



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 20, 2001

To whom it may concern:

REF: 00114 00000 00715 / 00110 00000 00716 / 00128 00000 00718  
(Council Bill No. 0-65, Enactment No. 51-2000)

Enclosed is a copy of a new annexation that was approved through our office on the above referenced case. The annexation and simultaneous establishment of zoning is effective five (5) days after publication of the Ordinance. The existing addresses within the annexed area are:

NONE

"Existing addresses" listed for this annexation may be incomplete. If you are aware of any additional "existing addresses" for this annexation, please feel free to contact me at (505) 924-3889.

Sincerely,

*Crystal Ortega*  
Crystal Ortega  
Administrative Assistant  
City Planning Department

Enclosure

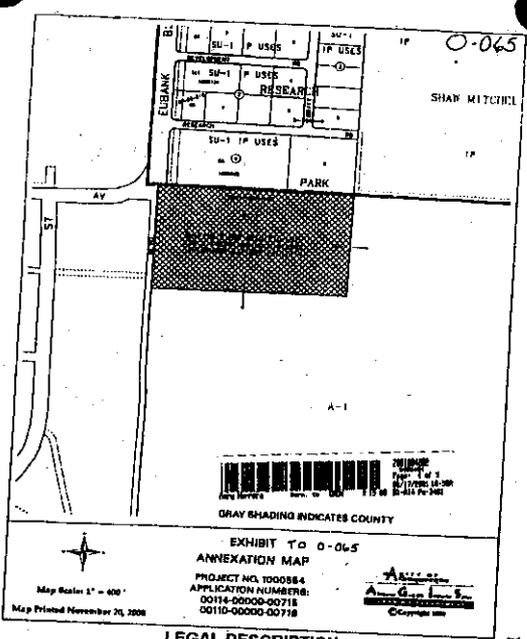
Date 2-20-01

**A**x 00114-00000-00716

**THIS ANNEXATION HAS BEEN COMPLETED**

The attached sketch shows the area which has been annexed by City Commission Resolution on 11-20-00, and zoning established by Ordinance # 51-2000, published on 12-21-00 (date) and which was considered by the Planning and City Commissions as Ax- 00114-00000-00715 Z- 00110-00000-00716

If the area was platted simultaneously, the subdivision number is S- \_\_\_\_\_ Other related cases, if any, are: \_\_\_\_\_ Please change your records accordingly.



**LEGAL DESCRIPTION**  
A TRACT OF LAND LYING AND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF THE APPROXIMATE NORTH ONE-HALF (N 1/2) OF THE SOUTHWEST ONE-QUARTER (SW1/4) OF THE NORTHWEST ONE QUARTER (NW 1/4) OF SAID SECTION 33 AS THE SAME IS SHOWN AND DESIGNATED ON THE "SUMMARY PLAT FOR ANNEXATION" FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 24, 1982, IN VOLUME C20, FOLIO 24, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID TRACT, COMMON TO THE SOUTHWEST CORNER OF SANDIA RESEARCH PARK SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 6, 1988, IN VOLUME C36, FOLIO 115, LYING ON THE PURPORTED WEST SECTION LINE OF SAID SECTION 33, MARKED BY A SET-PK NAIL WITH TAG "PS 11993" FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "L-21S" BEARS N 00°15'49" W, A DISTANCE OF 1,356.15 FEET;

THENCE FROM SAID BEGINNING POINT, LEAVING SAID WEST LINE, ALONG THE SOUTH LINE OF SAID SANDIA RESEARCH PARK, S 89°16'08" E, A DISTANCE OF 1,306.26 FEET TO THE NORTHEAST CORNER OF SAID TRACT, MARKED BY A FOUND REBAR WITH CAP "PS 11993";

THENCE LEAVING SAID SOUTH LINE, S 00°49'51" W, A DISTANCE OF 673.57 FEET TO THE SOUTHEAST CORNER OF SAID TRACT MARKED BY A SET REBAR WITH CAP "PS 11993", ALSO BEING THE NORTHEAST CORNER OF AN EXISTING PNM SWITCHING STATION AS THE SAME IS DESIGNATED IN THOSE NEW MEXICO STATE LAND OFFICE PATENTS DATED DECEMBER 5, 1975, FILED IN THE STATE RECORD OF PATENTS IN VOLUME 10, PAGES 1804 AND 1805;

THENCE ALONG THE NORTH LINE OF SAID PNM SWITCHING STATION, N 89°30'31" W, A DISTANCE OF 1,307.82 FEET TO THE SOUTHWEST CORNER OF SAID TRACT LYING ON SAID PURPORTED WEST SECTION LINE OF SECTION 33, MARKED BY A SET PK NAIL WITH TAG "PS 11993";

THENCE N 00°58'36" E ALONG SAID WEST LINE, A DISTANCE OF 679.04 FEET TO THE POINT OF BEGINNING CONTAINING 20.2941 ACRES MORE OR LESS.

HCS Pub. Jan. 19, 2001.

**AFFIDAVIT OF PUBLICA**

CITY OF ALBUQUERQUE  
FOURTEENTH COUNCIL  
COUNCIL BILL NO., 0-65  
ENACTMENT NO. 51-2000

SPONSORED BY: Hess Yntema (by request)  
ORDINANCE

ANNEXATION, 00114 00000 00715 / 00110 00000 000716, ANNEXING 20 ACRES MORE OR LESS, LOCATED EUBANK BOULEVARD SE, BETWEEN GIBSON BOULEVARD AND KIRTLAND AIR FORCE BASE AND AMENDING THE ZONE MAP TO ESTABLISH IP ZONING.

BE IT ORDAINED BY THE COUNCIL, THE GOVERNING BODY OF THE CITY OF ALBUQUERQUE:

Section 1. AREA PROPOSED FOR ANNEXATION. The owner of the area annexed hereby presented a property signed petition to annex the following territory: 20 acres, more or less, located on Eubank Boulevard SE between Gibson Boulevard and Kirtland Air Force Base; and more particularly described as follows:

A. A Tract of land in Section 33 T10N, R4E, in the North 1/2 of the SW 1/4 of the NW 1/4.

B. All of the right of way adjoining the land described in A, of this section to the extent it is not already in the City.

The above described territory is contiguous to the City of Albuquerque.

Section 2. ANNEXATION ACCEPTED. The petition and the area specified in Section 1 above are accepted and the above territory is hereby annexed.

Section 3. ZONE MAP AMENDED. The annexation creates a changed community condition, which justifies the zoning. The zone map adopted by Section 14-16-1.1 of Seq. R.O.A. 1994 is hereby amended, establishing IP zoning.

Section 4. FINDINGS ACCEPTED. The following zone map amendment findings recommended by the Environmental Planning Commission are adopted by the Council:

(A) This is a request for a zone map amendment to establish IP zoning for an accompanying annexation request of approximately 20 acres, located on Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies a request for annexation of the subject site.

(B) The requested zoning furthers the applicable Goals and policies of the Comprehensive Plan by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.

(C) The requested zoning furthers and fulfills the policies of R-270-1980. The proposed zoning will further stabilize the land use in the area as an industrial, research and technology park. The existing zoning is inappropriate because of changed neighborhood or community conditions in the form of annexation of the subject site. Also, a different use category is more advantageous to the community as articulated in the Comprehensive Plan. This change of zone will not be harmful to adjacent property, the neighborhood or the community.

(D) As required by the Zoning Code, this request for a change to P zoning is accompanied by a Master Development Plan for the subject site.

Section 5. SEVERABILITY CLAUSE. If any section, paragraph, sentence, clause, word or phrase of this ordinance is for any reason held to be invalid or unenforceable by any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions of this ordinance. The Council hereby declares that it would have passed this ordinance and each section, paragraph, sentence, clause, word or phrase thereof irrespective of any provisions being declared unconstitutional or otherwise invalid.

Section 6. EFFECTIVE DATE AND PUBLICATION. This ordinance shall become effective five or more days after publication in full when a copy of the ordinance and a plat of the territory hereby annexed is filed in the office of the County Clerk.

PASSED AND ADOPTED THIS 20th day of November, 2000.

BY A VOTE OF: 9 FOR 0 AGAINST.

/s/ Michael Brasher  
Michael Brasher, President  
City Council

/s/ Jim Baca  
Jim Baca, Mayor  
City of Albuquerque

APPROVED THIS 21st DAY OF December, 2000.  
No. 0-65

TEST:  
Margie Baca Archuleta  
City Clerk



**CITY of ALBUQUERQUE  
FOURTEENTH COUNCIL**

COUNCIL BILL NO.

0-65

ENACTMENT NO.

51-2000

SPONSORED BY:

*Hess Yntema (by request)*

**ORDINANCE**

1  
2 ANNEXATION, 00114 00000 00715 / 00110 00000 000716, ANNEXING 20 ACRES  
3 MORE OR LESS, LOCATED EUBANK BOULEVARD SE, BETWEEN GIBSON  
4 BOULEVARD AND KIRTLAND AIR FORCE BASE AND AMENDING THE ZONE  
5 MAP TO ESTABLISH IP ZONING.

6 BE IT ORDAINED BY THE COUNCIL, THE GOVERNING BODY OF THE CITY OF  
7 ALBUQUERQUE:

8 Section 1. AREA PROPOSED FOR ANNEXATION. The owner of the area  
9 annexed hereby presented a properly signed petition to annex the following  
10 territory: 20 acres, more or less, located on Eubank Boulevard SE between  
11 Gibson Boulevard and Kirtland Air Force Base; and more particularly  
12 described as follows:

13 A. A Tract of land in Section 33 T10N, R4E, in the North 1/2 of the  
14 SW 1/4 of the NW 1/4.

15 B. All of the right-of-way adjoining the land described in A. of this  
16 section to the extent it is not already in the City.

17 The above described territory is contiguous to the City of Albuquerque.

18 Section 2. ANNEXATION ACCEPTED. The petition and the area specified  
19 in Section 1 above are accepted and the above territory is hereby annexed.

20 Section 3. ZONE MAP AMENDED. The annexation creates a changed  
21 community condition, which justifies the zoning. The zone map adopted by  
22 Section 14-16-1-1 et. Seq. R.O.A. 1994 is hereby amended, establishing IP  
23 zoning.

24 Section 4. FINDINGS ACCEPTED. The following zone map amendment  
25 findings recommended by the Environmental Planning Commission are  
26 adopted by the Council:

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Mary Herrera

Bern. Co. ORDN

R 15.00

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1 (A) This is a request for a zone map amendment to establish IP zoning for  
2 an accompanying annexation request of approximately 20 acres, located on  
3 Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies  
4 a request for annexation of the subject site.

5 (B) The requested zoning furthers the applicable Goals and policies of the  
6 Comprehensive Plan by providing the opportunity for a quality urban  
7 environment which perpetuates the tradition of identifiable, individual but  
8 integrated communities within the metropolitan area and which offers variety  
9 and choice in transportation, work areas, and life styles, while creating a  
10 visually pleasing built environment.

11 (C) The requested zoning furthers and fulfills the policies of R-270-1980.  
12 The proposed zoning will further stabilize the land use in the area as an  
13 industrial, research and technology park. The existing zoning is inappropriate  
14 because of changed neighborhood or community conditions in the form of  
15 annexation of the subject site. Also, a different use category is more  
16 advantageous to the community as articulated in the Comprehensive Plan.  
17 This change of zone will not be harmful to adjacent property, the  
18 neighborhood or the community.

19 (D) As required by the Zoning Code, this request for a change to IP zoning  
20 is accompanied by a Master Development Plan for the subject site.

21 Section 5. SEVERABILITY CLAUSE. If any section, paragraph, sentence,  
22 clause, word or phrase of this ordinance is for any reason held to be invalid or  
23 unenforceable by any court of competent jurisdiction, such decision shall not  
24 affect the validity of the remaining provisions of this ordinance. The Council  
25 hereby declares that it would have passed this ordinance and each section,  
26 paragraph, sentence, clause, word or phrase thereof irrespective of any  
27 provisions being declared unconstitutional or otherwise invalid.

28 Section 6. EFFECTIVE DATE AND PUBLICATION. This ordinance shall  
29 become effective five or more days after publication in full when a copy of the  
30 ordinance and a plat of the territory hereby annexed is filed in the office of the  
31 County Clerk.



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1 PASSED AND ADOPTED THIS 20th DAY OF NOVEMBER, 2000  
2 BY A VOTE OF: 9 FOR 0 AGAINST.

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*Michael Brasher*

Michael Brasher, President  
City Council

APPROVED THIS 21<sup>st</sup> DAY OF December, 2000 *[Signature]*

Bill No. O-65

*Jim Baca*

Jim Baca, Mayor  
City of Albuquerque

ATTEST:

*[Signature]*

City Clerk

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Maru Herrera

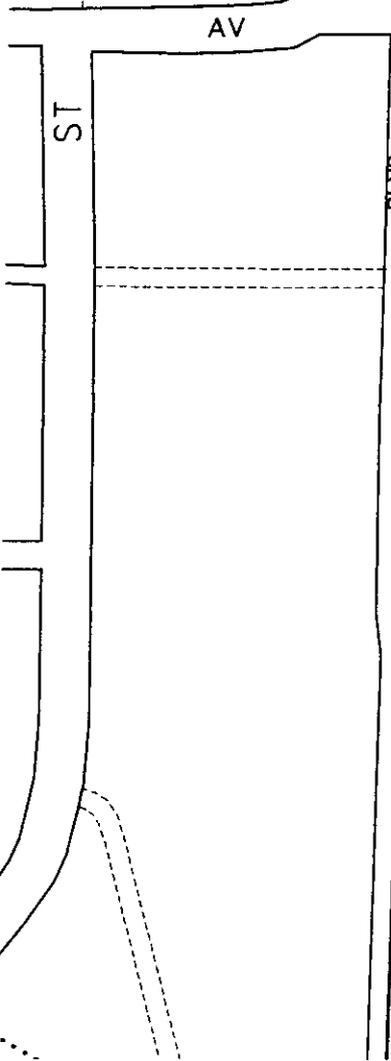
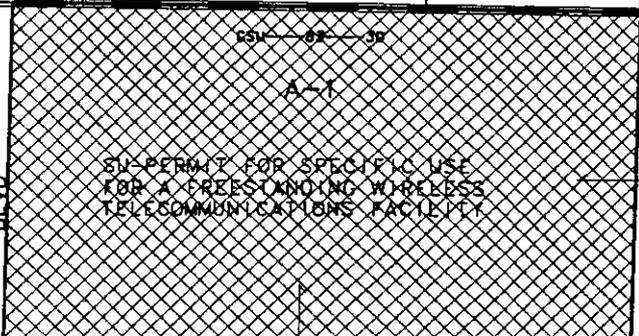
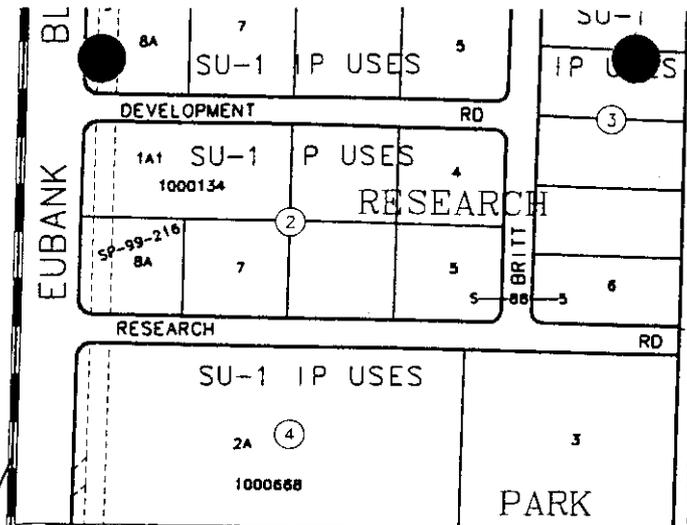
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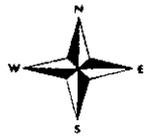
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GRAY SHADING INDICATES COUNTY



Map Scale: 1" = 400'

Map Printed November 20, 2000

EXHIBIT TO 0-065  
ANNEXATION MAP  
PROJECT NO. 1000554  
APPLICATION NUMBERS:  
00114-00000-00715  
00110-00000-00716

**A** CITY OF **Albuquerque**  
**A**lbuquerque **G**eographic **I**nformation **S**ystem  
**PLANNING DEPARTMENT**  
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NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to approve 00128 00000 00718, a master development plan for a tract of land in Section 33, T10N, R4E, in the North 2 of the SW 1/4 of the NW 1/4, based on the preceding Findings and subject to the following Conditions of Approval.

**FINDINGS:**

1. This is a request for approval of a Master Development Plan for an accompanying zone map amendment request to IP zoning, for an approximately 20 acre site, located on Eubank Boulevard SE, south of Gibson Boulevard.
2. Approval of this Master Plan is dependent on City Council approval of the accompanying annexation and zone map amendment requests.
3. The master plan submittal furthers the applicable Goals and Policies of the *Comprehensive Plan* by providing the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
4. The master plan submittal meets the *Zoning Code* requirements for a Master Development Plan.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
2. Approval of this Master Plan is dependent on City Council approval of the accompanying annexation and zone map amendment requests.
3. The minimum width for planting areas for street trees shall be 5 feet.

MOVED BY COMMISSIONER J CHAVEZ  
SECONDED BY COMMISSIONER McMAHAN

MOTION CARRIED UNANIMOUSLY  
(COMMISSIONER JOHNSON &  
COMMISSIONER BEGAY RECUSED  
THEMSELVES)

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT SERVICES DIVISION  
P. O. BOX 1293  
ALBUQUERQUE, NEW MEXICO 87103

Date: January 3, 2001

**CERTIFICATE OF ZONING**

NM Commissioner of Public Lands  
310 Old Santa Fe Trail  
P.O. Box 1148  
Santa Fe, NM 87504

FILE: 00114-00000-00715/00110-00000-  
00716/00128-00000-00718  
(Council Bill No. 0-65, Enactment #51-2000)  
LEGAL: a tract of land in Section 33, T10N, R4E,  
in the North ½ of the SW ¼ of the NW ¼, on  
Eubank Boulevard SE, South of Gibson Boulevard,  
containing approximately 20 acres. (M-21) Russell  
Brito, Staff Planner

On November 20, 2000, the City Council approved your request to annex and amend the zone map as it applies to the above-cited property. The possible appeal period having expired, the property status is now changed as follows:

**IP ZONING**

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of this case does not constitute approval of plans for a building permit. You should take two copies of your plans to the Building & Inspection Division of the City to initiate a building permit.

Sincerely,



for Robert R. McCabe, AIA, APA  
Planning Director

cc: Dekker/Perich/Sabatini, 6801 Jefferson Blvd. NE, Ste. 100, Albuquerque, NM 87109  
File



**CITY of ALBUQUERQUE  
FOURTEENTH COUNCIL**

COUNCIL BILL NO.

**0-65**

ENACTMENT NO.

**51-2000**

SPONSORED BY:

*Hess Yntema (by request)*

1

**ORDINANCE**

2

**ANNEXATION, 00114 00000 00715 / 00110 00000 000716, ANNEXING 20 ACRES**

3

**MORE OR LESS, LOCATED EUBANK BOULEVARD SE, BETWEEN GIBSON**

4

**BOULEVARD AND KIRTLAND AIR FORCE BASE AND AMENDING THE ZONE**

5

**MAP TO ESTABLISH IP ZONING.**

6

**BE IT ORDAINED BY THE COUNCIL, THE GOVERNING BODY OF THE CITY OF**

7

**ALBUQUERQUE:**

8

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**annexed hereby presented a properly signed petition to annex the following**

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11

**Gibson Boulevard and Kirtland Air Force Base; and more particularly**

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**described as follows:**

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**A. A Tract of land in Section 33 T10N, R4E, in the North ½ of the**

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**SW ¼ of the NW ¼.**

15

**B. All of the right-of-way adjoining the land described in A. of this**

16

**section to the extent it is not already in the City.**

17

**The above described territory is contiguous to the City of Albuquerque.**

18

**Section 2. ANNEXATION ACCEPTED. The petition and the area specified**

19

**in Section 1 above are accepted and the above territory is hereby annexed.**

20

**Section 3. ZONE MAP AMENDED. The annexation creates a changed**

21

**community condition, which justifies the zoning. The zone map adopted by**

22

**Section 14-16-1-1 et. Seq. R.O.A. 1994 is hereby amended, establishing IP**

23

**zoning.**

24

**Section 4. FINDINGS ACCEPTED. The following zone map amendment**

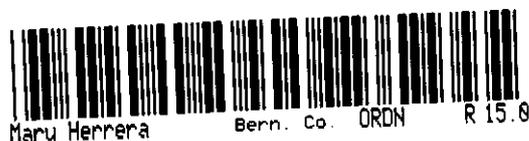
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**findings recommended by the Environmental Planning Commission are**

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**adopted by the Council:**

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1 (A) This is a request for a zone map amendment to establish IP zoning for  
2 an accompanying annexation request of approximately 20 acres, located on  
3 Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies  
4 a request for annexation of the subject site.

5 (B) The requested zoning furthers the applicable Goals and policies of the  
6 Comprehensive Plan by providing the opportunity for a quality urban  
7 environment which perpetuates the tradition of identifiable, individual but  
8 integrated communities within the metropolitan area and which offers variety  
9 and choice in transportation, work areas, and life styles, while creating a  
10 visually pleasing built environment.

11 (C) The requested zoning furthers and fulfills the policies of R-270-1980.  
12 The proposed zoning will further stabilize the land use in the area as an  
13 industrial, research and technology park. The existing zoning is inappropriate  
14 because of changed neighborhood or community conditions in the form of  
15 annexation of the subject site. Also, a different use category is more  
16 advantageous to the community as articulated in the Comprehensive Plan.  
17 This change of zone will not be harmful to adjacent property, the  
18 neighborhood or the community.

19 (D) As required by the Zoning Code, this request for a change to IP zoning  
20 is accompanied by a Master Development Plan for the subject site.

21 Section 5. SEVERABILITY CLAUSE. If any section, paragraph, sentence,  
22 clause, word or phrase of this ordinance is for any reason held to be invalid or  
23 unenforceable by any court of competent jurisdiction, such decision shall not  
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1 PASSED AND ADOPTED THIS 20th DAY OF NOVEMBER, 2000  
2 BY A VOTE OF: 9 FOR 0 AGAINST.

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10 **Michael Brasher, President**  
11 **City Council**

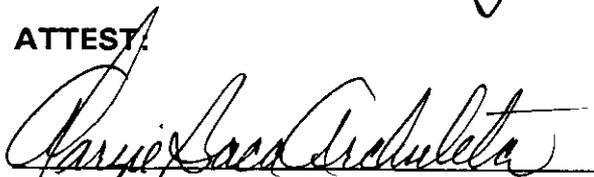
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14 APPROVED THIS 21st DAY OF December, 2000 

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17 **Bill No. O-65**

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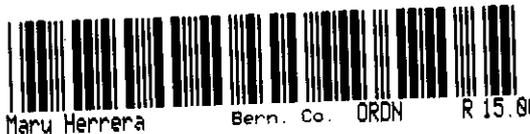
20 **Jim Baca, Mayor**  
21 **City of Albuquerque**

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23 **ATTEST:**

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25 **Carrie Ann Arduleta**  
26 **City Clerk**

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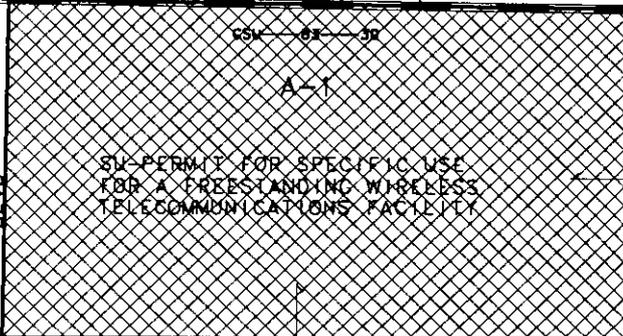
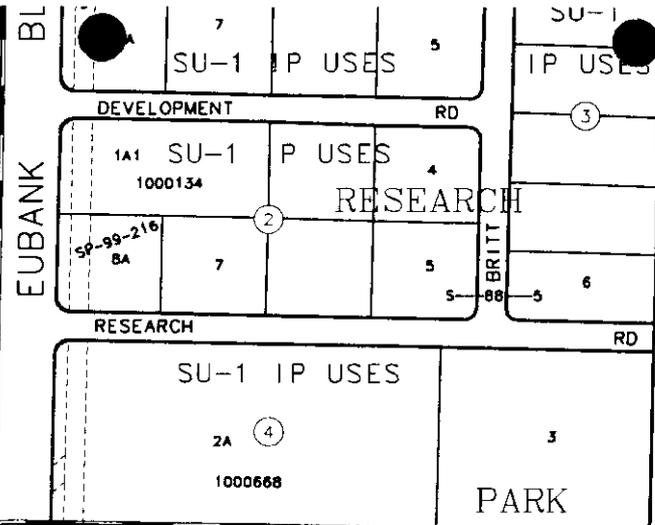
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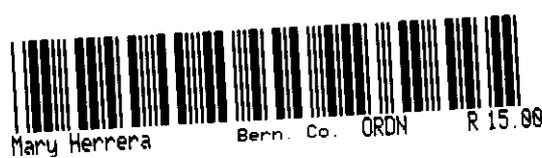
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GRAY SHADING INDICATES COUNTY



Map Scale: 1" = 400'

Map Printed November 20, 2000

EXHIBIT TO 0-065  
 ANNEXATION MAP

PROJECT NO. 1000554  
 APPLICATION NUMBERS:  
 00114-00000-00715  
 00110-00000-00716

**CITY OF**  
**Albuquerque**

**A**lbuquerque **G**eographic **I**nformation **S**ystem  
**PLANNING DEPARTMENT**

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- EC-183 First Supplement to Professional Services Agreement - URS Corporation  
(Exhibit 36)  
Vice-President Armijo moved that this matter be Approved. Seconded. The motion carried by the following vote:  
For: 9 - Council Members: Armijo, Brasher, Griego, Hundley, Kline, McEntee, Payne, Winter and Yntema  
Against: 0
- EC-200 Mayor's Appointment/Reappointment to the Greater Albuquerque Recreational Trails Committee  
Vice-President Armijo moved that this matter be Postponed scheduled for December 4, 2000. Seconded. The motion carried by the following vote:  
For: 9 - Council Members: Armijo, Brasher, Griego, Hundley, Kline, McEntee, Payne, Winter and Yntema  
Against: 0

### FINAL ACTIONS

- Bill No. M-013 Encouraging The New Mexico Governor And State Legislature To Amend New Mexico Criminal Statutes To Limit Use Of Electronic Tracking Devices.  
(Exhibit 37)  
Councillor McEntee moved that this matter be Passed. Seconded. The motion carried by the following vote:  
For: 8 - Council Members: Brasher, Griego, Hundley, Kline, McEntee, Payne, Winter and Yntema  
Against: 0  
Excused: 1 - Council Member: Armijo
- Bill No. O-054 Prohibiting the Use of Electronic Tracking Devices (Payne, by request)  
Councillor Payne moved that this matter be Postponed scheduled for February 26, 2001. Seconded. The motion carried by the following vote:  
For: 8 - Council Members: Brasher, Griego, Hundley, Kline, McEntee, Payne, Winter and Yntema  
Against: 0  
Excused: 1 - Council Member: Armijo
- Bill No. M-014 Urging The City Administration To Consider The Goal Of The Veterans Association Of Enhanced Use Lease In Order To Provide One-Stop Shopping For Veterans.  
(Exhibit 38)  
President Brasher moved that this matter be Passed. Seconded. The motion carried by the following vote:  
For: 8 - Council Members: Brasher, Griego, Hundley, Kline, McEntee, Payne, Winter and Yntema  
Against: 0  
Excused: 1 - Council Member: Armijo
- Bill No. O-065 Annexation, 00114 00000 00715 / 00110 00000 000716, Annexing 20 Acres More Or Less, Located Eubank Boulevard Se, Between Gibson Boulevard And Kirtland Air Force Base And Amending The Zone Map To Establish Ip Zoning.  
(Exhibit39)  
Councillor Yntema moved that this matter be Passed. Seconded. The motion carried by the following vote:  
For: 9 - Council Members: Armijo, Brasher, Griego, Hundley, Kline, McEntee, Payne, Winter and Yntema  
Against: 0



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## NOTICE OF HEARING

November 1, 2000

NM Commissioner of Public Lands  
310 Old Santa Fe Trail  
P.O. Box 1148  
Santa Fe, NM 87504

**Council Bill O-065** (AX-00114-00000-00715/00110-00000-00716/00128-00000-00718/Project #1000554) The Environmental Planning Commission recommends approval of annexation and establishment of IP zoning for a tract of land in Section 33 T10N, R4E, in the North ½ of the SW ¼ of the NW ¼, located on Eubank Boulevard SE, south of Gibson Boulevard, containing approximately 20 acres. (M-21) Russell Brito, Staff Planner.

The above case will be heard by the Land Use, Planning and Zoning Committee (LUPZ) on **Wednesday, November 15, 2000**. The hearing begins at 5:00 p.m. and will be held in the Council/Committee Room, 9th Floor, City/County Government Center, One Civic Plaza, NW.

If you have any questions or if I can be of further assistance, you can contact me at (505) 924-3889.

Sincerely,

Crysta Peña  
Board Secretary

cc: Dekker/Perich/Sabatini, 6801 Jefferson Blvd. NE, Ste. 100, Albuquerque, NM 87109

C-065

# CITY OF ALBUQUERQUE

Albuquerque, New Mexico

## Office of the Mayor

INTER-OFFICE MEMORANDUM      September 13, 2000

**TO:** Michael Brasher, President, City Council

**FROM:** Jim Baca, Mayor

**SUBJECT:** AX-00114-00000-00715 / 00110-00000-00716 / 00128-00000-00718 The Environmental Planning Commission recommends approval of annexation and establishment of IP zoning for a tract of land in Section 33 T10N, R4E, in the North ½ of the SW ¼ of the NW ¼, located on Eubank Boulevard SE, south of Gibson Boulevard, containing approximately 20 acres. (M-21) Russell Brito, Staff Planner.

The Environmental Planning Commission heard the annexation and zone map amendment requests at the 17 August 2000 public hearing. The EPC unanimously recommends approval to the City Council for both the annexation and establishment of IP zoning requests. The subject site is an approximately 20-acre site located at the southern end of Eubank Boulevard adjacent to Kirtland Air Force Base. The immediately surrounding area is a developing industrial, research and technology park with a mix of IP and SU-1 for IP zoning.

The EPC found that the annexation request furthers and meets the applicable Goals and policies of the *Comprehensive Plan* and *Resolution 54-1990*. The site is designated by the *Comprehensive Plan* as Developing Urban and annexation of such areas into the City is desired and encouraged. A pre-annexation agreement is not necessary for this request as City utilities are readily available to the subject site and provision of services can be handled at the Development Review Board during the platting process.

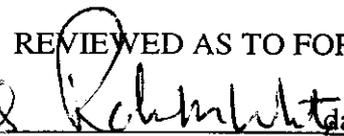
The EPC found that the zone map amendment request furthers and meets the applicable Goals and policies of the *Comprehensive Plan* and *Resolution 270-1980*. The proposed IP zoning will further stabilize the land use in the area as an industrial, research and technology park. As required by the *Zoning Code*, a Master Development Plan for the subject site accompanies this request for IP zoning.

The Planning Department supports the Environmental Planning Commission's recommendations for approval of the annexation and zone map amendment requests.

RECOMMENDED:

*AD/RS*  
  
date: 10/25/00  
Robert R. McCabe, AIA, APA  
Planning Director

REVIEWED AS TO FORM:

  
date: 9-22-00  
*CS*  
Robert M. White  
City Attorney

RECOMMENDED:

\_\_\_\_\_ date: \_\_\_\_\_  
Lawrence Rael  
Chief Administrative Officer



[+Bracketed/Underscored Material+] - New  
[-Bracketed/Strikethrough Material-] - Deletion

1 (A) This is a request for a zone map amendment to establish IP zoning for  
2 an accompanying annexation request of approximately 20 acres, located on  
3 Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies  
4 a request for annexation of the subject site.

5 (B) The requested zoning furthers the applicable Goals and policies of the  
6 Comprehensive Plan by providing the opportunity for a quality urban  
7 environment which perpetuates the tradition of identifiable, individual but  
8 integrated communities within the metropolitan area and which offers variety  
9 and choice in transportation, work areas, and life styles, while creating a  
10 visually pleasing built environment.

11 (C) The requested zoning furthers and fulfills the policies of R-270-1980.  
12 The proposed zoning will further stabilize the land use in the area as an  
13 industrial, research and technology park. The existing zoning is inappropriate  
14 because of changed neighborhood or community conditions in the form of  
15 annexation of the subject site. Also, a different use category is more  
16 advantageous to the community as articulated in the Comprehensive Plan.  
17 This change of zone will not be harmful to adjacent property, the  
18 neighborhood or the community.

19 (D) As required by the Zoning Code, this request for a change to IP zoning  
20 is accompanied by a Master Development Plan for the subject site.

21 Section 5. SEVERABILITY CLAUSE. If any section, paragraph, sentence,  
22 clause, word or phrase of this ordinance is for any reason held to be invalid or  
23 unenforceable by any court of competent jurisdiction, such decision shall not  
24 affect the validity of the remaining provisions of this ordinance. The Council  
25 hereby declares that it would have passed this ordinance and each section,  
26 paragraph, sentence, clause, word or phrase thereof irrespective of any  
27 provisions being declared unconstitutional or otherwise invalid.

28 Section 6. EFFECTIVE DATE AND PUBLICATION. This ordinance shall  
29 become effective five or more days after publication in full when a copy of the  
30 ordinance and a plat of the territory hereby annexed is filed in the office of the  
31 County Clerk.

FISCAL IMPACT ANALYSIS

TITLE: 00114-00000-00715 R- \_\_\_\_\_ O- \_\_\_\_\_  
00116-00000-00716 FUND: C110  
00128-00000-00718 DEPT: Planning

- No measurable fiscal impact is anticipated, i.e., no impact on fund balance over and above existing appropriations.
- (If Applicable) The estimated fiscal impact (defined as impact over and above existing appropriations) of this legislation is as follows:

	<u>CURRENT YEAR*</u>	<u>NEXT YEAR*</u>
Base Salary/Wages	\$ _____	\$ _____
Fringe Benefits at _____ %	_____	_____
Subtotal Personnel	\$ _____	\$ _____
Operating Expenses	_____	_____
Property	_____	_____
Indirect Costs	_____	_____
Total	\$ _____	\$ _____
<input type="checkbox"/> Estimated revenues not affected		
<input type="checkbox"/> Estimated revenue impact	\$ _____	\$ _____

- \* These estimates do not include any adjustment for inflation.
- \* Range if not easily quantifiable.

