



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 17, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1000572***
06EPC-01446 Zone Map Amendment
06EPC-01447 Amendment Site Plan for
Subdivision

Centex Homes, Attn: Bob Prewitt
7601 Jefferson St. NE, #320
Albuq. NM 87109

LEGAL DESCRIPTION: for all or a portion of Lots 1B, 2, 3, 6, 7 and 8, **Plat of Lenkurt Properties**, a zone map amendment from SU-1 for PRD and SU-1 for IP to SU-1 for IP and SU-1 for PRD, located on CHICO ROAD, between MORRIS ST. and EUBANK, containing approximately 24 acres. (K-21) Catalina Lehner, Staff Planner

On November 16, 2006 the Environmental Planning Commission voted to approve Project 1000572/06EPC 01446, a Zone Map Amendment from: (1) SU-1 for IP to SU-1 for PRD for a 1.02 acre portion of Lots 1-B, 2 and 6, and (2) SU-1 for PRD to SU-1 for IP for a 1.65 acre portion of Lot 3, located southeast of Eubank Boulevard NE and Interstate 40, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a two-part zone map amendment request: (1) from SU-1 for IP to SU-1 for PRD for a 1.02 acre strip of land (portions of Lots 1-B, 2 and 6) adjacent north of the subject site, and (2) from SU-1 for PRD to SU-1 for IP for a 1.65 acre strip of land (a portion of Lot 3) on the subject site, located near the southeast corner of Eubank Boulevard NE and Interstate 40.
2. The zone map amendments are needed to allow part of the northern Lenkurt site (portions of Lots 1-B, 2 and 6) to be used for residential purposes and to allow part of the subject site (along the western and northern boundaries of Lot 3) to be used for IP purposes. This request is accompanied by an amendment to a site development plan for subdivision (06EPC 01447).
3. The zone map amendments will facilitate a land trade between the applicant (who owns the southern Lenkurt site, ≈ 24 acres) and the owner of the northern Lenkurt site (≈ 19 acres). The purpose of the land trade is to improve access to the northern Lenkurt site from Chico Rd. and to provide buffering between the future retail/office/industrial uses on the northern site and the already approved residential uses (Project #1000572, 05EPC-01116) on the southern site.

4. The subject site does not lie within the boundaries of any area or sector plans.
5. The proposal *further*s and *partially further*s the intent of relevant Comprehensive Plan policies. The proposal will contribute to a full range of urban land uses by allowing the land trade to occur, which will facilitate development of office and industrial uses (further>s Policy II.B.5a). The proposal will also facilitate use of existing urban services, though truck traffic on a portion of Chico Rd. may disrupt neighborhood integrity (partially further>s Policy II.B.5e).
6. The proposal *further*s the intent of the Comprehensive Plan's Economic Development Goal because the land trade will facilitate future, diversified economic development that will balance the abundant residential development in the sites' vicinity.
7. Pursuant to Resolution 270-1980, the applicant must provide sound justification for a zone change. Principal justification is that the proposed change is more beneficial for the community and that neighborhood conditions have changed. The applicant has adequately addressed Comprehensive Plan policies.
8. Overall, the applicant has adequately justified the zone change pursuant to Resolution 270-1980 as follows:
 - A. Section A: The proposal is generally consistent with City policies in the Comprehensive Plan, including Policy II.B.5a-full range of urban land uses, Policy II.B.5e-programmed facilities/neighborhood integrity, and the Economic Development Goal.
 - B. Section B: The proposal will promote land use stability and the applicant has provided an adequate justification for the change.
 - C. Section C: The applicant cites one Comprehensive Plan Goal, two policies and the Planned Growth Strategy, and has created a nexus between each and the proposal.
 - D. Section D: Principal justification is that the proposed zoning would be more beneficial to the community and that community conditions have changed.
 - E. Section E: The proposed zoning will still be SU-1 and would not allow a use harmful to adjacent property, the neighborhood or the community.
 - F. Section F: The proposal will not result in unprogrammed City capital expenditures. Infrastructure is already in place.
 - G. Section G: Economic considerations are a major factor in this zone change request, but are not the determining factor. The other reason for the zone change is to provide buffering between the future uses.
 - H. Section H: Location on an arterial street is not a basis for this request.
 - I. Section I: The proposed zoning will not create a "spot zone". SU-1 zoning is typically not considered a "spot" zone.
 - J. Section J: This zone change will not result in strip zoning.
9. Economic considerations play a large part in this zone change request, though they are not the determining factor. Without the zone change, the land trade cannot happen, and without the land trade, the northern site cannot develop with the access it needs.

10. There is no known neighborhood or other opposition.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant must meet with the staff planner to ensure that conditions of approval are thoroughly addressed.
3. The southern and northern Lenkurt sites shall be replatted so that the property lines correspond to the results of the land trade.

On November 16, 2006 the Environmental Planning Commission voted to approve Project 1000572/06EPC 01447, a request for an amendment to a site development plan for subdivision, for portions of Lots 1-B, 2, 3, 6, 7 and 8, Lenkurt Properties, zoned SU-1 for PRD and SU-1 for IP, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for an amendment to a site development plan for subdivision for portions of Lots 1-B, 2, 3, 6, 7 and 8, Lenkurt Properties, an approximately 24 acre site located southeast of Eubank Blvd. and Interstate 40. This request is accompanied by a zone map amendment request (06EPC 01446).
2. The applicant proposes to reconfigure the subject site's boundaries to accommodate a land trade that the property owners have agreed to: the western and northern boundaries of the subject site will be shifted east and south, and a portion of the subject site's northeastern boundary will be shifted north.
3. The subject site does not lie within the boundaries of any area or sector plans.

4. The proposal *further*s and *partially further*s the intent of relevant Comprehensive Plan policies. The proposal will contribute to creating a full range of urban land uses by allowing the land trade to occur, which will facilitate development of office and industrial uses (further>s Policy II.B.5a). The proposal will also facilitate use of existing urban services, though truck traffic on a portion of Chico Rd. may disrupt neighborhood integrity (partially further>s Policy II.B.5e).
5. The proposal *further*s the intent of the Comprehensive Plan's Economic Development Goal because the land trade will facilitate future, diversified economic development that will balance the abundant residential development in the sites' vicinity.
6. Reconfiguring the subject site's boundaries will facilitate the following: (1) Four of the five triplexes near the northwestern corner will be relocated near the new northeastern boundary, (2) A townhome will be added to that area in lieu of the fifth triplex, (3) Moraga Way will be relocated to the new northeastern area, and (4) The townhomes just east of Moraga Way will be re-sited. The total unit count will remain the same.
7. There is no known neighborhood or other opposition.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant must meet with the staff planner to ensure that conditions of approval are thoroughly addressed.
3. The southern and northern Lenkurt sites shall be replatted so that the property lines correspond to the results of the land trade.
4. A pedestrian gate shall be provided at Moraga Way NE and at the northern end of the alley between the westernmost condominium units.
5. The note on Sheet 1 stating "Truck access, loading dock, and landscaping" shall be replaced with the note "future landscape buffer" because truck access and circulation will be dealt with when a development proposal for the northern Lenkurt site comes through the EPC process.

6. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:

Conditions of approval for the proposed Zone Map Amendment and Site Development Plan for Subdivision Amendment shall include:

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- d. Per Transportation Development Staff, truck access and circulation and the loading dock area will be reviewed with a development proposal for the northern Lenkurt site.
- e. Site plan shall comply and be designed per DPM Standards and/or as previously approved by the Traffic Engineer.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY DECEMBER 1, 2006 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
NOVEMBER 16, 2006
PROJECT #1000572
PAGE 6 OF 6

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

CMarone
for Richard Dineen
Planning Director

RD/CL/ac

cc: Consensus Planning, Inc., Attn: Jim Strozier, 302 Eighth St. NW, Albuquerque, NM 87102
L. Scott Varner, Towne Park NA, 10824 Pennyback NE, Albuquerque, NM 87123
Jeanne Hamrick, Towne Park NA, 10500 Schenley NE, Albuquerque, NM 87123



ENVIRONMENTAL PLANNING COMMISSION

A G E N D A

Thursday November 16, 2006
8:30 a.m.

Plaza del Sol Hearing Room
Lower Level
600 2nd Street NW

MEMBERS

Jeffery Jesionowski, Chairman
James Grout, Vice Chair

Jonathan Siegel
Laurie Moye
Ishmael Valenzuela

Larry Chavez
Virginia Klebesadel
Klarissa Pena

NOTE: A LUNCH BREAK AND DINNER BREAK WILL BE ANNOUNCED AS NECESSARY

Agenda items will be heard in the order specified unless changes are approved by the EPC at the beginning of the hearing; deferral and withdrawal requests (by applicants) are generally reviewed at this time (see item 1A and 1B below). Applications with no known opposition that are supported by the Planning Department are scheduled at the beginning of the agenda; these cases are noted with an asterisk (*). Applications deferred from a previous hearing are normally scheduled at the end of the agenda.

There is no set time for cases to be heard. However, interested parties can monitor the progress of the hearing by calling the Planning Department at 924-3860. All parties wishing to address the Commission must sign-in with the Commission Secretary at the front table prior to the case being heard. Please be prepared to provide brief and concise testimony to the Commission if you intend to speak. **In the interest of time, presentation times are limited as follows, unless otherwise granted by the Commission Chair: Staff - 5 minutes; Applicant - 10 minutes; Public speakers - 2 minutes each. An authorized representative of a recognized neighborhood association or other organization may be granted additional time if requested.**

All written materials -- including petitions, legal analysis and other documents -- should be submitted at least 10 days prior to the public hearing, ensuring presentation at the EPC Study Session. The EPC strongly discourages submission of written material at the public hearing. Except in extraordinary circumstances, the EPC will not consider written materials submitted at the hearing. In the event the EPC believes that newly submitted material may influence its final decision, the application may be deferred to a subsequent hearing.

NOTE: ANY AGENDA ITEMS NOT HEARD BY 8:30 P.M. MAY BE DEFERRED TO ANOTHER HEARING DATE AS DETERMINED BY THE PLANNING COMMISSION.

1. **Call to Order.**

- A. Announcement of Changes and/or Additions to the Agenda
- B. Approval of the Amended Agenda
- C. Approval of Minutes for October 19, 2006.

2. **Project # 1004801***

06EPC-01441 EPC Site Development Plan-
Subdivision

06EPC-01443 Zone Map Amendment

TIERRA WEST LLC agents for FRATERNAL ORDER OF POLICE LODGE 1 request the above actions for all or a portion of Tracts 1 & 2, **Fraternal Order of Police Addition**, a zone map amendment from SU-1 for Boys Club & IP to IP, located on JEFFERSON ST. NE, between BEAR CANYON ARROYO and OSUNA RD. NE, containing approximately 10 acres. (E-17) Stephanie Shumsky, Staff Planner

3. **Project # 1005189***

06EPC-01442 EPC Site Development Plan-
Building Permit

GARRETT SMITH LTD. agents for LITTLE BROTHERS OF THE GOOD SHEPHERD request the above action for all or a portion of Lots 1-10, **Perea Addition**, zoned SU-2/SU-1 for found house & Rel. act, located on MOUNTAIN RD. NW, between 14TH ST. NW and BROTHER MATHIAS PLACE, containing approximately 2 acres. (J-13) Maggie Gould, Staff Planner

4. **Project # 1005185***

06EPC-01435 Zone Map Amendment
06EPC-01436 EPC Site Development Plan-
Subdivision

CONSENSUS PLANNING agents for W INVESTMENTS, LLC request the above actions for all or a portion of Tract(s) 2-A-1, **Land of Edmund Rady**, a zone map amendment from C-2 to SU-1 for PRD, located on MONTGOMERY BLVD. NE, between TRAMWAY NE and SHILOH NE, containing approximately 3 acres. (F-22) Petra Morris, Staff Planner

5. **Project # 1005186***

06EPC-01437 EPC Site Development Plan-
Building Permit

06EPC-01438 Zone Map Amendment

CONSENSUS PLANNING agents for CIELO AT SILVER AVENUE request the above actions for all or a portion of Lots 1-15 & 11-34, **Valley View Addition**, a zone map amendment from C-2 to SU-1 for Mixed Use, located on SILVER AVE. SE, between JEFFERSON ST. SE and MADISON ST. SE, containing approximately 3 acres. (K-17) Stephanie Shumsky, Staff Planner

6. Project # 1005187*
06EPC-01439 EPC Site Development Plan-
Building Permit
06EPC-01440 Zone Map Amendment

CONSENSUS PLANNING agents for CIELO AT COPPER AVENUE request the above actions for all or a portion of Lots 1-13 & 18-36, **Valley View Addition**, a zone map amendment from C-1/C-2 to SU-1 for Mixed Use, located on CENTRAL AVE NE, between ADAMS ST. NE and JEFFERSON ST. NE, containing approximately 3 acres. (K-17) Stephanie Shumsky, Staff Planner

7. Project # 1000572*
06EPC-01446 Zone Map Amendment
06EPC-01447 Amendment Site Plan for
Subdivision

CONSENSUS PLANNING agents for CENTEX HOMES request the above action for all or a portion of Lots 1B, 2, 3, 6, 7 and 8, **Plat of Lenkurt Properties**, a zone map amendment from SU-1 for PRD and SU-1 for IP to SU-1 for IP and SU-1 for PRD, located on CHICO ROAD, between MORRIS ST. and I-40, containing approximately 24 acres. (K-21) Catalina Lehner, Staff Planner

8. Project # 1002515*
06EPC-01451 EPC Sector Development Plan

The City of Albuquerque, Planning Department request a text amendment to Downtown 2010 Sector Development Plan to prohibit adult amusement establishments and adult stores. Russell Brito, Staff Planner

9. Project # 1005183
06EPC-01432 Zone Map Amendment

JOHN L. MARTINEZ, MARLENE RANDALL & VERONICA request the above action for all or a portion of Lot 10A, **Plat of Zapf-Van Addition**, a zone map amendment from R-1 to SU-1 for O-1, located on MONTANO RD. NW, between 4TH ST. NW and GUADALUPE TRAIL NW, containing approximately 1 acre. (F-14) Petra Morris, Staff Planner

10. Project # 1001726
06EPC-01445 Zone Map Amendment

HEWITT ENGINEERING & ENVIRONMENTAL CONSULTANTS agents for WAYNE LUJAN request the above action for all or a portion of Lot 1, **Lands of Baldonado, Town of Albuquerque**, a zone map amendment from RA-2 to R-1, located on BERNADINO RD. NW, between LILAC AVE. NW and RICE AVE. NW, containing approximately 1 acre. (H-13) Maggie Gould Staff Planner

11. Project # 1002819

06EPC-00464 EPC Site Development Plan-
Building Permit

CONSENSUS PLANNING, INC., agent for DIAMOND MESA, requests the above action for all or a portion of Tract E-6-A-1, **Albuquerque South, U-3**, zoned SU-1 for R-2/RT, located on the south side of GIBSON BLVD., SW, between 98TH ST., SW and the AMOLE ARROYO DRAINAGE R-O-W, containing approximately 30 acres. (N-9) Carmen Marrone, Staff Planner **(REMAND FROM CITY COUNCIL)**

12. Project # 1003479

06EPC-00955 EPC Site
Development Plan-Building Permit
06EPC-00956 Zone Map
Amendment

DAC ENTERPRISES, INC. agents for EDDIE & CHRISTINE LOPEZ request the above actions for all or a portion of Tract E, **St. Anthony's Orphanage Addition**, zoned R-1 Residential, located on 12TH ST. NW, between INDIAN SCHOOL ROAD NW and I-40, containing approximately 2 acres. (H-13) Catalina Lehner, Staff Planner **(DEFERRED FROM OCTOBER 19, 2006)**

13. Project # 1005126

06EPC-01299 EPC Site Development Plan-
Building Permit

IAN F. HARMON agent for PASTOR DON GIBSON requests the above action for all or a portion of Lot 313, **Town of Atrisco Grant**, zoned SU-1 Church & Private School, located on ESTANCIA DR. NW, between MIAMI NW and JUNIPER NW, containing approximately 5 acres. (H-11) Maggie Gould, Staff Planner **(DEFERRED FROM OCTOBER 19, 2006)**

14. Project # 1001049

06EPC-01304 Zone Map
Amendment

CONSENSUS PLANNING agents for HORIZON ROSE INTERESTS LLC request the above action for all or a portion of Tracts 1 & 4, **Lands of IHS Acquisition #120**, a zone map amendment from SU-2/Hospital & Medical to SU-2/ Hospital & Medical and O-1 Permissive Uses, located on ALAMEDA BLVD. NE, between BALLOON MUSEUM DR. NE and EDITH BLVD. NE, containing approximately 15 acres. (C-17) Stephanie Shumsky, Staff Planner **(DEFERRED FROM OCTOBER 19, 2006)**

15. Project # 1005131

06EPC-01311 EPC Site Development Plan-
Building Permit
06EPC-01312 Zone Map Amendment

GREER-STAFFORD STCF, agent for the CITY OF ALBUQUERQUE, requests the above actions for Parcels 1- 3, **Huning Highlands Addition**, a zone map amendment from SU-2 MR to SU-2/SU-1 for Fire Station, located on HIGH ST. SE, between SILVER SE and LEAD SE, containing approximately .49 acre. (K-14) Maryellen Hennessy, Staff Planner **(ZONE MAP AMENDMENT APPROVED. SITE PLAN (DEFERRED FROM OCTOBER 19, 2006)**

16. Project # 1000965

06EPC-01314 EPC Site Development Plan-
Building Permit
06EPC-01315 EPC Site Development Plan-
Amendment to Subdivision

CONSENSUS PLANNING agent for ASW REALTY PARTNERS/ANADALUCIA DEVEL. CORP. request the above actions for all or a portion of Tracts A & B, **Andalucia at La Luz**, zoned SU-1/PRD 5 du/acre, located on COORS BLVD. and SEVILLA AVE. NW, containing approximately 15 acres. (F-11) Carmen Marrone, Staff Planner **(DEFERRED FROM OCTOBER 19, 2006)**

17. Project # 1005133

06EPC-01316 EPC Site Development Plan-
Subdivision
06EPC-01317 EPC Site Development Plan-
Building Permit
06EPC-01318 Zone Map Amendment

GEORGE RAINHART ARCH. agents for AEM & ASSOCIATES request the above actions for all or a portion of Tracts N1, B2, **Seven Bar Ranch**, zoned SU-1 for Auto Park to SU-1 for C-2 Permissive Use to include Costco, located on COORS BYPASS NW at EAGLE RANCH ROAD NW. (B-13) Makita Hill, Staff Planner **(DEFERRED FROM OCTOBER 19, 2006)**

18. Project # 1000771

06EPC-01105 EPC Site Development
Plan-Subdivision
06EPC-01106 EPC Site Development
Plan-Building Permit

TIERRA WEST LLC agents for BEAZER HOMES request the above actions for all or a portion of Tract C, **Cottonwood Pointe**, zoned SU-1 for R-2, C-2 and IP uses, located on EAGLE RANCH RD. NW, between IRVING BLVD. NW and the CALABACILLAS ARROYO, containing approximately 7 acres. (B-13) Catalina Lehner, Staff Planner **(DEFERRED FROM OCTOBER 19, 2006)**

19. Project # 1000570

06EPC-00141 EPC Sector
Development Plan
06EPC-00139 Zone Map
Amendment

SITES SOUTHWEST, LLC agents for WESTLAND DEVELOPMENT CO., INC request the above actions for Parcels C, D, E, F, G, H, **Westland North Bulk Land Plat**, a zone map amendment from SU-2 for R-LT, R-2, O-1, OS and PDA for Town Center to SU-2 for RL-T, R-2, O-1, OS and PDA for T own Center, located on ARROYO VISTA BLVD. NW, between HIGH MESA DRIVE NW, 98TH ST. NW and I-40, containing approximately 506 acres. (J-7) Stephanie Shumsky, Staff Planner **(DEFERRED FROM AUGUST 17, 2006)**

20. Project # 1001150

06EPC-00624 EPC Site
Development Plan- Building Permit
06EPC-00625 EPC Site
Development Plan-Subdivision

TIERRA WEST LLC agent for VISTA DEL NORTE DEVELOPMENT LLC requests the above actions for all or a portion of Lot M-1, **Vista del Norte Subdivision**, zoned SU-1 for C-2 Uses Except Alcoholic Drink Sales for Off -Premise Consumption within 600' of Residentially Zoned Property, Drive-Up or Drive-Thru Liquor Sales are Not Permitted, located on OSUNA RD NE, between the NORTH DIVERSION CHANNEL and VISTA DEL NORTE NE, containing approximately 22 acres. (E-16) Stephanie Shumsky, Staff Planner **(DEFERRED FROM SEPTEMBER 21, 2006)**

- 21. Project # 1000365**
06EPC-01110 Zone Map Amendment
- MASTERWORKS ARCHITECTS INC. agents for TUAN VAN HUYNH request the above actions for all or a portion of Lots 2-4 & 19-21, Block 1, **Unity Addition**, a zone map amendment from SU-1/C-1 & Vehicle Sales to SU-1/R-T, located on PENNSYLVANIA ST. SE, between CENTRAL AVE SE and ZUNI RD. SE, containing approximately 1 acre. (K-19) Maggie Gould, Staff Planner **(DEFERRED FROM SEPTEMBER 21, 2006)**
- 22. Project # 1001209**
06EPC-00766 Zone Map Amendment
06EPC-00764 EPC Site Development Plan-Amendment to Subdivision
- CONSENSUS PLANNING, agent for CLIFFORD CAPITAL FUND, INC, requests the above actions for all or a portion of Tract A-2, **Lava Trails**, a zone map amendment from SU-1 for Neighborhood Commercial to SU-1 for Neighborhood Commercial and Automobile Body Shop, located on the southeast side of UNSER BLVD NW and WESTERN TRAIL NW, containing approximately 5 acres. (F-10) Catalina Lehner, Staff Planner **(DEFERRED FROM OCTOBER 19, 2006)**
- 23. Project # 1001620**
06EPC-00958 Text Amendment
- Text Amendment to Section 14-16-3-5 General Sign Regulations and to Sections 14-16-1-5 through 14-16-2-26, 14-16-3-2 through 14-16-3-12 to create comprehensive signage regulations that restrict height, area and numbers of free-standing signs per permissive based on use, zoning category and building size. Russell Brito, Staff Planner **(DEFERRED FROM OCTOBER 19, 2006)**
- 24. Project # 1005195**
06EPC-01462 EPC Sector Development Plan
- COA/Planning request an amendment to the South Broadway Sector Development Plan to add SU-2/RV (Rail Yard), a mixed use zone of light industrial, commercial, and residential uses and to expand the area covered by the plan by approximately 28 acres. Ed Boles, Staff Planner
- 25. OTHER MATTERS**

STATE OF NEW MEXICO
County of Bernalillo SS

Bill Tafoya, being duly sworn, declares and says that he is Classified Advertising Manager of **The Albuquerque Journal**, and that this newspaper is duly qualified to publish legal notices or advertisements within the meaning of Section 3, Chapter 167, Session Laws of 1937, and that payment therefore has been made of assessed as court cost; that the notice, copy of which is hereto attached, was published in said paper in the regular daily edition, for 1 times, the first publication being on the 1 day of Nov, 2006 and the subsequent consecutive publications on _____, 20_____.

[Handwritten Signature]

Sworn and subscribed to before me, a Notary Public, in and for the County of Bernalillo and State of New Mexico this 1 day of Nov of 2006.

PRICE \$49.08

Statement to come at end of month.

ACCOUNT NUMBER C.80583

CLA-22-A (R-1/93)



NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a **Public Hearing on Thursday, November 16, 2006, 8:30 a.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following item: [Note: these items are not in the order they will be heard]

Project # 1000572 06EPC-01446
Zone Map Amendment 06EPC-01447 Amendment Site Plan for Subdivision - CONSENSUS PLANNING agents for CENTEX HOMES request the above action for all or a portion of Lots 1B, 2, 3, 6, 7 and 8, **Plat of Lankurt Properties**, a zone map amendment from SU-1 for PRD and SU-1 for IP to SU-1 for IP and SU-1 for PRD, located on **CHICO ROAD**, between **MORRIS ST.** and **I-40**, containing approximately 24 acres. (K-21) Catalina Lehner, Staff Planner



Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00 and between 2:00 and 4:00 p.m., Monday through Friday, or you may call April Candelaria at 924 3886. **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at the public hearing should contact April Candelaria 924-3886.

Jeff Jesionowski, Chairman
Environmental Planning Commission

Carmen Marrone, Senior Planner
Planning Department
Journal: November 1, 2006



NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a Study Session on Thursday, November 9, 2006, 3:00 p.m., in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following:

Distribution & Review - Current Land Use Matters for the November 16, 2006 Public Hearing, which include the projects listed below.

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a Public Hearing on Thursday, November 16, 2006, 8:30 a.m., in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following item: [Note: these items are not in the order they will be heard]

Project # 1002819 06EPC-00464
EPC Site Development Plan - Building Permit - CONSENSUS PLANNING, INC., agent for DIAMOND MESA, requests the above action for all or a portion of Tract E-6-A-1, Albuquerque South, U-3, zoned SU-1 for R-2/RT, located on the south side of GIBSON BLVD., SW, between 98TH ST. SW and the AMOLE ARROYO DRAINAGE R.O.W. containing approximately 30 acres. (N-9) Carmen Marrone, Staff Planner

Project # 1005183 06EPC-01432
Zone Map Amendment JOHN L. MARTINEZ, MARLENE RANDALL & VERONICA request the above action for all or a portion of Lot 10A, Plat of Zapf-Van Addition, a zone map amendment from R-1 to SU-1 for O-1, located on MONTANO RD. NW, between 4TH ST. NW and GUADALUPE TRAIL NW, containing approximately 1 acre. (F-14) Petra Morris, Staff Planner

Project # 1005185 06EPC-01436
Zone Map Amendment, 06EPC-01436 EPC Site Development Plan-Subdivision - CONSENSUS PLANNING agents for W INVESTMENTS, LLC request the above actions for all or a portion of Tract(s) 2-A-1, Land of Edmund Redy, a zone map amendment from C-2 to SU-1 for PRD, located on MONTGOMERY BLVD. NE, between TRAMWAY NE and SHILOH NE, containing approximately 3 acres. (F-22) Petra Morris, Staff Planner

Project # 1005186 06EPC-01437
EPC Site Development Plan - Building Permit, 06EPC-01438 Zone Map Amendment - CONSENSUS PLANNING agents for CIELO AT SILVER AVENUE request the above actions for all or a portion of Lots 1-15 & 11-34, Valley View Addition, a zone map amendment from C-2 to SJ-1 for Mixed Use, located on SILVER AVE. SE, between JEFFERSON ST. SE and MADISON ST. SE, containing approximately 3 acres. (K-17) Stephanie Shumsky, Staff Planner

Project # 1005187 06EPC-01439
EPC Site Development Plan - Building Permit, 06EPC-01440 Zone Map Amendment CONSENSUS PLANNING agents for CIELO AT COPPER AVENUE request the above actions for all or a portion of Lots 1-13 & 18-36, Valley View Addition, a zone map amendment from C-1/C-2 to SU-1 for Mixed Use, located on CENTRAL AVE. NE, between ADAMS ST. NE and JEFFERSON ST. NE, containing approximately 3 acres. (K-17) Stephanie Shumsky, Staff Planner

Project # 1004801 06EPC-01441
EPC Site Development Plan-Subdivision, 06EPC-01443 Zone Map Amendment - TIERRA WEST LLC agents for FRATERNAL ORDER OF POLICE LODGE 1 request the above actions for all or a portion of Tracts 1 & 2, Fraternal Order of Police Addition, a zone map amendment from SU-1 for Boys Club & IP to IP, located on JEFFERSON ST. NE, between BEAR CANYON ARROYO and OSUNA RD. NE, containing approximately 10 acres. (E-17) Stephanie Shumsky, Staff Planner

Project # 1005189 - 06EPC-01442
EPC Site Development Plan-Building Permit - GARRETT SMITH LTD, agents for LITTLE BROTHERS OF THE GOOD SHEPHERD request the above action for all or a portion of Lots 1-10, Pecos Addition, zoned SU-2/SU-1 for found house & Rel. act, located on MOUNTAIN RD. NW, between 14TH ST. NW and GIBSON BLVD. NW, containing approximately 10 acres. (E-17) Stephanie Shumsky, Staff Planner

STATE OF NEW MEXICO
County of Bernalillo SS

Bill Tafoya, being duly sworn, declares and says that he is Classified Advertising Manager of **The Albuquerque Journal**, and that this newspaper is duly qualified to publish legal notices or advertisements within the meaning of Section 3, Chapter 167, Session Laws of 1937, and that payment therefore has been made of assessed as court cost; that the notice, copy of which is hereto attached, was published in said paper in the regular daily edition, for 1 times, the first publication being on the 25 day of Oct., 2006 and the subsequent consecutive publications on _____, 20____.

[Handwritten signature]

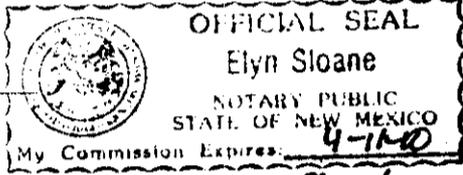
Sworn and subscribed to before me, a Notary Public, in and for the County of Bernalillo and State of New Mexico this 25 day of Oct., of 2006

PRICE \$162.79

Statement to come at end of month.

ACCOUNT NUMBER C80583

CLA-22-A (R-1/93)



[Handwritten signature]

Project # 1001726 06EPC-01445
Zone Map Amendment/Sector Plan Amendment-Los Duranes Sector Development Plan - Sector ENGINEERING & ENVIRONMENTAL CONSULTANTS request the above action for all or a portion of Lot 1, Lands of Baldonado, Town of Albuquerque, a zone map amendment from RA-2 to R-1, located on BERNADINO RD. NW, between LILAC AVE. NW and RICE AVE. NW, containing approximately 1 acre. (H-13) Maggie Gould Staff Planner

Project # 1000572 - 06EPC-01446
Zone Map Amendment - CONSENSUS PLANNING agents for CENTEX HOMES request the above action for all or a portion of Lots 1B, 2, 3, 6, 7 and 8, Plat of Lenkurt Properties, a zone map amendment from SU-1 for PRD/SU-1 for IP to SU-1 for P/SU-1 for PRD, located on CHICO ROAD, between MORRIS ST. and I-40, containing approximately 24 acres. (K-21) Catalina Lehner, Staff Planner

Project # 1002515 - 06EPC-01451
EPC Sector Development Plan - Text amendment to Downtown 2010 Sector Development Plan to prohibit adult amusement establishments and adult stores. Russell Brito, Staff Planner

Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 4:00 p.m., Monday through Friday, or you may call April Candelaria at 924-3886. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at the public hearing should contact April Candelaria 924-3886.

Jeff Jesionowski, Chairman
Environmental Planning Commission

APPROVED
Carmen Marrone, Senior Planner
Planning Department
Journal: October 25, 2006



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT, DEVELOPMENT REVIEW DIVISION
P.O. BOX 1293, ALBUQUERQUE, NM 87103

January 25, 2007

Centex Homes, Attn: Bob Prewitt
7601 Jefferson St. NE, #320
Albuq. NM 87109

CERTIFICATE OF ZONING

FILE: 06EPC 01446 (Project 1000572)
DATE OF FINAL ACTION: November 16, 2006
LEGAL DESCRIPTION: for all or a portion of Lots 1B, 2, 3, 6, 7 and 8, **Plat of Lenkurt Properties**, a zone map amendment from SU-1 for PRD and SU-1 for IP to SU-1 for IP and SU-1 for PRD, located on CHICO ROAD, between MORRIS ST. and EUBANK, containing approximately 24 acres. (K-21) Catalina Lehner, Staff Planner

THE POSSIBLE APPEAL PERIOD HAVING EXPIRED, THE ZONING ON THE ABOVE CITED PROPERTY IS NOW CHANGED AS FOLLOWS:

FROM SU-1 for IP
TO SU-1 for PRD for a 1.02 portion of Lots 1-B, 2 and 6
And
FROM SU-1 for PRD
TO SU-1 for IP for a 1.65 acre portion of Lot 3

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of a zone map amendment does not constitute approval of plans for a building permit. Site and building plans need to be reviewed, approved and signed-off by the Environmental Planning Commission, the Development Review Board, the Design Review Committee and/or the Building and Safety Division, as applicable and as required by the site's zoning, before a building permit will be issued.

Sincerely,

for *CMarone*
Richard Dineen
Planning Director

RD/ac

cc: Zoning Code Services Division
Neal Weinberg, AGIS Division



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT, DEVELOPMENT REVIEW DIVISION
P.O. BOX 1293, ALBUQUERQUE, NM 87103

6 November 2006

Centex Homes
120 Masthead NE
Albuquerque, NM 87109

AMENDED CERTIFICATE OF ZONING

FILE: 05EPC 01114 (Project 1000572)
DATE OF FINAL ACTION: November 1, 2005
LEGAL DESCRIPTION: for all or a portion of Lot 3, Lot 7
and Lot 8, **Lenkurt Properties**, a zone map amendment
from SU-1 for IP to SU-1 PRD, located on CHICO ROAD
NE, between EUBANK BLVD. NE and MORRIS ST. NE,
containing approximately 43 acres. (K-21) Catalina Lehner,
Staff Planner

THE POSSIBLE APPEAL PERIOD HAVING EXPIRED, THE ZONING ON THE ABOVE CITED
PROPERTY IS NOW CHANGED AS FOLLOWS:

**FROM SU-1 for IP
TO SU-1 for PRD**

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of a zone map amendment does not constitute approval of plans for a building permit. Site and building plans need to be reviewed, approved and signed-off by the Environmental Planning Commission, the Development Review Board, the Design Review Committee and/or the Building and Safety Division, as applicable and as required by the site's zoning, before a building permit will be issued.

Sincerely,


For Richard Dineen
Planning Director

RD/ac

cc: Zoning Code Services Division
Neal Weinberg, AGIS Division

- d. Site plan shall comply and be designed per DPM Standards and/or per previous discussions with Traffic engineer.
10. Conditions from the City Forester:
- a. Tree pits in sidewalk are too small – Make them into long trenches and connect root zones – Water at tree and create second zone for accommodate future growth of plants (second zone to be left off until 1-2 years after installation)
 - b. The responsibility for maintenance statement shall clarify which owner is responsible for maintenance of landscaping (i.e. loft resident, building owner, site owner)
 - c. Identify who is responsible for the maintenance of the pots.
11. Conditions from the Police Department:
- a. Proposed lighting shall emphasize illumination around resident entrances, parking areas, walkways, parking, structures, and common areas.
 - b. Landscaping shall be low level when mature, not restrict visibility to and from pedestrian entrances, walkways and driveways or conflict with proposed property lighting on or street lighting.
12. A detail of the marquee sign shall be provided on the site plan.

MOVED BY COMMISSIONER KLEBESADEL
SECONDED BY COMMISSIONER MOYE

MOTION PASSED UNANIMOUSLY

7. Project # 1000572*
06EPC-01446 Zone Map Amendment
06EPC-01447 Amendment Site Plan for
Subdivision

CONSENSUS PLANNING agents for CENTEX HOMES request the above action for all or a portion of Lots 1B, 2, 3, 6, 7 and 8, **Plat of Lenkurt Properties**, a zone map amendment from SU-1 for PRD and SU-1 for IP to SU-1 for IP and SU-1 for PRD, located on CHICO ROAD, between MORRIS ST. and I-40, containing approximately 24 acres. (K-21) Catalina Lehner, Staff Planner **(APPROVED WITH CONDITIONS)**

STAFF PRESENT:

Catalina Lehner, Planning Department

PERSONS PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:

Jim Strozier, 302 8th St.
Bob Pruitt, 7601 Jefferson NE

THERE WAS NO ONE PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:

MS. LEHNER: Reiterated comments made in the staff report in which approval was recommended for the zone map amendment and site plan for subdivision.

FINAL ACTION TAKEN

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to approve Project 1000572/ 06EPC 01446, a Zone Map Amendment from: (1) SU-1 for IP to SU-1 for PRD for a 1.02 acre portion of Lots 1-B, 2 and 6, and (2) SU-1 for PRD to SU-1 for IP for a 1.65 acre portion of Lot 3, located southeast of Eubank Boulevard NE and Interstate 40, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a two-part zone map amendment request: (1) from SU-1 for IP to SU-1 for PRD for a 1.02 acre strip of land (portions of Lots 1-B, 2 and 6) adjacent north of the subject site, and (2) from SU-1 for PRD to SU-1 for IP for a 1.65 acre strip of land (a portion of Lot 3) on the subject site, located near the southeast corner of Eubank Boulevard NE and Interstate 40.
2. The zone map amendments are needed to allow part of the northern Lenkurt site (portions of Lots 1-B, 2 and 6) to be used for residential purposes and to allow part of the subject site (along the western and northern boundaries of Lot 3) to be used for IP purposes. This request is accompanied by an amendment to a site development plan for subdivision (06EPC 01447).
3. The zone map amendments will facilitate a land trade between the applicant (who owns the southern Lenkurt site, ≈ 24 acres) and the owner of the northern Lenkurt site (≈ 19 acres). The purpose of the land trade is to improve access to the northern Lenkurt site from Chico Rd. and to provide buffering between the future retail/office/industrial uses on the northern site and the already approved residential uses (Project #1000572, 05EPC-01116) on the southern site.
4. The subject site does not lie within the boundaries of any area or sector plans.
5. The proposal *further*s and *partially further*s the intent of relevant Comprehensive Plan policies. The proposal will contribute to a full range of urban land uses by allowing the land trade to occur, which will facilitate development of office and industrial uses (further>s Policy II.B.5a). The proposal will also facilitate use of existing urban services, though truck traffic on a portion of Chico Rd. may disrupt neighborhood integrity (partially further>s Policy II.B.5e).
6. The proposal *further*s the intent of the Comprehensive Plan's Economic Development Goal because the land trade will facilitate future, diversified economic development that will balance the abundant residential development in the sites' vicinity.

7. Pursuant to Resolution 270-1980, the applicant must provide sound justification for a zone change. Principal justification is that the proposed change is more beneficial for the community and that neighborhood conditions have changed. The applicant has adequately addressed Comprehensive Plan policies.
8. Overall, the applicant has adequately justified the zone change pursuant to Resolution 270-1980 as follows:
 - A. Section A: The proposal is generally consistent with City policies in the Comprehensive Plan, including Policy II.B.5a-full range of urban land uses, Policy II.B.5e-programmed facilities/neighborhood integrity, and the Economic Development Goal.
 - B. Section B: The proposal will promote land use stability and the applicant has provided an adequate justification for the change.
 - C. Section C: The applicant cites one Comprehensive Plan Goal, two policies and the Planned Growth Strategy, and has created a nexus between each and the proposal.
 - D. Section D: Principal justification is that the proposed zoning would be more beneficial to the community and that community conditions have changed.
 - E. Section E: The proposed zoning will still be SU-1 and would not allow a use harmful to adjacent property, the neighborhood or the community.
 - F. Section F: The proposal will not result in unprogrammed City capital expenditures. Infrastructure is already in place.
 - G. Section G: Economic considerations are a major factor in this zone change request, but are not the determining factor. The other reason for the zone change is to provide buffering between the future uses.
 - H. Section H: Location on an arterial street is not a basis for this request.
 - I. Section I: The proposed zoning will not create a "spot zone". SU-1 zoning is typically not considered a "spot" zone.
 - J. Section J: This zone change will not result in strip zoning.
9. Economic considerations play a large part in this zone change request, though they are not the determining factor. Without the zone change, the land trade cannot happen, and without the land trade, the northern site cannot develop with the access it needs.
10. There is no known neighborhood or other opposition.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant must meet with the staff planner to ensure that conditions of approval are thoroughly addressed.

3. The southern and northern Lenkurt sites shall be replatted so that the property lines correspond to the results of the land trade.

MOVED BY COMMISSIONER GROUT
SECONDED BY COMMISSIONER MOYE

MOTION PASSED UNANIMOUSLY

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to approve Project 1000572/ 06EPC 01447, a request for an amendment to a site development plan for subdivision, for portions of Lots 1-B, 2, 3, 6, 7 and 8, Lenkurt Properties, zoned SU-1 for PRD and SU-1 for IP, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for an amendment to a site development plan for subdivision for portions of Lots 1-B, 2, 3, 6, 7 and 8, Lenkurt Properties, an approximately 24 acre site located southeast of Eubank Blvd. and Interstate 40. This request is accompanied by a zone map amendment request (06EPC 01446).
10. The applicant proposes to reconfigure the subject site's boundaries to accommodate a land trade that the property owners have agreed to: the western and northern boundaries of the subject site will be shifted east and south, and a portion of the subject site's northeastern boundary will be shifted north.
11. The subject site does not lie within the boundaries of any area or sector plans.
4. The proposal *further*s and *partially further*s the intent of relevant Comprehensive Plan policies. The proposal will contribute to creating a full range of urban land uses by allowing the land trade to occur, which will facilitate development of office and industrial uses (*further*s Policy II.B.5a). The proposal will also facilitate use of existing urban services, though truck traffic on a portion of Chico Rd. may disrupt neighborhood integrity (*partially further*s Policy II.B.5e).
5. The proposal *further*s the intent of the Comprehensive Plan's Economic Development Goal because the land trade will facilitate future, diversified economic development that will balance the abundant residential development in the sites' vicinity.
6. Reconfiguring the subject site's boundaries will facilitate the following: (1) Four of the five triplexes near the northwestern corner will be relocated near the new northeastern boundary, (2) A townhome will be added to that area in lieu of the fifth triplex, (3) Moraga Way will be relocated to the new northeastern area, and (4) The townhomes just east of Moraga Way will be re-sited. The total unit count will remain the same.
7. There is no known neighborhood or other opposition.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant must meet with the staff planner to ensure that conditions of approval are thoroughly addressed.
3. The southern and northern Lenkurt sites shall be replatted so that the property lines correspond to the results of the land trade.
4. A pedestrian gate shall be provided at Moraga Way NE and at the northern end of the alley between the westernmost condominium units.
5. The note on Sheet 1 stating "Truck access, loading dock, and landscaping" shall be replaced with the note "future landscape buffer" because truck access and circulation will be dealt with when a development proposal for the northern Lenkurt site comes through the EPC process.
6. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
Conditions of approval for the proposed Zone Map Amendment and Site Development Plan for Subdivision Amendment shall include:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. Per Transportation Development Staff, truck access and circulation and the loading dock area will be reviewed with a development proposal for the northern Lenkurt site.
 - e. Site plan shall comply and be designed per DPM Standards and/or as previously approved by the Traffic Engineer.

MOVED BY COMMISSIONER GROUT
SECONDED BY COMMISSIONER MOYE

MOTION PASSED UNANIMOUSLY

8. Project # 1002515*
06EPC-01451 EPC Sector Development
Plan

The City of Albuquerque, Planning Department request a text amendment to Downtown 2010 Sector Development Plan to prohibit adult amusement establishments and adult stores. Russell Brito, Staff Planner **(RECOMMENDED APPROVAL TO THE CITY COUNCIL)**

STAFF PRESENT:

Russell Brito, Planning Department
Kevin Curran, Legal Department

THERE WAS NO ONE PRESENT TO SPEAK IN FAVOR OR OPPOSITION OF THIS REQUEST:

MR. BRITO: Mr. Chair, Commissioners agenda item number eight, project 1002515, case number 06EPC 01451. This is a proposed text amendment to the Downtown 2010 Sector Development Plan. This proposed text amendment would prohibit all adult amusement establishments and adult stores within the boundaries of that approximately three hundred and twenty one acre sector plan.

The language was written by the City Legal Department. They vetted it to make sure that it does not conflict with anybody's first amendment, free speech rights. The staff review finds that the proposed text amendment does further applicable intent goals and policies from the City Charter, the Comprehensive Plan, the Downtown 2010 Sector Development Plan and the Zoning Code. The terms adult amusement establishments and adult stores are defined in the Zoning Code and that is the reason that the language as written—uses those terms. All of the neighborhood associations within the sector plan and the surrounding neighborhoods were notified of the request. We received no correspondence for or against the proposed change and staff recommends approval.

COMMISSIONER MOYE: Mr. Brito I have a question when I asked you about this at the study session you had indicated that there is only one adult establishment and that on the passage of this that they would be a permissive non conforming use. Should there not be a finding to that affect?

CHAIRMAN JESONOWSKI: It is in the language. The change that we are making is adult amusement establishments and adult stores are not allowed period. Existing adult establishments and adult stores shall be legal non-conforming uses so I think that point is covered in the wording of the legislation.



**Environmental
Planning
Commission**

**Agenda Number: 7
Project Number: 1000572
Case #: 06EPC 01446/06EPC 01447
November 16, 2006**

Staff Report

Agent	Consensus Planning
Applicant	Centex Homes
Requests	Zone Map Amendment Amendment-Site Development Plan for Subdivision
Legal Description	Portions of Lots 1B, 2, 3, 6, 7 and 8, Lenkurt Properties
Location	501 Morris Street NE (SE of Eubank Boulevard NE and Interstate 40)
Size	Approximately 24 acres
Existing Zoning	SU-1 for IP, SU-1 for PRD
Proposed Zoning	SU-1 for PRD, SU-1 for IP

Staff Recommendation

APPROVAL of 06EPC 01446, based on the findings on page 11, and subject to the conditions of approval on page 13.

APPROVAL of 06EPC 01447, based on the findings on page 13, and subject to the conditions of approval on page 14.

Staff Planner

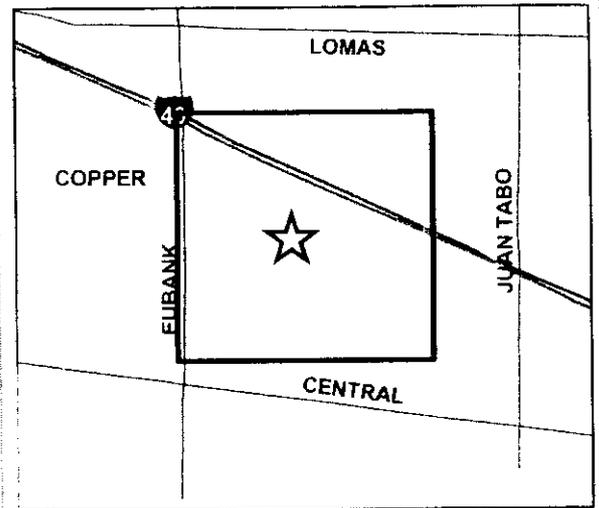
Catalina Lehner, AICP- Senior Planner

Summary of Analysis

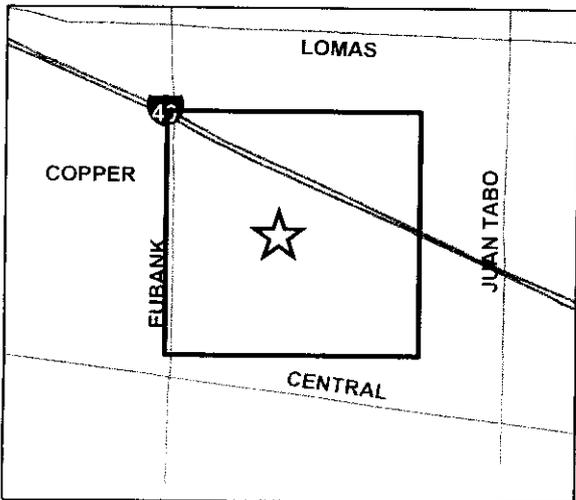
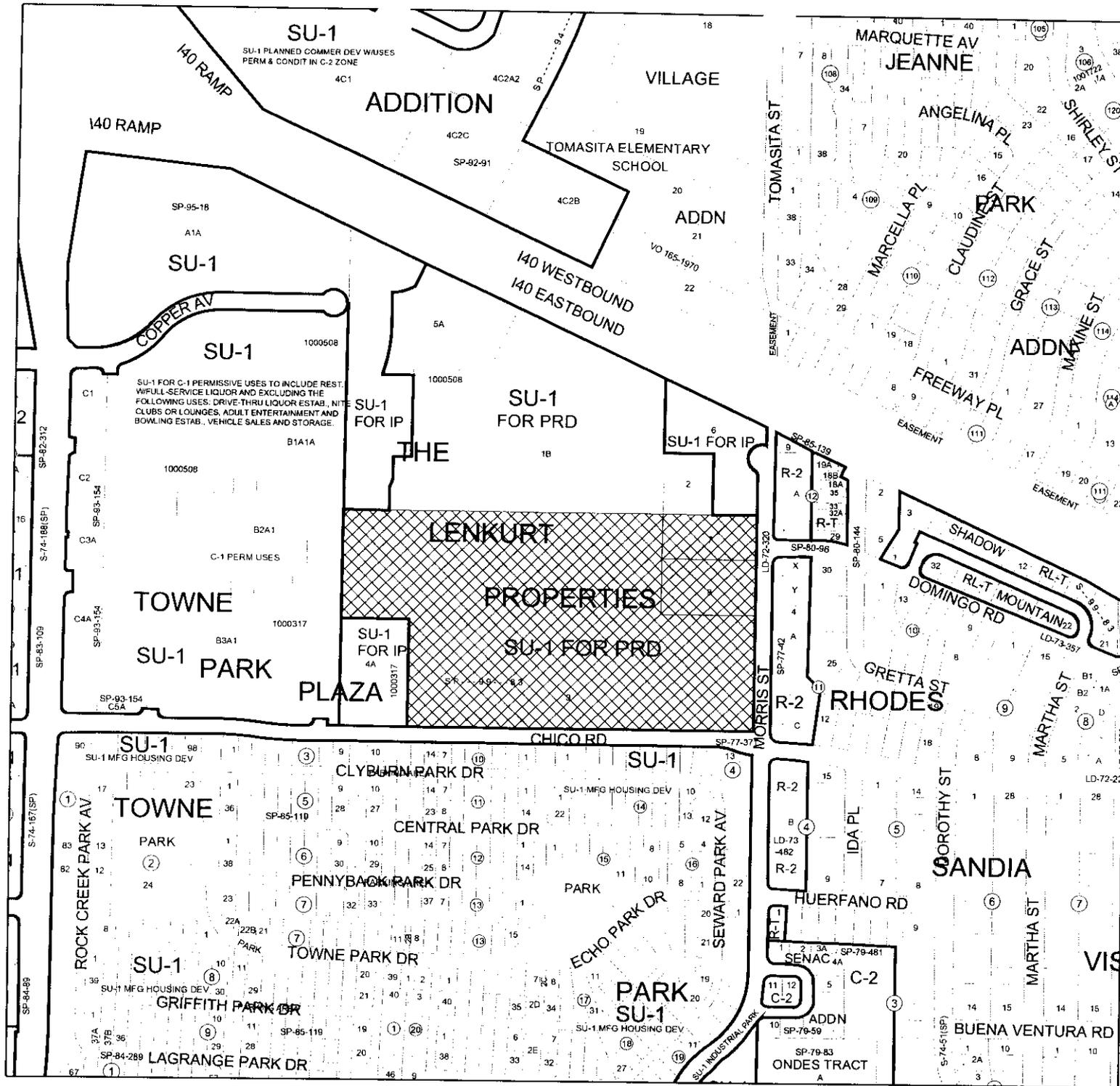
This two-part proposal is for (1) a zone map amendment for a 1.02 acre portion (SU-1 for IP to SU-1 for PRD) and a 1.65 acre portion (SU-1 for PRD, SU-1 for IP) of the subject site, and (2) an amendment to the existing site development plan for subdivision for the Presidio, a residential development on the southern Lenkurt site.

The proposal will enable a land trade to take place between the owners of the southern and northern Lenkurt sites. The purpose is to improve access to the northern site and to improve buffering between residential uses on the southern site and future office/retail/industrial uses planned for the northern site.

The applicant has justified the zone map amendment request and has demonstrated overall compliance with R270-1980. There is no known neighborhood or other opposition. Staff recommends approval of both requests subject to conditions.



City Departments and other interested agencies reviewed this application from 10/09/06 to 10/20/06. Agency comments used in the preparation of this report begin on page 17.



ZONING MAP

Note: Grey shading indicates County.



