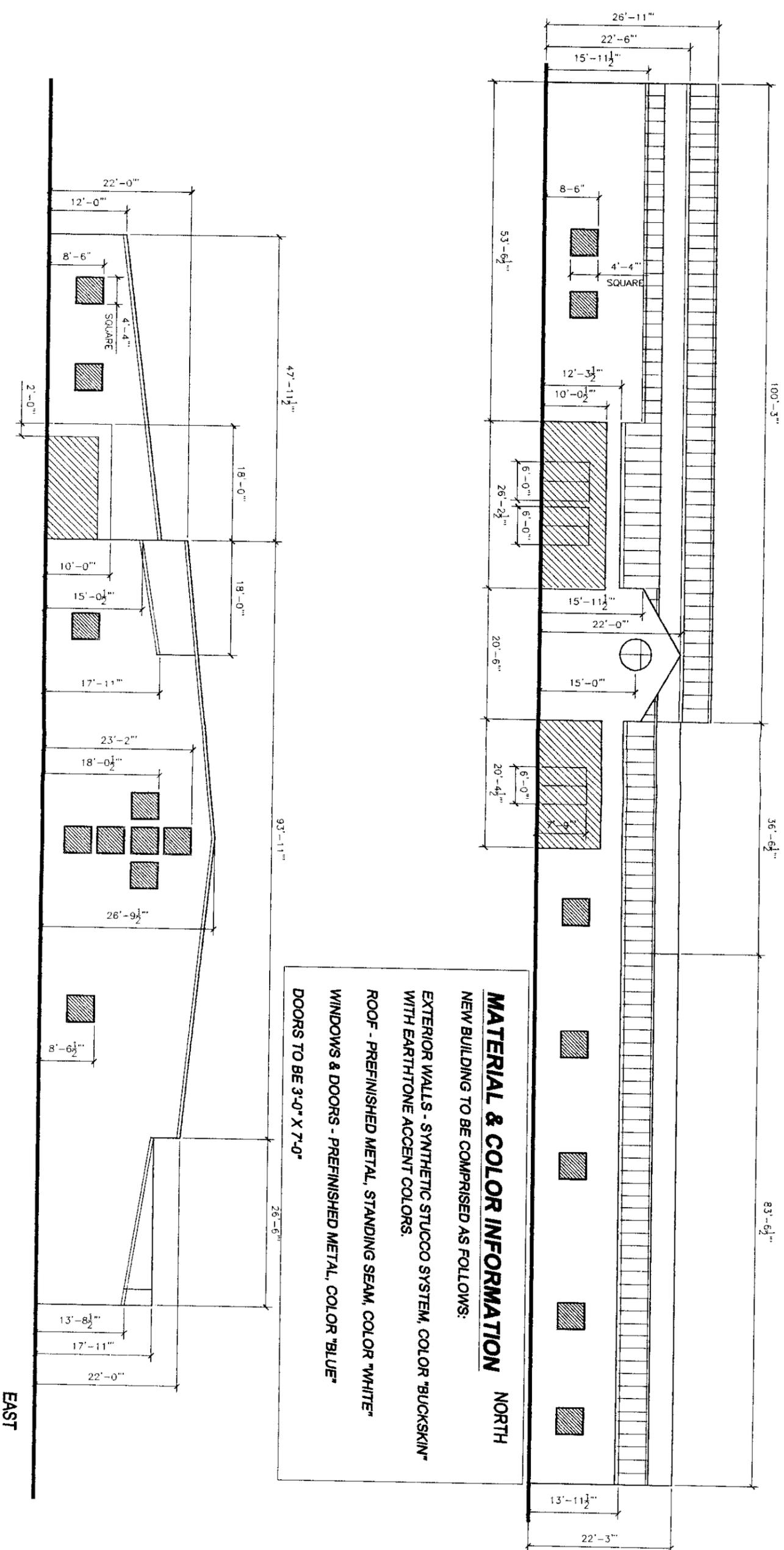
C5.2

4 OF 7

DATE: 8-11-03 DRAWN: JG DESIGNED: JG

REVISED 9-3-03
PARKING DETAILS

SCALE: 1/8" = 1'-0"



MATERIAL & COLOR INFORMATION NORTH

NEW BUILDING TO BE COMPRISED AS FOLLOWS:

EXTERIOR WALLS - SYNTHETIC STUCCO SYSTEM, COLOR "BUCKSKIN" WITH EARTHTONE ACCENT COLORS.

