

Copper Point
Administrative Amendment
I-40 & Morris
Albuquerque, New Mexico

PROJECT: SITE PLAN FOR ADMINISTRATIVE AMENDMENT - SITE PLAN

ENGINEER: [Signature]

ARCHITECT: [Signature]

DATE: 12/22/2006

PROJECT NO: 06096

DRAWING NAME: SITE PLAN

SHEET NO: 1 OF 5

REVISIONS:

NO.	DATE	DESCRIPTION
1	02/14/07	DESIGN WORKS/ISSUES IDENTIFIED COMMENTS

KEYED NOTES

- EXISTING PAVED PARKING TO BE REPAVED AND RESTRIPT
- ASPHALT PARKING AREA
- FEDERATION PLAZA
- DOCK AREA
- TRASH/COMPACTOR ENCLOSURE RE D4/A0/1
- ACCESS DRIVE RE E1/A/0/1
- BICYCLE PARKING, 9 SPACES MIN
- MONUMENT SIGN RE C6/A/0/1
- NOT USED
- CONCRETE PATIO
- CAW RETAINING WALL RE A4/A/0/1
- SWITCHYARD RELOCATION
- SIDEWALK TO BE CONSTRUCTED WITH FUTURE PAD DEVELOPMENT
- NOT USED
- CONCRETE DRIVE PAVERS RE XX/A/0/2
- EXISTING DOCK DOOR
- DOCK DOOR
- SCREEN WALL RE D6/A/0/1
- EXISTING RETAINING WALL TO REMAIN
- MOTORCYCLE PARKING
- WATER FOUNTAIN RE A5/A/0/1
- LANDSCAPING PLANTER RE LANDSCAPE LO01
- CONCRETE SIDEWALK
- BRICK PAVERS RE XX/A/0/2
- EXIST RETAINING WALL PARTIAL DEMOLITION
- BENCH 60 LINEAR INCHES, SITE FURNITURE
- ELECTRICAL EQUIPMENT
- CONCRETE CURB
- CURB RAMP RE E5/A/0/1
- POLE MOUNTED SIGNAGE "MOTORCYCLE PARKING", RE B4/A/0/1
- SIDEWALK RAMP XX/A/0/1
- LOGGING PATH AND LANDSCAPING AREA RE LANDSCAPING
- GATEWAY SIGN RE E5/A/0/1
- LONG SCREEN WALL RE B4/A/0/1
- EMERALD STONE WALL
- EMERALD STONE WALL RE ASPHALT
- EXISTING DOCK DOOR TO BE BULKAGED
- PARKING BUMPERS INSTALLED W/ 44 BARS, 1'-6" FROM WALL
- EXISTING FIRE HYDRANT TO REMAIN
- EXISTING FIRE HYDRANT TO BE RELOCATED
- UNIDIRECTIONAL H.C. RAMP RE D1/A/0/1
- RELOCATE EXISTING FIRE HYDRANT TO THIS LOCATION
- CONCRETE STAIRS, 5/1" FIRE GUARD RAIL @ 42" AND HAND RAILS @ 34", PAINTED
- EXISTING SIGNAGE CONNECTION
- HEAVY DUTY ASPHALT AREA RE GEOTECH REPORT FOR SPECIFICATION
- PORTLAND CEMENT CONCRETE PAVING IN LOADING DOCK AREA, RE XXX/XXX AND GEOTECH REPORT
- PANT CURB RED, 1" PAINT TEXT "FIRE LANE NO PARKING"
- CONCRETE LOADING DOCK

GENERAL NOTES

- ALL STANDARD PARKING SPACES ARE 8'-0" WIDE BY 22'-0" DEEP UNLESS OTHERWISE NOTED.
- ALL COMPACT PARKING SPACES ARE 8'-0" WIDE BY 15'-0" DEEP UNLESS OTHERWISE NOTED.
- ALL COMPACT SPACES TO HAVE COMPACT PAINTED N 8" HIGH WHITE LETTERS ON ASPHALT.

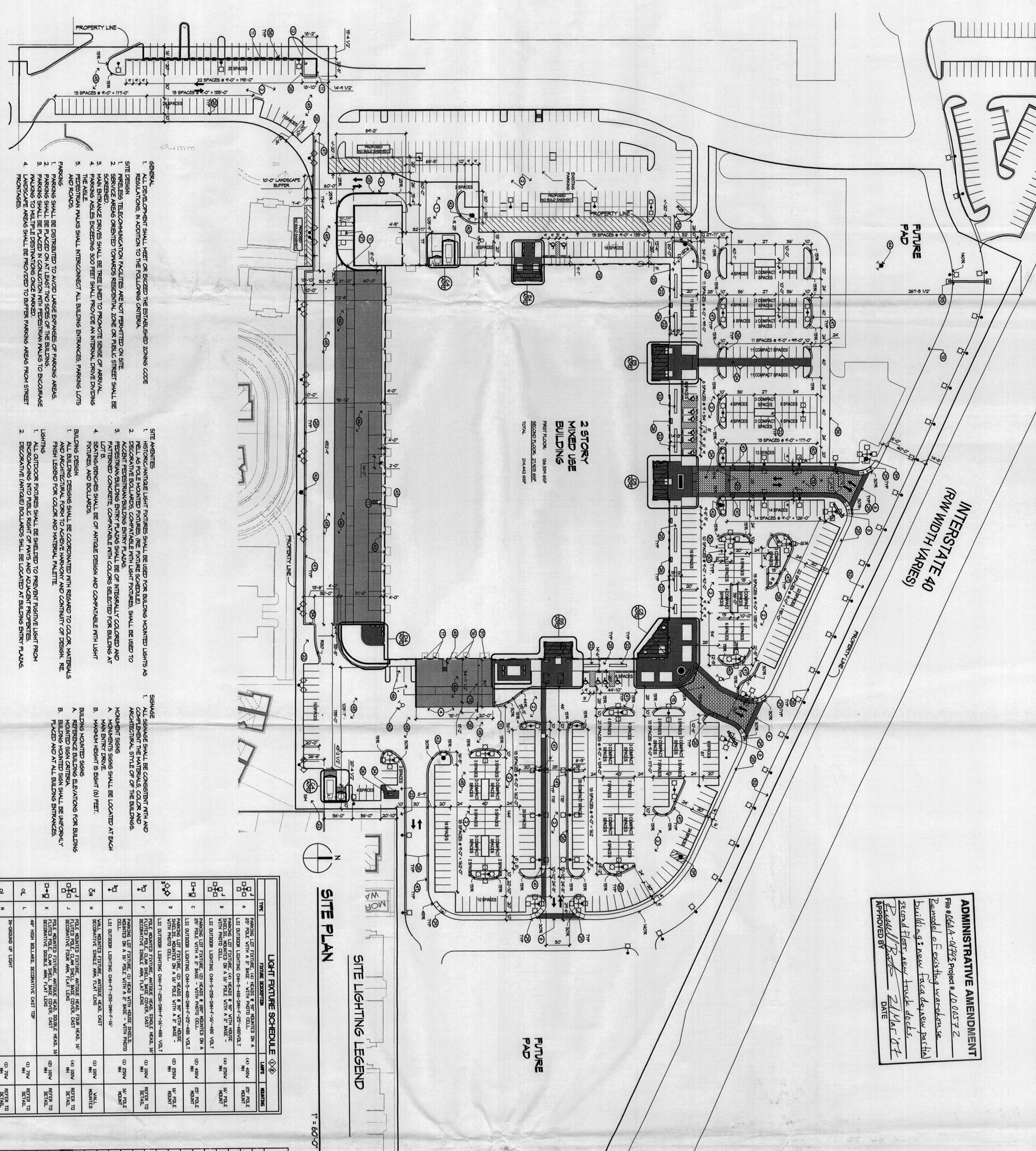
AND PLANS CHECKING OFFICE
224-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
3-1-07
SIGNATURE & DATE