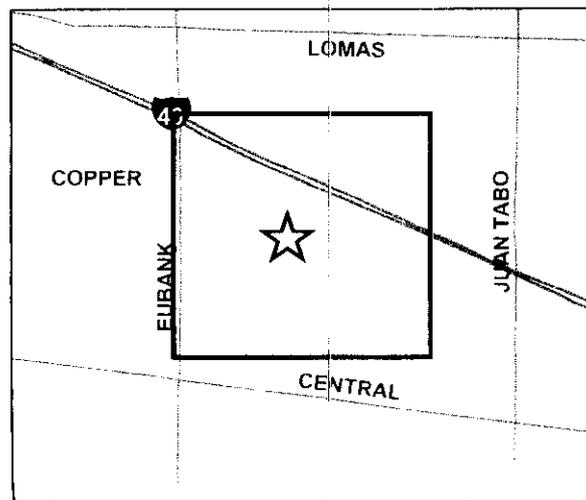
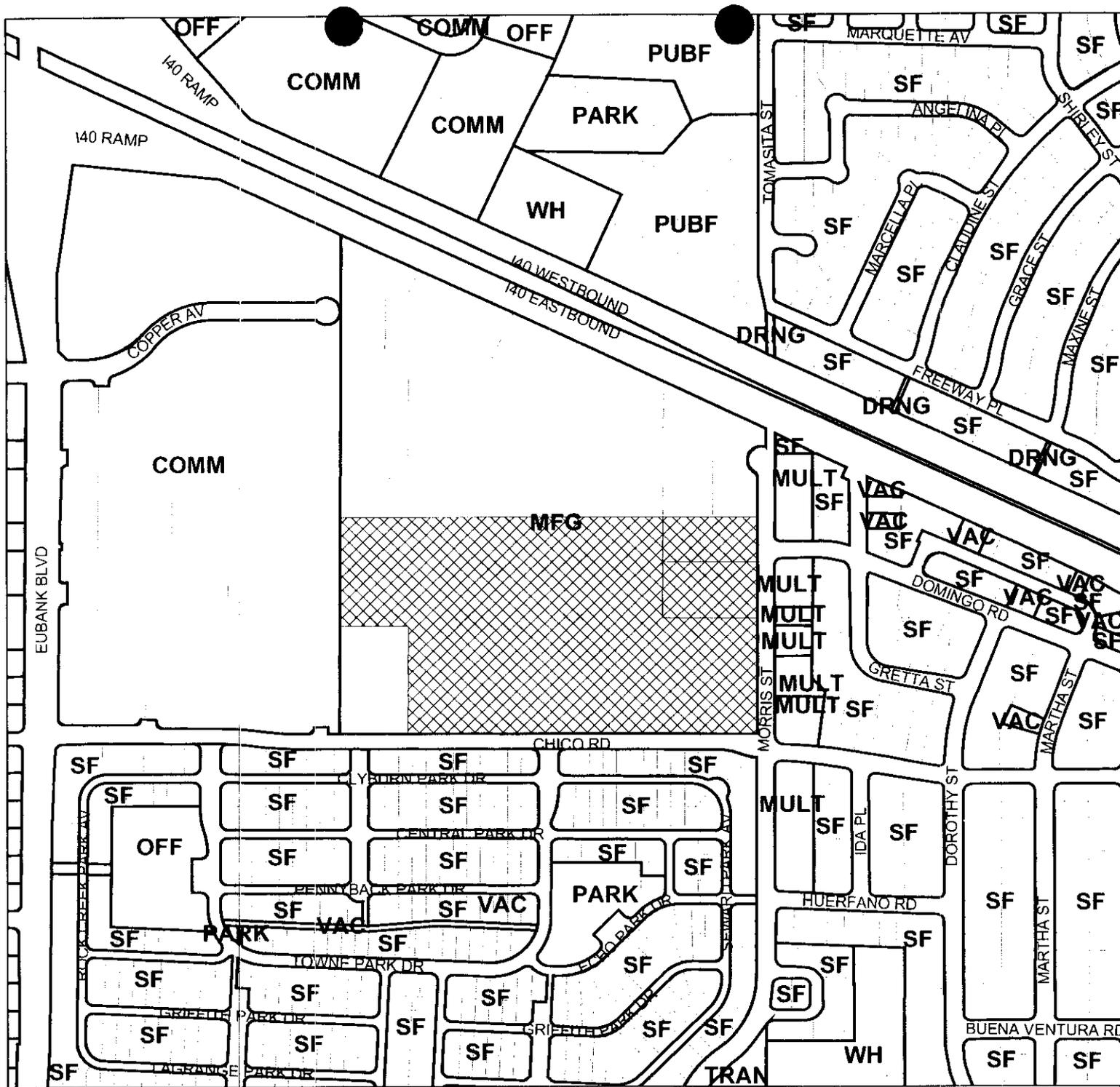
1 inch equals 500 feet

Project Number:
1000572

Hearing Date:
11/16/2006

Zone Map Page:
K-21

Additional Case Numbers:
06EPC-01446 06EPC-01447



LAND USE MAP

Note: Grey shading indicates County.

KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial - Retail
- DRNG Drainage
- MFG Manufacturing or Mining
- MULT Multi-Family or Group Home
- OFF Office
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



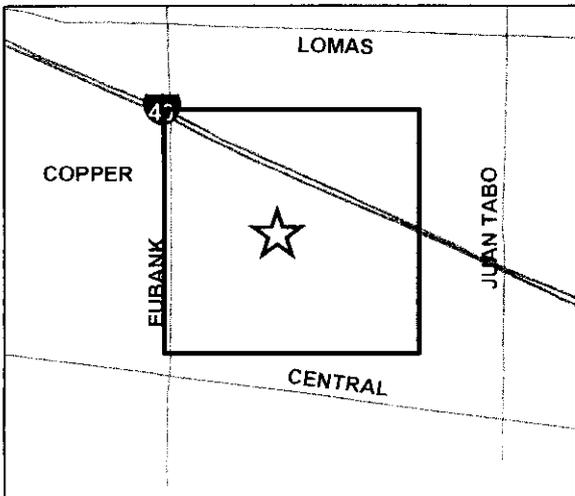
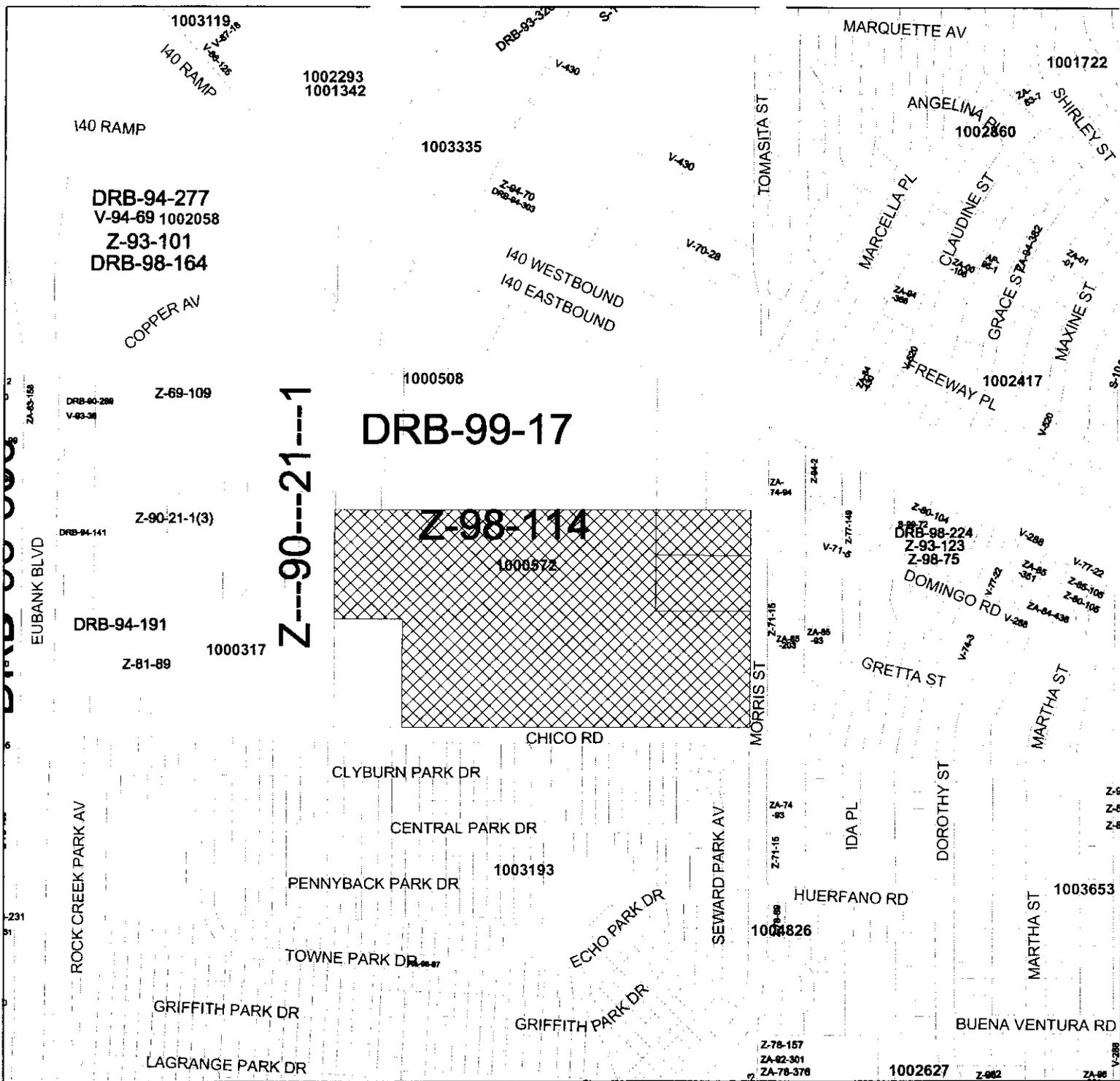
1 inch equals 500 feet

Project Number:
1000572

Hearing Date:
11/16/2006

Zone Map Page:
K-21

Additional Case Numbers:
06EPC-01446 06EPC-01447

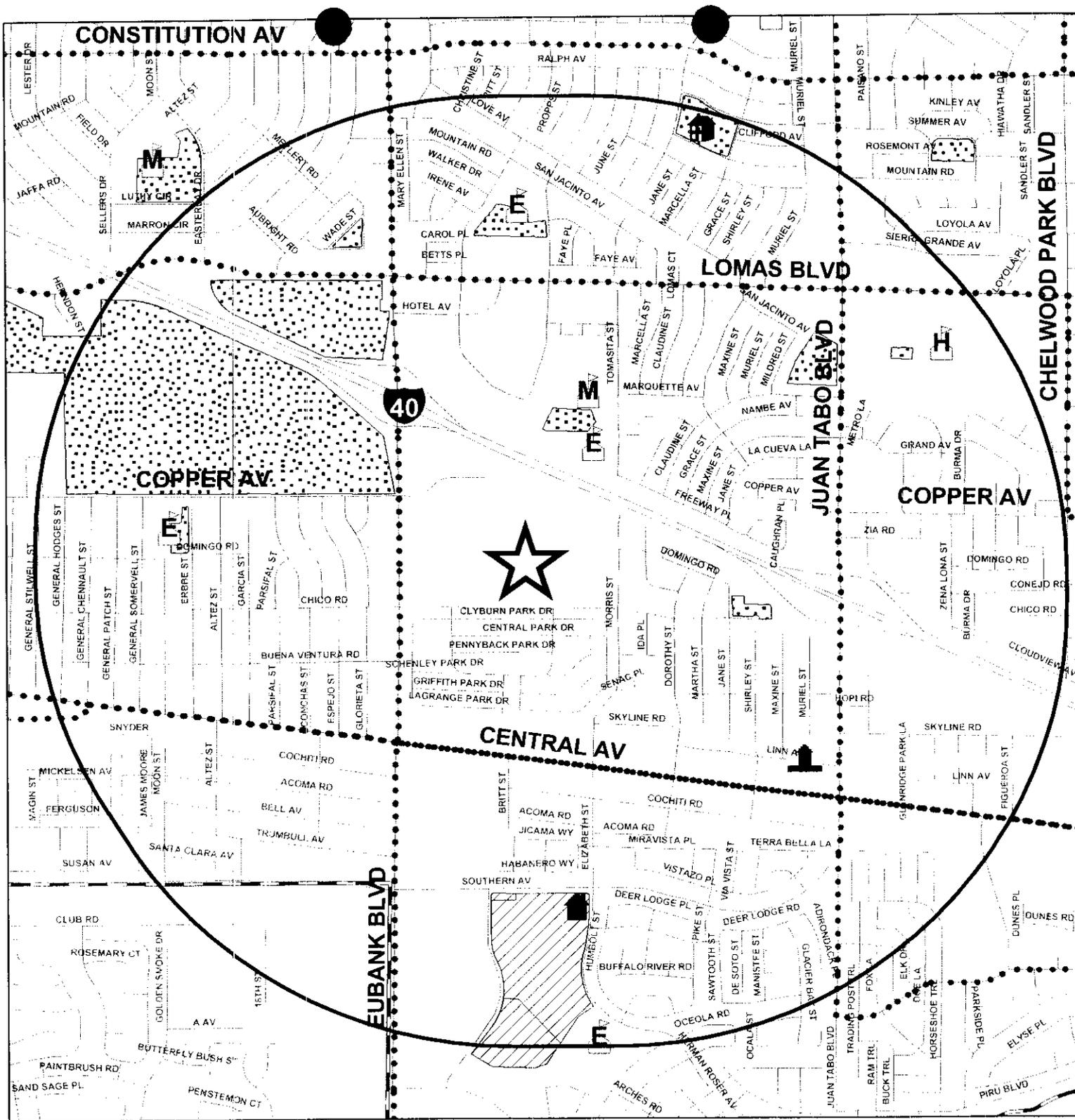


HISTORY MAP

Note: Grey shading indicates County.



1 inch equals 500 feet
 Project Number:
 1000572
 Hearing Date:
 11/16/2006
 Zone Map Page:
 K-21
 Additional Case Numbers:
 06EPC-01446 06EPC-01447

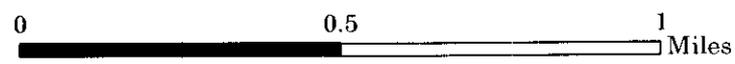


Public Facilities Map with One-Mile Site Buffer

- | | | | |
|---|---|---|---|
|  COMMUNITY CENTER |  FIRE |  APS Schools |  Developed County Park |
|  MULTI-SERVICE CENTER |  POLICE |  ABQ Ride Routes |  Undeveloped County Park |
|  SENIOR CENTER |  SHERIFF |  Developed City Park |  AGIS Jurisdiction |
|  LIBRARY |  SOLID WASTE |  Undeveloped City Park |  Landfill Buffer (1000 feet) |
|  MUSEUM | |  Landfills designated by EHD | |



Project Number: 1000572



AREA CHARACTERISTICS AND ZONING HISTORY

Surrounding zoning, plan designations and land uses:

	Zoning	Comprehensive Plan Area; Applicable Rank II & III Plans	Land Use
Site	SU-1 for PRD (Planned Residential Development)	Established Urban	Vacant
North	SU-1 for IP (Industrial Park)	Established Urban	Vacant, then Interstate 40
South	SU-1 for Manufactured Housing Development	Established Urban	Towne Park Subdivision
East	R-2, R-T	Established Urban	Morris Street, apartments and duplexes
West	SU-1 for C-1 permissive uses	Established Urban	Commercial (Towne Park Plaza shopping center)

Context & Background

The approximately 24 acre subject site (Lots 3, 7 and 8) consists of the southern portion of the “old Lenkurt site”, which is the name often given to the approximately 43 acres located roughly at the southeast corner of Interstate 40 and Eubank Blvd NE. The subject site is bounded by the northern Lenkurt site (≈ 19 acres) to the north, Morris Street to the east, the Towne Park subdivision to the south, and a shopping center to the west. The subject site is not within any area plan or sector plan boundaries.

Last summer, a proposal for a zone map amendment and a site development plan for subdivision entered the EPC process. At its November 17, 2005 hearing, the EPC approved the zone map amendment from SU-1 for IP to SU-1 for PRD (05EPC-01114) for the 24 acre subject site. This zone map amendment request was not required to be heard at City Council because there was no applicable sector development plan.

The EPC deferred the site development plan for subdivision (05EPC-01116) for a large residential complex for 60 days. The EPC was concerned about the proposed site plan’s scarcity of open space, the “garagescape” feel and the lack of access from Morris St. At its January 19, 2006 hearing, the EPC approved a revised site development plan for subdivision with design standards. The project, known as the Presidio, consists of approximately 256 dwelling units. 91 are townhomes and 165 (55 triplexes) are condominium units.

History

The subject site is part of a 180 acre tract that was zoned SU-1 for IP in 1970 (Z-69-109). A site plan for building permit was approved in 1970 for the GTE Lenkurt manufacturing plant. Parts of this large tract have been developed into the Towne Park Subdivision (Z-81-89), the Towne Park Shopping Center (Z-90-21) and a Home Base Store (Z-93-101) that is now a car dealership.

In October 1998, the EPC approved a site development plan for subdivision that created eight lots on the subject site (Z-98-114). This plan, which preserved the office/manufacturing building, included a 20-screen movie theater and six other pads for a hotel/restaurant, office and restaurants. At the same hearing, the EPC approved a site development plan for building permit for a Cinemark movie theater (Lot 3-approximately 22 acres). None of the uses have developed and the lots remain vacant. The 1998 site plan expired seven years later in 2005 pursuant to Zoning Code §14-16-3-11.

Current Request

The current proposal is for a zone map amendment and an amendment to the abovementioned site development plan for subdivision (05EPC-01116). The applicant (who owns the southern Lenkurt site) wishes to complete a land trade with the owner of the northern Lenkurt site (≈ 19 acres).

Zone map amendment: The applicant proposes the following: (1) change the zoning from SU-1 for IP to SU-1 for PRD for a 1.02 acre strip of land adjacent north to the subject site's northeastern corner (portions of Lots 1-B, 2 and 6), and (2) change the zoning from SU-1 for PRD to SU-1 for IP on a 1.65 acre strip of land along part of the subject site's western and northern boundaries (a portion of Lot 3). (see attachment-Land Trade Exhibit). The zone map amendments are needed to allow part of the northern Lenkurt site (southern portions of Lots 1-B, 2 and 6) to be used for residential purposes and to allow part of the subject site (along the western and northern boundaries) to be used for IP purposes.

Amendment to the site development plan for subdivision: The zone map amendments that will make the land trade possible will result in the need to reconfigure the existing site plan for subdivision (05EPC-01116) for the subject site (southern Lenkurt site). Please refer to the Site Plan for Subdivision section of this report for details.

Discussion

The reason for the request is because the applicant wishes to complete a land trade with the owner of the northern Lenkurt site. The property owners want to "swap" land to facilitate access to a forthcoming redevelopment project on the northern Lenkurt site, which has recently been purchased and is slated for a mixed-use retail/office/industrial development. The idea for the land trade came about because of poor access and the need to vacate several easements left over from the old Cinemark site development plan (Z-98-114) in order to make the access possible. The resulting reconfiguration of some residential units freed up some space to improve buffering between the residential and non-residential uses.

Access: Access to the northern Lenkurt site is relatively poor and is currently only from Copper Rd. The property owner feels that access from Chico Rd. would benefit the future development; creating a strip of land along the subject site's western boundary (and vacating the easements therein) would make it possible to access the northern Lenkurt site via the truck parking area behind the big-box retailer. The proposed zone change and amendment to the existing site plan for subdivision will create access from Chico Rd. and allow the traded land to be used in conjunction with the forthcoming IP development. This proposed access will enable trucks to get to the northern site.

The intention is to keep truck traffic and residential traffic separate; trucks will not be permitted to enter the subdivision. With the proposed access resulting from the zone change, trucks will have their own

access to the northern Lenkurt site. However, trucks will also have access to the site via the 40 ft. strip of land in between the northern and southern Lenkurt sites that will comprise the back of the future development on the northern site. This area is planned to be used for truck access and a loading dock. The details are unknown at this time because there is no site development plan for building permit for the northern Lenkurt site under consideration, though a proposal for development on the northern site will have to come through the EPC process due to its SU-1 zoning designation.

Connectivity: Staff is concerned that the proposed amended site plan does not show any connectivity between the southern and northern Lenkurt sites. The existing site plan shows a pedestrian gate at the end of Moraga Way and near the subject site's northwestern corner. These are no longer included. Staff suggests that the pedestrian gate connections be reinstated at Moraga Way and at the northern end of the alley between the westernmost condominium units.

Buffering: Removing the condominium units from the area on the subject site's western side will create additional space to buffer the remaining condominium units from the truck access area. The amended proposed landscaping plan shows trees (Honey Locust, Raywood Ash and Bosnian Pine) where the condominiums used to be. Zoning Code §14-16-3-10(E)(4)(b) requires that buffer landscaping between a non-residential and a residential zone consist primarily of trees. This will be a linear open space area with turf, a path and benches.

Buffering is also provided by a 40 ft. strip of land running across a northern portion of the subject site. This will serve as a truck access and loading dock area, as well as a buffer between the residential uses from the forthcoming retail/office/industrial development on the northern Lenkurt site.

Staff questioned that the relocated units near the subject site's northeastern corner appear to not have a buffer to the north. The applicant explained that the southeastern area of the adjacent site is intended to be used for remote parking. Though a buffer is not included on the proposed amended site plan for subdivision, it will be necessary to ensure buffering for these residential uses when the site plan for the forthcoming development enters the EPC process (which it will due to SU-1 zoning).

Public Facilities/Community Services

Transit: ABQ Ride Route #2, Eubank, passes the subject site about 0.35 miles to the west. This all-day route operates seven days a week. Route #66, Central, is also an all-day route that operates from early morning until night, seven days a week, with slightly fewer hours on Sunday. Albuquerque's rapid transit service, Rapid Ride (Route #766), is another bus option along Central Avenue, which is an Enhanced Transit Corridor. The 766's regular hours are Monday-Saturday, from morning to evening.

Police: The Southeast Area Command Substation, at 800 Louisiana Blvd. SE, provides police coverage.

Fire: Fire Station #12, just northwest of Central Avenue and Juan Tabo Blvd., provides fire coverage.

ZONING

Existing Zoning: The ≈ 24 acre subject site (the southern Lenkurt site) is zoned SU-1 for PRD (Planned Residential Development). Recall that the zoning was changed in November 2005 from SU-1 for IP

(Industrial Park). The ≈ 19 acre northern Lenkurt site remained zoned SU-1 for IP and is planned to be developed under that zoning.

The IP zone provides for a wide range of industrial and commercial uses. The SU-1 zone provides suitable sites for uses that are special, and for which the appropriateness of the use to a specific location depends upon the character of the site design. The SU-1 zone includes PRDs as a special use and contains requirements for PRDs. The SU-1 designation requires that the EPC review a site development plan.

Proposed Zoning: The applicant proposes the following zoning:

Name	Size	Location	Current Zoning	Proposed Zoning
Parcel A	1.02 ac.	northern Lenkurt site (not the subject site)-- adjacent north of the subject site's northeastern corner	SU-1 for IP	SU-1 for PRD
Parcel B	1.65 ac.	southern Lenkurt site (the subject site)-- along the subject site's western and northern boundaries	SU-1 for PRD	SU-1 for IP

APPLICABLE PLANS AND POLICIES and ANALYSIS -CONFORMANCE TO ADOPTED PLANS AND POLICIES

The subject site is located in an area that the Albuquerque/Bernalillo County Comprehensive Plan has designated as Established Urban. The Comprehensive Plan goal of Developing and Established Urban Areas is "to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing built environment." Applicable policies include:

Land Use Policies-

Policy II.B.5a: The Developing Urban and Established Urban areas as shown by the Plan map shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

The proposal will contribute to creating a full range of urban land uses in the area by allowing the land trade to occur. The land trade will improve access to the northern Lenkurt site and will facilitate the development of the future, planned mixed-use project that will include retail, office and industrial uses. The proposal furthers Policy II.B.5a-full range of urban land uses.

Policy II.B.5e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The subject site is in an area that has been mostly all developed, except for the northern Lenkurt site which is planned for development sometime in the future. Existing urban facilities and

services can accommodate new growth on both Lenkurt sites and can use these services without disrupting the integrity of existing neighborhoods. Recall that the land trade is intended to provide another truck access to the northern Lenkurt site and separate truck and residential traffic. Staff feels that the separation will be partial since residents depend upon Chico Rd. to get to Eubank Blvd. and that truck traffic on this portion of Chico Rd. may disrupt the neighborhood. The proposal partially furthers Policy II.B.5e-programmed facilities/neighborhood integrity.

Community Resource Management-Economic Development

Goal: To achieve steady and diversified economic development balanced with other important social, cultural and environmental goals.

The access created by the land trade will facilitate development of the northern Lenkurt site, which will include a mix of retail, office and industrial uses that will constitute diversified economic development for the area. The fact that non-residential uses are planned will help balance the abundance of residential development in the sites' immediate vicinity. The proposal furthers the Economic Development Goal.

I. ZONE MAP AMENDMENT—Resolution 270-1980

Requirements

Resolution 270-1980 outlines policies and requirements for deciding zone map change applications pursuant to the Comprehensive City Zoning Code. The applicant must provide sound justification for the proposed change and demonstrate that several tests have been met. *The burden is on the applicant to show why a change should be made, not on the City to show why a change should not be made.* A justification letter was included with the submittal.

The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: (1) there was an error when the existing zone map pattern was created; or (2) changed neighborhood or community conditions justify the change; or (3) a different land use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan.

Justification

Applicant: The applicant believes that the proposed zone change is warranted because a different zoning category is more beneficial for the community than the current zoning for the following reasons: the land trade will maintain access between Chico Rd. and the property to the north, the uses proposed for the land that will be traded are more compatible with the proposed use of the adjacent properties, and the traded land will not negatively affect neighboring properties because they will only provide access and buffering (p. 3-4 of applicant's letter).

The applicant also states that changed neighborhood conditions justify the proposed zone change. EPC approval of a zone map amendment (05EPC-01114) and a site plan for subdivision (05EPC-01116) for

the subject site constitutes a changed neighborhood condition. Also, the forthcoming development of the northern Lenkurt site with retail, office and industrial uses provides the basis for a changed neighborhood condition (p. 6 of applicant's letter).

- The applicant believes that the proposed zone change conforms to R270-1980 as follows:
- A. The zone map amendment is consistent with City policy and will not negatively impact surrounding properties.
 - B. The zone map amendment and site plan amendment are both very minor considering the changes in the area.
 - C. The proposed zone change is not in significant conflict with existing plans and conforms to all City of Albuquerque plans and policies. Applicable policies are Policy II.B.5e-programmed facilities/neighborhood integrity and Policy II.B.5I-design innovation/area appropriateness. The Established Urban Goal, Centers & Corridors and the Planned Growth Strategy (PGS) also apply.
 - D. The zone map amendment and site plan for this property are a changed neighborhood condition, as is the development of the property to the north.
 - E. Any new significant development on the subject site will be site plan controlled, which will ensure that the development will respect the existing neighborhood.
 - F. The proposed zone change does not require any additional capital expenditure by the City.
 - G. The proposed zone change is warranted without regard to economic considerations.
 - H. Higher density and mixed-use development allowed by this zoning request would provide homes and conveniences within walking distance of an Enhanced Transit Corridor.
 - I. There are a variety of residential and non-residential uses in the area and this zone change would not function as a spot zone.
 - J. There are a variety of residential and non-residential uses in the area and this zone change would not function as a spot (should have used strip) zone.
- The applicant concludes that the proposed zone change is justified for the following five reasons:
- 1. This zone change request is more beneficial for the community (than leaving the zoning as is).
 - 2. Changed neighborhood conditions justify the zone change request.
 - 3. This zone change does not conflict with existing plans and conforms to City plans and policies.
 - 4. Any new significant development will be site plan controlled.

-
5. The zone map amendment will allow the land trade to occur, which will facilitate development of the northern Lenkurt site.

Staff Analysis:

With respect to the applicant's justification and R270-1980 (A-J above), Staff finds the following (see applicant's letter p. 4-8):

- A. Staff agrees that the zone map amendment is generally consistent with City policies, but points out that the applicant is responsible for explaining which policies and why. If a zone change request is consistent with City policy (ie-the Comprehensive Plan), it will not compromise the City's health, safety, morals and general welfare. The applicant does not make this connection.**
- B. Staff understands that the total residential units remain the same and that the land trade parcels are almost equal in size. Regardless of how "minor" a zone map amendment is, the applicant still must satisfy the requirements of R270-1980. Section B is about stability of land use, which the applicant did not adequately address (ie-does the zone change and land trade contribute to land use stability in the area? If so, how?).**
- C. The applicant cites the Established Urban Area Goal and two land use policies: Policy II.B.5.e-urban facilities/neighborhood integrity and Policy II.B.5.l-design quality/new development. Staff thinks that Policy II.B.5.l, which is about design, does not apply to the current proposal. The applicant should have explained that few policies directly instead of going beyond the proposal's scope and linking it to Centers and Corridors. The Planned Growth Strategy (PGS) citation about infrastructure is acceptable. However, the Economic development Goal should have been included, because the access created by the land trade will facilitate development of the northern Lenkurt site.**
- D. Staff follows the applicant's reasoning that the proposed zoning would be more beneficial to the community and that conditions have changed. Adequate access made possible by the land trade will facilitate redevelopment of the northern Lenkurt site, which will benefit the community.**
- E. The applicant did not discuss if any permissive uses could be harmful to the neighborhood and/or future residents. It is a given that development on both Lenkurt sites is site plan controlled.**
- F. The subject site is served by existing infrastructure. This request would not result in additional City capital expenditures.**
- G. Staff notes the applicant's statement that the proposed zone change is warranted without regard to economic considerations, though the applicant should have acknowledged that economic benefit is the reason behind the request.**

-
- H. The applicant did not answer Section H. Staff does not agree that "This zoning request would provide homes and conveniences within walking distance of an Enhanced Transit Corridor." Previously approved requests accomplish this. The applicant should have stated that location on a major street is not the only justification used for the current request.
- I. Staff agrees that this zone change would not function as a spot zone, but disagrees with the applicant's reasoning. The applicant states that the proposed zoning would not be a spot zone because "there are a variety of residential and non-residential uses in the area." Actually, rezoning a 1.02 acre and 1.65 acre portion of tracts to match zoning on the surrounding tracts is why the request is not a spot zone.
- J. Staff agrees that this request will not result in strip zoning.

Staff analyzed the applicant's reasoning and notes the following:

- Staff finds that the applicant has done an acceptable (though limited) job of citing relevant policies in support of the current request, which is acceptable given the request's scope. The applicant could have also used Economic development Goal and policies, which are relevant because the zone change will allow the land trade to take place, which will facilitate economic development.
- Staff agrees with the applicant's principal justification that a different zoning category is more beneficial for the community than the current zoning. This is true because the proposed zoning will allow the land trade to take place and development of the northern Lenkurt site will benefit the larger community. The approved residential development of the southern Lenkurt site constitutes a changed condition, as does the forthcoming development of the northern Lenkurt site with retail, office and industrial uses.
- The applicant should have clearly stated that economic considerations are a factor in this zone change request. Without the zone change, the land trade cannot happen, and without the land trade, the northern site cannot develop with the access it needs. The applicant should have explained that economic considerations are a factor in this request. Staff believes that economic considerations are a major, but not determining, factor. The other reason for the zone change is to provide buffering between the future uses.

Staff Conclusion:

Staff finds that overall the zone change request complies with R270-1980. Staff concludes that the zone change request is generally supportable and that the applicant has done an acceptable job of justifying it. For these reasons, Staff recommends approval of the zone change request.

II. SITE DEVELOPMENT PLAN FOR SUBDIVISION

The second part of this proposal is an amendment to a site development plan for subdivision (05EPC-01116) for the subject site (the southern Lenkurt site). At its January 2006 hearing, the EPC approved this site plan for subdivision with design standards for the Presidio-a residential development consisting of approximately 256 dwelling units.

The associated proposed zone map amendments (06EPC-01446) will result in the need to amend the site plan for subdivision (05EPC-01116) so that the subject site's boundaries correspond to the land that the property owners have agreed to trade. Basically, the amendment is a reconfiguration of the existing site plan/subject site's boundaries to accommodate the land trade: the western and northern boundaries of the subject site will be shifted east and south, and a portion of the subject site's northeastern boundary will be shifted north.

Reconfiguring the subject site's boundaries will enable the following to occur: (1) Four of the five triplexes near the subject site's northwestern corner will be relocated on the 1.02 acres near the subject site's new proposed northeastern boundary, (2) One townhome (2 units) will be added to that area in lieu of the fifth triplex, (3) Moraga Way NE, which connects the southern and northern Lenkurt sites, is proposed to be relocated from the center of the subject site to the new proposed northeastern area, and (4) The townhomes just east of Moraga Way NE are proposed to be re-sited in response to the road's new location. The total unit count will remain the same.

Concerns of Reviewing Agencies/Pre-Hearing Discussion

City departments and other interested agencies reviewed this application from 10/09/06 to 10/20/06. The applicant was not present for the pre-hearing discussion meeting on October 25, 2006.

The Solid Waste Management Dept., Refuse Division has commented that the superintendent is requesting a compactor for entire complex. The City Forrester would like to adjust the street trees along Chico Road and the Police Dept. mentions that lighting.

Neighborhood Concerns

The affected recognized neighborhood organization is the Towne Park Neighborhood Association (TPNA), which the applicant notified. The Towne Park Homeowners Association (TPHOA) and the South Los Altos NA (SLANA) were included in the previous zone change and site plan requests (Nov. 2005 and Jan. 2006), but apparently are no longer recognized. Though facilitated meetings were held for the previous requests, none was recommended for the current request and none was held. Staff has not received any written comments as of this writing (November 9, 2006).

Conclusions

This two-part proposal is for a zone map amendment and an amendment to the site development plan for subdivision (05EPC-01116) for the Presidio, an approx. 256 unit residential development on the southern Lenkurt site. The applicant wishes to complete a land trade with the owner of the northern Lenkurt site in order to facilitate development on the northern site. The land trade will result in

improved access to the northern site and provide better buffering between the residential and future office/retail/industrial uses.

The applicant has justified the zone map amendment request, based on benefit to the community and changed neighborhood conditions, and has demonstrated overall compliance with R270-1980. The zone map amendment will result in the need to amend the existing site plan for subdivision so that the subject site's boundaries correspond to the land that the property owners have agreed to trade. The triplexes near the subject site's northwestern corner will be relocated, a townhome will be added to that area, Moraga Way NE will be relocated and the townhomes near it will be re-sited. The total unit count will remain the same.

Staff recommends approval of both requests subject to conditions.

FINDINGS - 06EPC 01446, November 16, 2006-Zone Map Amendment

1. This is a two-part zone map amendment request: (1) from SU-1 for IP to SU-1 for PRD for a 1.02 acre strip of land (portions of Lots 1-B, 2 and 6) adjacent north of the subject site, and (2) from SU-1 for PRD to SU-1 for IP for a 1.65 acre strip of land (a portion of Lot 3) on the subject site, located near the southeast corner of Eubank Boulevard NE and Interstate 40.

2. The zone map amendments are needed to allow part of the northern Lenkurt site (portions of Lots 1-B, 2 and 6) to be used for residential purposes and to allow part of the subject site (along the western and northern boundaries of Lot 3) to be used for IP purposes. This request is accompanied by an amendment to a site development plan for subdivision (06EPC 01447).

3. The zone map amendments will facilitate a land trade between the applicant (who owns the southern Lenkurt site, \approx 24 acres) and the owner of the northern Lenkurt site (\approx 19 acres). The purpose of the land trade is to improve access to the northern Lenkurt site from Chico Rd. and to provide buffering between the future retail/office/industrial uses on the northern site and the already approved residential uses (Project #1000572, 05EPC-01116) on the southern site.

4. The subject site does not lie within the boundaries of any area or sector plans.

5. The proposal *further*s and *partially further*s the intent of relevant Comprehensive Plan policies. The proposal will contribute to a full range of urban land uses by allowing the land trade to occur, which will facilitate development of office and industrial uses (further s Policy II.B.5a). The proposal will also facilitate use of existing urban services, though truck traffic on a portion of Chico Rd. may disrupt neighborhood integrity (partially further s Policy II.B.5e).

6. The proposal *further*s the intent of the Comprehensive Plan's Economic Development Goal because the land trade will facilitate future, diversified economic development that will balance the abundant residential development in the sites' vicinity.

7. Pursuant to Resolution 270-1980, the applicant must provide sound justification for a zone change. Principal justification is that the proposed change is more beneficial for the community and that neighborhood conditions have changed. The applicant has adequately addressed Comprehensive Plan policies.

8. Overall, the applicant has adequately justified the zone change pursuant to Resolution 270-1980 as follows:

-
- A. Section A: The proposal is generally consistent with City policies in the Comprehensive Plan, including Policy II.B.5a-full range of urban land uses, Policy II.B.5e-programmed facilities/neighborhood integrity, and the Economic Development Goal.
 - B. Section B: The proposal will promote land use stability and the applicant has provided an adequate justification for the change.
 - C. Section C: The applicant cites one Comprehensive Plan Goal, two policies and the Planned Growth Strategy, and has created a nexus between each and the proposal.
 - D. Section D: Principal justification is that the proposed zoning would be more beneficial to the community and that community conditions have changed.
 - E. Section E: The proposed zoning will still be SU-1 and would not allow a use harmful to adjacent property, the neighborhood or the community.
 - F. Section F: The proposal will not result in unprogrammed City capital expenditures. Infrastructure is already in place.
 - G. Section G: Economic considerations are a major factor in this zone change request, but are not the determining factor. The other reason for the zone change is to provide buffering between the future uses.
 - H. Section H: Location on an arterial street is not a basis for this request.
 - I. Section I: The proposed zoning will not create a "spot zone". SU-1 zoning is typically not considered a "spot" zone.
 - J. Section J: This zone change will not result in strip zoning.
9. Economic considerations play a large part in this zone change request, though they are not the determining factor. Without the zone change, the land trade cannot happen, and without the land trade, the northern site cannot develop with the access it needs.
10. There is no known neighborhood or other opposition.

RECOMMENDATION - 06EPC 01446, November 16, 2006-Zone Map Amendment

APPROVAL of 06EPC 01446, a Zone Map Amendment from: (1) SU-1 for IP to SU-1 for PRD for a 1.02 acre portion of Lots 1-B, 2 and 6, and (2) SU-1 for PRD to SU-1 for IP for a 1.65 acre

portion of Lot 3, located southeast of Eubank Boulevard NE and Interstate 40, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL - 06EPC 01446, November 16, 2006- Zone Map Amendment

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant must meet with the staff planner to ensure that conditions of approval are thoroughly addressed.
3. The southern and northern Lenkurt sites shall be replatted so that the property lines correspond to the results of the land trade.

FINDINGS - 06EPC 01447, November 16, 2006- Amendment to a Site Development Plan for Subdivision

1. This is a request for an amendment to a site development plan for subdivision for portions of Lots 1B, 2, 3, 6, 7 and 8, Lenkurt Properties, an approximately 24 acre site located southeast of Eubank Blvd. and Interstate 40. This request is accompanied by a zone map amendment request (06EPC 01446).
2. The applicant proposes to reconfigure the subject site's boundaries to accommodate a land trade that the property owners have agreed to: the western and northern boundaries of the subject site will be shifted east and south, and a portion of the subject site's northeastern boundary will be shifted north.
3. The subject site does not lie within the boundaries of any area or sector plans.
4. The proposal *further*s and *partially further*s the intent of relevant Comprehensive Plan policies. The proposal will contribute to creating a full range of urban land uses by allowing the land trade to occur, which will facilitate development of office and industrial uses (further's Policy II.B.5a). The proposal will also facilitate use of existing urban services, though truck traffic on a portion of Chico Rd. may disrupt neighborhood integrity (partially further's Policy II.B.5e).

5. The proposal *further*s the intent of the Comprehensive Plan's Economic Development Goal because the land trade will facilitate future, diversified economic development that will balance the abundant residential development in the sites' vicinity.

6. Reconfiguring the subject site's boundaries will facilitate the following: (1) Four of the five triplexes near the northwestern corner will be relocated near the new northeastern boundary, (2) A townhome will be added to that area in lieu of the fifth triplex, (3) Moraga Way will be relocated to the new northeastern area, and (4) The townhomes just east of Moraga Way will be re-sited. The total unit count will remain the same.

7. There is no known neighborhood or other opposition.

RECOMMENDATION - 06EPC 01447, November 16, 2006

APPROVAL of 06EPC 01447, a request for an amendment to a site development plan for subdivision, for portions of Lots 1-B, 2, 3, 6, 7 and 8, Lenkurt Properties, zoned SU-1 for PRD and SU-1 for IP, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL - 06EPC 01447, November 16, 2006- Amendment to a Site Development Plan for Subdivision

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant must meet with the staff planner to ensure that conditions of approval are thoroughly addressed.
3. The southern and northern Lenkurt sites shall be replatted so that the property lines correspond to the results of the land trade.
4. A pedestrian gate shall be provided at Moraga Way NE and at the northern end of the alley between the westernmost condominium units.

5. The note on Sheet 1 stating "Truck access, loading dock, and landscaping" shall be replaced with the note "future landscape buffer" because truck access and circulation will be dealt with when a development proposal for the northern Lenkurt site comes through the EPC process.

6. The Solid Waste Management Department, Refuse Division, provided the following comment: "Disapproved, superintendent requesting 30 yard compactor for entire complex. Call for details, 761-8142." The applicant shall work with the SWMD to resolve this issue prior to submittal to DRB.

7. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:

Conditions of approval for the proposed Zone Map Amendment and Site Development Plan for Subdivision Amendment shall include:

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. Per Transportation Development Staff, truck access and circulation and the loading dock area will be reviewed with a development proposal for the northern Lenkurt site.
 - e. Site plan shall comply and be designed per DPM Standards and/or as previously approved by the Traffic Engineer.
-

Catalina Lehner

Catalina Lehner, AICP
Senior Planner

cc: Centex Homes, Attn: Bob Prewitt, 7601 Jefferson St. NE, #320, Albuquerque, NM 87109
Consensus Planning, Inc., Attn: Jim Strozier, 302 Eighth St. NW, Albuquerque, NM 87102
L. Scott Varner, Towne Park NA, 10824 Pennyback NE, Albuquerque, NM 87123
Jeanne Hamrick, Towne Park NA, 10500 Schenley NE, Albuquerque, NM 87123

AGENCY COMMENTS

➤ **The following agencies did not review or comment on Project #1000572:**

City of Albuquerque

Environmental Health, Air Quality Division
Environmental Health, Env. Services Division
Fire Department, Planning
Parks & Recreation, Open Space Division
Transit Department

Other

Bernalillo County
Middle Rio Grande Conservancy Dist. (MRGCD)
Mid-Region Council of Governments (MRCOG)

➤ **The following City of Albuquerque Departments reviewed and commented on Project #1000572:**

Planning, Zoning Code Services

Reviewed, no comment.

Planning, Office of Neighborhood Coordination

Towne Park NA (R)

Planning, Advance Planning & Urban Design Division

No adverse comment.

Environmental Health Department, City Forrester

- Is it too late to adjust street trees along Chico? They have a variable sidewalk along Morris... why not on Chico?
- I couldn't find a tree cutout detail for trees planted in front of homes
 - Large tree wells mean healthier trees – Long and narrow is just as good as square

Parks & Recreation, Planning & Design

Reviewed, no objection. Request does not affect our facilities.

Police Department/Planning

Proposed landscaping should be low level when mature and not restrict visibility to common areas, walkways, or residents.

Proposed lighting should illuminate all walkways, vehicle & pedestrian entrance/exit points, parking areas, play areas, lighting should not conflict with landscaping.

Solid Waste Management Dept., Refuse Division

Disapproved, superintendent requesting 30 yard compactor for entire complex. Call for details, 761-8142.

City of Albuquerque Public Works Department

Transportation Development (City Engineer/Planning Department):

- All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- A Traffic Impact Study (TIS) has been submitted and reviewed by Transportation Staff.
- Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- The Traffic Impact Study is available for review by any interested party, in the office of the Traffic Engineer.
- Site plan shall comply and be designed per DPM Standards and/or as previously approved by the Traffic Engineer.

Hydrology Development (City Engineer/Planning Department):

- The Hydrology Section has no objection to the zone map amendment request.

Transportation Planning (Department of Municipal Development):

- Reviewed, and no comments regarding on-street bikeways, off-street trails or roadway system facilities.

Traffic Engineering Operations (Department of Municipal Development):

- No comments received.

Street Maintenance (Department of Municipal Development):

- No comments received.

Utility Development (Water Authority):

- No comments received.

Water Resources, Water Utilities and Wastewater Utilities (Water Authority):

- No comments received.

New Mexico Department of Transportation (NMDOT):

- No comments received.

**RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT,
WATER AUTHORITY and NMDOT:**

Conditions of approval for the proposed Zone Map Amendment and Site Development Plan for Subdivision Amendment shall include:

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- d. Per Transportation Development Staff, truck access and circulation and the loading dock area will be reviewed with a development proposal for the northern Lenkurt site.
- e. Site plan shall comply and be designed per DPM Standards and/or as previously approved by the Traffic Engineer.

➤ **The following agencies reviewed Project #1000572:**

Abq. Metropolitan Arroyo Flood Control Authority (AMAFCA)
Reviewed, no comment.

Albuquerque Public Schools (APS)

In order to facilitate a land swap, the developer is requesting a zone change for one parcel from SU-1 IP to SU-1 for PRD and another parcel from SU-1 for PRD to SU-1 for IP.

As stated in previous comments, **The Presidio** will consist of 256 dwelling units (townhouses and condominiums). **The development will impact Tomasita Elementary School, Kennedy Middle School, and Manzano High School.** The proposed development will likely generate more elementary school students than Tomasita Elementary can handle. Kennedy Middle School and Manzano High School should be able to absorb secondary level students from the proposed development.

School	2006-07 Projections	2006-07 Capacity	Space Available
Tomasita	453	517	64
Kennedy	538	651	113
Manzano	2,032	2,044	12

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
 - Construct new schools or additions
 - Add portables
 - Use of non-classroom spaces for temporary classrooms
 - Lease facilities
 - Use other public facilities
- Improve facility efficiency (short term solution)
 - Schedule Changes
 - Double sessions
 - Multi-track year-round
 - Other
 - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

Public Service Company of New Mexico

No comment based upon the information provided to date. It is the applicant's obligation to determine if utility easements cross the property and to abide by any conditions or terms of those easements.

APPENDIX B

ENACTMENT 270-1980

ADOPTING POLICIES FOR ZONE MAP CHANGE APPLICATIONS AND APPEALS OF ENVIRONMENTAL PLANNING COMMISSION DECISIONS; SUPERSEDING CITY COUNCIL RESOLUTIONS 217-1975 AND 182-1978 RELATING TO ZONE CHANGE APPLICATIONS AND APPEALS.

WHEREAS, the usefulness of the Comprehensive City Zoning Code in implementing the City's Comprehensive Plan and promoting health, safety, morals, and general welfare is enhanced by a reasonable flexibility in order to deal reasonably with changes in the physical, economic, and sociological aspects of the city; and

WHEREAS, certain general policies for consideration of zone map changes and other zoning regulation changes should be recognized as determinative.

BE IT RESOLVED BY THE COUNCIL, THE GOVERNING BODY OF THE CITY OF ALBUQUERQUE:

Section 1. The following policies for deciding zone map change applications pursuant to the Comprehensive City Zoning Code are hereby adopted:

A. A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the City.

B. Stability of land use and zoning is desirable; therefore, the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the City to show why the change should not be made.

C. A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other City master plans and amendments thereto including privately developed area plans which have been adopted by the City.

D. The applicant must demonstrate that the existing zoning is inappropriate because;

(1) there was an error when the existing zone map pattern was created, or

(2) changed neighborhood or community conditions justify the change, or

(3) a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan, even though (1) or (2) above do not apply.

E. A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood or the community.

F. A proposed zone change which, to be utilized through land development, requires major and un-programmed capital expenditures by the City may be;

(1) denied due to lack of capital funds, or

(2) granted with the implicit understanding that the City is not bound to provide the capital improvements on any special schedule.

G. The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone.

H. Location on a collector or major street is not in itself sufficient justification of apartment, office, or commercial zoning.

I. A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when;

(1) the change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan, or

(2) the area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises make the site unsuitable for the uses allowed in any adjacent zone.

J. A zone change request which would give a zone different from surrounding zoning to a strip of land along a street is generally called "strip zoning." Strip commercial zoning will be approved only where;

(1) the change will clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area development plan, and

(2) the area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.

Section 2 City Council Resolutions 217-1975 and 182-1978 adopting policies for zone map change applications and appeals of (the) Environmental Planning Commission are hereby superseded.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

- SUBDIVISION**
- Major Subdivision action
 - Minor Subdivision action
 - Vacation
 - Variance (Non-Zoning)
- SITE DEVELOPMENT PLAN**
- for Subdivision Purposes
 - for Building Permit
 - IP Master Development Plan
 - Cert. of Appropriateness (LUCC)
- STORM DRAINAGE**
- Storm Drainage Cost Allocation Plan

- Supplemental form
- S Z ZONING & PLANNING**
- Annexation
 - County Submittal
 - EPC Submittal
 - Zone Map Amendment (Establish or Change Zoning)
 - Sector Plan (Phase I, II, III)
 - Amendment to Sector, Area, Facility or Comprehensive Plan
 - Text Amendment (Zoning Code/Sub Regs)
 - Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Centex Homes PHONE: 505-923-1826

ADDRESS: 7601 Jefferson St NE #320 FAX: 505-761-9850

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: ldonoghue@centexhomes.com

Proprietary interest in site: Contract Purchaser List all owners: T. Waterman

AGENT (if any): Consensus Planning PHONE: 505-764-9801

ADDRESS: 302 Eighth Street NW FAX: 505-842-5495

CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

DESCRIPTION OF REQUEST: Zone Map Amendment and Amendment to Site Development Plan for PRD

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Portions of Lots 1B, 2, 3, 7, and 8 Block: - Unit: -

Subdiv. / Adn. Plat of Lenkurt Properties

Current Zoning: SU-1 for PRD/SU-1 for IP Proposed zoning: SU-1 for IP/SU-1 for PRD

Zone Atlas page(s): K-21 No. of existing lots: 4 No. of proposed lots: 4

Total area of site (acres): 23.7 Density if applicable: dwellings per gross acre: 10.8 dwellings per net acre: -

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No

UPC No. see attached page MRGCD Map No. -

LOCATION OF PROPERTY BY STREETS: On or Near: Chico Road

Between: Morris Street and I-40

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1000572
1000572 05-ERC-01116 1000572

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team? Date of review: 08/23/06

SIGNATURE [Signature] DATE 10/05/06

(Print) James K. Strozier Applicant Agent

FOR OFFICIAL USE ONLY

<input type="checkbox"/> INTERNAL ROUTING <input checked="" type="checkbox"/> All checklists are complete <input checked="" type="checkbox"/> All fees have been collected <input checked="" type="checkbox"/> All case #'s are assigned <input checked="" type="checkbox"/> AGIS copy has been sent <input checked="" type="checkbox"/> Case history #'s are listed <input checked="" type="checkbox"/> Site is within 1000ft of a landfill <input checked="" type="checkbox"/> F.H.D.P. density bonus <input checked="" type="checkbox"/> F.H.D.P. fee rebate	Application case numbers	Action	S.F.	Fees
	<u>06 EPC - 01446</u> <u>06 EPC - 01447</u>	<u>ZMA</u> <u>CMF</u> <u>Adv</u>	<u>2</u> 	<u>\$ 405.00</u> <u>\$ 255.00</u> <u>\$ 50.00</u> <u>\$ 75.00</u>
	Hearing date <u>11-16-06</u>			Total <u>\$ 785.00</u>

[Signature] 10/5/06

Project # 1000572

FORM P(1): SITE PLAN REVIEW – E.P.C. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION**
- IP MASTER DEVELOPMENT PLAN**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
 - Site plans and related drawings reduced to 8.5" x 11" format
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Completed Site Plan for Subdivision and/or Building Permit Checklist
 - Sign Posting Agreement
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**
- SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **30** copies for EPC public hearings.
- Site plans and related drawings reduced to 8.5" x 11" format
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision and/or Building Permit Checklist
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

NOTE: For wireless telecom facilities (administrative reviews that have been referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:

- Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
 - Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
 - Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
 - Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
 - Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
 - Registered Engineer's stamp on the Site Development Plans
 - Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**
- EPC hearings are approximately 7 weeks after the filing deadline. **Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**
- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30** copies for EPC public hearings
 - Site plans and related drawings reduced to 8.5" x 11" format
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozien AICP
Applicant name (print)
[Signature] 10/5/06
Applicant signature / date



Form revised October 2004

<input checked="" type="checkbox"/> Checklists complete	Application case numbers
<input checked="" type="checkbox"/> Fees collected	06 EPC - - 01447
<input checked="" type="checkbox"/> Case #s assigned	- - -
<input checked="" type="checkbox"/> Related #s listed	- - -

[Signature] 10/5/06
Planner signature / date
Project # 1000572

FORM Z: ZONE CODE TEXT & MAP AMENDMENTS, PLAN APPROVALS & AMENDMENTS

ANNEXATION

- Application for zone map amendment including those submittal requirements. See below. Annexation and establishment of zoning must be applied for simultaneously.
- Petition for Annexation Form and necessary attachments
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied).
NOTE: The Zone Atlas must show that the site is in County jurisdiction, but is contiguous to City limits.
- Letter briefly describing, explaining, and justifying the request
NOTE: Justifications must adhere to the policies contained in "Resolution 54-1990"
- Letter of authorization from the property owner if application is submitted by an agent
- BCC Notice of Decision for City Submittals
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

- SECTOR DEVELOPMENT PLAN PHASE I - DRB CONCEPTUAL PLAN REVIEW (Unadvertised)**
- SECTOR DEVELOPMENT PLAN PHASE II - EPC FINAL REVIEW & APPROVAL (Public Hearing)**
- SECTOR DEVELOPMENT PLAN PHASE II - DRB FINAL SIGN-OFF (Unadvertised)**

- Copy of findings from required pre-application meeting (needed for the DRB conceptual plan review only)
- Proposed Sector Plan (30 copies for EPC, 6 copies for DRB)
- Zone Atlas map with the entire plan area precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts (for EPC final review and approval - public hearing only)
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form (for EPC final review and approval public hearing only)
- Fee for EPC final review and approval only (see schedule)
- Any original and/or related file numbers are listed on the cover application

Refer to the schedules for the dates, times and places of D.R.B. Unadvertised meetings and E.P.C. hearings.
Your attendance is required.

