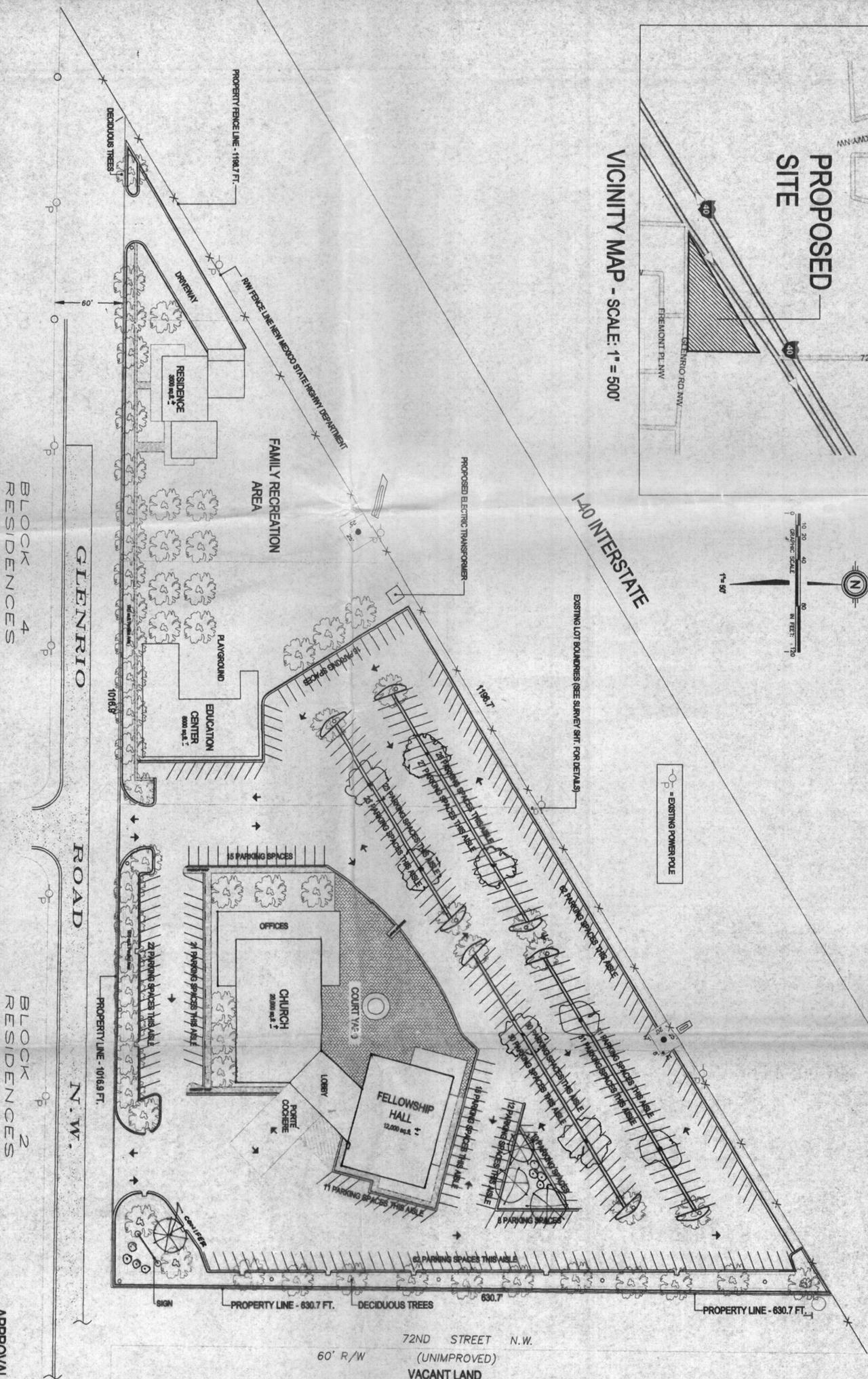
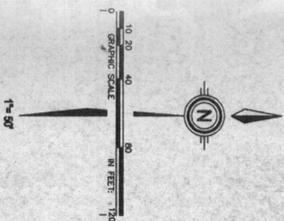




VICINITY MAP - SCALE: 1" = 500'



**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

THE SITE: THE SITE CONSISTS OF 5 LOTS CONTAINING 7.346 ACRES.

PROPOSED USE: THE CURRENT ZONING IS R-2. THE REQUEST IS FOR A CHURCH AND RELATED FACILITIES TO S.U.-1. RELATED FACILITIES SHALL BE DEEMED TO INCLUDE A CHURCH WITH OFFICES, A FELLOWSHIP HALL, A LOBBY, CAFE, BOOKSTORE, SCHOOL, AND RESIDENCE FOR THE PASTOR.

VEHICULAR INGRESS AND EGRESS: ACCESS WILL BE AT TWO POINTS ALONG GLENRIO ROAD N.W. WHICH IS A DEAD END STREET TO THE WEST. TWO TURNOUTS WILL BE PROVIDED AND ALL PARKING WILL BE WITHIN THE PROPOSED SITES BOUNDARIES.