PARKING REQUIREMENT ANALYSIS

1. BUILDING TOTAL SF = 201,050 GSF	6,460 SF OF BUILDING COMMON MECHANICAL SPACES	104,050 GSF = 104,050 NLSF	= 110 SPACES REQUIRED
2. MANUFACTURING/WAREHOUSE COMPONENT		104,050 NLSF / 1,000	= 110 SPACES REQUIRED
3. OFFICE COMPONENT: 48,940 GSF (24%)	30,944 NLSF (14,462 NLSF PER FLOOR)	14,462 NLSF / 300 =	+ 48
4. SUBTOTAL			+ 65
5. RETAIL COMPONENT:	48,880 GSF = 48,880 NLSF		
6. SUBTOTAL			+ 163 SPACES REQUIRED
7. TOTAL SPACES PROVIDED			178
8. TOTAL SPACES REQUIRED			178
9. SUBTOTAL			178
10. PARKING REDUCTIONS			= 188 SPACES REQUIRED
11. GRAND TOTAL			178
12. ACCESSIBLE SPACES (12 REQUIRED)			12 PROVIDED
13. (6% 12 ACCESSIBLE SPACES, 6 ARE VAN ACCESSIBLE)			5 PROVIDED
14. COMPACT SPACES (25% OF 471 = 118, OK)			21 PROVIDED
15. BICYCLE PARKING (471 / 20 = 23.6, OK)			21 PROVIDED
16. MOTORCYCLE PARKING (6 REQUIRED)			21 PROVIDED

ADMINISTRATIVE AMENDMENT
File # 0601A-04193 Project # 12.057.7.2
Model of existing warehouse building's new facade design partial second floor view truck docks.
2/11/07
DATE

1000572



SITE PLAN

SITE LIGHTING LEGEND

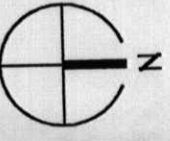
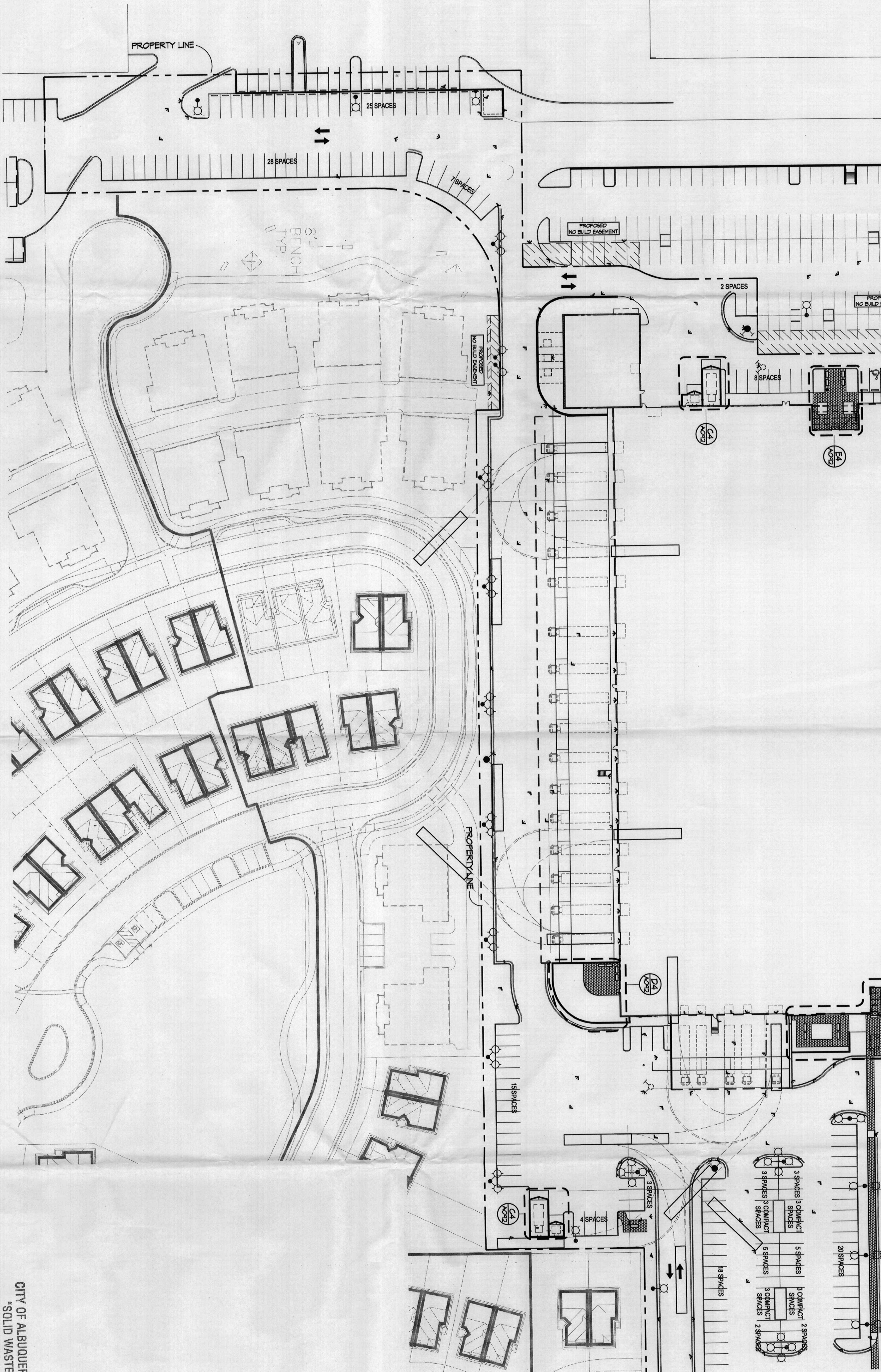
- GENERAL**
- REVISIONS SHALL BE MADE OR EXCEPT THE ESTABLISHED ZONING CODE REGULATIONS, IN ADDITION TO THE FOLLOWING CRITERIA.
 - UNLESS TELECOMMUNICATION FACILITIES ARE NOT PERMITTED ON SITE.
 - SERVICE AREAS ORIENTED TOWARDS RESIDENTIAL ZONE OR PUBLIC STREET SHALL BE SCREENED.
 - PAVING MATERIALS SHALL BE THE SAME TO PROVIDE AN INTERNAL DRIVE DIVIDING THE ASSE.
 - FEDERATION WALLS SHALL INTERCONNECT ALL BUILDING ENTRANCES, PARKING LOTS AND ROADS.