Number of Positions \_\_\_\_\_

COMMENTS:

*See attached memo*

COMMENTS ON NON-MONETARY IMPACTS TO COMMUNITY/CITY GOVERNMENT:

PREPARED BY:

*[Signature]* 9/19-00  
 FISCAL ANALYST

APPROVED:

*[Signature]*  
 DIRECTOR (date)

REVIEWED BY:

*[Signature]*  
 EXECUTIVE BUDGET ANALYST

REVIEWED BY:

*[Signature]*  
 BUDGET OFFICER (date)

REVIEWED BY:

*[Signature]*  
 CITY ECONOMIST

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## MEMORANDUM

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DATE: 9/15/00

TO: RICHARD DINEEN, DEVELOPMENT SERVICES

FROM: CHRISTOPHER HYER, ADVANCED PLANNING *CHH*

RE: FISCAL IMPACT ANALYSIS, CASE # 00114 00000 00715 / 00110 00000 00716

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The fiscal impact resulting from the approval of this Annexation and the Zone Amendment were analyzed using the City's FISCALS model. The assumption of the analysis are as follows:

- Infrastructure improvements have already been made;
- The FAR (Floor Area Ratio) will be approximately .10 - .20;
- The site is in the Sandia Science & Technology Park which implies this area will be used for Research & Development;
- The average salary for this area will be \$50,000.00 ;
- There has been no property tax and will be none for 10 years due to the IRB;
- If site remains in County, development will occur anyway.

Although the results from the FISCALS model show there would be a cost to the City for providing the infrastructure services (mainly water and sewer) along with public safety services (police and fire), these costs have already been incurred. The water and sewer lines are in place along Eubank and the developer would only need to hook up service. Police and fire are already provided to the property next to the subject property. Drainage is slight and flows towards the existing storm water system. Transportation will be along Eubank and plans to improve this road are already in effect. Thus, the one time costs have been paid. No additional capital expenditures by the City are required.

Annual costs to the City would only include police, fire and transportation which have been discussed above and result as a cost that is already being covered in providing these services to the existing area.

Non-annexation will result in costs to the City because this site will be developed anyway and use the City services that are there such as the water, sewer, drainage system and roads. Non-annexation will also result in the City losing revenues from franchise services, gross receipts taxes from new construction (estimated at \$139,267 one-time) and other taxes and fees.

The result of the discussion above is that annexation of this property will essentially cost the City nothing and the salaries earned will more than likely be used within the City.

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Agenda Number: 20  
 Case Number: 00114 00000 00715  
 00110 00000 00716  
 00128 00000 00718  
 August 17, 2000

## Staff Report

• <i>Agent</i>	Dekker/Perich/Sabitini
• <i>Applicant</i>	NM Commissioner of Public Lands
<i>Requests</i>	Annexation, establishment of zoning and approval of a master development plan
• <i>Legal Description</i>	a tract of land in Section 33, T10N, R4E, in the North ½ of the SW 1/4 of the NW 1/4
• <i>Location</i>	on Eubank Boulevard SE, south of Gibson Boulevard
• <i>Size</i>	approximately 20 acres
• <i>Existing Zoning</i>	County A-1
• <i>Proposed Zoning</i>	IP

### Staff Recommendation

That **APPROVAL** of 00114 00000 00715 be forwarded to the City Council, based on the findings on page 11.

That **APPROVAL** of 00110 00000 00716, be forwarded to the City Council, based on the findings on page 12.

**APPROVAL** of 00128 00000 00718, based on the findings on page 13, and subject to the conditions of approval on pages 14 - 17.

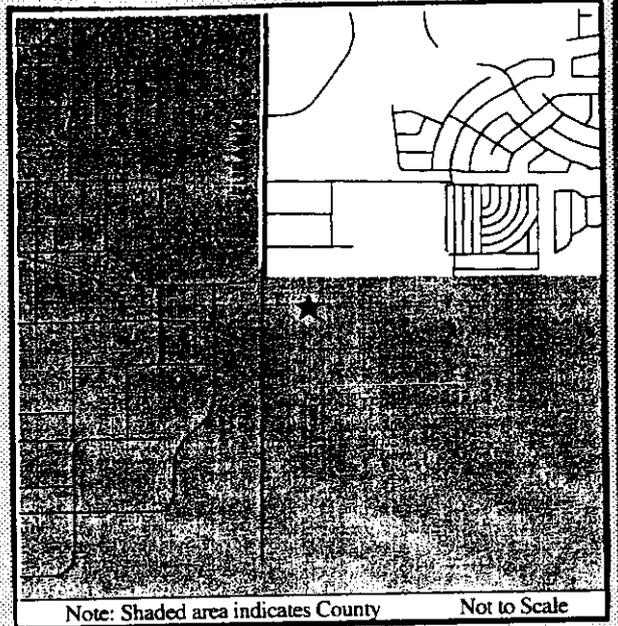
*Staff Planner*  
 Russell Brito, Planner

### Summary of Analysis

The requests for annexation and a zone map amendment to establish IP zoning are justified as per the policies and requirements of *R-54-1990* and *R-270-1980*. The requests further the applicable goals and policies of the *Comprehensive Plan*.

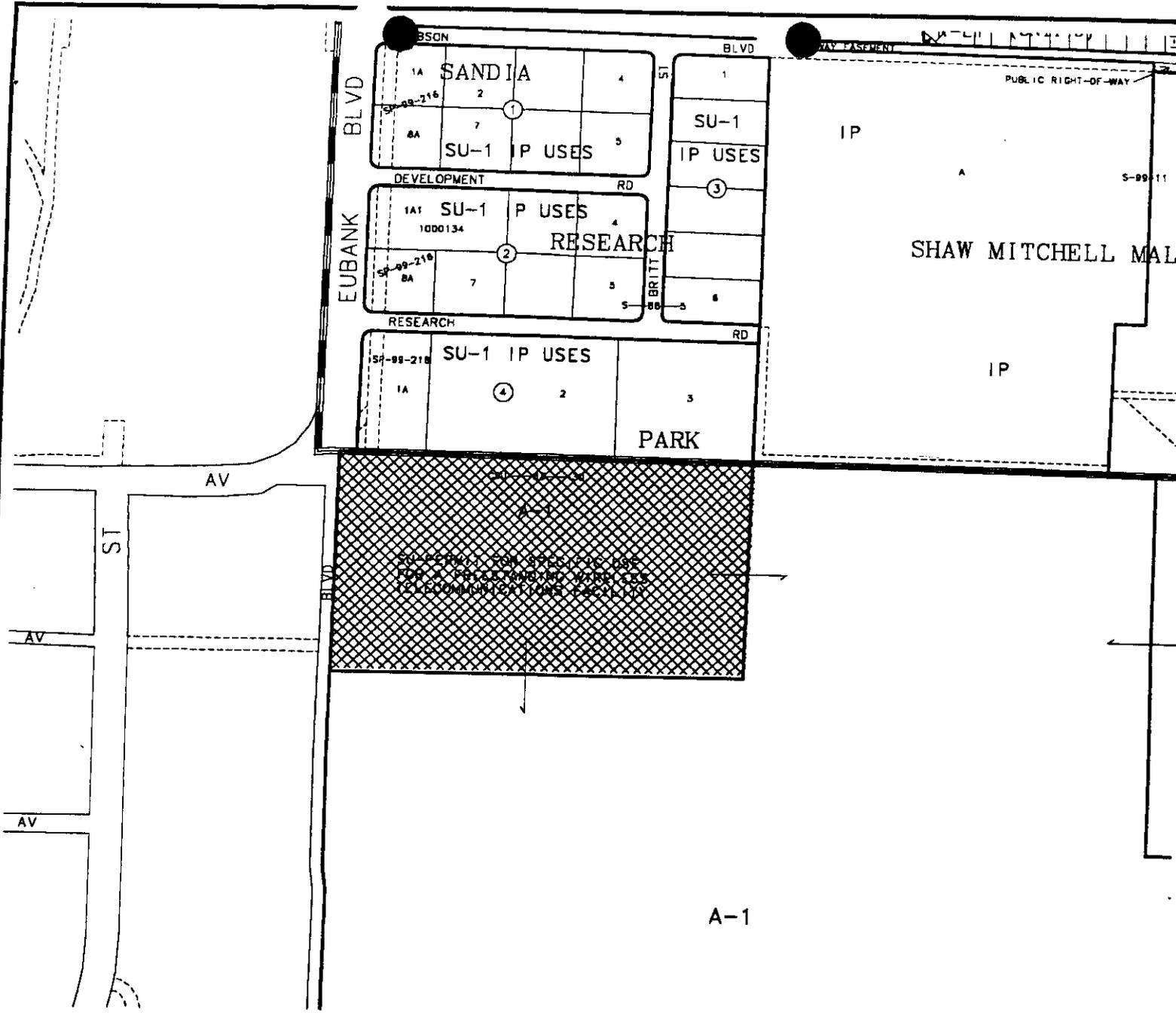
The request for approval of a Master Development Plan is dependent on approval of the annexation and zone map amendment requests by the City Council. It furthers the applicable Goals and policies of the *Comprehensive Plan* and will meet the *Zoning Code* requirements for a Master Development Plan with some additions and changes.

The submitted Master Development Plan will be adequate with some additions and changes.



Note: Shaded area indicates County Not to Scale

City Departments and other interested agencies reviewed this application from 7 July 2000 to 21 July 2000. Agency comments were used in the preparation of this report, and begin on page 18.



ZONING MAP



Scale 1" = 460'

PROJECT NO.  
1000554

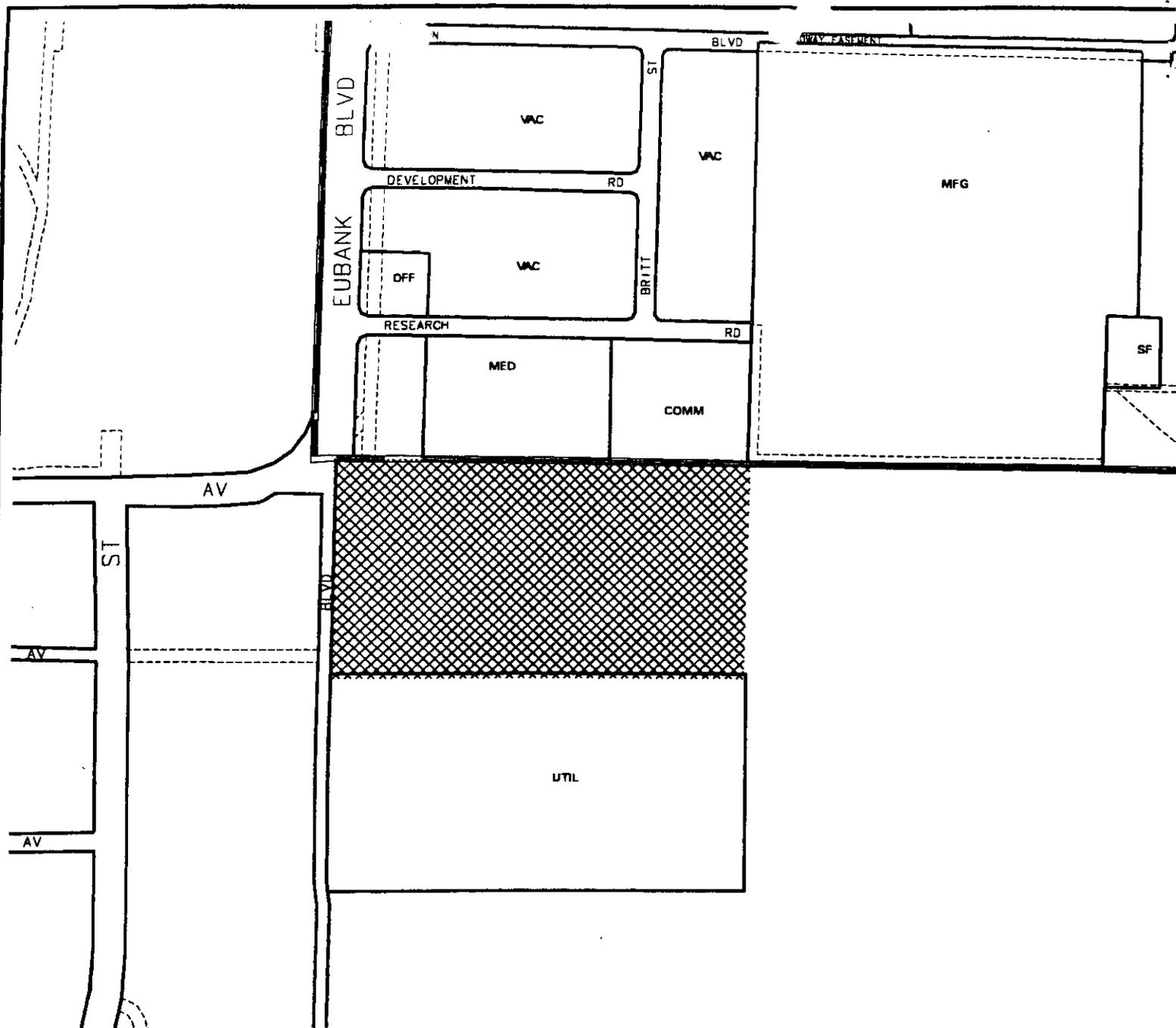
HEARING DATE  
08-17-00

MAP NO.  
M-21

APPLICATION NO.  
00114-00000-00715  
00110-00000-00716  
00128-00000-00718

-2-

Note: Shaded area indicates County Not to Scale



## LAND USE MAP

### KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial-Retail, Service, Wholesale
- DRNG Drainage
- EDUC Public or Private School
- GOLF Golf Course
- MED Medical Office or Facility
- MFG Manufacturing or Mining
- MH Mobile Home
- MULT Multi-Family or Group Home
- OFF Office
- DRG Social or Civic Organization
- PARK Park, Recreation or Open Space
- PRKG Parking
- PUBF Public Facility
- RELG Religious Facility
- SF Single Family
- TRAN Transportation Facility
- UTIL Utility
- VAC Vacant Land or Abandoned Bldgs
- WH Warehousing & Storage



Scale 1" = 460'

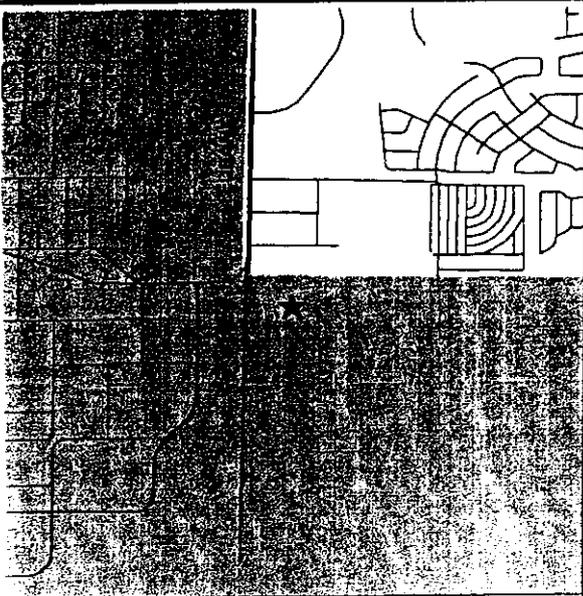
**PROJECT NO.**  
**1000554**

**HEARING DATE**  
**08-17-00**

**MAP NO.**  
**M-21**

**APPLICATION NO.**  
00114-00000-00715  
00110-00000-00716  
00128-00000-00718

-3-



Note: Shaded area indicates County Not to Scale

## Development Services Report

### SUMMARY OF REQUEST

<b>Request</b>	1. Annexation 2. Establishment of IP zoning 3. Approval of a master development plan
<b>Location</b>	a tract of land in Section 33, T10N, R4E, in the North ½ of the SW 1/4 of the NW 1/4 located on Eubank Boulevard SE, south of Gibson Boulevard

### AREA CHARACTERISTICS AND ZONING HISTORY

Surrounding zoning, plan designations, and land uses:

	Zoning	Comprehensive Plan Area; Applicable Rank II & III Plans	Land Use
<b>Site</b>	County A-1	Developing Urban	undeveloped
<b>NE &amp; North</b>	IP and SU-1 for IP Uses	"	manufacturing, medical office, and commercial
<b>South</b>	County A-1	"	electrical switching station
<b>East</b>	County A-1	"	undeveloped
<b>West</b>	US Government Land	"	Kirtland Air Force Base

### Background

The subject site is located in the unincorporated County adjacent to Kirtland Air Force Base. A developing industrial, research and technology park is located to the north and northeast of the subject site. These lands to the north and northeast were annexed and zoned SU-1 for IP Uses and IP in 1981 and 1980, respectively (Z-81-68/AX-81-16 and Z-80-96/AX-80-21). The Planning Commission has approved site plans for some of the developments in this area and delegated approval of others to the Development Review Board, such as the EMCORE site development plan (Z-98-41/DRB-98-41).

Economic development considerations and the economics of location have driven much of the technology-based development in the immediate area, taking advantage of the area's proximity to Sandia National Laboratories and other technology ventures. It appears that the State Land Office is taking a more direct role in the development of this area with the current request for annexation, establishment of zoning and approval of a Master Development Plan.

## APPLICABLE PLANS AND POLICIES

### *Albuquerque / Bernalillo County Comprehensive Plan*

The subject site is also a part of the Developing Urban Area of the *Comprehensive Plan* which has a Goal "to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment." Applicable policies include:

Policy a The Established and Developing Urban Areas . . . shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

Policy d The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

Policy e New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

Policy g Development shall be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.

Policy i Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

Policy j Where new commercial development occurs, it should generally be located in existing commercially zoned areas as follows:

- in small neighborhood-oriented centers provided with pedestrian and bicycle access within reasonable distance of residential areas for walking or bicycling.
- in larger area-wide shopping centers located at intersections of arterial streets and provided with access via mass transit; more than one shopping center should be allowed at an intersection only when transportation problems do not result.
- in free-standing retailing and contiguous storefronts along streets in older neighborhoods.

Policy k Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

Policy l Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

### *Resolution 54-1990 (Annexation Policy)*

This Resolution sets forth policies and requirements for annexation of territory to the City. Land to be annexed shall be generally contiguous to City boundaries, be accessible to service providers, and have provision for convenient street access to the City. The applicant must agree to timing of capital expenditures for any necessary major streets, water, sanitary sewer

and other facilities. Lands designated as Reserve are appropriate for annexation if they meet guidelines established for the Reserve Area of the Comprehensive Plan.

Findings for annexation must include that the area is suitable for urban intensity (designated in the Comprehensive Plan), or is a City-owned park or open space; other findings should demonstrate that the public welfare is benefited by the annexation.

*Resolution 270-1980 (Zone Change Policy)*

This Resolution requires that one of three findings be made for a change of zone: that there was an error when the existing zone map pattern was created, or that changed neighborhood or community conditions justify the change, or that a different use category is more advantageous to the community. The applicant is required to justify the request.

*Resolution 91-1998 (R-70)*

This Resolution establishes an overall direction for implementation of the City's growth policies, with a framework emphasizing:

- development of community and regional activity centers and major transportation corridors (high capacity corridors); encourage increased densities and mixed uses in activity centers and corridors; meet the needs of residents closer to their homes or employment to decrease Vehicle Miles Traveled and automobile dependence.
- maintenance, enhancements and upgrades of roads and utilities in the core area, to prevent deterioration of existing communities and to encourage infill; diversify the Downtown land use mix with public facilities, hotels, office and retail development, more and higher density housing; generate more activity and attract more private investment in the Downtown area.
- enhance transit system performance, consistent with the principles of a compact urban form and a network of centers and corridors; improve the viability of transit as an alternative to the single-occupancy vehicle and reduce Vehicle Miles Traveled; improve pedestrian mobility and the character of the pedestrian environment, transit orientation and bicycle connections, within centers and corridors.
- plan the timing of road and utility construction to ensure orderly growth, and coordinate capacity increases and street extensions; transportation improvement programs must recognize the significance of natural, historic, and cultural resources and include strategies for minimizing adverse impacts on them.

*Long Range Roadway System*

The Long Range Roadway System designates Eubank Boulevard as a principal arterial which requires 124 feet of right-of-way.

## ANALYSIS - Annexation

### *Conformance to Adopted Plans, Policies, and Ordinances*

This is a request for annexation of an approximately 20 acre site located on Eubank Boulevard SE, south of Gibson Boulevard. This request is accompanied by a request for a zone map amendment to establish City IP zoning.

As discussed in the background section of this staff report, the subject site is adjacent to a developing industrial, research and technology park located within the City limits. The adjacent land was annexed in 1981 and zoned SU-1 for IP Uses.

Annexation of the subject site furthers the applicable Goals and policies of the *Comprehensive Plan* by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.

Annexation of the subject site furthers and fulfills the applicable policies of *R-54-1990*. The site is designated by the *Comprehensive Plan* as Developing Urban and annexation of such areas into the City is desired and encouraged. The site is contiguous to the City limits, has provision for convenient street access to the City, and has reasonable boundaries for delivery of public services. A pre-annexation agreement is not necessary for this annexation request as City utilities are readily available to the subject site and provision of services can be handled at the Development Review Board during the platting process.

## ANALYSIS - Establishment of Zoning (Zone Map Amendment)

### *Conformance to Adopted Plans, Policies, and Ordinances*

This is a request for a zone map amendment to establish IP zoning for an accompanying annexation request of approximately 20 acres, located on Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies a request for annexation of the subject site.

As discussed in the background section of this staff report, the subject site is adjacent to a developing industrial, research and technology park located within the City limits. The adjacent land was annexed in 1981 and zoned SU-1 for IP Uses.

The requested zoning furthers the applicable Goals and policies of the *Comprehensive Plan* by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.

The requested zoning furthers and fulfills the policies of *R-270-1980*. The proposed zoning will further stabilize the land use in the area as a industrial, research and technology park. The existing zoning is inappropriate because of changed neighborhood or community conditions in the form of annexation of the subject site. Also, a different use category is more advantageous to the community as articulated in the *Comprehensive Plan*. This change of zone will not be harmful to adjacent property, the neighborhood or the community.

As required by the Zoning Code, this request for a change to IP zoning is accompanied by a Master Development Plan for the subject site.

### *ANALYSIS - Master Development Plan*

#### *Conformance to Adopted Plans, Policies, and Ordinances*

This is a request for approval of a Master Development Plan for an accompanying zone map amendment request to IP zoning, for an approximately 20 acre site, located on Eubank Boulevard SE, south of Gibson Boulevard.

The Planning Commission has approval authority for Master Development Plans, but the request is dependent on City Council approval of the accompanying annexation and zone map amendment requests.

The master plan submittal furthers the applicable Goals and Policies of the *Comprehensive Plan* by providing the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.

The master plan submittal will meet the *Zoning Code* requirements for a Master Development Plan with some additions and changes as discussed below.

The applicant is proposing that "individual site plans in conformance with the master development plan design guidelines and criteria may go directly to building permit." In order for this to occur, the design guidelines - criteria should be expanded and amended as discussed in a following section.

#### *Site Plan Layout / Configuration*

The site is specified with proposed uses as allowed in the IP zone. The subject site is proposed to be divided into two parcels with two corresponding phases, Tract A (phase 1) and Tract B (phase 2). The maximum building height allowed for the site is 120 feet. The minimum setbacks for the site are 20' for the front and 10' for the side and rear. The maximum floor area ratio (FAR) for the entire site is 0.25.

The three site layout concepts presented in the design guidelines - criteria all recommend that building footprints be located at the building setback line "to give definition to the street and complex while parking at the back of the lots are visually screened." The three site layout concepts include building and parking configurations for single vehicular access, double vehicular access and shared vehicular access options.

#### *Vehicular Access, Circulation*

Vehicular ingress and egress and internal circulation requirements for the site are addressed by the general notes and the design guidelines - criteria. A 40' private access and utility easement is proposed along the southern property line for access from Eubank Boulevard to Tract B. The site plan notes state that "exact location of driveway access cuts to tracts A and B from 40' access easement to be determined during individual site plan. These to conform with DPM standards." Internal streets are proposed to have a 40' two way drive with a ten

foot landscape easement on either side. Additional detail is necessary to specify approximate locations or relationships of separate pedestrian and vehicular access and circulation.

#### *Pedestrian and Bicycle Access and Circulation*

Pedestrian ingress and egress and internal circulation requirements for the site are touched upon by the design guidelines - criteria. Pedestrian connections are described as 4' wide sidewalks located both sides of internal streets with a mixture of drought tolerant landscaping along the setbacks. Additional detail is necessary to specify approximate locations or relationships of separate pedestrian and vehicular access and circulation.

The Parks and Recreation Department is concerned with the provision of pedestrian and bicycle access and circulation on this site. Their comments state:

"The following language shall be added to the Master Development Plan: East/west public trail access through the site will be maintained in one of the following ways: 1) provision of a 20' east/west public trail easement on the south side of the property, 2) east/west internal public trail connection, or 3) provision of an east/west on-street bike facility.

Additionally, applicant will be required to construct an 8'-10' asphalt trail on Eubank for the length of the property in-lieu of sidewalk. This trail shall be separated from the street by a 5' buffer."

The Transit Department comments address pedestrian and bicycle circulation on the site as well: "The Design Guideline Criteria should provide for buffering of the pedestrian circulation system from vehicles traveling on the internal street. This buffer should occur in the form of landscaping wider sidewalks, on-street bicycle lanes, or on-street parking."

#### *Lighting*

Site lighting is proposed as pedestrian, parking and bollard lights with a maximum height of 16 feet for pedestrian lighting and 25 feet for street or parking lighting. An additional note should be added to the lighting criteria as follows: "Site lighting shall be full cut-off fixtures (e.g. shoe box fixtures) to minimize fugitive light."

#### *Landscaping*

The master landscape plan specifies perimeter landscaping around the entire subject site and around the two proposed, individual parcels. This landscaping is comprised of a mix of shade trees, evergreen trees, shrubs and ground cover. The design guidelines - criteria mentions the intent of the landscaping to act "as a unifying system." Trees are to be provided along internal streets and the emphasis of landscape areas shall be at street sides and shall be live plant drought tolerant landscape to provide screen for parking.

The amount of landscaping on future, individual site plans is not directly addressed by the submittal. In order to assure that adequate landscaping is provided with future site development plans, notes should be added to the Master Development Plan, the Master Landscape Plan, and the Design Guidelines - Criteria stating: "Individual site plans shall have landscaping on at least fifteen percent of the net lot area."

### *Grading, Drainage, Utility Plans*

Though not required by the *Zoning Code* for a Master Development plan, the applicant has submitted a master drainage plan and a master utilities plan as part of their submittal. The site is shown as sloping from the east to the west. The drainage proposal appears to have storm flows directed to on-site detention ponds that will drain to a future, on-site storm sewer along the southern edge of the site that will discharge to the South Eubank Interceptor Storm Sewer.

The master utilities plan proposes to connect to public utilities from Eubank Boulevard and to locate on-site, water and sewer lines within the 40' utility and access easement along the southern edge of the site. Comments from the Public Works Department, Utility Development Division state: "The utility plan must be revised. The proposed dead end water system would not be acceptable. A water and sanitary sewer serviceability statement must be requested and completed prior to DRB action."

### *Design Requirements for Buildings, Signage, Walls and Screening*

The design guidelines - criteria call for: "regional architectural expression" with opaque building materials consistent with those found in Albuquerque; elevations with offsets, fenestration and material change; clearly identified entryways tied into the overall mass and building composition; and variety in structural forms that create visual character and interest. Rooftop equipment is to be screened from public view by parapets of the same materials as the building. Docks are to be located away from view of streets to the extent possible.

Signage is proposed as one wall mounted sign per business, no more than 15% of the facade. This allowance is consistent with that of the *Zoning Code* for IP zones. Additional detail is necessary to specify allowed materials and lighting.

Walls at the street edge must be inset the distance equal to the wall height. Standard CMU block is not allowed as a finished material for perimeter walls.

Screening of outdoor storage, dumpsters and at the street and residential edges of the site are addressed adequately.

### *Design Guidelines - Criteria*

As touched upon in a previous section, the applicant is proposing that "individual site plans in conformance with the master development plan design guidelines and criteria may go directly to building permit." In order for this to occur, the design guidelines - criteria should be expanded and amended to ensure that development on this site is consistent, complementary and of a high caliber. The following guidelines should be added to the submitted design guidelines - criteria, and the submitted design guidelines - criteria amended accordingly:

#### *Parking / Circulation*

- The allowed parking shall be equal to the required parking plus 10%.
- ADA-compliant parking shall be located adjacent to main building entries.
- Cross-access provisions between adjoining parcels are required

### Pedestrian Amenities

- Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
- Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by permanently anchored tire stops, bollards or raising the walk to provide for a 6 foot wide clear pedestrian area (.assume a 2' overhang for cars).
- Shaded pedestrian access shall be provided, including a clear 6-foot-wide path with adjacent shade trees spaced 25-feet on center within planters that have a minimum interior dimension of 5 feet square.
- A sidewalk with a minimum clearance of 8 feet shall be provided along the front of smaller buildings (4,000 square feet or less).
- A shaded sidewalk that is a minimum of 15-feet-wide shall be provided along the front of larger buildings (more than 4,000 square feet). Shade can be provided with architecturally integrated portals or canopies, or by trees placed at intervals of 25 feet in planters with a minimum interior dimension of 5 feet x 5 feet.
- A continuous sidewalk that is a minimum of 6-feet wide shall be located around the perimeter of larger buildings (more than 4,000 square feet) to provide pedestrian connections between parking areas and entrances.
- An outdoor patio space, minimum 250 square feet, with tables and seating shall be provided for each building. The patio shall have adequate shading provided by trees and/or a shade structure that integrates with building architecture.
- Convenient Pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways. A minimum 6-foot clear pathway is required with shade trees spaced at 25 foot intervals (as practical) in planters with interior dimensions of 5 x 5 feet.

### Bicycle Amenities

- Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
- A covered and secured bicycle storage area that is a minimum of 200 square feet in size is required for each building.
- Each building shall provide a convenient shower facility available to bicyclists and other employees.

### Non-vehicular measures

- The following measures to encourage non-vehicular travel are required:
  - a. On site bicycle lockers and/or a secured and covered bicycle storage area
  - b. Car/vanpool preferred parking near the entrances to buildings that is clearly demarcated for this purpose.

#### Landscaping & Buffering

- A 10-foot wide landscape buffer (with trees at least 8-feet high at the time of planting) is required along property lines which abut residential zones. Trees shall be planted at a minimum interval of 25 feet; a mix of evergreens and deciduous trees shall be used in the buffer zone.
- A mix of evergreen (coniferous) and deciduous trees shall be used within parking areas.
- Buffer areas shall include a mix of evergreen (coniferous) and deciduous trees.
- 75% of landscape areas must be covered with living, vegetative material. High-water use turf must be limited in application to 20% of the landscaped area.
- Perimeter walls shall comply with the City's *Design Manual for Subdivision Access and Perimeter Walls*.
- No chain-link, razor wire (concertina) or plastic vinyl fencing is permitted.
- Low walls 2 ½ to 3 feet high shall be used to screen parking areas adjacent to streets. The walls shall integrate with building materials/colors.

#### Architecture

- Building design shall be architecturally integrated within the site and contextual to buildings within the vicinity.
- All canopies and ancillary structures shall be architecturally integrated with main buildings. Special consideration shall be given to roof structures, including materials.
- The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or the predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
- All roof penetrations shall be painted to match roof color or general building color.
- The front facade of all buildings shall have canopies, portals or awnings along the entire facade length providing pedestrians with shade. In the absence of architectural shading, shade trees shall be planted in 5 x 5 foot planters at a distance of 25 feet on center along the front facade.
- No generic franchise building elevations or canopies are permitted.
- No plastic or vinyl building panels, awnings or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
- No chainlink, razor wire or plastic/vinyl fencing is permitted.
- No freestanding cell towers or antenna shall be permitted, antenna shall be integrated into the building architecture.
- ATM's shall be architecturally integrated with building design.

- Loading docks shall be screened by walls and covers that are architecturally integrated with the building.
- Refuse enclosures shall be compatible in design, color and material with building architecture. The gates shall be opaque; chain link gates are not allowed.
- Drive through facilities shall be shaded with architecturally integrated canopies.

#### Signage

- Monument signs which are integrated with building colors and materials are the only free standing signs allowed.
- Building-mounted signs shall consist of individual channel letters. No illuminated plastic panel signs are allowed except logos.

#### Lighting

- Light fixtures shall be a maximum of 25 feet high. The light fixtures shall be fully shielded horizontal lamps so that no fugitive light shall escape beyond the property line. All light fixtures shall be full-cutoff type to prevent fugitive light; no light source shall be visible from the site perimeter.

#### *Concerns of Reviewing Agencies / Pre-Hearing Discussion*

As per the comments from the Environmental Health Department: "This site appears to be within 1000 feet of the former South Eubank Landfill. Landfill gas generated from former landfills can become a health and safety issue for workers or occupants. To protect against risks associated with landfill gas, project should include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans should include risk abatement measures."

#### *Neighborhood Concerns*

No correspondence from any interested parties has been received by the Planning Department at the time this staff report was written.

#### *Conclusions*

The request for annexation is justified as per the policies of *R-54-1990*. The request furthers the applicable Goals and policies of the *Comprehensive Plan*.

The request for a zone map amendment to establish IP zoning is justified as per the policies and requirements of *R-270-1980*. The request furthers the applicable goals and policies of the *Comprehensive Plan*.

The request for approval of a Master Development Plan is dependent on approval of the annexation and zone map amendment requests by the City Council. It furthers the applicable Goals and policies of the *Comprehensive Plan* and will meet the *Zoning Code* requirements for a Master Development Plan with some additions and changes.

The submitted Master Development Plan will be adequate with some additions and changes.