INTERNAL CIRCULATION REQUIREMENTS: NO PEDESTRIAN CROSSING ARE ANTICIPATED. SEE NOTES.

BUILDING HEIGHTS AND SETBACKS: ALL CITY/COUNTY GUIDELINES FOR HEIGHTS AND SETBACKS SHALL BE ADHERED TO. SEE DESIGN GUIDELINES.

MAXIMUM FAR: A MAXIMUM OF .30 FAR SHALL BE ALLOWED.

LANDSCAPE PLAN: THE DESIGN GUIDELINES PROVIDE FOR LANDSCAPING CRITERIA. PERIMETER OPEN SPACE AND LANDSCAPE BUFFER AREAS ARE IDENTIFIED. A MINIMUM OF 15 PERCENT OF THE SITE (MINUS THE BUILDING SQUARE FOOTAGE) SHALL BE PROVIDED FOR LANDSCAPE MATERIALS.

ROADS: COMPLETE GLENRIO RD. N.W.

PARKING: 3 - INGRESS/EGRESS TURNOUTS

163,006 SQ.FT. PARKING LOT (BITUMINOUS PAVEMENT)

483 PARKING SPACES (ADA COMPLIANT)

PARKING AREAS TO BE LIT (LOW LUMINATION) AS PER DESIGN GUIDELINES

7007 20 LN. FT. CURB AND GUTTER W/ DRAINAGE BREAKS

BUILDINGS: CHURCH

FELLOWSHIP HALL = 9862 SQ. FT.

EDUCATION CENTER = 6665 SQ. FT.

RESIDENCE

TOTAL PROPOSED SQUARE FOOTAGE NOT TO EXCEED 45,000 SQ.FT.

SITE SIZE: 320,677.48 SQ.FT.

7.342 ACRES

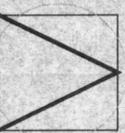
**APPROVALS:**

THIS SITE PLAN IS GENERALLY CONSISTENT WITH THE SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON \_\_\_\_\_ AND CONDITIONS OF APPROVAL HAVE BEEN MET.

| PLANNING                   | DATE |
|----------------------------|------|
| TRANSPORTATION DEVELOPMENT | DATE |
| CITY ENGINEER              | DATE |
| UTILITY DEVELOPMENT        | DATE |
| ORDINANCE DEVELOPMENT      | DATE |
| NEW MEXICO UTILITIES       | DATE |

\* BUILDING PERMIT PLANS REVIEW TO BE FORTHCOMING FOR APPROVALS BY THE EPC FOR PRESENTATION ON THE VARIOUS PHASES ARE AGREED ON THE THE CHURCH LEADERSHIP.

JCG  
ARCHITECTS  
SANTA FE



(505) 963-9311

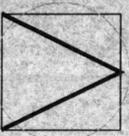
**FAMILY WORSHIP CENTER**

**CONCEPTUAL SITE PLAN FOR SUBDIVISION**

ALBUQUERQUE, NEW MEXICO

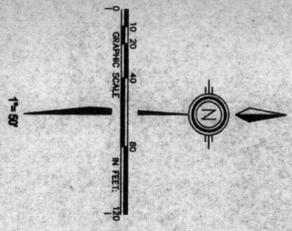
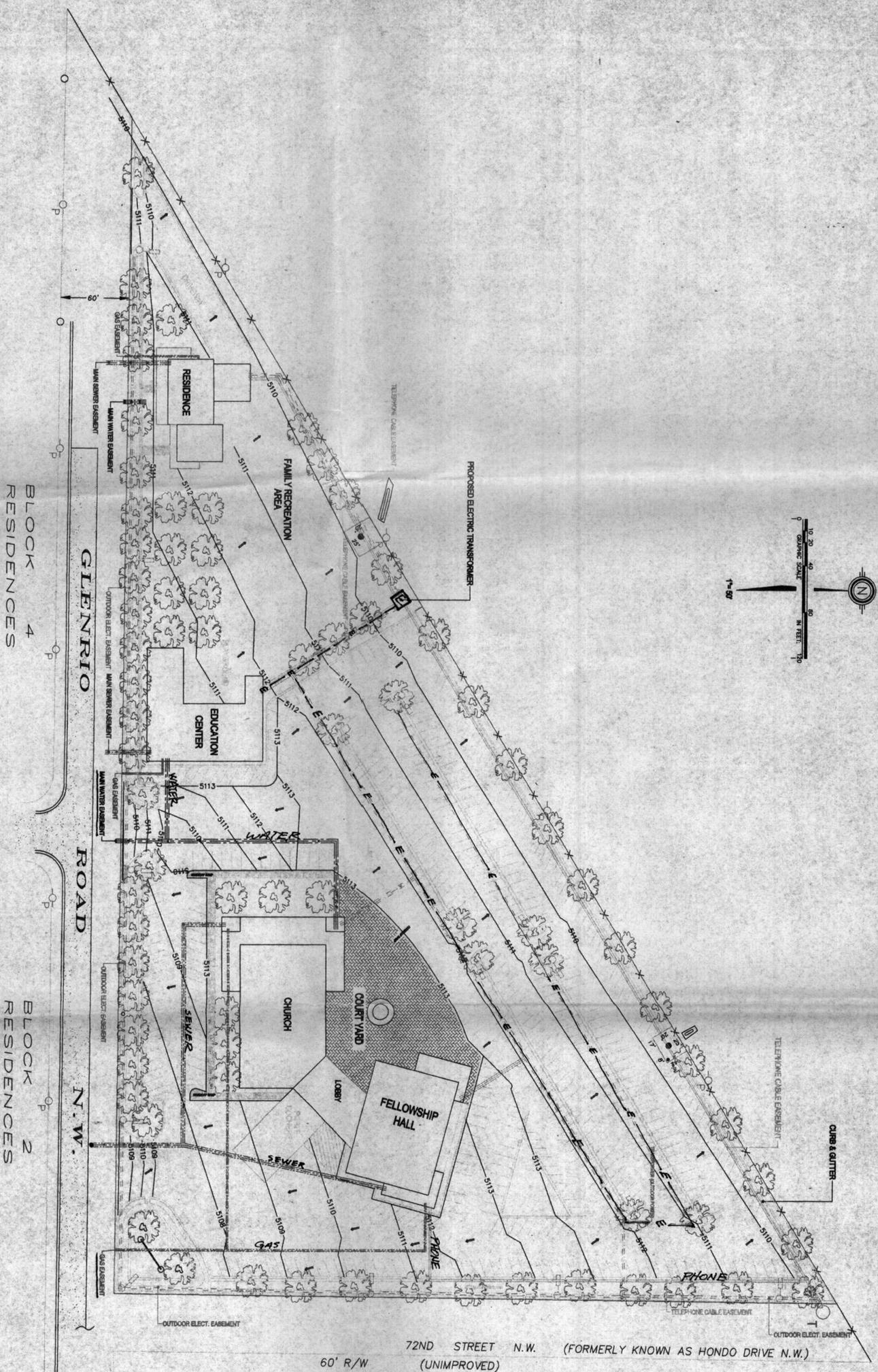
*1000694 or*