- SITE LIGHTING**
- ALL LIGHTING SHALL BE CONSISTENT WITH THE BUILDING MOUNTED LIGHTS AS WELL AS THE MOUNTED LIGHTS, THE FINISH SCHEDULED.
 - DECORATIVE BOLLARDS, COMPATIBLE WITH LIGHT FIXTURES, SHALL BE USED TO ACCENT FEDERAL/STATE/ENTER FINISH PLAZA.
 - ALL LIGHTING SHALL BE OF INTERMEDIATE COLORED AND FINISH COLORED COMPATIBLE WITH COLORS SELECTED FOR BUILDING AT LOT B.
 - SEAMLESS/SHADES SHALL BE OF ANTI-GLEAM DESIGN AND COMPATIBLE WITH LIGHT FIXTURES AND BOLLARDS.

- SPACING**
- ALL SPACING SHALL BE CONSISTENT WITH AND COMPATIBLE WITH THE MATERIALS, COLOR AND ARCHITECTURAL STYLE OF THE BUILDING.
 - MONUMENT SIGNS SHALL BE LOCATED AT EACH MAIN ENTRY DRIVE.
 - MONUMENT HEIGHT IS 8' FEET.

LIGHT FIXTURE SCHEDULE

TYPE	FIXTURE DESCRIPTION	LIGHT	NOTING
1	PARKING LOT FIXTURE, (2) HEADS & 8" MOUNTED ON A 2" POLE WITH A 2" BASK - WITH PHOTO CELL	(2) 40W	SP. 201
2	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
3	PARKING LOT FIXTURE, (2) HEADS & 8" MOUNTED ON A 2" POLE WITH A 2" BASK - WITH PHOTO CELL	(2) 40W	SP. 201
4	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
5	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
6	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
7	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
8	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
9	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
10	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
11	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
12	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
13	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
14	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
15	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
16	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
17	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
18	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
19	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
20	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
21	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
22	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
23	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201
24	15' OUTDOOR LIGHTING CMH-4-40-30W-7-29-40VOLT	(2) 40W	SP. 201



SITE PLAN
TRAFFIC CIRCULATION

1" = 40'-0"

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 3/19/07

- REVISIONS
- △ 02/16/07 DESIGN COORDINATOR
- △ 02/16/07 TRAFFIC COMMENTS

DRAWN BY
REVIEWED BY
DATE 12/22/2006
PROJECT NO. 06096
DRAWING NAME
**SITE PLAN FOR
ADMIN. AMENDMENT
REFERENCE ONLY
TRUCK TURNING RADI**

SHEET NO. **1B**
2 OF 5

Copper Pointe
Administrative Amendment
I-40 & Morris
Albuquerque, New Mexico

PROJECT

ENGINEER

ARCHITECT

7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505.761.9700
fax 761.4222
dps@dpsdesign.com