*FINDINGS - 00114 00000 000715 - Annexation*

1. This is a request for annexation of an approximately 20 acre site located on Eubank Boulevard SE, south of Gibson Boulevard. This request is accompanied by a request for a zone map amendment to establish City IP zoning.
2. Annexation of the subject site furthers the applicable Goals and policies of the *Comprehensive Plan* by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
3. Annexation of the subject site furthers and fulfills the applicable policies of *R-54-1990*. The site is designated by the *Comprehensive Plan* as Developing Urban and annexation of such areas into the City is desired and encouraged. The site is contiguous to the City limits, has provision for convenient street access to the City, and has reasonable boundaries for delivery of public services.
4. A pre-annexation agreement is not necessary for this annexation request as City utilities are readily available to the subject site and provision of services can be handled at the Development Review Board during the platting process.

*RECOMMENDATION*

That a recommendation for APPROVAL of 00114 00000 000715, a request for annexation of a tract of land in Section 33, T10N, R4E, in the North ½ of the SW ¼ of the NW ¼, be forwarded to the City Council, based on the preceding Findings.

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*FINDINGS - 00110 00000 00716 - Zone Map Amendment*

1. This is a request for a zone map amendment to establish IP zoning for an accompanying annexation request of approximately 20 acres, located on Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies a request for annexation of the subject site.
  
2. The requested zoning furthers the applicable Goals and policies of the *Comprehensive Plan* by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
  
3. The requested zoning furthers and fulfills the policies of *R-270-1980*. The proposed zoning will further stabilize the land use in the area as a industrial, research and technology park. The existing zoning is inappropriate because of changed neighborhood or community conditions in the form of annexation of the subject site. Also, a different use category is more advantageous to the community as articulated in the *Comprehensive Plan*. This change of zone will not be harmful to adjacent property, the neighborhood or the community.
  
4. As required by the Zoning Code, this request for a change to IP zoning is accompanied by a Master Development Plan for the subject site.

*RECOMMENDATION*

That a recommendation for APPROVAL of 00110 00000 000716, a request for establishment of IP zoning for a tract of land in Section 33, T10N, R4E, in the North ½ of the SW 1/4 of the NW 1/4, be forwarded to the City Council, based on the preceding Findings.

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*FINDINGS - 00128 00000 00718 - Master Development Plan*

1. This is a request for approval of a Master Development Plan for an accompanying zone map amendment request to IP zoning, for an approximately 20 acre site, located on Eubank Boulevard SE, south of Gibson Boulevard.
2. Approval of this Master Plan is dependent on City Council approval of the accompanying annexation and zone map amendment requests.
3. The master plan submittal furthers the applicable Goals and Policies of the *Comprehensive Plan* by providing the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
4. The master plan submittal will meet the *Zoning Code* requirements for a Master Development Plan with some additions and changes.
5. This site appears to be within 1000 feet of the former South Eubank Landfill. Landfill gas generated from former landfills can become a health and safety issue for workers or occupants. To protect against risks associated with landfill gas, the project should include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans should include risk abatement measures.

*RECOMMENDATION*

APPROVAL of 00128 00000 00718, a master development plan for a tract of land in Section 33 T10N, R4E, in the North ½ of the SW ¼ of the NW ¼, based on the preceding Findings and subject to the following Conditions of Approval.

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*CONDITIONS OF APPROVAL - 00128 00000 00718 - Master Development Plan*

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
  
2. The site plan shall provide additional detail to specify approximate locations or relationships of separate pedestrian and vehicular access and circulation:
  - a. East/west public trail access through the site shall be maintained in one of the following ways: 1) provision of a 20' east/west public trail easement on the south side of the property, 2) east/west internal public trail connection, or 3) provision of an east/west on-street bike facility.
  - b. Construction of an 8'-10' asphalt trail on Eubank for the length of the property in-lieu of sidewalk. This trail shall be separated from the street by a 5' buffer.
  - c. The Design Guideline Criteria shall provide for buffering of the pedestrian circulation system from vehicles traveling on the internal streets. This buffer shall occur in the form of landscaping, wider sidewalks, on-street bicycle lanes, or on-street parking.
  
3. Notes shall be added to the Master Development Plan, the Master Landscape Plan, and the Design Guidelines - Criteria stating: "Individual site plans shall have landscaping on at least fifteen percent of the net lot area."
  
4. The utility plan shall be revised. The proposed dead end water system is not acceptable. A water and sanitary sewer serviceability statement shall be requested and completed prior to DRB action.
  
5. The following guidelines shall be added to the submitted design guidelines - criteria, and the submitted design guidelines - criteria amended accordingly:
  - a. The allowed parking shall be equal to the required parking plus 10%.
  - b. ADA-compliant parking shall be located adjacent to main building entries.
  - c. Cross-access provisions between adjoining parcels are required

- d. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
- e. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by permanently anchored tire stops, bollards or raising the walk to provide for a 6 foot wide clear pedestrian area (.assume a 2' overhang for cars).
- f. Shaded pedestrian access shall be provided, including a clear 6-foot-wide path with adjacent shade trees spaced 25-feet on center within planters that have a minimum interior dimension of 5 feet square.
- g. A sidewalk with a minimum clearance of 8 feet shall be provided along the front of smaller buildings (4,000 square feet or less).
- h. A shaded sidewalk that is a minimum of 15-feet-wide shall be provided along the front of larger buildings (more than 4,000 square feet). Shade can be provided with architecturally integrated portals or canopies, or by trees placed at intervals of 25 feet in planters with a minimum interior dimension of 5 feet x 5 feet.
- i. A continuous sidewalk that is a minimum of 6-feet wide shall be located around the perimeter of larger buildings (more than 4,000 square feet) to provide pedestrian connections between parking areas and entrances.
- j. An outdoor patio space, minimum 250 square feet, with tables and seating shall be provided for each building. The patio shall have adequate shading provided by trees and/or a shade structure that integrates with building architecture.
- k. Convenient Pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways. A minimum 6-foot clear pathway is required with shade trees spaced at 25 foot intervals (as practical) in planters with interior dimensions of 5 x 5 feet.
- l. Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
- m. A covered and secured bicycle storage area that is a minimum of 200 square feet in size is required for each building.
- n. Each building shall provide a convenient shower facility available to bicyclists and other employees.
- o. The following measures to encourage non-vehicular travel are required:
  - On site bicycle lockers and/or a secured and covered bicycle storage area
  - Car/vanpool preferred parking near the entrances to buildings that is clearly demarcated for this purpose.
- p. A 10-foot wide landscape buffer (with trees at least 8-feet high at the time of planting) is required along property lines which abut residential zones. Trees shall be planted at a minimum interval of 25 feet; a mix of evergreens and deciduous trees shall be used in the buffer zone.

- q. A mix of evergreen (coniferous) and deciduous trees shall be used within parking areas.
- r. Buffer areas shall include a mix of evergreen (coniferous) and deciduous trees.
- s. 75% of landscape areas must be covered with living, vegetative material. High-water use turf must be limited in application to 20% of the landscaped area.
- t. Perimeter walls shall comply with the City's *Design Manual for Subdivision Access and Perimeter Walls*.
- u. No chain-link, razor wire (concertina) or plastic vinyl fencing is permitted.
- v. Low walls 2 ½ to 3 feet high shall be used to screen parking areas adjacent to streets. The walls shall integrate with building materials/colors.
- w. Building design shall be architecturally integrated within the site and contextual to buildings within the vicinity.
- x. All canopies and ancillary structures shall be architecturally integrated with main buildings. Special consideration shall be given to roof structures, including materials.
- y. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or the predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
- z. All roof penetrations shall be painted to match roof color or general building color.
- aa. The front facade of all buildings shall have canopies, portals or awnings along the entire facade length providing pedestrians with shade. In the absence of architectural shading, shade trees shall be planted in 5 x 5 foot planters at a distance of 25 feet on center along the front facade.
- bb. No generic franchise building elevations or canopies are permitted.
- cc. No plastic or vinyl building panels, awnings or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
- dd. No chainlink, razor wire or plastic/vinyl fencing is permitted.
- ee. No freestanding cell towers or antenna shall be permitted, antenna shall be integrated into the building architecture.
- ff. ATM's shall be architecturally integrated with building design.
- gg. Loading docks shall be screened by walls and covers that are architecturally integrated with the building.
- hh. Refuse enclosures shall be compatible in design, color and material with building architecture. The gates shall be opaque; chain link gates are not allowed.
- ii. Drive through facilities shall be shaded with architecturally integrated canopies.

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- 
- jj. Monument signs which are integrated with building colors and materials are the only free standing signs allowed.
  - kk. Building-mounted signs shall consist of individual channel letters. No illuminated plastic panel signs are allowed except logos.
  - ll. Light fixtures shall be a maximum of 25 feet high. The light fixtures shall be fully shielded horizontal lamps so that no fugitive light shall escape beyond the property line. All light fixtures shall be full-cutoff type to prevent fugitive light; no light source shall be visible from the site perimeter.
6. To protect against risks associated with landfill gas, the project shall include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans shall include risk abatement measures prior to final sign off at DRB.
7. Public Works, Transportation Conditions:
- a. Each solid and dashed line indicating rights-of-way and easements or delineated area on the master plan shall be identified and clarified on the drawing.
  - b. Dedication of adequate right-of-way for Eubank Boulevard, a principal arterial with a right-of-way of 124 feet.

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Russell Brito  
Planner

RB/ac

cc: NM Commissioner of Public Lands, 310 Old Santa Fe Trail, P.O. Box 1148, Santa Fe, NM 87504  
Dekker/Perich/Sabatini, 6801 Jefferson Blvd. NE, Ste 100, Albuquerque, NM 87109

*Attachments*

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## CITY OF ALBUQUERQUE AGENCY COMMENTS

### PLANNING DEPARTMENT

#### Zoning Code Services

"Reviewed, no comment."

### PUBLIC WORKS DEPARTMENT

#### Transportation Development Services:

Comments to be transmitted under separate cover.

#### Utility Development:

No adverse comment on annexation or zoning. Given the somewhat Spartan nature of the master development plan, meaningful comment is difficult. The utility plan must be revised. The proposed dead end water system would not be acceptable. A water and sanitary sewer serviceability statement must be requested and completed prior to DRB action.

#### Traffic Engineering Operations:

Access points and good visibility will be essential in this area, complicated by the Sandia Base entrance.

#### Hydrology:

The Hydrology Section has no objection to the subject request.

#### Transportation Planning:

The drawings accompanying this application seem to conflict as to the size and dimensions of the property to be annexed. Also, the "Master Development Site Plan" (Sheet 1) does not clarify the various solid and dashed lines indicating rights-of-way and easements. We recommend that each line or delineated area be identified or explained on the drawing. Our concern is for Eubank street right-of-way, both existing and future. Existing right-of-way may or may not be 108 feet, but these drawings do not clarify that or anything else about existing conditions or things to be newly achieved by means of this plan (or plat?). This matter should be addressed prior to approval, not as a condition of approval.

### ENVIRONMENTAL HEALTH DEPARTMENT

#### Air Quality Division

"No comment."

Environmental Services Division

This site appears to be within 1000 feet of the former South Eubank Landfill. Has the site been screened for the presence of landfill gas or are there plans to perform such a screen?

Concern: Landfill gas generated from former landfills can become a health and safety issue for workers or occupants.

Suggestion: To protect against risks associated with landfill gas, project should include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans should include risk abatement measures.

### *NEIGHBORHOOD SERVICES*

"No association."

### *PARKS AND RECREATION*

#### **Design & Development**

The following language shall be added to the Master Development Plan: East/west public trail access through the site will be maintained in one of the following ways: 1) provision of a 20' east/west public trail easement on the south side of the property, 2) east/west internal public trail connection, or 3) provision of an east/west on-street bike facility.

Additionally, applicant will be required to construct an 8'-10' asphalt trail on Eubank for the length of the property in-lieu of sidewalk. This trail shall be separated from the street by a 5' buffer.

### *OPEN SPACE DIVISION*

"No adverse comment."

### *POLICE DEPARTMENT/Planning*

Traffic volumes  
lighting issues  
maintenance of landscaping

### *SOLID WASTE MANAGEMENT DEPARTMENT*

#### **Refuse Division**

Approved on condition, will comply with all SWMD ordinances, requirements and regulations. T.L. Baca 761-8142

*FIRE DEPARTMENT/Planning*

"No adverse comment."

*TRANSIT DEPARTMENT*

"The Design Guideline Criteria should provide for buffering of the pedestrian circulation system from vehicles traveling on the internal street. This buffer should occur in the form of landscaping wider sidewalks, on-street bicycle lanes, or on-street parking."

*COMMENTS FROM OTHER AGENCIES:*

*BERNALILLO COUNTY*

*ALBUQUERQUE METROPOLITAN FLOOD CONTROL AUTHORITY*

"No objection. See City Hydrology comments."

*ALBUQUERQUE PUBLIC SCHOOLS*

"No adverse comment."

*MIDDLE RIO GRANDE COUNCIL OF GOVERNMENTS*

The Long Range Roadway System designates Eubank Boulevard as a principal arterial which requires 124 feet of right-of-way. Adequate right-of-way for Eubank should be preserved.



**City of Albuquerque**  
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

**INTER-OFFICE CORRESPONDENCE**

**DATE:** August 3, 2000  
**TO:** Lenora Chavez, Planning Department  
**FROM:** Marcia A. Pincus, Albuquerque Environmental Health Department  
**SUBJECT:** NM Commissioner of Public Lands - Approximate 20 Acre Tract  
Located Near the Former City of Albuquerque Eubank Landfill -  
Project # 1000554.

This approximate 20 acre tract is located within the 1000 foot radius of the former Eubank Landfill. Because of the proximity to a former landfill, there is a concern that landfill gas may be present on or near the site. Due to this condition, it is required by AFHD that any development proposed for this tract answer the following question concerning this property.

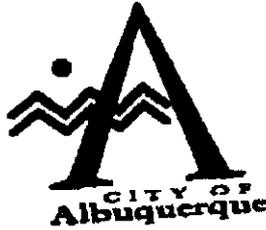
Has the site been screened for the presence of landfill gas or are there plans to perform such a screen? Landfill gas generated from former landfills can become a health and safety issue for workers or occupants. For this reason Albuquerque Environmental Health Department suggests the following in regard to any future development at the site.

To protect against risks associated with landfill gas, construction activity/projects at this site should include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans should include risk abatement measures that are adequate to address all landfill gas potential risk and certified by a professional with landfill gas experience.

If you have any further questions, please contact me.

cc: Kevin Curran, Legal  
Janet Stephens, Planning  
File

-24-



RECEIVED  
JUN 12 2000  
Dekker/Perich/Sabatini

**INTER-OFFICE CORRESPONDENCE**

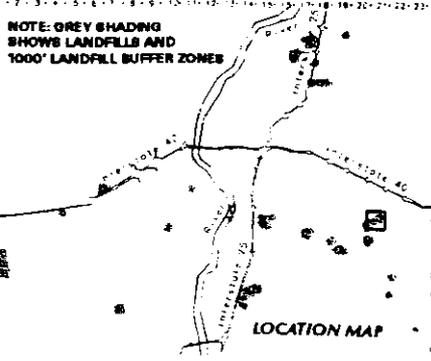
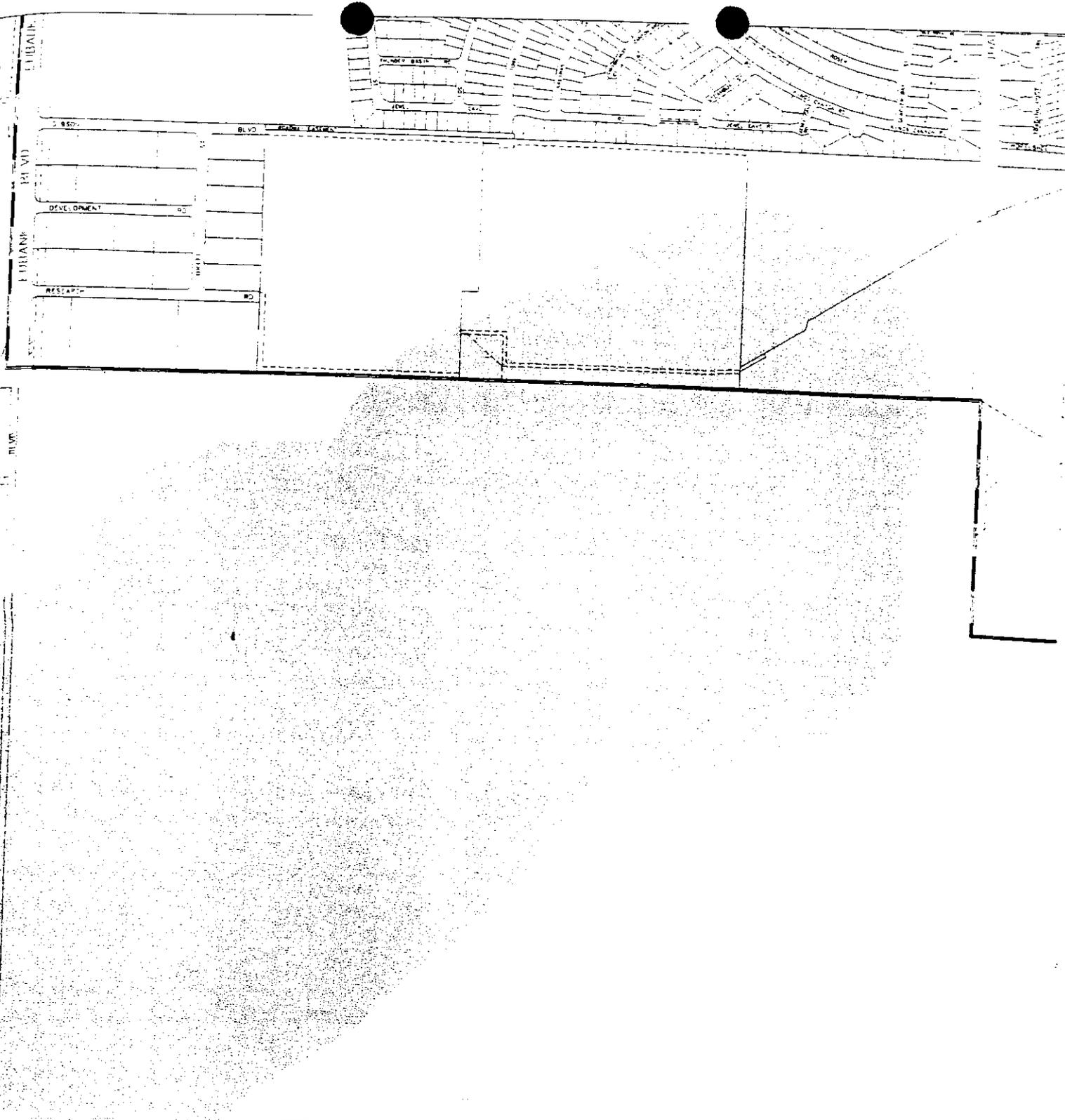
**DATE:** June 12, 2000  
**TO:** Fred Aguirre, City Engineer, Public Works Department  
**FROM:** Marcia A. Pincus, Environmental Engineer, Albuquerque Environmental Health Department  
**SUBJECT:** Twenty Acre Tract Located East of Fuhank Boulevard and South of Gibson Boulevard

It is Albuquerque Environmental Health Department's (AEHD) understanding that during this phase of the project only administrative work is being performed in regards to the above referenced site. This administrative work, for the twenty acre tract, consists of requesting annexation of the tract, IP zoning, and approval of a Master Development Plan. Based on this understanding, AEHD recommends that any administrative requirements relative to this property be approved assuming all other planning requirements have been met by the applicants

cc: Kevin Curran, Legal Department  
Janet Stephens, Planning Department  
Lenora Chavez, Planning Department  
Bruce Thompson, Legal Department  
Lori Webber, Dekker/Perich/Sabatini

Good for You. Albuquerque!





CITY OF  
Albuquerque  
A. G. I. S.  
PLANNING DEPARTMENT

Copyright 2000  
-26-

Scale is Approximately 1" = 750'

— Municipal Limits

**Special  
LANDFILL  
Map**

**M-21**

April 06, 2000

# A City of Albuquerque

## DEVELOPMENT REVIEW APPLICATION

ZONING	Supplemental form	Z	SITE DEVELOPMENT PLAN	Supplemental form	P
<input checked="" type="checkbox"/> Annexation or Map Amendment			<input type="checkbox"/> for Subdivision Purposes *		
<input type="checkbox"/> Sector Plan			<input type="checkbox"/> for Building Permit		
<input type="checkbox"/> Text Amendment			<input type="checkbox"/> Plan Amendment *		
<input type="checkbox"/> Special Exception	E		<input type="checkbox"/> Administrative Amendment		
SUBDIVISION	S		<input checked="" type="checkbox"/> Master Development Plan		
<input type="checkbox"/> DRB Major Subdivision *			APPEAL / PROTEST of...	A	
<input type="checkbox"/> DRB Minor Subdivision			<input type="checkbox"/> Planning Director, Zoning		
<input type="checkbox"/> Variance (Non-Zoning)	V		<input type="checkbox"/> Enforcement Officer, Zoning		
<input type="checkbox"/> Vacation (Public * & Private)			<input type="checkbox"/> Hearing Examiner, DRB, EPC,		
			<input type="checkbox"/> Zoning Board of Appeals, LUCC		

\* Notification of the Recognized Neighborhood Association is required

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: NM Commissioner of Public Lands PHONE: 505-827-5760 Santa Fe  
 ADDRESS: 310 Old Santa Fe Trail, P.O. Box 1148 FAX: 505-827-5766 Santa Fe  
 CITY: Santa Fe STATE NM ZIP 87504 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner  
 AGENT (if any): Dekker / Perich / Sabatini PHONE: 505-761-9700  
 ADDRESS: 6801 Jefferson Blvd., NE, Ste 100 FAX: 505-761-4222  
 CITY: Albuq. STATE NM ZIP 87109 E-MAIL: \_\_\_\_\_

**SITE INFORMATION:**

DESCRIPTION OF REQUEST: Annexation / MDP / Establishment of Zoning - IP  
TRACT of land in Sec 33 T10N, R4E, in the N1/2 of the SW1/4 of the NW1/4  
 Lot or Tract No. UNPLATTED / KIRTLAND AFB Block: 0000 Unit: \_\_\_\_\_  
 Subdiv. / Adn. UNPLATTED / US GOVERNMENT  
 Current Zoning: COUNTY A-1 w/SU FOR TOWER Proposed zoning: CITY-IP  
 Zone Atlas page(s): M-21-Z No. of existing lots: 1 No. of proposed lots: 2  
 Total area of site (acres): 20.2683 ac. Density if applicable: dwellings per gross acre: 0 dwellings per net acre: 0  
 UPC No. 1-021-055-064-362-2-01-15 MRGCD Map No. \_\_\_\_\_  
 Within city limits? Yes. No X, but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? YES  
 LOCATION OF PROPERTY BY STREETS: On or Near: 1600 EUBANK SE ; on the east side of Eubank  
 Between: South of Gibson Blvd. and \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): \_\_\_\_\_  
CSU-91-29 County Zoning

SIGNATURE Lori D. Weber DATE 6-27-00  
 (Print) Lori D. Weber Applicant  Agent

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	S.F.	Fees
<u>00114 - 00000 - 00713</u>	_____	\$ <u>270.00</u>
<u>00110 - 00000 - 00714</u>	_____	\$ _____
<u>00126 - 00000 - 00718</u>	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
Hearing date <u>8-17-2000</u>	_____	Total \$ <u>270.00</u>

L. Phung  
 Planner signature / date

Project # 1000534

**COMMISSIONER'S OFFICE**

Phone (505) 827-5760  
Fax (505) 827-5766

**ADMINISTRATION**

Phone (505) 827-5700  
Fax (505) 827-5853

**GENERAL COUNSEL**

Phone (505) 827-5713  
Fax (505) 827-4262

**PUBLIC AFFAIRS**

Phone (505) 827-1245  
Fax (505) 827-5766



**New Mexico State Land Office  
Commissioner of Public Lands  
Ray Powell, M.S., D.V.M.**

**COMMERCIAL RESOURCES**

Phone (505) 827-5724  
Fax (505) 827-6157

**MINERAL RESOURCES**

Phone (505) 827-5744  
Fax (505) 827-4739

**ROYALTY MANAGEMENT**

Phone (505) 827-5772  
Fax (505) 827-4739

**SURFACE RESOURCES**

Phone (505) 827-5793  
Fax (505) 827-5711

May 25, 2000

Chuck Gara, Chairman,  
Environmental Planning Commission  
6002<sup>nd</sup>, NW, Plaza del Sol, 3<sup>rd</sup> Floor  
Albuquerque, New Mexico 87102

Re: Request for Annexation; Request for IP Zoning; Request  
For EPC approval of Master Development Plan

Dear Chairman Gara:

Let this letter serve as authorization from the Commissioner of Public Lands for Dekker Perich Sabatini to act as agents for us. Specifically DPS will be filling applications to EPC for annexation, establishment of IP zoning and master development plan approval on behalf of the Commissioner of Public Lands. The subject property contains approximately 20 acres and is located on the east side of Eubank Blvd. south of Gibson Blvd.

Thank you, for your attention to this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Harry Reikin".

Harry Reikin,  
Assistant Commissioner

-28-

**"WE WORK FOR EDUCATION"**

310 Old Santa Fe Trail, P. O. Box 1148 Santa Fe, New Mexico 87504-1148

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: NM STATE LAND OFFICE Date of request: 5/25/00 Zone atlas page(s): M-21-Z

AGENT - DELKER/PERIC/SABATINI

CURRENT: Zoning COUNTY A-1 W/SU FOR TOWER Legal Description - TRACT OF LAND IN SEC 33 T10N R24

Lot or Tract # IN N/2 SW 1/4 OF Block # —

Parcel Size (acres / sq.ft.) 19.31 ACRES

Subdivision Name THE NW 1/4

### REQUESTED CITY ACTION(S):

- |            |                                     |                 |                                     |                        |                 |                                     |
|------------|-------------------------------------|-----------------|-------------------------------------|------------------------|-----------------|-------------------------------------|
| Annexation | <input checked="" type="checkbox"/> | Sector Plan     | <input type="checkbox"/>            | Site Development Plan: | Building Permit | <input type="checkbox"/>            |
| Comp. Plan | <input type="checkbox"/>            | Zone Change     | <input checked="" type="checkbox"/> | a) Subdivision         | Access Permit   | <input type="checkbox"/>            |
| Amendment  | <input type="checkbox"/>            | Conditional Use | <input type="checkbox"/>            | b) Build'g Purposes    | Other           | <input checked="" type="checkbox"/> |
|            |                                     |                 |                                     | c) Amendment           |                 |                                     |

MASTER DEVELOPMENT PLAN

### PROPOSED DEVELOPMENT:

### GENERAL DESCRIPTION OF ACTION: 1

- No construction / development
- New Construction
- Expansion of existing development

# of units - N/A  
Building Size - 110,585 (sq. ft.) MAXIMUM TRACT A, Phase I  
FUTURE TRACT B 110,137 SF MAX.

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative Shon D. Welton Date 5/26/00  
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES  NO  BORDERLINE

PWD, Dev. & Bldg. Services Div., Transportation Dev. Section - 2nd FL. 600 2nd St. NW Plaza del Sol Bldg. 924-3991 or 3994

THRESHOLDS MET? YES  NO  Mitigating reasons for not requiring TIS: Previously studied:

Notes: TIS must be initiated immediately, and must be complete prior to determination of infra-structure by DRB or annexation approval by City Council.

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Joseph D. Montano 5/26/2000  
for TRAFFIC ENGINEER DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES  NO  BORDERLINE

ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 768-2600

THRESHOLDS MET? YES  NO  Mitigating reasons for not requiring AQIA: Previously studied:

Notes: TRIP GENERATION OF > 4,700 T/DAY WILL REQUIRE AN AQIA.

IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

[Signature] 5/26/00  
ENVIRONMENTAL HEALTH DATE

Required TIS and / or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS	- SUBMITTED	<u>   /   /   </u>	_____	_____
	- FINALIZED	<u>   /   /   </u>	TRAFFIC ENGINEER	DATE
AQIA	- SUBMITTED	<u>   /   /   </u>	_____	_____
	- FINALIZED	<u>   /   /   </u>	ENVIRONMENTAL HEALTH	DATE

Accept: Jdl

May 26, 2000



Dekker Perich Sabatin

architecture  
interiors  
planning  
engineering

Chuck Gara, Chairman,  
Environmental Planning Commission  
Planning Department  
600 2<sup>nd</sup> St., NW, Plaza del Sol, 3<sup>rd</sup> Floor  
Albuquerque, New Mexico 87102

Re: Request for Annexation; Request for IP Zoning; Request  
for EPC Approval of Master Development Plan

Dear Chairman Gara:

On behalf of our client, New Mexico Commissioner of Public Lands (NMCPL) we are submitting an application for Annexation, EPC approval of IP zoning, and EPC approval of a Master Development Plan.

**EXISTING SITE:**

The subject property is located on the east side of Eubank Blvd., south of Gibson Blvd..

The site contains approximately 20 acres (one 20 acres tract) and is currently zoned A-1 in Bernalillo County, with a SU Permit for a wireless telecommunications tower indicated on the Zone Atlas Map. The property is vacant.

**REASON FOR REQUEST:**

As agents for the NMCPL, we respectfully request annexation of this 20 acre site, IP zoning, and approval of a Master Development Plan (MDP). The proposed MDP includes Design Guidelines and Criteria and would allow the subdivision of the 20 acre tract into two (2) 10 acre tracts. Annexation and IP zoning would benefit the development through utility access and site design standards consistent with the City Zoning designation of IP and Master Development Plan.

The proposed MDP identifies land uses permissive in the IP zone. The Eubank corridor south of Gibson is becoming a science and technology corridor / park. Several land owners, including the NMCPL have entered into a Memorandum of Understanding, committing to certain design guidelines for site development within

this corridor. These guidelines are consistent with the design guidelines attached in the MDP.

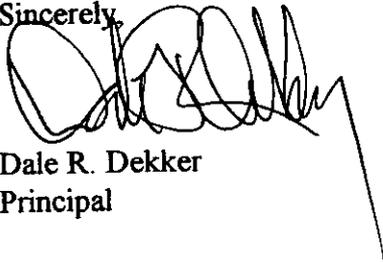
The proposed IP zoning is consistent with this development trend. The subject property is at an excellent location for these uses, easily accessible from Sandia National Laboratories, Department of Energy and other related industries nearby.

Attached please find:

1. Application for Annexation
2. Application for Establishment of Zoning of IP (Form Z)
3. Application for Master Development Plan (Form P)
4. Reason for Request (included herein)
5. Master Development Plan including Design Guidelines & Criteria (30 sets)
6. TIS/AQIA Form
7. Zone Atlas Map, page M-21-Z
8. Site Plan Checklist
9. Fee of \$270 for Master Development Plan Approval (no fee for annexation & establishment of zoning)
10. Reduced copies of plans, 8 ½ x 11"
11. Neighborhood Coordination letter
12. Letter of agency

Thank you for your consideration on this matter.