ROOF - PREFINISHED METAL, STANDING SEAM, COLOR "WHITE"

WINDOWS & DOORS - PREFINISHED METAL, COLOR "BLUE"

DOORS TO BE 3'-0" X 7'-0"

RECEIVED SEP 04 2003

REVISED 9-3-03

EXTERIOR ELEVATIONS

**FAMILY WORSHIP CENTER
FELLOWSHIP HALL & CLASSROOMS**

7311 GLENRIO RD.
ALBUQUERQUE, NEW MEXICO

GRIEGO
& associates LLC
ENGINEERING
ARCHITECTURE
PLANNING

2810 SHER LN
SANTAFE, NM
505-458-0200
FAX 505-458-0225
griego@griego.com

PLOT DATES

SHEET TITLE
EXTERIOR
ELEVATIONS

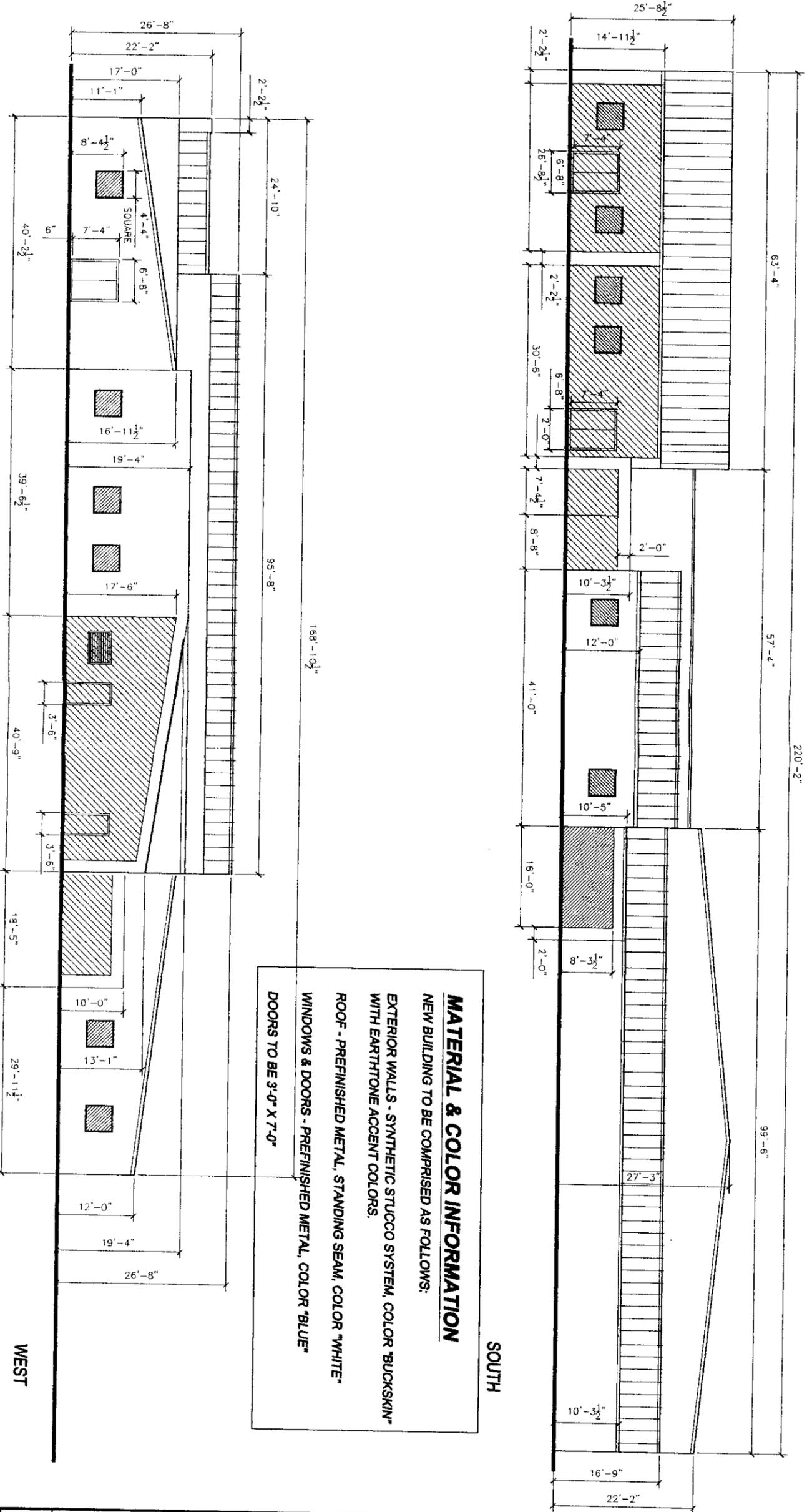
SCALE
1/8" = 1'-0"