**Perich
Sabatini**
ARCHITECT

Copper Pointe
Administrative Amendment
I-40 & Morris
Albuquerque, New Mexico

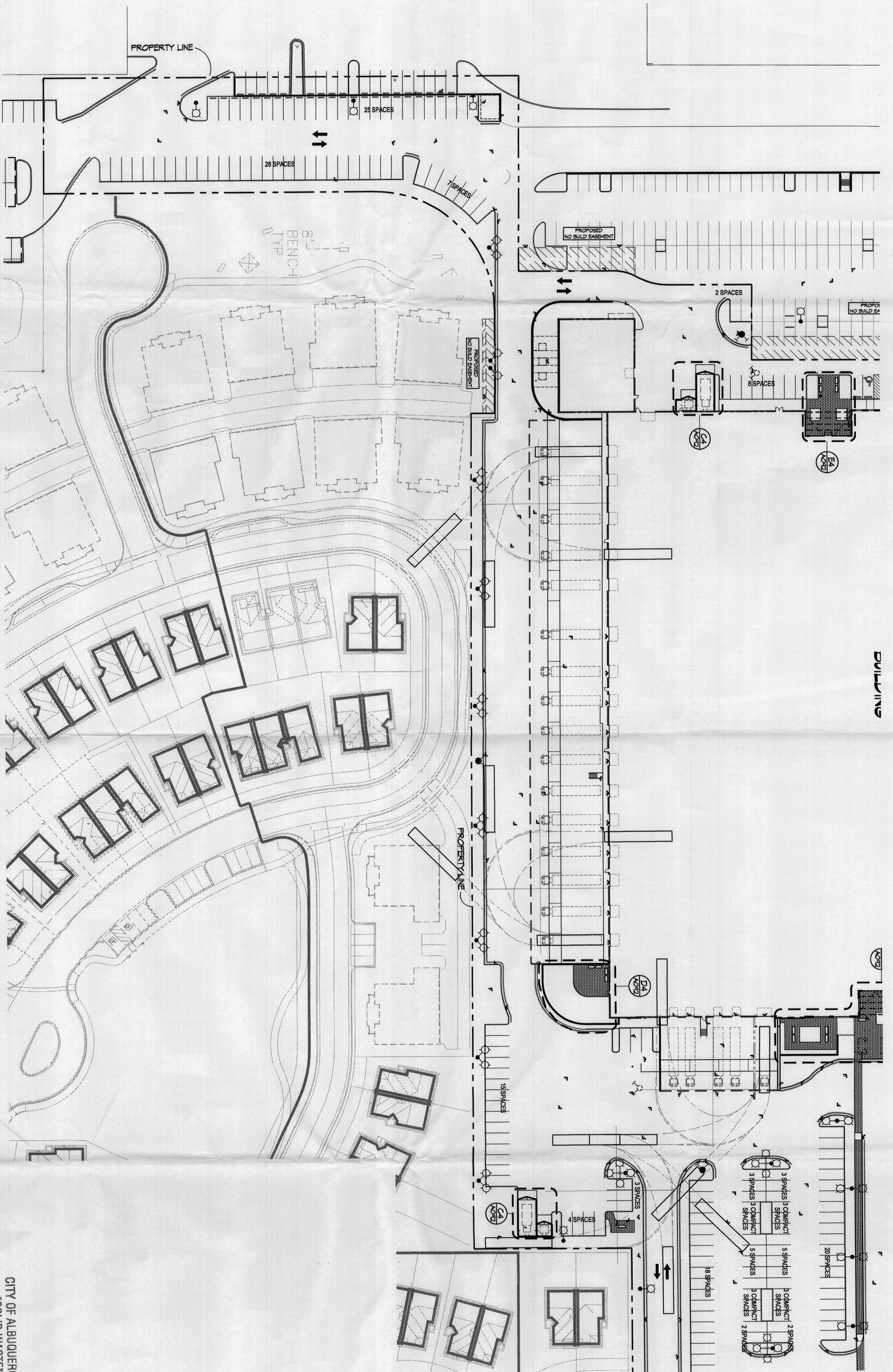
REVISIONS

△	02/14/07	DESIGN NOTATIONS TRAFFIC COMMENTS
△		
△		

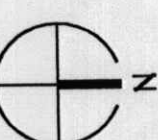
DRAWN BY	
REVIEWED BY	
DATE	12/22/2006
PROJECT NO.	06096
DRAWING NAME	

SITE PLAN FOR
ADMIN. AMENDMENT
REFERENCE ONLY
TRUCK TURNING RADI

SHEET NO.



CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 3/19/07



SITE PLAN
TRAFFIC CIRCULATION

1" = 40'-0"

DESIGN CRITERIA

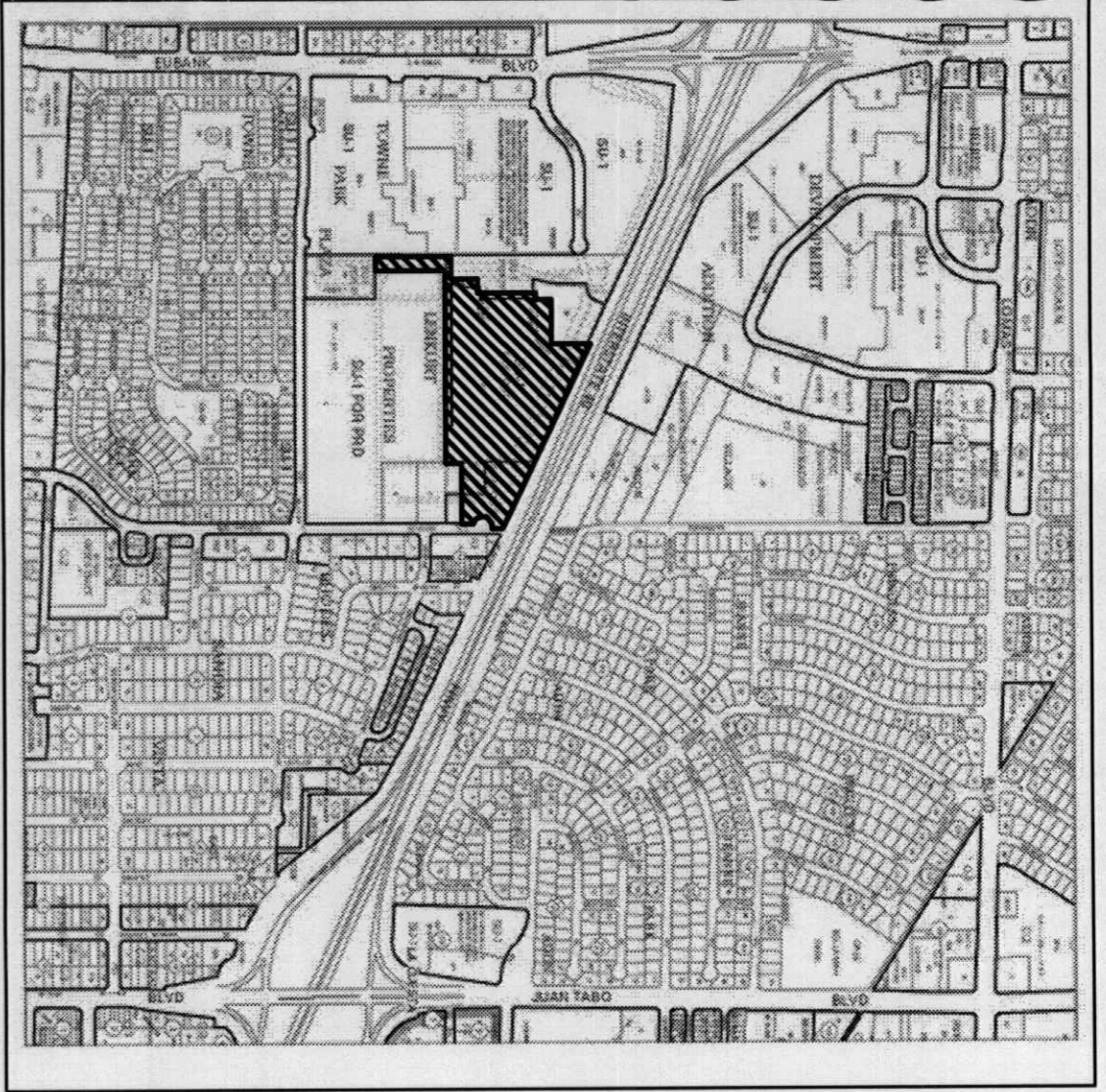
- GENERAL**
1. ALL DEVELOPMENT SHALL MEET OR EXCEED THE ESTABLISHED ZONING CODE REGULATIONS, IN ADDITION TO THE FOLLOWING CRITERIA.
- SITE DESIGN**
1. WIRELESS TELECOMMUNICATION FACILITIES ARE NOT PERMITTED ON SITE.
 2. SERVICE AREAS ORIENTED TOWARDS RESIDENTIAL ZONE OR PUBLIC STREET SHALL BE SCREENED.
 3. MAIN ENTRANCE DRIVES SHALL BE TREE LINED TO PRODUCE SENSE OF ARRIVAL.
 4. THE SIGN ASILES EXCEEDING 300 FEET SHALL PROVIDE AN INTERNAL DRIVE DIVIDING PERPENDICULAR WALLS SHALL INTERCONNECT ALL BUILDING ENTRANCES, PARKING LOTS AND ROADS.
 5. PARKING SHALL BE DISTRIBUTED TO AVOID LARGE SPACES OF PARKING AREAS.
 6. PARKING SHALL BE PLACED ON AT LEAST TWO SIDES OF THE BUILDING.
 7. WALKING TO MULTIPLE DESTINATIONS ONCE PARKED.
 8. LANDSCAPE AREAS SHALL BE PROVIDED TO BUFFER PARKING AREAS FROM STREET FRONTS.