Sincerely,



Dale R. Dekker  
Principal

# South Eubank State Land Office 20 Acres

## 20 Acre Master Planned Development

-32-

INDEX OF DRAWINGS

COVER SHEET
SHEET 1 OF 5 MASTER DEVELOPMENT PLAN
SHEET 2 OF 5 MASTER DRAINAGE PLAN
SHEET 3 OF 5 MASTER UTILITY PLAN
SHEET 4 OF 5 MASTER LANDSCAPE PLAN
SHEET 5 OF 5 DESIGN GUIDELINES CRITERIA

25 May, 2000

# Master Development Plan

Eubank, SE

Albuquerque, New Mexico

HY: JEM/ITAL

**Owner:**

Commissioner of Public Lands  
310 Old Santa Fe Trail  
PO Box 1148 Santa Fe, New Mexico 87504

**Architectural/Structural**

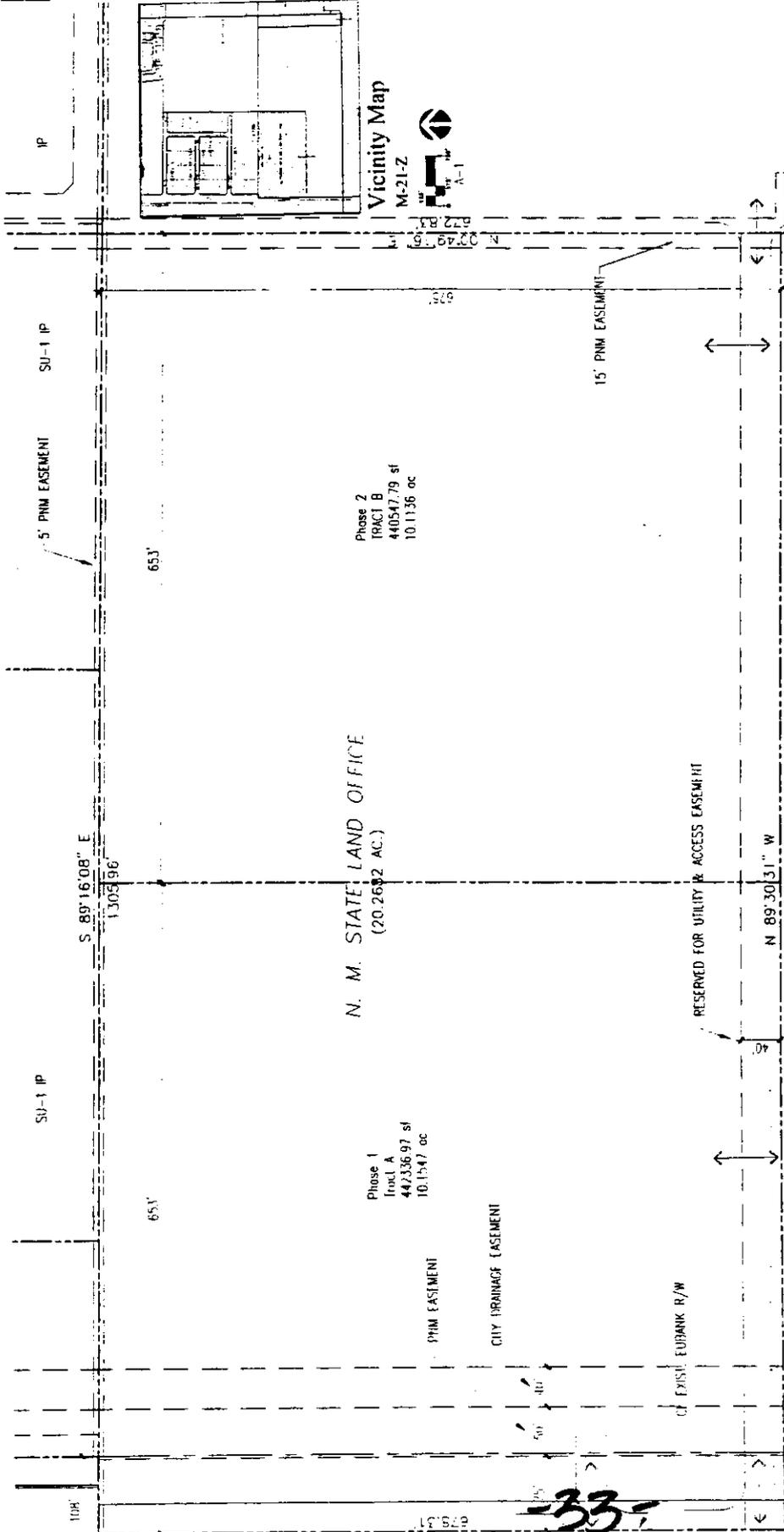
Dekker/Perich/Sabatini, Ltd.  
6801 Jefferson NE, Suite 100  
Albuquerque, New Mexico 87109  
(505) 761-9700  
Fax: 761-4222

**Civil:**

Brusher & Lorenz, Inc.  
2210 San Pedro NE Building 1 Suite 210  
Albuquerque, New Mexico 87711  
(505) 888-6088  
Fax: 888-6188



**Dekker Perich Sabatini**  
 1000 W. UNIVERSITY BL.  
 SUITE 100  
 ALBUQUERQUE, NM 87102  
 (505) 263-1000  
 www.dpsab.com



N. M. STATE LAND OFFICE  
 (20.2632 AC.)

Phase 1  
 Tract A  
 442,336.97 sf  
 10.1547 ac

Phase 2  
 Tract B  
 440,547.79 sf  
 10.1136 ac

**Master Development Site Plan**  
 Eubank, SE Albuquerque, NM

Legal Description  
 TRACT A OF LAND IN SECTION 33 T10N R14E E1/4 IN THE NORTH 30' OF THE  
 SW 1/4 OF THE 10th NE

Existing Zoning  
 TRACT A IS ZONED COUNTY A-1 WITH A SPECIAL USE FOR A FRESHWATER  
 WATERS TELECOMMUNICATIONS FACILITY

Proposed Zoning  
 TRACT A IS TO BE RE-ZONED FROM A-1 TO A-1S TO BE RE-DEVELOPED FOR THE  
 DEVELOPMENT OF TRACT B

Subdivision Concept  
 THE PLAN FOR THE APPROXIMATELY 20 ACRE SITE SUBDIVIDES THE SITE INTO  
 TWO (2) TRACTS, TRACT A & TRACT B AND PROVIDES 140' FRONT ACCESS  
 AND TRAILER EASEMENT ALONG THE SOUTHERN PROPERTY LINE FOR ACCESS  
 FROM EUBANK DR. TO TRACT B. DEVELOPMENT OF TRACTS A & B WILL  
 BE IN CONFORMANCE WITH THE SUBDIVISION ACT AND CITY ORDINANCE

**Land Utilization**  
 A-1

THE PROPOSED LAND USES AND RESTRICTIONS FOR BOTH TRACTS ARE THE  
 SAME. ADDITIONAL PLAN: PROPOSED DENSITY OF DEVELOPMENT IS A FLOOR  
 AREA RATIO (FAR) OF 0.25. THE ALLOWED BUILDING AREA IS  
 APPROXIMATELY THOUSAND SQUARE FEET FOR EACH TRACT.

- General Notes**
- INDIVIDUAL SITE PLANS IN CONFORMANCE WITH THE MASTER DEVELOPMENT PLAN  
 MUST SHOW LOT LINES AND CORNER MARKS AND BE DIRECTED TO BUILDING FOOTPRINT  
 DEVELOPMENT OF TRACT B
  - TRACT A IS TO BE RE-DEVELOPED FROM A-1 TO A-1S TO BE RE-DEVELOPED FOR THE  
 DEVELOPMENT OF TRACT B
  - ALL STREET CLOSURES TO BE 300' MINIMUM PER DPM STANDARDS
  - EXACT LOCATION OF DRIVEWAY ACCESS CUTS TO TRACTS A AND B FROM R/W ACCESS  
 EASEMENT TO BE DETERMINED DURING INDIVIDUAL SITE PLAN. THESE TO CONFORM  
 WITH DPM STANDARDS
  - ALL SLOPE RAMP AT LOT CORNERS AND DRIVE CUTS TO BE CONSTRUCTED DURING  
 INDIVIDUAL TRACT SITE DEVELOPMENT
  - BUILDING SETBACKS AT FRONT STREET TO BE 30' AND AT SIDE AND REAR SHALL BE  
 10'
  - CONFORMANCE WITH THE SUBDIVISION ACT AND CITY ORDINANCE

**Case Number: Z- Master Development**

DATE	DESCRIPTION
10/15/2010	PRELIMINARY PLAN REVIEW
11/15/2010	FINAL PLAN REVIEW
12/15/2010	FINAL PLAN REVIEW
01/15/2011	FINAL PLAN REVIEW
02/15/2011	FINAL PLAN REVIEW
03/15/2011	FINAL PLAN REVIEW
04/15/2011	FINAL PLAN REVIEW
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12/15/2025	FINAL PLAN REVIEW

**Site Data**

TOTAL ACRES: 20.2632 ACRES - 89,145 S.F.  
 SITE AREA: 100% BUILDING AREA (FAR = 0.25)  
 TRACT A: 442,337 SF 10.1547 AC BUILDING AREA  
 TRACT B: 440,548 SF 10.1136 AC BUILDING AREA  
 TOTAL: 882,885 SF 20.2683 AC BUILDING AREA

**Vicinity Map**  
 M-21-Z



Master Development Plan  
 South Eubank State Land Office  
 20 Acres

Master Development Plan  
 South Eubank State  
 Land Office  
 20 Acres





**Dokor  
Polich  
Sabatini**

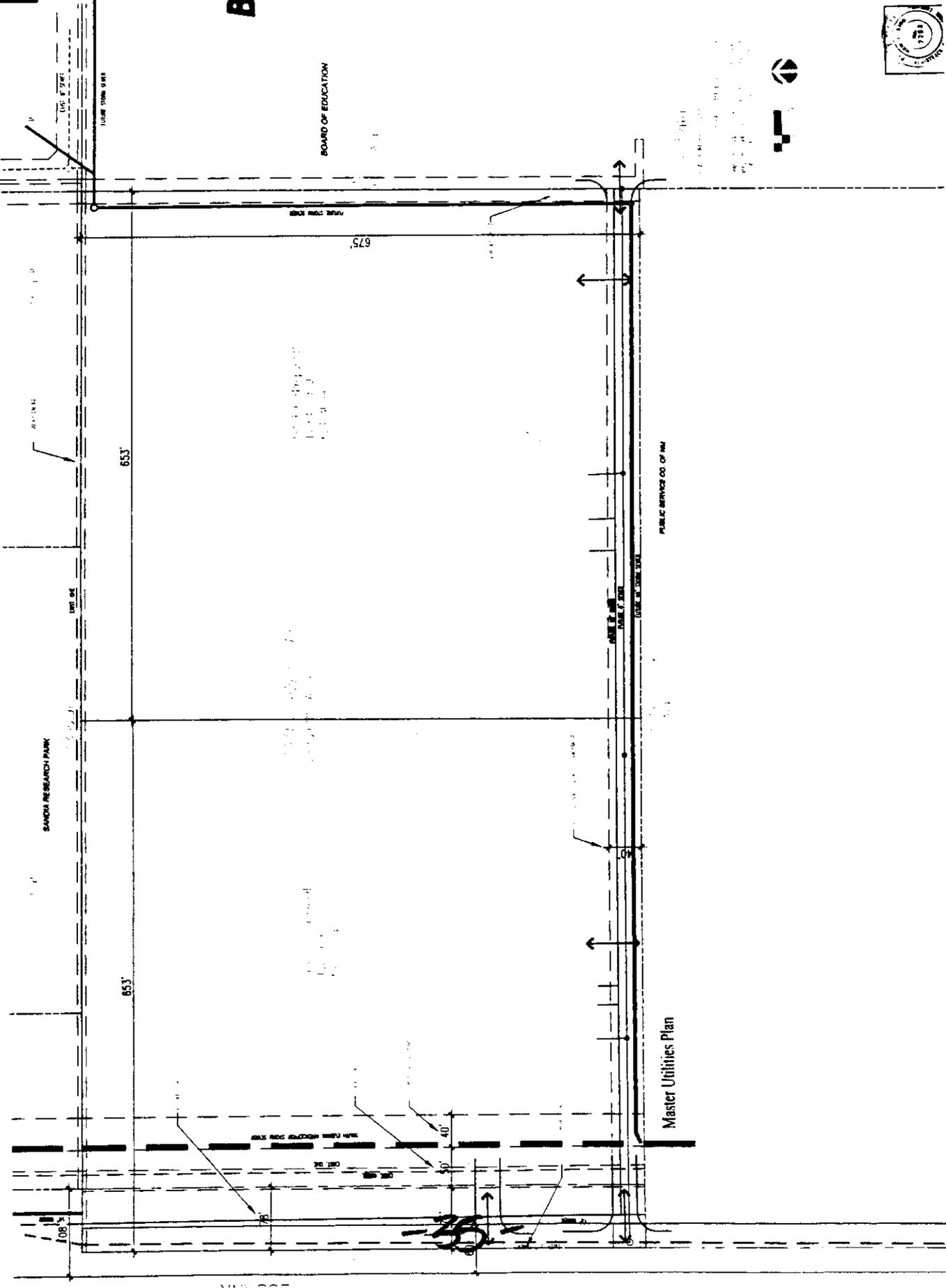
1997, address 11  
11th Avenue SE  
Lawrenceville, GA 30046  
770.962.1111  
www.dpsa.com



**EPC SUBMITTAL**

Master Utilities Plan  
South Eubank State Land Office  
20 Acres

DATE	DESCRIPTION
11/15/01	PRELIMINARY PLAN
01/10/02	REVISED BY
02/15/02	REVISED BY
03/15/02	REVISED BY
04/15/02	REVISED BY
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06/15/02	REVISED BY
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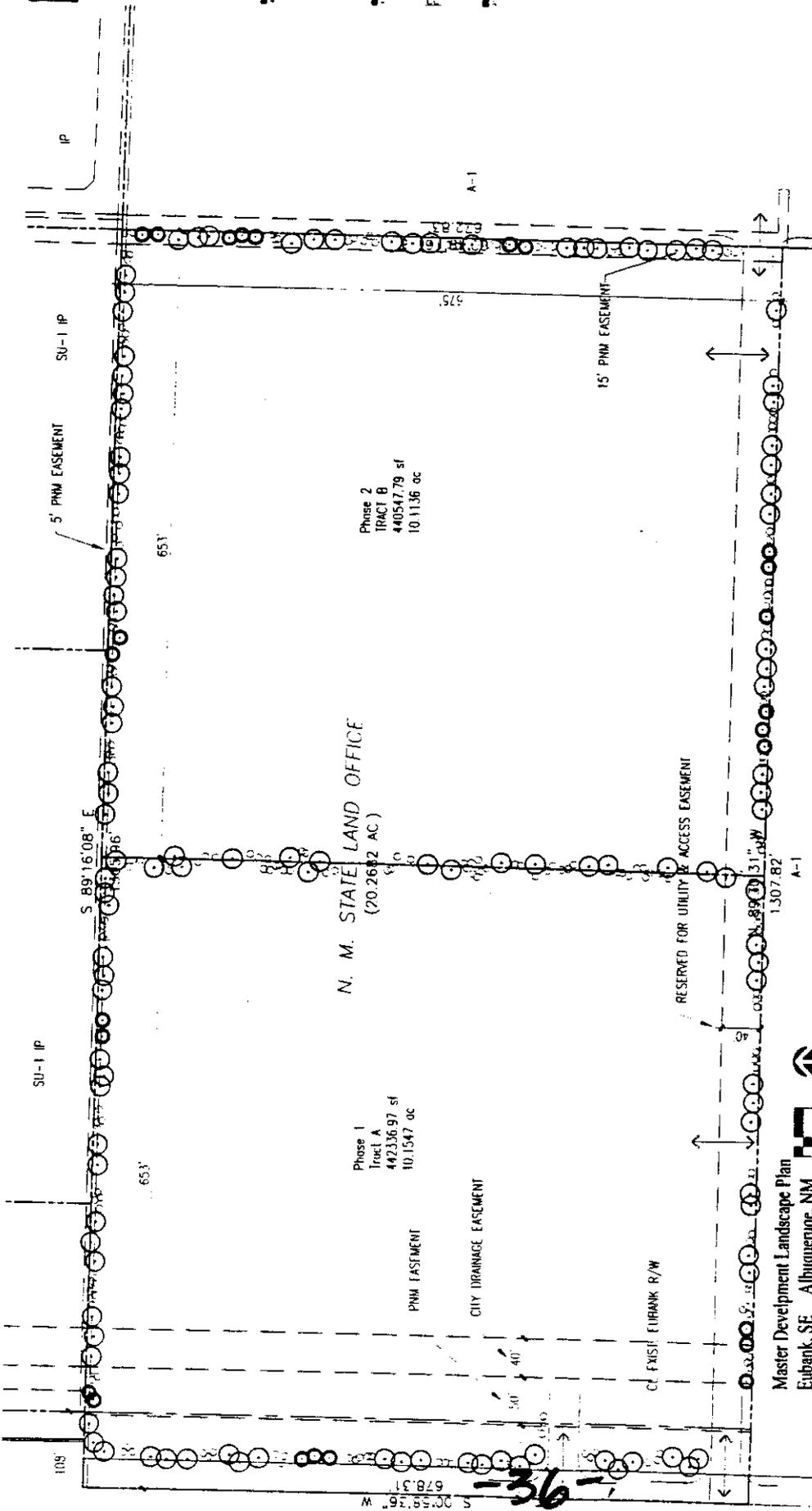
**Dekker Perich Sabatini**  
 ARCHITECTS  
 1000 UNIVERSITY BLVD  
 SUITE 1000  
 ALBUQUERQUE, NM 87102  
 TEL: 505.263.1111  
 FAX: 505.263.1112

THIS PROJECT IS THE PROPERTY OF  
 SOUTH EUBANK STATE LAND OFFICE  
 20 ACRES

PHASE 2

Master Landscape Plan  
 South Eubank State Land Office  
 20 Acres

DATE: 10/15/2014  
 DRAWN BY: JMM  
 CHECKED BY: JMM  
 SCALE: AS SHOWN  
 PROJECT NO: 14-0001  
 SHEET NO: 20 ACRES



N. M. STATE LAND OFFICE  
 (20.2692 AC)

Phase 2  
 TRACT B  
 440547.79 sf  
 10.1136 ac

Phase 1  
 Tract A  
 442366.97 sf  
 10.1547 ac

**General Notes**

- Landscape Maintenance and Irrigation system maintenance shall be the responsibility of the owner.
- All landscaping shall be installed by a complete underground irrigation system operated by automatic timer. Mulching to trees and (2) the width per tree. Plant of Construction for irrigation system is 1/2\"/>

**Plant Legend**

- Shade trees 2 - 3' 1/2\"/>

36





City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: August 18, 2000

**OFFICIAL NOTIFICATION OF DECISION**

NM Commissioner of Public Lands  
310 Old Santa Fe Trail  
P.O. Box 1148  
Santa Fe, NM 87504

FILE: 00114 00000 00715/00110 00000  
00716/00128 00000 00718

LEGAL DESCRIPTION: for a Tract of land in  
Section 33 T10N, R4E, in the North ½ of the SW ¼  
of the NW ¼, located on Eubank Boulevard SE,  
south of Gibson Boulevard, containing  
approximately 20 acres. (M-21) Russell Brito,  
Staff Planner

On August 17, 2000, the Environmental Planning Commission voted to recommend approval to the City Council 00114 00000 00715, annexation of a tract of land in Section 33, T10N, R4E, in the North ½ of the SW ¼ of the NW ¼, based on the following Findings:

**FINDINGS:**

1. This is a request for annexation of an approximately 20 acre site located on Eubank Boulevard SE, south of Gibson Boulevard. This request is accompanied by a request for a zone map amendment to establish City IP zoning.
2. Annexation of the subject site furthers the applicable Goals and policies of the Comprehensive Plan by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
3. Annexation of the subject site furthers and fulfills the applicable policies of R-54-1990. The site is designated by the Comprehensive Plan as Developing Urban and annexation of such areas into the City is desired and encouraged. The site is contiguous to the City limits, has provision for convenient street access to the City, and has reasonable boundaries for delivery of public services.
4. A pre-annexation agreement is not necessary for this annexation request as City utilities are readily available to the subject site and provision of services can be handled at the Development Review Board during the platting process.

OFFICIAL NOTICE OF DECISION

AUGUST 17, 2000

00114 00000 00715/00110 00000 00716/00128 0000 00718

PAGE 2

On August 17, 2000, the Environmental Planning Commission voted to recommend approval to the City Council of 00110 00000 000716, a request for establishment of IP zoning for a tract of land in Section 33, T10N, R4E, in the North ½ of the SW 1/4 of the NW ¼ based on the following Findings:

**FINDINGS:**

1. This is a request for a zone map amendment to establish IP zoning for an accompanying annexation request of approximately 20 acres, located on Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies a request for annexation of the subject site.
2. The requested zoning furthers the applicable Goals and policies of the Comprehensive Plan by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
3. The requested zoning furthers and fulfills the policies of R-270-1980. The proposed zoning will further stabilize the land use in the area as a industrial, research and technology park. The existing zoning is inappropriate because of changed neighborhood or community conditions in the form of annexation of the subject site. Also, a different use category is more advantageous to the community as articulated in the Comprehensive Plan. This change of zone will not be harmful to adjacent property, the neighborhood or the community.
4. As required by the Zoning Code, this request for a change to IP zoning is accompanied by a Master Development Plan for the subject site.

On August 17, 2000, the Environmental Planning Commission voted to continue 00127 00000 00718 to the Environmental Planning Commission Public Hearing on September 21, 2000.

Sincerely,



*for* Robert R. McCabe, AIA, APA  
Planning Director

RM/RB/ac

cc: Dekker/Perich/Sabatini, 6801 Jefferson Blvd. NE, Ste 100, Albuquerque, NM 87109

UNAPPROVED

16. 00114 00000 00715 Dekker/Perich/Sabatini, agents for NM Commissioner of Public  
00110 00000 00716 Lands, requests annexation and establishment of IP zoning plus a  
00128 00000 00718 approval of a master development plan for a Tract of land in Section  
Project # 1000554 33 T10N, R4E, in the North ½ of the SW ¼ of the NW ¼, located on  
Eubank Boulevard SE, south of Gibson Boulevard, containing  
approximately 20 acres. (M-21) Russell Brito, Staff Planner  
**(RECOMMENDED APPROVAL TO CITY COUNCIL OF  
ANNEXATION. RECOMMENDED APPROVAL OF  
ESTABLISHMENT OF IP ZONING. MASTER DEVELOPMENT  
PLAN CONTINUED TO SEPTEMBER 21, 2000)**

**STAFF PRESENT:**

Russell Brito, Planning Department  
Richard Dineen, Planning Department

**PERSONS PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:**

Dale Dekker, 6801 Jefferson NE  
Harry Relkin, 310 Old Sante Fe Trail

**THERE WAS NO ONE PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:**

MR. BRITO: Mr. Chairman, members of the Commission, this is item number twenty, this is 00114 00000 00715/00110 00000 00716/00128 00000 00718. This is a three-part request by Dekker Perich Sabatini, agents for the New Mexico Commissioner of Public Lands. They are requesting annexation, establishment of IP zoning and approval of a master development plan for an approximately twenty acre site located at the southern end of Eubank Boulevard south of Gibson. The subject site is located to the south, adjacent to a currently developing industrial research and technology park.

In regards to the annexation and establishment of zoning, the City Council has approval authority for these two requests but the EPC has a charge to provide recommendations to the City Council. Staff believes that the annexation of the subject site is justified as per Resolution 54-1990 and the Comprehensive Plan. A pre-annexation agreement will not be necessary for this site as utility and infrastructure items can be handled at the Development Review Board at the time of platting. Establishment of IP zoning for the subject site is also justified as per Resolution 270-1980 and the Comprehensive Plan.

The master development plan that is submitted with this request is a requirement of the Zoning Code for a zone map amendment to IP. The EPC has approval authority for the master development plan but it is dependant on annexation and establishment of IP zoning at the City Council. The master development plan proposes to divide the site into two parcels with two

corresponding phases. The submitted design guidelines criteria outlines three site layout concepts with buildings located near the street and parking located at the rear for all three of those concepts. Vehicular access to the site is from Eubank Boulevard; the master plan does show a forty-foot private access and utility easement along the southern edge of the site for the access to the eastern most parcel. Pedestrian access and circulation is touched upon in the Design Guidelines but staff believes additional detail is needed and this outlined in the recommended conditions of approval. The landscaping plan is a bit vague and staff believes that it should be clarified for future development to ensure that individual site plans have landscaping on at least fifteen percent of the net lot area.

The applicant is also proposing that individual site plans be delegated directly to building permit and for this to occur staff believes that additional design guidelines are needed. The additional design guidelines that staff is recommending are listed on pages seven through ten in the staff report and listed in the recommended conditions of approval.

Staff is recommending approval of the annexation and establishment of zoning be forwarded to the City Council based on four findings each. Staff is recommending approval of the master development plan based on five findings and subject to seven conditions of approval. We do have some amended sub findings under number seven on page seventeen from the Public Works Department. In discussions with the Public Works Department and the applicant staff is recommending some altered conditions for 7B. 7B is found necessary to change because of the states anti donation clause. They will not be able to dedicate any right-of-way at this time and so that condition 7B should be changed to read "Reserve for future dedication by the State Land Offices successors and interest, a seventy-eight foot public road access utility and drainage easement east of the centerline of Eubank." And adding a 7C, which reads, "Provide a sixty foot public access utility and drainage easement along the full length of the southern property boundary." And that would be in place of the forty-foot easement that is shown on the submittal. And other than that staff comments remain unchanged.

COMMISSIONER McMAHAN: Mr. Chairman?

CHAIRMAN GARA: Commissioner McMahan?

COMMISSIONER McMAHAN: Mr. Brito could you go over that anti donation clause? I thought I understood that but I am not sure in this instance that I really either understand and/or agree with what you said.

CHAIRMAN GARA: It is not a donation it is part of a development process and it is a taking.

COMMISSIONER McMAHAN: And if it is a donation it is the donations of the City of Albuquerque it is not to a private company and that is what the donation clause is about.

CHAIRMAN GARA: We will let the applicant talk about that.

MR. BRITO: Mr. Chairman, Commissioner McMahan, I may have misunderstood ...

CHAIRMAN GARA: I have grave concerns about that.

MR. BRITO: ...the explanation to that it is another long evening but...

CHAIRMAN GARA: It is going to be shorter than you think.

MR. BRITO: But the language that I did read for a revised 7B has been reviewed by Mr. Montano from the Public Works Department and he has stated that he finds it acceptable. The reasons for it like I said I cannot be entirely sure.

COMMISSIONER McMAHAN: That is fine, thank you very much. Thank you Mr. Chairman.

CHAIRMAN GARA: Any questions of Mr. Brito? Commissioner Schwartz?

COMMISSIONER SCHWARTZ: What is the situation with the utilities? How far do they have to be extended to get to this site?

MR. BRITO: Mr. Chairman, Commissioner Schwartz I believe there are utilities existing in Eubank Boulevard to the south and they wouldn't have to be extended very far at all. In fact just to make them adjacent to the site.

COMMISSIONER SCHWARTZ: How far is not very far though?

MR. BRITO: I believe they do extend down to the development immediately to the north that has access through research and development roads.

COMMISSIONER SCHWARTZ: So not as far as half a mile?

MR. BRITO: No, I don't believe.

COMMISSIONER SCHWARTZ: I just wondered because I just see some similarity between this and another controversial annexation case where here it we (INAUDIBLE) opposite result. On the design guidelines and in particular the architectural expressioned number fifteen, sixteen, seventeen in the pictures there and I guess number eighteen maybe this one reminds me of the Lowe's site on the Westside in the sense that when the proposal came in it didn't look any thing like the guidelines and in particular the height limit here is one hundred and twenty feet and so I am wondering how like number fifteen relates to a structure that might be is it one hundred and twenty feet, is that right? Yes, one hundred and twenty feet tall. What is it, is it going to be one hundred twenty foot tall box and then we are going to have this little details on the bottom of twenty feet? I just don't want to get that kind of surprise I mean if they are going to have one hundred and twenty foot tall building on the site then maybe we should have some renderings of I mean what is that going to be a nine story building, a ten story building? You know maybe some renderings of what we could expect there and I think it changes maybe the perspective on the streetscape you know whether you want to move it out farther from the building if the building is that tall.

MR. BRITO: Mr. Chairman, Commissioner Schwartz, I believe that in those design guidelines they are referring back to the maximum height limitations that are in the Zoning Code for the IP zone. And those guidelines in the Zoning Code state that structure height and width shall fall within forty-five degree angle plains drawn from the horizontal at the mean grade along each boundary of the premises but a structure shall not exceed a height of one hundred and twenty feet.

COMMISSIONER SCHWARTZ: I understand but if I do (INAUDIBLE) number sixteen and have (INAUDIBLE) in there that you know run the (INAUDIBLE) as one hundred twenty foot maximum height. But you know it is obviously not scaled. I mean that's twenty feet scaled. (INAUDIBLE) it doesn't do it for me. I mean I was just looking at an idea of what it would like if it was built out, you know what conceptual is for you build it to the max.

MR. BIRTO: Mr. Chairman, Commissioner Schwartz, I have to agree that many of the design guidelines didn't do it for staff either.

CHAIRMAN GARA: Commissioner Heiser?

COMMISSIONER HEISER: I look at one like the building signage opportunities along that line if you were to build a one and twenty foot building and lets say it is one hundred feet wide according to my calculation you can have a twenty-four hundred square foot sign in that face that actually sticks up five feet higher then the one hundred and twenty feet. Because they are allowing for a twenty percent, a façade of a building to be a sign. I am thinking that six percent is probably more doable and that is what we are doing in other parts of time and we should have some letter size recommendations and things like that so that this, this is suppose to be a high end research type park, etc., I don't think we want to, I think there needs to be some more detail as your are saying in terms of what we are going to get.

CHAIRMAN GARA: Anything else? Another questions for staff? Anyone who is going to speak on this case I need to swear you in please. Do you swear affirm the testimony you are about to give is the truth? Thank you. It is kind of a late standup guys. Applicant?

MR. DEKKER: Good evening, my name is Dale Dekker, 6801 Jefferson Northeast, we are the agent for the State Land Office in this annexation request and we concur with staff findings and recommendations relative to the annexation and zoning of the property to IP. We think it is appropriate. The adjacent property and uses are consistent with this zoning. And we think it is a better beneficial community use. We do have and have addressed and concur with almost all of the staff's recommendations for enhancing the design guidelines and if it would please the Commission I have written those down if it would be okay to pass those out.

CHAIRMAN GARA: Okay.

MR. DEKKER: To you question on height IP zoning allows one hundred and twenty feet but we surely do not anticipate a one hundred and twenty foot tall structure. We have placed a imitational four-area ratio of .25 over for the overall site. This is intended to be more of an industrial park manufacturing office and research center, not a high-rise urban center. We could

talk about what those limitations might want to be if they want to be lower but we do not anticipate any one hundred and twenty foot structures that is what the IP zoning allows.

But if we could go through the conditions for the master development plan conditions of approval. As you can see we concur with most of staffs recommendations. We believe on condition 5c that because we are providing a sixty-foot private access easement along the south boundary of the property that we actually are providing access between the two adjoining properties. On item 5f, condition 5f we would like to clarify that condition to read that shaded pedestrian access shall be provided from Eubank for Tract A and from the south property line for Tract B including a clear six foot wide path with adjacent trees spaced thirty feet on center with planters that have a minimum interior dimension of five feet. On condition 5g we would like to amend that to read that a sidewalk with a minimum clearance of fifteen feet shall be provided at building entrances. 5h we would like to delete that in its entirety because we think we have covered it in a later condition as well as 5i. And then on outdoor patio space we concur with staffs recommendation of two hundred fifty square feet with tables. We would like to tie it to a minimum building size of twenty thousand square feet and fifty occupants for that amenity. And then on condition k and l we concur. Condition M this condition harkens back to another IP site plan that was approved by this Commission for the thirty-five acres directly to the north and east of this were we had a lot of discussion about bike storage and tying it to size of employers and shifts. And this was the wording that was agreed to on that IP zoning case and it was provide secure bike storage and convenient lockers and showers in each building with a minimum threshold of fifty employees per shift in the building. We would like you to consider striking condition N as that we provide showers in 5M. and then under O again we have kind of covered bike lockers up above. We concur with the car and vanpool. On condition 5P we have a detailed that describes screening adjacent to the residential zones, it is detail eleven on page five of five in the design criteria. We concur with Q thru U on condition 5V we have a screening detail called out as covered on details twelve and fourteen on sheet five of five.

And we also have a landscape buffer called out as well. On rooftop equipment I think we know were you are going with this. This was again harking back to wanting a screen from public view rooftop equipment however, we are not exactly sure and maybe what this is intended for after looking at it is it might be towards pitched roofs.

CHAIRMAN GARA: Mr. Dekker wait a minute. On the screen walls that is for storage and deliver functions and dumpsters.

MR. DEKKER: And adjacent to public streets I believe.

CHAIRMAN GARA: Where does it say that?

MR. DEKKER: Look at B.

CHAIRMAN GARA: Look at where?

MR. DEKKER: B as in (INAUDIBLE).

CHAIRMAN GARA: I know, that is twenty-one struck and he said it is covered in details twelve and fourteen.

MR. DEKKER: Twelve is screening and street edge.

CHAIRMAN GARA: It says solid wall required at height a minimum of six feet adjacent to storage and delivery functions.

MR. DEKKER: Correct.

COMMISSIONER HEISER: B is not the same.

MR. DEKKER: And we have a ten-foot landscape buffer along the public right-of-way.

COMMISSIONER HEISER: But we need a screen wall to block...

MR. DEKKER: Pardon me?

COMMISSIONER HEISER: Two and half foot high walls used to screen cars from the public right-of-way.

MR. DEKKER: From view?

COMMISSIONER HEISER: Yes.

MR. DEKKER: Right, okay.

COMMISSIONER HEISER: We are doing it on all sites now.

MR. DEKKER: Doing it on all sites now.

CHAIRMAN GARA: Yes sir, you have not been here in awhile.

MR. DEKKER: I guess I haven't. There aren't that many (INAUDIBLE)...

CHAIRMAN GARA: Ever since we went to Phoenix we have been doing that.

MR. DEKKER: Ever since what?

CHAIRMAN GARA: Ever since we went to Phoenix in May.

MR. DEKKER: Okay. Well again for an industrial park with adequate screen and buffering of landscaping I can see that in a residential area with commercial.

CHAIRMAN GARA: But if you have parking that fronts Eubank it should be screened.

MR. DEKKER: Okay, well we threw it out there and we will see were it lands. On the roof top equipment again we proposed screening the roof top equipment however if it is screened we are wondering we are wondering if we might not be able to strike painting it to match the predominate building color because theoretically it is all screened. I think that might have been more directed towards if you have sloped roofs with penetrations of vents and plues maybe that will still need to be in there but we might, we just didn't want to get into a situation where we are paying roof top equipment that was totally screened.

COMMISSIONER HEISER: I think that makes sense. The roof top equipment if its adequately screened wouldn't be painted. I think the penetrations need to be painted.

MR. DEKKER: That are visible?

COMMISSIONER HEISER: Yes.

MR. DEKKER: From a public street or from a parking lot or adjacent properties?

COMMISSIONER HEISER: Just visible penetrations should be painted to.

MR. DEKKER: Okay. So maybe that is what we just need to add on on condition 5Z is all visible roof penetrations shall be painted to match roof color or general building color and we can live with that. 5AA, we would like to amend that to read the front façade of old buildings at building entrances shall have canopies, portals or awnings providing pedestrians with shade. This also ties to a later condition that will talk about, condition BB we concur with, condition CC...

COMMISSIONER HEISER: Wait a minute; hold on, this is also just a standard condition that we put on virtually every building. If you don't have the portal you have shade trees so you don't have to have portals that extends the entire length you can have in the absence of that you can have shade trees planted in a not so necessarily a planter but a planter area that has that minimum dimension for trees.

MR. DEKKER: So what you are looking for is a building façade that has got trees at twenty-five feet on center in front of it.

COMMISSIONER HEISER: Yes.

MR. DEKKER: Okay. Condition BB we concur with. Condition CC we concur with. Condition DD is the same as condition 5U, which was dealt the chain link and razor wire so we can strike that one. I concur with double E, double F, on GG loading docks shall have screen walls that are architecturally integrated with the buildings. Again for industrial uses we have seen this condition and were the EPC has applied it on commercial centers where the back of a industrial complex or a commercial complex backs up to a residential area for screening of dock areas. But we are not necessarily seen where covers would be necessary or provide any kind of additional screening. And then we concur with HH through LL, we concur with 6 and then we have proposed amended language of 7B for the public road access easement on Eubank as

well as a sixty-foot access easement we concur with that wording. So as you can see we concur with most all those recommendations and we will incorporate those comments into the design guidelines and as we are directed. I stand for questions.

CHAIRMAN GARA: Commissioner Heiser?

COMMISSIONER HEISER: I know it is late can you explain 7B?

MR. DEKKER: 7B I guess I would like to ask the representative from the State Land Office to explain that.