A4.11

6 OF 7

DATE: 9-11-03
DRAWN: JG
CHECK: JG

SCALE: 1/8" = 1'-0"



MATERIAL & COLOR INFORMATION
 NEW BUILDING TO BE COMPRISED AS FOLLOWS:
 EXTERIOR WALLS - SYNTHETIC STUCCO SYSTEM, COLOR "BUCKSKIN"
 WITH EARTHSTONE ACCENT COLORS.
 ROOF - PREFINISHED METAL, STANDING SEAM, COLOR "WHITE"
 WINDOWS & DOORS - PREFINISHED METAL, COLOR "BLUE"
 DOORS TO BE 3'-0" X 7'-0"

RECEIVED SEP 04 2003

**FAMILY WORSHIP CENTER
 FELLOWSHIP HALL & CLASSROOMS**
 7311 GLENRIO RD.
 ALBUQUERQUE, NEW MEXICO

GRIEGO & ASSOCIATES, LLC
 ENGINEERING
 ARCHITECTURE
 PLANNING
 2810 SILVER LN
 SANTA FE, NM
 805-438-0027
 FAX 805-438-0026
 • greg@griego.com

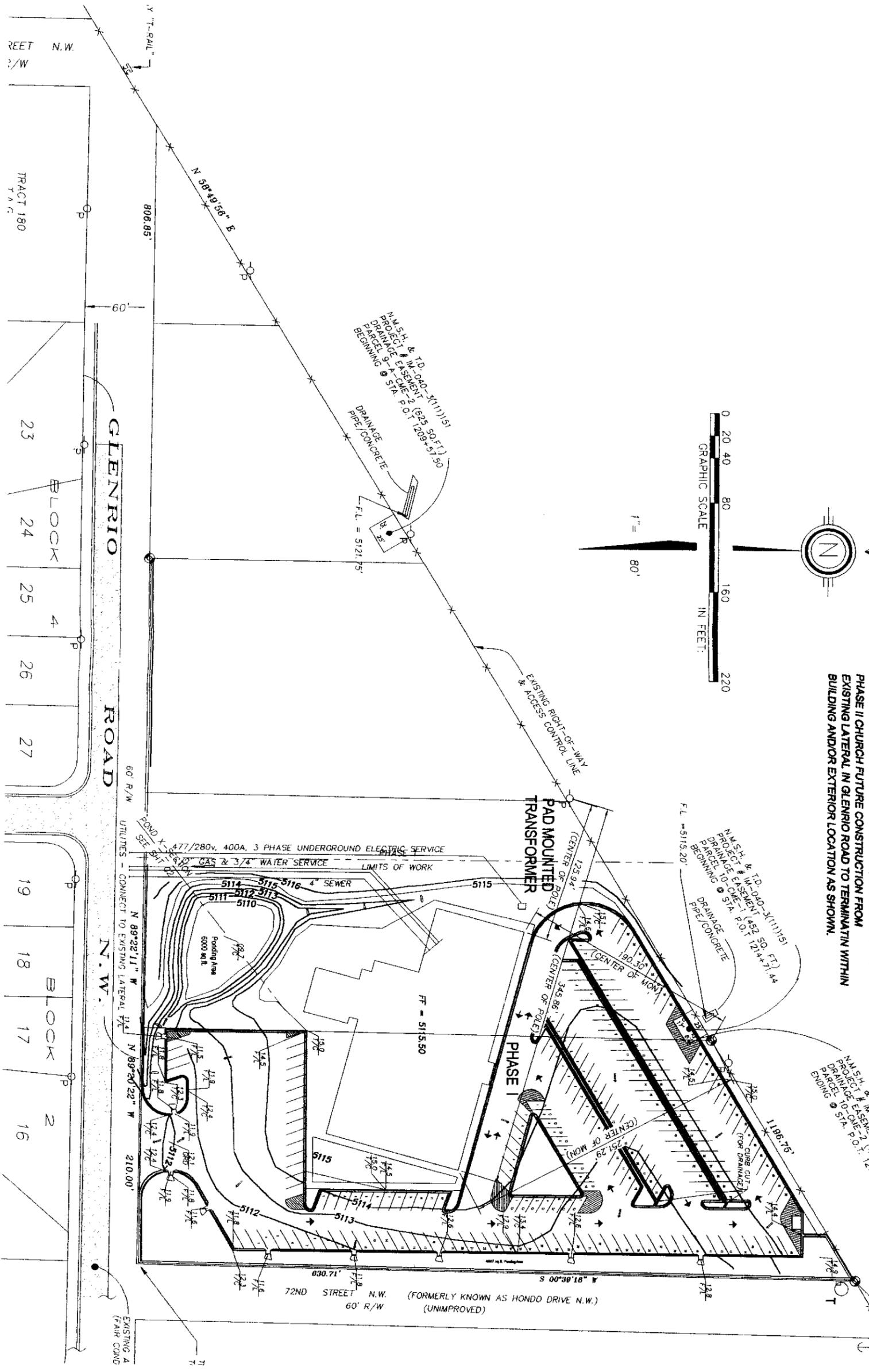
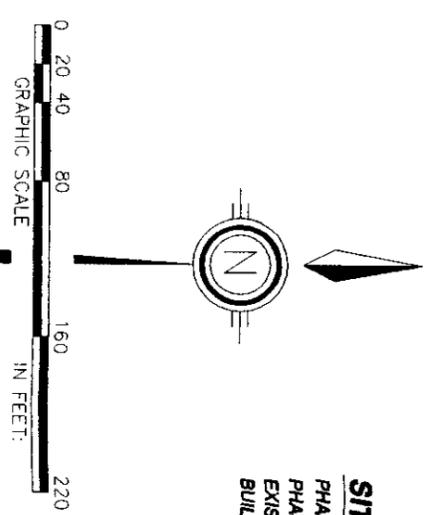
REVISED 9-3-03
 EXTERIOR ELEVATIONS

SHEET TITLE	7	OF	7
EXTERIOR ELEVATIONS			
SCALE	1/8" = 1'-0"		
A4.1.2			