- SITE AMENITIES**
1. HISTORIC/ANTIQUE LIGHT FIXTURES SHALL BE USED FOR BUILDING MOUNTED LIGHTS AS WELL AS POLE MOUNTED FIXTURES. (SEE FINISH SCHEDULE)
 2. DECORATIVE BOLLARDS, COMPATIBLE WITH LIGHT FIXTURES, SHALL BE USED TO SEPARATE DRIVEWAYS FROM SIDEWALKS.
 3. PATTERNS/BUILDING ENTRY PLAYS SHALL BE OF INTERMEDIATE COLORED AND PATTERNS CONCRETE, COMPATIBLE WITH COLORS SELECTED FOR BUILDING AT LOT B.
 4. SEATING/BENCHES SHALL BE OF ANTIQUE DESIGN AND COMPATIBLE WITH LIGHT FIXTURES AND BOLLARDS.
- BUILDING DESIGN**
1. ALL BUILDING DESIGN SHALL BE COORDINATED WITH REGARD TO COLOR, MATERIALS AND ARCHITECTURAL FORM TO ACHIEVE HARMONY AND CONTINUITY OF DESIGN. RE. FINISH LEGEND FOR COLOR AND MATERIAL PALETTE.
- LIGHTING**
1. ALL OUTDOOR FIXTURES SHALL BE SHIELDED TO PREVENT BLINDING LIGHT FROM BUILDING ENTRANCES AND ADJACENT DRIVEWAYS.
 2. DECORATIVE (ANTIQUE) BOLLARDS SHALL BE LOCATED AT BUILDING ENTRY PLAYS.

- SIGNAGE**
1. ALL SIGNAGE SHALL BE CONSISTENT WITH AND COMPLIMENT THE MATERIALS, COLOR AND ARCHITECTURAL STYLE OF THE BUILDINGS.
- MONUMENT SIGNS**
- A. MONUMENT SIGNS SHALL BE LOCATED AT EACH MAIN ENTRY DRIVE.
 - B. MAXIMUM HEIGHT IS EIGHT (8) FEET.
- BUILDING MOUNTED SIGNS**
- A. REFERENCE BUILDING ELEVATIONS FOR BUILDING MOUNTED SIGN CRITERIA.
 - B. BUILDING MOUNTED SIGN SHALL BE UNIFORM PLACED AND AT ALL BUILDING ENTRANCES.

PARKING REQUIREMENT ANALYSIS

1	BUILDING TOTAL SF = 207,050 GSF	
2	(6,450 SF OF BUILDING COMMON MECHANICAL SPACES)	
3	MANUFACTURING/WAREHOUSE COMPONENT: 104,050 GSF = 104,050 NLSF	
4	104,050 NLSF / 1,000	= 104 SPACES REQUIRED
5	OFFICE COMPONENT: 45,940 GSF (65%) = 38,964 NLSF (14,482 NLSF PER FLOOR)	
6	14,482 NLSF / 200 =	= 72 SPACES REQUIRED
7	14,482 NLSF / 300 =	= 48 SPACES REQUIRED
8	14,482 NLSF / 200 =	= 72 SPACES REQUIRED
9	14,482 NLSF / 300 =	= 48 SPACES REQUIRED
10	SUBTOTAL	= 168 SPACES REQUIRED
11	RETAIL COMPONENT: 45,880 GSF = 45,880 NLSF	
12	19,000 NLSF / 200 =	= 95 SPACES REQUIRED
13	30,880 NLSF / 250 =	= 123 SPACES REQUIRED
14	SUBTOTAL	= 118 SPACES REQUIRED
15	PARKING REDUCTIONS	N/A
16	GRAND TOTAL	= 411 SPACES REQUIRED
17	TOTAL SPACES PROVIDED	571 SPACES (6-411 REQUIRED OK)
18	ACCESSIBLE SPACES (13 REQUIRED)	12 PROVIDED
19	COMPACT SPACES (25% OF 411 = 118 OK)	108 PROVIDED
20	BIKE SPACES (411 / 20 = 20.55)	21 PROVIDED
21	BIKE SPACES (411 / 20 = 20.55)	21 PROVIDED
22	MOTORCYCLE PARKING (6 REQUIRED)	1 PROVIDED