JULY, 2000



JCG  
ARCHITECTS  
SANTA FE

(505)983-9311



**FAMILY WORSHIP CENTER**  
**CONCEPTUAL SITE PLAN FOR SUBDIVISION**

**ALBUQUERQUE, NEW MEXICO**  
**JULY, 2000**

**CONCEPTUAL GRADING PLAN**  
**EASEMENTS**

**LEGEND**

- POWER POLE
- TELEPHONE MANHOLE
- LOW MAST LUMINAIRE
- DECIDUOUS TREE
- PROPOSED CONTOUR LINES
- PROPERTY LINES
- STEEL POST/WIRE FENCE LINE
- MAIN WATER EASEMENT
- ELECTRICITY EASEMENT
- MAIN SEWER EASEMENT
- TELEPHONE/CABLE EASEMENT
- GAS EASEMENT

**LANDSCAPE PALETTE**

- CONCEPT TO INCLUDE:
- DECIDUOUS TREES  
LONDON PLAN  
BRADFORD PEAR  
COTTONWOOD  
ASH
  - PERENNIALS  
VARIOUS
  - GROUND COVER  
BERNARDIA GRASSES  
PARTULOCKA
  - SHRUBS  
COTONEASTER  
SUMAC  
APPACHE PLUM  
EVONYMIUS  
CONIFERS  
AUSTRALIAN PINE

**DESIGN GUIDELINES**

The purpose of these Design Guidelines is to provide a framework to assist the architect in the design of the building and its site. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Church.

**SETBACKS**

The use of building and parking area setbacks is required to provide space for the circulation of pedestrians and screening material, including landscaping, earthwork and walls. Parking areas are discouraged from being adjacent to roadways.

**Parking Area Setbacks**

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 20 feet from the R.O.W. line of Glens Rd. running in front of the site
- Landscaping materials shall be used to screen parking lots, utilities and trash enclosures. A minimum landscape buffer of 15 feet shall be provided between parking lots and roadways.

**Building Setbacks**

- 15' from the front of any building
- 15' from the side of any building
- 15' from the rear of any building

**HEIGHT**

- Building height shall be as regulated in the O-1 zone

**LANDSCAPE**

The development of an overall landscape concept will establish a framework that unites the building and its site. The design of the landscape should emphasize native, drought tolerant plant species.

All landscaped areas need to be coordinated and responsive to existing environmental conditions and local building policies. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City of Albuquerque Comprehensive Zoning Code.

The following are minimum standards for the development of specific landscape plans:

- Street trees shall be provided along roadways at a rate of one tree per 30 linear feet
- The owner shall be responsible for the installation and maintenance of the landscape including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive condition
- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials
- Living vegetation materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant materials.
- All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, or similar material which extends completely under the plant material areas.
- Appropriate landscape hedges shall be used to separate any turf and groundcover areas.
- To shade and mitigate the negative visual impact of large expanses of pavement, interior parking areas shall have one tree for each 20 parking spaces with no space being more than 100 feet from a tree.
- 75 percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet
- All plant materials shall be chosen from the City of Albuquerque's Water Conservation Ordinance Plant List
- Minimum plant sizes at time of installation shall be as follows:
  - Trees: 2 inch caliper, or 10 to 12 feet in height
  - Shrubs & Groundcovers: 1 gallon
  - Turf Grasses: provide complete ground coverage within 1 growing season after installation.