DATE:	8-11-03	DRAWN:	JG
		CHECKED:	JG

RECEIVED SEP 04 2003

SITE UTILITIES

PHASE ONE - UNDERGROUND SERVICE, OFFSET AROUND
 PHASE II CHURCH FUTURE CONSTRUCTION FROM
 EXISTING LATERAL IN GLENRIO ROAD TO TERMINATE WITHIN
 BUILDING AND/OR EXTERIOR LOCATION AS SHOWN.



SCALE 1" = 40'-0"

REVISED 9-3-03
 SITE UTILITY PLAN

**FAMILY WORSHIP CENTER
 FELLOWSHIP HALL & CLASSROOMS**

7311 GLENRIO RD.
 ALBUQUERQUE, NEW MEXICO

GRIEGO
 & associates LLC
 ENGINEERING
 ARCHITECTURE
 PLANNING
 2810 SILVER LN
 SANTA FE, NM
 805-498-0067
 FAX: 805-498-0028
 griego@qwest.net

DATE: 8-11-03	3 OF 7
DRAWN: WR	
CHECKED: JG	
C1.7	
SCALE: 1" = 40'-0"	
SHEET TITLE: SITE UTILITY PLAN	
DATE: 8-11-03	

LEGEND:

TREES

- LONDON PLAN 2" CALIPER
- BRADFORD PEAR 2" CALIPER
- COTTONWOOD 2" CALIPER
- ASH 2" CALIPER
- AUSTRALIAN PINE 2" CALIPER
- PINON 6" MIN.