MR. RELKIN: Harry Relkin with New Mexico State Land Office, home address 33 Valle Hermosa Sandia Park and business address 310 Old Sante Fe Trail in Santa Fe. The reason for that is and it as Commissioner McMahan has nothing to do with the anti donation cause and without boring you with a lot of legal stuff unless you have specific questions or historical stuff the State Land Office from the US Supreme Court had said that there can be no dedications even to other public entities even to other state agencies. So we have worked on this so that we do not have to win we are working through a situation like this were we are providing opportunity for employment and in this case Emcore is the applicant for a long term lease they were going through expansion of Emcore several hundred jobs for New Mexicans in Albuquerque. We have gone through this before like at Home Depot up the street. The decell lane for that is on State land where we worked out similar language with the city and other municipalities. What it does is it prevents us from creating an illegal act that somebody might come back at some point in time and challenge and say that right-of-way or easement doesn't exist. So instead of doing that we have used words like reserve and that are successors and interest will make the dedication instead of us. So this is language we have worked out with Mr. Montano and with others in previous times and with other municipalities and counties around the state language similar to this and what it does mean is we don't have to charge the city for the right-of-way, which normally we would. Cost gets passed on because the applicant will be actually leasing the property and making the dedication of the easement. So that is the short version without the long historical part but I would be happy to answer any further questions.

CHAIRMAN GARA: Did you not dedicate right-of-way at Mesa del Sol.

MR. RELKIN: No. There is no dedication of right-of-way at Mesa del Sol. It does say similar to this that when we have a developer that the developer will be making or successor and interest will be making the appropriate dedications etc. But not the State Land Office. In fact the Interstate that runs through Mesa del Sol was not a dedication to the Federal Government either. It is federal law that prevents us from doing it, it is not state law. It would only take and we would like to get Emcore started a little bit sooner but in order to amend that it would take a State Constitutional Amendment one then would have to have it passed by Congress and signed by the President simultaneously so we thought it might be a little quicker to come up with this type of language that has seemed to satisfy Albuquerque and other local governments.

CHAIRMAN GARA: Okay. Mr. Dekker is there a reason with the adjacent properties all SU-1 for IP why you didn't apply for SU-1 for IP?

MR. DEKKER: We previously have brought through the Sandia Technology Center which is the thirty-five acres to the east of the Don Morgan piece which is SU-1 for IP and that site plan was approved with design guidelines and master development plan and I think it was the feeling of the Commission that the master development plan design guidelines gave staff sufficient direction for subsequent review and approval of specific site plans or building plans. So we went for straight IP zoning with the approval of design guidelines.

CHAIRMAN GARA: Which tract is Emcore taking?

MR. DEKKER: Currently they are looking at the phase one piece directly to the south of their current facility that is on Research Boulevard directly to the north. (INAUDIBLE) is right here and they are looking at (INAUDIBLE) state land owns. For a similar type of manufacturing and research facility.

CHAIRMAN GARA: Any other questions? Thank you. Any one signed up to speak? Staff, any closing comments?

MR. BRITO: Nothing further.

CHAIRMAN GARA: Applicant, any closing comments.

MR. DEKKER: No sir we appreciate your review and approval of this request. Thank you.

CHAIRMAN GARA: Any questions of anyone in the audience by the Commission? If not I will close the floor and entertain discussion or a motion. I wish it wasn't so late because I would like to sit here and go through all these but ...

COMMISSIONER HEISER: Mr. Chairman?

CHAIRMAN GARA: Commissioner Heiser?

COMMISSIONER HEISER: Can I ask the applicant a question?

CHAIRMAN GARA: Yes, I will open the floor.

COMMISSIONER HEISER: Under outdoor storage how high can that pile go? Is that up to one hundred and twenty feet?

MR. DEKKER: Item eight?

COMMISSIONER HEISER: Yes, outdoor storage. You have a eight-foot high solid wall and then you have a stacking angel...

MR. DEKKER: That goes back at forty-five degrees.

COMMISSIONER HEISER: So it could actually be taller than the building theoretically?

MR. DEKKER: That is correct.

COMMISSIONER HEISER: Do you want to put a...

MR. DEKKER: A height limit on that, that is fine.

COMMISSIONER HEISER: What is reasonable, twelve feet?

MR. DEKKER: I think twelve feet is probably adequate. Commissioner Heiser?

COMMISSIONER HEISER: Yes.

MR. DEKKER: Some of the processes used at the Emcore facility can require tank farms, it might have tanks that are taller than twelve feet.

COMMISSIONER HEISER: A tank farm?

MR. DEKKER: Yes.

COMMISSIONER HEISER: Twenty?

MR. DEKKER: Yes.

COMMISSIONER HEISER: Twenty feet.

MR. DEKKER: Twenty feet.

COMMISSIONER McMAHAN: Mr. Dekker, you say tank farms you mean round tanks or track tanks?

MR. DEKKER: Like tanks that have like chemicals and process gasses and those kinds of things not military tanks.

COMMISSIONER McMAHAN: Thank you.

COMMISSIONER HEISER: As long as you are up here I am going to add a finding or a condition that all walls shall follow the adopted City of Albuquerque Wall Design Guidelines.

MR. DEKKER: Wasn't that one of the conditions already? Okay, that is fine.

CHAIRMAN GARA: On the 5H you wanted to have it struck? You provided a fifteen-foot sidewalk in front of all building entrances. But I think the intent there correct me if I am wrong...

COMMISSIONER HEISER: (INAUDIBLE) portion of the entry. It is just at the entry it is not the entire length of the building.

CHAIRMAN GARA: Right. That is what he is saying and I want to make sure that that's because what I thought H in the staff report was a fifteen-foot walk across the entire front of the building in the staff report. But on the applicants changes to the conditions all they are providing is a sidewalk with a minimum clearance of fifteen feet shall be provided at building entrances.

COMMISSIONER HEISER: Okay so you would take out, you are leaving G in...

CHAIRMAN GARA: Modifying G.

COMMISSIONER HEISER: Modifying G.

CHAIRMAN GARA: Taking H out is what they want.

MR. DEKKER: Chairman Gara, condition five double A also addresses fronts of buildings and I think by adding back in the five by five foot planters at a distance of twenty-five feet that may be achieves what the shading and breaking up of the façade I think that maybe you are trying to get to on five H.

COMMISSIONER HEISER: Well actually the concept of five H is to provide adequate shading for walkways, sidewalks, walkways that are creating transit across the site. So...

MR. DEKKER: Don't we do that in...

COMMISSIONER HEISER: ...that's F.

MR. DEKKER: Five double A though, is that back in there or we could leave it in and I guess 5H.

CHAIRMAN GARA: I am sorry but it is late and they start to run together.

MR. DEKKER: Right.

COMMISSIONER HEISER: I think there is some redundancy here. I think the concept is to have F and have these walkways; these accesses lead to transit parking lots and connect buildings on the site to adjacent buildings and to the street.

MR. DEKKER: Right.

COMMISSIONER HEISER: Okay, I am not sure if that is clearly spelled out here. So I think I would add to F, okay. And then you have sidewalk at a minimum clearance of fifteen feet at the entry to the building, okay.

MR. DEKKER: Right.

COMMISSIONER HEISER: While the shaded pedestrian function would cover that if its longer then the fifteen feet you have a big sidewalk and you have to put some plants in that based on F so I think that you probably do not need double A.

MR. DEKKER: Okay.

COMMISSIONER HEISER: Does that make sense?

MR. DEKKER: Yes.

COMMISSIONER HEISER: Since these are not retail buildings. Now if they are retail buildings this would apply.

MR. DEKKER: You know that, I think that is what we saw there and it does allow retail uses we are not contemplating that but if we wanted to put the cavy out that to change double A all commercial buildings, any commercial buildings.

COMMISSIONER HEISER: Do you know what I think we can leave double A in, all it means is that someplace you are going to have a sidewalk along the front of the building which you are going to have. Okay and then if you do the commercial this covers the commercial aspect of it. So if you have a walkway that has storefronts on it then this condition covers that and we will take out condition H I guess like you are probably saying an hour ago.

CHAIRMAN GARA: Another thing on the outdoor seating we required outdoor seating at tire stores with five thousand square feet of space for employees as opposed to, this is for employee benefits as opposed to anything else. And that is something we typically we required in all buildings for quite some time.

MR. DEKKER: Can we then say all occupied buildings, I mean we might have a building that says a warehouse that doesn't have any occupants in it I don't think.

CHAIRMAN GARA: It has to have something.

MR. DEKKER: Yes but I mean if it has two employees in it do we want to give them a two hundred fifty square foot. I mean right now it says each building. There can be buildings that are just pure storage buildings that do not have any occupants in them they just have supplies or storage in them.

COMMISSIONER HEISER: Which one is that?

CHAIRMAN GARA: J.

COMMISSIONER HEISER: J. How about if we have an occupant of lets say ten or something like that.

MR. DEKKER: Okay.

COMMISSIONER HEISER: Does that make sense?

CHAIRMAN GARA: I don't know if too many buildings that would have two employees that are twenty thousand square feet.

MR. DEKKER: That is why we are going to strike the twenty thousand and just get ten occupants.

COMMISSIONER HEISER: It wouldn't be an occupant load it would be a minimum occupancy right?

CHAIRMAN GARA: So V is going to stay in?

COMMISSIONER HEISER: B.

CHAIRMAN GARA: V as in victory.

COMMISSIONER HEISER: V, yes. Actually I took out H, I modified Z and put "visible" all visible roof penetrations. And it should say in Y it would basically be it says all roof top equipment shall be screened by rooftop walls (INAUDIBLE) so there should be no other rooftop equipment that is visible because they are all screened. Right?

MR. DEKKER: Right.

COMMISSIONER HEISER: Except penetrations, which will be painted.

MR. DEKKER: Correct.

COMMISSIONER HEISER: So that last, the second to the last sentence should just say penetrations shall be painted to match...

CHAIRMAN GARA: Were are you at?

COMMISSIONER HEISER: I on Y.

MR. DEKKER: Okay.

COMMISSIONER HEISER: Because it says the top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines on the site. If they are below the top of the parapets they are screened from the property lines. Alternatively rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color that is fine right?

MR. DEKKER: Right.

COMMISSIONER HEISER: Then you would say penetration shall be painted to match roof color or predominant building color. Take the rooftop stuff out of there because you have already covered it.

MR. DEKKER: Okay.

COMMISSIONER HEISER: I changed Y and Z has all visible rooftop penetrations and then I added a MM and it says, "Signage shall be limited to six percent of the façade to which it is applied." And the reason for this is these buildings if they are pretty sizable that is a lot of signage and I would consider putting a maximum letter size for large buildings to like a four foot letter because this isn't a big retail center.

MR. DEKKER: No. We concur with that.

COMMISSIONER HEISER: And for retail I would probably put a maximum size of well I don't know I guess that can develop, you can have big box development in here right in this IP?

MR. DEKKER: Could. I mean I think the six percent goes a long way of dealing with that and if you want to put I think even for our purposes you know three feet tall letters I think for an industrial use...

COMMISSIONER HEISER: So three foot...

MR. DEKKER: ...yes...

COMMISSIONER HEISER: ...maximum letter size, three foot. Then that covers retail or commercial, okay.

MR. DEKKER: Yes, any other kind of use.

COMMISSIONER HEISER: Okay.

CHAIRMAN GARA: If the IP zone allows as Mr. Dineen has pointed out to me this is not an SU site.

COMMISSIONER HEISER: It can be IP with signage restrictions.

MR. DINEEN: It is not an SU-1 so we would have to change it to special use.

CHAIRMAN GARA: They have to go to SU to do that.

COMMISSIONER HEISER: Well what about all this other stuff?

MR. DINEEN: Well I think you can do a lot of design things but the areas that are allowed in the zone height and so one I think we would have to.

COMMISSIONER HEISER: The heights, (INAUDIBLE) change the height.

MR. DINEEN: Well I am talking about the sign.

COMMISSIONER HEISER: (INAUDIBLE).

MR. DINEEN: You are restricting it more; we would have to go to an SU-1.

COMMISSIONER HEISER: I thought we have done C-1...

CHAIRMAN GARA: No, SU, it is always SU-1.

COMMISSIONER HEISER: It is always SU-1 with signage restrictions.

CHAIRMAN GARA: Yes.

COMMISSIONER HEISER: I think it is kind of an important thing.

MR. DINEEN: You can do it if they agree to it.

MR. DEKKER: Mr. Chairman Gara and Commissioner Heiser I think if we are just coming in for a site for zoning of IP without a master development plan it seems to me like the master development plan which it has to follow the same criteria as the site development plan for subdivision gives you the ability to overlay more stringent criteria than the IP might afford. It gets back to that one hundred and twenty foot tall building issue for straight IP. We might agree to do something less if it is part of the master development plan just like you would if he had a site development plan for building permit with a design guidelines or a building.

COMMISSIONER SCHWARTZ: Doesn't the master development plan gives that...

COMMISSIONER HEISER: The IP over rules in terms of signage.

MR. DINEEN: Mr. Chairman, Commissioner, Russell points out a good point though if you want to impose more restrictive requirements because you think it is more appropriate such as the sign and we are recommending this this is going forward it doesn't necessarily take concurrence although I think it would be good to have concurrence to recommend that it be SU-1 for IP. So you can impose these restrictions.

COMMISSIONER HEISER: Because if we don't just like a C-1 zone even if it is a shopping center what we have learned on just straight shopping center sites is that if we can put regulations on the shopping center design signage and it doesn't matter. You just go straight down to the Building Department and you get the biggest sign you can find and put it on the building. So the same thing would apply to the IP zone even if you have a master plan that says you are not going to do that right?

MR. DINEEN: That is correct.

COMMISSIONER HEISER: That is what we learned in the world.

MR. DEKKER: But in the Zoning Ordinance the IP zoning minimum parcel size twenty acres which we have requires the preparation of master development plan. Master development plans as defined in the Zoning Ordinance as a plan meeting the requirements for a site development plan for subdivision showing general building and parking locations and specifying design requirements for buildings, landscaping, lighting and signage, that is what we are doing.

MR. DINEEN: But signage is a structure, it is a permitted use in the zone and you can restrict a design, you can talk about kinds of materials the sign will be, you can talk about all those issues but you cannot further restrict it unless you have a special use designation on it. And then you can tailor the zoning in a different way. You can restrict those more. And that is what you really will be doing you would be saying SU-1 for IP with certain restrictions including the signs or any other restrictions the deviate from the IP allowances. You can even restrict the kinds of uses if you wanted to exclude those. But I don't think that is the issue here.

COMMISSIONER HEISER: Well we haven't talked about that but the use.

MR. DEKKER: It seems to me we brought these plans before the Commission in the past where we prepared master development plans and there has been great debate about bike storage facilities.

CHAIRMAN GARA: In a SU zones?

MR. DEKKER: No, this was straight IP zoning.

CHAIRMAN GARA: Which one?

MR. DEKKER: Ron Brown's piece.

COMMISSIONER HEISER: The point that he is making is that is true all that stuff goes into the IP. The problem that we have learned about of recent when we went through a site trip and stuff like that is that when it comes to signage, signage is irrelevant. And all you can dictate on the signage are materials and what else.

MR. DINEEN: Design related issues it could be any of those.

COMMISSIONER HEISER: You cannot regulate size.

MR. DINEEN: You can't height or area.

COMMISSIONER HEISER: Or area.

MR. DINEEN: It is specified and it is a use in our ordinance signs are a use they are listed as a use.

COMMISSIONER HEISER: Which means there is a large building, Dale stick with me here for a minute.

MR. DEKKER: Okay.

COMMISSIONER HEISER: If these buildings are large, if you had a I mean we just saw a truck stop that went in on one side of town that just has big honking sign and its just big.

MR. DEKKER: Sure.

COMMISSIONER HEISER: And the building is not that big but it is a certain percentage of it based on the guidelines that you have submitted if you have a building that is like three hundred feet long and forty feet tall you can do signage according to this twenty percent of that wall that is humungous. You can read it from Grants.

MR. DEKKER: Well I guess we are willing to put more restrictive requirements. What I am hearing is the only way to do that that you are comfortable with is to have an SU-1 designation and I almost arguing to say well we have this master development plan which seems like it has all the pieces that go into a site development plan for subdivision is usually required for SU sites. It sounds to me that the intent for the IP zone was that the master development plan provided design guidelines for a piece of property that was over twenty acres and you want to get IP zoning on it and that the flexibility is there to that the IP zone sets a maximum standard but the master development plan can set more restricted guidelines such as for area ratios or heights or other types of things. And we are willing to I mean amend the master development plan to address the signage issue.

COMMISSIONER HEISER: Codify it.

MR. DEKKER: But will your successors and interest?

MR. RELKIN: Mr. Chairman, I don't know if this assist at all but if you would like in there the agreement of the State Land Office that it will impose on any of its successors and interest. These restrictions on reasonable signage that you have been talking about we would be happy to commit to that and make that a condition of any lessee or any purchaser or any subsequent user of the property. If that helps, I don't know if it helps but we would be more then willing to do that.

COMMISSIONER HEISER: But maybe because these properties are not going to be sold right?

MR. RELKIN: They will be leased. And even if they were sold by some future land commissioner we would be willing to enter into agreement now that imposition would also be placed on successor interest even if sold. If that helps we will be happy to do that.

COMMISSIONER HEISER: That might be the way to keep it in IP versus SU-1.

CHAIRMAN GARA: I guess the only other thing that if this was a typical submittal and it wasn't a State Land Office we probably would require SU-1. I don't know why we are being any different. Because we will get blasted in the papers again, I don't know holding up progress. Commissioner McMahan?

COMMISSIONER McMAHAN: You are about to loose me (INAUDIBLE).

CHAIRMAN GARA: I have been lost for a while now.

COMMISSIONER McMAHAN: It looks to me there is either a continuance or lets vote.

CHAIRMAN GARA: Mr. Dineen?

MR. DINEEN: Just one point of clarification what we were talking about earlier or just to flush out the idea if we went to special use in order to restrict the signs because that is the issue that I am hearing that you may want to restrict the signs more in this particular zone. It would be SU-1 for IP uses as regulated in the IP zone and that would of course as Russell points out unless you say otherwise both permissive and conditional uses would be then permitted. Or you would have to limit it to permissive only that is another decision.

COMMISSIONER HEISER: Right now the site is IP so that means you have to go to conditional hearing for certain IP uses.

MR. DINEEN: You went to SU-1 and you gave them IP or as regulated that means there is no question about how the individual site plans are reviewed or any of this other issues that they may be uncomfortable with such as all the site plans coming back to you.

COMMISSIONER HEISER: If the applicant can write up the wording on signage, if you can write that up so we can put it I am inclined to I might regret it but I am inclined to accept that as a condition. Maybe others aren't I don't know.

MR. DEKKER: Do you want me to propose some language for MM?

COMMISSIONER HEISER: Yes please. Can you write it down and then, did you write it already?

MR. DEKKER: Yes.

COMMISSIONER HEISER: Okay.

MR. DEKKER: I wrote down what you said earlier it the signage shall be limited to six percent of the façade area with no individual letters exceeding three feet in height.

COMMISSIONER HEISER: I know that part I meant the State Land Offices verbiage.

MR. RELKIN: May I suggest some language off the top of my head.

COMMISSIONER HEISER: Yes can you write it down.

MR. DEKKER: Commissioner Heiser, I am back.

COMMISSIONER HEISER: Okay.

MR. DEKKER: Under signage the applicant agrees to impose on any lessee or successor and interest. A restriction of signage to a maximum of six percent of a façade area and a maximum letter size of three feet.

COMMISSIONER HEISER: I have signage shall be limited to the six percent of façade to which is supplied. The maximum letter size is three feet. I think you need that last sentence as a condition that the signage shall be conveyed and all that kinds of stuff. That these conditions, the signage conditions shall be conveyed to future whatever.

CHAIRMAN GARA: That is what I just said. To all lessees and successors of interest.

COMMISSIONER HEISER: Okay it sounds good. Okay, I am going to apologize and I hope, I really hope this doesn't go in the paper as us being bad Planning Commissioners or anything but there is so many different things on here on these conditions and everything I am not thinking clearly I would like to act on the annexation and zoning.

MR. DEKKER: Okay.

COMMISSIONER HEISER: And then come back to the master plan stuff and we have a hearing on the 31<sup>st</sup>.

CHAIRMAN GARA: With these changes made and incorporated so that we are looking at one set instead of three sets. We are looking at drawing, staff findings, and the language.

COMMISSIONER HEISER: I am sure this stuff will work but it is just, there is so much of it there is so many conditions and so many double letters.

CHAIRMAN GARA: You are not going to be heard at City Council for annexation and zoning before than either.

MR. DEKKER: That is correct.

COMMISSIONER HEISER: I think once it left single letters it lost me. So I am prepared to make a motion for annexation.

CHAIRMAN GARA: We use letters I mean we use numbers so we don't get into double letters Mr. Brito.

COMMISSIONER HEISER: On the matter of 00114 00000 000715, a request for annexation I move for approval based on findings one through four.

CHAIRMAN GARA: Is there a second.

COMMISSIONER McMAHAN: Second.

CHAIRMAN GARA: A motion and a second any discussion? All in favor "Aye?" All opposed "No?" Motion carries unanimously.

COMMISSIONER HEISER: On the matter of 00110 00000 00716, a zone map amendment for IP zoning I move for approval based on findings one through four.

COMMISSIONER McMAHAN: Second.

CHAIRMAN GARA: There is a motion and a second, any discussion? All in favor of the motion "Aye"? All opposed "No"? Motion carries unanimously.

COMMISSIONER HEISER: Mr. Chairman in the matter of 00128 00000 00718, I move for a continuance to the meeting of August 31.

CHAIRMAN GARA: Is that sufficient time Mr. Dekker?

MR. DEKKER: That is sufficient time.

COMMISSIONER McMAHAN: We all have to be here.

COMMISSIONER HEISER: That is true.

CHAIRMAN GARA: He won't be.

COMMISSIONER HEISER: Okay so what is the next hearing?

CHAIRMAN GARA: We have one on the 7<sup>th</sup>. We didn't do the 7<sup>th</sup>.

MR. PAULSEN: We can put it on the all day it will not take long.

CHAIRMAN GARA: Yes, we can do it on the all day. We can do it on the all day provided it is complete based upon all this discussion tonight and the continuance to the all day. Again it is not going to go through City Council and LUPZ before that.

MR. PAULSEN: Do you want to do this as a deferral or a continuance.

CHAIRMAN GARA: Continuance.

MR. PAULSEN: Everyone that is here going to be here.

CHAIRMAN GARA: On the 21<sup>st</sup> of September.

MR. PAULSEN: Other Commissioners are going to have to listen to tapes of this.

CHAIRMAN GARA: Or not hear it. Will all of you be here on the 21<sup>st</sup> of September, thank you. Is that a motion for a continuance to the 21<sup>st</sup>?

COMMISSIONER HEISER: Yes, to the 21<sup>st</sup> of September.

CHAIRMAN GARA: Is there a second?

COMMISSIONER McMAHAN: Second.

CHAIRMAN GARA: All in favor of the motion "Aye"? All opposed "No?" Motion is approved.

## FINAL ACTION TAKEN

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to recommend approval to the City Council 00114 00000 00715, annexation of a tract of land in Section 33, T10N, R4E, in the North ½ of the SW 1/4 of the NW 1/4, based on the following Findings:

### FINDINGS:

1. This is a request for annexation of an approximately 20 acre site located on Eubank Boulevard SE, south of Gibson Boulevard. This request is accompanied by a request for a zone map amendment to establish City IP zoning.
2. Annexation of the subject site furthers the applicable Goals and policies of the Comprehensive Plan by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
3. Annexation of the subject site furthers and fulfills the applicable policies of R-54-1990. The site is designated by the Comprehensive Plan as Developing Urban and annexation of such areas into the City is desired and encouraged. The site is contiguous to the City limits, has provision for convenient street access to the City, and has reasonable boundaries for delivery of public services.

4. A pre-annexation agreement is not necessary for this annexation request as City utilities are readily available to the subject site and provision of services can be handled at the Development Review Board during the platting process.

MOVED BY COMMISSIONER HEISER

SECONDED BY COMMISSIONER McMAHAN

MOTION CARRIED UNANIMOUSLY

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NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to recommend approval to the City Council of 00110 00000 000716, a request for establishment of IP zoning for a tract of land in Section 33, T10N, R4E, in the North ½ of the SW 1/4 of the NW ¼ based on the following Findings:

**FINDINGS:**

1. This is a request for a zone map amendment to establish IP zoning for an accompanying annexation request of approximately 20 acres, located on Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies a request for annexation of the subject site.
2. The requested zoning furthers the applicable Goals and policies of the Comprehensive Plan by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
3. The requested zoning furthers and fulfills the policies of R-270-1980. The proposed zoning will further stabilize the land use in the area as a industrial, research and technology park. The existing zoning is inappropriate because of changed neighborhood or community conditions in the form of annexation of the subject site. Also, a different use category is more advantageous to the community as articulated in the Comprehensive Plan. This change of zone will not be harmful to adjacent property, the neighborhood or the community.
4. As required by the Zoning Code, this request for a change to IP zoning is accompanied by a Master Development Plan for the subject site.

MOVED BY COMMISSIONER HEISER

SECONDED BY COMMISSIONER McMAHAN

MOTION CARRIED UNANIMOUSLY

UNAPPROVED

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to continue 00127 00000 00718 to the Environmental Planning Commission Public Hearing on September 21, 2000.

MOVED BY COMMISSIONER HEISER  
SECONDED BY COMMISSIONER McMAHAN

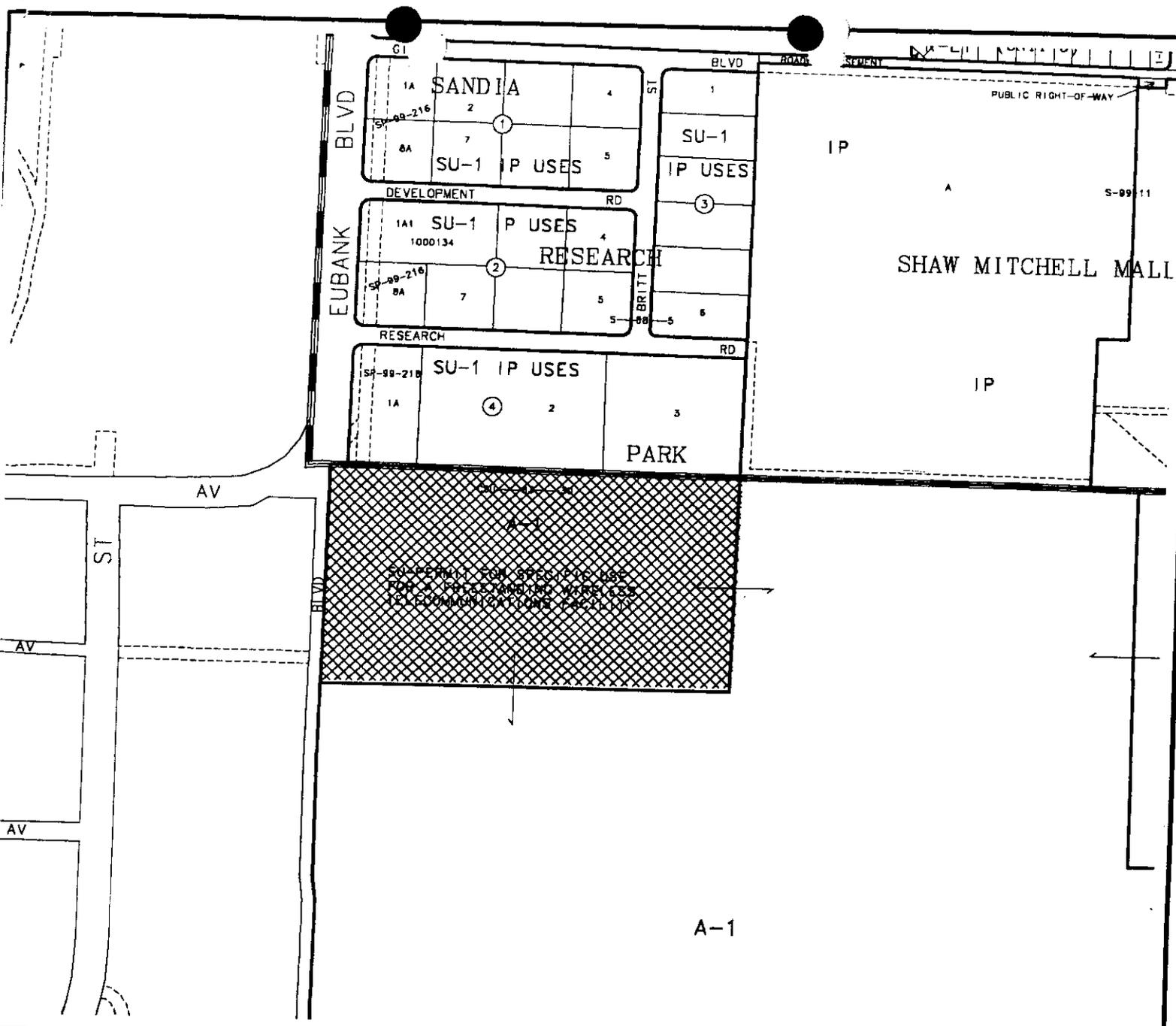
MOTION CARRIED UNANIMOUSLY

~~17 00128 00000 00870  
00128 00000 00871  
Project # 1000188~~

~~Tierra West, LLC, agents for Walmart Stores, Coors Ltd, RRG, Repetto, Komadina, Dolde Trust, Valencia Partners, Richard & Susan Saylor requests approval of a site development plan for subdivision plus approval of a site development plan for building permit for a portion of Tract 330 in Unit 8 of a portion of Tracts allotted from the Town of Atrisco Grant, Tract 331-A, Town of Atrisco Grant, Tract 332 in Unit 8, a portion of tracts allotted from the Town of Atrisco Grant, Tract A-2122-A of Northeast Unit, Town of Atrisco Grant, a 0.3074 acre portion of Tract Lettered A-14 in the Northeast Unit of Town of Atrisco Grant, Tract A-19-C2, Northeast Unit, Town of Atrisco Grant, Tract A-1-A Lands of Ann Komadina, 1/9 interest; and undivided interest, zoned SU-1 for C-2, located on Ouray Road NW between Coors Boulevard and Quail Road containing approximately 33.4339 acres. (H-11) Russell Brito, Staff Planner  
**(NO ACTION TAKEN DUE TO NO QUORUM)**~~

CHAIRMAN GARA: Item number twenty-one, Mr. Suffling?

MR. SUFFLING: Mr. Chairman, this case has been in litigation for a while and recently the judge affirmed the Planning Commission and the City Council. Although before the judge did that he made a decision to have the case heard over again and that is what this is, this is pending. Right now technically having it heard over is moot because the original hearing and the original application has been approved and my understanding is that the applicant is going forward. However, the litigation is still there and there are a number of legal maneuvers that can occur which can change the status quo and I believe that is why the applicant doesn't want to just withdraw the application. Of course he cannot have the application heard either because he has already got approval on second application. So you might see if the neighborhoods want to say anything for the record about it. My advice is not to take any kind of action of any sort but you could put it off until another day. If the status quo is the same in September if you put it off until then then I think either the applicant will withdraw or you can take it off the agenda or take some other kind of action. But I would not advice taking any action on the merits of the case other than just to put it off pending finding out what kind of legal event might occur in the litigation.



ZONING MAP



Scale 1"=460'

PROJECT NO.  
1000554

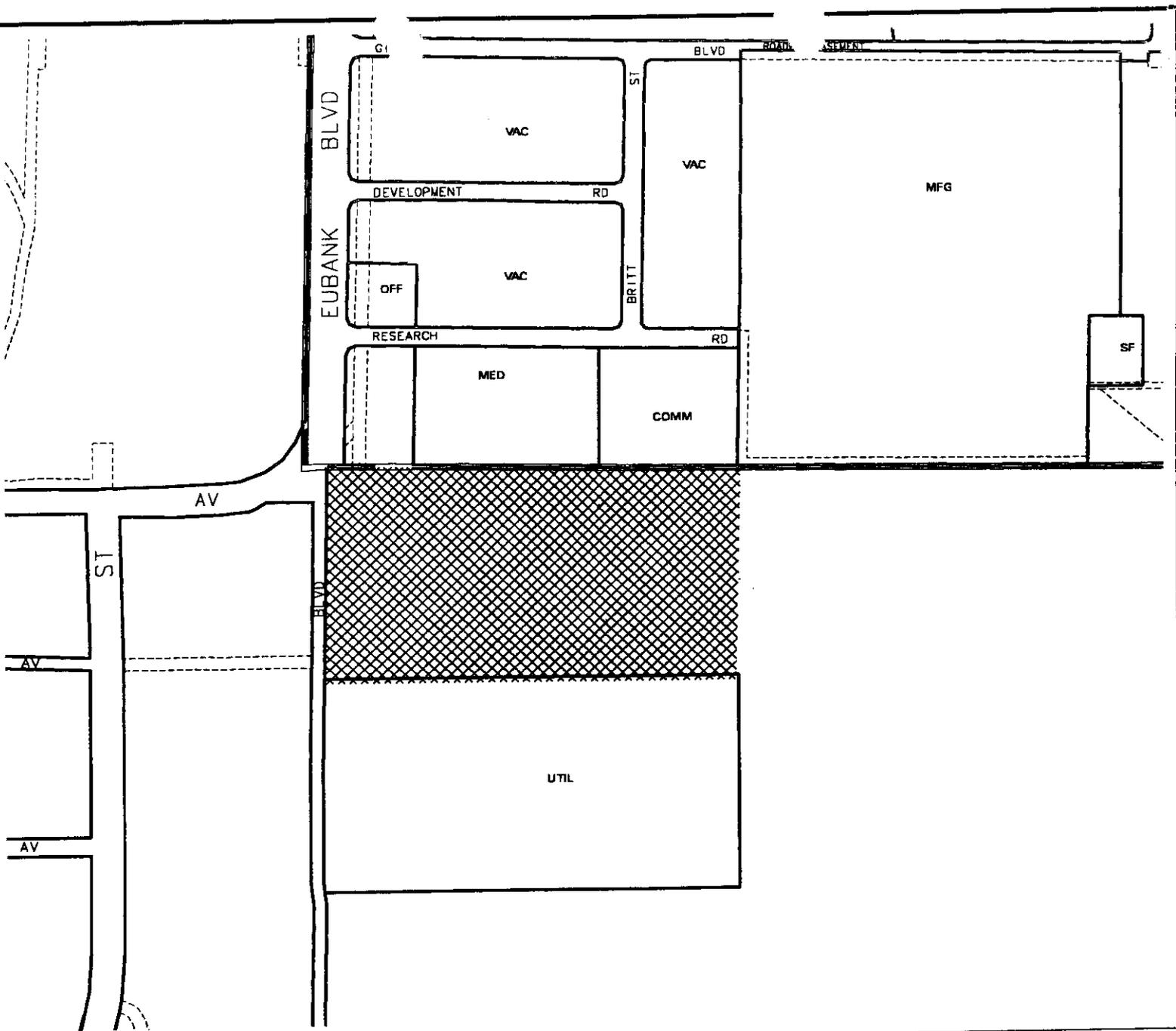
HEARING DATE  
08-17-00

MAP NO.  
M-21

APPLICATION NO.  
00114-00000-00715  
00110-00000-00716  
00128-00000-00718

-64-

Note: Shaded area indicates County Not to Scale



## LAND USE MAP

### KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial -Retail, Service, Wholesale
- DRNG Drainage
- EDUC Public or Private School
- GOLF Golf Course
- MED Medical Office or Facility
- MFG Manufacturing or Mining
- MH Mobile Home
- MULT Multi-Family or Group Home
- OFF Office
- ORG Social or Civic Organization
- PARK Park, Recreation or Open Space
- PRKG Parking
- PUBF Public Facility
- RELG Religious Facility
- SF Single Family
- TRAN Transportation Facility
- UTIL Utility
- VAC Vacant Land or Abandoned Bldg
- WH Warehousing & Storage



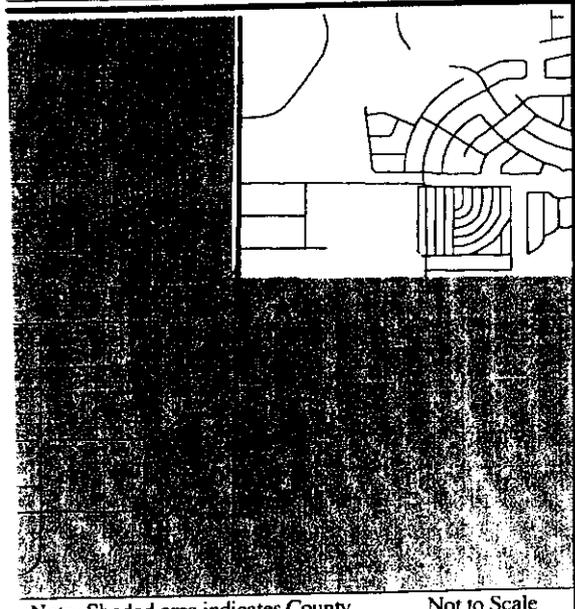
Scale 1" = 460'

**PROJECT NO.**  
**1000554**

**HEARING DATE**  
**08-17-00**

**MAP NO.**  
**M-21**

**APPLICATION NO.**  
00114-00000-00715  
00110-00000-00716  
00128-00000-00718



Note: Shaded area indicates County Not to Scale

-65-



ENVIRONMENTAL PLANNING COMMISSION  
AMENDED A G E N D A

Thursday, September 21, 2000, 8:00 a.m.