**SCREENING / WALLS AND FENCES**

The effective use of screening devices for parking lots, loading areas, refuse collection and delivery areas, and other areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of these elements shall be away from any street or pedestrian area. The guidelines established in the landscape and setback section will provide the main objectives to screening undesirable elements and activities.

The following are minimum standards to ensure effective screening of negative elements:

- Parking areas shall be located away from adjacent streets and properties and shall be screened with a combination of plant materials, walls and earthwork screening. Such screening shall have a minimum height of 3 feet.



- All one door refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all refuse generated between collections. In general, these areas should be located interior to the site.
- The design and material for refuse collection enclosures shall be compatible with the architectural theme of the site.
- No refuse collection areas shall be allowed between streets and building front.

- All roof-mounted and/or ground mounted equipment shall be screened from public view by materials of the same nature as the basic materials of the building.

**PERIMETER FENCING**

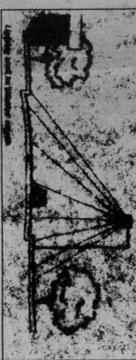
- The design of perimeter fencing shall be compatible with the architectural theme of Albuquerque.
- Unfinished block walls are prohibited. Split-faced block is permissible
- Barbed wire, chain link, or concertina wire fencing are prohibited

**LIGHTING STANDARDS**

In order to enhance the safety, security, and visual aesthetics of the site, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Cobra lights are prohibited at this site.
- The height of street lights and parking area lights shall be limited to a maximum height of 20 feet.



- Required Street light specifications: GE 100 watt, bronze, Lumina shoe box type, with Lamphood 20" diameter pole per PDM specification S13
- Individual site lighting standards shall blend with the architectural character of the building and other site features.

**SIGNAGE STANDARDS**

The following signage standards were developed to regulate the size, location, type, and quality of signs elements within the site. A properly implemented signage program will serve four very important purposes: to direct and inform site visitors; to provide the visual character of the development.

Entry signs for the church shall be monument type and shall complement the material, color, and architectural character of the site. The maximum size allowed for the monument signs is 150 square feet



- Free standing signs shall be monument style
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights
- Signs shall not overhang into the public right-of-way or extend above the building roof line
- Building mounted signs shall not exceed 10 percent of the facade area and are limited to two building facades.

**SITE PLANNING OBJECTIVES**

The creation of a pedestrian friendly environment will depend on creative site and architectural design. The goal is to separate vehicular and pedestrian circulation in order to support the creation of such an atmosphere throughout the site.

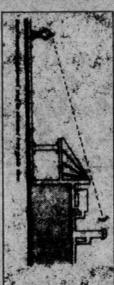
Specific architectural style shall not be dictated at this time. The architectural design should be flexible to accommodate future changes in site plan and should respond to climate, views, solar access, and aesthetic considerations.

The following guidelines were created to encourage a pedestrian-friendly environment:

- The minimum parking required by the City Zoning Code shall be the maximum parking allowed.
- All pedestrian paths shall be designed to be handicapped accessible (see Americans with Disabilities Act criteria for Barrier-Free Design)
- Long stretches of parking facilities adjacent to Glensro is prohibited
- Structures and on-site circulation systems should be located to minimize pedestrian vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- Parking areas should be designed so that pedestrians with parallel to moving cars. The need for pedestrians to cross parking areas and landscaped islands shall be minimized
- Parking areas shall be designed to include a pedestrian link to site structures.
- Entry ways shall be clearly defined.
- The following relate to the Architecture:
  - Buildings and structures shall comply with all applicable City of Albuquerque zoning, building, and fire codes, as well as other local codes.
  - Buildings should be grouped together to create interesting relationships between the interior and exterior space.
  - Buildings should be attractively designed on all sides of the structure, rather than placing all emphasis on the front elevation. Finished building materials shall be applied to all exterior sides of buildings and structures and shall be consistent on all sides. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.

- Black asphalt shingles are prohibited

- The height of parapets shall be greater than or equal to the height of HVAC equipment for screening purposes.



- There shall be no freestanding cellular antenna or towers; cellular antennas shall be integrated with the building architecture.
- Highly reflective surfaces should be screened from public view.