SHRUBS

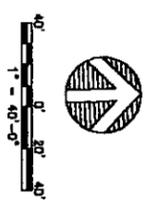
- APACHE PLUME (5 GAL.)
- COTTONEASTER (5 GAL.)
- SUMAC (5 GAL.)
- LILAC (5 GAL.)
- 3-LEAF SUMAC (5 GAL.)

GRASSES

- BERMUDA GRASSES 1 LB./1,000 S.F.
- PARTULOCKA 1 LB./1,000 S.F.

- POND BOTTOM ELEV = 8897.0
- LANDSCAPE PLANTER BED
- ASPHALTIC CONCRETE PAVEMENT
- GROUNDCOVER

LANDSCAPE PHASING - PHASE ONE
 ALL LANDSCAPE SHOWN ON THIS DRAWING IS INCLUDED IN THE INITIAL OR PHASE ONE INSTALLATION OF THE WORK.
 NOTE THAT THE PHASE ONE WORK INCLUDES ALL STREETSCAPE LANDSCAPING ALONG GLENRIO ROAD.



LANDSCAPE PLAN

A design in harmony with existing neighborhood standards.

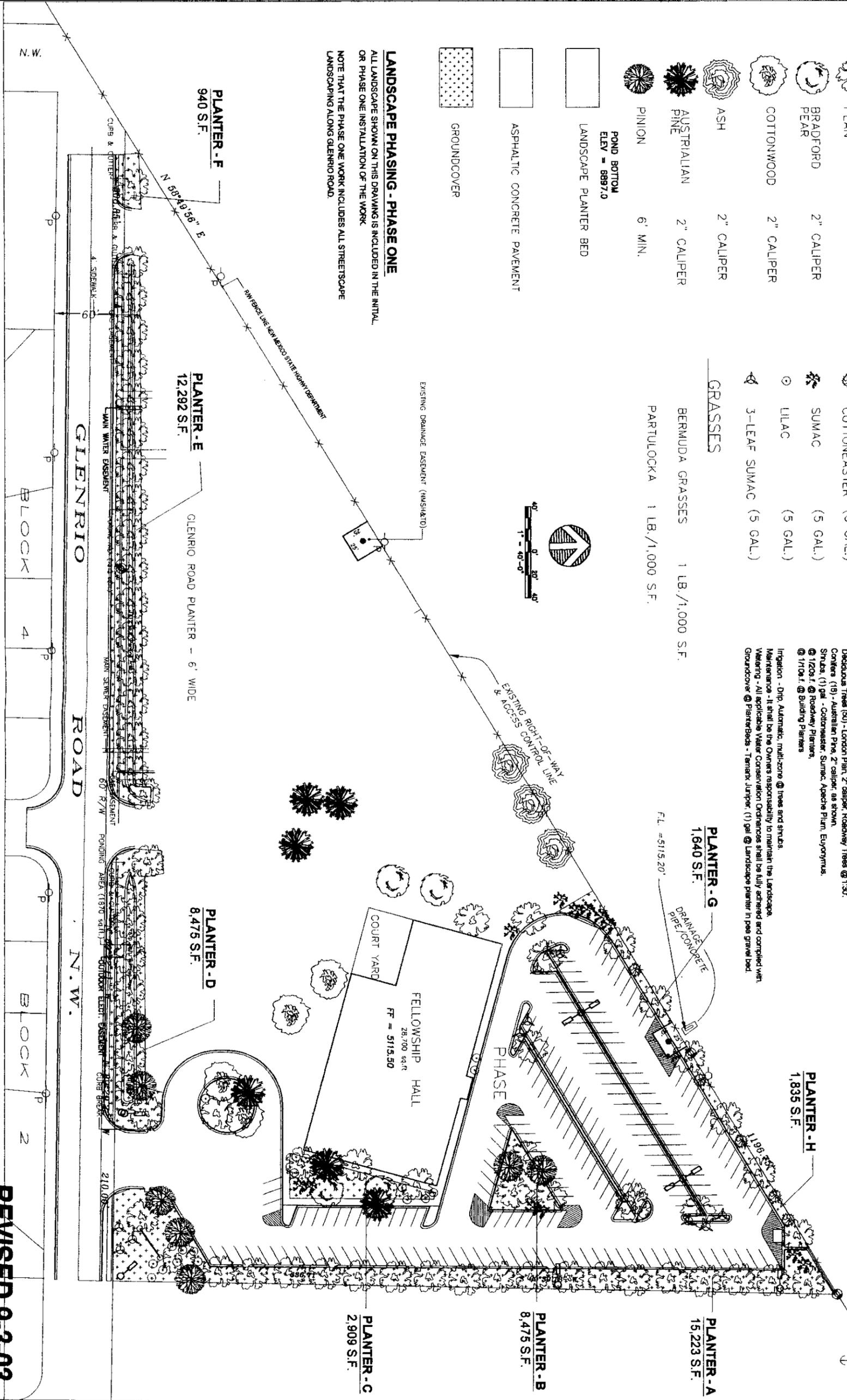
PROPERTY AREA - 2.5 ACRES = 108,000 S.F.
 LANDSCAPE REQUIRED @ 15 % = 16,350 S.F.
 BUILDING AREA 21,148 S.F.
 PAVED AREA 88,000 S.F.
 TOTAL IMPERVIOUS SURFACE: 111,500 S.F.