Vicinity Map
K-21-2

KEYED NOTES

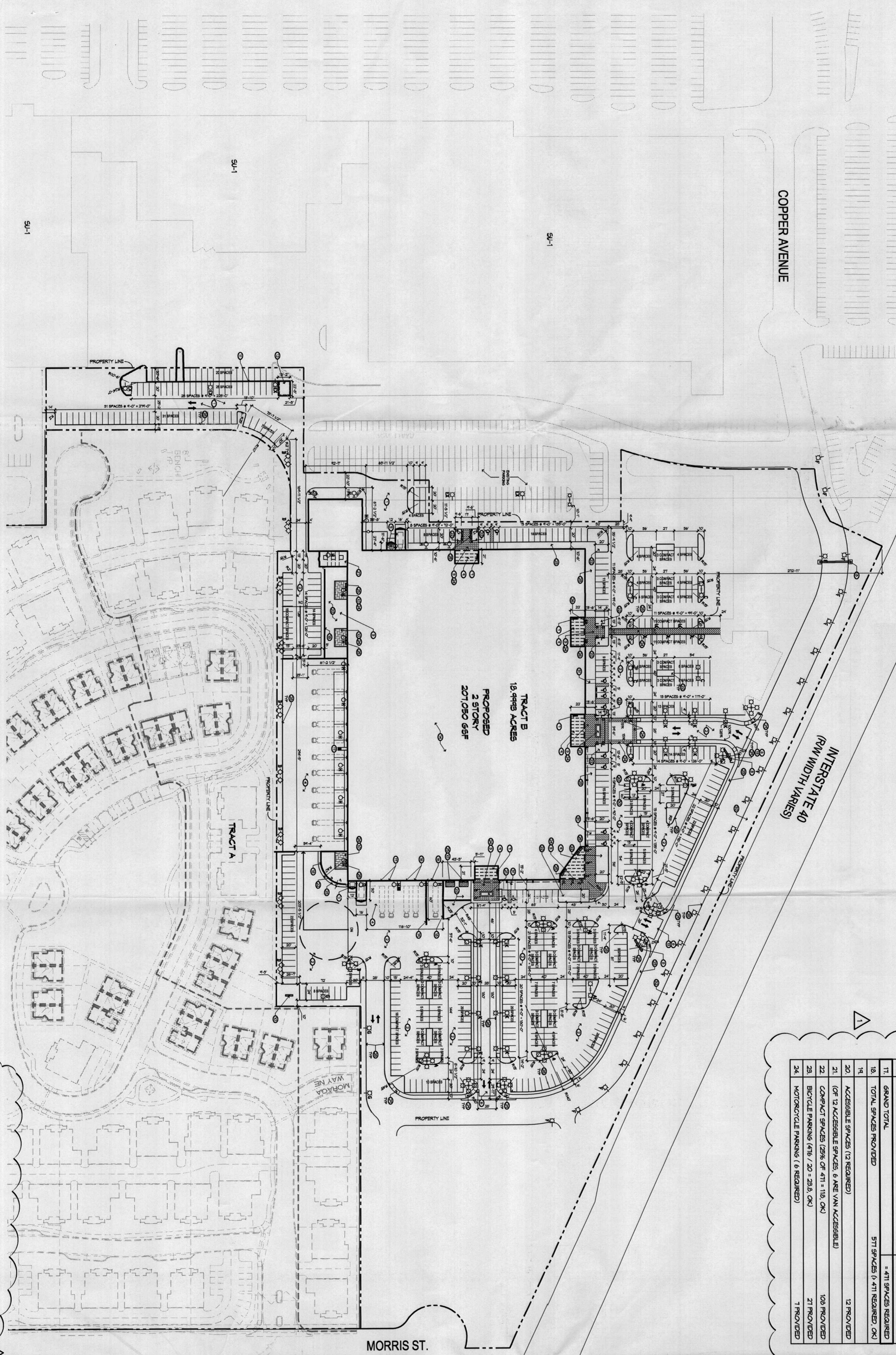
1. EXISTING PAVED PARKING TO BE RESURFACED AND RESTORED.
2. ASPHALT PARKING AREA.
3. PEDESTRIAN PLAZA.
4. DOCK AREA.
5. TRASH/COMPACTOR ENCLOSURE RE. DETAIL.
6. ACCESS DRIVE.
7. BIKEWAY.
8. BIKEWAY STORAGE LOCATION.
9. BIKEWAY STORAGE STRUCTURE.
10. CONCRETE PAVEMENT.
11. CONCRETE PAVEMENT.
12. SMOOTHED RECONSTRUCTION.
13. CONCRETE PAVEMENT.
14. CONCRETE PAVEMENT.
15. PAVING AT PERISTYLE PLAZA, TYP.
16. EXISTING DOCK DOOR.
17. DOCK DOOR.
18. 12 HIGH INTERMEDIATE COLORED CONVEX MIRROR PANEL.
19. EXISTING RETAINING WALL.
20. MOTORCYCLE PARKING.
21. WATER FEATURE.
22. LANDSCAPING PLANTER.
23. CONCRETE SIDEWALK.
24. INTERMEDIATE COLORED CONCRETE.
25. BENCH 120 LINEAR INCHES.
26. BENCH 60 LINEAR INCHES.
27. ELECTRICAL EQUIPMENT YARD.
28. CONCRETE CURB.
29. CARGO RAMP, PER CITY OF ALBUQUERQUE STANDARDS.
30. POLE MOUNTED SIGNAGE: MOTORCYCLE PARKING.
31. LOGGING SIGN AND LANDSCAPING AREA RE. LANDSCAPING SHEET 2.

GENERAL NOTES

1. ALL PARKING SPACES ARE 4'-0" UNLESS OTHERWISE NOTED.

SITE LIGHTING LEGEND

TYPE	LIGHT FIXTURE SCHEDULE	HEIGHT	SPACING
1	HANGING LIGHT FIXTURE, 60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
2	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
3	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
4	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
5	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
6	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
7	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
8	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
9	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
10	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
11	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
12	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
13	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
14	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
15	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
16	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
17	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
18	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
19	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
20	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
21	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
22	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
23	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
24	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
25	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
26	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
27	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
28	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
29	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
30	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
31	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"
32	60 WATT, 8' 0" CEILING MOUNTED ON A 2" FIELD WITH A 2" HOLE - WITH PERIODIC ON A	8' 0"	8' 0"



SITE PLAN
1" = 80'-0"

Copper Pointe
Administrative Amendment
I-40 & Morris
Albuquerque, New Mexico

Dekker Perich Sabatini
7501 Jefferson NE Suite 100
Albuquerque, NM 87109
505 781-9700
fax 781-4222
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