**UTILITIES**

To ensure the overall aesthetic quality of the property, the visual impact of utilities and equipment should be minimized by the following:

- All electric distribution lines shall be placed underground
- Transformers, utility poles, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way
- When an above-ground backflow prevention device is required by New Mexico Utilities, Inc., the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping

**ANCILLARY BUILDINGS/ RELATED FACILITIES**

- The related facilities include: fellowship hall, bookstore, daycare, school Open spaces, guest residence.
- Maximum FAR of site is 30

**COLORS AND MATERIALS OF BUILDINGS AND OTHER ANCILLARY FACILITIES SHALL BE FINISHED IN COLORS AND MATERIALS OF BROWN TONES AND COMPATIBLE TO EACH OTHER AND SURROUNDING NEIGHBORHOOD.**

**THE CONCEPT FOR FACILITY LAYOUT IS OF AN INTEGRATED COMMUNITY STYLE FACILITY. THIS IS TO ACCOMMODATE THE PHASED APPROACH AS TAKING BEGINS AVAILABLE. THE CONSTRUCTION OF THE FACILITY WILL BE CONTINUING TO THE 50' OF SITE HEIGHT AND APPROXIMATE.**

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FAMILY WORSHIP CENTER  
CONCEPTUAL SITE PLAN FOR SUBDIVISION  
ALBUQUERQUE, NEW MEXICO  
JULY, 2000

SHT. 3 OF 4

DESIGN GUIDELINES

ALTAGASM LAND TITLE SURVEY  
COMPRISING THE  
SOUTHERLY PORTIONS OF  
TRACTS 226, 227, 228, 229 AND 230  
AIRPORT UNIT  
TOWN OF ATRISCO GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO



**LEGEND**

- POWER POLE
- TELEPHONE MANHOLE
- POST
- "T" RAIL RIGHT-OF-WAY MARKER
- ADJOINING LOT LINES
- PROPERTY LINES
- STEEL POST/WIRE FENCE LINE
- INDICATES SET REBAR W/CAP STAMPED "RHC LS 4577"
- INDICATES FOUND REBAR W/CAP 11983
- COBBLE CHECK DAM (AT 50' INTERVALS)
- COBBLE DIFFUSER

- INDICATES 1' CONTOURS (PROPOSED)
- INDICATES 5' CONTOURS (PROPOSED)
- INDICATES ELEVATION AT GRADE
- INDICATES TOP OF CURB ELEVATION
- INDICATES FLOW LINE ELEVATION

VOLUME TABLE

|            |                  |
|------------|------------------|
| TOTAL CUT  | = 4231 CYD       |
| TOTAL FILL | = 2202 CYD       |
| NET TOTAL  | = 2029 CYD (CUT) |

SCALE 1" = 40'-0"

PHASE I - SITE PLAN

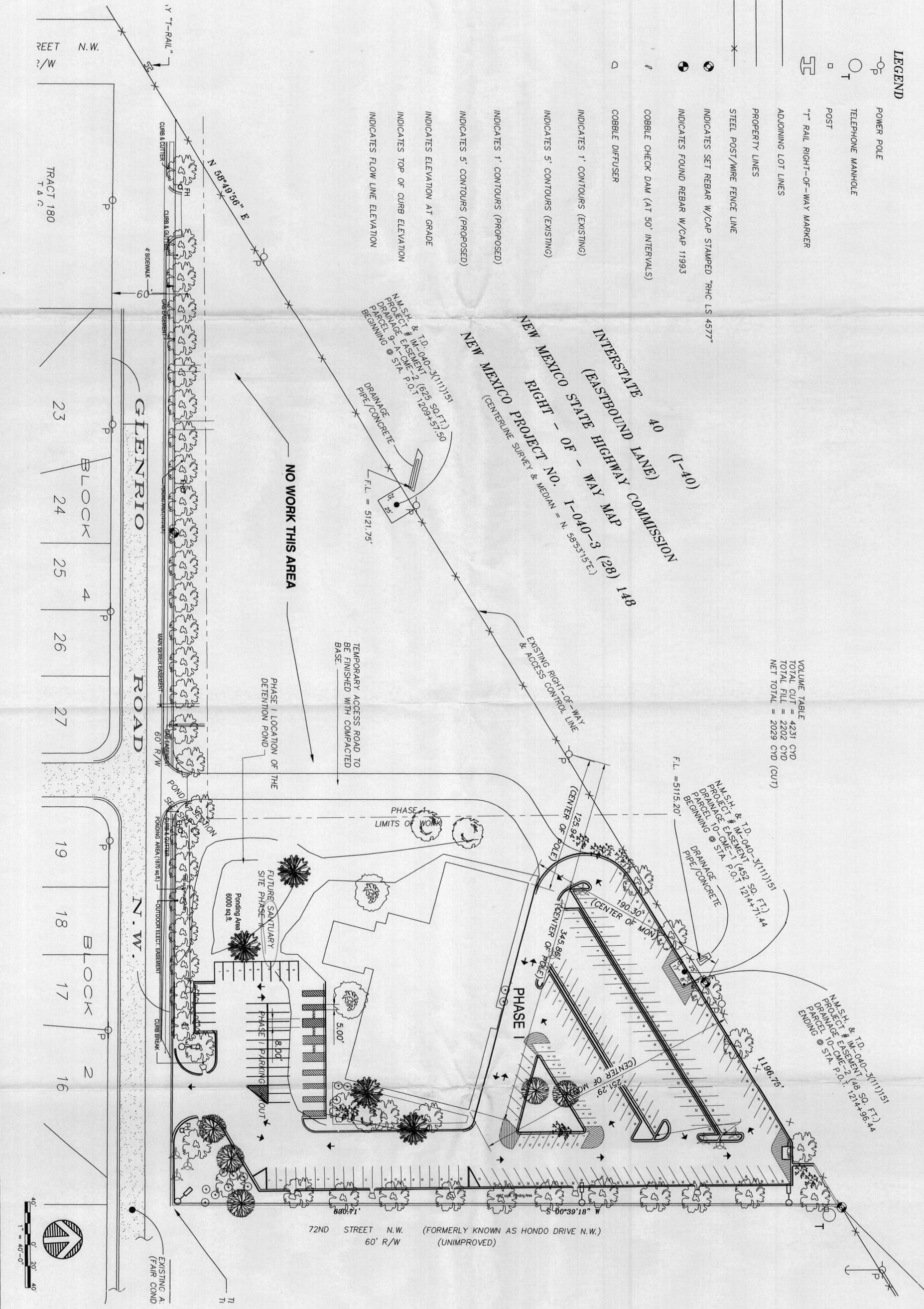
|              |                   |
|--------------|-------------------|
| DATE:        | 10-31-03          |
| DESIGNER:    | WR                |
| CHECKER:     | JG                |
| SHEET TITLE: | PHASE I SITE PLAN |
| SCALE:       | 1" = 40'-0"       |
| OF:          | 15                |
| NO.:         | 6                 |