LANDSCAPE PLANTERS:
 PLANTER A: 15,223 S.F.
 PLANTER B: 8,475 S.F.
 PLANTER C: 2,909 S.F.
 PLANTER D: 8,475 S.F.
 PLANTER E: 12,292 S.F.
 PLANTER F: 940 S.F.
 PLANTER G: 1,640 S.F.
 PLANTER H: 1,835 S.F.
 TOTAL PLANTERS PROVIDED: 51,799 S.F.

STREET TREES:
 Deciduous Trees (50) - London Plan, 2" caliper, Roadway Trees @ 1:30.
 Conifers (18) - Australian Pine, 2" caliper, as shown.
 Shrubs (1) gal - Cottoneaster, Sumac, Apache Plum, Eucalyptus.
 @ 1/20s.f. @ Roadway Planters.
 @ 1/10s.f. @ Building Planters.

IRIGATION - Drip, Automatic, multi-zones @ trees and shrubs.
MAINTENANCE - It shall be the Owner's responsibility to maintain the Landscape.
WEEDING - All applicable Water Conservation Ordinances shall be fully adhered and complied with.
GROUNDCOVER @ Planter Beds - Tamarix Juniper (1) gal @ Landscape planter in pea gravel bed.

RECEIVED SEP 04 2003



SCALE 1" = 40'-0"

REVISED 9-3-03

LANDSCAPE PLAN

DATE: 7-03-03	DRAWN: JDC	CHECKED: JG
5 OF 7		
L1		
SCALE 1" = 40'-0"		
SHEET TITLE LANDSCAPE PLAN		
PLOT DATES		

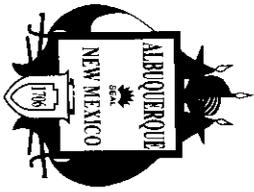
**FAMILY WORSHIP CENTER
 CHURCH IMPROVEMENTS**

GLEN RIO RD.
 ALBUQUERQUE, NEW MEXICO

**FOR
 REVIEW
 ONLY**

GRIEGO
 & ASSOCIATES LLC
 ENGINEERING
 ARCHITECTURE
 PLANNING
 2801 SILVER LAKE
 SANTA FE, NM
 87505-4302
 505-426-0222
 505-426-0227
 griegeo@griegono.com





City of Albuquerque

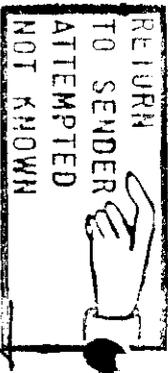
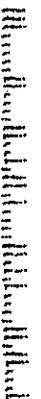
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT

101005826134921217

MALONE JOHN E JR & RUTH M C/O
NE
623 AMHERST NM 87106
ALBUQUERQUE

871005826134921217



RETURN
TO SENDER
ATTEMPTED
NOT KNOWN

Not there