AMENDMENT TO ZONE MAP (ESTABLISHMENT OF ZONING OR ZONE CHANGE)

- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request per "Resolution 270-1980".
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

AMENDMENT TO SECTOR DEVELOPMENT, AREA, FACILITY, OR COMPREHENSIVE PLAN

- Proposed Amendment referenced to the materials in the Plan being amended (text and/or map)
- Plan to be amended with materials to be changed noted and marked
- Zone Atlas map with the entire plan/amendment area precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request per "Resolution 270-1980" (Sector Plan map change only)
- Letter of authorization from the property owner if application is submitted by an agent (Map change only)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts (sector plans only)
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

AMENDMENT TO ZONING CODE OR SUBDIVISION REGULATIONS TEXT

- Amendment referenced to the sections of the Zone Code/Subdivision Regulations being amended
- Sections of the Zone Code/Subdivision Regulations to be amended with text to be changed noted and marked
- Letter briefly describing, explaining, and justifying the request
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozier, AICP
Applicant name (print)
[Signature] 10/5/06
Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06 EPC - 01446

Form revised APRIL 06
[Signature] 10/5/06
Planner signature / date

Project # 1600572

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Consensus Planning DATE OF REQUEST: 9/27/06 ZONE ATLAS PAGE(S): K-21

CURRENT:

ZONING SV-1
PARCEL SIZE (AC/SQ. FT.) 2.6633

LEGAL DESCRIPTION:

LOT OR TRACT # 2, 3, 6 BLOCK # -
SUBDIVISION NAME Plat of the Lenkurt Properties

REQUESTED CITY ACTION(S):

- | | | | |
|----------------|---|--|---------------------|
| ANNEXATION [] | SECTOR PLAN [] | SITE DEVELOPMENT PLAN: | |
| COMP. PLAN [] | ZONE CHANGE <input checked="" type="checkbox"/> | A) SUBDIVISION [] | BUILDING PERMIT [] |
| AMENDMENT [] | CONDITIONAL USE [] | B) BUILD'G PURPOSES [] | ACCESS PERMIT [] |
| | | C) AMENDMENT <input checked="" type="checkbox"/> | OTHER [] |

PROPOSED DEVELOPMENT:

- NO CONSTRUCTION/DEVELOPMENT []
 NEW CONSTRUCTION
 EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: 1

OF UNITS: 256
BUILDING SIZE: _____ (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE [Signature] DATE 9-27-06
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:
Notes: CENTEX SUBDIVISION TIS (2005)

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. *Any subsequent changes to the development proposal identified above may require an update or new TIS.*

[Signature] DATE 9-27-06
TRAFFIC ENGINEER

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

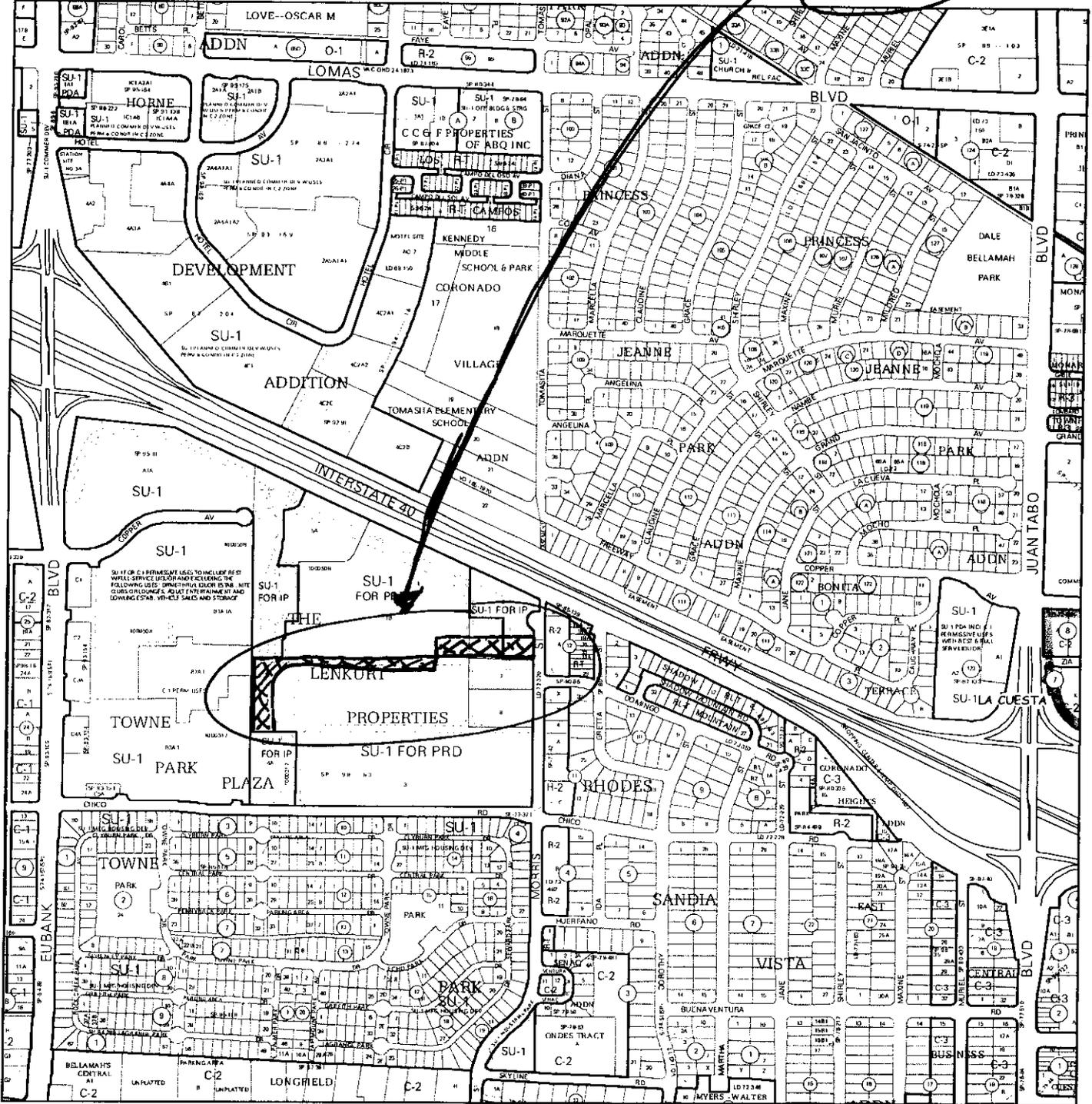
Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. *Any subsequent changes to the development proposal identified above may require an update or new AQIA.*

[Signature] DATE 9-27-06
APPLICANT

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 7/11/05 [Signature] DATE 9-27-06
-FINALIZED 1/1 TRAFFIC ENGINEER

ZONING MAP AMENDMENT (SITE)



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 9/5/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-21-Z

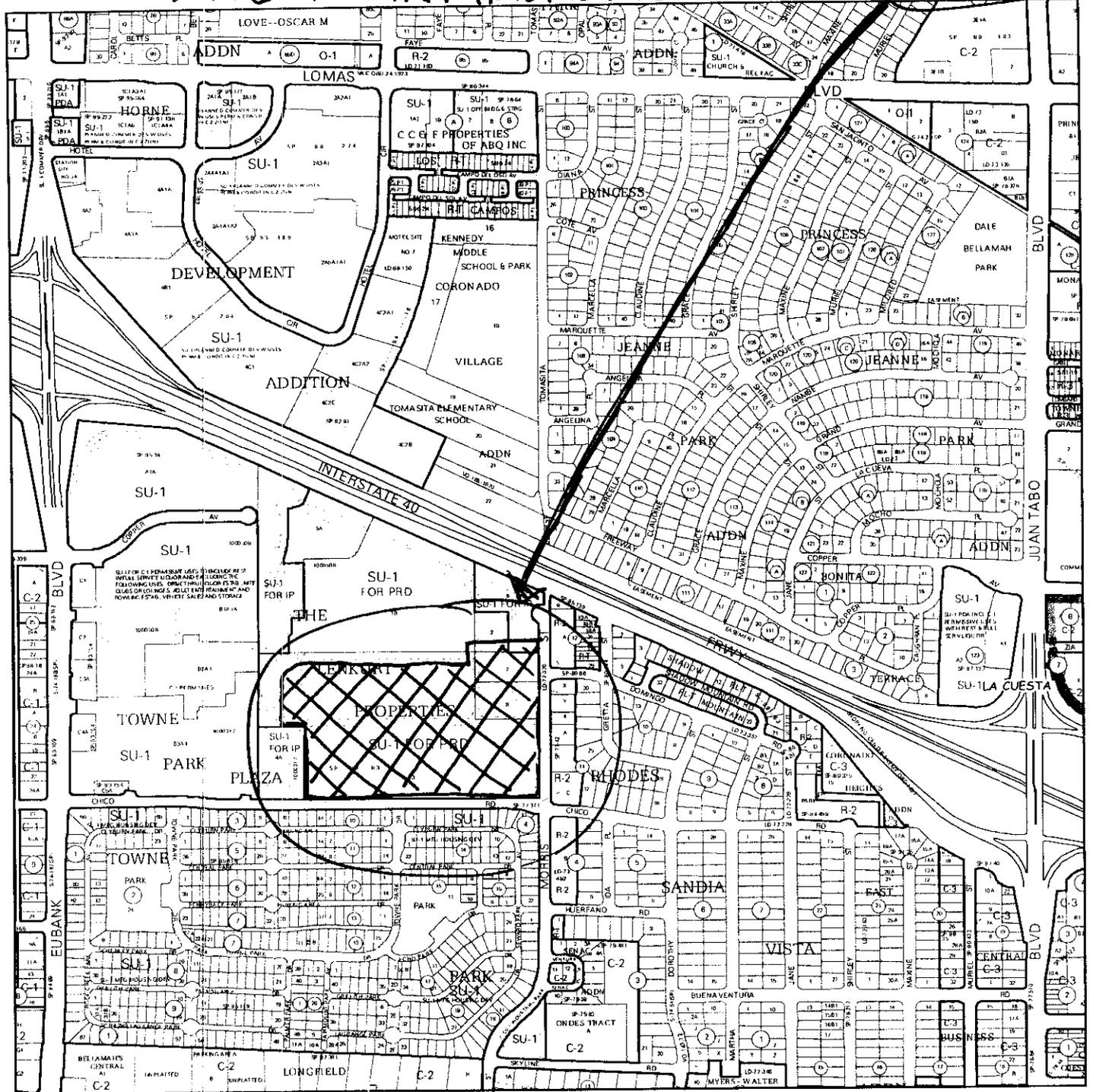
Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

SITE PLAN AMENDMENT

SITE



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 9/5/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-21-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strogler, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP

October 4, 2006

Jeff Jesionowski, Chairman
Environmental Planning Commission
600 Second Street NW
Albuquerque, NM 87102

Re: *The Presidio (Chico Road @ Morris Street)*
Project # 100572
Zone Map Amendment and Amendment to Site Development Plan for PRD

Dear Chairman Jesionowski:

This request pertains to The Presidio development where the Site Development Plan for PRD was approved by the Environmental Planning Commission (Project #100572/05EPC-01116) on January 19, 2006. The zone map amendment for the development was approved in November, 2005.

This request essentially proposes to complete a land trade with an adjacent property owner. In doing so, it is necessary to apply for a zone map amendment and amend the approved site plan to reflect the changes. The site plan will be adjusted slightly to accomplish the land trade and two individual zone map amendments will be requested as follows:

- A. A zone map amendment from SU-1 IP to SU-1 for PRD (1.02 acres), and
- B. A zone map amendment from SU-1 for PRD to SU-1 for IP (1.65 acres).

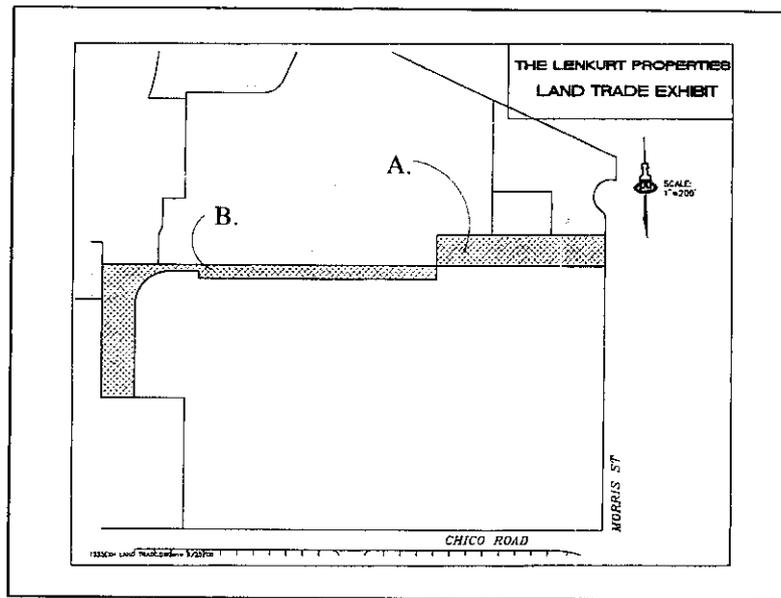
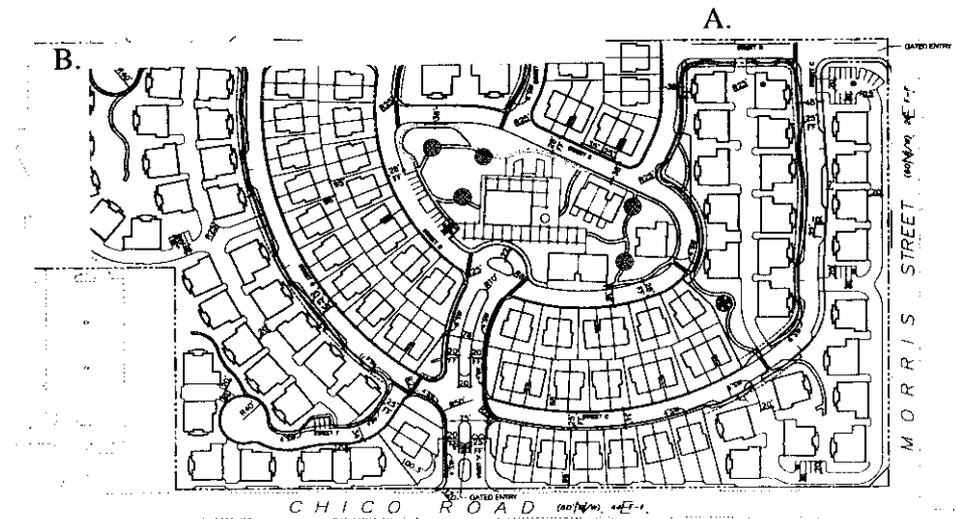


Exhibit Demonstrating Land Swap

The Site Plan was approved in January, 2006 for 91 townhomes and 165 condominiums, for a total of 256 dwelling units. The site plan now, with the land swap, proposes the same total number of units with 87 townhomes and 169 condominiums.

The root of this request stems from the need to vacate some of the easements within and around the property but to maintain access between Chico Road and the property to the north and also to provide a larger buffer area between the residential and industrial land uses.



EPC Approved Site Development Plan for PRD

1. SITE CHARACTERISTICS AND EXISTING CONDITIONS

The subject property is currently vacant, along with the remainder of the site. There is a vacant building shell on the property to the north of the subject site. The vacant building once housed the Siemen's factory, which at one point was a thriving employer in the community. The site is surrounded by medium and higher density residential development, and high-intensity commercial development in all four directions. Uses in the area include industrial, commercial, and higher density residential. Interstate 40 is located farther north of the site and is accessed from Chico Road NE. The closest entrance/exit to Interstate 40 is at Eubank Boulevard NE, which is located west of the subject site. The following table provides a summary of the uses surrounding the subject site.

Direction	Zoning	Land Use
North	SU Industrial Park	Proposed Mixed Retail, Office and Industrial Uses
East (Across Morris St. NE)	R-2, R-LT farther to the east	Higher Density Residential Uses within the Rhodes Subdivision
South (Across Chico Road NE)	SU-1 Manufactured Housing Development	Town Park Manufactured Home Community
West	SU-1 for C-1 Permissive Uses*	Commercial Development including a Walmart Super Center and various other shops

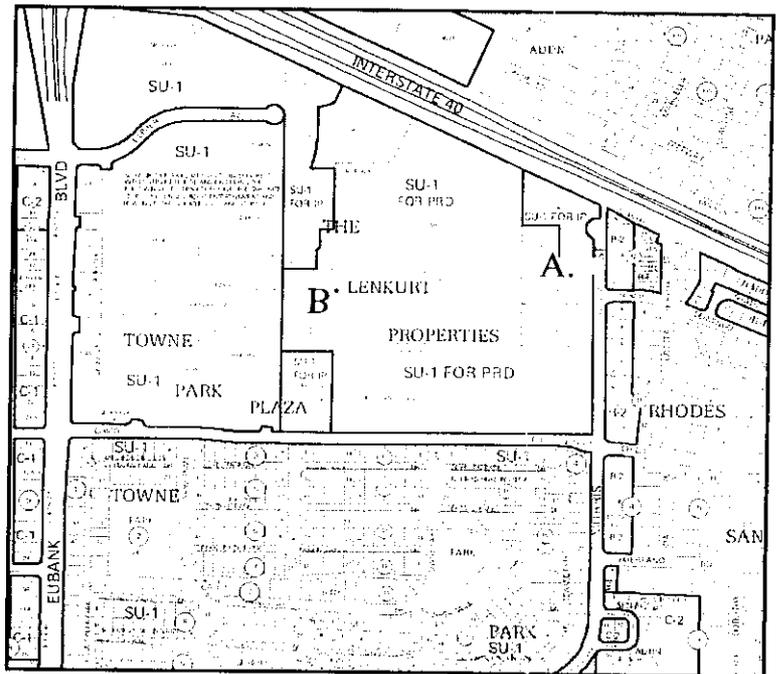
*The full zone category description for the western property is SU-1 for C-1 permissive uses to include restaurant with full-service liquor and excluding the following uses: Drive Thru liquor establishment, night club or lounges, adult entertainment and bowling establishment, vehicle sales and storage.

The site is not located within the boundaries of a sector development plan. To note, Albuquerque Ride operates a fixed route service along Eubank Boulevard, with stops located within easy walking distance from the subject site. The Eubank route provides direct access to Kirtland Air Force Base gates.

2. BASIS OF THE ZONE MAP AMENDMENT

This zone map amendment is based on the fact that this request is more beneficial for the community for the reasons listed below:

- The parcels involved with the land swap will maintain access between Chico Road and the property to the north, which is vital to the redevelopment of this property.
- The land uses proposed for the parcels involved with the land swap are more compatible with the proposed use of the adjacent properties.





- The land swap parcels will not negatively affect neighboring properties, since they will only provide adequate access and more buffering .

3. RESPONSE TO RESOLUTION 270-1980

This zone change request is in compliance with Resolution 270-1980 as follows:

- A. *A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the City.*

This zone map amendment is consistent with City policy and will not negatively impact surrounding properties. The land swap will provide access to a neighboring property along with providing a larger buffer between the residential and industrial uses in the area.

- B. *Stability of land use and zoning is desirable; therefore the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the city to show why the change should not be made.*

This zone map amendment request and site plan amendment are both very minor considering the November, 2005, changes that have occurred in the area. The land swap, while not an equal square footage, is close to being so. The number of proposed total units for the residential project did not change.

- C. *A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other City master plans and amendments there, to, including privately developed area plans which have been adopted by the City.*

The proposed zone change is not in significant conflict with existing plans. This request conforms to all City of Albuquerque plans and policies. Since the site is not within the boundaries of a Sector Plan, development of the site is guided by the Albuquerque/Bernalillo County Comprehensive Plan and the Centers Corridors Amendments, as well as Resolution 270-1980.

1. Planned Growth Strategy

O-02-39 (2) stipulates that an Infrastructure and Growth Plan be adopted and incorporate certain principles, including the following:

Section 6(B)(2)(a): Grow efficiently by developing where infrastructure and facilities already exist.

Section 6(B)(2)(g): Prioritize the needs of the older parts of Albuquerque in terms of vitality and development. Encourage infill and redevelopment.

This request would implement both of these principles since it would allow for development in an area that is already served by infrastructure and facilities. It would also represent infill development.

2. Centers and Corridors Amendments to the Comprehensive Plan

The subject site is located within walking distance of Central Avenue, which in that leg of Central is considered to be an enhanced transit corridor (Central Avenue becomes a major transit corridor at Louisiana). Policy C pertains to development located near corridors.

Policy c: In order to add to transit ridership, and where it will not stabilize neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit Corridors.

Although the subject site is not directly located on a Major or Enhanced Transit Corridor, the intersection of Chico and Eubank is approximately two blocks away from the Central Enhanced Transit Corridor. The higher density residential development and mixed use (retail, office, and industrial) development allowed by this zoning request would provide homes, jobs, and other conveniences within easy walking distance of the Corridor.

Eubank itself is a transit route so the site is easily accessible to the Albuquerque Ride bus system. From the Eubank route, a rider has the ability to transfer to other east-west major routes such as the Central route, Lomas route, and Montgomery route. Additionally, the Eubank route provides direct access to the Sandia Science and Technology Park.

3. Albuquerque/Bernalillo Comprehensive Plan

Goals and Policies Relating to the Established Urban Area

The site is located within the Established Urban area as defined by the Comprehensive Plan. Specific goals and policies, which justify this request include:

The Goal is to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers a variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.

Policy e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where integrity of existing neighborhoods can be ensured.

Technique 1) Identify and remove unnecessary obstacles to appropriate infill development.

Any new significant development on the subject site will be site plan controlled, which will ensure that the development will respect the existing neighborhood. The proposed residential use proposed for the site will generate less traffic and air quality impacts than uses that could allow with the current zoning. Additionally, the planned mixed-use development planned to the north of this project will provide convenience to the residents of this residential development along with the residents in the area.

Policy I

Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

The development is site planned controlled and as a part of this request, we are also requesting an amendment to the approved Site Plan for the residential portion of this request. The site plan is creative and reflects quality and innovation.

D. The applicant must demonstrate that the existing zoning is inappropriate because:

- 1. There was an error when the existing zone map pattern was created; or*
- 2. Changed neighborhood or community conditions justify the change; or*

The changed neighborhood condition is the approval of a zone map amendment and site plan for this property. The Notice of Decision for Project #1000572 states that the project is in compliance with specific Comprehensive Plan policies regarding neighborhood values, natural environmental conditions, integrity of neighborhoods, design innovation and area appropriateness.

Additionally, the redevelopment of the property to the north into a mixed-use commercial development (planned retail, office, and industrial uses) provides the basis for a changed neighborhood condition. That property currently is vacant with a large, abandoned building on it. It is an eyesore for neighboring residents. Redeveloping this property and having adequate access, which will be accomplished through this land swap, is crucial to the redevelopment of this property and important to the community.

D3. A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other city master plan, even though (D)(1) or (D)(2) above do not apply.

The EPC has already determined that residential uses are appropriate for this area, along with a mix of IP uses. A zone map amendment was approved by the Commission in November, 2005, along with the Site Plan being approved in January, 2006. Through this action, it is clear that this mix of zoning and development is clearly more advantageous to the community.

- E. *A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood, or the community.*

Any new significant development on the subject site will be site plan controlled, which will ensure that the development will respect the existing neighborhood. The proposed residential use proposed for the site will generate less traffic and air quality impacts than uses that could allow with the current zoning. Additionally, the planned mixed-use development planned to the north of this project will provide convenience to the residents of this residential development along with the residents in the area.

- F. *A proposed zone change which, to be utilized through land development, requires major and unprogrammed capital expenditures by the city may be:*
- 1. Denied due to lack of capital funds; or*
 - 2. Granted with the implicit understanding that the city is not bound to provide the capital improvements on any special schedule.*

The proposed zone change does not require additional capital expenditure by the City. The property is adjacent to fully developed rights-of-way and the site is already served by existing utilities, therefore no capital spending is required to accommodate new development.

- G. *The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone.*

This justification shows that the proposed zone change is warranted by consistency with the City's Comprehensive Plan, land use compatibility, and good planning practices, without regard to economic considerations.

- H. *Location on a collector or major street is not in itself sufficient justification for apartment, office, or commercial zoning.*

Although the subject site is not directly located on a Major or Enhanced Transit Corridor, the intersection of Chico and Eubank is approximately two blocks away from the Central Enhanced Transit Corridor. The higher density residential development and mixed use (retail, office, and industrial) development allowed by this zoning request would provide homes and other conveniences within easy walking distance of the Corridor.

- I. *A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when:*

- 1. The change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan; or*

2. *The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises makes the site unsuitable for the uses allowed in any adjacent zone.*

There are a variety of residential and non-residential uses in the area and this zone change would not function as a spot zone. A portion of this request will be incorporated into a larger residential property that has received EPC approval. The non-residential portion of this request will hold similar zoning and proposed use as the other properties to the north of these.

- J. *A zone change request which would give a zone different from surrounding zoning to a strip of land along a street is generally called "strip zoning." Strip commercial zoning will be approved only where:*
 1. *The change will clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area development plan; and*
 2. *The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.*

There are a variety of residential and non-residential uses in the area and this zone change would not function as a spot zone. A portion of this request will be incorporated into a larger residential property that has received EPC approval. The non-residential portion of this request will hold similar zoning and proposed uses as the adjacent property to the north of these.

4. CONCLUSION

- The site is located at the northwest corner of the intersection of Chico and Morris Rd. NE.
- The properties are currently zoned SU-1 for PRD and SU-1 for IP. The EPC has approved a zone map amendment and a Site Plan for PRD recently for the property.
- A portion of this proposed zone change would allow the development of multi-family residential units (along with a larger, pre-approved residential development), which would be constructed by a reputable builder, active in the community.
- The proposed mixed-use for the area complies with City of Albuquerque plans and policies. The proposed Presidio development will provide high-density residential units. The parcels involved with this land swap will partially provide adequate access to the property to the north that is planned for a non-residential mixed-used development.



- The basis of this zone map amendment is that the proposed use would be better for the community for the following reasons:
 - The project will be site plan controlled, with the City Planning Department having greater control in the design of the project;
 - Development of the site represents infill development and is served by existing utilities and infrastructure. Furthermore, the site is located within the 1960 City of Albuquerque municipal boundaries;
 - The site is located close to the Albuquerque Ride Eubank route, which provides direct access to Kirtland Air Force Base.

Relevant policies have been presented in support of the project from the Albuquerque/Bernalillo County Comprehensive Plan and Resolution 270-1980. For these reasons, the requested zone change to swap parcels as previously described is justified and appropriate. We respectfully request that the Environmental Planning Commission approve the request for this zone map amendment.

Sincerely,



James K. Strozier, AICP
Principal

c: Lisa Donoghue, Centex Homes, LLC

CENTEX HOMES

October 5, 2006

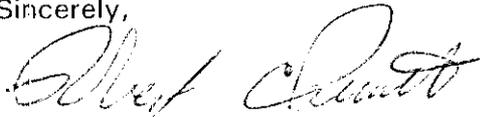
Jelf Jesionowski, Chairman
Environmental Planning Commission
600 Second Street NW
Albuquerque, NM 87102

RE: Zone Map Amendment and Amendment to Site Plan for PRD

Dear Chairman Jesionowski:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as our agent on this request for Zone Map Amendment and amendment to the approved Site Plan for PRD for portions of Lots 2, 3, and 6 of the Plat of the Lenkurt Properties. The property is a smaller portion of the larger approved development located at Chico/Morris.

Sincerely,



Robert C. Prewitt
Vice President
Centex Homes – New Mexico

Livable from day one.

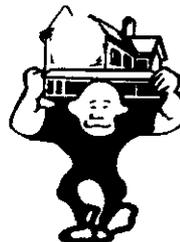
WWW.CENTEXHOMES.COM

7601 Jefferson NE, Suite 320 | Albuquerque, NM 87109 | Phone 505.761.9606 | Fax 505.761.9850



M W Development, LLC

501 Third Street SW
Albuquerque, NM 87102



PHONE: (505) 248-1688

E-Mail: waterman@watermaninc.net

FAX: (505) 248-1705

September 25, 2006

Jeff Jesionowski, Chairman
Environmental Planning Commission
600 Second Street NW
Albuquerque, NM 87102

RE: Zone Map Amendment and Amendment to Site Plan for PRD

Dear Chairman Jesionowski:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as our agent on this request for Zone Map Amendment and amendment to the approved Site Plan for PRD for portions of Lots 2, 3, and 6 of the Plat of the Lenkurt Properties. The property is a smaller portion of the larger approved development located at Chico/Morris.

Sincerely,

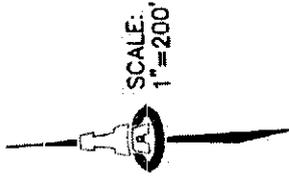
A handwritten signature in black ink, appearing to read "Ted A. Waterman". The signature is written in a cursive style with a long horizontal flourish extending to the right.

Ted A. Waterman, Managing Member
M W Development LLC, a New Mexico Limited Liability Company

THE LENKURT PROPERTIES

LAND TRADE EXHIBIT

LOT 5 & 4
THE LENKURT PROPERTIES
PLAT # 11/2001, in Township 38N, Range 10E, P. 204



PARCEL FROM WATERMAN TO CENTEX HOMES EXISTING SU-1 IP PROPOSED SU-1 PRD (A)

PARCEL FROM WATERMAN TO CENTEX HOMES EXISTING SU-1 IP PROPOSED SU-1 PRD (B)

Lot 2

Lot 6

1.02 acres

1.65 acres

Lot 3

Lot 4A
Towne Park Plaza

LOT 4
THE LENKURT PROPERTIES
PLAT # 11/2001, in Township 38N, Range 10E, P. 204

LOT 1
TOWNE PARK PLAZA
PLAT # 11/2001, in Township 38N, Range 10E, P. 204

LOT 2
TOWNE PARK PLAZA
PLAT # 11/2001, in Township 38N, Range 10E, P. 204

MORRIS STREET NW
(Rt. 27)

MORRIS ST

CHICO ROAD

CHICO ROAD NW
(Rt. 27)

Date: October 18, 2006

To: Jim Strozier & Lani McCarson, Consensus Planning
From: Catalina Lehner, COA Planning Dept.
RE: Project # 1000572, The Presidio Land Swap

I have reviewed the proposed zone map amendment and site plan for subdivision amendment for Project # 1000572. I have some questions about the proposal and am requesting some additional information. Please provide me with written responses to the following (and a revised exhibit) no later than Friday, October 27, 2006:

Land Swap/Zoning:

1. Explain why it is necessary to change zoning on the affected pieces of land in order to do the land swap. Why can't the parties just make an agreement among themselves?
2. Please re-do the "Land Trade Exhibit". Current and proposed zoning needs to be indicated on it.
3. Seems to me that the zone change area for A could be smaller. Tract 1B and Tract 2 are already zoned SU-1 or PRD, so just the southern portion of Lot 6 (zoned SU-1 for IP) needs to be rezoned to SU-1 for PRD. This would be less than 1.02 acres.
4. Whose idea was the land swap?
5. What is planned for the parcel to the north and what are the timeframes? I know the Watermans bought it from BLI.
6. How do you know these proposed uses will not be harmful to future Presidio residents?
7. Which easements, exactly, are going to be vacated? Will they be vacated at DRB after the EPC process?
8. Has the owner of the parking area on the southwest corner agreed to creating this access to the parcel to the north?

Site Plan for Subdivision Amendment

1. Explain exactly how the site plan will be reconfigured. Looks like some units have been moved. What types of units and how many? What is the net loss or gain and what are the new totals of each type of unit?
2. Are any changes to the design standards proposed? If so, please bubble them out.
3. One of the reasons for the land swap is to create a buffer. The new units on the subject site's NE corner don't have a buffer. Please clarify.



Urban & Architectural
Urban Design
Planning Services

1011 16th St NW
Albuquerque, NM 87104
505.243.1400
www.consensusplanning.com
www.consensusplanning.com

October 31, 2006

Catalina Lehner
Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Project #1000572 - The Presidio Land Swap

Dear Catalina:

The purpose of this letter is to explain how we have addressed your comments and question for Project #1000572; The Presidio Land Swap.

Each comment or question is listed below, as well as the response to address them:

1. Explain why it is necessary to change zoning on the affected pieces of land in order to do the land swap. Why can't the parties just make an agreement among themselves?

In order to incorporate the swapped land into each of the development plans, a zone change is required. There are four reasons for the land swap that include: parking access and truck turn around; truck entry; units on new tract; and added buffer to the west.

2. Please re-do the "Land Trade Exhibit". Current and proposed zoning needs to be indicated on it.

There will be two separate hatch areas on the exhibit, identifying each zone designation and labeling the existing and proposed zoning for each area.

3. Seems to me that the zone change area for A could be smaller. Tract 1B and Tract 2 are already zoned SU-1 or PRD, so just the southern portion of Lot 6 (zoned SU-1 for IP) needs to be rezoned to SU-1 for PRD. This would be less than 1.02 acres.

Per our conversation, Catalina will coordinate with AGIS staff to correct the Zoning Map.

4. Whose idea was the land swap?

Ted Waterman, property owner for the northern portion, initiated the discussion and all affected parties agreed to cooperate.

5. What is planned for the parcel to the north and what are the timeframes? I know the Watermans bought it from BLI.

Land uses for the subject parcel include Mixed Use, Office-Retail and Light Industrial as permitted in the SU-1 for IP Zone.

6. How do you know these proposed uses will not be harmful to future Presidio residents?

As noted previously, the land swap and zone change will allow for increase buffer on the south edge of the IP land. The increased buffer will be added to the rear of the SU-IP property.

7. Which easements, exactly, are going to be vacated? Will they be vacated at DRB after the EPC process?

There is a plat pending and there are two sheets of exhibits showing the vacations. An existing document between parties has already been filed that vacates the easement. Isaacson & Arfman will provide copy of the plat, under separate cover.

8. Has the owner of the parking area on the southwest corner agreed to creating this access to the parcel to the north?

The amended site plan proposes to close off the residential access to the west.

Site Plan for Subdivision Amendment

1. Explain exactly how the site plan will be reconfigured. Looks like some units have been moved. What types of units and how many? What is the net loss or gain and what are the new totals of each type of unit?

Site plan changes were reviewed at the meeting.

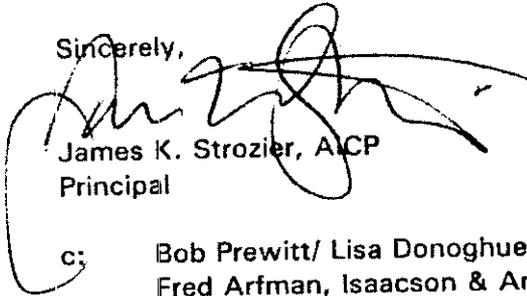
2. Are any changes to the design standards proposed? If so, please bubble them out.

No changes have been proposed to the design standards.

3. One of the reasons for the land swap is to create a buffer. The new units on the subject site's NE corner don't have a buffer. Please clarify.

There will be no truck access to this area, it is proposed to be more retail in character, and they have none on the IP site to provide the required landscape buffer.

Sincerely,

A handwritten signature in black ink, appearing to read 'James K. Strozier', with a large, stylized flourish extending to the right.

James K. Strozier, AICP
Principal

c: Bob Prewitt/ Lisa Donoghue, Centex Homes
Fred Arfman, Isaacson & Arfman



Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

October 4, 2006

L. Scott Varner
Towne Park Neighborhood Association
10824 Pennyback NE
Albuquerque, NM 87123

Jeanne Hamrick
Towne Park Neighborhood Association
10500 Schenley NE
Albuquerque, NM 87123

RE: The Presidio

Dear Mr. Varner and Ms. Hamrick:

The purpose of the letter is to let you and the members of your neighborhood association know that Consensus Planning has submitted a request for Zone Map Amendment and an amendment to the approved Site Plan for Planned Residential Development (PRD) for the development known as The Presidio, which is located at the northwest corner of the intersection of Chico Road and Morris Street.

This request pertains to The Presidio development where the Site Development Plan for PRD was approved by the Environmental Planning Commission (Project #100572/05EPC-01116) on January 19, 2006. The zone map amendment for the development was approved in November, 2005.

This request essentially proposes to complete a land trade with an adjacent property owner. In doing so, it is necessary to apply for a zone map amendment and amend the approved site plan to reflect the changes. The site plan will be adjusted slightly to accomplish the land trade and two individual zone map amendments will be requested as follows:

- A. A zone map amendment from SU-1 IP to SU-1 for PRD (1.02 acres), and
- B. A zone map amendment from SU-1 for PRD to SU-1 for IP (1.65 acres).

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strogier, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP

The previous Site Development Plan for PRD, as you are aware, was approved in January, 2006 for 91 townhomes and 165 condominiums, for a total of 256 dwelling units. The site plan now, with the land swap,



proposes the same total number of units with 87 townhomes and 169 condominiums.

The proposed mixed-use for the area complies with City of Albuquerque plans and policies. The proposed Presidio development will provide high-density residential units. The parcels involved with this land swap will provide access to the property to the north that is planned for a non-residential mixed-used development and will provide for a better buffer between the two projects.

The basis of this zone map amendment is that the proposed use would be better for the community for the following reasons:

- The project will be site plan controlled, with the City Planning Department having greater control in the design of the project;
- Development of the site represents infill development and is served by existing utilities and infrastructure and the site is located within the 1960 City of Albuquerque municipal boundaries;
- The site is located close to the Albuquerque Ride Eubank route, which provides direct access to Kirtland Air Force Base.

Additionally, relevant policies have been presented in support of the project from the Albuquerque/Bernalillo County Comprehensive Plan and Resolution 270-1980. Please feel free to contact me or my staff with any questions, comments, or a time to meet and discuss this case further at 764-9801.

Sincerely,

A handwritten signature in black ink, appearing to read "James K. Strozier".

James K. Strozier, AICP
Principal

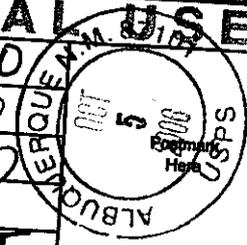
7004 1350 0000 0962 8872

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com.

OFFICIAL USE

Postage	\$4.20
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$8.45



Sent To: Ranne Hamrick
 Street, Apt. No., or PO Box No. 10500 SHERIDAN
 City, State, ZIP+4 ALB NM 87123

PS Form 3800, June 2002 See Reverse for Instructions

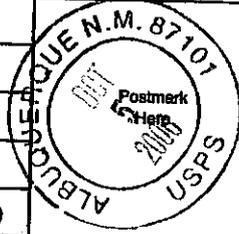
7004 1350 0000 0962 8865

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com.

OFFICIAL USE

Postage	\$4.20
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$8.45

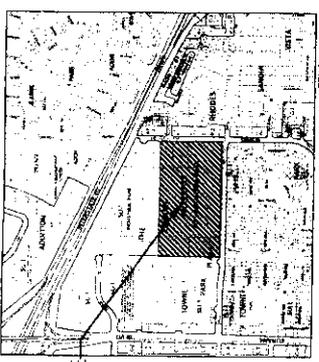


Sent To: L. SLOTT VAMM
 Street, Apt. No., or PO Box No. 10824 PENNINGTON
 City, State, ZIP+4 ALB NM 87123

PS Form 3800, June 2002 See Reverse for Instructions

PROPOSED AMENDED
SITE DEVELOPMENT PLAN FOR SUBDIVISION

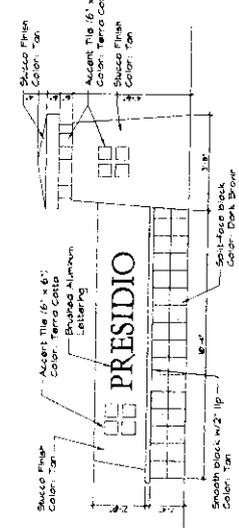
SITE VICINITY



FOR AMENDMENT

PROJECT NUMBER: 2002-0102
APPROXIMATE DATE: 10/19/02

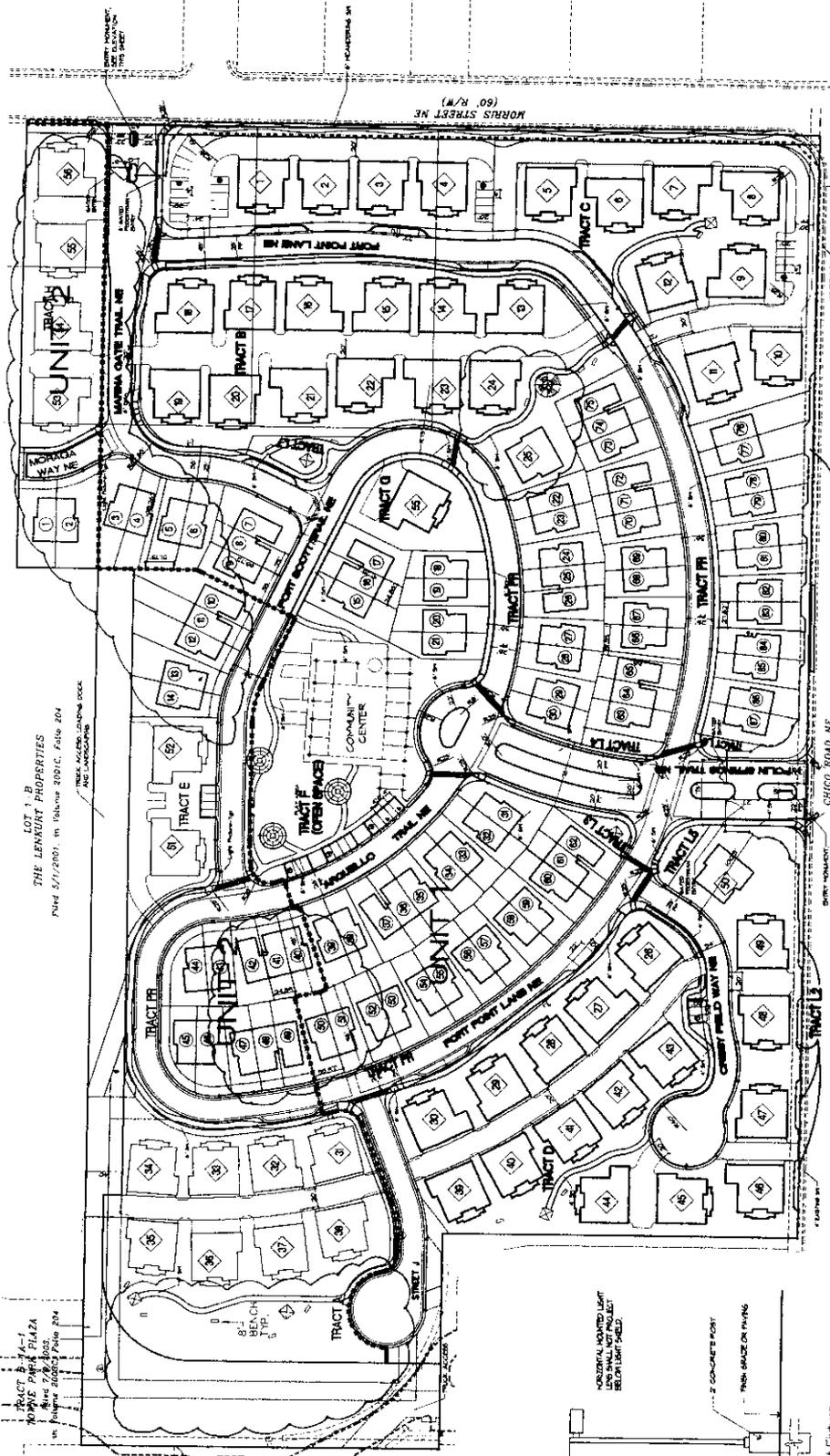
This Plan is submitted for the purpose of amending the site plan approved by the Environmental Planning Commission (EPC) dated 10/19/01 for the development of a residential development consisting of 23 buildings and 2,102 units. This site plan also includes a site plan for a community center and a community center building. The site plan also includes a site plan for a community center and a community center building. The site plan also includes a site plan for a community center and a community center building.



Entry Monument Elevation

Scale 1" = 10'

LOT 1, B
THE LENOX PROPERTIES
 PUD 5/1/2001, in Volume 298C, Page 204



Site Information: The site is located on the east side of Morris Street NE, a portion of lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

TRANSIT ACCESS: The site is currently not on a transit line. However, it is located within walking distance of the Morris Street NE station.

INTERNAL CIRCULATION: Internal circulation will be provided through a network of walking paths that lead from the parking areas to the buildings.

LANDSCAPE PLAN: The Landscape Plan (see sheet 31) provides a plan for the site. It includes a plan for the site and a plan for the site.

AMENDED SITE DEVELOPMENT PLAN FOR PRD THE PRESIDIO

Prepared by: **URS CONSULTANTS**
 1300 North 17th Street
 Albuquerque, NM 87109

Project Number: **2002-0102**

Scale: 1" = 60'

North Arrow

DESIGN STANDARDS FOR THE PRESIDIO

A. Introduction

The purpose of these Design Standards is to provide a framework for ensuring that a high quality environment is created for the residents and visitors of the community. The standards are intended to be flexible and adaptable to the unique needs and conditions of the site, and to be updated as needed to reflect changes in the community and the surrounding area.

B. Design Standards

The purpose of these Design Standards is to provide a framework for ensuring that a high quality environment is created for the residents and visitors of the community. The standards are intended to be flexible and adaptable to the unique needs and conditions of the site, and to be updated as needed to reflect changes in the community and the surrounding area.

Site Amenities

The project site amenities include a network of walking paths that connect the development to the surrounding area. The paths will be designed to provide a safe and enjoyable environment for pedestrians of all ages and abilities. The paths will be constructed with durable materials and will be maintained to ensure a high level of safety and accessibility.

- The common areas will be owned, developed, and maintained by the homeowners' association.
- Front yard setbacks shall be provided in the common open space areas to provide access to the outdoors.
- Front yard setbacks shall be provided in the common open space areas to provide access to the outdoors.
- Front yard setbacks shall be provided in the common open space areas to provide access to the outdoors.

Setbacks

The purpose of these Design Standards is to provide a framework for ensuring that a high quality environment is created for the residents and visitors of the community. The standards are intended to be flexible and adaptable to the unique needs and conditions of the site, and to be updated as needed to reflect changes in the community and the surrounding area.

- Front yard setbacks - There shall be a front yard setback of not less than 10 feet.
- Side yard setbacks - There shall be a side yard setback of not less than 10 feet.
- Rear yard setbacks - There shall be a rear yard setback of not less than 10 feet.
- Front yard setbacks - There shall be a front yard setback of not less than 10 feet.
- Side yard setbacks - There shall be a side yard setback of not less than 10 feet.
- Rear yard setbacks - There shall be a rear yard setback of not less than 10 feet.

Landmarks

The purpose of these Design Standards is to provide a framework for ensuring that a high quality environment is created for the residents and visitors of the community. The standards are intended to be flexible and adaptable to the unique needs and conditions of the site, and to be updated as needed to reflect changes in the community and the surrounding area.

- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.

- The homeowners' association shall maintain all street-viewing signs, signs, and signs.
- The homeowners' association shall maintain all street-viewing signs, signs, and signs.
- The homeowners' association shall maintain all street-viewing signs, signs, and signs.
- The homeowners' association shall maintain all street-viewing signs, signs, and signs.
- The homeowners' association shall maintain all street-viewing signs, signs, and signs.
- The homeowners' association shall maintain all street-viewing signs, signs, and signs.

Screening Walls, Fencing, and Barriers

The purpose of these Design Standards is to provide a framework for ensuring that a high quality environment is created for the residents and visitors of the community. The standards are intended to be flexible and adaptable to the unique needs and conditions of the site, and to be updated as needed to reflect changes in the community and the surrounding area.

- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.

Alleys

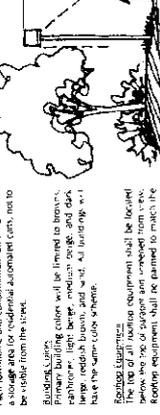
The purpose of these Design Standards is to provide a framework for ensuring that a high quality environment is created for the residents and visitors of the community. The standards are intended to be flexible and adaptable to the unique needs and conditions of the site, and to be updated as needed to reflect changes in the community and the surrounding area.

- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.

Lighting

The purpose of these Design Standards is to provide a framework for ensuring that a high quality environment is created for the residents and visitors of the community. The standards are intended to be flexible and adaptable to the unique needs and conditions of the site, and to be updated as needed to reflect changes in the community and the surrounding area.

- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.



- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.

Signage

The purpose of these Design Standards is to provide a framework for ensuring that a high quality environment is created for the residents and visitors of the community. The standards are intended to be flexible and adaptable to the unique needs and conditions of the site, and to be updated as needed to reflect changes in the community and the surrounding area.

- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.

Utilities

The purpose of these Design Standards is to provide a framework for ensuring that a high quality environment is created for the residents and visitors of the community. The standards are intended to be flexible and adaptable to the unique needs and conditions of the site, and to be updated as needed to reflect changes in the community and the surrounding area.

- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.

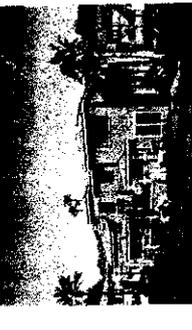
Parking and Pedestrian Access

The purpose of these Design Standards is to provide a framework for ensuring that a high quality environment is created for the residents and visitors of the community. The standards are intended to be flexible and adaptable to the unique needs and conditions of the site, and to be updated as needed to reflect changes in the community and the surrounding area.

- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.
- The design shall be consistent with the historic character of the site.



THE PRESIDIO



THE PRESIDIO

Design Standards

THE PRESIDIO

Prepared For:
Centex Homes
5120 Mainhead NE
Albuquerque, NM 87109

Prepared By:
Consensus Planning, Inc.
302 8th Street SW
Albuquerque, NM 87102

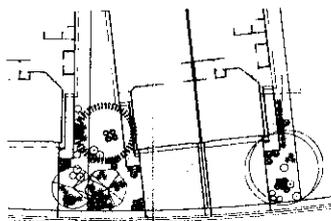
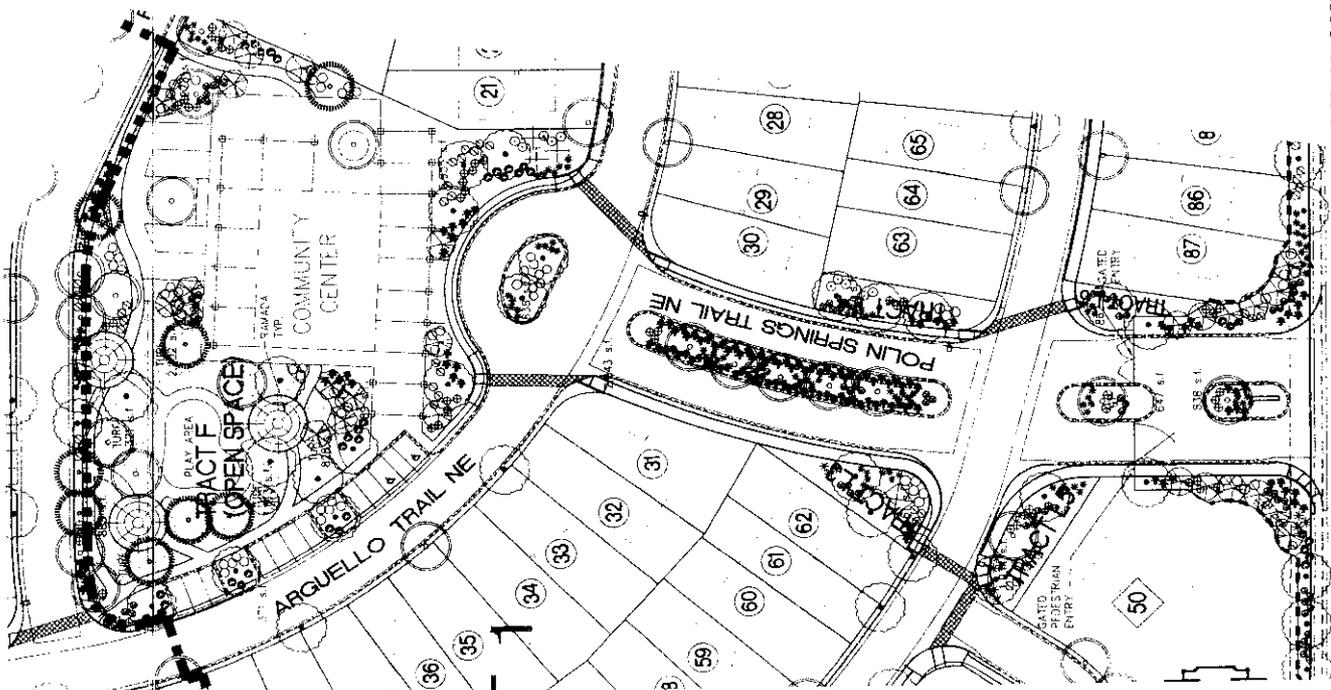
Isaacson & Arman
128 Monroe St. NE
Albuquerque, NM 87108

Dekker Perich Sabatini
6801 Jefferson NE, Suite 100
Albuquerque, NM 87109



PLANNING
CENTEX HOMES





TYPICAL FRONT YARD LANDSCAPE
Scale 1" = 10'

MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR THE PRESIDIO TOWNHOMES
The following requirements for front yard landscaping are in addition to the street tree requirements in the Design Standards. Home owners have the following 2 options listed below. Specific plant palettes will be developed for each option.