PLOT DATES

**FAMILY WORSHIP CENTER  
 FELLOWSHIP HALL & CLASSROOMS**

7311 GLENRIO RD.  
 ALBUQUERQUE, NEW MEXICO

**GRIEGO & ASSOCIATES LLC**  
 ENGINEERING  
 ARCHITECTURE  
 PLANNING  
 2810 SILVER LN  
 SANTA FE, NM  
 505-438-0027  
 FAX 505-438-0028  
 g-griego@qwest.net



- NOTES:**
- SEE PARKING LOT DETAILS ON SHEET C-5-2
  - "C" DENOTES A PARKING SPOT DESIGNED FOR COMPACT CARS.

**Building Information**

Construction Type: I-II-N  
 Construction Materials: Metal Frame; Metal Stud; Sheetrock; Stucco; Metal Roof.  
 Building Square Footage:  
 Phase I: Fellowship Hall = 28,000 s.f. +/-  
 Phase II: Sanctuary = 22,000 s.f. +/-  
 Total S. F. = 51,000 +/-

**PARKING TABULATION:**

CONGREGATION MEMBERS = 305 MEMBERS  
 NET USABLE BUILDING - CHURCH USE 17,200 S.F.  
 PARKING RATIO @ 1:50 = 344 SPACES  
 CONGREGATION HALL SEATING, MOVABLE = 500 CAPACITY  
 PARKING REQUIRED @ 1:4 = 125 SPACES

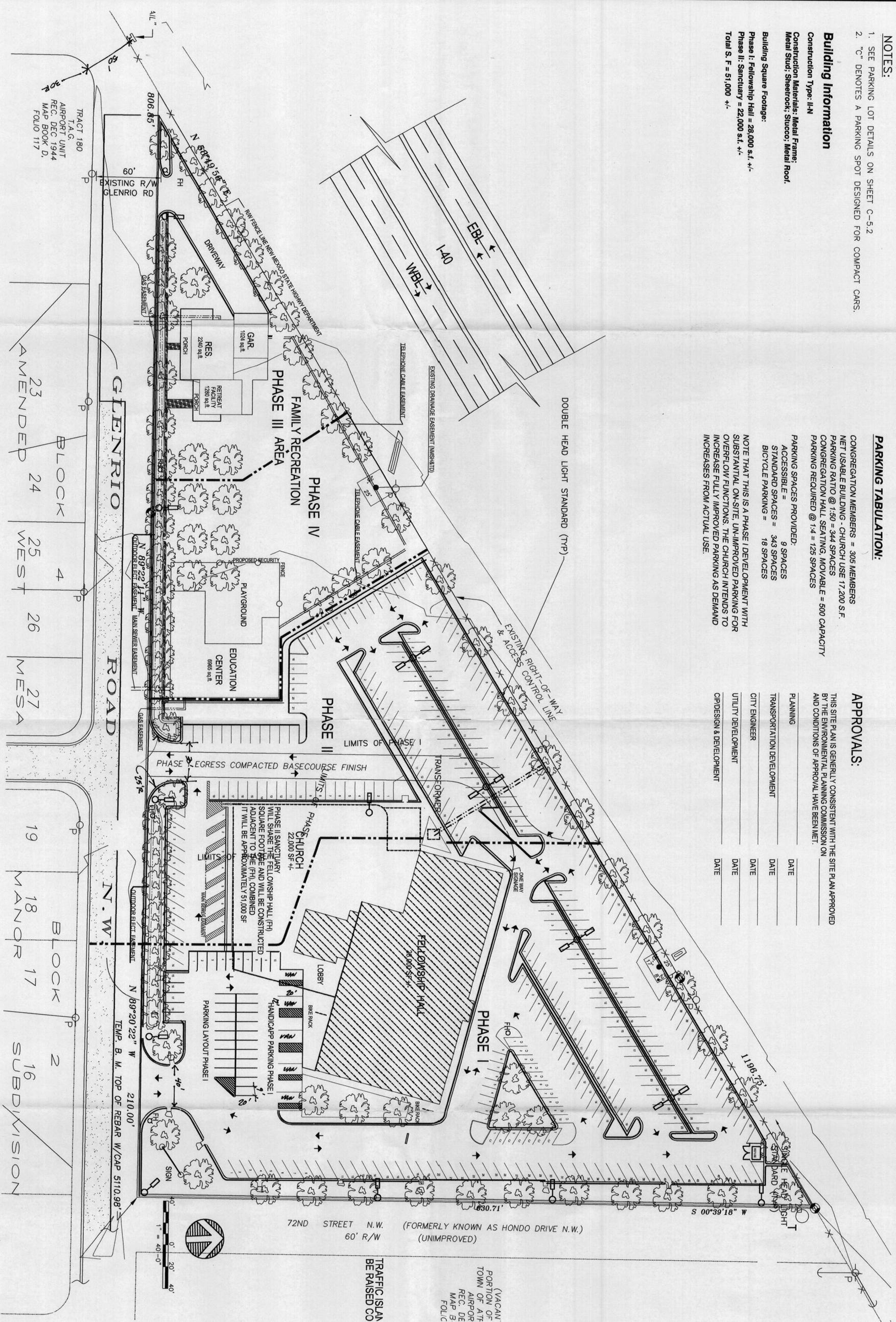
**PARKING SPACES PROVIDED:**  
 ACCESSIBLE = 9 SPACES  
 STANDARD SPACES = 343 SPACES  
 BICYCLE PARKING = 18 SPACES