Plaza del Sol Hearing Room  
Lower Level  
600 2nd Street NW

MEMBERS

Chuck Gara, Chairman  
Robert Heiser, Vice Chairman

Elizabeth Begay  
Joe Chavez  
Larry Chavez

Susan Johnson  
Mick McMahan  
Alan Schwartz

\*\*\*\*\*

**NOTE: A LUNCH BREAK AND DINNER BREAK WILL BE ANNOUNCED AS NECESSARY.**  
Agenda items will be heard in the order indicated below unless modifications to the Agenda are approved by the EPC at the beginning of the hearing (see item 1A and 1B below); deferral and withdrawal requests (by applicants) are generally reviewed at this time.

There is no set time for cases to be heard; however, interested parties can monitor the progress of the hearing by calling the Planning Department at 924-3860. All parties wishing to address the Commission must sign-in with the Commission Secretary at the front table prior to the case being heard. In the interest of time, the Chairman may establish time limitations on speakers. Please be prepared to provide brief and concise testimony to the Commission if you intend to speak.

1. Call to Order.
  - A. Announcement of changes and/or Additions to the Agenda.
  - B. Approval of the Amended Agenda.
  - C. Approval of Minutes for July 20, 2000

- 1D. 00114 00000 00715 Dekker/Perich/Sabatini, agents for NM Commissioner of Public Lands,  
00110 00000 00716 requests annexation and establishment of IP zoning plus a approval of a  
00128 00000 00718 master development plan for a Tract of land in Section 33 T10N, R4E, in  
Project # 1000554 the North ½ of the SW ¼ of the NW ¼, located on Eubank Boulevard SE,  
south of Gibson Boulevard, containing approximately 20 acres. (M-21)  
Russell Brito, Staff Planner **(RECOMMENDED APPROVAL TO CITY  
COUNCIL OF ANNEXATION. RECOMMENDED APPROVAL OF  
ESTABLISHMENT OF IP ZONING. MASTER DEVELOPMENT  
PLAN CONTINUED TO SEPTEMBER 21, 2000)**
2. 00128 00000 00870 Tierra West, LLC, agents for Walmart Stores, Coors Ltd, RRG, Repetto,  
00128 00000 00871 Komadina, Dolde Trust, Valencia Partners, Richard & Susan Saylor  
Project # 1000188 requests approval of a site development plan for subdivision plus approval  
of a site development plan for building permit for a portion of Tract 330 in  
Unit 8 of a portion of Tracts allotted from the Town of Atrisco Grant, Tract  
331-A, Town of Atrisco Grant, Tract 332 in Unit 8, a portion of tracts  
allotted from the Town of Atrisco Grant, Tract A-2122-A of Northeast Unit,  
Town of Atrisco Grant, a 0.3074 acre portion of Tract Lettered A-14 in the  
Northeast Unit of Town of Atrisco Grant, Tract A-19-C2, Northeast Unit,  
Town of Atrisco Grant, Tract A-1-A Lands of Ann Komadina, 1/9 interest;  
and undivided interest, zoned SU-1 for C-2, located on Ouray Road NW  
between Coors Boulevard and Quail Road containing approximately  
33.4339 acres. (H-11) Russell Brito, Staff Planner
3. 00110 00000 00140 Garcia/Kraemer & Associates, agents for C. James Schomburg, request a  
zone map amendment from M-2 to SU-1/C-2 for Lot A, Lands of Helen E.  
Saunders, located on Montano Road NW between I-25 and Culture Drive,  
containing approximately .56 acre. (F-16) Elisa Paster, Staff Planner  
**(DEFERRED FROM JULY 20, 2000)**
4. Z-99-116 Tierra West LLC, agents for Beach Water Park, Inc., request approval of a  
site development plan for subdivision purposes plus approval of a site  
development plan for building permit for Tract B & C, Renaissance Center  
III and replat Lot 3 & 4, Tract 6-A, zoned SU-1 for IP Uses & Recreation  
Facility, located on Montano Road NW between Interstate 25 and  
Alexander Boulevard, containing approximately 1.9 acres. (F-16) Elisa  
Paster, Staff Planner **(DEFERRED FROM JULY 20, 2000)**
5. 00114 00000 01055 Tierra West LLC, agents for Paradise West Inc., request annexation and  
00138 0000001056 establishment of R-D zoning, plus an amendment the La Cueva Sector  
Project # 1000711 Development Plan, located on Modesto between Ventura and Holbrook,  
containing approximately 13 acres. (B-20) Carmen Marrone, Staff Planner

6. 00138 00000 00911  
00114 00000 00576  
Project # 1000488  
Tierra West LLC, agents for Mock Homes, request annexation and establishment of R-D zoning plus an amendment to the La Cueva Sector Development Plan for Lots 1-5 and 28-32, Block 12, Tract 3, Unit 3, North Albuquerque Acres located on Ventura Avenue NE between Eagle Rock Avenue and Oakland Avenue, containing approximately 10 acres. (C-20) Carmen Marrone, Staff Planner **(DEFERRED FROM AUGUST 17, 2000)**
  
7. 00110 00000 00145  
00138 00000 00146  
Pacific Equities, LLC request an amendment to the North I-25 Sector Development Plan plus a zone map amendment from R-D to SU-2/C-1 zoning for Lots 14-19, Block 34, Tract A, Unit B, North Albuquerque Acres, located on Louisiana Boulevard NE between Holly Avenue and Carmel Avenue, containing approximately 4.71 acres. (C-18) Bob Torres, staff Planner **(DEFERRED FROM AUGUST 17, 2000)**
  
8. 00110 00000 00995  
Project # 1000683  
John Lorentzen requests a zone map amendment from IP to C-2 for a western portion of Tract E, Airport Center, located on Miles Road SE between University Boulevard and Buena Vista, containing approximately .355 acre. (M-15) Simon Shima, Staff Planner
  
9. Z-00-11  
AX-00-3  
Tierra West LLC, agents for Development Services LTD Co. & Four Suns Bldgs., requests Annexation and Establishment of SU-1 for MH zoning plus approval of a Site Plan for Subdivision and approval of a Site Plan for Building Permit for Tracts 1, 2 and A-1, Lands of Chapman, plus the adjacent portion of the MRGCD lateral, plus Tract 22A, MRGCD Map 29; along with annexation and establishment of SU-1 for IP zoning and approval of a site plan for building permit for Tract B, Lands of Chapman, plus Tract 22, MRGCD Map 29, located on Edith Avenue NE between Osuna Boulevard and Sin Nombre Ct. for a total of approximately 23.08 acres. (E-15) Bob Torres, Staff Planner **(DEFERRED FROM AUGUST 17, 2000)**
  
10. 00110 00000 01004  
00138 00000 01005  
Project # 1000580  
Greater Albuquerque Housing Partnership, agents for Albuquerque Public Schools, request a zone map amendment from O-1 to R-1, plus an amendment to the Martineztown/Santa Barbara Sector Development Plan for unplatted tracts within projected Section 16 T.10.N, R.3.E, N.M.P.M. Town of Atrisco Grant, located on Indian School Road NE & High Street between Indian School Road and Crespin Avenue, containing approximately .50 acre. (J-15) Cynthia Borrego Archuleta, Staff Planner

EPC AMENDED AGENDA  
SEPTEMBER 21, 2000  
PAGE 4 OF 6

11. 00110 00000 01006  
00138 00000 01007  
Project # 1000580  
Greater Albuquerque Housing Partnership, agents for Albuquerque Public Schools, request a zone map amendment from O-1 to R-1 plus an amendment to the Martineztown/Santa Barbara Sector Development Plan for unplatted Tracts within projected Section 16 T.10.N, R.3.E, N.M.P.M. Town of Atrisco Grant, located on Cordero Street between High Street and Albuquerque High School, containing approximately .70 acre. (J-15) Cynthia Borrego Archuleta, Staff Planner
12. 00110 00000 01215  
00138 00000 01216  
Project # 1000580  
Greater Albuquerque Housing Partnership, agents for Albuquerque Public Schools, request a zone map amendment from SU-2/RCM to R-1 plus an amendment to the Martineztown/Santa Barbara Sector Development Plan for unplatted Tracts within projected Section 16 T.10.N, R.3.E, N.M.P.M. Town of Atrisco Grant, located on High Street between Crespín and Kinley and adjacent to Albuquerque High School, containing approximately .19 acre. (J-15) Cynthia Borrego Archuleta, Staff Planner
13. 00110 00000 00585  
00128 00000 00682  
(Project #1000493)  
Consensus Planning, agents for the City of Albuquerque, Open Space Division request a zone map amendment from SU-1 PRD to SU-1 for Major Public Open Space plus an amendment to a site development for subdivision for a portion of Tract E-1, Marian Rocco Subdivision, located on Coors Boulevard NW between Montañó Road and Paseo del Norte, containing approximately 9.38 acres. (D-13) Russell Brito, Staff Planner **(DEFERRED FROM AUGUST 17, 2000)**
14. 00128 00000 00586  
00128 00000 00587  
(Project #1000493)  
Consensus Planning, agents for Garrett Group, Inc., request approval of a site development plan for subdivision purposes plus approval of a site development plan for building permit for a portion of Tract E-1, Marian Rocco Subdivision, zoned SU-1 PRD, located on Coors Boulevard NW between Montañó Road and Paseo del Norte, containing approximately 16.51 acres. (D-13) Russell Brito, Staff Planner **(DEFERRED FROM AUGUST 17, 2000)**
15. 00110 00000 01016  
Project # 1000691  
Herbert M. Denish & Associates, agents for Ike J. Monty, request a zone map amendment from R-2 to C-2 for Lots 1 & 2, Block 13, Clayton Heights Addition, located on the west side of Wilmoore Avenue SE between Gibson Boulevard and Ross Avenue, containing approximately .488 acres. (L-15) Jon Messier, Staff Planner
16. 00128 00000 01017  
Project # 1000692  
James W. Green, Architect, agent for Desert Sky Development, request approval of a site development plan for building permit for Tract A-1A, Academy Acres Subdivision, zoned SU-1/C-1, located on the corner of Wyoming Boulevard NE & Burlison, containing approximately 4.08 acres. (E-19) Debbie Stover, Staff Planner

17. 00110 00000 01040  
Project # 1000704      Guadalupe Architects, agents for Walter Sanchez, request a zone map amendment from R-2 to C-1 for Lots 3 & 4, Block 25, Playa del Sol Addition located on the east side of Florida Street SE between Zuni Road SE and Bell Avenue, containing approximately .475 acre. (L-18) Jon Messier, Staff Planner
18. 00110 00000 01028  
Project # 1000699      Garcia/Kraemer & Associates, agents for Dr. Sharon Holland, request a zone map amendment from R-1 & C-1 to C-2 for Tract 67A3, MRGCD Map No. 29, located on Fourth Street NW, between Vineyard Road and Willow Road, containing approximately 1.15 acres. (E-15) Russell Brito, Staff Planner
19. 00110 00000 001024  
Project # 1000696      Cummins Consulting, agents for Yoshiro Akutagawa et. al., request a zone map amendment from R-D to C-2 for Tract F, Bosque Meadows, located on Coors Boulevard NW between Rambla Lane and Bosque Meadows, containing approximately 3.14 acres. (D-12) Russell Brito, Staff Planner
20. 00110 00000 01020  
00128 00000 01021  
Project # 1000694      John Griego, agent for Family Worship Center, requests a zone map amendment from R-2 to SU-1 for Church and Related Uses plus a site development plan for subdivision purposes for Lots 226-230, Town of Atrisco Grant, Airport Unit, located on Glenrio Road NW between Coors Boulevard and I-40, containing approximately 7.361 acres. (J-10) Mary Piscitelli, Staff Planner
21. 00110 00000 001026  
Project # 1000697      Garcia/Kraemer & Associates, agents for John Kinzer request a zone map amendment from R-T to C-2 for Lot 37, Block 4, La Mesa Addition, located on Mesilla Street NE between Central Avenue and Domingo Road, containing approximately 0.16 acre. (K-19) Carmen Marrone, Staff Planner
22. 00128 00000 01029  
Project # 1000400      Kevin Georges, AIA, agents for Our Lady of the Rosary Church request approval of a site development plan for building permit for Lot 336, Town of Atrisco Grant, zoned SU-1 Church/School/Rectory, located on Ouray Road NW between Ouray Road NW and Miami Road NW, containing approximately 5 acres. (H-11) [REMANDED FROM CITY COUNCIL] Debbie Stover, Staff Planner

23. 00128 00000 001037  
Project #1000703 SMPC Architects, agents for Sandia Baptist Church, request an amendment to a site development plan for Tract A and Lot 15, Tijeras Club Gardens Addition, zoned SU-1 for Church and Related Facilities, located on the NE corner of Constitution Avenue and Moon Street NE, between Moon and Erbbe Streets, containing approximately 3.7 acres. (J-20) Russell Brito, Staff Planner
24. 00128 00000 001032  
Project # 1000702 John Klee requests approval of a site development plan for building permit for Tract X, Temple Addition, zoned SU-2/R-2, O-1, located on the intersection of San Pedro Drive NE between Indian School Road and Haines, containing approximately .9833 acre. (J-18) Debbie Stover, Staff Planner
25. 00128 00000 001027  
Project # 1000698 Laurie Moye, agent for PNM, requests approval of a site development plan for building permit for Tract E, Filberto Gurule Addition, zoned SU-2/IP/EP, located north of Balloon Fiesta Parkway NE between Jefferson Street and San Mateo Boulevard, containing approximately 11.42 acres. (B-17) Russell Brito, Staff Planner
26. SPR-95-2-1 The City of Albuquerque Planning Department requests amendments to the West Side Strategic Plan regarding mapping and policies for Village and Community Centers and Adjacent Areas designated in the West Side Strategic Plan. (Joel Wooldridge, Staff Planner) **(DEFERRED FROM JULY 25, 2000)**
27. 00110 00000 01031  
Project # 1000701 Lawrence Rodriguez, agent for Tom Gunzelman, requests a zone map amendment from R-2 to C-2 for Lot 24, Loma Verde Addition, located on the northwest corner of Espanola Street NE, between Chico Road and Domingo, containing approximately K-19) Simon Shima, Staff Planner
28. Other Matters



## Staff Report

• <i>Agent</i>	Dekker/Perich/Sabitini
• <i>Applicant</i>	NM Commissioner of Public Lands
<b>Requests</b>	Approval of a master development plan (EPC recommended annexation and establishment of zoning to City Council on 17 August 2000)
• <i>Legal Description</i>	a tract of land in Section 33, T10N, R4E, in the North 1/2 of the SW 1/4 of the NW 1/4
• <i>Location</i>	on Eubank Boulevard SE, south of Gibson Boulevard
• <i>Size</i>	approximately 20 acres
• <i>Existing Zoning</i>	County A-1
• <i>Proposed Zoning</i>	IP

**Staff Recommendation**

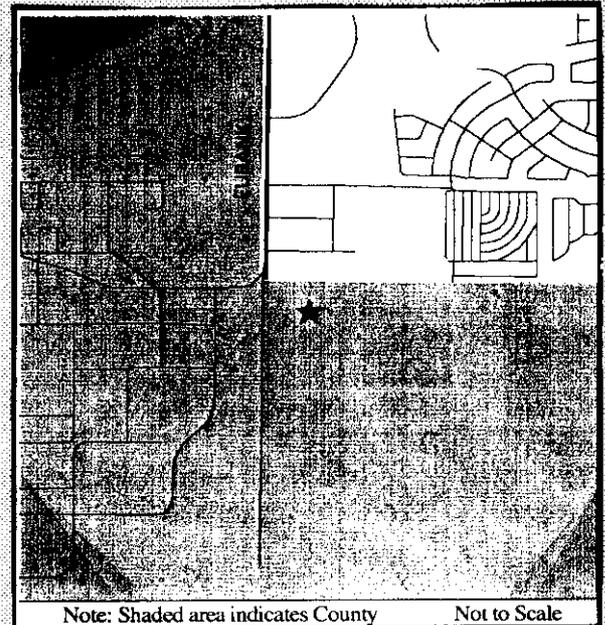
**APPROVAL** of 00128 00000 00718, based on the findings on page 19, and subject to the conditions of approval on page 19.

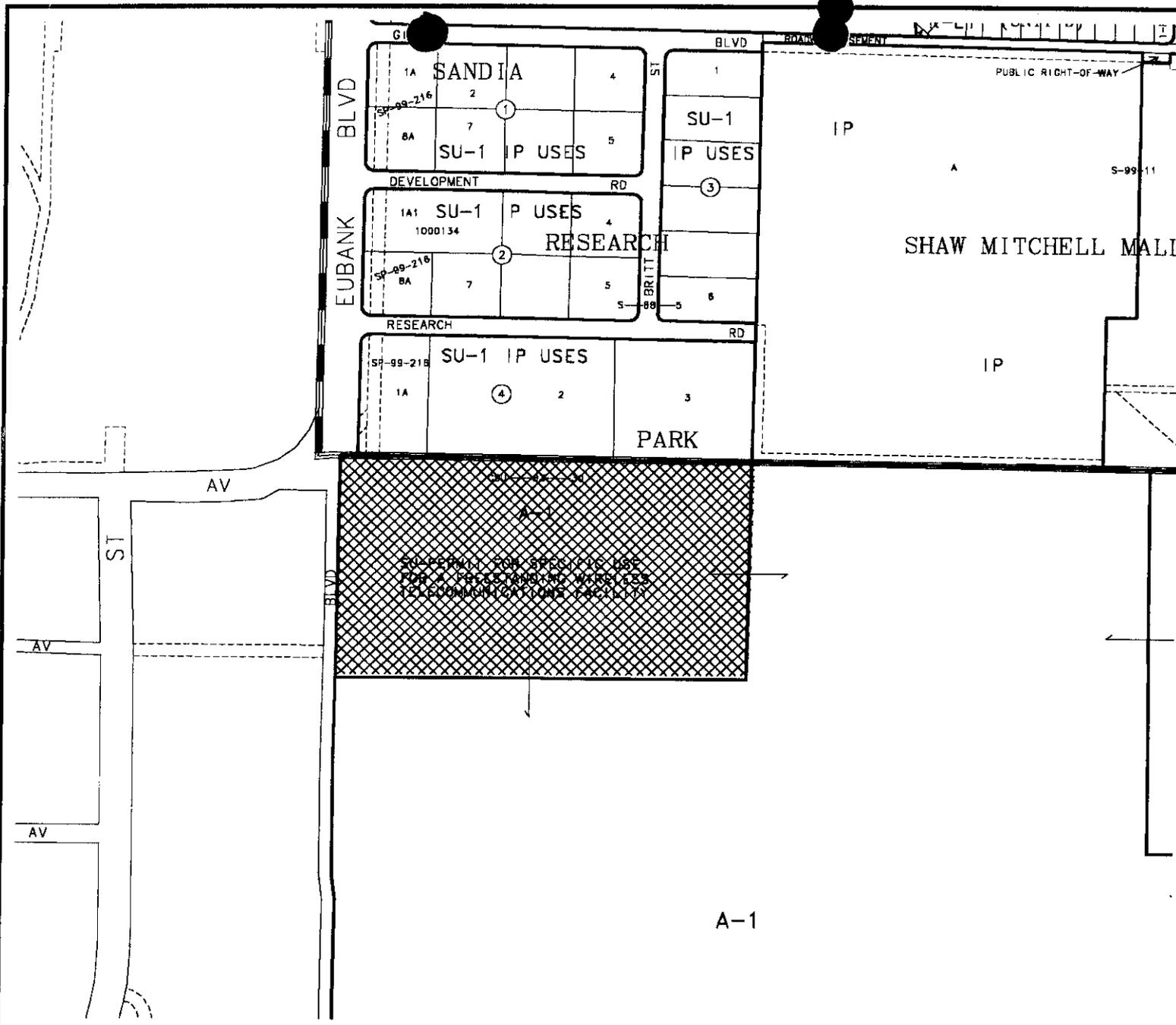
**Staff Planner**  
 Russell Brito, Planner

### Summary of Analysis

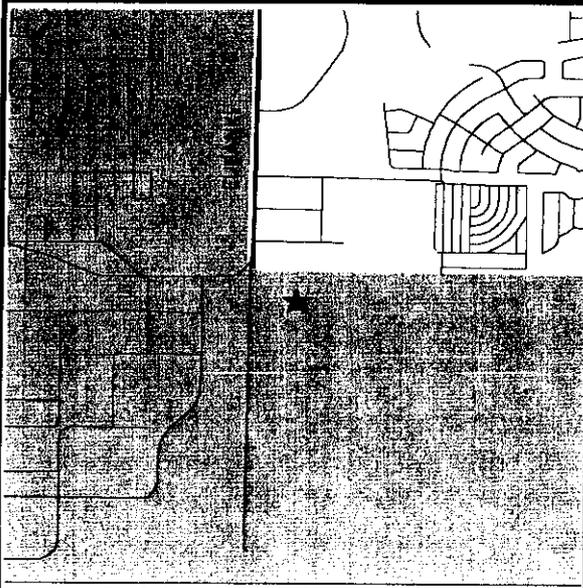
The Environmental Planning Commission recommended approval of both the annexation and zoning requests to the City Council on 17 August 2000. The EPC continued the master development plan for one month at the same hearing to allow the applicant to expand the design guidelines to address and include the Planning staff's recommended conditions of approval. The applicant has revised the submittal to include a comprehensive list of design guidelines, notes and criteria that create a strong design framework for future development.

The applicant has been in contact with Planning Department staff since the continuance, discussing issues and working out the final language for the notes and guidelines. Staff is generally supportive of the revised submittal and its expanded guidelines and criteria that incorporate the wording and intent of the conditions of approval from the previous month's recommendation. Staff is recommending approval of the master plan, conditioned on the completion of the annexation and zoning actions at the City Council. Additional staff comments begin on page 18.





A-1



Note: Shaded area indicates County Not to Scale

### ZONING MAP



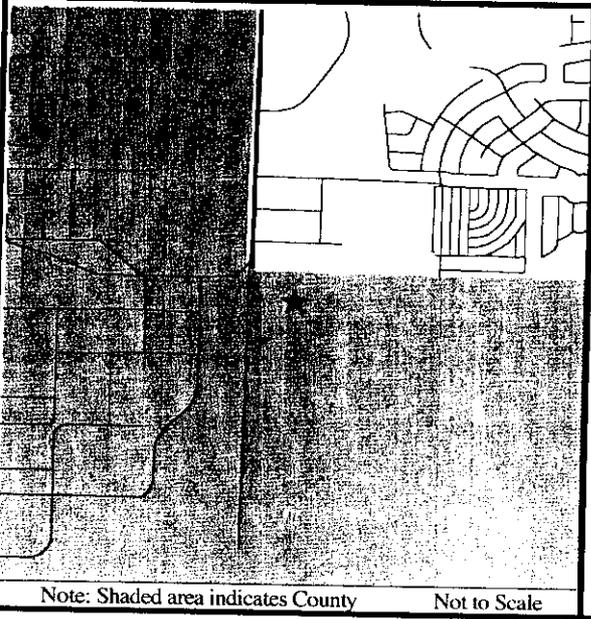
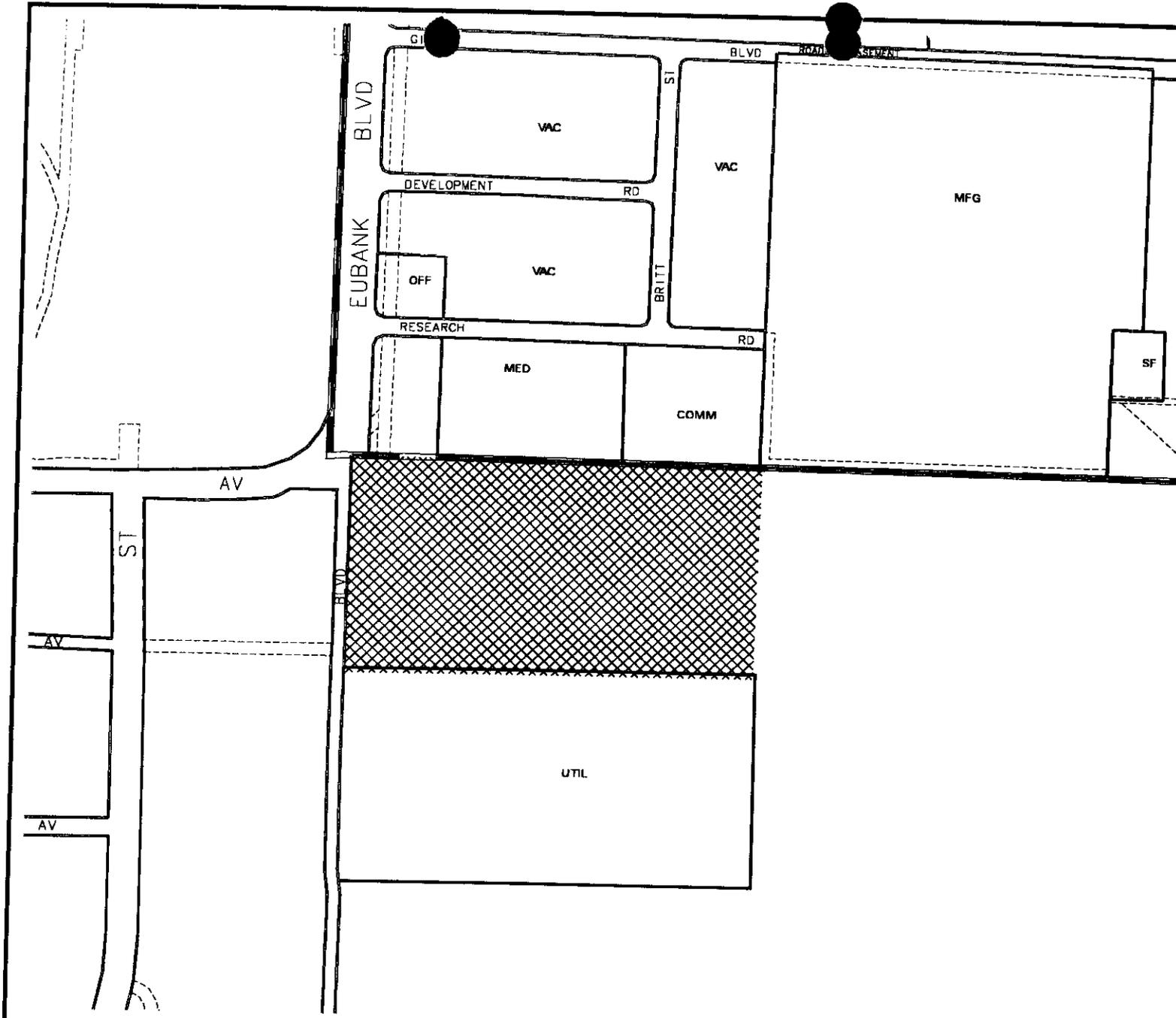
Scale 1" = 460'

PROJECT NO.  
1000554

HEARING DATE  
08-17-00

MAP NO.  
M-21

APPLICATION NO.  
00114-00000-00715  
00110-00000-00716  
00128-00000-00718



Note: Shaded area indicates County Not to Scale

### LAND USE MAP

KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial -Retail, Service, Wholesale
- DRNG Drainage
- EDUC Public or Private School
- GOLF Golf Course
- MED Medical Office or Facility
- MFG Manufacturing or Mining
- MH Mobile Home
- MULT Multi-Family or Group Home
- OFF Office
- ORG Social or Civic Organization
- PARK Park, Recreation or Open Space
- PRKG Parking
- PUBF Public Facility
- RELG Religious Facility
- SF Single Family
- TRAN Transportation Facility
- UTIL Utility
- VAC Vacant Land or Abandoned Bldgs
- WH Warehousing & Storage



Scale 1"= 460'

**PROJECT NO.**  
1000554

**HEARING DATE**  
08-17-00

**MAP NO.**  
M-21

**APPLICATION NO.**  
00114-00000-00715  
00110-00000-00716  
00128-00000-00718

## Development Services Report

### SUMMARY OF REQUEST

<i>Request</i>	1. Annexation 2. Establishment of IP zoning 3. Approval of a master development plan
<i>Location</i>	a tract of land in Section 33, T10N, R4E, in the North ½ of the SW 1/4 of the NW 1/4 located on Eubank Boulevard SE, south of Gibson Boulevard

### AREA CHARACTERISTICS AND ZONING HISTORY

Surrounding zoning, plan designations, and land uses:

	<i>Zoning</i>	<i>Comprehensive Plan Area, Applicable Rank II &amp; III Plans</i>	<i>Land Use</i>
<i>Site</i>	County A-1	Developing Urban	undeveloped
<i>NE &amp; North</i>	IP and SU-1 for IP Uses	"	manufacturing, medical office, and commercial
<i>South</i>	County A-1	"	electrical switching station
<i>East</i>	County A-1	"	undeveloped
<i>West</i>	US Government Land	"	Kirtland Air Force Base

### Background

The subject site is located in the unincorporated County adjacent to Kirtland Air Force Base. A developing industrial, research and technology park is located to the north and northeast of the subject site. These lands to the north and northeast were annexed and zoned SU-1 for IP Uses and IP in 1981 and 1980, respectively (Z-81-68/AX-81-16 and Z-80-96/AX-80-21). The Planning Commission has approved site plans for some of the developments in this area and delegated approval of others to the Development Review Board, such as the EMCORE site development plan (Z-98-41/DRB-98-41).

Economic development considerations and the economics of location have driven much of the technology-based development in the immediate area, taking advantage of the area's proximity to Sandia National Laboratories and other technology ventures. It appears that the State Land Office is taking a more direct role in the development of this area with the current request for annexation, establishment of zoning and approval of a Master Development Plan.

## APPLICABLE PLANS AND POLICIES

### *Albuquerque / Bernalillo County Comprehensive Plan*

The subject site is also a part of the Developing Urban Area of the *Comprehensive Plan* which has a Goal "to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment." Applicable policies include:

Policy a The Established and Developing Urban Areas . . . shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

Policy d The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

Policy e New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

Policy g Development shall be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.

Policy i Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

Policy j Where new commercial development occurs, it should generally be located in existing commercially zoned areas as follows:

- in small neighborhood-oriented centers provided with pedestrian and bicycle access within reasonable distance of residential areas for walking or bicycling.
- in larger area-wide shopping centers located at intersections of arterial streets and provided with access via mass transit; more than one shopping center should be allowed at an intersection only when transportation problems do not result.
- in free-standing retailing and contiguous storefronts along streets in older neighborhoods.

Policy k Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

Policy l Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

### *Resolution 54-1990 (Annexation Policy)*

This Resolution sets forth policies and requirements for annexation of territory to the City. Land to be annexed shall be generally contiguous to City boundaries, be accessible to service providers, and have provision for convenient street access to the City. The applicant must agree to timing of capital expenditures for any necessary major streets, water, sanitary sewer

and other facilities. Lands designated as Reserve are appropriate for annexation if they meet guidelines established for the Reserve Area of the Comprehensive Plan.

Findings for annexation must include that the area is suitable for urban intensity (designated in the Comprehensive Plan), or is a City-owned park or open space; other findings should demonstrate that the public welfare is benefited by the annexation.

*Resolution 270-1980 (Zone Change Policy)*

This Resolution requires that one of three findings be made for a change of zone: that there was an error when the existing zone map pattern was created, or that changed neighborhood or community conditions justify the change, or that a different use category is more advantageous to the community. The applicant is required to justify the request.