1. Street Trees
 2. Accent Trees
 3. Shrubs (min. 5 gallon)
 4. Shrubs (1 gallon)
 5. Ornamental Grasses
 6. Landscaping Boulders (3' x 3' min.)
 7. Turf Grass (seeded, min. 20% of the front yard landscape area)
- OR
1. Street Trees
 2. Accent Trees
 3. Shrubs (min. 5 gallon)
 4. Shrubs (1 gallon)
 5. Ornamental Grasses
 6. Landscaping Boulders (3' x 3' min.)
 7. No Turf Grass within front yard landscape area

In addition, all front yard landscaping shall be required to have the following:

- 3x4 Santa Ana Tan Rock Mulch over filter fabric - for all landscaped areas that are not covered with living vegetative groundcover.
- Steel Header - as required between turf and other landscaped areas.
- Irrigation System w/Automatic Timer will also include plantings within R.O.W.

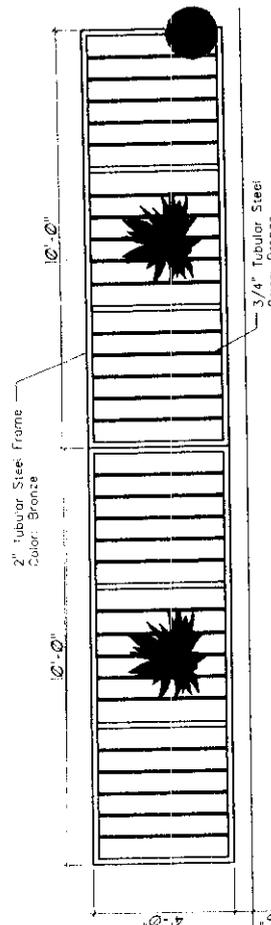
The following approved accents can be used for front yard landscaping:

Blue Rock (max. 75% of area)
Bark Mulch (in tree wells only)

PLANT LEGEND

Symbol	Scientific Name Common Name	Height	Flowering Period	Water Use	Symbol	Scientific Name Common Name	Height	Flowering Period	Water Use
⊗	Chrysopsis tricolor Dwarf Yellow	3' - 6'	5-6	Low	⊗	Arenaria tricolor Flour Candy	3' - 6'	5-6	Low
⊕	Forbesia mexicana New Mexico Curb	2' - 3'	7-8	Low	⊕	Phlox paniculata Blue Hill	3' - 6'	5-6	Low
⊖	Cercis canadensis Redbud	7' - 8'	7-8	Med.	⊖	Corydalis aurea Cowan	3' - 6'	5-6	Low
⊙	Opuntia basilaris Hedgehog Cactus	2' - 3'	7-8	Med.	⊙	Clematis vitalba Clematis	3' - 6'	5-6	Low
⊚	Fuchsia gracilis Ragwort	4' - 5'	7-8	Med.	⊚	Erigeron phillyria Daisy	3' - 6'	5-6	Low
⊛	Conoclinium octosperum Golden Ragwort	2' - 3'	7-8	Med.	⊛	Salvia greggii Cherry Sage	3' - 6'	5-6	Low
⊜	Phlox paniculata Blue Hill	3' - 6'	5-6	Low	⊜	Phlox paniculata Blue Hill	3' - 6'	5-6	Low
⊝	Phlox paniculata Blue Hill	3' - 6'	5-6	Low	⊝	Phlox paniculata Blue Hill	3' - 6'	5-6	Low

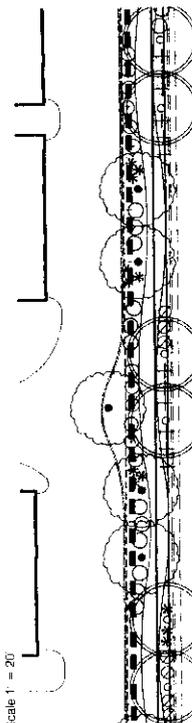
ENTRY DRIVE/COMMUNITY CENTER ENLARGEMENT
Scale 1" = 30'



PROPOSED ENTRY GATE ELEVATION
Scale 1/4" = 1'-0"



TYPICAL WALL PLANTING PLAN ALONG CHICO RD. NE
Scale 1" = 20'



TYPICAL WALL PLANTING PLAN ALONG MORRIS ST. NE
Scale 1" = 20'

LANDSCAPE PLAN
THE PRESIDIO

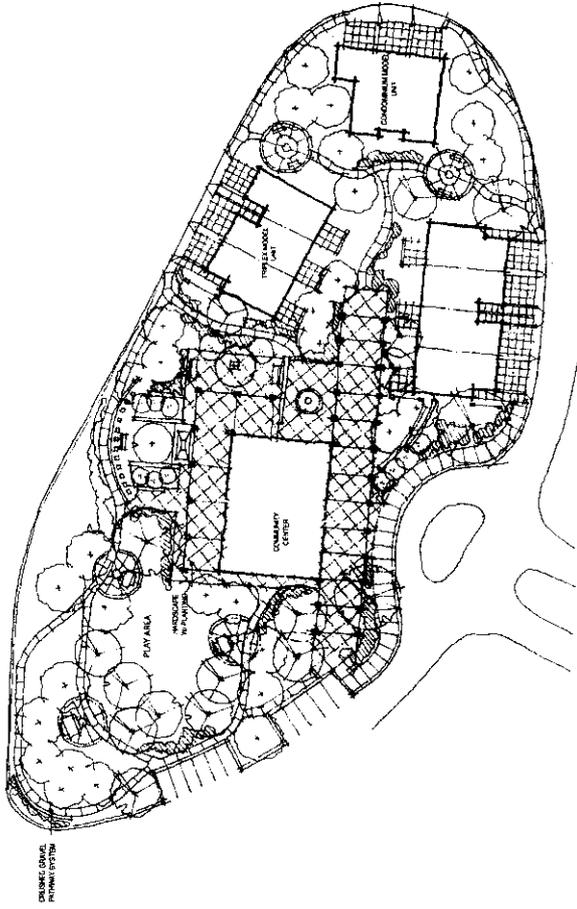
Prepared for:
3210 Main Street, NE
Albuquerque, NM 87110

Prepared by:
CONVERSE PLANNING, INC.
302 8th Street SW
Albuquerque, NM 87102

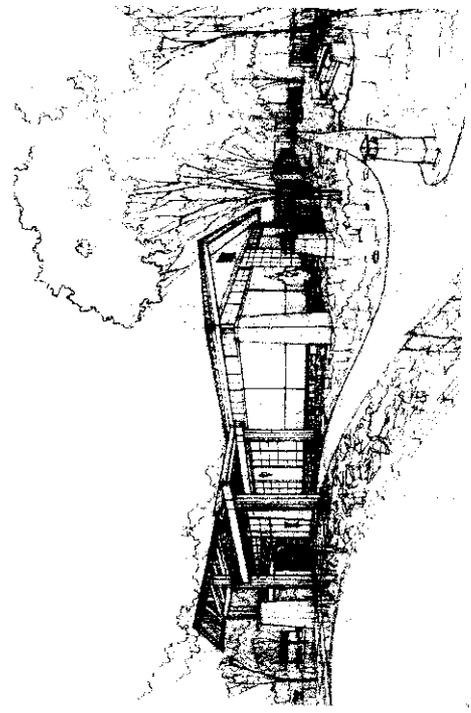
Project:
Makson & Armani, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

Project Location:
6401 Jefferson NE, Suite 100
Albuquerque, NM 87110

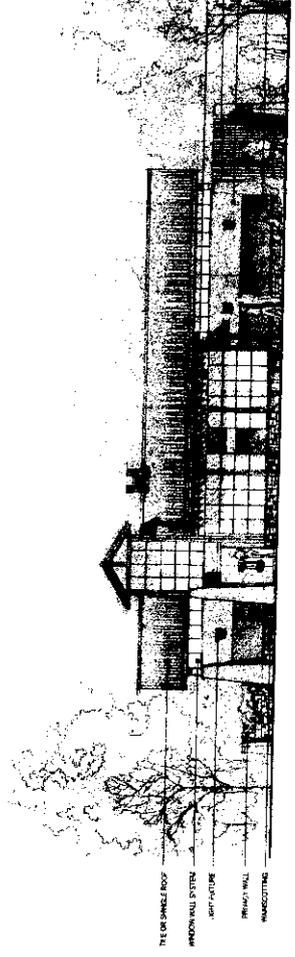




THE PRESIDIO COMMUNITY CENTER AND MODEL HOME PARK
SITE PLAN

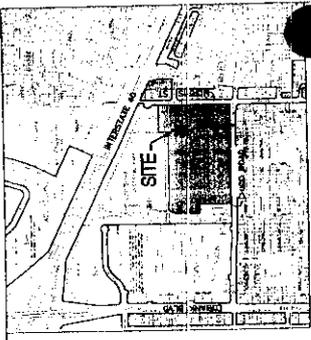


THE PRESIDIO COMMUNITY CENTER
CONCEPTUAL SOUTHEAST PERSPECTIVE



THE PRESIDIO COMMUNITY CENTER
CONCEPTUAL SOUTH ENTRY ELEVATION





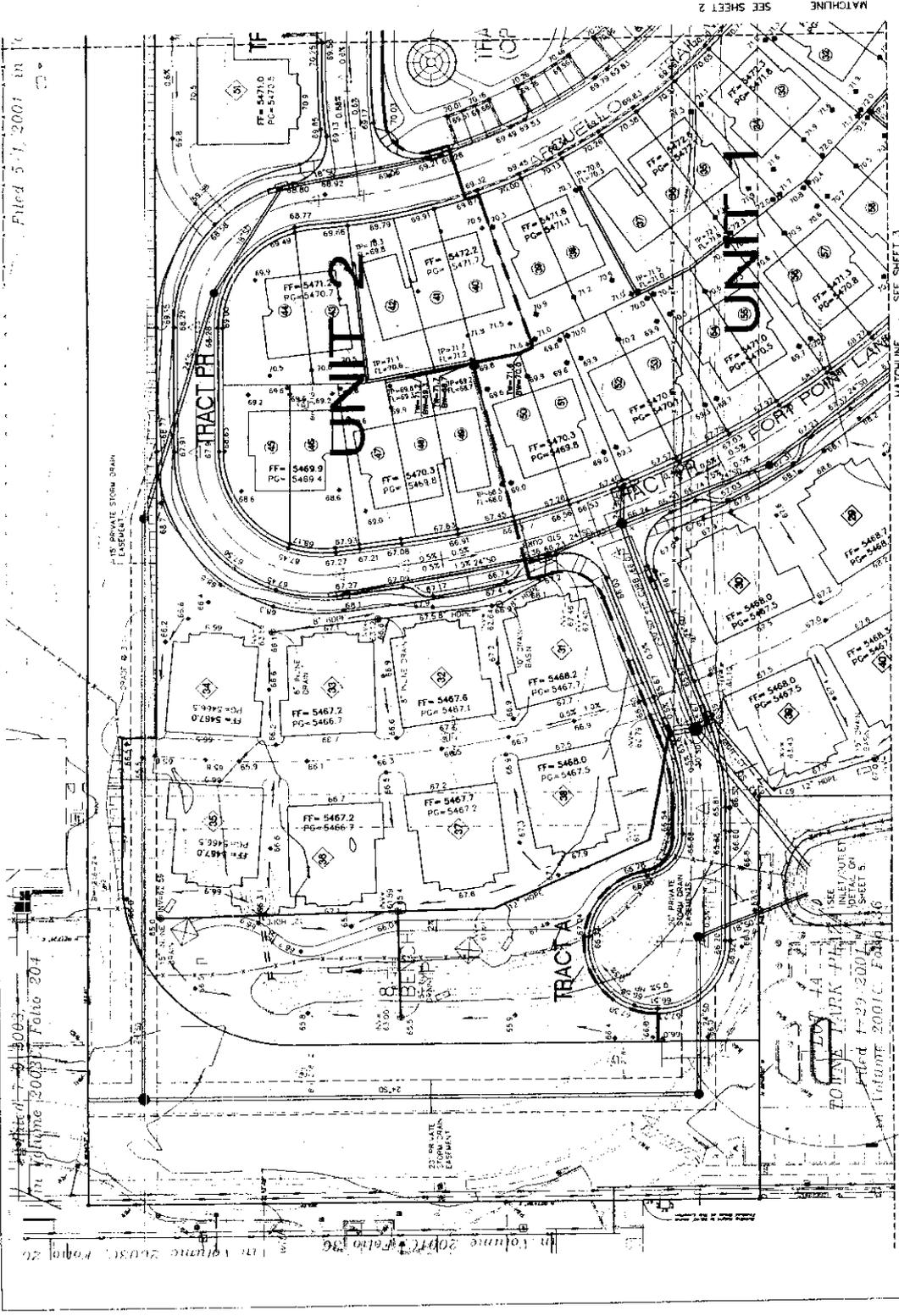
CONTACT INFORMATION
 DEVELOPER:
 CENTEX HOMES, INC.
 5100 MASTHEAD NE
 ALBUQUERQUE, NM 87106
 SITE ENGINEER:
 JACOBSON & ARFMAN, P.A.
 CONTACT: FRED C. ARFMAN, PE
 128 MONROE NE
 ALBUQUERQUE, NM 87108
 SURVEYOR:
 SURV-TEK, INC.
 504 PARADISE BLVD NW
 ALBUQUERQUE, NM 87114

JACOBSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 MONROE STREET N.E.
 ALBUQUERQUE, N.M. 87108
 TEL: 505-263-8822 FAX: 505-263-8822

CENTEX HOMES
 PRESIDIO
 MORRIS STREET AND CHICO STREET
 GRADING & DRAINAGE PLAN

DATE: 10/21/03
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: AS SHOWN

Filed 5-1-2003 in

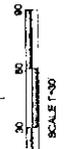


LEGEND

- 1.222 STREET GRADE BREAK
- 1.222 WATER BAR
- 1.222 STANDARD CURB & GUTTER
- 1.222 MEDIAN CURB & GUTTER
- 1.222 STORM DRAIN W/ MANHOLE
- 1.222 STORM DRAIN ALLET
- 1.222 ACS INLET DRAIN
- 1.222 ACS DRAIN
- 1.222 ST. LAKE

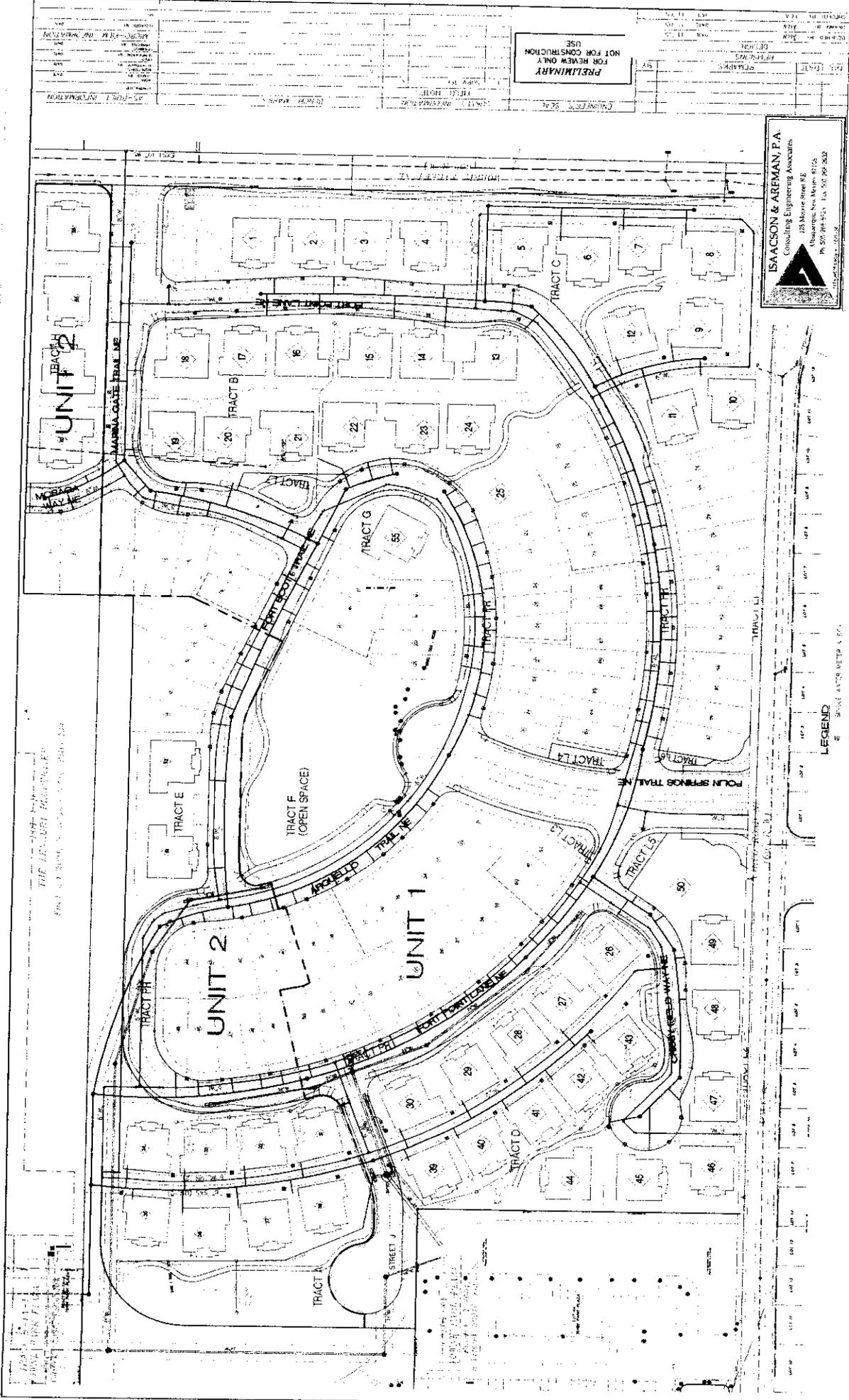
NOTES:

1. TURN EVERY OTHER BLOCK STREAMS TO PROVIDE OVERFLOW
2. SEE WALL DETAILS ON SHEET 5 FOR LOCATIONS OF TOP OF WALL/BOTTOM OF WALL ELEVATIONS LISTED ON PLAN
3. PUMP STATION OF EXISTING 15" TEMPORARY 00-1117-00 PPE



in Volume 2003, Page 204
 in Volume 2003, Page 204
 in Volume 2003, Page 204
 in Volume 2003, Page 204

SEE SHEET 2 MATCHLINE
 SEE SHEET 3 MATCHLINE



THE LEASERS' RIGHTS
AND OBLIGATIONS

ISAACSON & AREMAN, P.A.
Consulting Engineering Associates
125 Marine Street SE
Columbus, Georgia 31904
PH: 706.321.1511 FAX: 706.321.1522

PRELIMINARY
NOT FOR CONSTRUCTION
USE

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
ENGINEERING GROUP

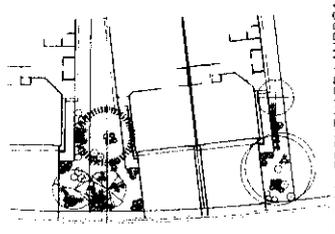
PROJECT: **UTILITY MASTER PLAN**
TITLE: _____
DATE: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

LEGEND

- BRIDGE ATION WITH A BOX
- FLOOD WATER WEIR & BOX
- FLOOD WALL OR TANK END
- FIRE HYDRANT
- ASSESSMENT OF STREETS
- STREETS TO BE REMOVED
- TRACT STREETS TO BE REMOVED AND REBUILT
- LOTTING AREAS
- EXISTING LOT
- EXISTING PLANNING



PREVIOUSLY APPROVED
SITE DEVELOPMENT PLAN FOR SUBDIVISION



TYPICAL FRONT YARD LANDSCAPE
Scale 1" = 10'

MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR THE PRESIDIO TOWNHOMES

The following requirements for front yard landscaping in addition to the street front landscaping are required. Standards Home owners are responsible for the maintenance of the landscaping. Specific plantings will be developed for each option.

- 1. Street Trees
- 2. Accent Trees
- 3. Shrubs (min. 4 gal/ft)
- 4. Shrubs (1 gallon)
- 5. Ornamental Grasses
- 6. Landscaping Borders (3' x 3' min.)
- 7. Full Grass (border min. 20% of the front yard - subscape area)

In addition, all front yard landscaping shall be required to have the following:

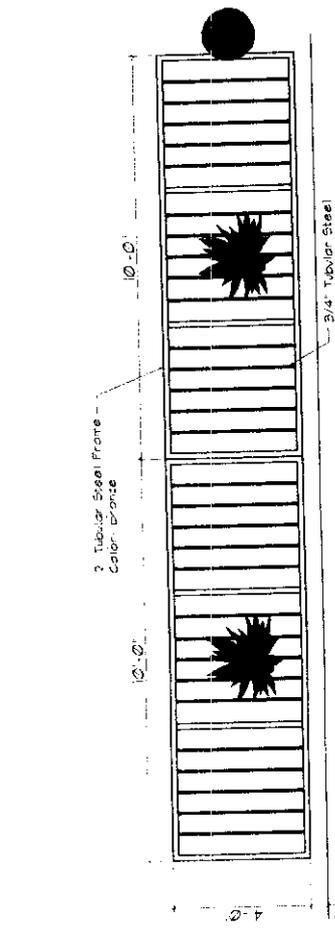
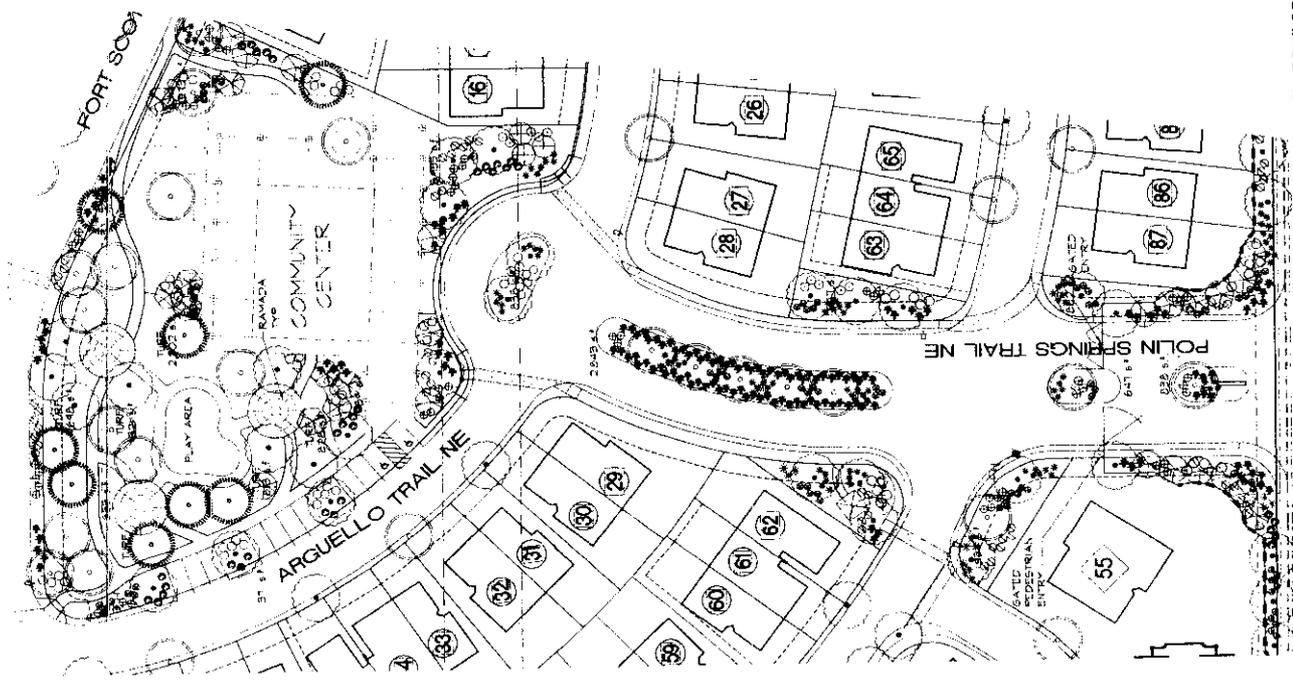
- 1. 3/4" Santa Ana Tan Rock Mulch over the fabric in all landscaped areas that are not covered with living, organic groundcover.
- 2. Steel Heads - as required between turf and other landscaped areas.
- 3. Irrigation System w/a automatic timer will also include handings within R.O.W.

The following appropriate accessories can be used for front yard landscaping:

River Rock (max. 20% of total)
Bank Mulch (in tree wells only)

PLANT LEGEND

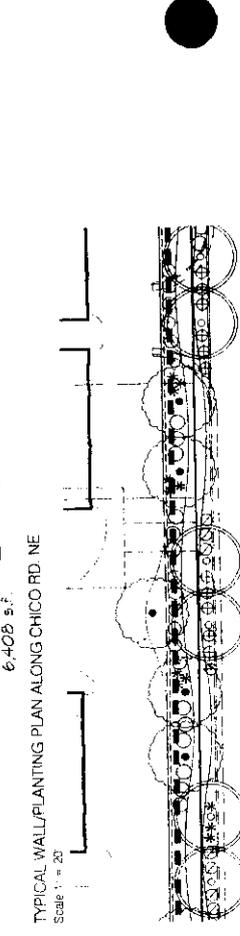
Qty	Symbol	Plant Name	Common Name	Size	Notes
36	(Symbol)	Drumstick	Leucosyris	3' gal	
6	(Symbol)	Conical Japanese Cedar	Juniperus conocarpus	3' gal	
36	(Symbol)	Small Shrubs	Various	3' gal	
300	(Symbol)	Grass	Various	3' gal	
17	(Symbol)	Planting	Various	3' gal	
1	(Symbol)	Conical Japanese Cedar	Juniperus conocarpus	3' gal	
9	(Symbol)	Planting	Various	3' gal	



PROPOSED ENTRY GATE ELEVATION
Scale 1/4" = 1'-0"



TYPICAL WALL PLANTING PLAN ALONG CHICO RD. NE
Scale 1" = 20'



TYPICAL WALL PLANTING PLAN ALONG MORRIS ST. NE
Scale 1" = 20'

LANDSCAPE PLAN THE PRESIDIO

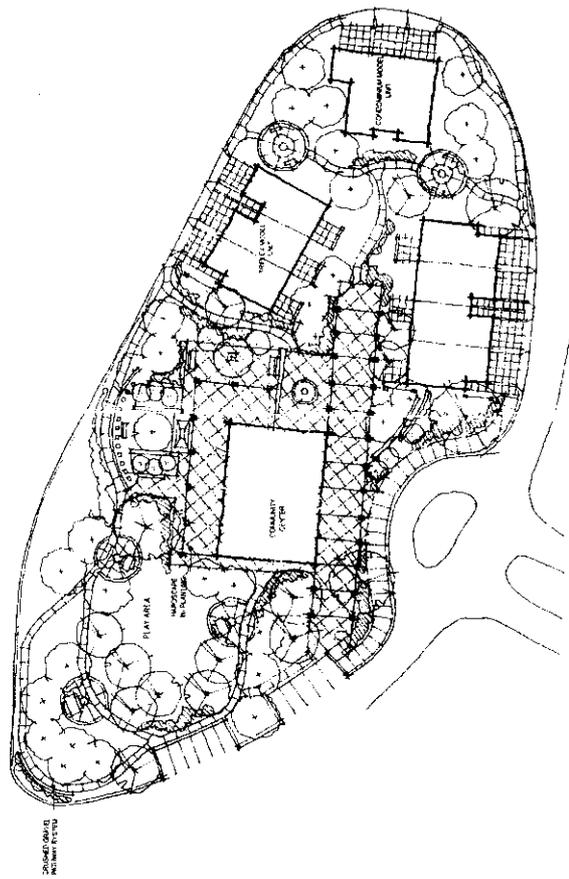
Project: Center House
3739 Mountain NE
Albuquerque, NM 87109

Prepared by: Planning, Inc.
100 8th Street SW
Albuquerque, NM 87102

Checked by: J. Adams, P.A.
128 Mountain Street NE
Albuquerque, NM 87108

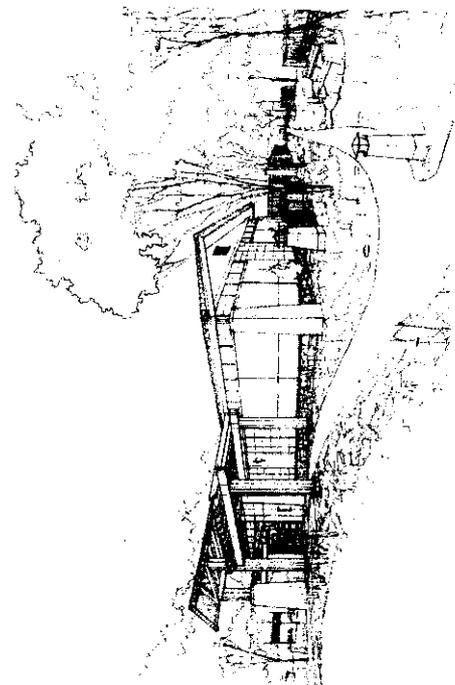
DRAWN BY: S. Adams
3801 Killebrew NE, Suite 100
Albuquerque, NM 87109



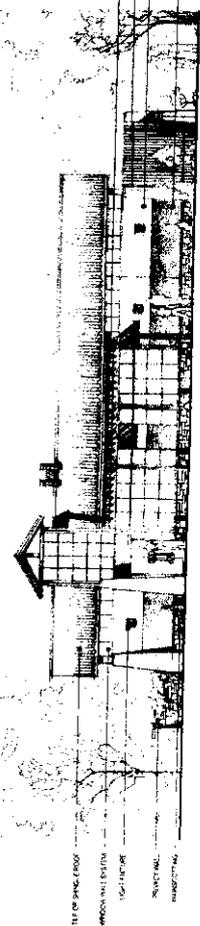


2006-08-14
 10:00 AM
 10:00 AM

THE PRESIDIO COMMUNITY CENTER AND MODEL HOME PARK
 SITE PLAN

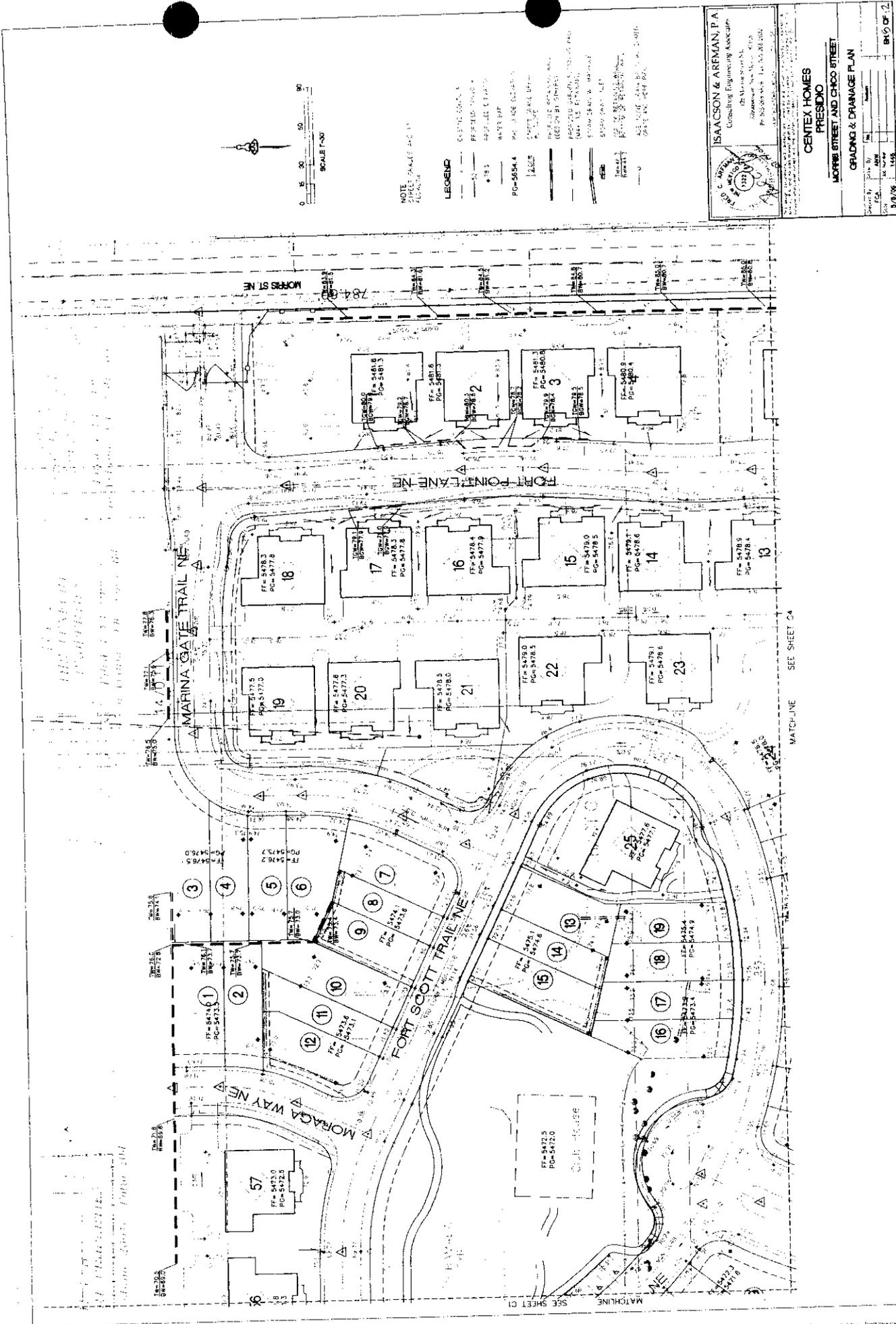


THE PRESIDIO COMMUNITY CENTER
 CONCEPTUAL SOUTH/EAST PERSPECTIVE



THE PRESIDIO COMMUNITY CENTER
 CONCEPTUAL SOUTH/EAST ELEVATION

- PAVING PATTERNS
- POOL AND SECURITY FENCE
- EXTERIOR LIGHTING FIXTURES



NOTE: SPOT HEIGHTS ARE FOR THE TOP OF THE FINISHED FLOOR.

- LEGEND**
- EXISTING CONTOUR
 - FINISHED FLOOR ELEVATION
 - SPOT HEIGHT
 - WATER PIPE
 - CONCRETE GRADE
 - MANHOLE
 - CATCH BASIN
 - STORM DRAIN
 - GUTTER
 - CURB
 - DRIVEWAY
 - SIDEWALK
 - DRIVEWAY
 - SIDEWALK
 - DRIVEWAY
 - SIDEWALK

ISAACSON & ARMAN, P.A.
 Consulting Engineering Associates
 224 West 10th Street
 Oklahoma City, Oklahoma 73101
 P.O. Box 20880
 Oklahoma City, Oklahoma 73158

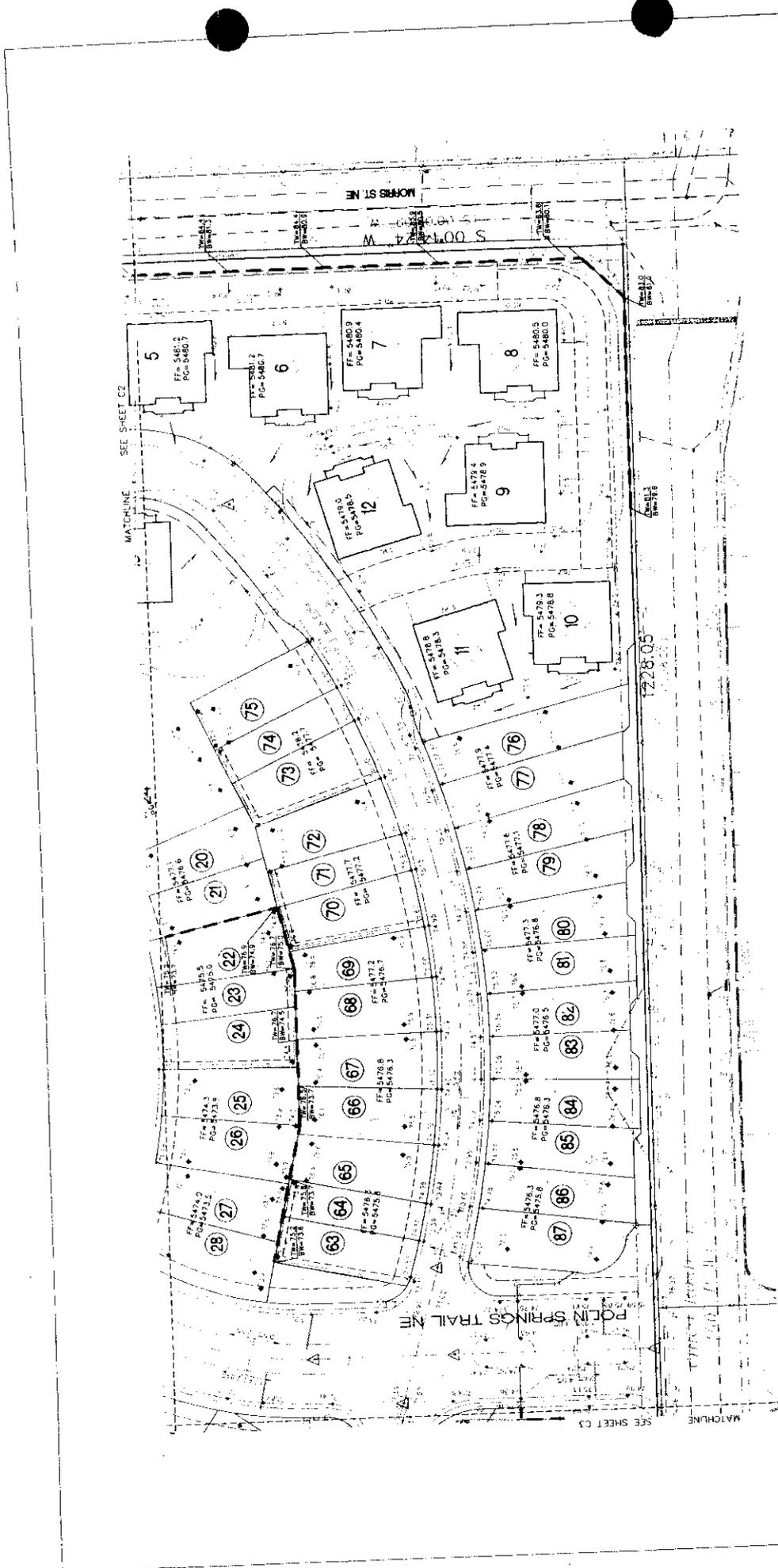
CENTEX HOMES
PRESIDIO
MORRIS STREET AND CHICO STREET
GRADING & DRAINAGE PLAN

Scale: 1/4" = 10'-0"
 Date: 11/15/06
 Drawn: JLM
 Checked: JLM
 Title: GRADING & DRAINAGE PLAN
 Sheet: 3/0/06

MATCH-LINE SEE SHEET C4

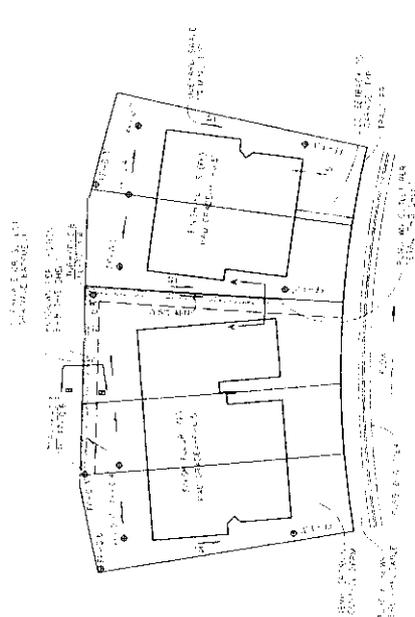
SEE SHEET C1

MATCH-LINE



ISAACSON & ARMAN, P.A. Consulting Engineering Associates 100 Main Street, S.E. Albuquerque, New Mexico 87102 P.O. Box 92821, Las Vegas, NV 89192	
CENTEX HOMES PRESIDIO	
MORRIS STREET AND CHOO STREET GRADING & DRAINAGE PLAN	
DATE: 2/10/09	BY: JMW
SCALE: AS SHOWN	SHEET: 12





TYPICAL LOT GRADING



SECTION B-B
TYPICAL SIDEYARD GRADING



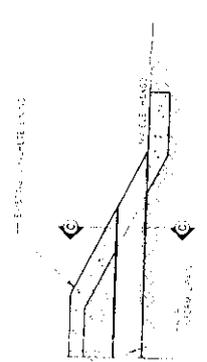
FRONT/SIDE YARD GRADING



PCC RUNDOWN
SECTION B-B



PCC RUNDOWN
OUTLET DETAIL



SECTION C-C
POND STORM DRAIN
INLET & OUTLET

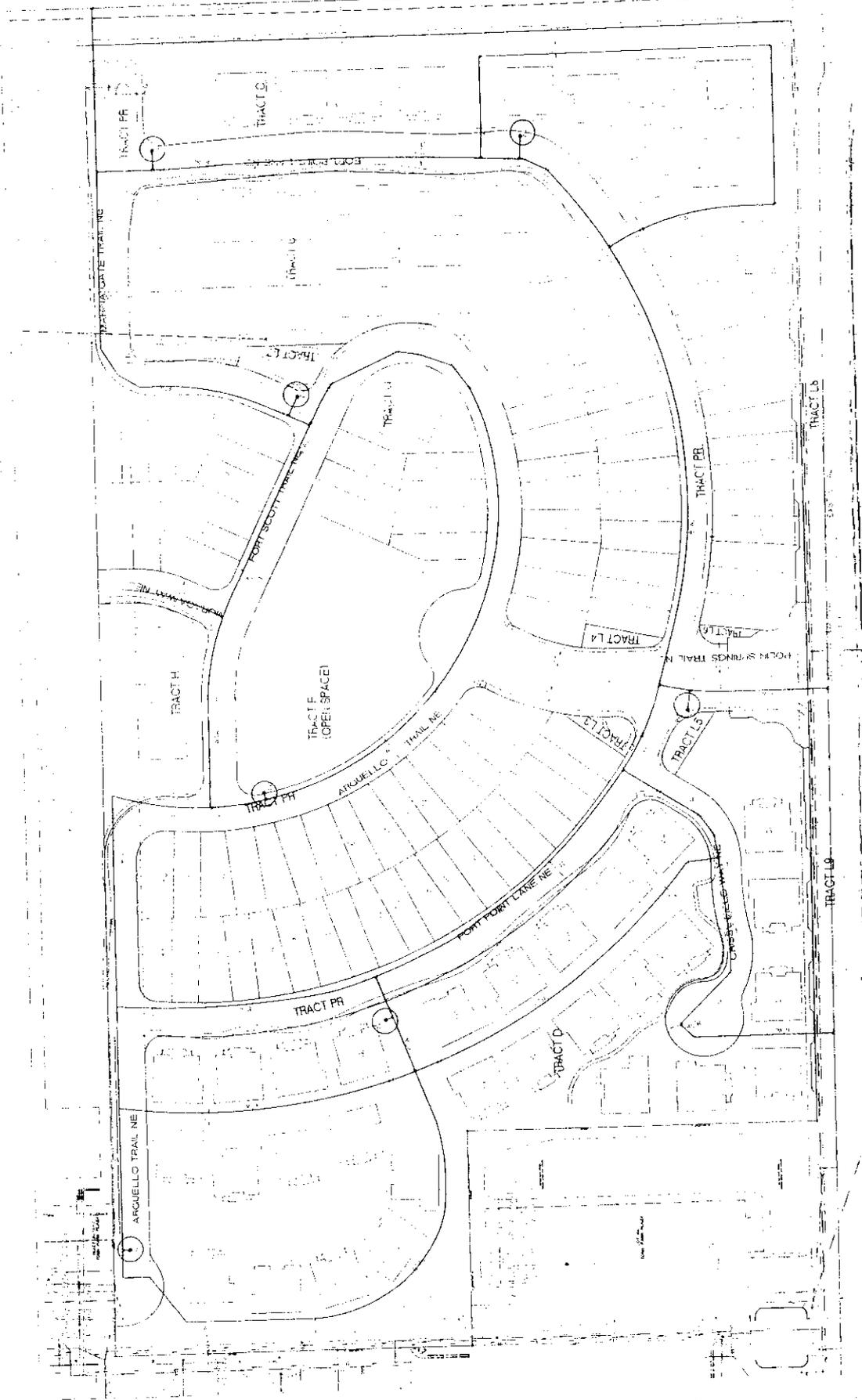


ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
125 Market Street
Philadelphia, PA 19102
Tel: 215-462-1500 Fax: 215-462-1502

**CENTEX HOMES
PRESIDIO
MORRIS STREET AND GRACO STREET
GRADING DETAILS**

DATE: 5/11/04
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: 1/8" = 1'-0"

Sheet 1 of 2



LEGEND



AD PLUMBING ENGINEERING OFFICE
11111 11111 11111
APPROVED AND AS APPROVED
11111 11111 11111



**Environmental
Planning
Commission**

**Agenda Number: 7
Project Number: 1000572
Case #: 06EPC 01446/06EPC 01447
November 16, 2006**

Staff Report

Agent	Consensus Planning
Applicant	Centex Homes
Requests	Zone Map Amendment Amendment-Site Development Plan for Subdivision
Legal Description	Portions of Lots 1B, 2, 3, 6, 7 and 8, Lenkurt Properties
Location	501 Morris Street NE (SE of Eubank Boulevard NE and Interstate 40)
Size	Approximately 24 acres
Existing Zoning	SU-1 for IP, SU-1 for PRD
Proposed Zoning	SU-1 for PRD, SU-1 for IP

Staff Recommendation

APPROVAL of 06EPC 01446, based on the findings on page 11, and subject to the conditions of approval on page 13.

APPROVAL of 06EPC 01447, based on the findings on page 13, and subject to the conditions of approval on page 14.

Staff Planner

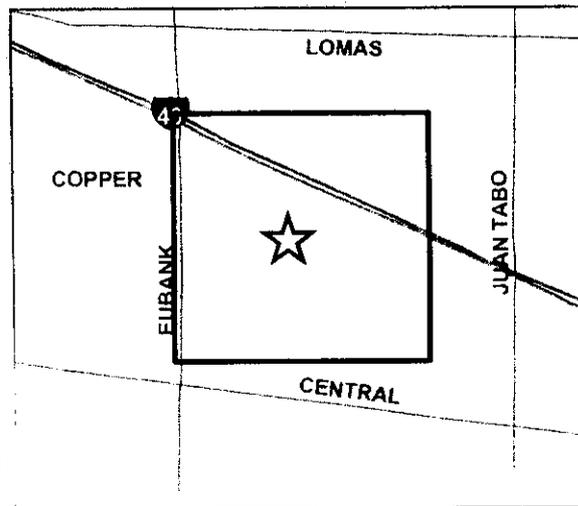
Catalina Lehner, AICP- Senior Planner

Summary of Analysis

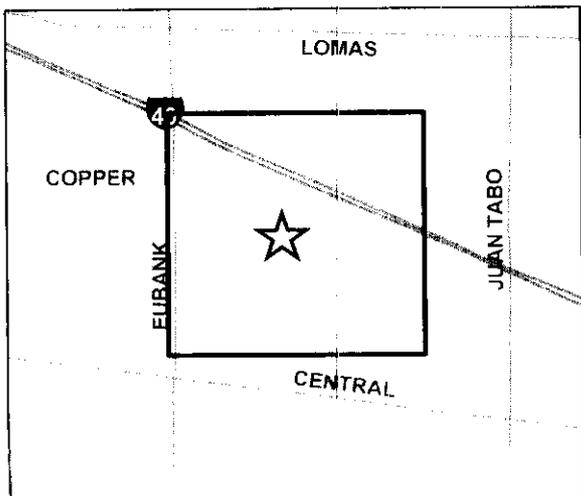
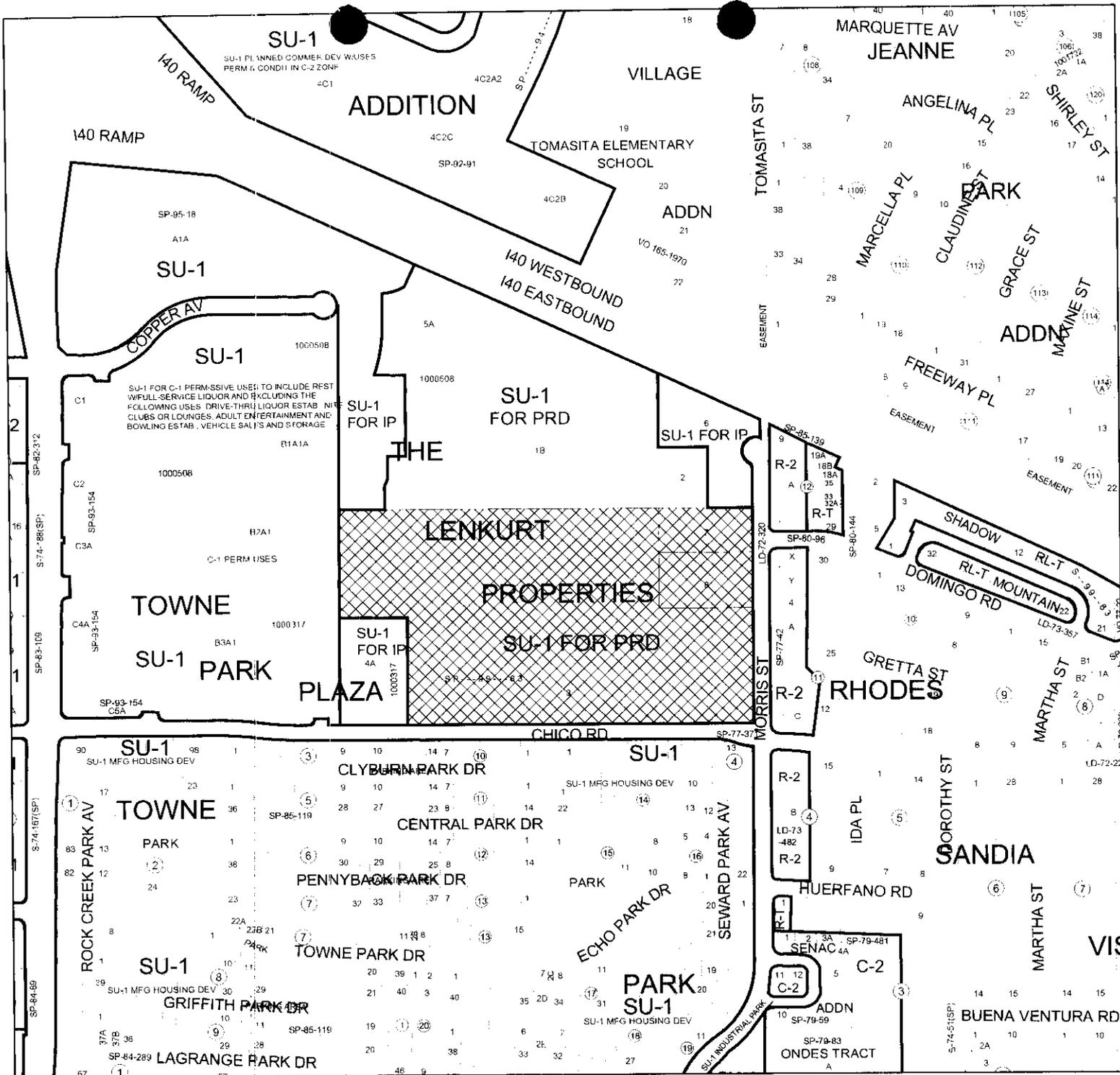
This two-part proposal is for (1) a zone map amendment for a 1.02 acre portion (SU-1 for IP to SU-1 for PRD) and a 1.65 acre portion (SU-1 for PRD, SU-1 for IP) of the subject site, and (2) an amendment to the existing site development plan for subdivision for the Presidio, a residential development on the southern Lenkurt site.