NOTE THAT THIS IS A PHASE I DEVELOPMENT WITH SUBSTANTIAL ON-SITE UN-IMPROVED PARKING FOR OVERFLOW FUNCTIONS. THE CHURCH INTENDS TO INCREASE FULLY IMPROVED PARKING AS DEMAND INCREASES FROM ACTUAL USE.

**APPROVALS:**

THIS SITE PLAN IS GENERALLY CONSISTENT WITH THE SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AND CONDITIONS OF APPROVAL HAVE BEEN MET.

| PLANNING                   | DATE |
|----------------------------|------|
| TRANSPORTATION DEVELOPMENT | DATE |
| CITY ENGINEER              | DATE |
| UTILITY DEVELOPMENT        | DATE |
| CIP/DESIGN & DEVELOPMENT   | DATE |



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 505-438-0027  
 FAX 505-438-0028  
 greg@griego.com

1200694  
 PLOT DATES

SHEET TITLE  
**MASTER PLAN**

SCALE  
**1" = 40'-0"**

DATE: 8-11-03  
 DRAWN: WR  
 DESIGNER: JG

SCALE: 1" = 40'-0"

MASTER PLAN

3 OF 15  
 11-21-03

**LEGEND:**

**TREES**

-  LONDON PLAN 2" CALIPER
-  BRADFORD PEAR 2" CALIPER
-  COTTONWOOD 2" CALIPER
-  ASH 2" CALIPER
-  PONDEROSA PINE 6' MIN.
-  PINION 6' MIN.
-  LANDSCAPE PLANTER BED
-  POND BOTTOM ELEV = 6897.0
-  ASPHALTIC CONCRETE PAVEMENT
-  GROUNDCOVER

**SHRUBS**

-  APACHE PLUME (5 GAL.)
-  COTTONEASTER (5 GAL.)
-  SUMAC (5 GAL.)
-  LILAC (5 GAL.)
-  3-LEAF SUMAC (5 GAL.)
- GRASSES**
-  BERMUDA GRASSES 1 LB./1,000 S.F.
-  PARTULOCKA 1 LB./1,000 S.F.

**LANDSCAPE PLAN**

A design in harmony with existing neighborhood standards.

PROPERTY AREA - 2.5 ACRES = 108,900 S.F.  
 LANDSCAPE REQUIRED @ 15% = 16,335 S.F.  
 BUILDING AREA 28,000 S.F.  
 PAVED AREA 85,000 S.F.  
 TOTAL IMPERVIOUS SURFACE: 111,500 S.F.