REVISIONS
12/22/06 ADMINISTRATIVE AMENDMENT

DATE 12/22/2006
PROJECT NO. 06096

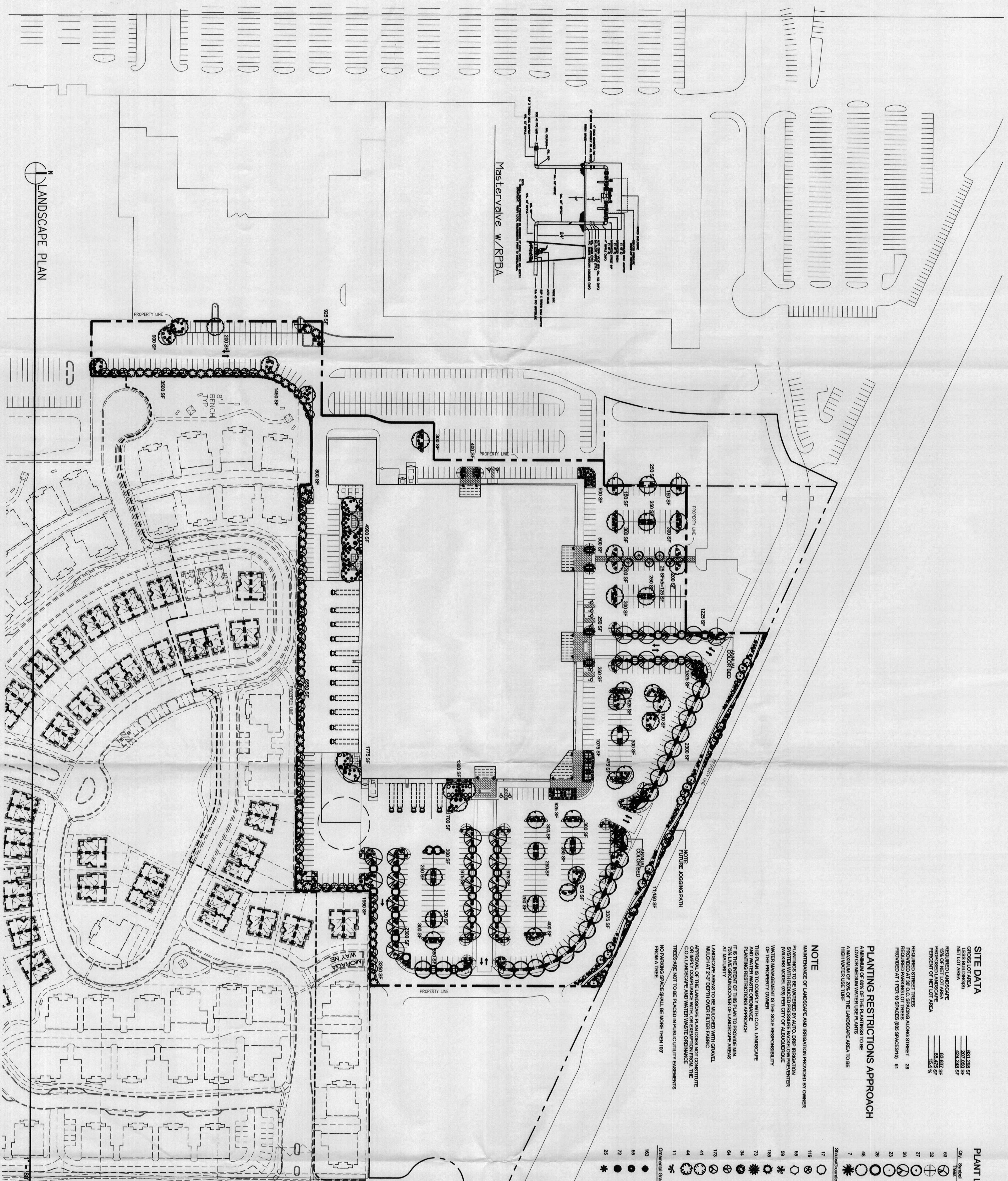
DRAWING NAME
SITE PLAN
FOR ADMINISTRATIVE AMENDMENT

DRAWN BY
REVIEWED BY
DATE

SHEET NO. 1 OF 3

VOID

APPROVED BY 1/14/07



SITE DATA

GROSS LOT AREA	531,228 SF
NET LOT AREA	454,248 SF
REQUIRED LANDSCAPE	63,627 SF
PROPOSED LANDSCAPE	63,472 SF
PERCENT OF NET LOT AREA	14.2%

PLANTING RESTRICTIONS APPROACH

A MAXIMUM OF 50% OF THE PLANTINGS TO BE PROVIDED AT 11 FEET TO SPACES (600 SPACES) 61

NOTE

MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO DRAIN IRRIGATION (MILANS MODEL 970 PER CITY OF ALBUQUERQUE)
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. AT MAXIMUM COVERAGE OF LANDSCAPE AREAS
 LANDSCAPE AREAS TO BE MAINTAINED UNDER MAINTENANCE CONTRACT AT 7¢ PER SQUARE FOOT PER YEAR
 APPROVAL OF THE LANDSCAPE PLAN IS NOT CONCLUSIVE OF ANY COMPLIANCE WITH OR ENFORCEMENT OF THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 THESE ARE NOT TO BE PLACED IN PUBLIC UTILITY ASSESSMENTS FROM A TREE
 NO PARKING SPACES SHALL BE MORE THAN 100'

PLANT LEGEND

Qty	Symbol	Scientific Name	Size	Water Use
53	⊗	Chrysopsis thymifolia	15-Gal	Low+
32	⊕	Callisaurus thymifolia	7-888	Medium
27	⊕	Washingtonia filifera	15-Gal	Medium
28	⊕	Forestiera inornata	7-888	Medium+
23	⊕	Modiola sp.	7-888	Medium
28	⊕	Gleditsia triacanthos	7-888	Medium
46	⊕	Pinus nigra	5-6" H.	Medium+
7	⊕	Quercus macrocarpa	7-888	Medium+
7	⊕	Cedrus deodora	6" H.	Low+
Shrub/Grass/Cover				
17	⊗	Baccharis distachya	5-Gal	Medium
119	⊗	Eriogonum fasciculatum	5-Gal	Low+
55	⊗	Yucca elata	5-Gal	Low
59	⊗	Aspidistra sp.	5-Gal	Low
155	⊗	Hypericum perforatum	5-Gal	Low+
73	⊗	Red Yucca	5-Gal	Low+
34	⊗	Chrysopsis thymifolia	5-Gal	Medium+
64	⊗	Strawberry Chrysopsis	5-Gal	Medium
123	⊗	Phlox paniculata	5-Gal	Medium
41	⊗	Red Yucca	5-Gal	Low+
44	⊗	Three-seal Spruce	5-Gal	Low+
11	⊗	Baccharis distachya	1-Gal	Low+
Ornamental Grasses				
163	⊗	Chrysopsis thymifolia	5-Gal	Medium
55	⊗	Miscanthus sinensis	5-Gal	Medium
72	⊗	Muhlenbergia capillaris	5-Gal	Medium
25	⊗	Royal Palm	5-Gal	Low+

Growing Better Up
HeadsUp
 LANDSCAPE CONTRACTORS
 www.headsuplandscape.com
 P. O. BOX 10597
 Albuquerque, NM 87184
 505.898.9615
 505.898.2105 (fax)
 design@hulc.com

REVISIONS

1	△	
2	△	
3	△	

DRAWN BY
 REVIEWED BY
 DATE 12/22/2006
 PROJECT NO. 06096
 DRAWING NAME LANDSCAPE PLAN
 SHEET NO. 3 of 2

Copper Point
 Administrative Amendment
 I-40 & Morris
 Albuquerque, New Mexico

PROJECT
 ENGINEER
 ARCHITECT
 Dekker Perich Sabatini
 7601 Jefferson NE Suite # 100
 Albuquerque, NM 87109
 503.761-9700
 fax 761-4222
 dps@dpdesign.com

STATE OF NEW MEXICO
 JOHN GILLIS, REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