The proposal will enable a land trade to take place between the owners of the southern and northern Lenkurt sites. The purpose is to improve access to the northern site and to improve buffering between residential uses on the southern site and future office/retail/industrial uses planned for the northern site.

The applicant has justified the zone map amendment request and has demonstrated overall compliance with R270-1980. There is no known neighborhood or other opposition. Staff recommends approval of both requests subject to conditions.



City Departments and other interested agencies reviewed this application from 10/09/06 to 10/20/06. Agency comments used in the preparation of this report begin on page 17.



ZONING MAP

Note: Grey shading indicates County.



1 inch equals 500 feet

Project Number:

1000572

Hearing Date:

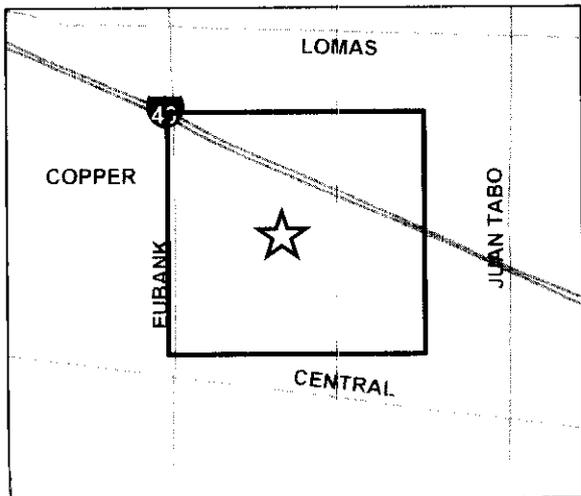
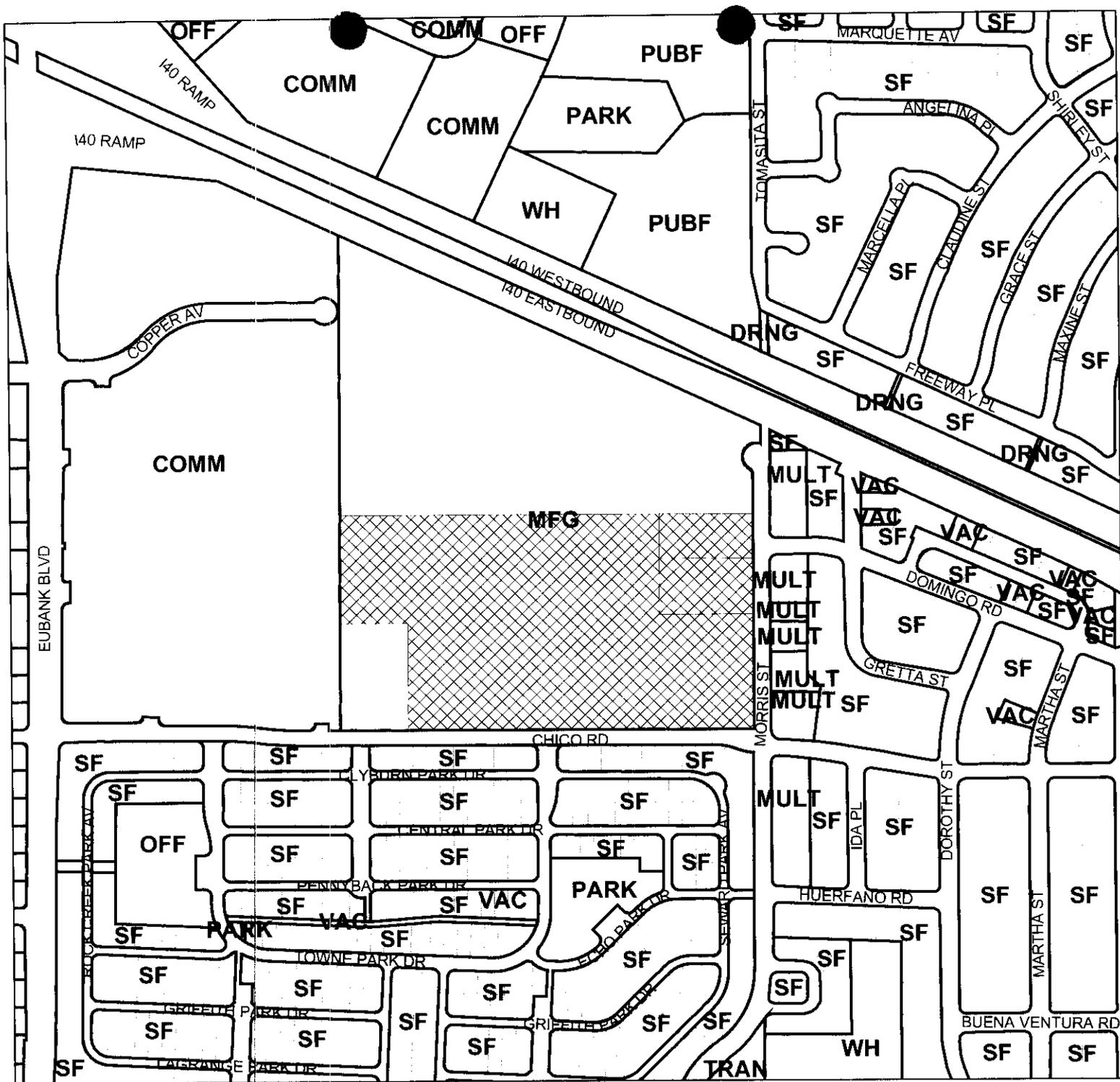
11/16/2006

Zone Map Page:

K-21

Additional Case Numbers:

06EPC-01446 06EPC-01447



LAND USE MAP

Note: Grey shading indicates County.

KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial - Retail
- DRNG Drainage
- MFG Manufacturing or Mining
- MULT Multi-Family or Group Home
- OFF Office
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



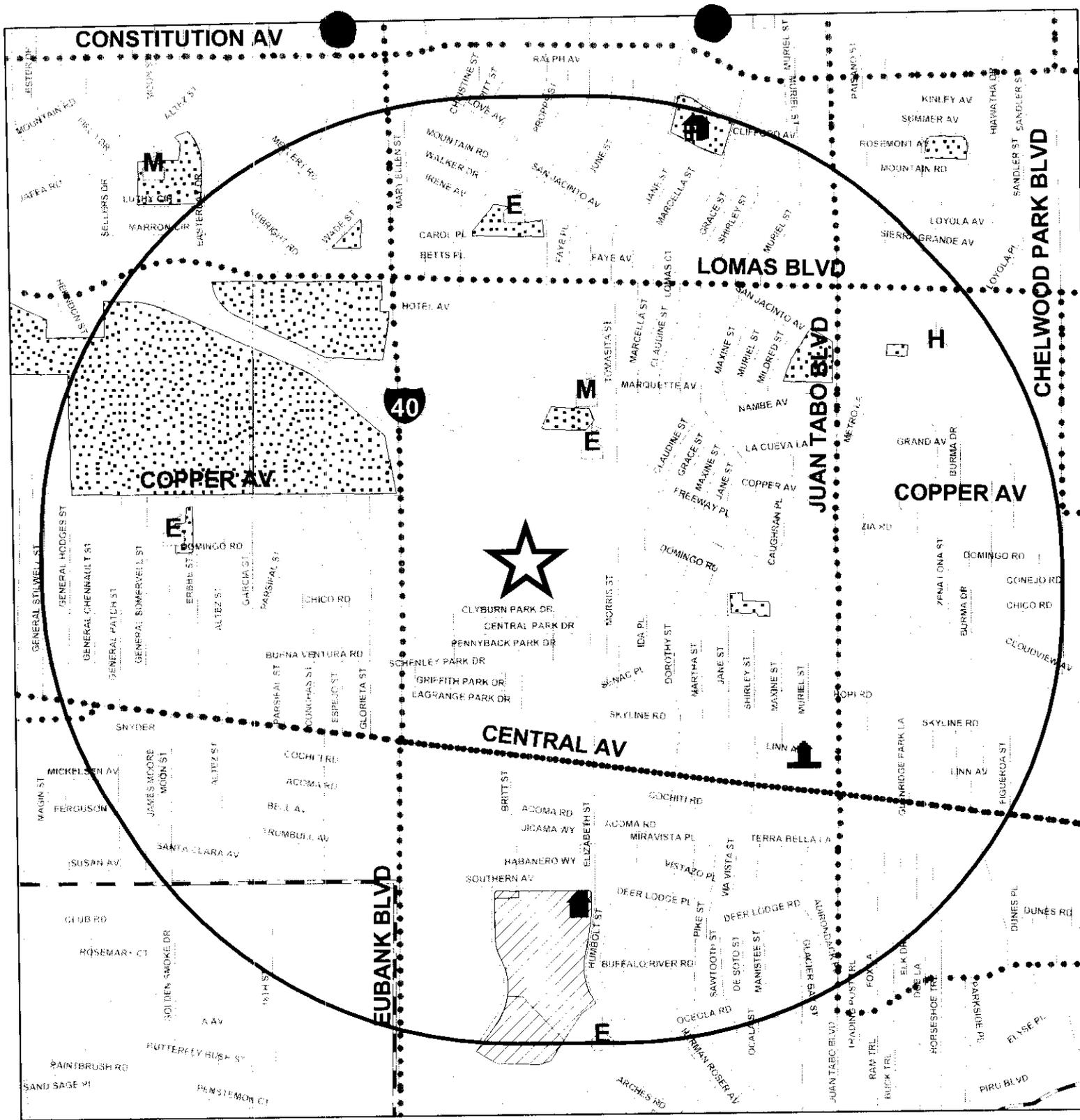
1 inch equals 500 feet

Project Number:
1000572

Hearing Date:
11/16/2006

Zone Map Page:
K-21

Additional Case Numbers:
06EPC-01446 06EPC-01447

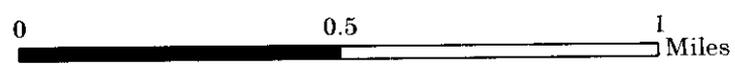


Public Facilities Map with One-Mile Site Buffer

- | | | | | | | | |
|--|----------------------|--|-------------|--|-----------------------|--|-----------------------------|
| | COMMUNITY CENTER | | FIRE | | APS Schools | | Developed County Park |
| | MULTI-SERVICE CENTER | | POLICE | | ABQ Ride Routes | | Undeveloped County Park |
| | SENIOR CENTER | | SHERIFF | | Developed City Park | | AGIS Jurisdiction |
| | LIBRARY | | SOLID WASTE | | Undeveloped City Park | | Landfill Buffer (1000 feet) |
| | MUSEUM | | | | | | Landfills designated by EHD |



Project Number: 1000572



AREA CHARACTERISTICS AND ZONING HISTORY

Surrounding zoning, plan designations and land uses:

	<i>Zoning</i>	<i>Comprehensive Plan Area; Applicable Rank II & III Plans</i>	<i>Land Use</i>
Site	SU-1 for PRD (Planned Residential Development)	Established Urban	Vacant
North	SU-1 for IP (Industrial Park)	Established Urban	Vacant, then Interstate 40
South	SU-1 for Manufactured Housing Development	Established Urban	Towne Park Subdivision
East	R-2, R-T	Established Urban	Morris Street, apartments and duplexes
West	SU-1 for C-1 permissive uses	Established Urban	Commercial (Towne Park Plaza shopping center)

Context & Background

The approximately 24 acre subject site (Lots 3, 7 and 8) consists of the southern portion of the "old Lenkurt site", which is the name often given to the approximately 43 acres located roughly at the southeast corner of Interstate 40 and Eubank Blvd NE. The subject site is bounded by the northern Lenkurt site (≈ 19 acres) to the north, Morris Street to the east, the Towne Park subdivision to the south, and a shopping center to the west. The subject site is not within any area plan or sector plan boundaries.

Last summer, a proposal for a zone map amendment and a site development plan for subdivision entered the EPC process. At its November 17, 2005 hearing, the EPC approved the zone map amendment from SU-1 for IP to SU-1 for PRD (05EPC-01114) for the 24 acre subject site. This zone map amendment request was not required to be heard at City Council because there was no applicable sector development plan.

The EPC deferred the site development plan for subdivision (05EPC-01116) for a large residential complex for 60 days. The EPC was concerned about the proposed site plan's scarcity of open space, the "garagescape" feel and the lack of access from Morris St. At its January 19, 2006 hearing, the EPC approved a revised site development plan for subdivision with design standards. The project, known as the Presidio, consists of approximately 256 dwelling units. 91 are townhomes and 165 (55 triplexes) are condominium units.

History

The subject site is part of a 180 acre tract that was zoned SU-1 for IP in 1970 (Z-69-109). A site plan for building permit was approved in 1970 for the GTE Lenkurt manufacturing plant. Parts of this large tract have been developed into the Towne Park Subdivision (Z-81-89), the Towne Park Shopping Center (Z-90-21) and a Home Base Store (Z-93-101) that is now a car dealership.

In October 1998, the EPC approved a site development plan for subdivision that created eight lots on the subject site (Z-98-114). This plan, which preserved the office/manufacturing building, included a 20-screen movie theater and six other pads for a hotel/restaurant, office and restaurants. At the same hearing, the EPC approved a site development plan for building permit for a Cinemark movie theater (Lot 3-approximately 22 acres). None of the uses have developed and the lots remain vacant. The 1998 site plan expired seven years later in 2005 pursuant to Zoning Code §14-16-3-11.

Current Request

The current proposal is for a zone map amendment and an amendment to the abovementioned site development plan for subdivision (05EPC-01116). The applicant (who owns the southern Lenkurt site) wishes to complete a land trade with the owner of the northern Lenkurt site (≈ 19 acres).

Zone map amendment: The applicant proposes the following: (1) change the zoning from SU-1 for IP to SU-1 for PRD for a 1.02 acre strip of land adjacent north to the subject site's northeastern corner (portions of Lots 1-B, 2 and 6), and (2) change the zoning from SU-1 for PRD to SU-1 for IP on a 1.65 acre strip of land along part of the subject site's western and northern boundaries (a portion of Lot 3). (see attachment-Land Trade Exhibit). The zone map amendments are needed to allow part of the northern Lenkurt site (southern portions of Lots 1-B, 2 and 6) to be used for residential purposes and to allow part of the subject site (along the western and northern boundaries) to be used for IP purposes.

Amendment to the site development plan for subdivision: The zone map amendments that will make the land trade possible will result in the need to reconfigure the existing site plan for subdivision (05EPC-01116) for the subject site (southern Lenkurt site). Please refer to the Site Plan for Subdivision section of this report for details.

Discussion

The reason for the request is because the applicant wishes to complete a land trade with the owner of the northern Lenkurt site. The property owners want to "swap" land to facilitate access to a forthcoming re-development project on the northern Lenkurt site, which has recently been purchased and is slated for a mixed-use retail/office/industrial development. The idea for the land trade came about because of poor access and the need to vacate several easements left over from the old Cinemark site development plan (Z-98-114) in order to make the access possible. The resulting reconfiguration of some residential units freed up some space to improve buffering between the residential and non-residential uses.

Access: Access to the northern Lenkurt site is relatively poor and is currently only from Copper Rd. The property owner feels that access from Chico Rd. would benefit the future development; creating a strip of land along the subject site's western boundary (and vacating the easements therein) would make it possible to access the northern Lenkurt site via the truck parking area behind the big-box retailer. The proposed zone change and amendment to the existing site plan for subdivision will create access from Chico Rd. and allow the traded land to be used in conjunction with the forthcoming IP development. This proposed access will enable trucks to get to the northern site.

The intention is to keep truck traffic and residential traffic separate; trucks will not be permitted to enter the subdivision. With the proposed access resulting from the zone change, trucks will have their own

access to the northern Lenkurt site. However, trucks will also have access to the site via the 40 ft. strip of land in between the northern and southern Lenkurt sites that will comprise the back of the future development on the northern site. This area is planned to be used for truck access and a loading dock. The details are unknown at this time because there is no site development plan for building permit for the northern Lenkurt site under consideration, though a proposal for development on the northern site will have to come through the EPC process due to its SU-1 zoning designation.

Connectivity: Staff is concerned that the proposed amended site plan does not show any connectivity between the southern and northern Lenkurt sites. The existing site plan shows a pedestrian gate at the end of Moraga Way and near the subject site's northwestern corner. These are no longer included. Staff suggests that the pedestrian gate connections be reinstated at Moraga Way and at the northern end of the alley between the westernmost condominium units.

Buffering: Removing the condominium units from the area on the subject site's western side will create additional space to buffer the remaining condominium units from the truck access area. The amended proposed landscaping plan shows trees (Honey Locust, Raywood Ash and Bosnian Pine) where the condominiums used to be. Zoning Code §14-16-3-10(E)(4)(b) requires that buffer landscaping between a non-residential and a residential zone consist primarily of trees. This will be a linear open space area with turf, a path and benches.

Buffering is also provided by a 40 ft. strip of land running across a northern portion of the subject site. This will serve as a truck access and loading dock area, as well as a buffer between the residential uses from the forthcoming retail/office/industrial development on the northern Lenkurt site.

Staff questioned that the relocated units near the subject site's northeastern corner appear to not have a buffer to the north. The applicant explained that the southeastern area of the adjacent site is intended to be used for remote parking. Though a buffer is not included on the proposed amended site plan for subdivision, it will be necessary to ensure buffering for these residential uses when the site plan for the forthcoming development enters the EPC process (which it will due to SU-1 zoning).

Public Facilities/Community Services

Transit: ABQ Ride Route #2, Eubank, passes the subject site about 0.35 miles to the west. This all-day route operates seven days a week. Route #66, Central, is also an all-day route that operates from early morning until night, seven days a week, with slightly fewer hours on Sunday. Albuquerque's rapid transit service, Rapid Ride (Route #766), is another bus option along Central Avenue, which is an Enhanced Transit Corridor. The 766's regular hours are Monday-Saturday, from morning to evening.

Police: The Southeast Area Command Substation, at 800 Louisiana Blvd. SE, provides police coverage.

Fire: Fire Station #12, just northwest of Central Avenue and Juan Tabo Blvd., provides fire coverage.

ZONING

Existing Zoning: The ≈ 24 acre subject site (the southern Lenkurt site) is zoned SU-1 for PRD (Planned Residential Development). Recall that the zoning was changed in November 2005 from SU-1 for IP

(Industrial Park). The ≈ 19 acre northern Lenkurt site remained zoned SU-1 for IP and is planned to be developed under that zoning.

The IP zone provides for a wide range of industrial and commercial uses. The SU-1 zone provides suitable sites for uses that are special, and for which the appropriateness of the use to a specific location depends upon the character of the site design. The SU-1 zone includes PRDs as a special use and contains requirements for PRDs. The SU-1 designation requires that the EPC review a site development plan.

Proposed Zoning: The applicant proposes the following zoning:

Name	Size	Location	Current Zoning	Proposed Zoning
Parcel A	1.02 ac.	northern Lenkurt site (not the subject site)-- adjacent north of the subject site's northeastern corner	SU-1 for IP	SU-1 for PRD
Parcel B	1.65 ac.	southern Lenkurt site (the subject site)-- along the subject site's western and northern boundaries	SU-1 for PRD	SU-1 for IP

APPLICABLE PLANS AND POLICIES and ANALYSIS -CONFORMANCE TO ADOPTED PLANS AND POLICIES

The subject site is located in an area that the Albuquerque/Bernalillo County Comprehensive Plan has designated as Established Urban. The Comprehensive Plan goal of Developing and Established Urban Areas is "to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing built environment." Applicable policies include:

Land Use Policies-

Policy II.B.5a: The Developing Urban and Established Urban areas as shown by the Plan map shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

The proposal will contribute to creating a full range of urban land uses in the area by allowing the land trade to occur. The land trade will improve access to the northern Lenkurt site and will facilitate the development of the future, planned mixed-use project that will include retail, office and industrial uses. The proposal furthers Policy II.B.5a-full range of urban land uses.

Policy II.B.5c: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The subject site is in an area that has been mostly all developed, except for the northern Lenkurt site which is planned for development sometime in the future. Existing urban facilities and

services can accommodate new growth on both Lenkurt sites and can use these services without disrupting the integrity of existing neighborhoods. Recall that the land trade is intended to provide another truck access to the northern Lenkurt site and separate truck and residential traffic. Staff feels that the separation will be partial since residents depend upon Chico Rd. to get to Eubank Blvd. and that truck traffic on this portion of Chico Rd. may disrupt the neighborhood. The proposal partially furthers Policy II.B.5e-programmed facilities/neighborhood integrity.

Community Resource Management-Economic Development

Goal: To achieve steady and diversified economic development balanced with other important social, cultural and environmental goals.

The access created by the land trade will facilitate development of the northern Lenkurt site, which will include a mix of retail, office and industrial uses that will constitute diversified economic development for the area. The fact that non-residential uses are planned will help balance the abundance of residential development in the sites' immediate vicinity. The proposal furthers the Economic Development Goal.

I. ZONE MAP AMENDMENT—Resolution 270-1980

Requirements

Resolution 270-1980 outlines policies and requirements for deciding zone map change applications pursuant to the Comprehensive City Zoning Code. The applicant must provide sound justification for the proposed change and demonstrate that several tests have been met. *The burden is on the applicant to show why a change should be made, not on the City to show why a change should not be made.* A justification letter was included with the submittal.

The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: (1) there was an error when the existing zone map pattern was created; or (2) changed neighborhood or community conditions justify the change; or (3) a different land use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan.

Justification

Applicant: The applicant believes that the proposed zone change is warranted because a different zoning category is more beneficial for the community than the current zoning for the following reasons: the land trade will maintain access between Chico Rd. and the property to the north, the uses proposed for the land that will be traded are more compatible with the proposed use of the adjacent properties, and the traded land will not negatively affect neighboring properties because they will only provide access and buffering (p. 3-4 of applicant's letter).

The applicant also states that changed neighborhood conditions justify the proposed zone change. EPC approval of a zone map amendment (05EPC-01114) and a site plan for subdivision (05EPC-01116) for

the subject site constitutes a changed neighborhood condition. Also, the forthcoming development of the northern Lenkurt site with retail, office and industrial uses provides the basis for a changed neighborhood condition (p. 6 of applicant's letter).

- The applicant believes that the proposed zone change conforms to R270-1980 as follows:
- A. The zone map amendment is consistent with City policy and will not negatively impact surrounding properties.
 - B. The zone map amendment and site plan amendment are both very minor considering the changes in the area.
 - C. The proposed zone change is not in significant conflict with exiting plans and conforms to all City of Albuquerque plans and policies. Applicable policies are Policy II.B.5e-programmed facilities/neighborhood integrity and Policy II.B.5l-design innovation/area appropriateness. The Established Urban Goal, Centers & Corridors and the Planned Growth Strategy (PGS) also apply.
 - D. The zone map amendment and site plan for this property are a changed neighborhood condition, as is the development of the property to the north.
 - E. Any new significant development on the subject site will be site pan controlled, which will ensure that the development will respect the existing neighborhood.
 - F. The proposed zone change does not require any additional capital expenditure by the City.
 - G. The proposed zone change is warranted without regard to economic considerations.
 - H. Higher density and mixed-use development allowed by this zoning request would provide homes and conveniences within walking distance of an Enhanced Transit Corridor.
 - I. There are a variety of residential and non-residential uses in the area and this zone change would not function as a spot zone.
 - J. There are a variety of residential and non-residential uses in the area and this zone change would not function as a spot (should have used strip) zone.
- The applicant concludes that the proposed zone change is justified for the following five reasons:
- 1. This zone change request is more beneficial for the community (than leaving the zoning as is).
 - 2. Changed neighborhood conditions justify the zone change request.
 - 3. This zone change does not conflict with existing plans and conforms to City plans and policies.
 - 4. Any new significant development will be site plan controlled.

5. The zone map amendment will allow the land trade to occur, which will facilitate development of the northern Lenkurt site.

Staff Analysis:

With respect to the applicant's justification and R270-1980 (A-J above), Staff finds the following (see applicant's letter p. 4-8):

- A. Staff agrees that the zone map amendment is generally consistent with City policies, but points out that the applicant is responsible for explaining which policies and why. If a zone change request is consistent with City policy (ie-the Comprehensive Plan), it will not compromise the City's health, safety, morals and general welfare. The applicant does not make this connection.**
- B. Staff understands that the total residential units remain the same and that the land trade parcels are almost equal in size. Regardless of how "minor" a zone map amendment is, the applicant still must satisfy the requirements of R270-1980. Section B is about stability of land use, which the applicant did not adequately address (ie-does the zone change and land trade contribute to land use stability in the area? If so, how?).**
- C. The applicant cites the Established Urban Area Goal and two land use policies: Policy II.B.5.e-urban facilities/neighborhood integrity and Policy II.B.5.1-design quality/new development. Staff thinks that Policy II.B.5.1, which is about design, does not apply to the current proposal. The applicant should have explained that few policies directly instead of going beyond the proposal's scope and linking it to Centers and Corridors. The Planned Growth Strategy (PGS) citation about infrastructure is acceptable. However, the Economic development Goal should have been included, because the access created by the land trade will facilitate development of the northern Lenkurt site.**
- D. Staff follows the applicant's reasoning that the proposed zoning would be more beneficial to the community and that conditions have changed. Adequate access made possible by the land trade will facilitate redevelopment of the northern Lenkurt site, which will benefit the community.**
- E. The applicant did not discuss if any permissive uses could be harmful to the neighborhood and/or future residents. It is a given that development on both Lenkurt sites is site plan controlled.**
- F. The subject site is served by existing infrastructure. This request would not result in additional City capital expenditures.**
- G. Staff notes the applicant's statement that the proposed zone change is warranted without regard to economic considerations, though the applicant should have acknowledged that economic benefit is the reason behind the request.**

-
- H. The applicant did not answer Section H. Staff does not agree that "This zoning request would provide homes and conveniences within walking distance of an Enhanced Transit Corridor." Previously approved requests accomplish this. The applicant should have stated that location on a major street is not the only justification used for the current request.
- I. Staff agrees that this zone change would not function as a spot zone, but disagrees with the applicant's reasoning. The applicant states that the proposed zoning would not be a spot zone because "there are a variety of residential and non-residential uses in the area." Actually, rezoning a 1.02 acre and 1.65 acre portion of tracts to match zoning on the surrounding tracts is why the request is not a spot zone.
- J. Staff agrees that this request will not result in strip zoning.

Staff analyzed the applicant's reasoning and notes the following:

- Staff finds that the applicant has done an acceptable (though limited) job of citing relevant policies in support of the current request, which is acceptable given the request's scope. The applicant could have also used Economic development Goal and policies, which are relevant because the zone change will allow the land trade to take place, which will facilitate economic development.
- Staff agrees with the applicant's principal justification that a different zoning category is more beneficial for the community than the current zoning. This is true because the proposed zoning will allow the land trade to take place and development of the northern Lenkurt site will benefit the larger community. The approved residential development of the southern Lenkurt site constitutes a changed condition, as does the forthcoming development of the northern Lenkurt site with retail, office and industrial uses.
- The applicant should have clearly stated that economic considerations are a factor in this zone change request. Without the zone change, the land trade cannot happen, and without the land trade, the northern site cannot develop with the access it needs. The applicant should have explained that economic considerations are a factor in this request. Staff believes that economic considerations are a major, but not determining, factor. The other reason for the zone change is to provide buffering between the future uses.

Staff Conclusion:

Staff finds that overall the zone change request complies with R270-1980. Staff concludes that the zone change request is generally supportable and that the applicant has done an acceptable job of justifying it. For these reasons, Staff recommends approval of the zone change request.

II. SITE DEVELOPMENT PLAN FOR SUBDIVISION

The second part of this proposal is an amendment to a site development plan for subdivision (05EPC-01116) for the subject site (the southern Lenkurt site). At its January 2006 hearing, the EPC approved this site plan for subdivision with design standards for the Presidio-a residential development consisting of approximately 256 dwelling units.

The associated proposed zone map amendments (06EPC-01446) will result in the need to amend the site plan for subdivision (05EPC-01116) so that the subject site's boundaries correspond to the land that the property owners have agreed to trade. Basically, the amendment is a reconfiguration of the existing site plan/subject site's boundaries to accommodate the land trade: the western and northern boundaries of the subject site will be shifted east and south, and a portion of the subject site's northeastern boundary will be shifted north.

Reconfiguring the subject site's boundaries will enable the following to occur: (1) Four of the five triplexes near the subject site's northwestern corner will be relocated on the 1.02 acres near the subject site's new proposed northeastern boundary, (2) One townhome (2 units) will be added to that area in lieu of the fifth triplex, (3) Moraga Way NE, which connects the southern and northern Lenkurt sites, is proposed to be relocated from the center of the subject site to the new proposed northeastern area, and (4) The townhomes just east of Moraga Way NE are proposed to be re-sited in response to the road's new location. The total unit count will remain the same.

Concerns of Reviewing Agencies/Pre-Hearing Discussion

City departments and other interested agencies reviewed this application from 10/09/06 to 10/20/06. The applicant was not present for the pre-hearing discussion meeting on October 25, 2006.

The Solid Waste Management Dept., Refuse Division has commented that the superintendent is requesting a compactor for entire complex. The City Forrester would like to adjust the street trees along Chico Road and the Police Dept. mentions that lighting.

Neighborhood Concerns

The affected recognized neighborhood organization is the Towne Park Neighborhood Association (TPNA), which the applicant notified. The Towne Park Homeowners Association (TPHOA) and the South Los Altos NA (SLANA) were included in the previous zone change and site plan requests (Nov. 2005 and Jan. 2006), but apparently are no longer recognized. Though facilitated meetings were held for the previous requests, none was recommended for the current request and none was held. Staff has not received any written comments as of this writing (November 9, 2006).

Conclusions

This two-part proposal is for a zone map amendment and an amendment to the site development plan for subdivision (05EPC-01116) for the Presidio, an approx. 256 unit residential development on the southern Lenkurt site. The applicant wishes to complete a land trade with the owner of the northern Lenkurt site in order to facilitate development on the northern site. The land trade will result in

improved access to the northern site and provide better buffering between the residential and future office/retail/industrial uses.

The applicant has justified the zone map amendment request, based on benefit to the community and changed neighborhood conditions, and has demonstrated overall compliance with R270-1980. The zone map amendment will result in the need to amend the existing site plan for subdivision so that the subject site's boundaries correspond to the land that the property owners have agreed to trade. The triplexes near the subject site's northwestern corner will be relocated, a townhome will be added to that area, Moraga Way NE will be relocated and the townhomes near it will be re-sited. The total unit count will remain the same.

Staff recommends approval of both requests subject to conditions.

FINDINGS - 06EPC 01446, November 16, 2006-Zone Map Amendment

1. This is a two-part zone map amendment request: (1) from SU-1 for IP to SU-1 for PRD for a 1.02 acre strip of land (portions of Lots 1-B, 2 and 6) adjacent north of the subject site, and (2) from SU-1 for PRD to SU-1 for IP for a 1.65 acre strip of land (a portion of Lot 3) on the subject site, located near the southeast corner of Eubank Boulevard NE and Interstate 40.
2. The zone map amendments are needed to allow part of the northern Lenkurt site (portions of Lots 1-B, 2 and 6) to be used for residential purposes and to allow part of the subject site (along the western and northern boundaries of Lot 3) to be used for IP purposes. This request is accompanied by an amendment to a site development plan for subdivision (06EPC 01447).
3. The zone map amendments will facilitate a land trade between the applicant (who owns the southern Lenkurt site, \approx 24 acres) and the owner of the northern Lenkurt site (\approx 19 acres). The purpose of the land trade is to improve access to the northern Lenkurt site from Chico Rd. and to provide buffering between the future retail/office/industrial uses on the northern site and the already approved residential uses (Project #1000572, 05EPC-01116) on the southern site.
4. The subject site does not lie within the boundaries of any area or sector plans.
5. The proposal *further*s and *partially further*s the intent of relevant Comprehensive Plan policies. The proposal will contribute to a full range of urban land uses by allowing the land trade to occur, which will facilitate development of office and industrial uses (further>s Policy II.B.5a). The proposal will also facilitate use of existing urban services, though truck traffic on a portion of Chico Rd. may disrupt neighborhood integrity (partially further>s Policy II.B.5e).
6. The proposal *further*s the intent of the Comprehensive Plan's Economic Development Goal because the land trade will facilitate future, diversified economic development that will balance the abundant residential development in the sites' vicinity.
7. Pursuant to Resolution 270-1980, the applicant must provide sound justification for a zone change. Principal justification is that the proposed change is more beneficial for the community and that neighborhood conditions have changed. The applicant has adequately addressed Comprehensive Plan policies.
8. Overall, the applicant has adequately justified the zone change pursuant to Resolution 270-1980 as follows:

-
- A. Section A: The proposal is generally consistent with City policies in the Comprehensive Plan, including Policy II.B.5a-full range of urban land uses, Policy II.B.5e-programmed facilities/neighborhood integrity, and the Economic Development Goal.
 - B. Section B: The proposal will promote land use stability and the applicant has provided an adequate justification for the change.
 - C. Section C: The applicant cites one Comprehensive Plan Goal, two policies and the Planned Growth Strategy, and has created a nexus between each and the proposal.
 - D. Section D: Principal justification is that the proposed zoning would be more beneficial to the community and that community conditions have changed.
 - E. Section E: The proposed zoning will still be SU-1 and would not allow a use harmful to adjacent property, the neighborhood or the community.
 - F. Section F: The proposal will not result in unprogrammed City capital expenditures. Infrastructure is already in place.
 - G. Section G: Economic considerations are a major factor in this zone change request, but are not the determining factor. The other reason for the zone change is to provide buffering between the future uses.
 - H. Section H: Location on an arterial street is not a basis for this request.
 - I. Section I: The proposed zoning will not create a "spot zone". SU-1 zoning is typically not considered a "spot" zone.
 - J. Section J: This zone change will not result in strip zoning.
9. Economic considerations play a large part in this zone change request, though they are not the determining factor. Without the zone change, the land trade cannot happen, and without the land trade, the northern site cannot develop with the access it needs.
10. There is no known neighborhood or other opposition.

RECOMMENDATION - 06EPC 01446, November 16, 2006-Zone Map Amendment

APPROVAL of 06EPC 01446, a Zone Map Amendment from: (1) SU-1 for IP to SU-1 for PRD for a 1.02 acre portion of Lots 1-B, 2 and 6, and (2) SU-1 for PRD to SU-1 for IP for a 1.65 acre

portion of Lot 3, located southeast of Eubank Boulevard NE and Interstate 40, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL - 06EPC 01446, November 16, 2006- Zone Map Amendment

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant must meet with the staff planner to ensure that conditions of approval are thoroughly addressed.
3. The southern and northern Lenkurt sites shall be replatted so that the property lines correspond to the results of the land trade.

FINDINGS - 06EPC 01447, November 16, 2006- Amendment to a Site Development Plan for Subdivision

1. This is a request for an amendment to a site development plan for subdivision for portions of Lots 1B, 2, 3, 6, 7 and 8, Lenkurt Properties, an approximately 24 acre site located southeast of Eubank Blvd. and Interstate 40. This request is accompanied by a zone map amendment request (06EPC 01446).
2. The applicant proposes to reconfigure the subject site's boundaries to accommodate a land trade that the property owners have agreed to: the western and northern boundaries of the subject site will be shifted east and south, and a portion of the subject site's northeastern boundary will be shifted north.
3. The subject site does not lie within the boundaries of any area or sector plans.
4. The proposal *further*s and *partially further*s the intent of relevant Comprehensive Plan policies. The proposal will contribute to creating a full range of urban land uses by allowing the land trade to occur, which will facilitate development of office and industrial uses (further s Policy II.B.5a). The proposal will also facilitate use of existing urban services, though truck traffic on a portion of Chico Rd. may disrupt neighborhood integrity (partially further s Policy II.B.5e).

5. The proposal *further*s the intent of the Comprehensive Plan's Economic Development Goal because the land trade will facilitate future, diversified economic development that will balance the abundant residential development in the sites' vicinity.

6. Reconfiguring the subject site's boundaries will facilitate the following: (1) Four of the five triplexes near the northwestern corner will be relocated near the new northeastern boundary, (2) A townhome will be added to that area in lieu of the fifth triplex, (3) Moraga Way will be relocated to the new northeastern area, and (4) The townhomes just east of Moraga Way will be re-sited. The total unit count will remain the same.

7. There is no known neighborhood or other opposition.

RECOMMENDATION - 06EPC 01447, November 16, 2006

APPROVAL of 06EPC 01447, a request for an amendment to a site development plan for subdivision, for portions of Lots 1-B, 2, 3, 6, 7 and 8, Lenkurt Properties, zoned SU-1 for PRD and SU-1 for IP, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL - 06EPC 01447, November 16, 2006- Amendment to a Site Development Plan for Subdivision

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant must meet with the staff planner to ensure that conditions of approval are thoroughly addressed.
3. The southern and northern Lenkurt sites shall be replatted so that the property lines correspond to the results of the land trade.
4. A pedestrian gate shall be provided at Moraga Way NE and at the northern end of the alley between the westernmost condominium units.

5. The note on Sheet 1 stating "Truck access, loading dock, and landscaping" shall be replaced with the note "future landscape buffer" because truck access and circulation will be dealt with when a development proposal for the northern Lenkurt site comes through the EPC process.

6. The Solid Waste Management Department, Refuse Division, provided the following comment: "Disapproved, superintendent requesting 30 yard compactor for entire complex. Call for details, 761-8142." The applicant shall work with the SWMD to resolve this issue prior to submittal to DRB.

7. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:

Conditions of approval for the proposed Zone Map Amendment and Site Development Plan for Subdivision Amendment shall include:

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- d. Per Transportation Development Staff, truck access and circulation and the loading dock area will be reviewed with a development proposal for the northern Lenkurt site.
- e. Site plan shall comply and be designed per DPM Standards and/or as previously approved by the Traffic Engineer.

Catalina Lehner

Catalina Lehner, AICP
Senior Planner

cc: Centex Homes, Attn: Bob Prewitt, 7601 Jefferson St. NE, #320, Albuquerque, NM 87109
Consensus Planning, Inc., Attn: Jim Strozier, 302 Eighth St. NW, Albuquerque, NM 87102
L. Scott Varner, Towne Park NA, 10824 Pennyback NE, Albuquerque, NM 87123
Jeanne Hamrick, Towne Park NA, 10500 Schenley NE, Albuquerque, NM 87123

AGENCY COMMENTS

➤ **The following agencies did not review or comment on Project #1000572:**

City of Albuquerque

Environmental Health, Air Quality Division
Environmental Health, Env. Services Division
Fire Department, Planning
Parks & Recreation, Open Space Division
Transit Department

Other

Bernalillo County
Middle Rio Grande Conservancy Dist. (MRGCD)
Mid-Region Council of Governments (MRCOG)

➤ **The following City of Albuquerque Departments reviewed and commented on Project #1000572:**

Planning, Zoning Code Services

Reviewed, no comment.

Planning, Office of Neighborhood Coordination

Towne Park NA (R)

Planning, Advance Planning & Urban Design Division

No adverse comment.

Environmental Health Department, City Forrester

- Is it too late to adjust street trees along Chico? They have a variable sidewalk along Morris... why not on Chico?
- I couldn't find a tree cutout detail for trees planted in front of homes
 - Large tree wells mean healthier trees – Long and narrow is just as good as square

Parks & Recreation, Planning & Design

Reviewed, no objection. Request does not affect our facilities.

Police Department/Planning

Proposed landscaping should be low level when mature and not restrict visibility to common areas, walkways, or residents.

Proposed lighting should illuminate all walkways, vehicle & pedestrian entrance/exit points, parking areas, play areas, lighting should not conflict with landscaping.

Solid Waste Management Dept., Refuse Division

Disapproved. superintendent requesting 30 yard compactor for entire complex. Call for details, 761-8142.

City of Albuquerque Public Works Department

Transportation Development (City Engineer/Planning Department):

- All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- A Traffic Impact Study (TIS) has been submitted and reviewed by Transportation Staff.
- Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- The Traffic Impact Study is available for review by any interested party, in the office of the Traffic Engineer.
- Site plan shall comply and be designed per DPM Standards and/or as previously approved by the Traffic Engineer.

Hydrology Development (City Engineer/Planning Department):

- The Hydrology Section has no objection to the zone map amendment request.

Transportation Planning (Department of Municipal Development):

- Reviewed, and no comments regarding on-street bikeways, off-street trails or roadway system facilities.

Traffic Engineering Operations (Department of Municipal Development):

- No comments received.

Street Maintenance (Department of Municipal Development):

- No comments received.

Utility Development (Water Authority):

- No comments received.

Water Resources, Water Utilities and Wastewater Utilities (Water Authority):

- No comments received.

New Mexico Department of Transportation (NMDOT):

- No comments received.

RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT,
WATER AUTHORITY and NMDOT:

Conditions of approval for the proposed Zone Map Amendment and Site Development Plan for Subdivision Amendment shall include:

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- d. Per Transportation Development Staff, truck access and circulation and the loading dock area will be reviewed with a development proposal for the northern Lenkurt site.
- e. Site plan shall comply and be designed per DPM Standards and/or as previously approved by the Traffic Engineer.

➤ **The following agencies reviewed Project #1000572:**

Abq. Metropolitan Arroyo Flood Control Authority (AMAFCA)
Reviewed, no comment.

Albuquerque Public Schools (APS)

In order to facilitate a land swap, the developer is requesting a zone change for one parcel from SU-1 IP to SU-1 for PRD and another parcel from SU-1 for PRD to SU-1 for IP.

As stated in previous comments, **The Presidio** will consist of 256 dwelling units (townhouses and condominiums). **The development will impact Tomasita Elementary School, Kennedy Middle School, and Manzano High School.** The proposed development will likely generate more elementary school students than Tomasita Elementary can handle. Kennedy Middle School and Manzano High School should be able to absorb secondary level students from the proposed development.

School	2006-07 Projections	2006-07 Capacity	Space Available
Tomasita	453	517	64
Kennedy	538	651	113
Manzano	2,032	2,044	12

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
 - Construct new schools or additions
 - Add portables
 - Use of non-classroom spaces for temporary classrooms
 - Lease facilities
 - Use other public facilities
- Improve facility efficiency (short term solution)
 - Schedule Changes
 - Double sessions
 - Multi-track year-round
 - Other
 - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

Public Service Company of New Mexico

No comment based upon the information provided to date. It is the applicant's obligation to determine if utility easements cross the property and to abide by any conditions or terms of those easements.

APPENDIX B

ENACTMENT 270-1980

ADOPTING POLICIES FOR ZONE MAP CHANGE APPLICATIONS AND APPEALS OF ENVIRONMENTAL PLANNING COMMISSION DECISIONS; SUPERSEDING CITY COUNCIL RESOLUTIONS 217-1975 AND 182-1978 RELATING TO ZONE CHANGE APPLICATIONS AND APPEALS.

WHEREAS, the usefulness of the Comprehensive City Zoning Code in implementing the City's Comprehensive Plan and promoting health, safety, morals, and general welfare is enhanced by a reasonable flexibility in order to deal reasonably with changes in the physical, economic, and sociological aspects of the city; and

WHEREAS, certain general policies for consideration of zone map changes and other zoning regulation changes should be recognized as determinative.

BE IT RESOLVED BY THE COUNCIL, THE GOVERNING BODY OF THE CITY OF ALBUQUERQUE:

Section 1. The following policies for deciding zone map change applications pursuant to the Comprehensive City Zoning Code are hereby adopted:

A. A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the City.

B. Stability of land use and zoning is desirable; therefore, the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the City to show why the change should not be made.

C. A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other City master plans and amendments thereto including privately developed area plans which have been adopted by the City.

D. The applicant must demonstrate that the existing zoning is inappropriate because;

(1) there was an error when the existing zone map pattern was created, or

(2) changed neighborhood or community conditions justify the change, or

(3) a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan, even though (1) or (2) above do not apply.

E. A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood or the community.

F. A proposed zone change which, to be utilized through land development, requires major and un-programmed capital expenditures by the City may be;

(1) denied due to lack of capital funds, or

(2) granted with the implicit understanding that the City is not bound to provide the capital improvements on any special schedule.

G. The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone.

H. Location on a collector or major street is not in itself sufficient justification of apartment, office, or commercial zoning.

I. A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when;

(1) the change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan, or

(2) the area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises make the site unsuitable for the uses allowed in any adjacent zone.

J. A zone change request which would give a zone different from surrounding zoning to a strip of land along a street is generally called "strip zoning." Strip commercial zoning will be approved only where;

(1) the change will clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area development plan, and

(2) the area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.

Section 2. City Council Resolutions 217-1975 and 182-1978 adopting policies for zone map change applications and appeals of (the) Environmental Planning Commission are hereby superseded.



NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a **Public Hearing on Thursday, November 16, 2006, 8:30 a.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following item: [Note: these items are not in the order they will be heard]

Project # 1000572

06EPC-01446 Zone Map Amendment
06EPC-01447 Amendment Site Plan for
Subdivision

CONSENSUS PLANNING agents for CENTEX HOMES request the above action for all or a portion of Lots 1B, 2, 3, 6, 7 and 8, **Plat of Lenkurt Properties**, a zone map amendment from SU-1 for PRD and SU-1 for IP to SU-1 for IP and SU-1 for PRD, located on CHICO ROAD, between MORRIS ST. and I-40, containing approximately 24 acres. (K-21) Catalina Lehner, Staff Planner

Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00 and between 2:00 and 4:00 p.m., Monday through Friday, or you may call April Candelaria at 924-3886. **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at the public hearing should contact April Candelaria 924-3886.

Jeff Jesionowski, Chairman
Environmental Planning Commission

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL NOVEMBER 1, 2006.

APPROVED

Carmen Marrone, Senior Planner
Planning Department



NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a **Study Session on Thursday, November 9, 2006, 3:00 p.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following:

Distribution & Review – Current Land Use Matters for the November 16, 2006 Public Hearing, which include the projects listed below.

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a **Public Hearing on Thursday, November 16, 2006, 8:30 a.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following item: [Note: these items are not in the order they will be heard]

Project # 1002819

06EPC-00464 EPC Site Development Plan-Building Permit

CONSENSUS PLANNING, INC., agent for DIAMOND MESA, requests the above action for all or a portion of Tract E-6-A-1, **Albuquerque South, U-3**, zoned SU-1 for R-2/RT, located on the south side of GIBSON BLVD., SW, between 98TH ST., SW and the AMOLE ARROYO DRAINAGE R-O-W, containing approximately 30 acres. (N-9) Carmen Marrone, Staff Planner

Project # 1005183

06EPC-01432 Zone Map Amendment

JOHN L. MARTINEZ, MARLENE RANDALL & VERONICA request the above action for all or a portion of Lot 10A, **Plat of Zapf-Van Addition**, a zone map amendment from R-1 to SU-1 for O-1, located on MONTANO RD. NW, between 4TH ST. NW and GUADALUPE TRAIL NW, containing approximately 1 acre. (F-14) Petra Morris, Staff Planner

Project # 1005185

06EPC-01435 Zone Map Amendment
06EPC-01436 EPC Site Development Plan-Subdivision

CONSENSUS PLANNING agents for W INVESTMENTS, LLC request the above actions for all or a portion of Tract(s) 2-A-1, **Land of Edmund Rady**, a zone map amendment from C-2 to SU-1 for PRD, located on MONTGOMERY BLVD. NE, between TRAMWAY NE and SHILOH NE, containing approximately 3 acres. (F-22) Petra Morris, Staff Planner

Project # 1005186

06EPC-01437 EPC Site Development Plan-Building Permit
06EPC-01438 Zone Map Amendment

CONSENSUS PLANNING agents for CIELO AT SILVER AVENUE request the above actions for all or a portion of Lots 1-15 & 11-34, **Valley View Addition**, a zone map amendment from C-2 to SU-1 for Mixed Use, located on SILVER AVE. SE, between JEFFERSON ST. SE and MADISON ST. SE, containing approximately 3 acres. (K-17) Stephanie Shumsky, Staff Planner

Project # 1005187

06EPC-01439 EPC Site Development Plan-Building Permit
06EPC-01440 Zone Map Amendment

CONSENSUS PLANNING agents for CIELO AT COPPER AVENUE request the above actions for all or a portion of Lots 1-13 & 18-36, **Valley View Addition**, a zone map amendment from C-1/C-2 to SU-1 for Mixed Use, located on CENTRAL AVE NE, between ADAMS ST. NE and JEFFERSON ST. NE, containing approximately 3 acres. (K-17) Stephanie Shumsky, Staff Planner

Project # 1004801

06EPC-01441 EPC Site Development Plan-Subdivision
06EPC-01443 Zone Map Amendment

TIERRA WEST LLC agents for FRATERNAL ORDER OF POLICE LODGE 1 request the above actions for all or a portion of Tracts 1 & 2, **Fraternal Order of Police Addition**, a zone map amendment from SU-1 for Boys Club & IP to IP, located on JEFFERSON ST. NE, between BEAR CANYON ARROYO and OSUNA RD. NE, containing approximately 10 acres. (E-17) Stephanie Shumsky, Staff Planner

Project # 1005189

06EPC-01442 EPC Site Development Plan-Building Permit

GARRETT SMITH LTD. agents for LITTLE BROTHERS OF THE GOOD SHEPHERD request the above action for all or a portion of Lots 1-10, **Perea Addition**, zoned SU-2/SU-1 for found house & Rel. act, located on MOUNTAIN RD. NW, between 14TH ST. NW and BROTHER MATHIAS PLACE, containing approximately 2 acres. (J-13) Maggie Gould, Staff Planner

Project # 1001726

06EPC-01445 Zone Map Amendment/Sector Plan Amendment-Los Duranes Sector Development Plan

HEWITT ENGINEERING & ENVIRONMENTAL CONSULTANTS agents for WAYNE LUJAN request the above action for all or a portion of Lot 1, **Lands of Baldonado, Town of Albuquerque**, a zone map amendment from RA-2 to R-1, located on BERNADINO RD. NW, between LILAC AVE. NW and RICE AVE. NW, containing approximately 1 acre. (H-13) Maggie Gould Staff Planner

Project # 1000572

06EPC-01446 Zone Map Amendment

CONSENSUS PLANNING agents for CENTEX HOMES request the above action for all or a portion of Lots 1B, 2, 3, 6, 7 and 8, **Plat of Lenkurt Properties**, a zone map amendment from SU-1 for PRD/SU-1 for IP to SU-1 for IP/SU-1 for PRD, located on CHICO ROAD, between MORRIS ST. and I-40, containing approximately 24 acres. (K-21) Catalina Lehner, Staff Planner

Project # 1002515
06EPC-01451 EPC Sector Development Plan

Text amendment to Downtown 2010 Sector Development
Plan to prohibit adult amusement establishments and adult
stores. Russell Brito, Staff Planner

Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00 and between 2:00 and 4:00 p.m., Monday through Friday, or you may call April Candelaria at 924-3886. **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at the public hearing should contact April Candelaria 924-3886.

Jeff Jesionowski, Chairman
Environmental Planning Commission

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL OCTOBER 25, 2006.

APPROVED



Carmen Marrone, Senior Planner
Planning Department

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: November 16, 2006
Zone Atlas Page: K-21
Notification Radius: 100 Ft.