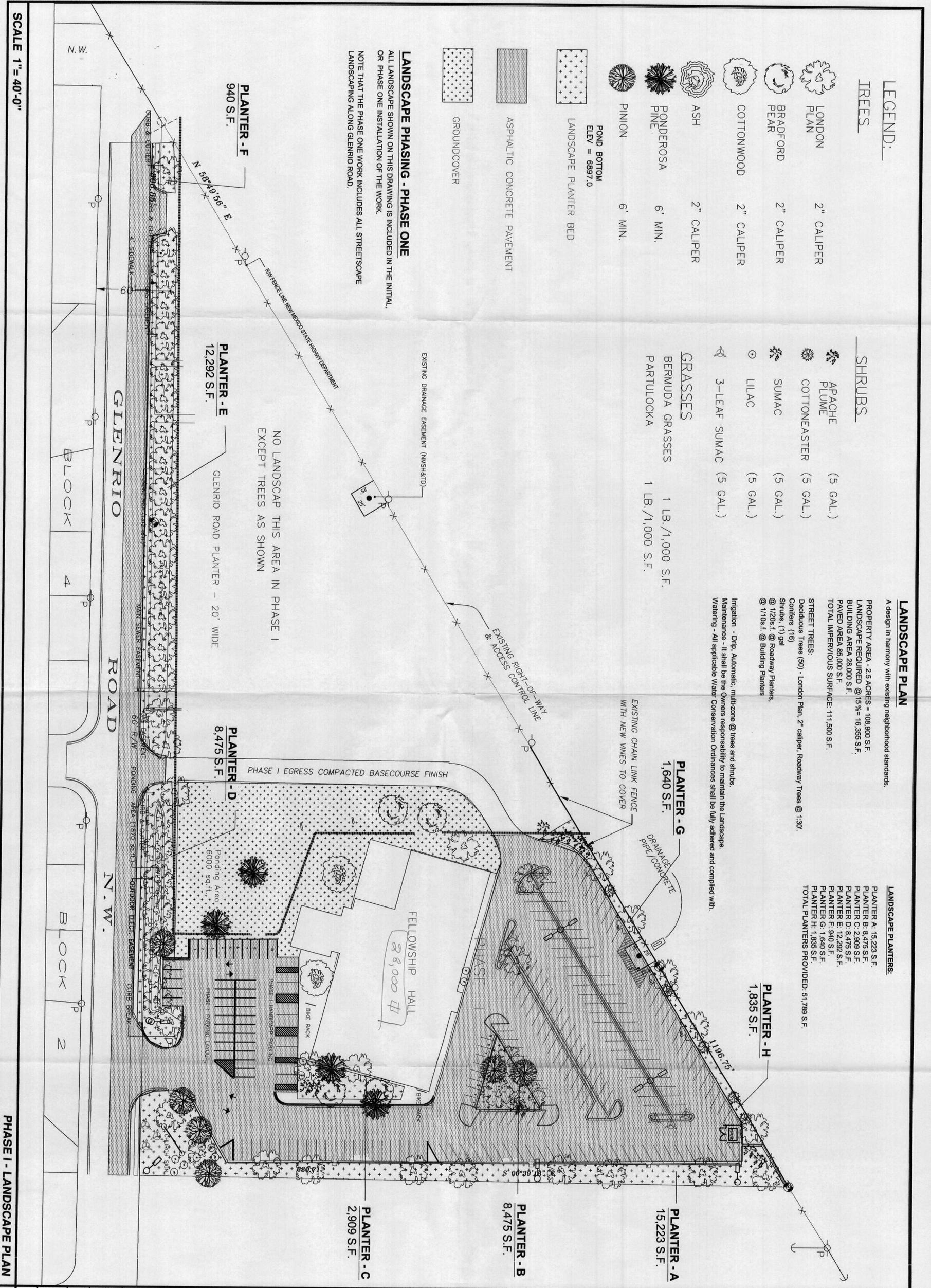
**STREET TREES:**  
 Deciduous Trees (50) - London Plan, 2" caliper, Roadway Trees @ 1:30.  
 Conifers (16)  
 Shrubs (1) gal  
 @ 1/20s f. @ Roadway Planters,  
 @ 1/10s f. @ Building Planters

Irrigation - Drip, Automatic, multi-zone @ trees and shrubs.  
 Maintenance - It shall be the Owners responsibility to maintain the Landscape.  
 Watering - All applicable Water Conservation Ordinances shall be fully adhered and complied with.

**LANDSCAPE PLANTERS:**

PLANTER A - 15,223 S.F.  
 PLANTER B - 8,475 S.F.  
 PLANTER C - 2,909 S.F.  
 PLANTER D - 8,475 S.F.  
 PLANTER E - 12,292 S.F.  
 PLANTER F - 940 S.F.  
 PLANTER G - 1,640 S.F.  
 PLANTER H - 1,835 S.F.  
 TOTAL PLANTERS PROVIDED: 51,769 S.F.

**LANDSCAPE PHASING - PHASE ONE**  
 ALL LANDSCAPE SHOWN ON THIS DRAWING IS INCLUDED IN THE INITIAL OR PHASE ONE INSTALLATION OF THE WORK.  
 NOTE THAT THE PHASE ONE WORK INCLUDES ALL STREETSCAPE LANDSCAPING ALONG GLENRIO ROAD.



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 FAX 505-438-0028  
 g\_griegol@aquest.net

|             |                       |
|-------------|-----------------------|
| SHEET TITLE | PH I - LANDSCAPE PLAN |
| SCALE       | 1" = 40'-0"           |
| DATE        | 10-31-03              |
| DRAWN       | GDC                   |
| DESIGN      | JG                    |
| DATE        | 10-31-03              |
| 9 OF 15     |                       |

SCALE 1" = 40'-0"

PHASE I - LANDSCAPE PLAN