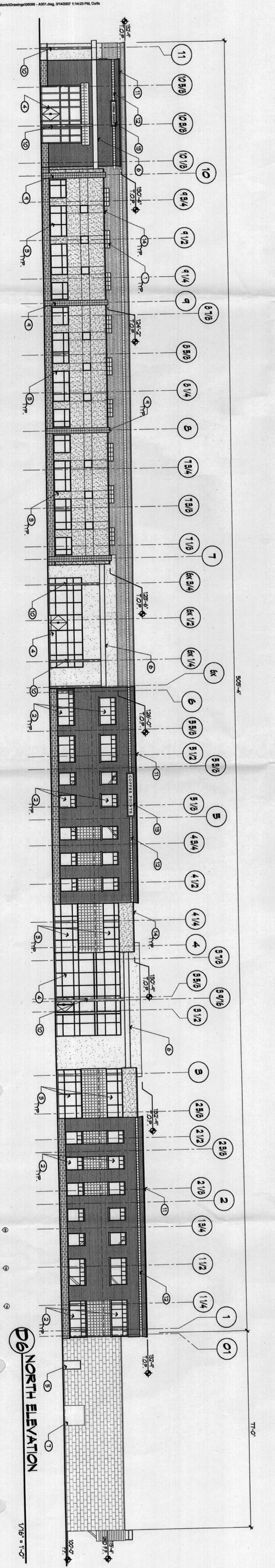
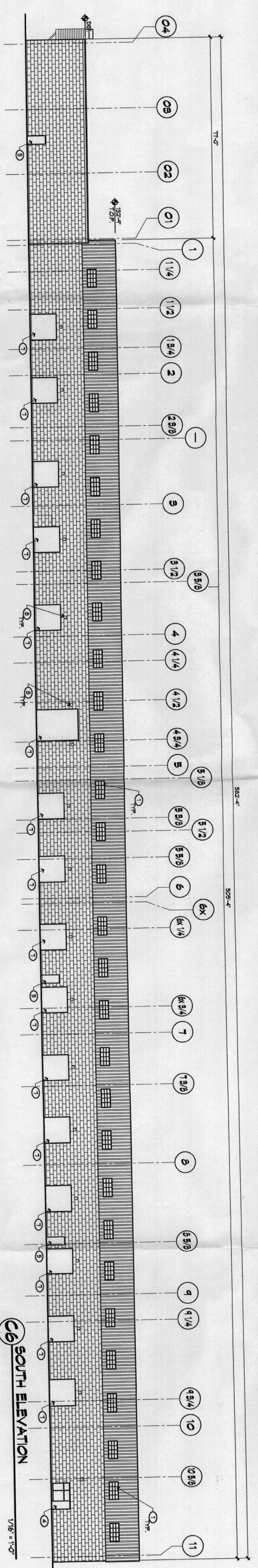
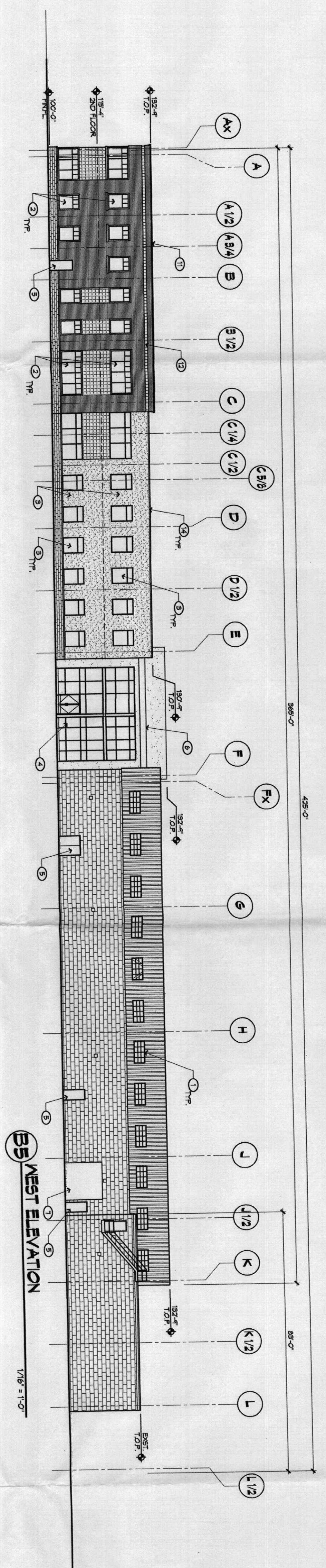
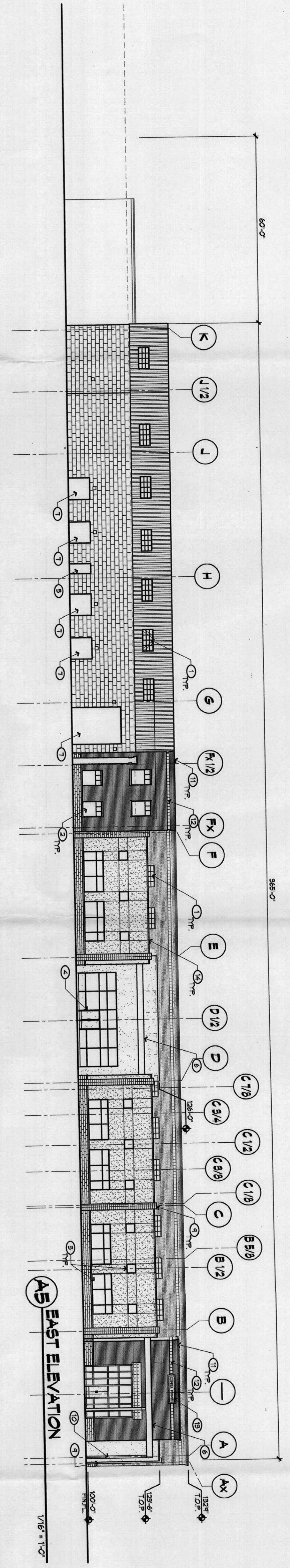
architecture
 interior
 landscape
 planning
 engineering

KEYED NOTES

- 1 TRANSLUCENT FINISH COLOR: WHITE
- 2 ALUMINUM EXPANDED METAL SLATS IN WINDOW / CORNER FRAME
- 3 CLEAR GLAZING IN WINDOW FRAME ALUMINUM CORNER FRAME
- 4 CLEAR GLAZING IN WINDOW FRAME ALUMINUM CORNER FRAME
- 5 ONSHORE DOOR COLOR: GREY. SEE 801 FOR LOCATION
- 6 ONSHORE DOOR COLOR: GREY. SEE 801 FOR LOCATION
- 7 ONSHORE DOOR COLOR: GREY. SEE 801 FOR LOCATION
- 8 ONSHORE DOOR COLOR: GREY. SEE 801 FOR LOCATION
- 9 ONSHORE DOOR COLOR: GREY. SEE 801 FOR LOCATION
- 10 BRASSING STEEL COLUMN FINISH: COLOR: GREY
- 11 CORNER METAL PANEL: COLOR: GREY
- 12 BRASSING STEEL COLUMN FINISH: COLOR: GREY
- 13 BRASSING STEEL COLUMN FINISH: COLOR: GREY
- 14 CORNER METAL PANEL: COLOR: GREY

FINISH LEGEND

- STUCCO - COLOR DARK SHADE
- STUCCO - COLOR LIGHT SHADE
- BRICK - 1/2" x 3/4" SIZE (RANDOM)
- COPPER FINISH
- COPPER - BRASSING H. BROWN
- METAL PANEL H. CORRUGATED, PAINTED COLOR DARK GREY
- COPPER METAL PANEL SYSTEM
- CAST STONE



Copper Pointe
I-40 & MORRIS
Albuquerque, New Mexico

ELEVATIONS

NO.	DESCRIPTION	DATE	BY
1
2
3
4
5
6
7
8
9
10
11

PROJECT NO: AB01
DRAWING NO: 02/28/07
DATE: 02/28/07
REVIEWED BY: [Signature]
DRAWN BY: [Signature]