Project# 1000572
App#06EPC-01446
EPC-01447

Cross Reference and Location: CHICO RD BETWEEN MORRIS ST AND I-40

Applicant: CENTREX HOMES
7601 JEFFERSON ST NE #320
ALBUQUERQUE, NM 87109

Agent: CONSENSUS PLANNING
302 EIGHTH STREET NW
ALBUQUERQUE, NM 87102

Special Instructions:

**Notice must be mailed from the
City's 20 day's prior to the meeting.**

Date Mailed: OCTOBER 25, 2006
Signature: ERIN TREMLIN

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action	<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)	<input checked="" type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input checked="" type="checkbox"/> for Subdivision Purposes	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A APPEAL / PROTEST of...
STORM DRAINAGE	<input type="checkbox"/> Decision by DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Centex Homes PHONE: 505-923-1826
 ADDRESS: 7601 Jefferson St NE #320 FAX: 505-761-9850
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: ldonoghue@centexhomes.com
 Proprietary interest in site: Contract Purchaser List all owners: T. Waterman
 AGENT (if any): Consensus Planning PHONE: 505-764-9801
 ADDRESS: 302 Eighth Street NW FAX: 505-842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

DESCRIPTION OF REQUEST: Zone Map Amendment and Amendment to Site Development Plan for PRD

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Portions of Lots 1B, 2, 3, 7, and 8 Block: Unit:
 Subdiv. / Addn. Plat of Lenkert Properties
 Current Zoning: SU-1 for PRD/SU-1 for IP Proposed zoning: SU-1 for IP/SU-1 for PRD
 Zone Atlas page(s): K-21 No. of existing lots: 4 No. of proposed lots: 4
 Total area of site (acres): 23.7 Density if applicable: dwellings per gross acre: 10.8 dwellings per net acre:
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. see attached page MRGCD Map No.
 LOCATION OF PROPERTY BY STREETS: On or Near: Chico Road
 Between: Morris Street and I-40

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB- AX, Z, V, S, etc.):
1000572
10007205-EPC-01116 1000572
 Check-off if project was previously reviewed by Sketch Plat/Plan? , or Pre-application Review Team? . Date of review: 08/23/06
 SIGNATURE [Signature] DATE 10/05/06
 (Print) James K. Strozier Applicant Agent

FOR OFFICIAL USE ONLY

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06 EPC</u> <u>01446</u>	<u>ZMA</u>	<u>2</u>	<u>\$ 405.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>06 EPC</u> <u>01447</u>	<u>CMF</u>		<u>\$ 255.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>Adv</u>		<u>\$ 50.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				<u>\$ 75.00</u>
<input checked="" type="checkbox"/> Case history #s are listed				<u>\$</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				<u>\$</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>11-16-06</u>			Total <u>\$ 785.00</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	<u>[Signature]</u> <u>10/5/06</u>			

Project # 1000572

FORM P(1): SITE PLAN REVIEW – E.P.C. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

IP MASTER DEVELOPMENT PLAN

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
 - ___ For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
 - ___ Site plans and related drawings reduced to 8.5" x 11" format
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Completed Site Plan for Subdivision and/or Building Permit Checklist
 - ___ Sign Posting Agreement
 - ___ TIS/AQIA Traffic Impact Study form with required signature
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
- ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **30** copies for EPC public hearings.
- ___ Site plans and related drawings reduced to 8.5" x 11" format
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Completed Site Plan for Subdivision and/or Building Permit Checklist
- ___ TIS/AQIA Traffic Impact Study form with required signature
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

NOTE: For wireless telecom facilities (administrative reviews that have been referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:

- ___ Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
 - ___ Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
 - ___ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
 - ___ Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
 - ___ Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
 - ___ Registered Engineer's stamp on the Site Development Plans
 - ___ Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30** copies for EPC public hearings
 - Site plans and related drawings reduced to 8.5" x 11" format
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozien AICP
Applicant name (print)
[Signature]
Applicant signature / date 10/5/06



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers	
α EPC	- 01447
-	-
-	-

Form revised October 2004
[Signature] Andrew Jones 10/5/06
Planner signature / date
Project # 1000572

Re c	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OW NE R ST AT E	OWN ER ZIPC ODE	PRO PER TY CLA SS	TAX DIS TRI CT	LEGAL
1	102105706 516230129	TOWNE PARK PLAZA	446 SAN BERNARDINO AVE	NEWPORT BEACH	CA	92663	COM M	A1A	TRACT B-3A-1 PLAT OF TRACTS B-3A-1 & LOT 4A A BEING A REPLAT OF
2	102105727 823342109	CITY OF ALBUQUERQUE	PO BOX 1293	ALBUQUERQUE	NM	87102	RES	A1A	TRACT A IN LAND DIVISION CERTIFICATE OF LTS 10 L K 12 RHODES SA
3	102105727 815841626	F R DODSON & ASSOCIATES INC	5336 CANADA VISTA NW	ALBUQUERQUE	NM	87120	RES	A1A	*B 11 REPLAT OF LOTS 5 & 6 & 7 & 8 BLK 11 OF VISTA
4	102105707 620730128	TOWNE PARK PLAZA	446 SAN BERNARDINO AVE	NEWPORT BEACH	CA	92663	COM M	A1A	TRACT B-2A-1 PLAT OF TRACT B-1A-1 & B-2A-1 TOWNING A REPLAT OF TRAC
5	102105701 522030124	HAKEEM ROBERT J & JAYNIE H	1212 DASKALOS DRIVE	ALBUQUERQUE	NM	87123	COM M	A1A	TRACT C-2 PLAT OF TOWNE PARK PLAZA CONT 26.9
6	102105701 617130126	H AND E 22 WEST LLC	PO BOX 40366	DENVER	CO	80204	COM M	A1A	TRACT C-4A FIRST REPLAT OF TOWNE PARK PLAZA M/L OR 26,933 SQ FT
7	102105707 927730120	WAL-MART STORES EAST INC	1304 SE 10 ST	BENTONVILLE	AR	727120555	COM M	A1A	TRACT B-1A-1 PLAT OF TRACT B-1A-1 & B-2A-1 TOWNING A REPLAT OF TRAC
8	102105724 621730133	CINEMARK USA INC	4287 BELTLINE RD	ADDISON	TX	75001	VAC	A1A	LOT 7 PLAT OF LENKURT PROPERTIES CONT 1.2600
9	102105701 525030123	DOUBLE CHEESE REALTY CORPORATION	4810 HARDWARE DRIVE	ALBUQUERQUE	NM	87109	COM M	A1A	TRACT C-1 PLAT OF TOWNE PARK PLAZA CONT 29.6
10	102105727 819541622	DEEDS ORLO & NETA	4650 DULIN RD 154	FALLBROOK	CA	92028	RES	A1A	*Y 0011REPLAT OF LOTS 1 2 3 B L K 11 RHODES SA
11	102105714 027830136	BLI ALBUQUERQUE LTD	5700 LEGACY DRIVE 10	PLANO	TX	75024	VAC	A1A	LOT 5-A PLAT OF LOTS 1-A, 1-B & 5-A THE LENK BEING A REPLAT LOTS
12	102105725 224330135	BLI ALBUQUERQUE LTD	5700 LEGACY DRIVE 10	PLANO	TX	75024	VAC	A1A	LOT 6 PLAT OF LENKURT PROPERTIES CONT 2.2590
13	102105723 823630134	BLI ALBUQUERQUE LTD	5700 LEGACY DRIVE 10	PLANO	TX	75024	VAC	A1A	LOT 2 PLAT OF LENKURT PROPERTIES CONT .8690
14	102105717 324230130	BLI ALBUQUERQUE LTD	5700 LEGACY DRIVE 10	PLANO	TX	75024	COM M	A1A	LOT 1-B PLAT OF LOTS 1-A, 1-B & 5-A THE LENK BEING A REPLAT LOTS
15	102105727 820541621	DEEDS ORLO & NETA	4650 DULIN RD 154	FALLBROOK	CA	92028	RES	A1A	*X 0011REPLAT LOTS 1 2&3 BLK 1 1 RHODES SANDI
16	102105724 619730132	CINEMARK USA INC	3900 N DALLAS PARKWAY 5TH F	PLANO	TX	75093	VAC	A1A	LOT 8 PLAT OF LENKURT PROPERTIES CONT 1.5350
17	102105727 817541625	F R DODSON & ASSOCIATES INC	5336 CANADA VISTA NW	ALBUQUERQUE	NM	87120	RES	A1A	*A 11 REPLAT OF LOTS 5 & 6 & 7 & 8 BLK 11 OF VISTA
18	102105718 918830137	CINEMARK USA INC	4287 BELTLINE RD	ADDISON	TX	75001	VAC	A1A	LOT 3 PLAT OF LENKURT PROPERTIES CONT 21.520
19	102105728 115141601	F R DODSON & ASSOCIATES INC	5336 CANADA VISTA NW	ALBUQUERQUE	NM	87120	RES	A1A	*C REPLAT OF LOTS 9 & 10 & 11 BLK 11 RHODES B D
20	102105705 430730121	MILLER FAMILY REAL ESTATE LLC	9350 SOUTH 150 EAST 1000	SANDY	UT	84070	COM M	A1A	TRACT A-1A PLAT OF TR A-1-A TOWNE PARK PLAZA C M/L
21	102105712 507031701 L1	SANDIA FOUNDATION	6211 SAN MATEO BLV NE 100	ALBUQUERQUE	NM	87109	RES	A1A	LAND IN THE S 1/2 OF SEC 21 T1 ON R4E TOWNE P, III & IV CONT 72.

2	102105701	SYSTEM CAPITAL	PO BOX 672346	HOUSTON	TX	7726	COM	A1A	TRACT C-3A FIRST REPLAT OF TOWNE PARK PLAZA M/L OR 28,314 SQ FT
2	619930125	REAL PROP CORP				7 234	M		
2	102105712	SAM'S EAST INC	702 SW 8TH ST	BENTONVILLE	AR	7271	VAC	A1A	LOT 4A PLAT OF TRACTS B-3A-1 & LOT 4A TOWNE A BEING A REPLAT OF
3	215530131					6			
2	102105727	VAN NIEUWENBO	720 MORRIS ST	ALBUQUERQUE	NM	8712	RES	A1A	* 009 012RHODES SANDIA VISTA
4	425042107	RG BEN	NE			3			
2	102105727	POPADIUC VASIL	53 GARDEN PARK NW	ALBUQUERQUE	NM	8710	RES	A1A	* 004 011RHODES SANDIA VISTA
5	818841624	E & ANA				7			

OR CURRENT RESIDENT
102105714027830136
BLI ALBUQUERQUE LTD
5700 LEGACY DR 10
PLANO, TX 75024

OR CURRENT RESIDENT
102105717324230130
BLI ALBUQUERQUE LTD
5700 LEGACY DR 10
PLANO, TX 75024

OR CURRENT RESIDENT
102105724621730133
CINEMARK USA INC
4287 BELTLINE RD
ADDISON, TX 75001

OR CURRENT RESIDENT
102105724619730132
CINEMARK USA INC
3900 N DALLAS PARKWAY STE 11 F
PLANO, TX 75093

OR CURRENT RESIDENT
102105727823342109
CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE, NM 87102

OR CURRENT RESIDENT
102105727820541621
DEEDS ORLO & NETA
4650 DULIN RD 154
FALLBROOK, CA 92028

OR CURRENT RESIDENT
102105701525030123
DOUBLE CHEESE REALTY
CORPORATI
4810 HARDWARE DR NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
102105728115141601
F R DODSON & ASSOCIATES INC
5336 CANADA VISTA NW
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT
102105701617130126
H AND E 22 WEST LLC
PO BOX 40366
DENVER, CO 80204

OR CURRENT RESIDENT
102105701522030124
HAKEEM ROBERT J & JAYNIE H
1212 DASKALOS DR NE
ALBUQUERQUE, NM 87123

OR CURRENT RESIDENT
102105705430730121
MILLER FAMILY REAL ESTATE LLC
9350 SOUTH 150 EAST 1000
SANDY, UT 84070

OR CURRENT RESIDENT
102105727818841624
POPADIUC VASILE & ANA
53 GARDEN PARK NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
102105712215530131
SAM'S EAST INC
702 SW 8TH ST
BENTONVILLE, AR 72716

OR CURRENT RESIDENT
102105712507031701L1
SANDIA FOUNDATION
6211 SAN MATEO BLV NE 100
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
102105701619930125
SYSTEM CAPITAL REAL PROP CORP
PO BOX 672346
HOUSTON, TX 77267 2346

OR CURRENT RESIDENT
102105707620730128
TOWNE PARK PLAZA
446 SAN BERNARDINO AVE
NEWPORT BEACH, CA 92663

OR CURRENT RESIDENT
102105727425042107
VAN NIEUWENBORG BEN
720 MORRIS ST NE
ALBUQUERQUE, NM 87123

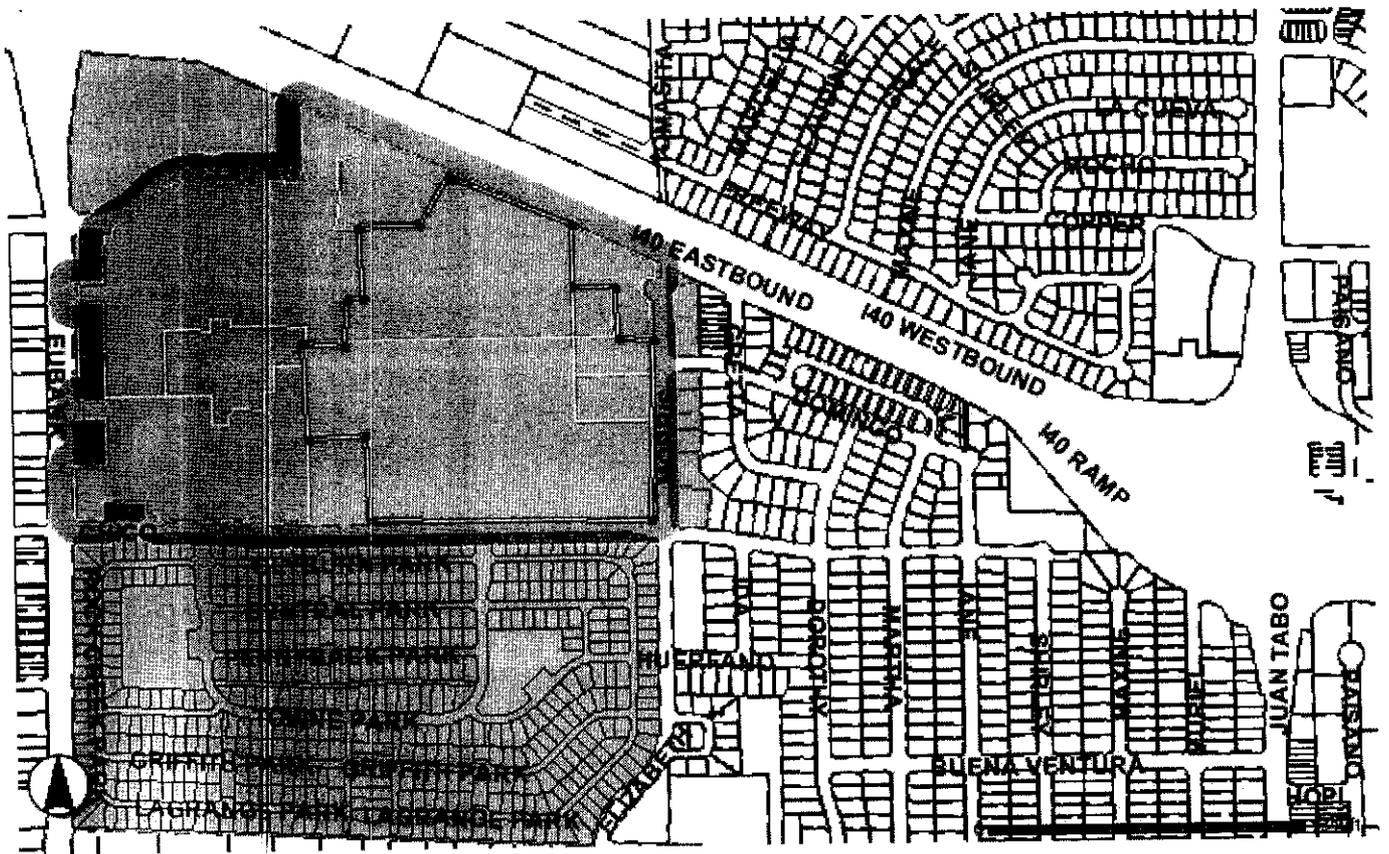
OR CURRENT RESIDENT
102105707927730120
WAL-MART STORES EAST INC
1304 SE 10 ST
BENTONVILLE, AR 72712 0555

Project# 1000572
CENTREX HOMES
7601 JEFFERSON ST NE #320
ALBUQUERQUE, NM 87109

Project# 1000572
CONSENSUS PLANNING
302 EIGHTH STREET NW
ALBUQUERQUE, NM 87102

Project# 1000572
L.SCOTT VARNER
Towne Park N.A.
10824 PENNYBACK NE
ALBUQUERQUE, NM 87123

Project# 1000572
JEANNE HAMRICK
Towne Park N.A.
10500 SCHENLEY NE
ALBUQUERQUE, NM 87123





City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

September 26, 2006

Lani McCarson
Consensus Planning
302 Eighth Street NW/87102
Phone: 764-9801/Fax: 842-5495

Dear Lani:

Thank you for your inquiry of September 26, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at LOT 1B, LOT 2, LOT 5A, LOT 6, LOT 7 AND LOT 8, LOCATED ON CHICO AT MORRIS- zone map K-21.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

TOWNE PARK N.A. (TPK) "R"

*L. Scott Varner e-mail: sandec@thuntek.net
10824 Pennyback NE/87123 294-7791 (h)
Jeanne Hamrick
10500 Schenley NE/87123 291-1504 (h)
Website: www.towneparkna.org

Council District: 9
County District: 3
Police Beat: 521/FH
Zone Map: K-L-20-21

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3906 or via an e-mail message at dlcarmona@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Dalaina L. Carmona

Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(12/29/04)

CENTEX HOMES

October 5, 2006

Jeff Jesionowski, Chairman
Environmental Planning Commission
600 Second Street NW
Albuquerque, NM 87102

RE: Zone Map Amendment and Amendment to Site Plan for PRD

Dear Chairman Jesionowski:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as our agent on this request for Zone Map Amendment and amendment to the approved Site Plan for PRD for portions of Lots 2, 3, and 6 of the Plat of the Lenkurt Properties. The property is a smaller portion of the larger approved development located at Chico/Morris.

Sincerely,



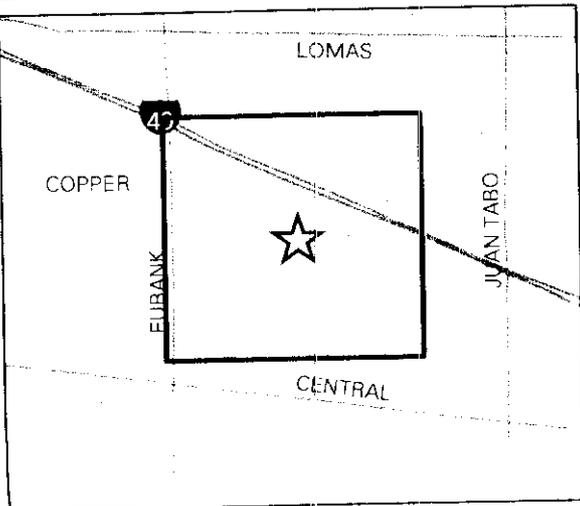
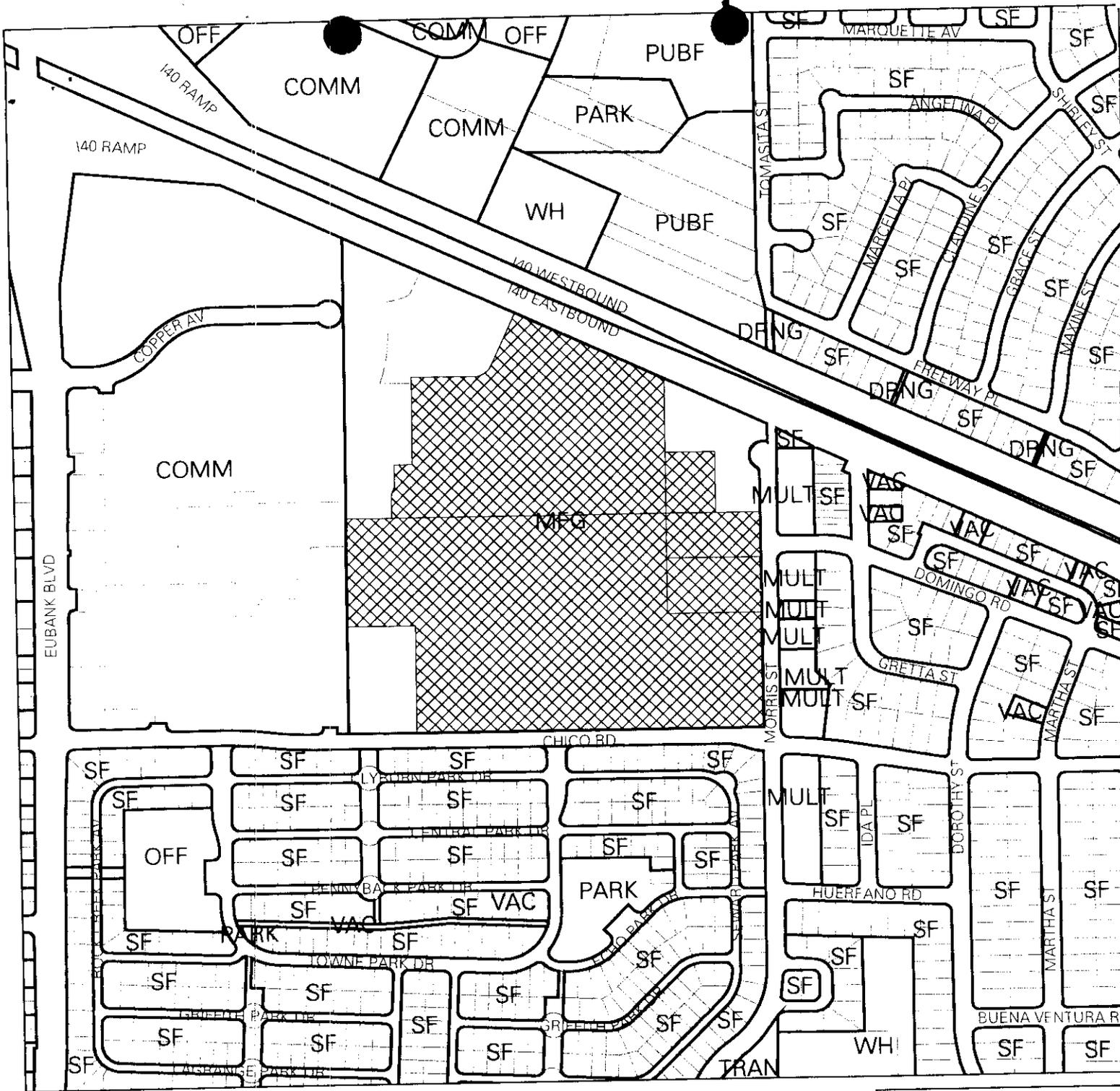
Robert C. Prewitt
Vice President
Centex Homes – New Mexico

Livable from day one.

WWW.CENTEXHOMES.COM

7601 Jefferson NE, Suite 320 | Albuquerque, NM 87109 | Phone 505.761.9606 | Fax 505.761.9850





LAND USE MAP

Note: Grey shading indicates County.

KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial - Retail
- DRNG Drainage
- MFG Manufacturing or Mining
- MULT Multi-Family or Group Home
- OFF Office
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



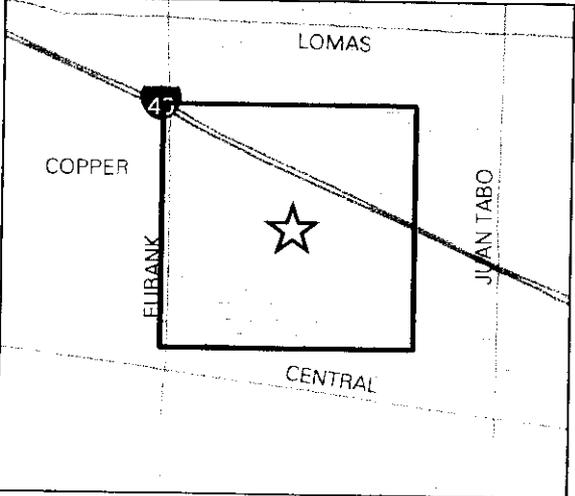
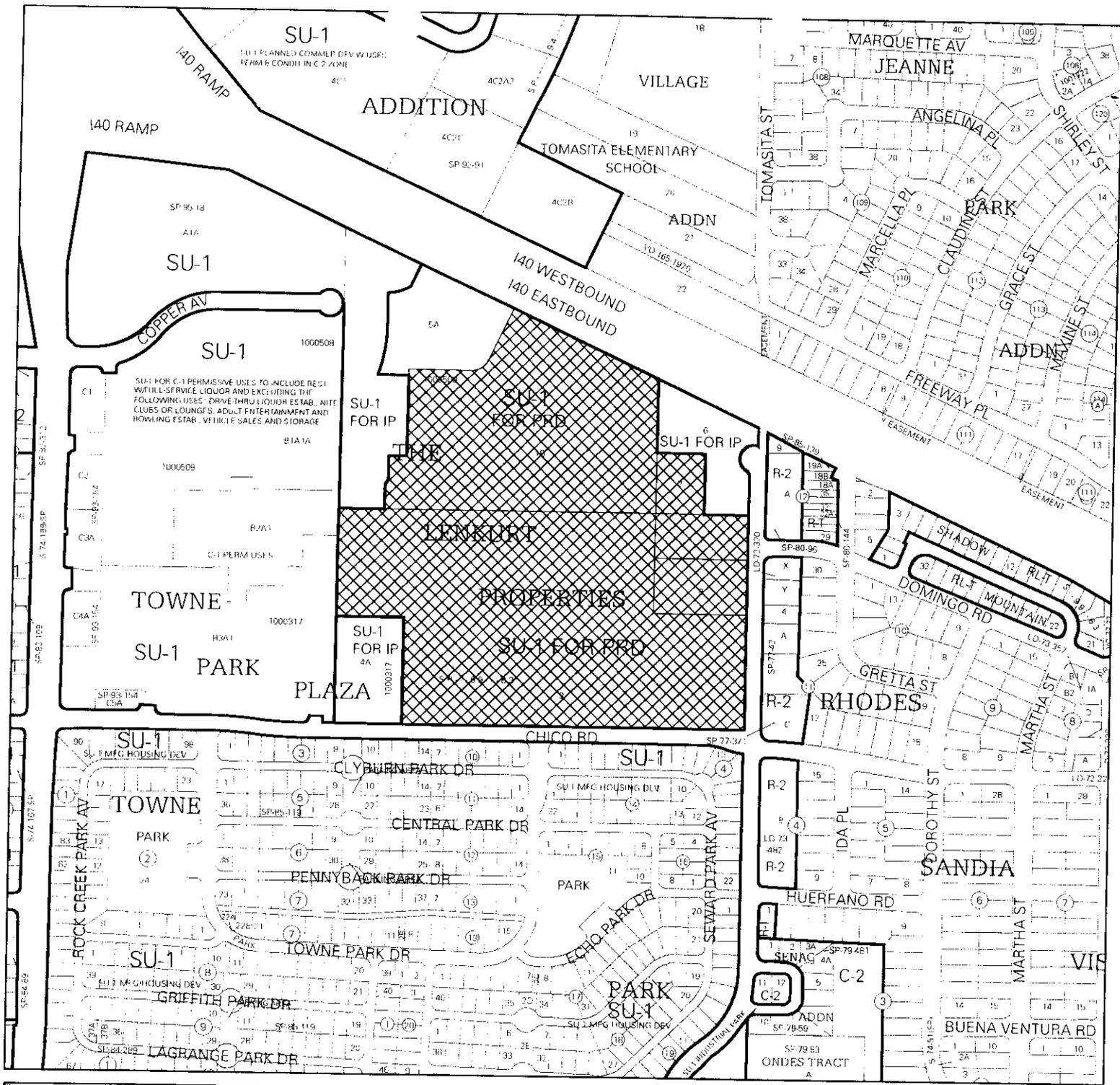
1 inch equals 500 feet

Project Number:
1000572

Hearing Date:
11/16/2006

Zone Map Page:
K-21

Additional Case Numbers
06EPC-01446 06EPC-0144



ZONING MAP

Note: Grey shading indicates County.



1 inch equals 500 feet
Project Number:
 1000572
Hearing Date:
 11/16/2006
Zone Map Page:
 K-21
Additional Case Numbers:
 06EPC-01446 06EPC-01447

LEGAL DESCRIPTION

THAT CERTAIN PARCEL situate within the west half (1/2) of Section 21, Township 10 North, Range 4 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, said parcel being a portion of LOT 3 of the PLAT OF THE LENKURT PROPERTIES, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico, on April 13, 1999, in Volume 99C, Folio 84, and being more particularly described as follows:

BEGINNING at the northwest corner of the herein described tract, said point being common with the northwest corner of said LOT 3;

THENCE, along the northerly line of said LOT 3, S 89°46'13" E, 977.20 feet;

THENCE, leaving said northerly line, S 00°13'47" W, 40.00 feet;

THENCE, N 89°46'13" W, 696.06 feet;

THENCE, N 00°13'47" E, 20.00 feet;

THENCE, N 89°46'13" W, 85.15 feet to a point of curvature;

THENCE, 157.07 feet along the arc of a curve to the left whose radius is 100.00 feet and whose long chord bears S 45°13'58" W, 141.41 feet through a central angle of 89°59'38";

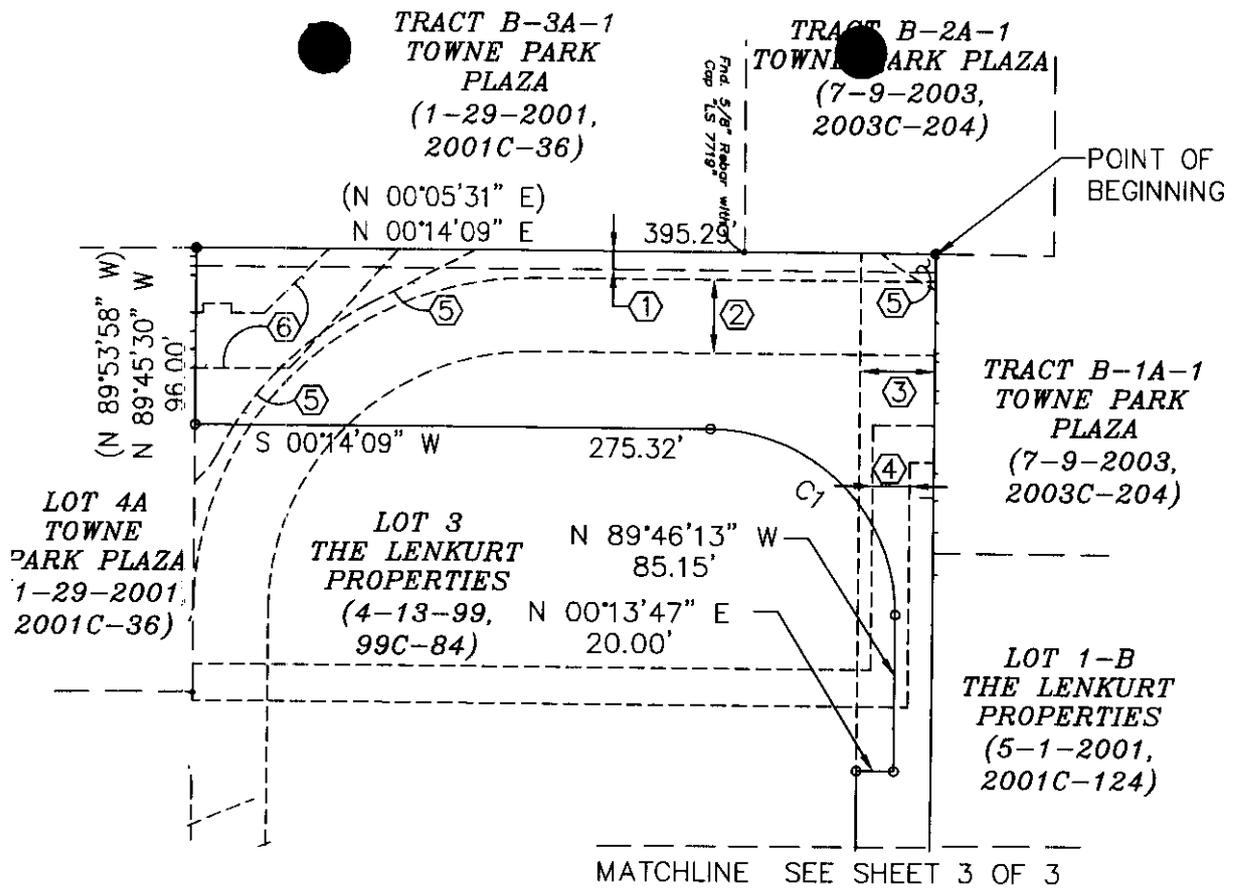
THENCE, S 00°14'09" W, 275.32 feet;

THENCE, N 89°45'30" W, 96.00 feet;

THENCE N 00°14'09" E, 395.29 feet to the Point of Beginning and containing 1.6446 acres more or less.

EXHIBIT 'A'

SHEET 1 OF 3



CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	100.00	157.07	99.99	141.41	S 45°13'58" W	89°59'38"

NOTE: BEARINGS IN PARENTHESES ARE RECORD.

⬡ EASEMENT NOTES:

- 10' PUBLIC SERVICE CO. OF NEW MEXICO EASEMENT PER DOCUMENT FILED 5-12-71, BOOK MISC. 213, PGS. 816-817.
- 40' ROADWAY EASEMENT PER PLAT FILED 4-13-99, VOL. 99C, FOLIO 84.
- 40' NO BUILD EASEMENT PER PLAT FILED 4-13-99, VOL. 99C, FOLIO 84.
- 20' PUBLIC SANITARY SEWER EASEMENT PER PLAT FILED 4-13-99, VOL. 99C, FOLIO 84.
- INGRESS, EGRESS AND UTILITIES EASEMENT PER DOCUMENT FILED 10-24-2000, BOOK A-11, PG. 4868.
- PERMANENT EASEMENT FOR PUBLIC STORM SEWER AND WATERLINE PER DOCUMENT FILED 12-29-2000, BOOK A13, PG. 7742.



SCALE:
1"=100'



EXHIBIT 'A'

LOT 3
THE LENKURT
PROPERTIES
(4-13-99,
99C-84)

N 89°46'13" W

696.06'

S 89°46'13" E

977.20'



LOT 1-B
THE LENKURT
PROPERTIES
(5-1-2001,
2001C-124)

S 00°13'47" W
40.00'

SEE SHEET 2 OF 3 FOR
EASEMENT NOTES.



SCALE:
1"=100'



EXHIBIT 'A'

LEGAL DESCRIPTION

THAT CERTAIN PARCEL situate within the west half (1/2) of Section 21, Township 10 North, Range 4 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, said parcel being a portion of LOTS 2 AND 6 of the PLAT OF THE LENKURT PROPERTIES, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the Office of the County Clerk of Bernalillo County, New Mexico, on April 13, 1999, in Volume 99C, Folio 84, and also being a portion of LOT 1-B, as the same is shown and designated on the PLAT OF LOTS 1-A, 1-B AND 5-A, THE LENKURT PROPERTIES, Albuquerque New Mexico, recorded in the Office of the County Clerk of Bernalillo County, New Mexico, on May 1, 2001, Volume 2001C, Folio 124, and being more particularly described as follows:

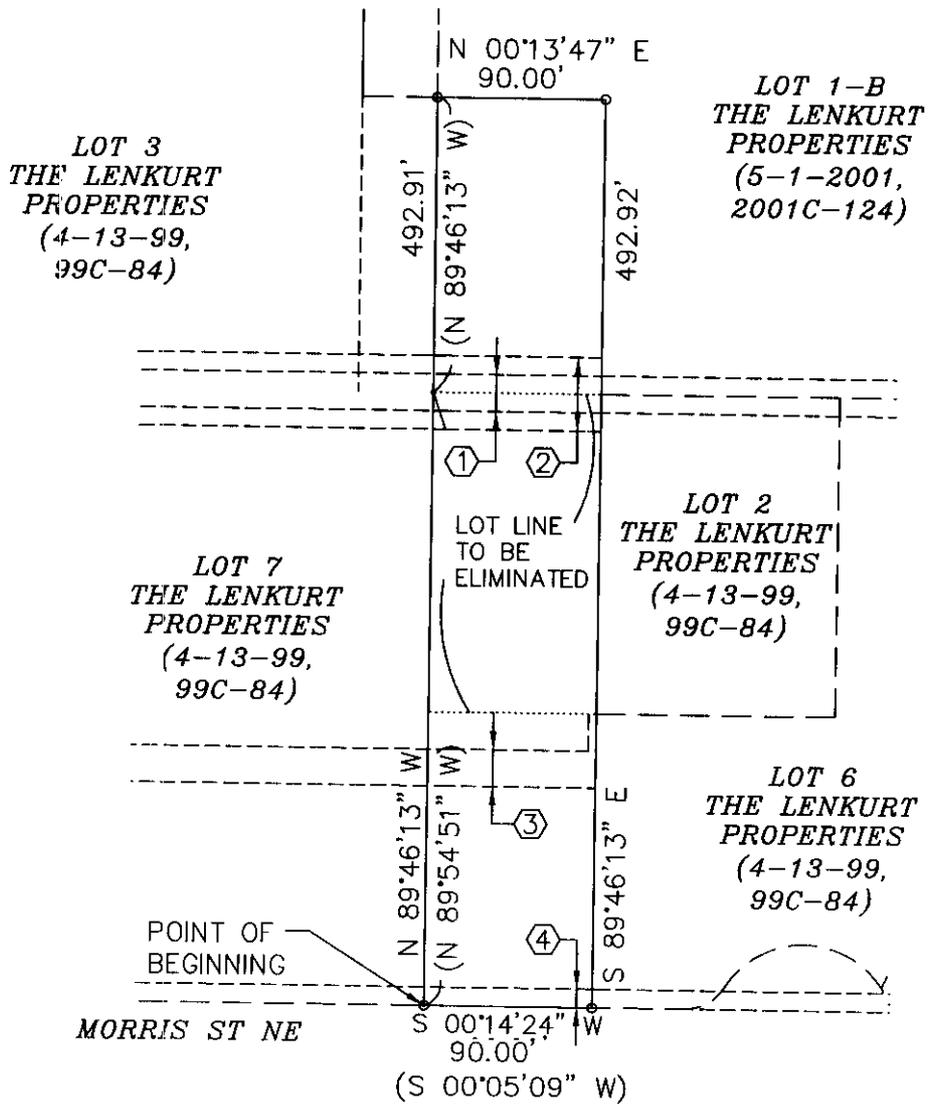
BEGINNING at the southeast corner of the herein described tract, said point being common with the southeast corner of said LOT 6 and also being common with the northeast corner of LOT 7, as shown and designated on said PLAT OF THE LENKURT PROPERTIES;

THENCE, N 89°46'13" W, 492.91 feet;

THENCE, N 00°13'47" E, 90.00 feet;

THENCE, S 89°46'13" E, 492.92 feet;

THENCE, S 00°14'24" W, 90.00 feet to the Point of Beginning and containing 1.0184 acres more or less.



NOTE: BEARINGS IN PARENTHESES ARE RECORD.

⬡ EASEMENT NOTES:

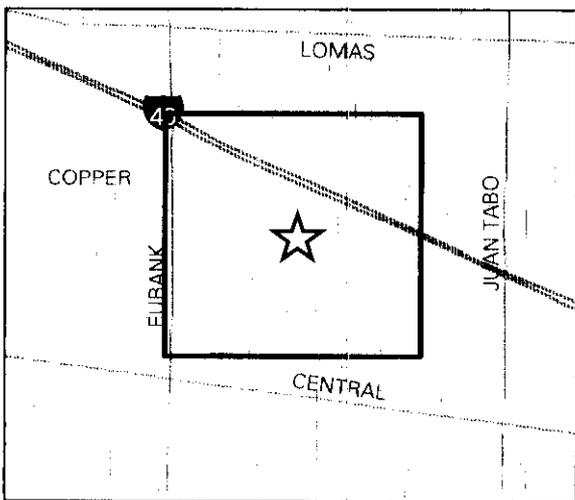
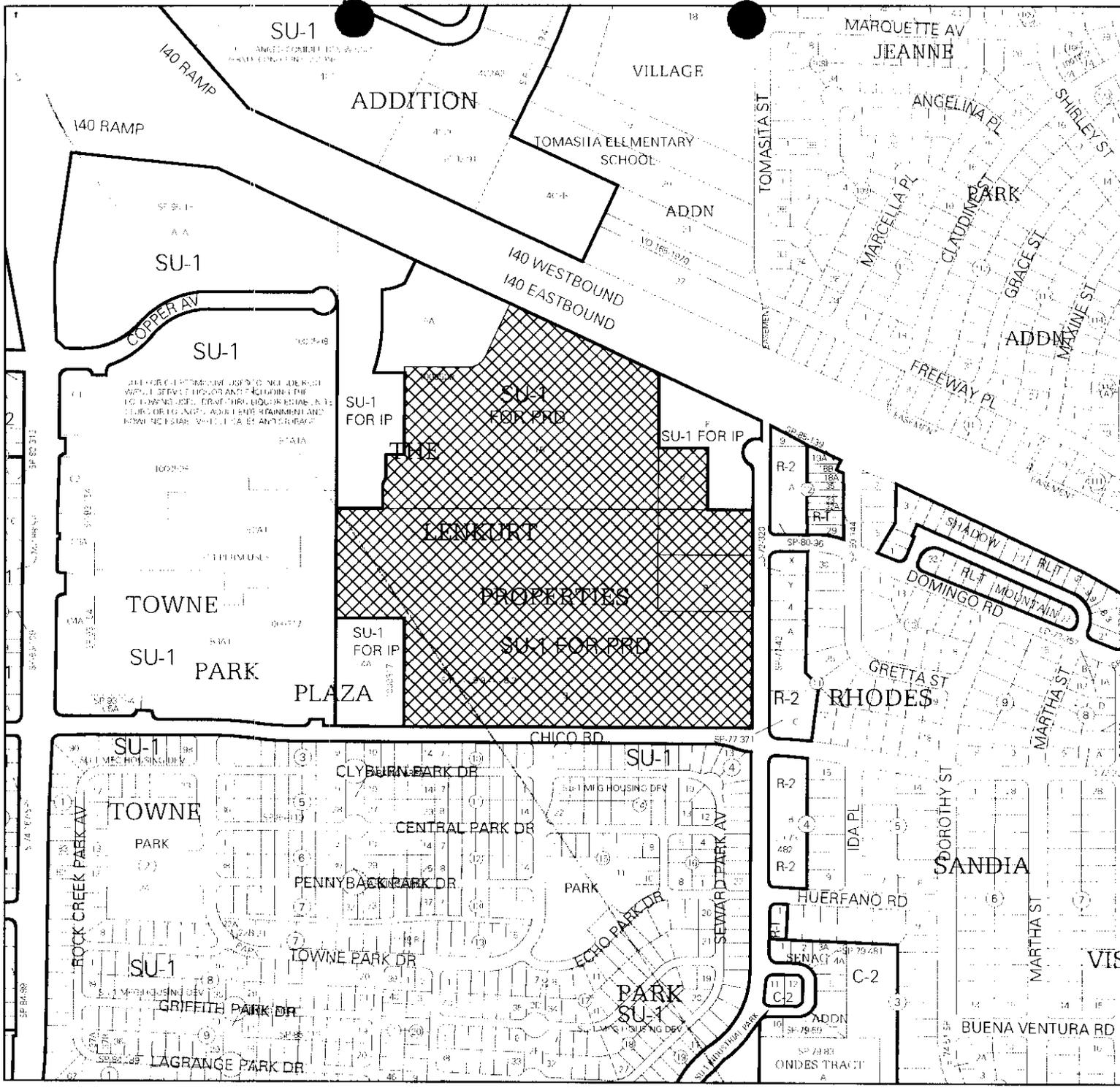
1. PERMANENT EASEMENT FOR PUBLIC SANITARY SEWER PER DOCUMENT FILED 12-29-2000, BOOK A13, PG. 7744.
2. 40' ROADWAY EASEMENT PER PLAT FILED 4-13-99, VOL. 99C, FOLIO 84.
3. 20' PUBLIC SANITARY SEWER EASEMENT PER PLAT FILED 4-13-99, VOL. 99C, FOLIO 84.
4. 10' UTILITY EASEMENT AS SHOWN ON SURVEY PREPARED BY NM SURVEYING CO., FILED 3-17-97, VOL. 97S, FOLIO 25.



SCALE:
1"=100'



EXHIBIT 'B'



ZONING MAP

Note: Grey shading indicates County.

*Corrected
11-6-06
by AGIS
+ amended CS.*



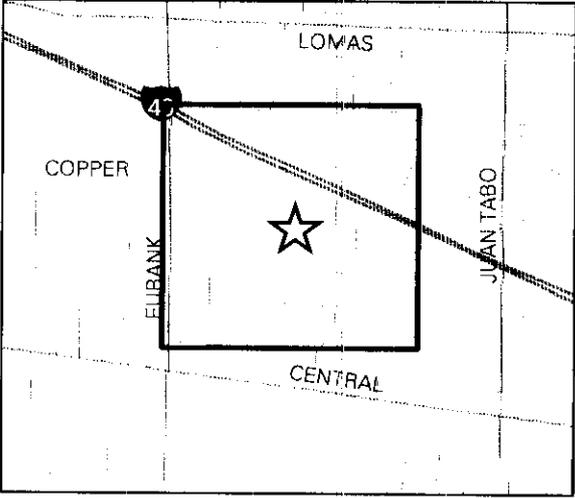
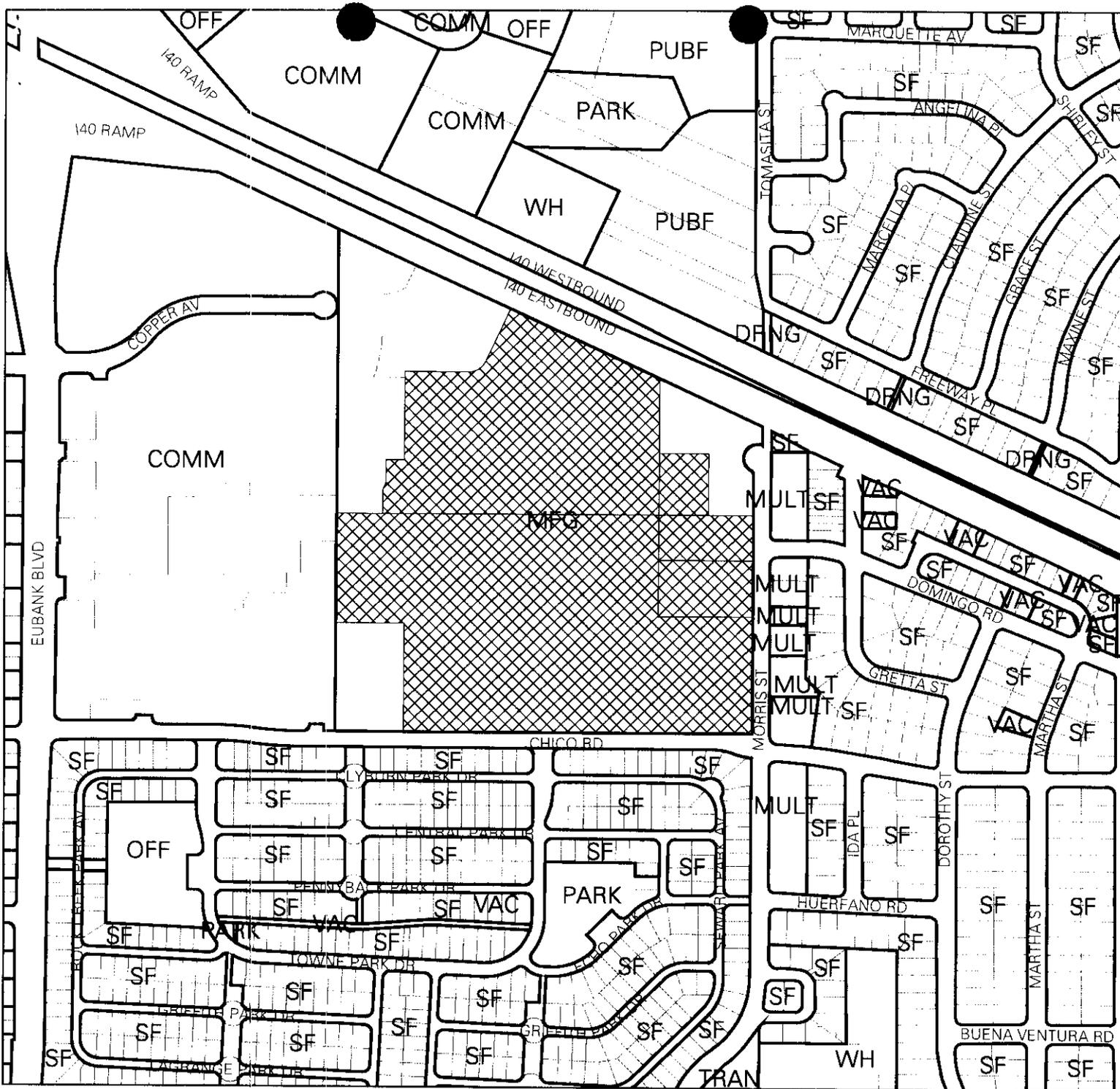
1 inch equals 500 feet

Project Number:
1000572

Hearing Date:
11/16/2006

Zone Map Page:
K-21

Additional Case Numbers:
06EPC-01446 06EPC-01447



LAND USE MAP

Note: Grey shading indicates County.

KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial - Retail
- DRNG Drainage
- MFG Manufacturing or Mining
- MULT Multi-Family or Group Home
- OFF Office
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



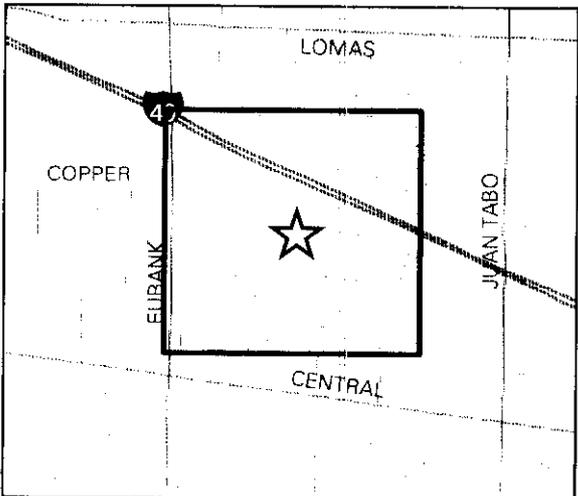
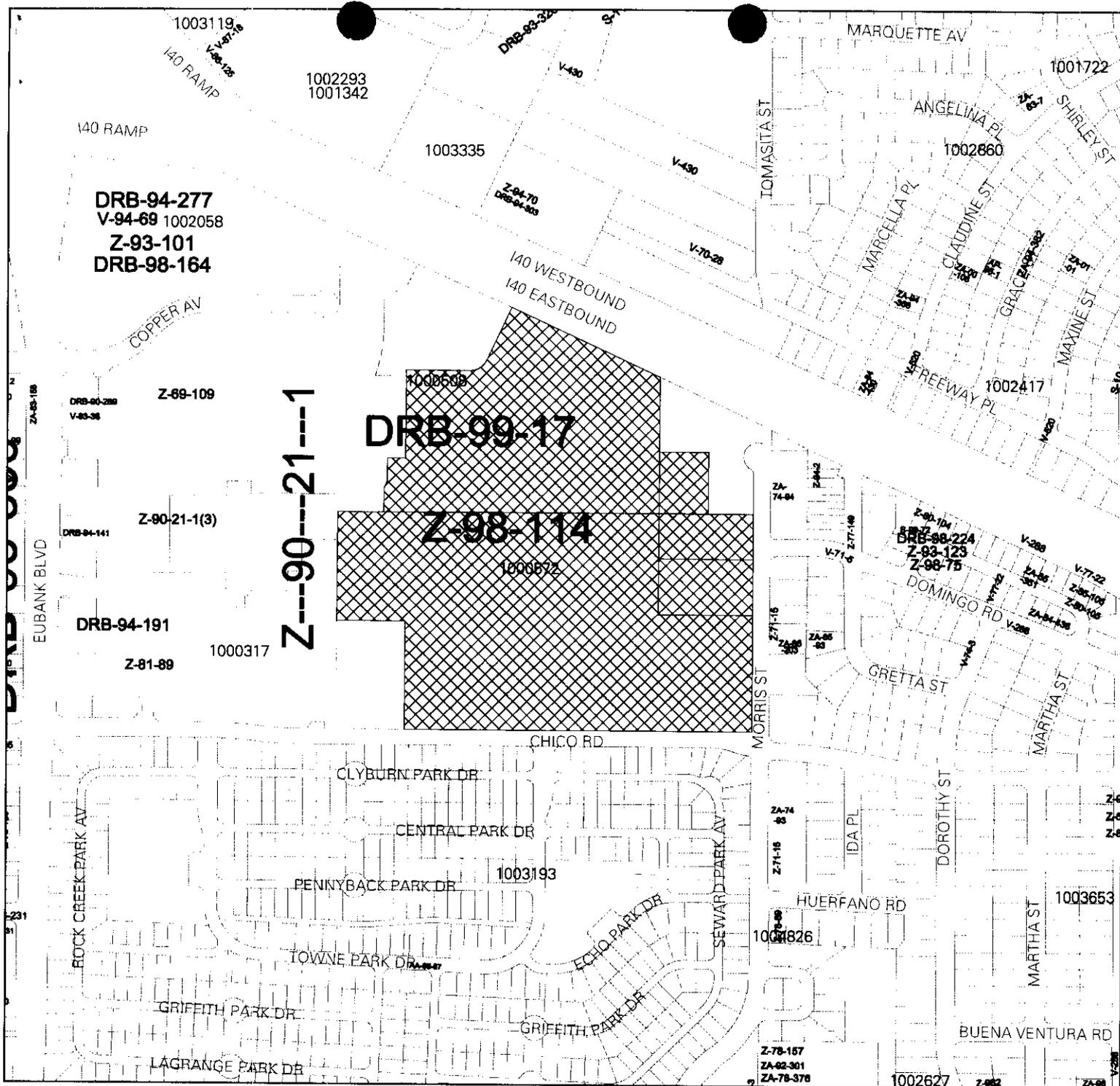
1 inch equals 500 feet

Project Number:
1000572

Hearing Date:
11/16/2006

Zone Map Page:
K-21

Additional Case Numbers:
06EPC-01446 06EPC-01447



HISTORY MAP

Note: Grey shading indicates County.