*Resolution 91-1998 (R-70)*

This Resolution establishes an overall direction for implementation of the City's growth policies, with a framework emphasizing:

- development of community and regional activity centers and major transportation corridors (high capacity corridors); encourage increased densities and mixed uses in activity centers and corridors; meet the needs of residents closer to their homes or employment to decrease Vehicle Miles Traveled and automobile dependence.
- maintenance, enhancements and upgrades of roads and utilities in the core area, to prevent deterioration of existing communities and to encourage infill; diversify the Downtown land use mix with public facilities, hotels, office and retail development, more and higher density housing; generate more activity and attract more private investment in the Downtown area.
- enhance transit system performance, consistent with the principles of a compact urban form and a network of centers and corridors; improve the viability of transit as an alternative to the single-occupancy vehicle and reduce Vehicle Miles Traveled; improve pedestrian mobility and the character of the pedestrian environment, transit orientation and bicycle connections, within centers and corridors.
- plan the timing of road and utility construction to ensure orderly growth, and coordinate capacity increases and street extensions; transportation improvement programs must recognize the significance of natural, historic, and cultural resources and include strategies for minimizing adverse impacts on them.

*Long Range Roadway System*

The Long Range Roadway System designates Eubank Boulevard as a principal arterial which requires 124 feet of right-of-way.

## *ANALYSIS - Annexation*

### *Conformance to Adopted Plans, Policies, and Ordinances*

This is a request for annexation of an approximately 20 acre site located on Eubank Boulevard SE, south of Gibson Boulevard. This request is accompanied by a request for a zone map amendment to establish City IP zoning.

As discussed in the background section of this staff report, the subject site is adjacent to a developing industrial, research and technology park located within the City limits. The adjacent land was annexed in 1981 and zoned SU-1 for IP Uses.

Annexation of the subject site furthers the applicable Goals and policies of the *Comprehensive Plan* by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.

Annexation of the subject site furthers and fulfills the applicable policies of *R-54-1990*. The site is designated by the *Comprehensive Plan* as Developing Urban and annexation of such areas into the City is desired and encouraged. The site is contiguous to the City limits, has provision for convenient street access to the City, and has reasonable boundaries for delivery of public services. A pre-annexation agreement is not necessary for this annexation request as City utilities are readily available to the subject site and provision of services can be handled at the Development Review Board during the platting process.

## *ANALYSIS - Establishment of Zoning (Zone Map Amendment)*

### *Conformance to Adopted Plans, Policies, and Ordinances*

This is a request for a zone map amendment to establish IP zoning for an accompanying annexation request of approximately 20 acres, located on Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies a request for annexation of the subject site.

As discussed in the background section of this staff report, the subject site is adjacent to a developing industrial, research and technology park located within the City limits. The adjacent land was annexed in 1981 and zoned SU-1 for IP Uses.

The requested zoning furthers the applicable Goals and policies of the *Comprehensive Plan* by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.

The requested zoning furthers and fulfills the policies of *R-270-1980*. The proposed zoning will further stabilize the land use in the area as a industrial, research and technology park. The existing zoning is inappropriate because of changed neighborhood or community conditions in the form of annexation of the subject site. Also, a different use category is more advantageous to the community as articulated in the *Comprehensive Plan*. This change of zone will not be harmful to adjacent property, the neighborhood or the community.

As required by the Zoning Code, this request for a change to IP zoning is accompanied by a Master Development Plan for the subject site.

### *ANALYSIS - Master Development Plan*

#### *Conformance to Adopted Plans, Policies, and Ordinances*

This is a request for approval of a Master Development Plan for an accompanying zone map amendment request to IP zoning, for an approximately 20 acre site, located on Eubank Boulevard SE, south of Gibson Boulevard.

The Planning Commission has approval authority for Master Development Plans, but the request is dependent on City Council approval of the accompanying annexation and zone map amendment requests.

The master plan submittal furthers the applicable Goals and Policies of the *Comprehensive Plan* by providing the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.

The master plan submittal will meet the *Zoning Code* requirements for a Master Development Plan with some additions and changes as discussed below.

The applicant is proposing that "individual site plans in conformance with the master development plan design guidelines and criteria may go directly to building permit." In order for this to occur, the design guidelines - criteria should be expanded and amended as discussed in a following section.

#### *Site Plan Layout / Configuration*

The site is specified with proposed uses as allowed in the IP zone. The subject site is proposed to be divided into two parcels with two corresponding phases, Tract A (phase 1) and Tract B (phase 2). The maximum building height allowed for the site is 120 feet. The minimum setbacks for the site are 20' for the front and 10' for the side and rear. The maximum floor area ratio (FAR) for the entire site is 0.25.

The three site layout concepts presented in the design guidelines - criteria all recommend that building footprints be located at the building setback line "to give definition to the street and complex while parking at the back of the lots are visually screened." The three site layout concepts include building and parking configurations for single vehicular access, double vehicular access and shared vehicular access options.

#### *Vehicular Access, Circulation*

Vehicular ingress and egress and internal circulation requirements for the site are addressed by the general notes and the design guidelines - criteria. A 40' private access and utility easement is proposed along the southern property line for access from Eubank Boulevard to Tract B. The site plan notes state that "exact location of driveway access cuts to tracts A and B from 40' access easement to be determined during individual site plan. These to conform with DPM standards." Internal streets are proposed to have a 40' two way drive with a ten

foot landscape easement on either side. Additional detail is necessary to specify approximate locations or relationships of separate pedestrian and vehicular access and circulation.

#### *Pedestrian and Bicycle Access and Circulation*

Pedestrian ingress and egress and internal circulation requirements for the site are touched upon by the design guidelines - criteria. Pedestrian connections are described as 4' wide sidewalks located both sides of internal streets with a mixture of drought tolerant landscaping along the setbacks. Additional detail is necessary to specify approximate locations or relationships of separate pedestrian and vehicular access and circulation.

The Parks and Recreation Department is concerned with the provision of pedestrian and bicycle access and circulation on this site. Their comments state:

"The following language shall be added to the Master Development Plan: East/west public trail access through the site will be maintained in one of the following ways: 1) provision of a 20' east/west public trail easement on the south side of the property, 2) east/west internal public trail connection, or 3) provision of an east/west on-street bike facility.

Additionally, applicant will be required to construct an 8'-10' asphalt trail on Eubank for the length of the property in-lieu of sidewalk. This trail shall be separated from the street by a 5' buffer."

The Transit Department comments address pedestrian and bicycle circulation on the site as well: "The Design Guideline Criteria should provide for buffering of the pedestrian circulation system from vehicles traveling on the internal street. This buffer should occur in the form of landscaping wider sidewalks, on-street bicycle lanes, or on-street parking."

#### *Lighting*

Site lighting is proposed as pedestrian, parking and bollard lights with a maximum height of 16 feet for pedestrian lighting and 25 feet for street or parking lighting. An additional note should be added to the lighting criteria as follows: "Site lighting shall be full cut-off fixtures (e.g. shoe box fixtures) to minimize fugitive light."

#### *Landscaping*

The master landscape plan specifies perimeter landscaping around the entire subject site and around the two proposed, individual parcels. This landscaping is comprised of a mix of shade trees, evergreen trees, shrubs and ground cover. The design guidelines - criteria mentions the intent of the landscaping to act "as a unifying system." Trees are to be provided along internal streets and the emphasis of landscape areas shall be at street sides and shall be live plant drought tolerant landscape to provide screen for parking.

The amount of landscaping on future, individual site plans is not directly addressed by the submittal. In order to assure that adequate landscaping is provided with future site development plans, notes should be added to the Master Development Plan, the Master Landscape Plan, and the Design Guidelines - Criteria stating: "Individual site plans shall have landscaping on at least fifteen percent of the net lot area."

### *Grading, Drainage, Utility Plans*

Though not required by the *Zoning Code* for a Master Development plan, the applicant has submitted a master drainage plan and a master utilities plan as part of their submittal. The site is shown as sloping from the east to the west. The drainage proposal appears to have storm flows directed to on-site detention ponds that will drain to a future, on-site storm sewer along the southern edge of the site that will discharge to the South Eubank Interceptor Storm Sewer.

The master utilities plan proposes to connect to public utilities from Eubank Boulevard and to locate on-site, water and sewer lines within the 40' utility and access easement along the southern edge of the site. Comments from the Public Works Department, Utility Development Division state: "The utility plan must be revised. The proposed dead end water system would not be acceptable. A water and sanitary sewer serviceability statement must be requested and completed prior to DRB action."

### *Design Requirements for Buildings, Signage, Walls and Screening*

The design guidelines - criteria call for: "regional architectural expression" with opaque building materials consistent with those found in Albuquerque; elevations with offsets, fenestration and material change; clearly identified entryways tied into the overall mass and building composition; and variety in structural forms that create visual character and interest. Rooftop equipment is to be screened from public view by parapets of the same materials as the building. Docks are to be located away from view of streets to the extent possible.

Signage is proposed as one wall mounted sign per business, no more than 15% of the facade. This allowance is consistent with that of the *Zoning Code* for IP zones. Additional detail is necessary to specify allowed materials and lighting.

Walls at the street edge must be inset the distance equal to the wall height. Standard CMU block is not allowed as a finished material for perimeter walls.

Screening of outdoor storage, dumpsters and at the street and residential edges of the site are addressed adequately.

### *Design Guidelines - Criteria*

As touched upon in a previous section, the applicant is proposing that "individual site plans in conformance with the master development plan design guidelines and criteria may go directly to building permit." In order for this to occur, the design guidelines - criteria should be expanded and amended to ensure that development on this site is consistent, complementary and of a high caliber. The following guidelines should be added to the submitted design guidelines - criteria, and the submitted design guidelines - criteria amended accordingly:

#### *Parking / Circulation*

- The allowed parking shall be equal to the required parking plus 10%.
- ADA-compliant parking shall be located adjacent to main building entries.
- Cross-access provisions between adjoining parcels are required

### Pedestrian Amenities

- Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
- Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by permanently anchored tire stops, bollards or raising the walk to provide for a 6 foot wide clear pedestrian area (.assume a 2' overhang for cars).
- Shaded pedestrian access shall be provided, including a clear 6-foot-wide path with adjacent shade trees spaced 25-feet on center within planters that have a minimum interior dimension of 5 feet square.
- A sidewalk with a minimum clearance of 8 feet shall be provided along the front of smaller buildings (4,000 square feet or less).
- A shaded sidewalk that is a minimum of 15-feet-wide shall be provided along the front of larger buildings (more than 4,000 square feet). Shade can be provided with architecturally integrated portals or canopies, or by trees placed at intervals of 25 feet in planters with a minimum interior dimension of 5 feet x 5 feet.
- A continuous sidewalk that is a minimum of 6-feet wide shall be located around the perimeter of larger buildings (more than 4,000 square feet) to provide pedestrian connections between parking areas and entrances.
- An outdoor patio space, minimum 250 square feet, with tables and seating shall be provided for each building. The patio shall have adequate shading provided by trees and/or a shade structure that integrates with building architecture.
- Convenient Pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways. A minimum 6-foot clear pathway is required with shade trees spaced at 25 foot intervals (as practical) in planters with interior dimensions of 5 x 5 feet.

### Bicycle Amenities

- Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
- A covered and secured bicycle storage area that is a minimum of 200 square feet in size is required for each building.
- Each building shall provide a convenient shower facility available to bicyclists and other employees.

### Non-vehicular measures

- The following measures to encourage non-vehicular travel are required:
  - a. On site bicycle lockers and/or a secured and covered bicycle storage area
  - b. Car/vanpool preferred parking near the entrances to buildings that is clearly demarcated for this purpose.

### Landscaping & Buffering

- A 10-foot wide landscape buffer (with trees at least 8-feet high at the time of planting) is required along property lines which abut residential zones. Trees shall be planted at a minimum interval of 25 feet; a mix of evergreens and deciduous trees shall be used in the buffer zone.
- A mix of evergreen (coniferous) and deciduous trees shall be used within parking areas.
- Buffer areas shall include a mix of evergreen (coniferous) and deciduous trees.
- 75% of landscape areas must be covered with living, vegetative material. High-water use turf must be limited in application to 20% of the landscaped area.
- Perimeter walls shall comply with the City's *Design Manual for Subdivision Access and Perimeter Walls*.
- No chain-link, razor wire (concertina) or plastic vinyl fencing is permitted.
- Low walls 2 ½ to 3 feet high shall be used to screen parking areas adjacent to streets. The walls shall integrate with building materials/colors.

### Architecture

- Building design shall be architecturally integrated within the site and contextual to buildings within the vicinity.
- All canopies and ancillary structures shall be architecturally integrated with main buildings. Special consideration shall be given to roof structures, including materials.
- The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or the predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
- All roof penetrations shall be painted to match roof color or general building color.
- The front facade of all buildings shall have canopies, portals or awnings along the entire facade length providing pedestrians with shade. In the absence of architectural shading, shade trees shall be planted in 5 x 5 foot planters at a distance of 25 feet on center along the front facade.
- No generic franchise building elevations or canopies are permitted.
- No plastic or vinyl building panels, awnings or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
- No chainlink, razor wire or plastic/vinyl fencing is permitted.
- No freestanding cell towers or antenna shall be permitted, antenna shall be integrated into the building architecture.
- ATM's shall be architecturally integrated with building design.

- Loading docks shall be screened by walls and covers that are architecturally integrated with the building.
- Refuse enclosures shall be compatible in design, color and material with building architecture. The gates shall be opaque; chain link gates are not allowed.
- Drive through facilities shall be shaded with architecturally integrated canopies.

#### Signage

- Monument signs which are integrated with building colors and materials are the only free standing signs allowed.
- Building-mounted signs shall consist of individual channel letters. No illuminated plastic panel signs are allowed except logos.

#### Lighting

- Light fixtures shall be a maximum of 25 feet high. The light fixtures shall be fully shielded horizontal lamps so that no fugitive light shall escape beyond the property line. All light fixtures shall be full-cutoff type to prevent fugitive light; no light source shall be visible from the site perimeter.

#### *Concerns of Reviewing Agencies / Pre-Hearing Discussion*

As per the comments from the Environmental Health Department: "This site appears to be within 1000 feet of the former South Eubank Landfill. Landfill gas generated from former landfills can become a health and safety issue for workers or occupants. To protect against risks associated with landfill gas, project should include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans should include risk abatement measures."

#### *Neighborhood Concerns*

No correspondence from any interested parties has been received by the Planning Department at the time this staff report was written.

#### *Conclusions*

The request for annexation is justified as per the policies of *R-54-1990*. The request furthers the applicable Goals and policies of the *Comprehensive Plan*.

The request for a zone map amendment to establish IP zoning is justified as per the policies and requirements of *R-270-1980*. The request furthers the applicable goals and policies of the *Comprehensive Plan*.

The request for approval of a Master Development Plan is dependent on approval of the annexation and zone map amendment requests by the City Council. It furthers the applicable Goals and policies of the *Comprehensive Plan* and will meet the *Zoning Code* requirements for a Master Development Plan with some additions and changes.

The submitted Master Development Plan will be adequate with some additions and changes.

*FINDINGS - 00114 00000 000715 - Annexation - 17 August 2000*

1. This is a request for annexation of an approximately 20 acre site located on Eubank Boulevard SE, south of Gibson Boulevard. This request is accompanied by a request for a zone map amendment to establish City IP zoning.
2. Annexation of the subject site furthers the applicable Goals and policies of the *Comprehensive Plan* by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
3. Annexation of the subject site furthers and fulfills the applicable policies of *R-54-1990*. The site is designated by the *Comprehensive Plan* as Developing Urban and annexation of such areas into the City is desired and encouraged. The site is contiguous to the City limits, has provision for convenient street access to the City, and has reasonable boundaries for delivery of public services.
4. A pre-annexation agreement is not necessary for this annexation request as City utilities are readily available to the subject site and provision of services can be handled at the Development Review Board during the platting process.

*RECOMMENDATION - 17 August 2000*

That a recommendation for APPROVAL of 00114 00000 000715, a request for annexation of a tract of land in Section 33, T10N, R4E, in the North ½ of the SW ¼ of the NW ¼, be forwarded to the City Council, based on the preceding Findings.

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*FINDINGS - 00110 00000 00716 - Zone Map Amendment - 17 August 2000*

1. This is a request for a zone map amendment to establish IP zoning for an accompanying annexation request of approximately 20 acres, located on Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies a request for annexation of the subject site.
2. The requested zoning furthers the applicable Goals and policies of the *Comprehensive Plan* by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
3. The requested zoning furthers and fulfills the policies of *R-270-1980*. The proposed zoning will further stabilize the land use in the area as a industrial, research and technology park. The existing zoning is inappropriate because of changed neighborhood or community conditions in the form of annexation of the subject site. Also, a different use category is more advantageous to the community as articulated in the *Comprehensive Plan*. This change of zone will not be harmful to adjacent property, the neighborhood or the community.
4. As required by the Zoning Code, this request for a change to IP zoning is accompanied by a Master Development Plan for the subject site.

*RECOMMENDATION - 17 August 2000*

That a recommendation for APPROVAL of 00110 00000 000716, a request for establishment of IP zoning for a tract of land in Section 33, T10N, R4E, in the North ½ of the SW 1/4 of the NW 1/4, be forwarded to the City Council, based on the preceding Findings.

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*FINDINGS - 00128 00000 00718 - Master Development Plan - 17 August 2000*

1. This is a request for approval of a Master Development Plan for an accompanying zone map amendment request to IP zoning, for an approximately 20 acre site, located on Eubank Boulevard SE, south of Gibson Boulevard.
2. Approval of this Master Plan is dependent on City Council approval of the accompanying annexation and zone map amendment requests.
3. The master plan submittal furthers the applicable Goals and Policies of the *Comprehensive Plan* by providing the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
4. The master plan submittal will meet the *Zoning Code* requirements for a Master Development Plan with some additions and changes.
5. This site appears to be within 1000 feet of the former South Eubank Landfill. Landfill gas generated from former landfills can become a health and safety issue for workers or occupants. To protect against risks associated with landfill gas, the project should include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans should include risk abatement measures.

*RECOMMENDATION - 17 August 2000*

APPROVAL of 00128 00000 00718, a master development plan for a tract of land in Section 33 T10N, R4E, in the North ½ of the SW 1/4 of the NW 1/4, based on the preceding Findings and subject to the following Conditions of Approval.

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*CONDITIONS OF APPROVAL - 00128 00000 00718 - Master Development Plan - 17 August 2000*

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
  
2. The site plan shall provide additional detail to specify approximate locations or relationships of separate pedestrian and vehicular access and circulation:
  - a. East/west public trail access through the site shall be maintained in one of the following ways: 1) provision of a 20' east/west public trail easement on the south side of the property, 2) east/west internal public trail connection, or 3) provision of an east/west on-street bike facility.
  - b. Construction of an 8'-10' asphalt trail on Eubank for the length of the property in-lieu of sidewalk. This trail shall be separated from the street by a 5' buffer.
  - c. The Design Guideline Criteria shall provide for buffering of the pedestrian circulation system from vehicles traveling on the internal streets. This buffer shall occur in the form of landscaping, wider sidewalks, on-street bicycle lanes, or on-street parking.
  
3. Notes shall be added to the Master Development Plan, the Master Landscape Plan, and the Design Guidelines - Criteria stating: "Individual site plans shall have landscaping on at least fifteen percent of the net lot area."
  
4. The utility plan shall be revised. The proposed dead end water system is not acceptable. A water and sanitary sewer serviceability statement shall be requested and completed prior to DRB action.
  
5. The following guidelines shall be added to the submitted design guidelines - criteria, and the submitted design guidelines - criteria amended accordingly:
  - a. The allowed parking shall be equal to the required parking plus 10%.
  - b. ADA-compliant parking shall be located adjacent to main building entries.
  - c. Cross-access provisions between adjoining parcels are required

- d. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
- e. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by permanently anchored tire stops, bollards or raising the walk to provide for a 6 foot wide clear pedestrian area (.assume a 2' overhang for cars).
- f. Shaded pedestrian access shall be provided, including a clear 6-foot-wide path with adjacent shade trees spaced 25-feet on center within planters that have a minimum interior dimension of 5 feet square.
- g. A sidewalk with a minimum clearance of 8 feet shall be provided along the front of smaller buildings (4,000 square feet or less).
- h. A shaded sidewalk that is a minimum of 15-feet-wide shall be provided along the front of larger buildings (more than 4,000 square feet). Shade can be provided with architecturally integrated portals or canopies, or by trees placed at intervals of 25 feet in planters with a minimum interior dimension of 5 feet x 5 feet.
- I. A continuous sidewalk that is a minimum of 6-feet wide shall be located around the perimeter of larger buildings (more than 4,000 square feet) to provide pedestrian connections between parking areas and entrances.
- j. An outdoor patio space, minimum 250 square feet, with tables and seating shall be provided for each building. The patio shall have adequate shading provided by trees and/or a shade structure that integrates with building architecture.
- k. Convenient Pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways. A minimum 6-foot clear pathway is required with shade trees spaced at 25 foot intervals (as practical) in planters with interior dimensions of 5 x 5 feet.
- l. Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
- m. A covered and secured bicycle storage area that is a minimum of 200 square feet in size is required for each building.
- n. Each building shall provide a convenient shower facility available to bicyclists and other employees.
- o. The following measures to encourage non-vehicular travel are required:
  - On site bicycle lockers and/or a secured and covered bicycle storage area
  - Car/vanpool preferred parking near the entrances to buildings that is clearly demarcated for this purpose.
- p. A 10-foot wide landscape buffer (with trees at least 8-feet high at the time of planting) is required along property lines which abut residential zones. Trees shall be planted at a minimum interval of 25 feet; a mix of evergreens and deciduous trees shall be used in the buffer zone.

- q. A mix of evergreen (coniferous) and deciduous trees shall be used within parking areas.
- r. Buffer areas shall include a mix of evergreen (coniferous) and deciduous trees.
- s. 75% of landscape areas must be covered with living, vegetative material. High-water use turf must be limited in application to 20% of the landscaped area.
- t. Perimeter walls shall comply with the City's *Design Manual for Subdivision Access and Perimeter Walls*.
- u. No chain-link, razor wire (concertina) or plastic vinyl fencing is permitted.
- v. Low walls 2 ½ to 3 feet high shall be used to screen parking areas adjacent to streets. The walls shall integrate with building materials/colors.
- w. Building design shall be architecturally integrated within the site and contextual to buildings within the vicinity.
- x. All canopies and ancillary structures shall be architecturally integrated with main buildings. Special consideration shall be given to roof structures, including materials.
- y. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or the predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
- z. All roof penetrations shall be painted to match roof color or general building color.
  - aa. The front facade of all buildings shall have canopies, portals or awnings along the entire facade length providing pedestrians with shade. In the absence of architectural shading, shade trees shall be planted in 5 x 5 foot planters at a distance of 25 feet on center along the front facade.
  - bb. No generic franchise building elevations or canopies are permitted.
  - cc. No plastic or vinyl building panels, awnings or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
  - dd. No chainlink, razor wire or plastic/vinyl fencing is permitted.
  - ee. No freestanding cell towers or antenna shall be permitted, antenna shall be integrated into the building architecture.
  - ff. ATM's shall be architecturally integrated with building design.
  - gg. Loading docks shall be screened by walls and covers that are architecturally integrated with the building.
  - hh. Refuse enclosures shall be compatible in design, color and material with building architecture. The gates shall be opaque; chain link gates are not allowed.
  - ii. Drive through facilities shall be shaded with architecturally integrated canopies.

- jj. Monument signs which are integrated with building colors and materials are the only free standing signs allowed.
  - kk. Building-mounted signs shall consist of individual channel letters. No illuminated plastic panel signs are allowed except logos.
  - ll. Light fixtures shall be a maximum of 25 feet high. The light fixtures shall be fully shielded horizontal lamps so that no fugitive light shall escape beyond the property line. All light fixtures shall be full-cutoff type to prevent fugitive light; no light source shall be visible from the site perimeter.
6. To protect against risks associated with landfill gas, the project shall include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans shall include risk abatement measures prior to final sign off at DRB.
7. Public Works, Transportation Conditions:
- a. Each solid and dashed line indicating rights-of-way and easements or delineated area on the master plan shall be identified and clarified on the drawing.
  - b. Dedication of adequate right-of-way for Eubank Boulevard, a principal arterial with a right-of-way of 124 feet.

**ACTION TAKEN BY THE ENVIRONMENTAL PLANNING COMMISSION ON  
17 AUGUST 2000:**

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to recommend approval of 00114 00000 00715, to the City Council.

MOVED BY COMMISSIONER HEISER

SECONDED BY COMMISSIONER McMAHAN MOTION CARRIED UNANIMOUSLY

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to recommend approval of 00110 00000 00716, to the City Council.

MOVED BY COMMISSIONER HEISER

SECONDED BY COMMISSIONER McMAHAN MOTION CARRIED UNANIMOUSLY

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to continue 00128 00000 00718, to the Environmental Planning Commission Public Hearing on 21 September 2000.

MOVED BY COMMISSIONER HEISER

SECONDED BY COMMISSIONER McMAHAN MOTION CARRIED UNANIMOUSLY

**ADDITIONAL COMMENTS TO THE ENVIRONMENTAL PLANNING COMMISSION FOR  
21 SEPTEMBER 2000:**

The Environmental Planning Commission recommended approval of both the annexation and zoning requests to the City Council on 17 August 2000. The EPC continued the master development plan for one month at the same hearing to allow the applicant to expand the design guidelines to address and include the Planning staff's recommended conditions of approval. The applicant has revised the submittal to include a comprehensive list of design guidelines, notes and criteria that create a strong design framework for future development.

The applicant has been in contact with Planning Department staff since the continuance, discussing issues and working out the final language for the notes and guidelines. Staff is generally supportive of the revised submittal and its expanded guidelines and criteria that incorporate the wording and intent of the conditions of approval from the previous month's recommendation. Staff is recommending approval of the master plan, conditioned on the completion of the annexation and zoning actions at the City Council.

*FINDINGS - 00128 00000 00718 - Master Development Plan - 21 September 2000*

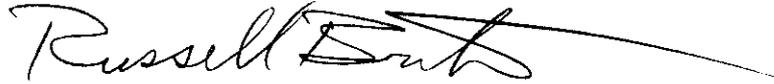
1. This is a request for approval of a Master Development Plan for an accompanying zone map amendment request to IP zoning, for an approximately 20 acre site, located on Eubank Boulevard SE, south of Gibson Boulevard.
2. Approval of this Master Plan is dependent on City Council approval of the accompanying annexation and zone map amendment requests.
3. The master plan submittal furthers the applicable Goals and Policies of the *Comprehensive Plan* by providing the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
4. The master plan submittal meets the *Zoning Code* requirements for a Master Development Plan.

*RECOMMENDATION - 21 September 2000*

APPROVAL of 00128 00000 00718, a master development plan for a tract of land in Section 33 T10N, R4E, in the North ½ of the SW 1/4 of the NW 1/4, based on the preceding Findings and subject to the following Conditions of Approval.

*CONDITIONS OF APPROVAL - 00128 00000 00718 - Master Development Plan - 21 September 2000*

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
2. Approval of this Master Plan is dependent on City Council approval of the accompanying annexation and zone map amendment requests.



*Russell Brito  
Planner*

RB/ac

cc: NM Commissioner of Public Lands, 310 Old Santa Fe Trail, P.O. Box 1148, Santa Fe, NM  
87504  
Dekker/Perich/Sabatini, 6801 Jefferson Blvd. NE, Ste 100, Albuquerque, NM 87109

*Attachments*

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## CITY OF ALBUQUERQUE AGENCY COMMENTS

### PLANNING DEPARTMENT

#### Zoning Code Services

"Reviewed, no comment."

### PUBLIC WORKS DEPARTMENT

#### Transportation Development Services:

Comments to be transmitted under separate cover.

#### Utility Development:

No adverse comment on annexation or zoning. Given the somewhat Spartan nature of the master development plan, meaningful comment is difficult. The utility plan must be revised. The proposed dead end water system would not be acceptable. A water and sanitary sewer serviceability statement must be requested and completed prior to DRB action.

#### Traffic Engineering Operations:

Access points and good visibility will be essential in this area, complicated by the Sandia Base entrance.

#### Hydrology:

The Hydrology Section has no objection to the subject request.

#### Transportation Planning:

The drawings accompanying this application seem to conflict as to the size and dimensions of the property to be annexed. Also, the "Master Development Site Plan" (Sheet 1) does not clarify the various solid and dashed lines indicating rights-of-way and easements. We recommend that each line or delineated area be identified or explained on the drawing. Our concern is for Eubank street right-of-way, both existing and future. Existing right-of-way may or may not be 108 feet, but these drawings do not clarify that or anything else about existing conditions or things to be newly achieved by means of this plan (or plat?). This matter should be addressed prior to approval, not as a condition of approval.

### ENVIRONMENTAL HEALTH DEPARTMENT

#### Air Quality Division

"No comment."

Environmental Services Division

This site appears to be within 1000 feet of the former South Eubank Landfill. Has the site been screened for the presence of landfill gas or are there plans to perform such a screen?

Concern: Landfill gas generated from former landfills can become a health and safety issue for workers or occupants.

Suggestion: To protect against risks associated with landfill gas, project should include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans should include risk abatement measures.

### *NEIGHBORHOOD SERVICES*

"No association."

### *PARKS AND RECREATION*

#### Design & Development

The following language shall be added to the Master Development Plan: East/west public trail access through the site will be maintained in one of the following ways: 1) provision of a 20' east/west public trail easement on the south side of the property, 2) east/west internal public trail connection, or 3) provision of an east/west on-street bike facility.

Additionally, applicant will be required to construct an 8'-10' asphalt trail on Eubank for the length of the property in-lieu of sidewalk. This trail shall be separated from the street by a 5' buffer.

### *OPEN SPACE DIVISION*

"No adverse comment."

### *POLICE DEPARTMENT/Planning*

Traffic volumes  
lighting issues  
maintenance of landscaping

### *SOLID WASTE MANAGEMENT DEPARTMENT*

#### Refuse Division

Approved on condition, will comply with all SWMD ordinances, requirements and regulations. T.L. Baca 761-8142

*FIRE DEPARTMENT/Planning*

"No adverse comment."

*TRANSIT DEPARTMENT*

"The Design Guideline Criteria should provide for buffering of the pedestrian circulation system from vehicles traveling on the internal street. This buffer should occur in the form of landscaping wider sidewalks, on-street bicycle lanes, or on-street parking."

*COMMENTS FROM OTHER AGENCIES:*

*BERNALILLO COUNTY*

*ALBUQUERQUE METROPOLITAN FLOOD CONTROL AUTHORITY*

"No objection. See City Hydrology comments."

*ALBUQUERQUE PUBLIC SCHOOLS*

"No adverse comment."

*MIDDLE RIO GRANDE COUNCIL OF GOVERNMENTS*

The Long Range Roadway System designates Eubank Boulevard as a principal arterial which requires 124 feet of right-of-way. Adequate right-of-way for Eubank should be preserved.

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NOTICE OF PUBLIC HEARING

STATE OF NEW MEXICO County of Bernalillo

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a public hearing on Thursday, August 17, 2000 at 8:00 a.m., in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following items:

00128 00000 00870 Tierra West, LLC, agents for Walmart Stores, Coors Ltd, RRG, Repetto, Komadina, Doide, Tract, Valencia Partners, Richard & Susan Saylor requests approval of a site development plan for subdivision plus approval of a site development plan for building permit for a portion of Tract 330 in Unit 8 of a portion of Tracts allotted from the Town of Atrisco Grant, Tract 331-A, Town of Atrisco Grant, Tract 332 in Unit 8, a portion of tracts allotted from the Town of Atrisco Grant, Tract A-2122-A of Northeast Unit, Town of Atrisco Grant, a 0.3074 acre portion of Tract Lettered A-14 in the Northeast Unit of Town of Atrisco Grant, Tract A-19-C2, Northeast Unit, Town of Atrisco Grant, Tract A-1-A Lands of Ann Komadina, 1/9 interest, and undivided interest, zoned SU-1 for C-2, located on Ouray Road NW between Coors Boulevard and Quail Road containing approximately 33.4339 acres. (H-11) Russell Brito, Staff Planner



00128 00000 00894 Nims, Calvani & Assoc., agents for City of Albuquerque, requests approval of a site development plan for building permit for El Rancho Atrisco (Ladera Golf Course), zoned SU-1, located on Ladera Drive NW between Sequoia and Redlands, containing approximately 1.2 acres. (G-11, G-10 & H-10) Cynthia Borrego Archuleta, Staff Planner

00128 00000 00897 Consensus Planning, Inc., agents for Rigel Corporation dba Krispy Kreme Doughnuts, requests approval of a site development plan for building permit for Tract D1, Cottonwood Corners, located on NM528 between Coors by Pass and Ellison Drive containing approximately 1.4 acres. (A-14) Bob Torres, Staff Planner

00128 00000 00899 Advanced Engineering and Consulting, LLC, agents for Zuni Development LLC, request approval of a site development plan for building permit for Tracts 4 and 5, Lands of C.H. Hall, zoned SU-1 for MH, located on 90th Street NW between Volcano Road and Bluewater Road, containing approximately 10 acres. (K-9) Russel Brito, Staff Planner

0012800000 00904 Herb Denish and Associates, Inc., agents for John Hammons Industries, request approval of a site development plan for building permit for Tracts B and C, Gateway subdivision, zoned SU-2/C-3, located on Lomas Boulevard NE between Interstate 25 and Woodward Place, containing approximately 9.35 acres. (J-15) Russel Brito, Staff Planner

00128 00000 00906 Rick Bennett Architect, agent for Conway Oil Co., request approval of a site development plan for building permit for a lot A, Tract A, North Albuquerque Acres, zoned SU-1 for C-2, located on the southwest corner of Louisiana and Paseo del Norte, containing approximately 2.7 acres. (D-18) Debbie Stover, Staff Planner

00128 00000 00915 Tierra West LLC, agents for SCM Properties Co., requests approval of a site development plan for subdivision purposes plus approval of a site development plan for building permit for Tract A-29-A, Town of Atrisco Grant Northeast, zoned SU-1 for PDA C-1 Uses and Office located on Coors Boulevard between Redlands Road and Pheasant Avenue, containing approximately 3.4116 acres. (G-11) Bob Torres, Staff Planner

00110-00000-00694 Thanh Nguyen, agent of Susan Mirabel, request a Zone Map Amendment from R-T to SU-1 for a Church and approval of a site development plan for subdivision for Lots 17 and 18, Block 8, Casas Serenas, located at 419 Rhade Island, SE between Bell Street, SE and Trumbell Street, SE, containing approximately 0.3054 acres. (G-11) Bob Torres, Staff Planner

00110 00000 00787 Keith MacDufes, agent for Southwest Surveying Co Inc., request a zone map amendment from C-1 to SU-1 for RT plus approval of a site development plan for subdivision purposes for Lot 40, Block 6, Unit 1, Casa Grande Estates, located on Candelaria between Tramway Boulevard and Matador Drive, containing approximately .92 acres. (H-23) Debbie Stover, Staff Planner

00110 00000 00844 Livin Strinbu, agent for Mike Tabrizian request a zone map from C-1 to C-2 for the northwest corner of N2 of Tract 1, Mesa Park Addition, located on San Pedro SE and Zuni between Zuni and Bell, containing approximately .30 acres. (L-18) Mary Piscitelli, Staff Planner

00110 00000 00887 Tierra West, LLC agents for Plumbers and Steam Fitters #412, request a zone map amendment from O-1R-3/C-1 to C1 for the north half of Tract 1, Mesa Park Addition, located on San Pedro Drive SE between Bell Avenue and Zuni Road, containing approximately 1.239 acres. (L-18) Bob Paulsen, Staff Planner

00110 00000 00888 Rodey, Dickason, Sloan, Akin & Robb, PA, agents for KOAT-TV requests a zone map amendment from C-1 to SU-1 for TV station, satellite dishes, related facilities and helipad, to allow helipad on radio/TV station site plus approval of a site development plan for building permit for Lot A-1, Block 1, Montgomery Heights, located on Carlisle and Comanche NE, between Montgomery and Comanche, containing approximately 3.6 acres. (G-16) Debbie Stover, Staff Planner

Bill Tafoya, being duly sworn, declares and says that he is Classified Advertising Manager of The Albuquerque Journal, and that this newspaper is duly qualified to publish legal notices or advertisements within the meaning of Section 3, Chapter 167, Session Laws of 1937, and that payment therefore has been made of assessed as court cost; that the notice, copy of which is hereto attached, was published in said paper in the regular daily edition, for 1 times, the first publication being on the 2 day of August 2000, and the subsequent consecutive publications on \_\_\_\_\_, 2000.