1 inch equals 500 feet

Project Number:

1000572

Hearing Date:

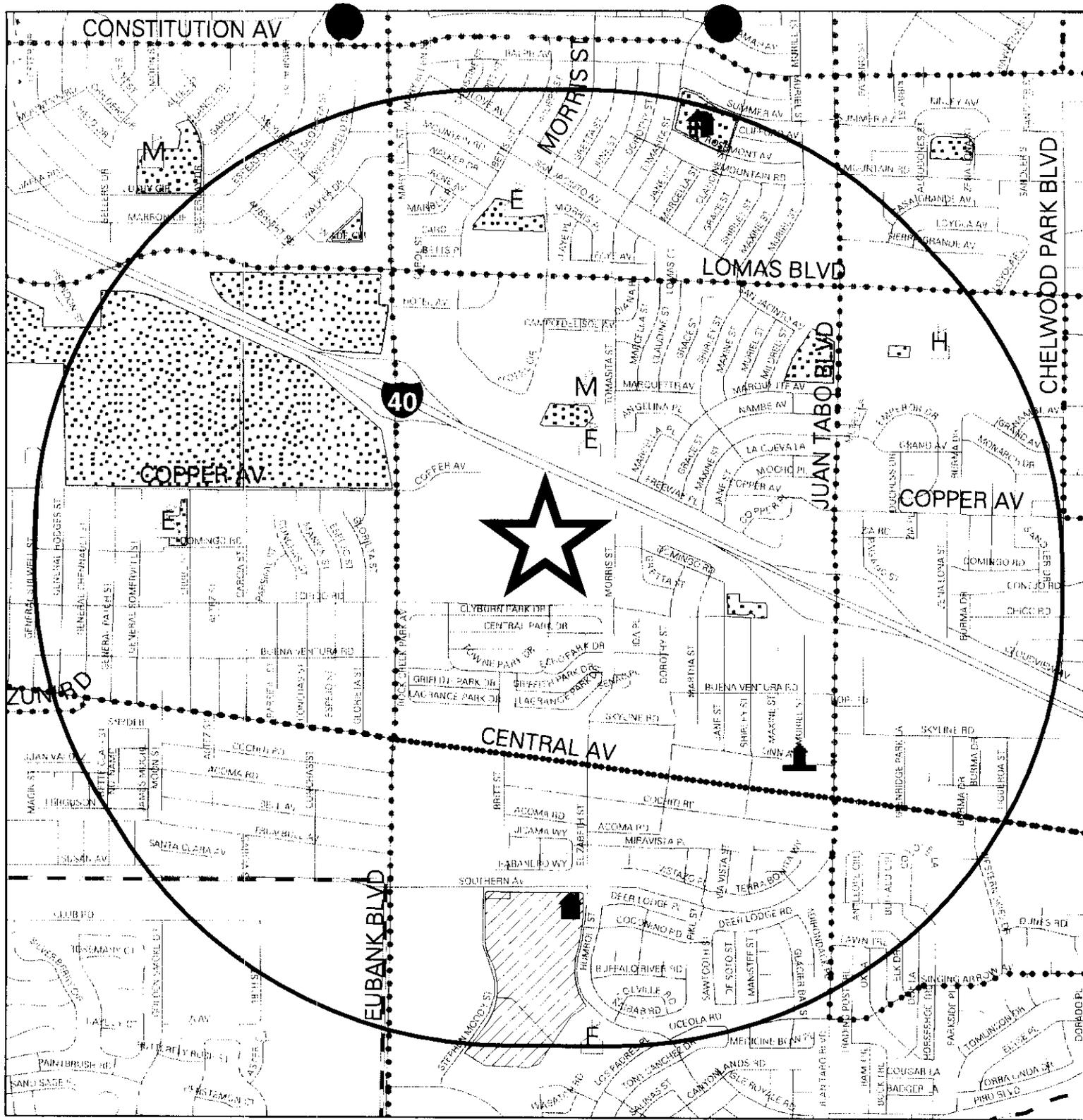
11/16/2006

Zone Map Page:

K-21

Additional Case Numbers:

06EPC-01446 06EPC-01447

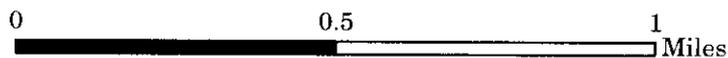


Public Facilities Map with One-Mile Site Buffer

- | | | | |
|--|---|---|---|
|  COMMUNITY CENTER |  FIRE |  APS Schools |  Developed County Park |
|  MULTI-SERVICE CENTER |  POLICE |  ABQ Ride Routes |  Undeveloped County Park |
|  SENIOR CENTER |  SHERIFF |  Developed City Park |  AGIS.Jurisdiction |
|  LIBRARY |  SOLID WASTE |  Undeveloped City Park |  Landfill Buffer (1000 feet) |
|  MUSEUM | |  Landfills designated by EHD | |



Project Number: 1000572



M W Development, LLC

501 Third Street SW
Albuquerque, NM 87102



PHONE: (505) 248-1688

E-Mail: waterman@watermaninc.net

FAX: (505) 248-1705

September 25, 2006

Jeff Jesionowski, Chairman
Environmental Planning Commission
600 Second Street NW
Albuquerque, NM 87102

RE: Zone Map Amendment and Amendment to Site Plan for PRD

Dear Chairman Jesionowski:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as our agent on this request for Zone Map Amendment and amendment to the approved Site Plan for PRD for portions of Lots 2, 3, and 6 of the Plat of the Lenkurt Properties. The property is a smaller portion of the larger approved development located at Chico/Morris.

Sincerely,

Ted A. Waterman, Managing Member
M W Development LLC, a New Mexico Limited Liability Company

Lot 1B
102105717324230130

Lot 2
102105723823630134

Lot 3
102105718918830137

Lot 7
102105724621730133

Lot 8
102105724619730132

6

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Centex Homes PHONE: 505-923-1826
 ADDRESS: 7601 Jefferson St NE #320 FAX: 505-761-9850
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: Idonoghue@centexhomes.com
 Proprietary interest in site: Contract Purchaser List all owners: T. Waterman
 AGENT (if any): Consensus Planning PHONE: 505-764-9801
 ADDRESS: 302 Eighth Street NW FAX: 505-842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

DESCRIPTION OF REQUEST: Zone Map Amendment and Amendment to Site Development Plan for PRD

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Portions of Lots 1B, 2, 3, 7, and 8 Block: - Unit: -
 Subdiv. / Addn. Plat of Lenkurt Properties
 Current Zoning: SU-1 for PRD/SU-1 for IP Proposed zoning: SU-1 for IP/SU-1 for PRD
 Zone Atlas page(s): K-21 No. of existing lots: 4 No. of proposed lots: 4
 Total area of site (acres): 23.7 Density if applicable: dwellings per gross acre: 10.8 dwellings per net acre: -
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. see attached page MRGCD Map No. -

LOCATION OF PROPERTY BY STREETS: On or Near: Chico Road
 Between: Morris Street and I-40

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):
1000572
~~100572/05-ERC-01116~~ 1000572

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: 08/23/06

SIGNATURE [Signature] DATE 10/05/06
 (Print) James K. Strozier Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> INTERNAL ROUTING				
<input checked="" type="checkbox"/> All checklists are complete	<u>06 EPC - 01446</u>	<u>ZMA</u>	<u>Z</u>	<u>\$ 405.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>06 EPC - 01447</u>			<u>\$ 255.00</u>
<input checked="" type="checkbox"/> All case #'s are assigned				<u>\$ 50.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent		<u>CMF</u>		<u>\$ 75.00</u>
<input checked="" type="checkbox"/> Case history #'s are listed		<u>Adv</u>		<u>\$ -</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				<u>\$ -</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus				<u>\$ -</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				<u>\$ -</u>
	Hearing date <u>11-16-06</u>			Total <u>\$ 785.00</u>

Andrew S. Mac 10/5/06

Project # 1000572

FORM P(1): SITE PLAN REVIEW – E.P.C. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION**
- IP MASTER DEVELOPMENT PLAN**

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings. For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
 - ___ Site plans and related drawings reduced to 8.5" x 11" format
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Completed Site Plan for Subdivision and/or Building Permit Checklist
 - ___ Sign Posting Agreement
 - ___ TIS/AQIA Traffic Impact Study form with required signature
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**
- SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY**

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
- ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **30** copies for EPC public hearings.
- ___ Site plans and related drawings reduced to 8.5" x 11" format
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Completed Site Plan for Subdivision and/or Building Permit Checklist
- ___ TIS/AQIA Traffic Impact Study form with required signature
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

NOTE: For wireless telecom facilities (administrative reviews that have been referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:

- ___ Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
- ___ Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- ___ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- ___ Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- ___ Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
- ___ Registered Engineer's stamp on the Site Development Plans
- ___ Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**
- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30** copies for EPC public hearings
 - Site plans and related drawings reduced to 8.5" x 11" format
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozier AICP
 Applicant name (print)
[Signature] - 10/5/06
 Applicant signature / date



Form revised October 2004

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers	
06EPC -	- 01447
-	-
-	-

[Signature] Andrew G... 10/5/06
 Planner signature / date

Project # 1000572

FORM Z: ZONE CODE TEXT & MAP AMENDMENTS, PLAN APPROVALS & AMENDMENTS

ANNEXATION

- Application for zone map amendment including those submittal requirements. See below. Annexation and establishment of zoning must be applied for simultaneously.
- Petition for Annexation Form and necessary attachments
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied).
NOTE: The Zone Atlas must show that the site is in County jurisdiction, but is contiguous to City limits.
- Letter briefly describing, explaining, and justifying the request
NOTE: Justifications must adhere to the policies contained in "Resolution 54-1990"
- Letter of authorization from the property owner if application is submitted by an agent
- BCC Notice of Decision for City Submittals
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

- SECTOR DEVELOPMENT PLAN PHASE I - DRB CONCEPTUAL PLAN REVIEW (Unadvertised)**
- SECTOR DEVELOPMENT PLAN PHASE II - EPC FINAL REVIEW & APPROVAL (Public Hearing)**
- SECTOR DEVELOPMENT PLAN PHASE II - DRB FINAL SIGN-OFF (Unadvertised)**

- Copy of findings from required pre-application meeting (needed for the DRB conceptual plan review only)
- Proposed Sector Plan (30 copies for EPC, 6 copies for DRB)
- Zone Atlas map with the entire plan area precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts (for EPC final review and approval - public hearing only)
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form (for EPC final review and approval public hearing only)
- Fee for EPC final review and approval only (see schedule)
- Any original and/or related file numbers are listed on the cover application

Refer to the schedules for the dates, times and places of D.R.B. Unadvertised meetings and E.P.C. hearings.

Your attendance is required.

AMENDMENT TO ZONE MAP (ESTABLISHMENT OF ZONING OR ZONE CHANGE)

- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request per "Resolution 270-1980".
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

AMENDMENT TO SECTOR DEVELOPMENT, AREA, FACILITY, OR COMPREHENSIVE PLAN

- Proposed Amendment referenced to the materials in the Plan being amended (text and/or map)
- Plan to be amended with materials to be changed noted and marked
- Zone Atlas map with the entire plan/amendment area precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request per "Resolution 270-1980" (Sector Plan map change only)
- Letter of authorization from the property owner if application is submitted by an agent (Map change only)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts (sector plans only)
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

AMENDMENT TO ZONING CODE OR SUBDIVISION REGULATIONS TEXT

- Amendment referenced to the sections of the Zone Code/Subdivision Regulations being amended
- Sections of the Zone Code/Subdivision Regulations to be amended with text to be changed noted and marked
- Letter briefly describing, explaining, and justifying the request
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozic, AICP
Applicant name (print)
[Signature] 10/5/06
Applicant signature / date



Form revised APRIL/06

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers	
CE/EPC -	-01446
-	-
-	-

Andrew Jones 10/5/06
Planner signature / date

Project # 1600572

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Consensus Planning DATE OF REQUEST: 9/27/06 ZONE ATLAS PAGE(S): K-21

CURRENT:

ZONING SU-1

PARCEL SIZE (AC/SQ. FT.) 2.6623

LEGAL DESCRIPTION:

LOT OR TRACT # 2, 3, 6 BLOCK # -

SUBDIVISION NAME Plat of the Lenkourt Properties

REQUESTED CITY ACTION(S):

ANNEXATION []	SECTOR PLAN []	SITE DEVELOPMENT PLAN:
COMP. PLAN []	ZONE CHANGE <input checked="" type="checkbox"/>	A) SUBDIVISION [] BUILDING PERMIT []
AMENDMENT []	CONDITIONAL USE []	B) BUILD'G PURPOSES [] ACCESS PERMIT []
		C) AMENDMENT <input checked="" type="checkbox"/> OTHER []

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: 1

OF UNITS: 256
BUILDING SIZE: _____ (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE J. McCaughey DATE 9-27-06
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:
Notes: CENTEX SUBDIVISION TIS (2005)

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Tony Jyd DATE 9-27-06
TRAFFIC ENGINEER

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-18-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

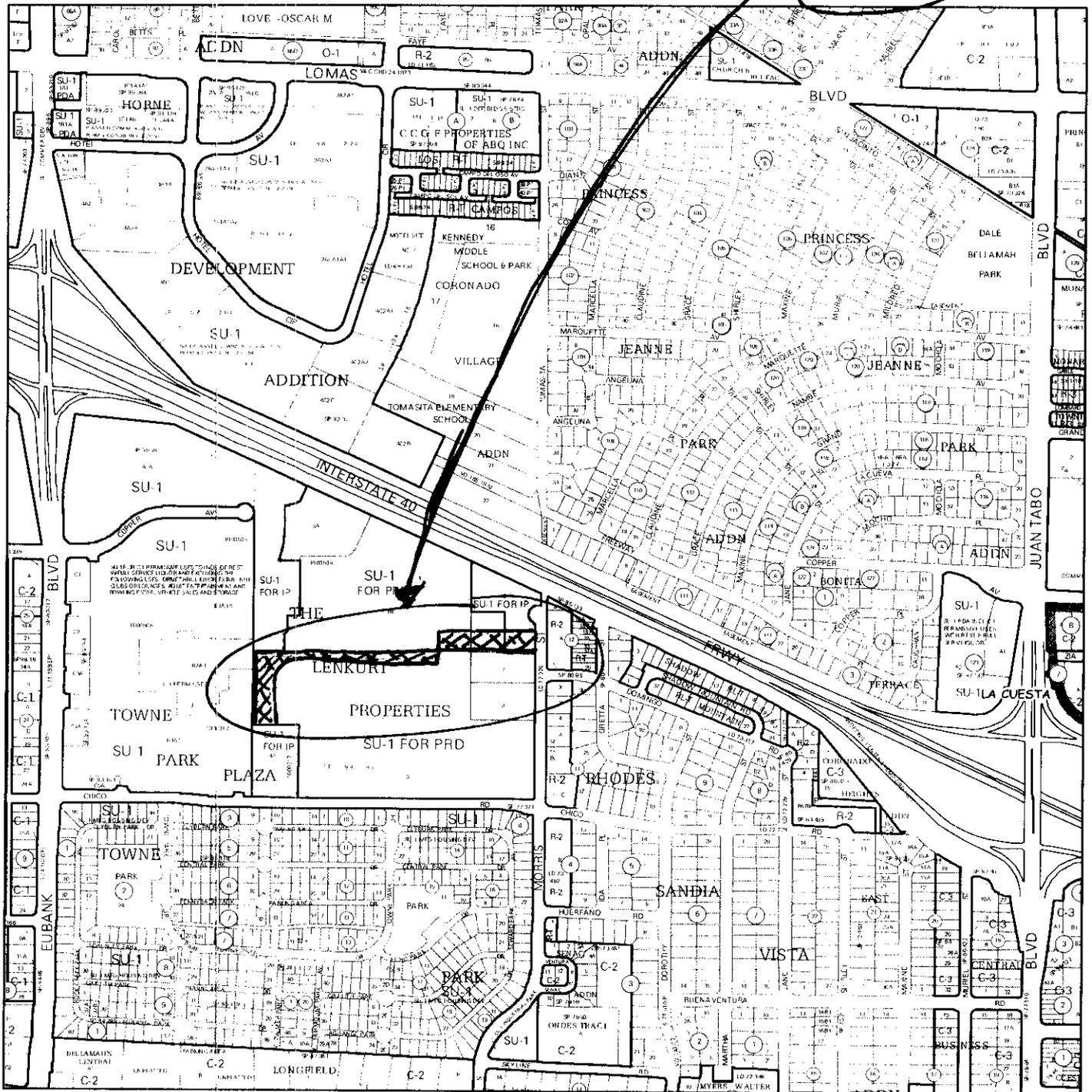
Contact an Air Quality Planner at 788-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

J. McCaughey DATE 9-27-06
APPLICANT

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 7/11/05 Tony Jyd 9-27-06
-FINALIZED 1/1/ TRAFFIC ENGINEER DATE

ZONE MAP AMENDMENT SITE



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 9/5/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-21-Z

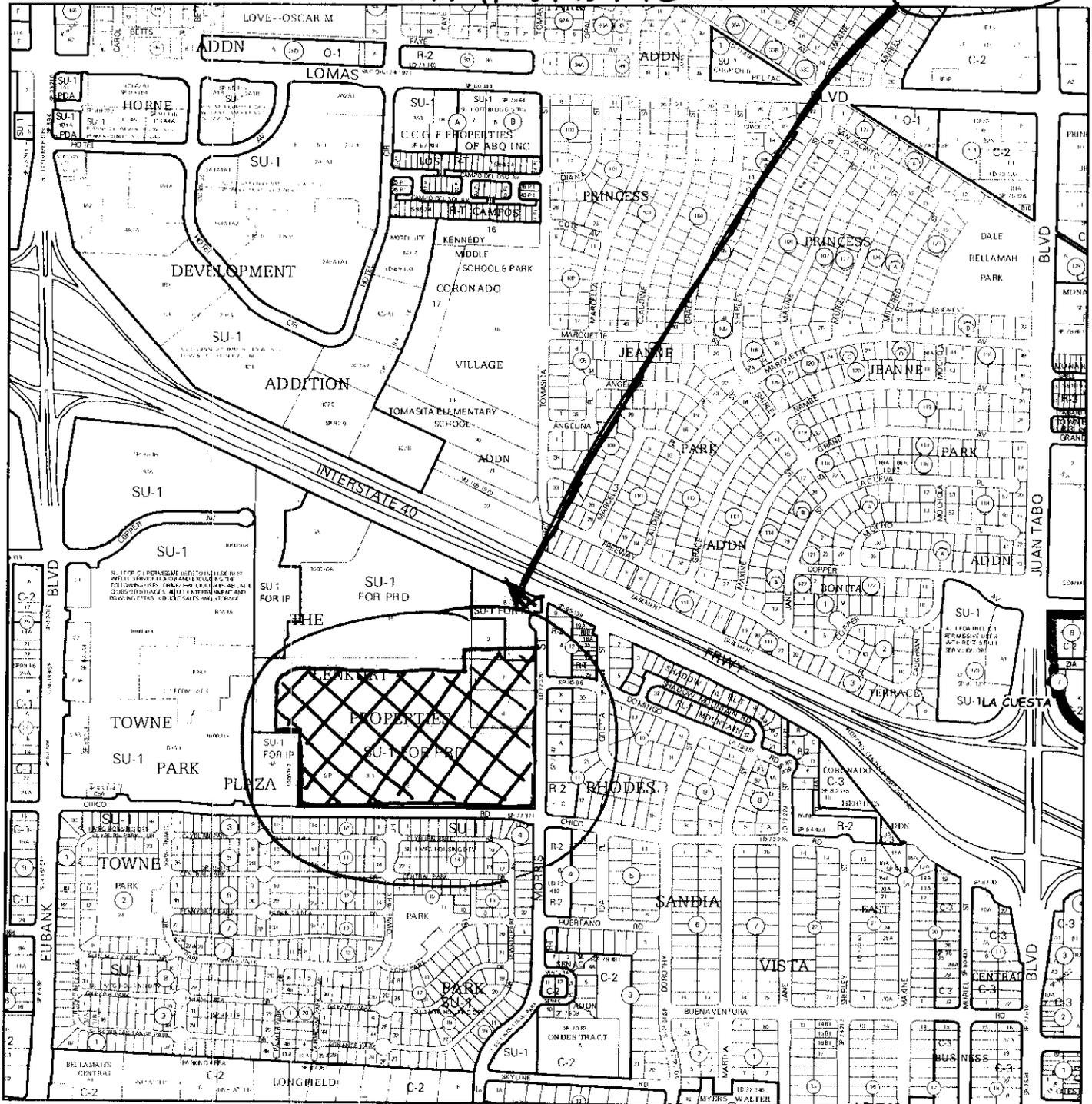
Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

SITE PLAN AMENDMENT

SITE



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 9/5/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-21-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet



October 4, 2006

Jeff Jesionowski, Chairman
Environmental Planning Commission
600 Second Street NW
Albuquerque, NM 87102

Landscape Architecture
Urban Design
Planning Services

Re: *The Presidio (Chico Road @ Morris Street)*
Project # 100572
Zone Map Amendment and Amendment to Site Development Plan for PRD

4714 1/2 Ave. SW
Albuquerque, NM 87105

505-263-0400
505-263-1999
www.consensusplanning.com
www.albuquerqueplanning.com

Dear Chairman Jesionowski:

This request pertains to The Presidio development where the Site Development Plan for PRD was approved by the Environmental Planning Commission (Project #100572/05EPC-01116) on January 19, 2006. The zone map amendment for the development was approved in November, 2005.

This request essentially proposes to complete a land trade with an adjacent property owner. In doing so, it is necessary to apply for a zone map amendment and amend the approved site plan to reflect the changes. The site plan will be adjusted slightly to accomplish the land trade and two individual zone map amendments will be requested as follows:

- A. A zone map amendment from SU-1 IP to SU-1 for PRD (1.02 acres), and
- B. A zone map amendment from SU-1 for PRD to SU-1 for IP (1.65 acres).

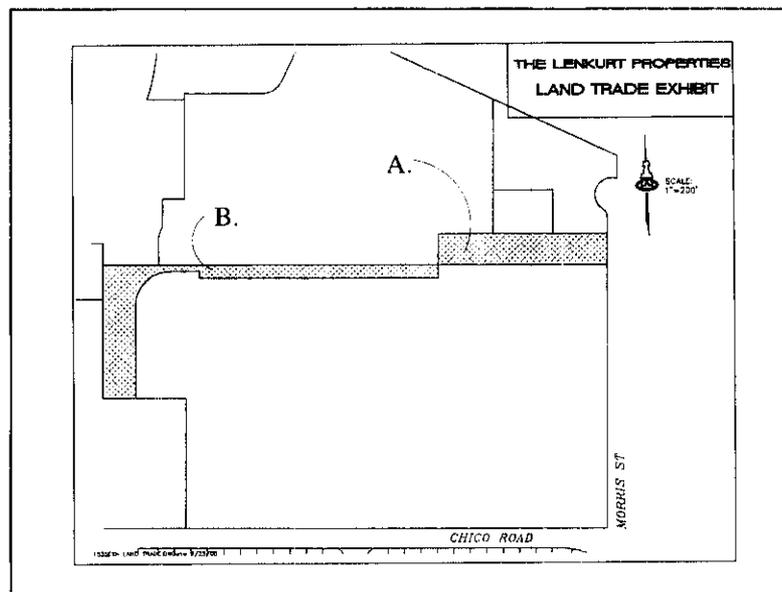


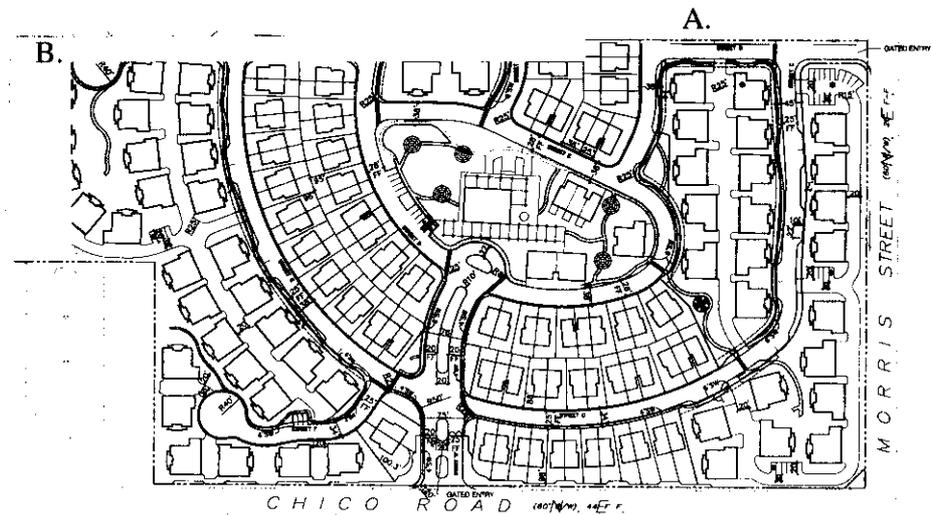
Exhibit Demonstrating Land Swap

Eric D. Hines
Kevin M. Marston, AICP
James E. Stricker, AICP
Christy H. Johnson, AICP

A SCIENTIST
Landscape Architecture

The Site Plan was approved in January, 2006 for 91 townhomes and 165 condominiums, for a total of 256 dwelling units. The site plan now, with the land swap, proposes the same total number of units with 87 townhomes and 169 condominiums.

The root of this request stems from the need to vacate some of the easements within and around the property but to maintain access between Chico Road and the property to the north and also to provide a larger buffer area between the residential and industrial land uses.



EPC Approved Site Development Plan for PRD

1. SITE CHARACTERISTICS AND EXISTING CONDITIONS

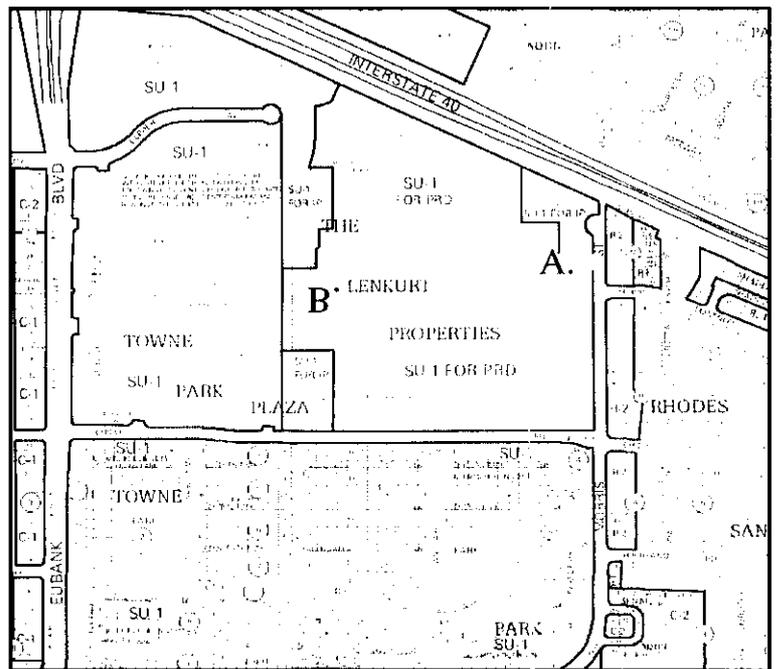
The subject property is currently vacant, along with the remainder of the site. There is a vacant building shell on the property to the north of the subject site. The vacant building once housed the Siemen's factory, which at one point was a thriving employer in the community. The site is surrounded by medium and higher density residential development, and high-intensity commercial development in all four directions. Uses in the area include industrial, commercial, and higher density residential. Interstate 40 is located farther north of the site and is accessed from Chico Road NE. The closest entrance/exit to Interstate 40 is at Eubank Boulevard NE, which is located west of the subject site. The following table provides a summary of the uses surrounding the subject site.



Direction	Zoning	Land Use
North	SU Industrial Park	Proposed Mixed Retail, Office and Industrial Uses
East (Across Morris St. NE)	R-2, R-LT farther to the east	Higher Density Residential Uses within the Rhodes Subdivision
South (Across Chico Road NE)	SU-1 Manufactured Housing Development	Town Park Manufactured Home Community
West	SU-1 for C-1 Permissive Uses*	Commercial Development including a Walmart Super Center and various other shops

*The full zone category description for the western property is SU-1 for C-1 permissive uses to include restaurant with full-service liquor and excluding the following uses: Drive Thru liquor establishment, night club or lounges, adult entertainment and bowling establishment, vehicle sales and storage.

The site is not located within the boundaries of a sector development plan. To note, Albuquerque Ride operates a fixed route service along Eubank Boulevard, with stops located within easy walking distance from the subject site. The Eubank route provides direct access to Kirtland Air Force Base gates.



2. BASIS OF THE ZONE MAP AMENDMENT

This zone map amendment is based on the fact that this request is more beneficial for the community for the reasons listed below:

- The parcels involved with the land swap will maintain access between Chico Road and the property to the north, which is vital to the redevelopment of this property.
- The land uses proposed for the parcels involved with the land swap are more compatible with the proposed use of the adjacent properties.



- The land swap parcels will not negatively affect neighboring properties, since they will only provide adequate access and more buffering .

3. RESPONSE TO RESOLUTION 270-1980

This zone change request is in compliance with Resolution 270-1980 as follows:

- A. *A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the City.*

This zone map amendment is consistent with City policy and will not negatively impact surrounding properties. The land swap will provide access to a neighboring property along with providing a larger buffer between the residential and industrial uses in the area.

- B. *Stability of land use and zoning is desirable; therefore the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the city to show why the change should not be made.*

This zone map amendment request and site plan amendment are both very minor considering the November, 2005, changes that have occurred in the area. The land swap, while not an equal square footage, is close to being so. The number of proposed total units for the residential project did not change.

- C. *A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other City master plans and amendments there, to, including privately developed area plans which have been adopted by the City.*

The proposed zone change is not in significant conflict with existing plans. This request conforms to all City of Albuquerque plans and policies. Since the site is not within the boundaries of a Sector Plan, development of the site is guided by the Albuquerque/Bernalillo County Comprehensive Plan and the Centers Corridors Amendments, as well as Resolution 270-1980.

1. Planned Growth Strategy

O-02-39 (2) stipulates that an Infrastructure and Growth Plan be adopted and incorporate certain principles, including the following:

Section 6(B)(2)(a): Grow efficiently by developing where infrastructure and facilities already exist.



Section 6(B)(2)(g): Prioritize the needs of the older parts of Albuquerque in terms of vitality and development. Encourage infill and redevelopment.

This request would implement both of these principles since it would allow for development in an area that is already served by infrastructure and facilities. It would also represent infill development.

2. Centers and Corridors Amendments to the Comprehensive Plan

The subject site is located within walking distance of Central Avenue, which in that leg of Central is considered to be an enhanced transit corridor (Central Avenue becomes a major transit corridor at Louisiana). Policy C pertains to development located near corridors.

Policy c: In order to add to transit ridership, and where it will not stabilize neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit Corridors.

Although the subject site is not directly located on a Major or Enhanced Transit Corridor, the intersection of Chico and Eubank is approximately two blocks away from the Central Enhanced Transit Corridor. The higher density residential development and mixed use (retail, office, and industrial) development allowed by this zoning request would provide homes, jobs, and other conveniences within easy walking distance of the Corridor.

Eubank itself is a transit route so the site is easily accessible to the Albuquerque Ride bus system. From the Eubank route, a rider has the ability to transfer to other east-west major routes such as the Central route, Lomas route, and Montgomery route. Additionally, the Eubank route provides direct access to the Sandia Science and Technology Park.

3. Albuquerque/Bernalillo Comprehensive Plan

Goals and Policies Relating to the Established Urban Area

The site is located within the Established Urban area as defined by the Comprehensive Plan. Specific goals and policies, which justify this request include:

The Goal is to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers a variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.

Policy e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where integrity of existing neighborhoods can be ensured.

Technique 1) Identify and remove unnecessary obstacles to appropriate infill development.



Any new significant development on the subject site will be site plan controlled, which will ensure that the development will respect the existing neighborhood. The proposed residential use proposed for the site will generate less traffic and air quality impacts than uses that could allow with the current zoning. Additionally, the planned mixed-use development planned to the north of this project will provide convenience to the residents of this residential development along with the residents in the area.

Policy I

Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

The development is site planned controlled and as a part of this request, we are also requesting an amendment to the approved Site Plan for the residential portion of this request. The site plan is creative and reflects quality and innovation.

D. The applicant must demonstrate that the existing zoning is inappropriate because:

- 1. There was an error when the existing zone map pattern was created; or*
- 2. Changed neighborhood or community conditions justify the change; or*

The changed neighborhood condition is the approval of a zone map amendment and site plan for this property. The Notice of Decision for Project #1000572 states that the project is in compliance with specific Comprehensive Plan policies regarding neighborhood values, natural environmental conditions, integrity of neighborhoods, design innovation and area appropriateness.

Additionally, the redevelopment of the property to the north into a mixed-use commercial development (planned retail, office, and industrial uses) provides the basis for a changed neighborhood condition. That property currently is vacant with a large, abandoned building on it. It is an eyesore for neighboring residents. Redeveloping this property and having adequate access, which will be accomplished through this land swap, is crucial to the redevelopment of this property and important to the community.

D3. A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other city master plan, even though (D)(1) or (D)(2) above do not apply.

The EPC has already determined that residential uses are appropriate for this area, along with a mix of IP uses. A zone map amendment was approved by the Commission in November, 2005, along with the Site Plan being approved in January, 2006. Through this action, it is clear that this mix of zoning and development is clearly more advantageous to the community.

- E. *A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood, or the community.*

Any new significant development on the subject site will be site plan controlled, which will ensure that the development will respect the existing neighborhood. The proposed residential use proposed for the site will generate less traffic and air quality impacts than uses that could allow with the current zoning. Additionally, the planned mixed-use development planned to the north of this project will provide convenience to the residents of this residential development along with the residents in the area.

- F. *A proposed zone change which, to be utilized through land development, requires major and unprogrammed capital expenditures by the city may be:*
- 1. Denied due to lack of capital funds; or*
 - 2. Granted with the implicit understanding that the city is not bound to provide the capital improvements on any special schedule.*

The proposed zone change does not require additional capital expenditure by the City. The property is adjacent to fully developed rights-of-way and the site is already served by existing utilities, therefore no capital spending is required to accommodate new development.

- G. *The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone.*

This justification shows that the proposed zone change is warranted by consistency with the City's Comprehensive Plan, land use compatibility, and good planning practices, without regard to economic considerations.

- H. *Location on a collector or major street is not in itself sufficient justification for apartment, office, or commercial zoning.*

Although the subject site is not directly located on a Major or Enhanced Transit Corridor, the intersection of Chico and Eubank is approximately two blocks away from the Central Enhanced Transit Corridor. The higher density residential development and mixed use (retail, office, and industrial) development allowed by this zoning request would provide homes and other conveniences within easy walking distance of the Corridor.

- I. *A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when:*
- 1. The change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan; or*

2. *The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises makes the site unsuitable for the uses allowed in any adjacent zone.*

There are a variety of residential and non-residential uses in the area and this zone change would not function as a spot zone. A portion of this request will be incorporated into a larger residential property that has received EPC approval. The non-residential portion of this request will hold similar zoning and proposed use as the other properties to the north of these.

- J. *A zone change request which would give a zone different from surrounding zoning to a strip of land along a street is generally called "strip zoning." Strip commercial zoning will be approved only where:*
 1. *The change will clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area development plan; and*
 2. *The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.*

There are a variety of residential and non-residential uses in the area and this zone change would not function as a spot zone. A portion of this request will be incorporated into a larger residential property that has received EPC approval. The non-residential portion of this request will hold similar zoning and proposed uses as the adjacent property to the north of these.

4. CONCLUSION

- The site is located at the northwest corner of the intersection of Chico and Morris Rd. NE.
- The properties are currently zoned SU-1 for PRD and SU-1 for IP. The EPC has approved a zone map amendment and a Site Plan for PRD recently for the property.
- A portion of this proposed zone change would allow the development of multi-family residential units (along with a larger, pre-approved residential development), which would be constructed by a reputable builder, active in the community.
- The proposed mixed-use for the area complies with City of Albuquerque plans and policies. The proposed Presidio development will provide high-density residential units. The parcels involved with this land swap will partially provide adequate access to the property to the north that is planned for a non-residential mixed-used development.



- The basis of this zone map amendment is that the proposed use would be better for the community for the following reasons:
 - The project will be site plan controlled, with the City Planning Department having greater control in the design of the project;
 - Development of the site represents infill development and is served by existing utilities and infrastructure. Furthermore, the site is located within the 1960 City of Albuquerque municipal boundaries;
 - The site is located close to the Albuquerque Ride Eubank route, which provides direct access to Kirtland Air Force Base.

Relevant policies have been presented in support of the project from the Albuquerque/Bernalillo County Comprehensive Plan and Resolution 270-1980. For these reasons, the requested zone change to swap parcels as previously described is justified and appropriate. We respectfully request that the Environmental Planning Commission approve the request for this zone map amendment.

Sincerely,



James K. Strozier, AICP
Principal

c: Lisa Donoghue, Centex Homes, LLC



October 5, 2006

Jeff Jesionowski, Chairman
Environmental Planning Commission
600 Second Street NW
Albuquerque, NM 87102

RE: Zone Map Amendment and Amendment to Site Plan for PRD

Dear Chairman Jesionowski:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as our agent on this request for Zone Map Amendment and amendment to the approved Site Plan for PRD for portions of Lots 2, 3, and 6 of the Plat of the Lenkurt Properties. The property is a smaller portion of the larger approved development located at Chico/Morris.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert C. Prewitt".

Robert C. Prewitt
Vice President
Centex Homes – New Mexico

Livable from day one.

WWW.CENTEXHOMES.COM

7601 Jefferson NE, Suite 320 | Albuquerque, NM 87109 | Phone 505.761.9606 | Fax 505.761.9850



M W Development, LLC

501 Third Street SW
Albuquerque, NM 87102



PHONE: (505) 248-1688

E-Mail: waterman@watermaninc.net

FAX: (505) 248-1705

September 25, 2006

Jeff Jesionowski, Chairman
Environmental Planning Commission
600 Second Street NW
Albuquerque, NM 87102

RE: Zone Map Amendment and Amendment to Site Plan for PRD

Dear Chairman Jesionowski:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as our agent on this request for Zone Map Amendment and amendment to the approved Site Plan for PRD for portions of Lots 2, 3, and 6 of the Plat of the Lenkurt Properties. The property is a smaller portion of the larger approved development located at Chico/Morris.

Sincerely,

A handwritten signature in black ink that reads "Ted A. Waterman". The signature is written in a cursive style and is positioned above the typed name.

Ted A. Waterman, Managing Member
M W Development LLC, a New Mexico Limited Liability Company

THE LENKURT PROPERTIES

LAND TRADE EXHIBIT

SCALE:
1" = 200'



PARCEL FROM WATERMAN TO CENTEX HOMES EXISTING SU-1 IP PROPOSED SU-1 PRD (A)

PARCEL FROM WATERMAN TO CENTEX HOMES EXISTING SU-1 IP PROPOSED SU-1 PRD (B)

Lot 1B

1.65 acres

Lot 6

Lot 2

1.02 acres

Lot 3

Lot 4A
TownBank
Plaza

MORRIS ST

CHICO ROAD

13362H LAND TRADING/10/30/08

LOT 5-1
TRUST PLAT FILED
IN PUBLIC RECORDS
ON 10/20/08

TRACT 8-1A-1
TRUST PLAT FILED
IN PUBLIC RECORDS
ON 10/20/08

TRACT 8-1A-1
TRUST PLAT FILED
IN PUBLIC RECORDS
ON 10/20/08

TRACT 8-2A-1
TRUST PLAT FILED
IN PUBLIC RECORDS
ON 10/20/08

LOT 4A
TRUST PLAT FILED
IN PUBLIC RECORDS
ON 10/20/08

THE LENKURT PROPERTIES

LAND TRADE EXHIBIT

SCALE: 1"=200'



PARCEL FROM WATERMAN TO CENTEX HOMES EXISTING SU-1 IP PROPOSED SU-1 PRD (A)

PARCEL FROM WATERMAN TO CENTEX HOMES EXISTING SU-1 IP PROPOSED SU-1 PRD (B)

Lot 7B

Lot 2

Lot 6

1.65 acres

1.02 acres

Lot 3

Lot 4A
TowneBank
Plaza

MORRIS ST

MORRIS ST

CHICO ROAD

CHICO ROAD NE (S&W)

THE LENKURT PROPERTIES
1535E01 LAND TRADE WGNW 10/30/06

LOT 1-A
THE LENKURT PROPERTIES
1535E01 LAND TRADE WGNW 10/30/06

LOT 4A
TOWNEBANK PLAZA
1535E01 LAND TRADE WGNW 10/30/06

LOT 2
THE LENKURT PROPERTIES
1535E01 LAND TRADE WGNW 10/30/06

LOT 6
THE LENKURT PROPERTIES
1535E01 LAND TRADE WGNW 10/30/06

Date: October 18, 2006

To: Jim Strozier & Lani McC Carson, Consensus Planning
From: Catalina Lehner, COA Planning Dept.
RE: Project # 1000572, The Presidio Land Swap

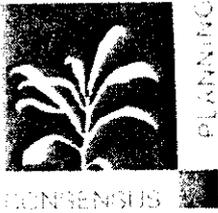
I have reviewed the proposed zone map amendment and site plan for subdivision amendment for Project # 1000572. I have some questions about the proposal and am requesting some additional information. Please provide me with written responses to the following (and a revised exhibit) no later than Friday, October 27, 2006:

Land Swap/Zoning:

1. Explain why it is necessary to change zoning on the affected pieces of land in order to do the land swap. Why can't the parties just make an agreement among themselves?
2. Please re-do the "Land Trade Exhibit". Current and proposed zoning needs to be indicated on it.
3. Seems to me that the zone change area for A could be smaller. Tract 1B and Tract 2 are already zoned SU-1 or PRD, so just the southern portion of Lot 6 (zoned SU-1 for IP) needs to be rezoned to SU-1 for PRD. This would be less than 1.02 acres.
4. Whose idea was the land swap?
5. What is planned for the parcel to the north and what are the timeframes? I know the Watermans bought it from BLI.
6. How do you know these proposed uses will not be harmful to future Presidio residents?
7. Which easements, exactly, are going to be vacated? Will they be vacated at DRB after the EPC process?
8. Has the owner of the parking area on the southwest corner agreed to creating this access to the parcel to the north?

Site Plan for Subdivision Amendment

1. Explain exactly how the site plan will be reconfigured. Looks like some units have been moved. What types of units and how many? What is the net loss or gain and what are the new totals of each type of unit?
2. Are any changes to the design standards proposed? If so, please bubble them out.
3. One of the reasons for the land swap is to create a buffer. The new units on the subject site's NE corner don't have a buffer. Please clarify.



October 31, 2006

Catalina Lehner
Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Project #1000572 - The Presidio Land Swap

Dear Catalina:

The purpose of this letter is to explain how we have addressed your comments and question for Project #1000572; The Presidio Land Swap.

Each comment or question is listed below, as well as the response to address them:

1. **Explain why it is necessary to change zoning on the affected pieces of land in order to do the land swap. Why can't the parties just make an agreement among themselves?**

In order to incorporate the swapped land into each of the development plans, a zone change is required. There are four reasons for the land swap that include: parking access and truck turn around; truck entry; units on new tract; and added buffer to the west.

2. **Please re-do the "Land Trade Exhibit". Current and proposed zoning needs to be indicated on it.**

There will be two separate hatch areas on the exhibit, identifying each zone designation and labeling the existing and proposed zoning for each area.

3. **Seems to me that the zone change area for A could be smaller. Tract 1B and Tract 2 are already zoned SU-1 or PRD, so just the southern portion of Lot 6 (zoned SU-1 for IP) needs to be rezoned to SU-1 for PRD. This would be less than 1.02 acres.**

Per our conversation, Catalina will coordinate with AGIS staff to correct the Zoning Map.

4. Whose idea was the land swap?

Ted Waterman, property owner for the northern portion, initiated the discussion and all affected parties agreed to cooperate.

5. What is planned for the parcel to the north and what are the timeframes? I know the Watermans bought it from BLI.

Land uses for the subject parcel include Mixed Use, Office-Retail and Light Industrial as permitted in the SU-1 for IP Zone.

6. How do you know these proposed uses will not be harmful to future Presidio residents?

As noted previously, the land swap and zone change will allow for increase buffer on the south edge of the IP land. The increased buffer will be added to the rear of the SU-IP property.

7. Which easements, exactly, are going to be vacated? Will they be vacated at DRB after the EPC process?

There is a plat pending and there are two sheets of exhibits showing the vacations. An existing document between parties has already been filed that vacates the easement. Isaacson & Arfman will provide copy of the plat, under separate cover.

8. Has the owner of the parking area on the southwest corner agreed to creating this access to the parcel to the north?

The amended site plan proposes to close off the residential access to the west.

Site Plan for Subdivision Amendment

1. Explain exactly how the site plan will be reconfigured. Looks like some units have been moved. What types of units and how many? What is the net loss or gain and what are the new totals of each type of unit?

Site plan changes were reviewed at the meeting.

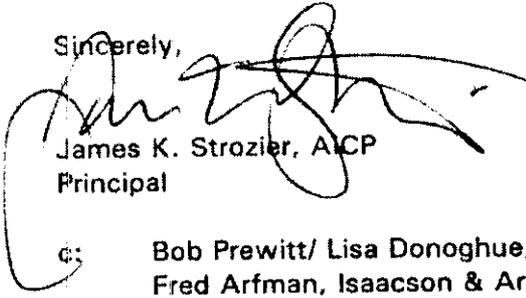
2. Are any changes to the design standards proposed? If so, please bubble them out.

No changes have been proposed to the design standards.

3. One of the reasons for the land swap is to create a buffer. The new units on the subject site's NE corner don't have a buffer. Please clarify.

There will be no truck access to this area, it is proposed to be more retail in character, and they have none on the IP site to provide the required landscape buffer.

Sincerely,



James K. Strozier, AICP
Principal

c: Bob Prewitt/ Lisa Donoghue, Centex Homes
Fred Arfman, Isaacson & Arfman



Landscape Architecture
Urban Design
Planning Services

502 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

October 4, 2006

L. Scott Varner
Towne Park Neighborhood Association
10824 Pennyback NE
Albuquerque, NM 87123

Jeanne Hamrick
Towne Park Neighborhood Association
10500 Schenley NE
Albuquerque, NM 87123

RE: The Presidio

Dear Mr. Varner and Ms. Hamrick:

The purpose of the letter is to let you and the members of your neighborhood association know that Consensus Planning has submitted a request for Zone Map Amendment and an amendment to the approved Site Plan for Planned Residential Development (PRD) for the development known as The Presidio, which is located at the northwest corner of the intersection of Chico Road and Morris Street.

This request pertains to The Presidio development where the Site Development Plan for PRD was approved by the Environmental Planning Commission (Project #100572/05EPC-01116) on January 19, 2006. The zone map amendment for the development was approved in November, 2005.

This request essentially proposes to complete a land trade with an adjacent property owner. In doing so, it is necessary to apply for a zone map amendment and amend the approved site plan to reflect the changes. The site plan will be adjusted slightly to accomplish the land trade and two individual zone map amendments will be requested as follows:

- A. A zone map amendment from SU-1 IP to SU-1 for PRD (1.02 acres), and
- B. A zone map amendment from SU-1 for PRD to SU-1 for IP (1.65 acres).

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strotzer, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP

The previous Site Development Plan for PRD, as you are aware, was approved in January, 2006 for 91 townhomes and 165 condominiums, for a total of 256 dwelling units. The site plan now, with the land swap,



PLANNING

CONSENSUS

proposes the same total number of units with 87 townhomes and 169 condominiums.

The proposed mixed-use for the area complies with City of Albuquerque plans and policies. The proposed Presidio development will provide high-density residential units. The parcels involved with this land swap will provide access to the property to the north that is planned for a non-residential mixed-used development and will provide for a better buffer between the two projects.

The basis of this zone map amendment is that the proposed use would be better for the community for the following reasons:

- The project will be site plan controlled, with the City Planning Department having greater control in the design of the project;
- Development of the site represents infill development and is served by existing utilities and infrastructure and the site is located within the 1960 City of Albuquerque municipal boundaries;
- The site is located close to the Albuquerque Ride Eubank route, which provides direct access to Kirtland Air Force Base.

Additionally, relevant policies have been presented in support of the project from the Albuquerque/Bernalillo County Comprehensive Plan and Resolution 270-1980. Please feel free to contact me or my staff with any questions, comments, or a time to meet and discuss this case further at 764-9801.

Sincerely,

James K. Strozier, AICP
Principal

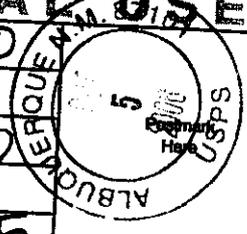
7004 1350 0000 0962 8672

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$4.20
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$8.45



Sent To: Ranne Hamrick
 Street, Apt. No., or PO Box No.: 10500 SHERIDAN NE
 City, State, ZIP+4: ALB NM 87123

PS Form 3800, June 2002 See Reverse for Instructions

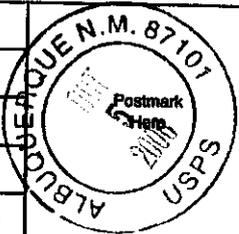
7004 1350 0000 0962 8865

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

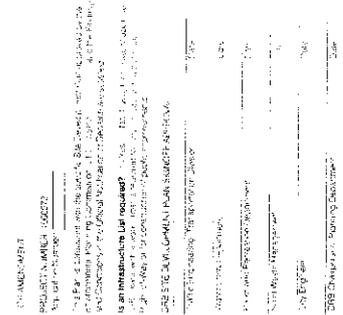
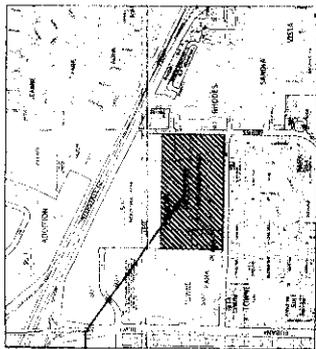
Postage	\$4.20
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$8.45



Sent To: L. Scott Vanner
 Street, Apt. No., or PO Box No.: 10824 PENNINGTON NE
 City, State, ZIP+4: ALB NM 87123

PS Form 3800, June 2002 See Reverse for Instructions

SITE VICINITY



ARGUELLO TRAIL NE
Handicap Parking Area Enlargement
Scale: 1" = 10'

Entry Monument Elevation
Scale: 1" = 10'

THE PRESIDIO
Scale: 1" = 10'

UNIT 1
Scale: 1" = 10'

UNIT 2
Scale: 1" = 10'

UNIT 3
Scale: 1" = 10'

UNIT 4
Scale: 1" = 10'

UNIT 5
Scale: 1" = 10'

UNIT 6
Scale: 1" = 10'

UNIT 7
Scale: 1" = 10'

UNIT 8
Scale: 1" = 10'

UNIT 9
Scale: 1" = 10'

UNIT 10
Scale: 1" = 10'

UNIT 11
Scale: 1" = 10'

UNIT 12
Scale: 1" = 10'

UNIT 13
Scale: 1" = 10'

UNIT 14
Scale: 1" = 10'

UNIT 15
Scale: 1" = 10'

UNIT 16
Scale: 1" = 10'

UNIT 17
Scale: 1" = 10'

UNIT 18
Scale: 1" = 10'

UNIT 19
Scale: 1" = 10'

UNIT 20
Scale: 1" = 10'

UNIT 21
Scale: 1" = 10'

UNIT 22
Scale: 1" = 10'

UNIT 23
Scale: 1" = 10'

UNIT 24
Scale: 1" = 10'

UNIT 25
Scale: 1" = 10'

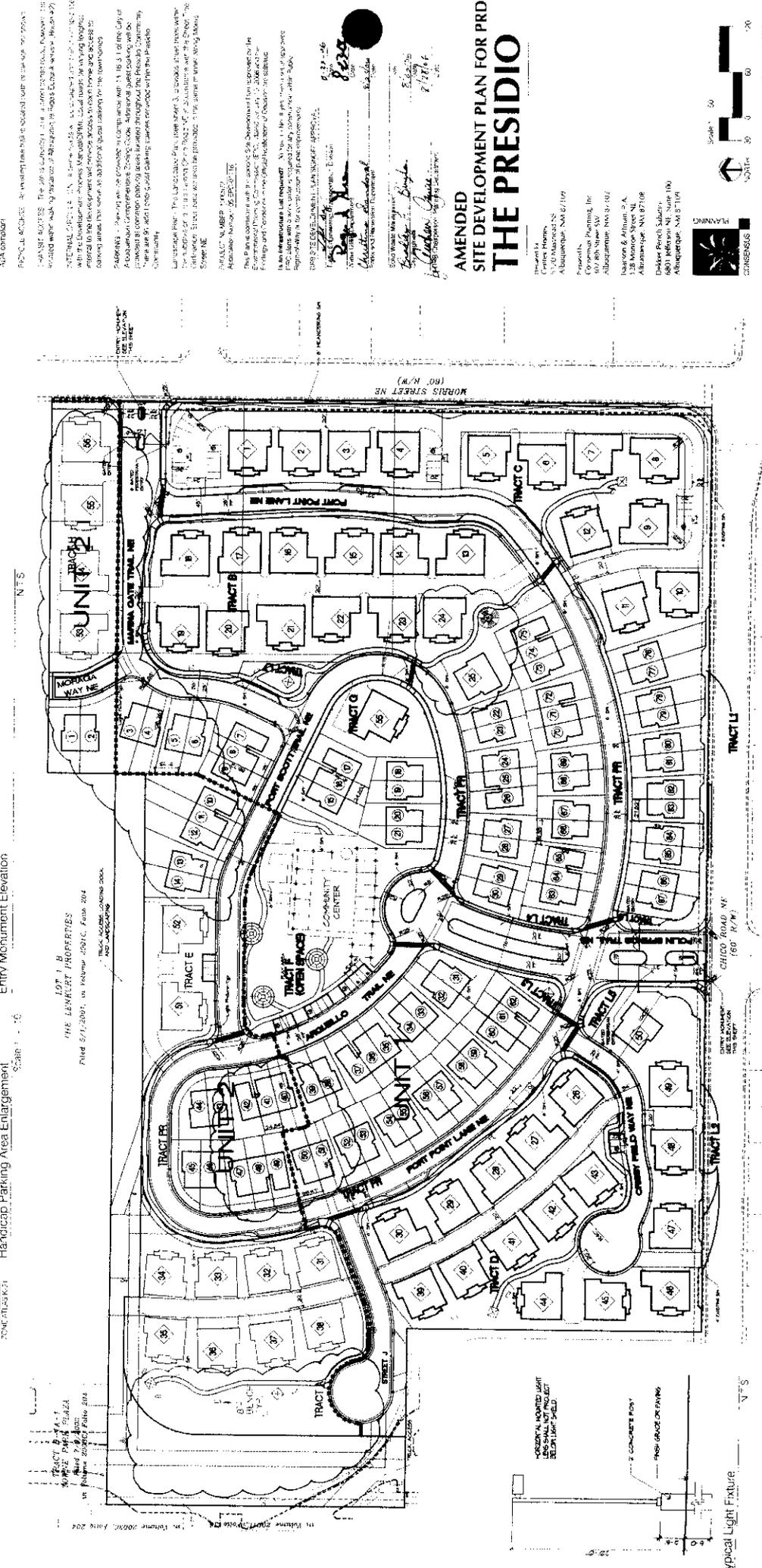
UNIT 26
Scale: 1" = 10'

UNIT 27
Scale: 1" = 10'

UNIT 28
Scale: 1" = 10'

UNIT 29
Scale: 1" = 10'

UNIT 30
Scale: 1" = 10'



Site Information:
1. This site is located at the intersection of Morris Street NE and Arguello Trail NE, Albuquerque, NM 87104.
2. The site is currently zoned R-1 (Residential Single-Family).
3. The proposed development consists of 30 units and a community center.
4. The site is bounded by Morris Street NE to the north, Arguello Trail NE to the east, and Chelsea Road NE to the south.
5. The site is adjacent to the existing 'The Presidio' development to the west.

PRELIMINARY DEVELOPMENT PLAN:
1. The proposed development consists of 30 units and a community center.
2. The units are arranged in a U-shape around a central courtyard.
3. The community center is located at the corner of Arguello Trail NE and Chelsea Road NE.
4. The site includes a parking area for 30 vehicles.
5. The site is landscaped with trees and shrubs.

CONSENT TO DEVELOP:
1. The City of Albuquerque has approved the proposed development plan.
2. The City of Albuquerque has approved the proposed site plan.
3. The City of Albuquerque has approved the proposed landscaping plan.
4. The City of Albuquerque has approved the proposed parking plan.
5. The City of Albuquerque has approved the proposed site information.

APPROVED:
City of Albuquerque
Mayor: [Signature]
City Manager: [Signature]

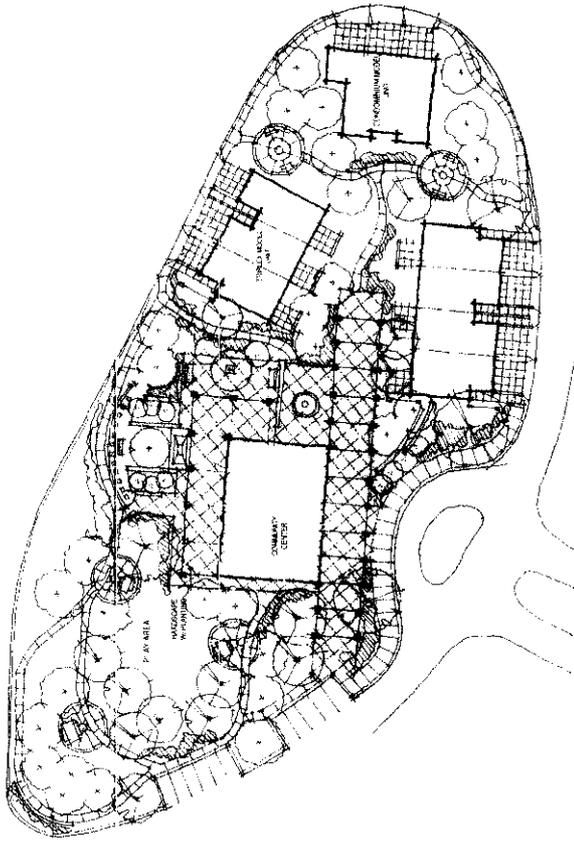
AMENDED SITE DEVELOPMENT PLAN FOR PRD THE PRESIDIO

Project No. 2006-0001
1000 1st Street NE
Albuquerque, NM 87104

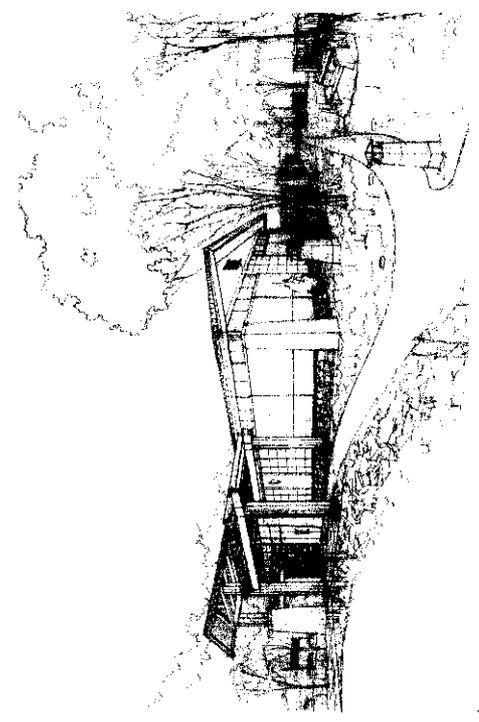
Prepared by:
[Signature]
[Signature]
[Signature]

Scale: 1" = 10'

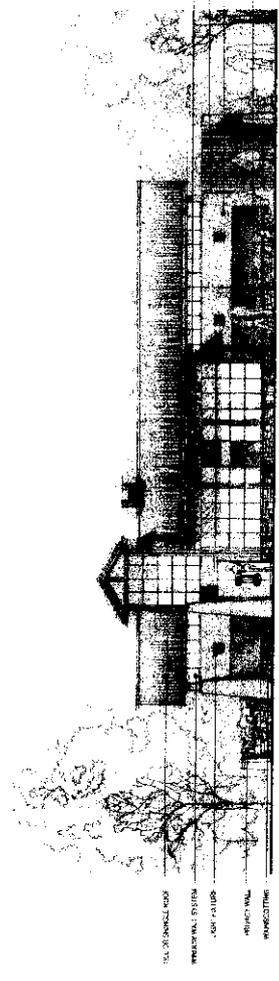
October 19, 2006
Sheet 1 of 11



THE PRESIDIO COMMUNITY CENTER AND MODEL HOME PARK
SITE PLAN

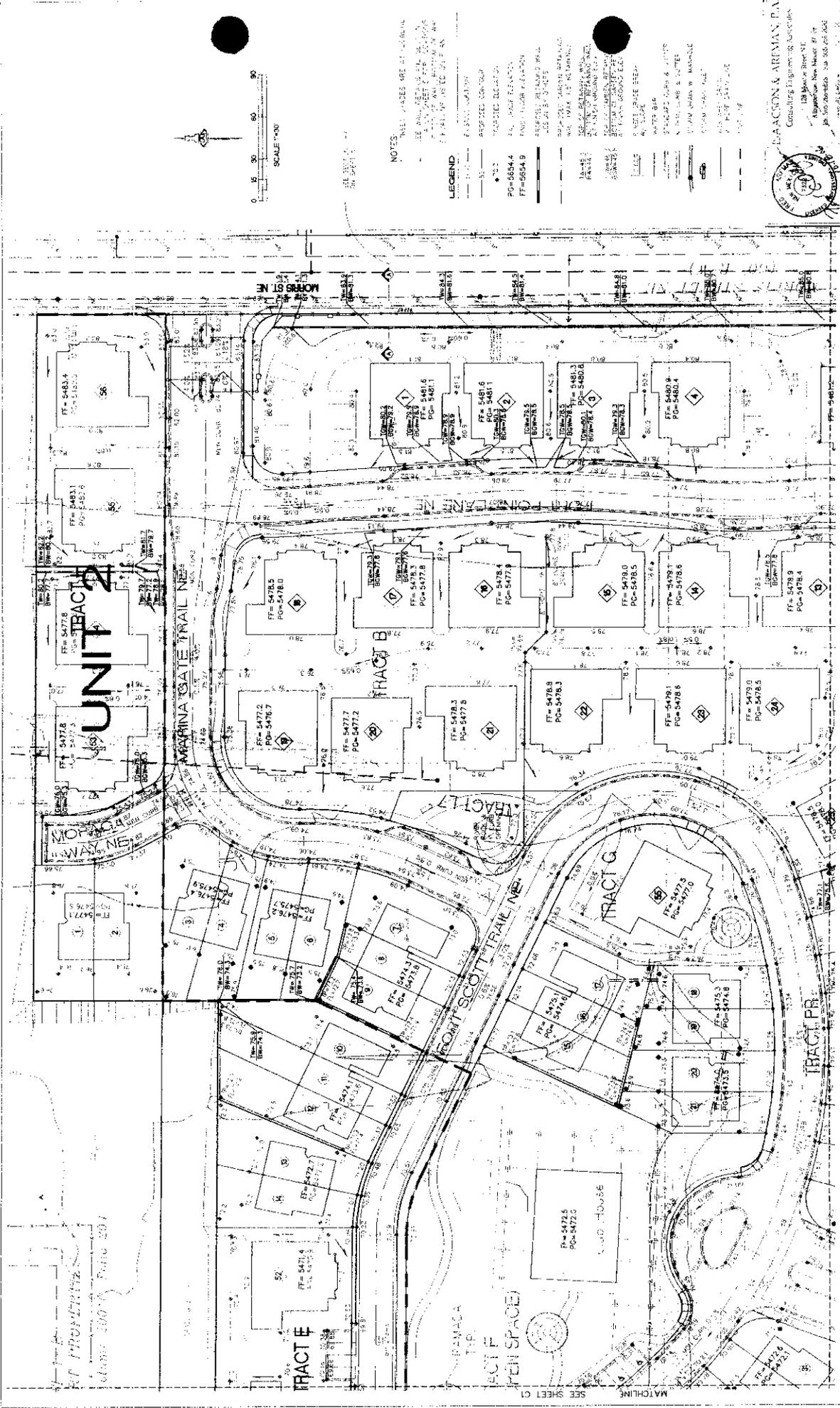


THE PRESIDIO COMMUNITY CENTER
CONCEPTUAL ELEVATION



THE PRESIDIO COMMUNITY CENTER
CONCEPTUAL ELEVATION

SCALE: 1/8" = 1'-0"
POLYLINE WEIGHT: 0.001
LAYER: 001 - 001
EXTERNAL STITCHING:
DATE: 10/10/00



NOTES: ALL DIMENSIONS ARE IN FEET AND INCHES.
 SEE SHEET 3 FOR TRACTS A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

LEGEND

- FF= FINISH FLOOR ELEVATION
- PG= PROPOSED GRADE
- BM= BENCHMARK
- 1= 1" = 1' SCALE
- 2= 2" = 1' SCALE
- 3= 3" = 1' SCALE
- 4= 4" = 1' SCALE
- 5= 5" = 1' SCALE
- 6= 6" = 1' SCALE
- 7= 7" = 1' SCALE
- 8= 8" = 1' SCALE
- 9= 9" = 1' SCALE
- 10= 10" = 1' SCALE
- 11= 11" = 1' SCALE
- 12= 12" = 1' SCALE
- 13= 13" = 1' SCALE
- 14= 14" = 1' SCALE
- 15= 15" = 1' SCALE
- 16= 16" = 1' SCALE
- 17= 17" = 1' SCALE
- 18= 18" = 1' SCALE
- 19= 19" = 1' SCALE
- 20= 20" = 1' SCALE
- 21= 21" = 1' SCALE
- 22= 22" = 1' SCALE
- 23= 23" = 1' SCALE
- 24= 24" = 1' SCALE
- 25= 25" = 1' SCALE
- 26= 26" = 1' SCALE
- 27= 27" = 1' SCALE
- 28= 28" = 1' SCALE
- 29= 29" = 1' SCALE
- 30= 30" = 1' SCALE
- 31= 31" = 1' SCALE
- 32= 32" = 1' SCALE
- 33= 33" = 1' SCALE
- 34= 34" = 1' SCALE
- 35= 35" = 1' SCALE
- 36= 36" = 1' SCALE
- 37= 37" = 1' SCALE
- 38= 38" = 1' SCALE
- 39= 39" = 1' SCALE
- 40= 40" = 1' SCALE
- 41= 41" = 1' SCALE
- 42= 42" = 1' SCALE
- 43= 43" = 1' SCALE
- 44= 44" = 1' SCALE
- 45= 45" = 1' SCALE
- 46= 46" = 1' SCALE
- 47= 47" = 1' SCALE
- 48= 48" = 1' SCALE
- 49= 49" = 1' SCALE
- 50= 50" = 1' SCALE
- 51= 51" = 1' SCALE
- 52= 52" = 1' SCALE
- 53= 53" = 1' SCALE
- 54= 54" = 1' SCALE
- 55= 55" = 1' SCALE
- 56= 56" = 1' SCALE
- 57= 57" = 1' SCALE
- 58= 58" = 1' SCALE
- 59= 59" = 1' SCALE
- 60= 60" = 1' SCALE
- 61= 61" = 1' SCALE
- 62= 62" = 1' SCALE
- 63= 63" = 1' SCALE
- 64= 64" = 1' SCALE
- 65= 65" = 1' SCALE
- 66= 66" = 1' SCALE
- 67= 67" = 1' SCALE
- 68= 68" = 1' SCALE
- 69= 69" = 1' SCALE
- 70= 70" = 1' SCALE
- 71= 71" = 1' SCALE
- 72= 72" = 1' SCALE
- 73= 73" = 1' SCALE
- 74= 74" = 1' SCALE
- 75= 75" = 1' SCALE
- 76= 76" = 1' SCALE
- 77= 77" = 1' SCALE
- 78= 78" = 1' SCALE
- 79= 79" = 1' SCALE
- 80= 80" = 1' SCALE
- 81= 81" = 1' SCALE
- 82= 82" = 1' SCALE
- 83= 83" = 1' SCALE
- 84= 84" = 1' SCALE
- 85= 85" = 1' SCALE
- 86= 86" = 1' SCALE
- 87= 87" = 1' SCALE
- 88= 88" = 1' SCALE
- 89= 89" = 1' SCALE
- 90= 90" = 1' SCALE



J. J. JACKSON & ARFMAN, P.A.
 Consulting Engineers, Architects
 1234 Main Street, Suite 500
 Alhambra, California 91801
 Phone: (626) 286-1234
 Fax: (626) 286-5678
 www.jja.com

**CENTEX HOMES
 PRESIDIO**
**MORRO STREET AND CHICO STREET
 GRADING & DRAINAGE PLAN**

Scale: 1" = 10' (as shown)
 Date: 02/21/2018
 Project No: 18-001

PRELIMINARY
FOR CONSTRUCTION
FOR REVIEW ONLY
DATE: 08/21/2014



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

UTILITY MASTER PLAN

TITLE

PREPARED BY

DATE

SCALE

PROJECT NO.

PROJECT NAME

PROJECT LOCATION

PROJECT STATUS

PROJECT OWNER

PROJECT DESCRIPTION

PROJECT CONTACT

PROJECT ADDRESS

PROJECT CITY

PROJECT STATE

PROJECT ZIP

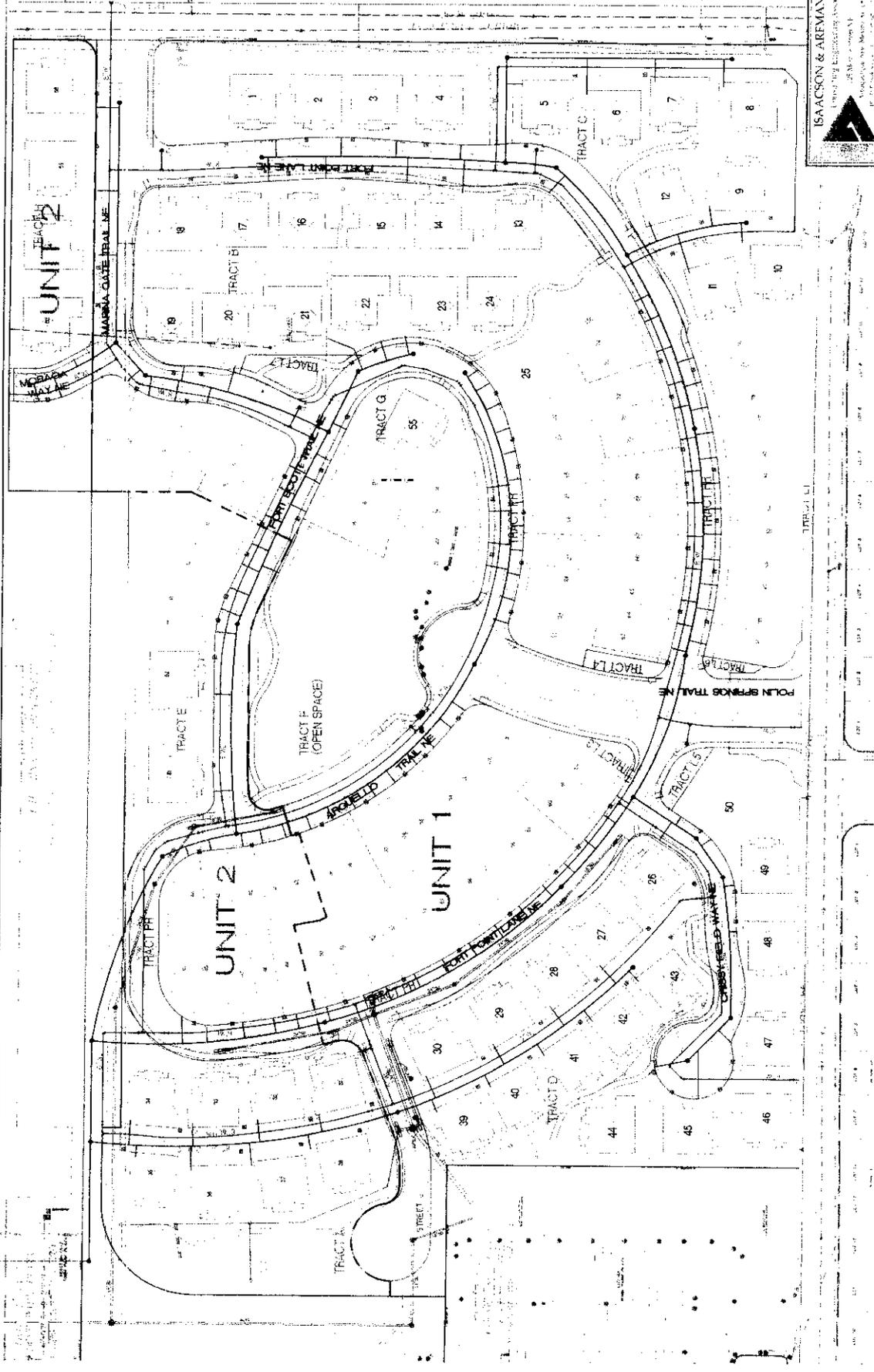
PROJECT COUNTY

PROJECT DISTRICT

PROJECT WARD

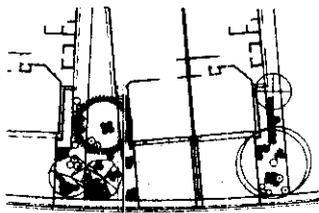
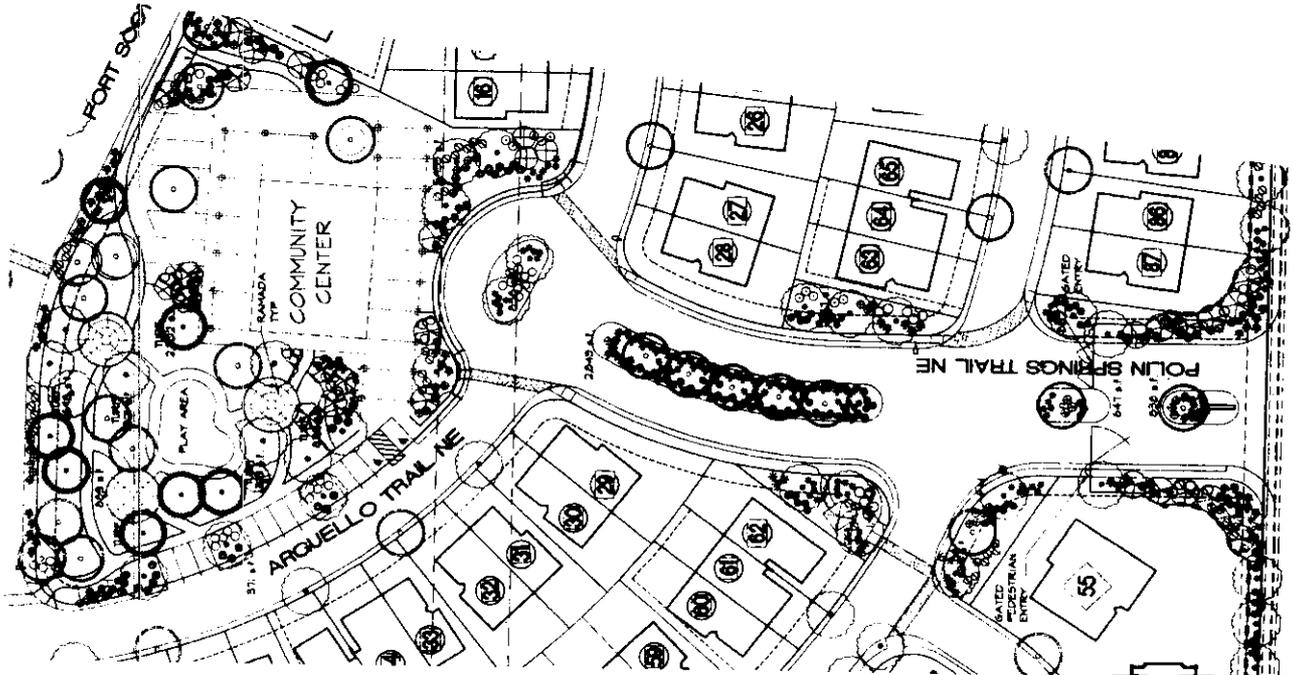
PROJECT NEIGHBORHOOD

PROJECT SUBDIVISION



LEGEND

- 1" = 100' WATER MAIN
- 1" = 100' SEWER MAIN
- 1" = 100' GAS MAIN
- 1" = 100' ELECTRIC MAIN
- 1" = 100' WATER SERVICE LINE
- 1" = 100' SEWER SERVICE LINE
- 1" = 100' GAS SERVICE LINE
- 1" = 100' ELECTRIC SERVICE LINE
- 1" = 100' WATER VALVE
- 1" = 100' SEWER VALVE
- 1" = 100' GAS VALVE
- 1" = 100' ELECTRIC VALVE
- 1" = 100' WATER METER
- 1" = 100' SEWER METER
- 1" = 100' GAS METER
- 1" = 100' ELECTRIC METER
- 1" = 100' WATER TAP
- 1" = 100' SEWER TAP
- 1" = 100' GAS TAP
- 1" = 100' ELECTRIC TAP
- 1" = 100' WATER MAIN CROSSING
- 1" = 100' SEWER MAIN CROSSING
- 1" = 100' GAS MAIN CROSSING
- 1" = 100' ELECTRIC MAIN CROSSING
- 1" = 100' WATER MAIN CROSSING
- 1" = 100' SEWER MAIN CROSSING
- 1" = 100' GAS MAIN CROSSING
- 1" = 100' ELECTRIC MAIN CROSSING

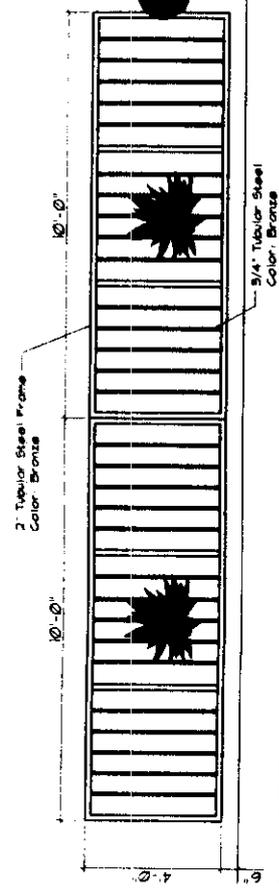


TYPICAL FRONT YARD LANDSCAPE
Scale 1" = 10'

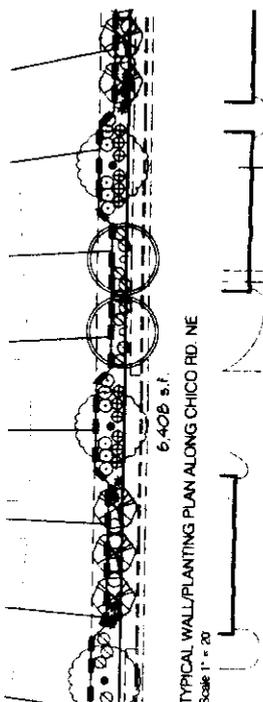
MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR THE PRESIDIO COMMUNITY CENTER
The following requirements for front yard landscaping are in addition to the street line requirements in the District Standards. Home owners have the following 2 options based on the District Standards. Home plant palette will be developed for each option.

- 1. Street Trees
- 2. Accent Tree
- 3. Shrubs (min. 5 gallon)
- 4. Ornamental Grasses
- 5. Landscape Boulders (8' x 3 min.)
- 6. Turf Grass (minimum, min. 20% of the front yard landscape area)
- OR
- 1. Street Trees
- 2. Accent Trees
- 3. Shrubs (min. 5 gallon)
- 4. Ornamental Grasses
- 5. Landscape Boulders (8' x 3 min.)
- 6. No Turf Grass within 10m front yard landscape area

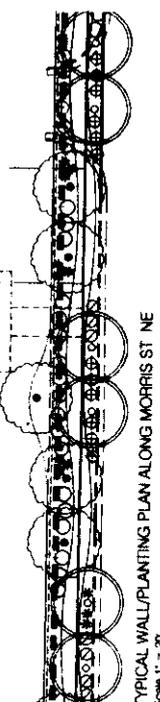
In addition, all front yard landscaping shall be required to have the following:
3/4" Sand And Tan Rock Mulch over the fabric; for all landscaped areas that are not covered with being in granite groundcover.
Steel Header - as required between turf and other landscaped areas.
Irrigation System/Automatic Timer will also require planning within R-O-M.
The following approved accents can be used for front yard landscaping:
River Rock (max. 25% of area)
Bark Mulch (in tree wells only).



PROPOSED ENTRY GATE ELEVATION
Scale 1/4" = 1'-0"



TYPICAL WALL PLANTING PLAN ALONG CHICO RD NE
Scale 1" = 20'



TYPICAL WALL PLANTING PLAN ALONG MORRIS ST NE
Scale 1" = 20'

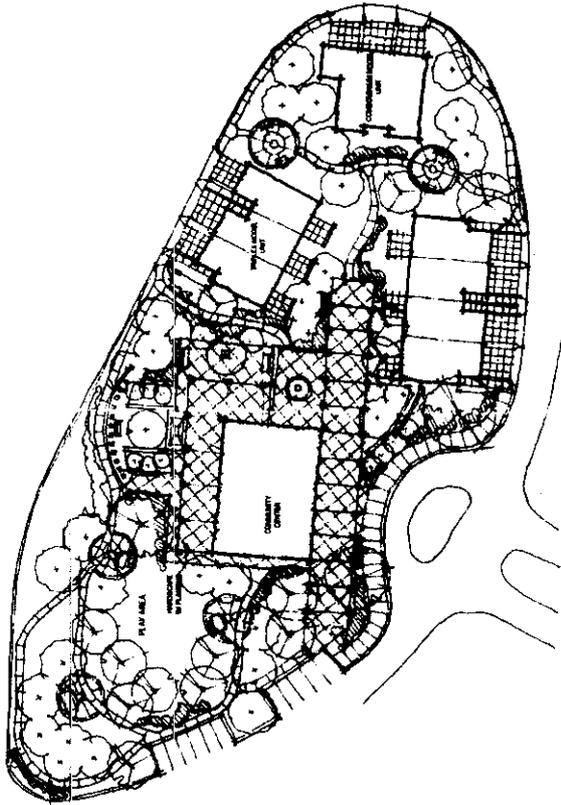
LANDSCAPE PLAN THE PRESIDIO

Contract No. 5120 Mustang NE
Project No. 104-8710
Presented by: Community Planning, Inc.
14000 S. 10th Street, Suite 100
Albuquerque, NM 87105
Telephone: 505-263-1100
Fax: 505-263-1100
Duke Park Architects
4811 Alameda NE, Suite 100
Albuquerque, NM 87110

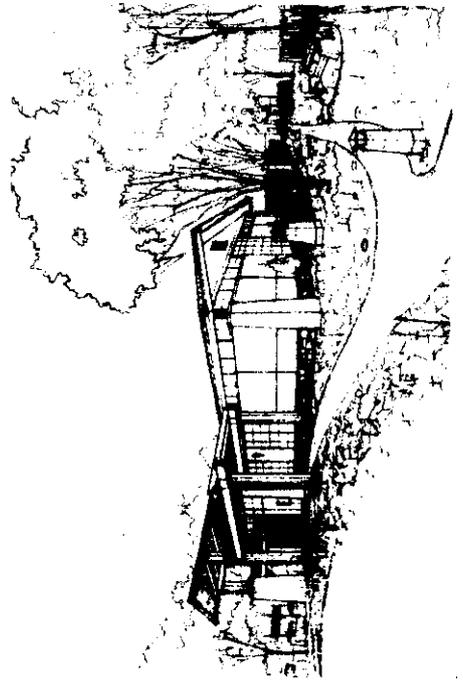
Qty	Symbol	Scientific Name Common Name	Size	Installation/Planting Remarks	Water Use	Symbol	Scientific Name Common Name	Quantity	Symbol	Scientific Name Common Name
28	⊗	Chilopsis linearis, Luc. var. deserti Desert Willow	5 gallon	8' x 4.5' sp. 8' x 2.5' sp.	Low	⊗	Artemisia tridentata Fourwing Salt-Tick	*	⊗	Prosopis juliflora Silky Tick
6	⊕	Forbesia mannifera New Mexico Olive	7' DBH	8' x 4.5' sp. 8' x 2.5' sp.	Low	⊕	Pinus ponderosa Balfour	*	⊕	Quercus agrifolia Live Oak
36	⊗	Cercocarpus Red Cholla	7' DBH	8' x 4.5' sp. 8' x 2.5' sp.	Med.	⊗	Chrysothamnus nauseosus Sagebrush	*	⊗	Prosopis juliflora Silky Tick
20	⊗	Quercus turbinella 'torreyana' Torrey Pin	7' DBH	8' x 4.5' sp. 8' x 2.5' sp.	Med.	⊗	Cercocarpus Red Cholla	*	⊗	Prosopis juliflora Silky Tick
81	⊗	Pinus ponderosa Balfour	7' DBH	8' x 4.5' sp. 8' x 2.5' sp.	Med.	⊗	Quercus agrifolia Live Oak	*	⊗	Prosopis juliflora Silky Tick
1	⊗	Koeberlinia Golden Silk Tree	1-2' DBH	4' x 1.5' sp. 4' x 1.5' sp.	Med.	⊗	Quercus agrifolia Live Oak	*	⊗	Prosopis juliflora Silky Tick
8	⊗	Pinus ponderosa Balfour	10' x 6' sp. 2' x 1.5' sp.	2' x 1.5' sp. 2' x 1.5' sp.	Low	⊗	Quercus agrifolia Live Oak	*	⊗	Prosopis juliflora Silky Tick

ENTRY DRIVE/COMMUNITY CENTER ENLARGEMENT
Scale 1" = 30'

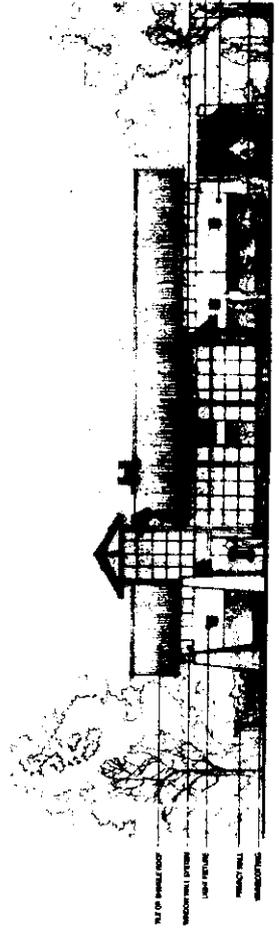




THE PRESIDIO COMMUNITY CENTER AND BOGEL HOME PARK
SITE PLAN

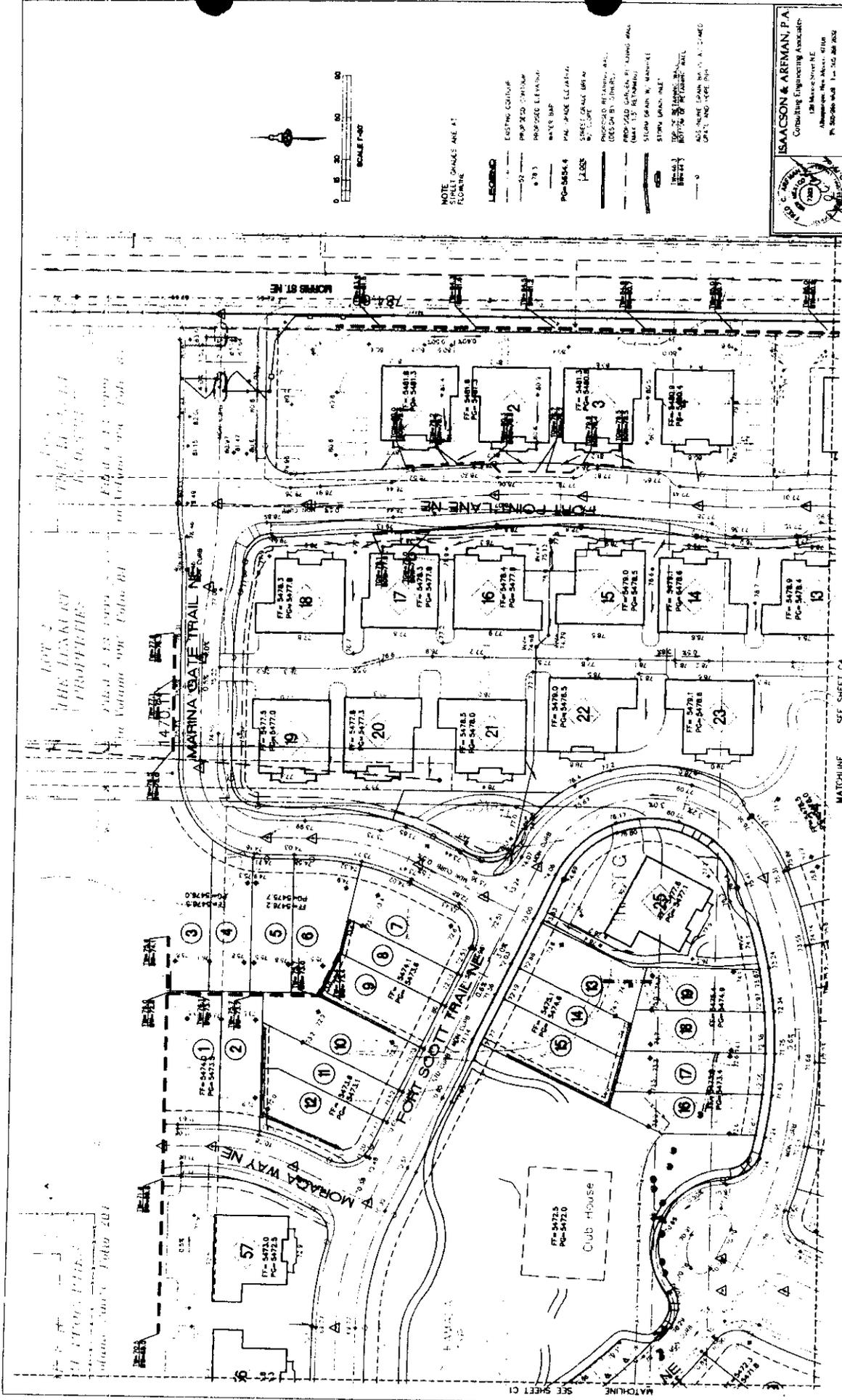


THE PRESIDIO COMMUNITY CENTER
CONCEPTUAL, SOUTHEAST PERSPECTIVE



THE PRESIDIO COMMUNITY CENTER
CONCEPTUAL, NORTH-SOUTH PERSPECTIVE

DATE: 08/14/2006
 TIME: 10:00 AM
 PROJECT: PRESIDIO COMMUNITY CENTER
 DRAWING: SITE PLAN



ISAACSON & ARMAN, P.A.
Consulting Engineering Associates
124 Main Street NE
Albuquerque, New Mexico 87102
P: 505-266-3400 F: 505-266-3402
www.isaacson-arms.com

CENTEX HOMES
PHEASANT

GRADING & DRAINAGE PLAN

Scale: 1" = 10'-0"

DATE: 10/10/04

BY: [Signature]

IN CHARGE: [Signature]

NO. OF SHEETS: 12

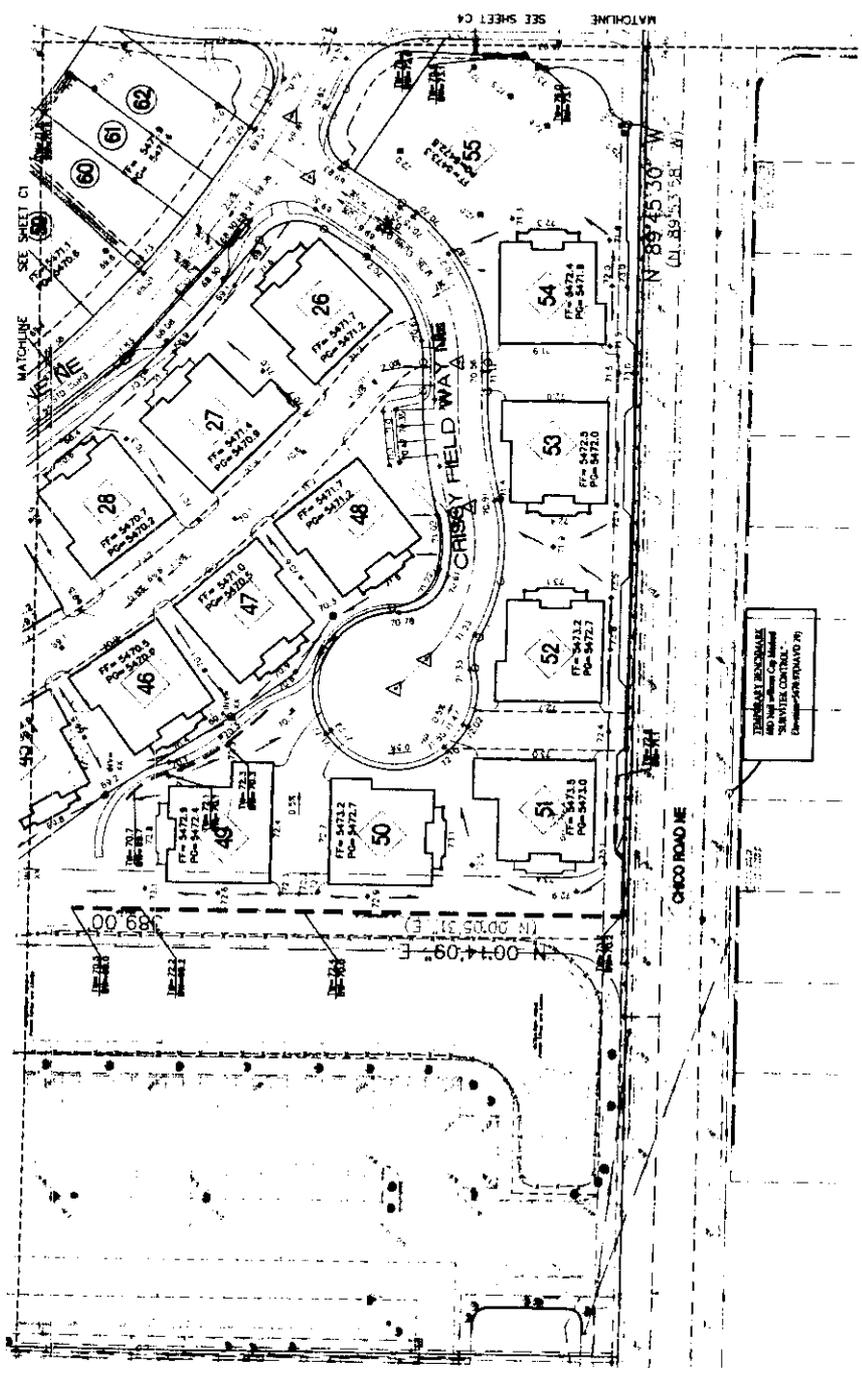
SHEET NO.: 10

NOTE: ALL DIMENSIONS ARE AT FLOWLINE

LEGEND

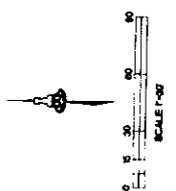
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- WATER MAP
- PAV. GRADE ELEVATION
- STREET GRADE ELEVATION
- PROPOSED RETAINING WALL (SEE CIVIL DRAWING)
- PROPOSED SLOPE (1:1 RETAINING)
- STORM DRAIN (18" DIA.)
- TOP OF FINISHED GRADE
- TOP OF EXISTING GRADE
- ALL ANGLES SHOWN ARE 90° UNLESS OTHERWISE NOTED





- NOTE**
STREET IMPROVEMENT PLAN
- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - PROPOSED ALIATION
 - WATER MAIN
 - P.C. 8854.4
 - PAL JADE ELEVATION
 - STREET IMPROVEMENT
 - PROPOSED RETAINING WALL (SECTION B-10)
 - PROPOSED SECTION B-10 RETAINING WALL (1:1 SLOPE)
 - STORM DRAIN #7 MANHOLE
 - SECTION B-10 OF RETAINING WALL
 - SECTION B-10 OF RETAINING WALL

TEMPORARY ELEVATIONS AND NOTES TO BE MAINTAINED THROUGHOUT CONSTRUCTION



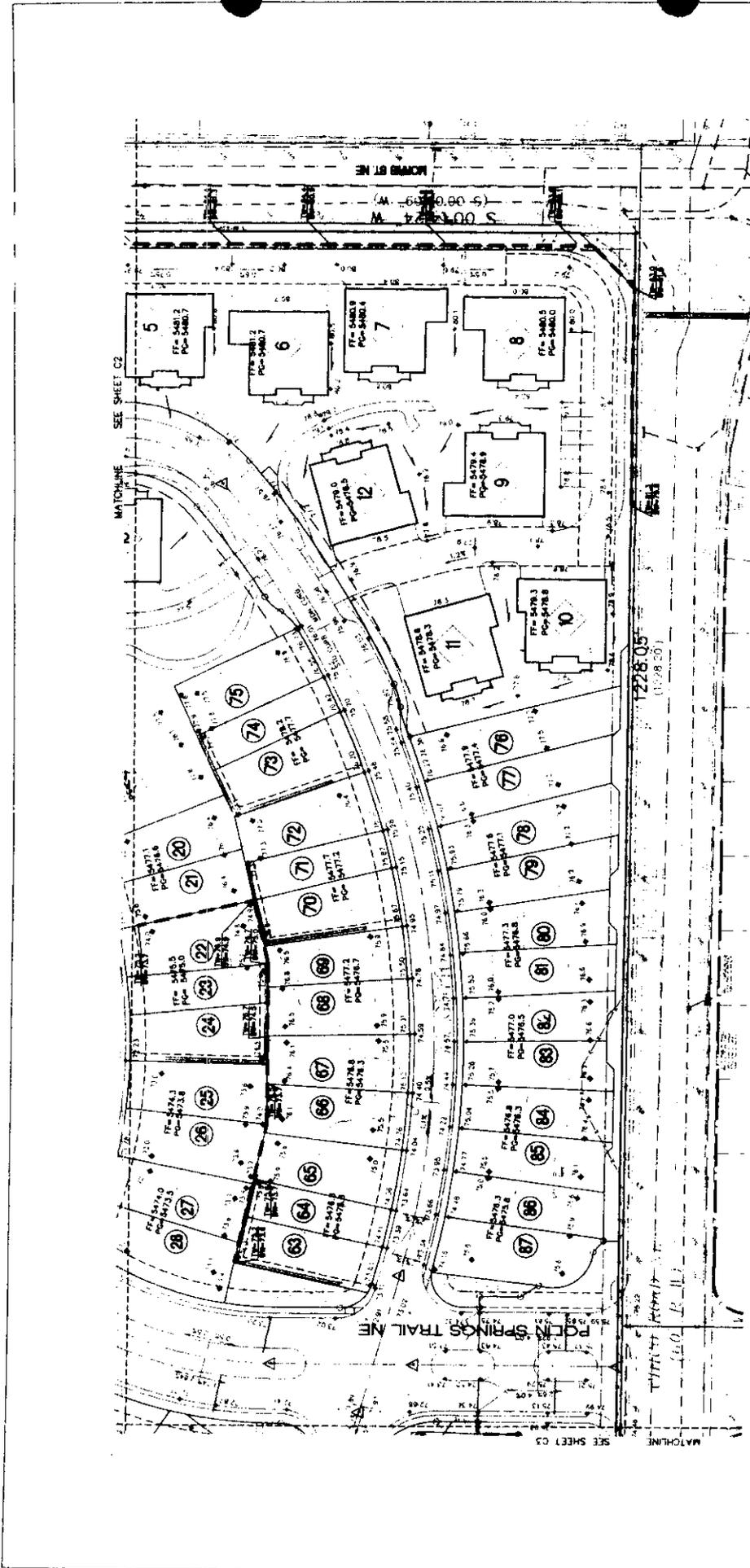
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Madison Street N.E.
Albuquerque, New Mexico 87102
P. 505-243-8422 F. 505-243-2832

CENTEX HOMES
PINEDALE
CHICAGO STREET AND CHICO STREET

CRACKING & DRAINAGE PLAN

Scale: 1" = 30'

Sheet: 17 of 17

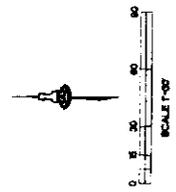


ISAACSON & ARMAN, P.A.
 Consulting Engineering Architects
 1800 South 17th St.
 Tallahassee, Florida 32310
 Phone: 904-224-1100
 Fax: 904-224-1101
 Email: isaacson@isaacson.com

CENTEX HOMES
PINEDO
MOWBRAY STREET AND CHICO STREET
GRADING & DRAINAGE PLAN

Scale: 1" = 20'
 Date: 5/10/08
 Sheet: 10 of 12

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED ASPHALT
 - WATER BAY
 - PAVED GRADE ELEVATION
 - STREET GRADE W/ 4" SLOPE
 - PROPOSED RETAINING WALL (SECTION BY OTHERS)
 - PROPOSED GARDEN RETAINING WALL (SECTION BY OTHERS)
 - STONE GRADE W/ MANHOLE
 - TOP OF RETAINING WALL
 - BOTTOM OF RETAINING WALL



SEE SHEET C2

MATCHLINE

SEE SHEET C3

MATCHLINE

THE LENKURT PROPERTIES LAND TRADE EXHIBIT

SCALE:
1"=200'



MORRIS ST

PARCEL FROM
WATERMAN TO
CENTEX HOMES

PARCEL FROM
CENTEX HOMES TO
WATERMAN

CHICO ROAD



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT, DEVELOPMENT REVIEW DIVISION
P.O. BOX 1293, ALBUQUERQUE, NM 87103

6 November 2006

Centex Homes
120 Masthead NE
Albuquerque, NM 87109

AMENDED CERTIFICATE OF ZONING

FILE: 05EPC 01114 (Project 1000572)
DATE OF FINAL ACTION: November 1, 2005
LEGAL DESCRIPTION: for all or a portion of Lot 3, Lot 7
and Lot 8, **Lenkurt Properties**, a zone map amendment
from SU-1 for IP to SU-1 PRD, located on CHICO ROAD
NE, between EUBANK BLVD. NE and MORRIS ST. NE,
containing approximately 43 acres. (K-21) Catalina Lehner,
Staff Planner

THE POSSIBLE APPEAL PERIOD HAVING EXPIRED, THE ZONING ON THE ABOVE CITED
PROPERTY IS NOW CHANGED AS FOLLOWS:

FROM SU-1 for IP
TO SU-1 for PRD

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of a zone map amendment does not constitute approval of plans for a building permit. Site and building plans need to be reviewed, approved and signed-off by the Environmental Planning Commission, the Development Review Board, the Design Review Committee and/or the Building and Safety Division, as applicable and as required by the site's zoning, before a building permit will be issued.

Sincerely,


for Richard Dineen
Planning Director

RD/ac

cc: Zoning Code Services Division
Neal Weinberg, AGIS Division



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

September 26, 2006

Lani McCarson
Consensus Planning
302 Eighth Street NW/87102
Phone: 764-9801/Fax: 842-5495

Dear Lani:

Thank you for your inquiry of September 26, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **LOT 1B, LOT 2, LOT 5A, LOT 6, LOT 7 AND LOT 8, LOCATED ON CHICO AT MORRIS-** zone map K-21.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

TOWNE PARK N.A. (TPK) "R"

*L. Scott Varner e-mail: sandec@thuntek.net

10824 Pennyback NE/87123 294-7791 (h)

Jeanne Hamrick

10500 Schenley NE/87123 291-1504 (h)

Website: www.towneparkna.org

Council District: 9

County District: 3

Police Beat: 521/FH

Zone Map: K-L-20-21

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3906 or via an e-mail message at dcarmona@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Dalaina P. Carmona

Senior Administrative Assistant

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

planningrnaform(12/29/04)

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME

Center Homes

AGENT

Consensus Planning

ADDRESS

302 8th St, NW

PROJECT & APP #

1000572

PROJECT NAME

Presidio

\$ 50⁰⁰ 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ 560⁰⁰ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75⁰⁰ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***

- () Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 785⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

1/5/2006 12:06PM LDC: AMN
RECEIPT# 00055438 WSH 008 TRANS# 0079
Account 411018 Fund 0110
Activity 4971000 FRBXXG
Total Amt \$785.00
DD disc 175.00
NET 610.00
AMOUNT 610.00

Page 1 of 1

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 11/01/06 To 11/16/06

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] 10/5/2006
(Applicant or Agent) (Date)

I issued 2 signs for this application, 10/05/06 [Signature]
(Date) (Staff Member)

DRB PROJECT NUMBER: 1000572