Sworn and subscribed to before me, a Notary Public, in and for the County of Bernalillo and State of New Mexico this 2 day of August of 2000.

PRICE \$241.17 Statement to come at end of month.

ACCOUNT NUMBER 582583

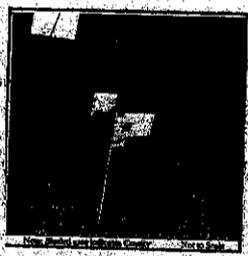
REAL INCAN PUBLIC MEXICO 1/83

CLA-22-A (R-1/93)

00110-0000-00895 Insite Architecture + Development, agents for Capital Aspects requests a zone map amendment from SU-1, P-1 to SU-1 plus approval of a site development plan for building permit for Tract H-2, New Holiday Park Addition, located on Montgomery Boulevard between Juan Tabo and Tramway, containing approximately .8264 acre. (F-22) Mary Piscitelli, Staff Planner

00110 0000 00898 John A. Myers, agent for Sandia Foundation, a New Mexico Corporation Development Plan plus a zone map amendment from S-M1 to P-R for Tract 238C-1-A-2-A Stewart Walker Addition, located on 20th Street between Mountain Road and Bellemah Avenue, containing approximately .8 acre. (J-13) Debbie Stover, Staff Planner

00128 00000 00907 DCSW, agents for John J. Mahoney & Assoc., requests approval of a site development plan for building permit for lots 1A and 2A, Lands of Lamonica and Wehk, located at the southeast corner of the intersection of Coors and Rio Bravo Boulevards SW, containing approximately 26 acres. (P-10) Russel Brito, Staff Planner



00138 00000 00911 Tierra West LLC, agents for Mock Homes, request annexation and establishment for R-D zoning plus an amendment to the La Cueva Sector Development Plan for Lots 1-5 and 28-32, Block 12, Tract 3, Unit 3, North Albuquerque Acres located on Ventura Avenue NE between Eagle Rock Avenue and Oakland Avenue, containing approximately 10 acres. (C-20) Carmen Marrone, Staff Planner

00114-0000-006715 Dekker/Perich/Sabatini, agents for NM Commissioner of Public Lands, requests annexation and establishment of IP zoning plus a approval of a master development plan for a Tract of land in Section 33 T10N, R4E, in the North 1/2 of the SW 1/4 of the NW 1/4, located on Eubaak Boulevard SE, south of Gibson Boulevard, containing approximately 20 acres. (M-21) Russel Brito, Staff Planner

Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00, and between 2:00 and 4:00 pm, Monday through Friday, or you may call April Candelaria at 924-3886. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at the public hearing should contact April Candelaria at 924-3886 (VOICE) or 924-3361 (TTY). TTY users may also access the voice number via the New Mexico Relay Network by calling toll free: 1-800-659-8331. Chuck Gara, Chairman Environmental Planning Commission

APPROVED s/Bob Paulsen, Senior Planner, Development Services Division, Planning Department

Journal: August 2, 2000 Pamela L. Larson, Notary Public

MOVED BY COMMISSIONER SCHWARTZ  
SECONDED BY COMMISSIONER HEISER

MOTION CARRIED UNANIMOUSLY

16. 00114 00000 00715 Dekker/Perich/Sabatini, agents for NM Commissioner of Public  
00110 00000 00716 Lands, requests annexation and establishment of IP zoning plus a  
00128 00000 00718 approval of a master development plan for a Tract of land in Section  
Project # 1000554 33 T10N, R4E, in the North ½ of the SW ¼ of the NW ¼, located on  
Eubank Boulevard SE, south of Gibson Boulevard, containing  
approximately 20 acres. (M-21) Russell Brito, Staff Planner  
**(RECOMMENDED APPROVAL TO CITY COUNCIL OF  
ANNEXATION. RECOMMENDED APPROVAL OF  
ESTABLISHMENT OF IP ZONING. MASTER DEVELOPMENT  
PLAN CONTINUED TO SEPTEMBER 21, 2000)**

**STAFF PRESENT:**

Russell Brito, Planning Department  
Richard Dineen, Planning Department

**PERSONS PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:**

Dale Dekker, 6801 Jefferson NE  
Harry Relkin, 310 Old Sante Fe Trail

**THERE WAS NO ONE PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:**

MR. BRITO: Mr. Chairman, members of the Commission, this is item number twenty, this is 00114 00000 00715/00110 00000 00716/00128 00000 00718. This is a three-part request by Dekker Perich Sabatini, agents for the New Mexico Commissioner of Public Lands. They are requesting annexation, establishment of IP zoning and approval of a master development plan for an approximately twenty acre site located at the southern end of Eubank Boulevard south of Gibson. The subject site is located to the south, adjacent to a currently developing industrial research and technology park.

In regards to the annexation and establishment of zoning, the City Council has approval authority for these two requests but the EPC has a charge to provide recommendations to the City Council. Staff believes that the annexation of the subject site is justified as per Resolution 54-1990 and the Comprehensive Plan. A pre-annexation agreement will not be necessary for this site as utility and infrastructure items can be handled at the Development Review Board at the time of platting. Establishment of IP zoning for the subject site is also justified as per Resolution 270-1980 and the Comprehensive Plan.

The master development plan that is submitted with this request is a requirement of the Zoning Code for a zone map amendment to IP. The EPC has approval authority for the master development plan but it is dependant on annexation and establishment of IP zoning at the City Council. The master development plan proposes to divide the site into two parcels with two corresponding phases. The submitted design guidelines criteria outlines three site layout concepts with buildings located near the street and parking located at the rear for all three of those concepts. Vehicular access to the site is from Eubank Boulevard; the master plan does show a forty-foot private access and utility easement along the southern edge of the site for the access to the eastern most parcel. Pedestrian access and circulation is touched upon in the Design Guidelines but staff believes additional detail is needed and this outlined in the recommended conditions of approval. The landscaping plan is a bit vague and staff believes that it should be clarified for future development to ensure that individual site plans have landscaping on at least fifteen percent of the net lot area.

The applicant is also proposing that individual site plans be delegated directly to building permit and for this to occur staff believes that additional design guidelines are needed. The additional design guidelines that staff is recommending are listed on pages seven through ten in the staff report and listed in the recommended conditions of approval.

Staff is recommending approval of the annexation and establishment of zoning be forwarded to the City Council based on four findings each. Staff is recommending approval of the master development plan based on five findings and subject to seven conditions of approval. We do have some amended sub findings under number seven on page seventeen from the Public Works Department. In discussions with the Public Works Department and the applicant staff is recommending some altered conditions for 7B. 7B is found necessary to change because of the states anti donation clause. They will not be able to dedicate any right-of-way at this time and so that condition 7B should be changed to read "Reserve for future dedication by the State Land Offices successors and interest, a seventy-eight foot public road access utility and drainage easement east of the centerline of Eubank." And adding a 7C, which reads, "Provide a sixty foot public access utility and drainage easement along the full length of the southern property boundary." And that would be in place of the forty-foot easement that is shown on the submittal. And other then that staff comments remain unchanged.

COMMISSIONER McMAHAN: Mr. Chairman?

CHAIRMAN GARA: Commissioner McMahan?

COMMISSIONER McMAHAN: Mr. Brito could you go over that anti donation clause? I thought I understood that but I am not sure in this instance that I really either understand and/or agree with what you said.

CHAIRMAN GARA: It is not a donation it is part of a development process and it is a taking.

COMMISSIONER McMAHAN: And if it is a donation it is the donations of the City of Albuquerque it is not to a private company and that is what the donation clause is about.

CHAIRMAN GARA: We will let the applicant talk about that.

MR. BRITO: Mr. Chairman, Commissioner McMahan, I may have misunderstood ...

CHAIRMAN GARA: I have grave concerns about that.

MR. BRITO: ...the explanation to that it is another long evening but...

CHAIRMAN GARA: It is going to be shorter than you think.

MR. BRITO: But the language that I did read for a revised 7B has been reviewed by Mr. Montano from the Public Works Department and he has stated that he finds it acceptable. The reasons for it like I said I cannot be entirely sure.

COMMISSIONER McMAHAN: That is fine, thank you very much. Thank you Mr. Chairman.

CHAIRMAN GARA: Any questions of Mr. Brito? Commissioner Schwartz?

COMMISSIONER SCHWARTZ: What is the situation with the utilities? How far do they have to be extended to get to this site?

MR. BRITO: Mr. Chairman, Commissioner Schwartz I believe there are utilities existing in Eubank Boulevard to the south and they wouldn't have to be extended very far at all. In fact just to make them adjacent to the site.

COMMISSIONER SCHWARTZ: How far is not very far though?

MR. BRITO: I believe they do extend down to the development immediately to the north that has access through research and development roads.

COMMISSIONER SCHWARTZ: So not as far as half a mile?

MR. BRITO: No, I don't believe.

COMMISSIONER SCHWARTZ: I just wondered because I just see some similarity between this and another controversial annexation case where here it was (INAUDIBLE) opposite result. On the design guidelines and in particular the architectural expressioned number fifteen, sixteen, seventeen in the pictures there and I guess number eighteen maybe this one reminds me of the Lowe's site on the Westside in the sense that when the proposal came in it didn't look anything like the guidelines and in particular the height limit here is one hundred and twenty feet and so I am wondering how like number fifteen relates to a structure that might be is it one hundred and twenty feet, is that right? Yes, one hundred and twenty feet tall. What is it, is it going to be one hundred twenty foot tall box and then we are going to have this little details on the bottom of twenty feet? I just don't want to get that kind of surprise I mean if they are going to have one hundred and twenty foot tall building on the site then maybe we should have some renderings of I mean what is that going to be a nine story building, a ten story building? You know maybe

some renderings of what we could expect there and I think it changes maybe the perspective on the streetscape you know whether you want to move it out farther from the building if the building is that tall.

MR. BRITO: Mr. Chairman, Commissioner Schwartz, I believe that in those design guidelines they are referring back to the maximum height limitations that are in the Zoning Code for the IP zone. And those guidelines in the Zoning Code state that structure height and width shall fall within forty-five degree angle plains drawn from the horizontal at the mean grade along each boundary of the premises but a structure shall not exceed a height of one hundred and twenty feet.

COMMISSIONER SCHWARTZ: I understand but if I do (INAUDIBLE) number sixteen and have (INAUDIBLE) in there that you know run the (INAUDIBLE) as one hundred twenty foot maximum height. But you know it is obviously not scaled. I mean that's twenty feet scaled. (INAUDIBLE) it doesn't do it for me. I mean I was just looking at an idea of what it would like if it was built out, you know what conceptual is for you build it to the max.

MR. BIRTO: Mr. Chairman, Commissioner Schwartz, I have to agree that many of the design guidelines didn't do it for staff either.

CHAIRMAN GARA: Commissioner Heiser?

COMMISSIONER HEISER: I look at one like the building signage opportunities along that line if you were to build a one and twenty foot building and lets say it is one hundred feet wide according to my calculation you can have a twenty-four hundred square foot sign in that face that actually sticks up five feet higher then the one hundred and twenty feet. Because they are allowing for a twenty percent, a façade of a building to be a sign. I am thinking that six percent is probably more doable and that is what we are doing in other parts of time and we should have some letter size recommendations and things like that so that this, this is suppose to be a high end research type park, etc., I don't think we want to, I think there needs to be some more detail as your are saying in terms of what we are going to get.

CHAIRMAN GARA: Anything else? Another questions for staff? Anyone who is going to speak on this case I need to swear you in please. Do you swear affirm the testimony you are about to give is the truth? Thank you. It is kind of a late standup guys. Applicant?

MR. DEKKER: Good evening, my name is Dale Dekker, 6801 Jefferson Northeast, we are the agent for the State Land Office in this annexation request and we concur with staff findings and recommendations relative to the annexation and zoning of the property to IP. We think it is appropriate. The adjacent property and uses are consistent with this zoning. And we think it is a better beneficial community use. We do have and have addressed and concur with almost all of the staff's recommendations for enhancing the design guidelines and if it would please the Commission I have written those down if it would be okay to pass those out.

CHAIRMAN GARA: Okay.

MR. DEKKER: To you question on height IP zoning allows one hundred and twenty feet but we surely do not anticipate a one hundred and twenty foot tall structure. We have placed a imitational four-area ratio of .25 over for the overall site. This is intended to be more of an industrial park manufacturing office and research center, not a high-rise urban center. We could talk about what those limitations might want to be if they want to be lower but we do not anticipate any one hundred and twenty foot structures that is what the IP zoning allows.

But if we could go through the conditions for the master development plan conditions of approval. As you can see we concur with most of staffs recommendations. We believe on condition 5c that because we are providing a sixty-foot private access easement along the south boundary of the property that we actually are providing access between the two adjoining properties. On item 5f, condition 5f we would like to clarify that condition to read that shaded pedestrian access shall be provided from Eubank for Tract A and from the south property line for Tract B including a clear six foot wide path with adjacent trees spaced thirty feet on center with planters that have a minimum interior dimension of five feet. On condition 5g we would like to amend that to read that a sidewalk with a minimum clearance of fifteen feet shall be provided at building entrances. 5h we would like to delete that in its entirety because we think we have covered it in a later condition as well as 5i. And then on outdoor patio space we concur with staff's recommendation of two hundred fifty square feet with tables. We would like to tie it to a minimum building size of twenty thousand square feet and fifty occupants for that amenity. And then on condition k and l we concur. Condition M this condition harkens back to another IP site plan that was approved by this Commission for the thirty-five acres directly to the north and east of this were we had a lot of discussion about bike storage and tying it to size of employers and shifts. And this was the wording that was agreed to on that IP zoning case and it was provide secure bike storage and convenient lockers and showers in each building with a minimum threshold of fifty employees per shift in the building. We would like you to consider striking condition N as that we provide showers in 5M. and then under O again we have kind of covered bike lockers up above. We concur with the car and vanpool. On condition 5P we have a detailed that describes screening adjacent to the residential zones, it is detail eleven on page five of five in the design criteria. We concur with Q thru U on condition 5V we have a screening detail called out as covered on details twelve and fourteen on sheet five of five.

And we also have a landscape buffer called out as well. On rooftop equipment I think we know were you are going with this. This was again harking back to wanting a screen from public view rooftop equipment however, we are not exactly sure and maybe what this is intended for after looking at it is it might be towards pitched roofs.

CHAIRMAN GARA: Mr. Dekker wait a minute. On the screen walls that is for storage and deliver functions and dumpsters.

MR. DEKKER: And adjacent to public streets I believe.

CHAIRMAN GARA: Where does it say that?

MR. DEKKER: Look at B.

CHAIRMAN GARA: Look at where?

MR. DEKKER: B as in (INAUDIBLE).

CHAIRMAN GARA: I know, that is twenty-one struck and he said it is covered in details twelve and fourteen.

MR. DEKKER: Twelve is screening and street edge.

CHAIRMAN GARA: It says solid wall required at height a minimum of six feet adjacent to storage and delivery functions.

MR. DEKKER: Correct.

COMMISSIONER HEISER: B is not the same.

MR. DEKKER: And we have a ten-foot landscape buffer along the public right-of-way.

COMMISSIONER HEISER: But we need a screen wall to block...

MR. DEKKER: Pardon me?

COMMISSIONER HEISER: Two and half foot high walls used to screen cars from the public right-of-way.

MR. DEKKER: From view?

COMMISSIONER HEISER: Yes.

MR. DEKKER: Right, okay.

COMMISSIONER HEISER: We are doing it on all sites now.

MR. DEKKER: Doing it on all sites now.

CHAIRMAN GARA: Yes sir, you have not been here in awhile.

MR. DEKKER: I guess I haven't. There aren't that many (INAUDIBLE)...

CHAIRMAN GARA: Ever since we went to Phoenix we have been doing that.

MR. DEKKER: Ever since what?

CHAIRMAN GARA: Ever since we went to Phoenix in May.

MR. DEKKER: Okay. Well again for an industrial park with adequate screen and buffering of landscaping I can see that in a residential area with commercial.

CHAIRMAN GARA: But if you have parking that fronts Eubank it should be screened.

MR. DEKKER: Okay, well we threw it out there and we will see were it lands. On the roof top equipment again we proposed screening the roof top equipment however if it is screened we are wondering we are wondering if we might not be able to strike painting it to match the predominate building color because theoretically it is all screened. I think that might have been more directed towards if you have sloped roofs with penetrations of vents and plues maybe that will still need to be in there but we might, we just didn't want to get into a situation where we are paying roof top equipment that was totally screened.

COMMISSIONER HEISER: I think that makes sense. The roof top equipment if its adequately screened wouldn't be painted. I think the penetrations need to be painted.

MR. DEKKER: That are visible?

COMMISSIONER HEISER: Yes.

MR. DEKKER: From a public street or from a parking lot or adjacent properties?

COMMISSIONER HEISER: Just visible penetrations should be painted to.

MR. DEKKER: Okay. So maybe that is what we just need to add on on condition 5Z is all visible roof penetrations shall be painted to match roof color or general building color and we can live with that. 5AA, we would like to amend that to read the front façade of old buildings at building entrances shall have canopies, portals or awnings providing pedestrians with shade. This also ties to a later condition that will talk about, condition BB we concur with, condition CC...

COMMISSIONER HEISER: Wait a minute; hold on, this is also just a standard condition that we put on virtually every building. If you don't have the portal you have shade trees so you don't have to have portals that extends the entire length you can have in the absence of that you can have shade trees planted in a not so necessarily a planter but a planter area that has that minimum dimension for trees.

MR. DEKKER: So what you are looking for is a building façade that has got trees at twenty-five feet on center in front of it.

COMMISSIONER HEISER: Yes.

MR. DEKKER: Okay. Condition BB we concur with. Condition CC we concur with. Condition DD is the same as condition 5U, which was dealt the chain link and razor wire so we can strike that one. I concur with double E, double F, on GG loading docks shall have screen walls that are architecturally integrated with the buildings. Again for industrial uses we have seen this

condition and were the EPC has applied it on commercial centers where the back of a industrial complex or a commercial complex backs up to a residential area for screening of dock areas. But we are not necessarily seen where covers would be necessary or provide any kind of additional screening. And then we concur with HH through LL, we concur with 6 and then we have proposed amended language of 7B for the public road access easement on Eubank as well as a sixty-foot access easement we concur with that wording. So as you can see we concur with most all those recommendations and we will incorporate those comments into the design guidelines and as we are directed. I stand for questions.

CHAIRMAN GARA: Commissioner Heiser?

COMMISSIONER HEISER: I know it is late can you explain 7B?

MR. DEKKER: 7B I guess I would like to ask the representative from the State Land Office to explain that.

MR. RELKIN: Harry Relkin with New Mexico State Land Office, home address 33 Valle Hermosa Sandia Park and business address 310 Old Sante Fe Trail in Santa Fe. The reason for that is and it as Commissioner McMahan has nothing to do with the anti donation cause and without boring you with a lot of legal stuff unless you have specific questions or historical stuff the State Land Office from the US Supreme Court had said that there can be no dedications even to other public entities even to other state agencies. So we have worked on this so that we do not have to win we are working through a situation like this were we are providing opportunity for employment and in this case Emcore is the applicant for a long term lease they were going through expansion of Emcore several hundred jobs for New Mexicans in Albuquerque. We have gone through this before like at Home Depot up the street. The decell lane for that is on State land where we worked out similar language with the city and other municipalities. What it does is it prevents us from creating an illegal act that somebody might come back at some point in time and challenge and say that right-of-way or easement doesn't exist. So instead of doing that we have used words like reserve and that are successors and interest will make the dedication instead of us. So this is language we have worked out with Mr. Montano and with others in previous times and with other municipalities and counties around the state language similar to this and what it does mean is we don't have to charge the city for the right-of-way, which normally we would. Cost gets passed on because the applicant will be actually leasing the property and making the dedication of the easement. So that is the short version without the long historical part but I would be happy to answer any further questions.

CHAIRMAN GARA: Did you not dedicate right-of-way at Mesa del Sol.

MR. RELKIN: No. There is no dedication of right-of-way at Mesa del Sol. It does say similar to this that when we have a developer that the developer will be making or successor and interest will be making the appropriate dedications etc. But not the State Land Office. In fact the Interstate that runs through Mesa del Sol was not a dedication to the Federal Government either. It is federal law that prevents us from doing it, it is not state law. It would only take and we would like to get Emcore started a little bit sooner but in order to amend that it would take a State Constitutional Amendment one then would have to have it passed by Congress and

signed by the President simultaneously so we thought it might be a little quicker to come up with this type of language that has seemed to satisfy Albuquerque and other local governments.

CHAIRMAN GARA: Okay. Mr. Dekker is there a reason with the adjacent properties all SU-1 for IP why you didn't apply for SU-1 for IP?

MR. DEKKER: We previously have brought through the Sandia Technology Center which is the thirty-five acres to the east of the Don Morgan piece which is SU-1 for IP and that site plan was approved with design guidelines and master development plan and I think it was the feeling of the Commission that the master development plan design guidelines gave staff sufficient direction for subsequent review and approval of specific site plans or building plans. So we went for straight IP zoning with the approval of design guidelines.

CHAIRMAN GARA: Which tract is Emcore taking?

MR. DEKKER: Currently they are looking at the phase one piece directly to the south of their current facility that is on Research Boulevard directly to the north. (INAUDIBLE) is right here and they are looking at (INAUDIBLE) state land owns. For a similar type of manufacturing and research facility.

CHAIRMAN GARA: Any other questions? Thank you. Any one signed up to speak? Staff, any closing comments?

MR. BRITO: Nothing further.

CHAIRMAN GARA: Applicant, any closing comments.

MR. DEKKER: No sir we appreciate your review and approval of this request. Thank you.

CHAIRMAN GARA: Any questions of anyone in the audience by the Commission? If not I will close the floor and entertain discussion or a motion. I wish it wasn't so late because I would like to sit here and go through all these but ...

COMMISSIONER HEISER: Mr. Chairman?

CHAIRMAN GARA: Commissioner Heiser?

COMMISSIONER HEISER: Can I ask the applicant a question?

CHAIRMAN GARA: Yes, I will open the floor.

COMMISSIONER HEISER: Under outdoor storage how high can that pile go? Is that up to one hundred and twenty feet?

MR. DEKKER: Item eight?

COMMISSIONER HEISER: Yes, outdoor storage. You have a eight-foot high solid wall and then you have a stacking angel...

MR. DEKKER: That goes back at forty-five degrees.

COMMISSIONER HEISER: So it could actually be taller then the building theoretically?

MR. DEKKER: That is correct.

COMMISSIONER HEISER: Do you want to put a...

MR. DEKKER: A height limit on that, that is fine.

COMMISSIONER HEISER: What is reasonable, twelve feet?

MR. DEKKER: I think twelve feet is probably adequate. Commissioner Heiser?

COMMISSIONER HEISER: Yes.

MR. DEKKER: Some of the processes used at the Emcore facility can require tank farms, it might have tanks that are taller then twelve feet.

COMMISSIONER HEISER: A tank farm?

MR. DEKKER: Yes.

COMMISSIONER HEISER: Twenty?

MR. DEKKER: Yes.

COMMISSIONER HEISER: Twenty feet.

MR. DEKKER: Twenty feet.

COMMISSIONER McMAHAN: Mr. Dekker, you say tank farms you mean round tanks or track tanks?

MR. DEKKER: Like tanks that have like chemicals and process gasses and those kinds of things not military tanks.

COMMISSIONER McMAHAN: Thank you.

COMMISSIONER HEISER: As long as you are up here I am going to add a finding or a condition that all walls shall follow the adopted City of Albuquerque Wall Design Guidelines.

MR. DEKKER: Wasn't that one of the conditions already? Okay, that is fine.

CHAIRMAN GARA: On the 5H you wanted to have it struck? You provided a fifteen-foot sidewalk in front of all building entrances. But I think the intent there correct me if I am wrong...

COMMISSIONER HEISER: (INAUDIBLE) portion of the entry. It is just at the entry it is not the entire length of the building.

CHAIRMAN GARA: Right. That is what he is saying and I want to make sure that that's because what I thought H in the staff report was a fifteen-foot walk across the entire front of the building in the staff report. But on the applicants changes to the conditions all they are providing is a sidewalk with a minimum clearance of fifteen feet shall be provided at building entrances.

COMMISSIONER HEISER: Okay so you would take out, you are leaving G in...

CHAIRMAN GARA: Modifying G.

COMMISSIONER HEISER: Modifying G.

CHAIRMAN GARA: Taking H out is what they want.

MR. DEKKER: Chairman Gara, condition five double A also addresses fronts of buildings and I think by adding back in the five by five foot planters at a distance of twenty-five feet that may be achieves what the shading and breaking up of the façade I think that maybe you are trying to get to on five H.

COMMISSIONER HEISER: Well actually the concept of five H is to provide adequate shading for walkways, sidewalks, walkways that are creating transit across the site. So...

MR. DEKKER: Don't we do that in...

COMMISSIONER HEISER: ...that's F.

MR. DEKKER: Five double A though, is that back in there or we could leave it in and I guess 5H.

CHAIRMAN GARA: I am sorry but it is late and they start to run together.

MR. DEKKER: Right.

COMMISSIONER HEISER: I think there is some redundancy here. I think the concept is to have F and have these walkways; these accesses lead to transit parking lots and connect buildings on the site to adjacent buildings and to the street.

MR. DEKKER: Right.

COMMISSIONER HEISER: Okay, I am not sure if that is clearly spelled out here. So I think I would add to F, okay. And then you have sidewalk at a minimum clearance of fifteen feet at the entry to the building, okay.

MR. DEKKER: Right.

COMMISSIONER HEISER: While the shaded pedestrian function would cover that if its longer then the fifteen feet you have a big sidewalk and you have to put some plants in that based on F so I think that you probably do not need double A.

MR. DEKKER: Okay.

COMMISSIONER HEISER: Does that make sense?

MR. DEKKER: Yes.

COMMISSIONER HEISER: Since these are not retail buildings. Now if they are retail buildings this would apply.

MR. DEKKER: You know that, I think that is what we saw there and it does allow retail uses we are not contemplating that but if we wanted to put the cavy out that to change double A all commercial buildings, any commercial buildings.

COMMISSIONER HEISER: Do you know what I think we can leave double A in, all it means is that someplace you are going to have a sidewalk along the front of the building which you are going to have. Okay and then if you do the commercial this covers the commercial aspect of it. So if you have a walkway that has storefronts on it then this condition covers that and we will take out condition H I guess like you are probably saying an hour ago.

CHAIRMAN GARA: Another thing on the outdoor seating we required outdoor seating at tire stores with five thousand square feet of space for employees as opposed to, this is for employee benefits as opposed to anything else. And that is something we typically we required in all buildings for quite some time.

MR. DEKKER: Can we then say all occupied buildings, I mean we might have a building that says a warehouse that doesn't have any occupants in it I don't think.

CHAIRMAN GARA: It has to have something.

MR. DEKKER: Yes but I mean if it has two employees in it do we want to give them a two hundred fifty square foot. I mean right now it says each building. There can be buildings that are just pure storage buildings that do not have any occupants in them they just have supplies or storage in them.

COMMISSIONER HEISER: Which one is that?

CHAIRMAN GARA: J.

COMMISSIONER HEISER: J. How about if we have an occupant of lets say ten or something like that.

MR. DEKKER: Okay.

COMMISSIONER HEISER: Does that make sense?

CHAIRMAN GARA: I don't know if too many buildings that would have two employees that are twenty thousand square feet.

MR. DEKKER: That is why we are going to strike the twenty thousand and just get ten occupants.

COMMISSIONER HEISER: It wouldn't be an occupant load it would be a minimum occupancy right?

CHAIRMAN GARA: So V is going to stay in?

COMMISSIONER HEISER: B.

CHAIRMAN GARA: V as in victory.

COMMISSIONER HEISER: V, yes. Actually I took out H, I modified Z and put "visible" all visible roof penetrations. And it should say in Y it would basically be it says all roof top equipment shall be screened by rooftop walls (INAUDIBLE) so there should be no other rooftop equipment that is visible because they are all screened. Right?

MR. DEKKER: Right.

COMMISSIONER HEISER: Except penetrations, which will be painted.

MR. DEKKER: Correct.

COMMISSIONER HEISER: So that last, the second to the last sentence should just say penetrations shall be painted to match...

CHAIRMAN GARA: Were are you at?

COMMISSIONER HEISER: I on Y.

MR. DEKKER: Okay.

COMMISSIONER HEISER: Because it says the top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines on the site. If they are below the

top of the parapets they are screened from the property lines. Alternatively rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color that is fine right?

MR. DEKKER: Right.

COMMISSIONER HEISER: Then you would say penetration shall be painted to match roof color or predominant building color. Take the rooftop stuff out of there because you have already covered it.

MR. DEKKER: Okay.

COMMISSIONER HEISER: I changed Y and Z has all visible rooftop penetrations and then I added a MM and it says, "Signage shall be limited to six percent of the façade to which it is applied." And the reason for this is these buildings if they are pretty sizable that is a lot of signage and I would consider putting a maximum letter size for large buildings to like a four foot letter because this isn't a big retail center.

MR. DEKKER: No. We concur with that.

COMMISSIONER HEISER: And for retail I would probably put a maximum size of well I don't know I guess that can develop, you can have big box development in here right in this IP?

MR. DEKKER: Could. I mean I think the six percent goes a long way of dealing with that and if you want to put I think even for our purposes you know three feet tall letters I think for an industrial use...

COMMISSIONER HEISER: So three foot...

MR. DEKKER: ...yes...

COMMISSIONER HEISER: ...maximum letter size, three foot. Then that covers retail or commercial, okay.

MR. DEKKER: Yes, any other kind of use.

COMMISSIONER HEISER: Okay.

CHAIRMAN GARA: If the IP zone allows as Mr. Dineen has pointed out to me this is not an SU site.

COMMISSIONER HEISER: It can be IP with signage restrictions.

MR. DINEEN: It is not an SU-1 so we would have to change it to special use.

CHAIRMAN GARA: They have to go to SU to do that.

COMMISSIONER HEISER: Well what about all this other stuff?

MR. DINEEN: Well I think you can do a lot of design things but the areas that are allowed in the zone height and so one I think we would have to.

COMMISSIONER HEISER: The heights, (INAUDIBLE) change the height.

MR. DINEEN: Well I am talking about the sign.

COMMISSIONER HEISER: (INAUDIBLE).

MR. DINEEN: You are restricting it more; we would have to go to an SU-1.

COMMISSIONER HEISER: I thought we have done C-1...

CHAIRMAN GARA: No, SU, it is always SU-1.

COMMISSIONER HEISER: It is always SU-1 with signage restrictions.

CHAIRMAN GARA: Yes.

COMMISSIONER HEISER: I think it is kind of an important thing.

MR. DINEEN: You can do it if they agree to it.

MR. DEKKER: Mr. Chairman Gara and Commissioner Heiser I think if we are just coming in for a site for zoning of IP without a master development plan it seems to me like the master development plan which it has to follow the same criteria as the site development plan for subdivision gives you the ability to overlay more stringent criteria then the IP might afford. It gets back to that one hundred and twenty foot tall building issue for straight IP. We might agree to do something less it is part of the master development plan just like you would if he had a site development plan for building permit with a design guidelines or a building.

COMMISSIONER SCHWARTZ: Doesn't the master development plan gives that...

COMMISSIONER HEISER: The IP over rules in terms of signage.

MR. DINEEN: Mr. Chairman, Commissioner, Russell points out a good point though if you want to impose more restrictive requirements because you think it is more appropriate such as the sign and we are recommending this this is going forward it doesn't necessarily take concurrence although I think it would be good to have concurrence to recommend that it be SU-1 for IP. So you can impose these restrictions.

COMMISSIONER HEISER: Because if we don't just like a C-1 zone even if it is a shopping center what we have learned on just straight shopping center sites is that if we can put regulations on the shopping center design signage and it doesn't matter. You just go straight

down to the Building Department and you get the biggest sign you can find and put it on the building. So the same thing would apply to the IP zone even if you have a master plan that says you are not going to do that right?

MR. DINEEN: That is correct.

COMMISSIONER HEISER: That is what we learned in the world.

MR. DEKKER: But in the Zoning Ordinance the IP zoning minimum parcel size twenty acres which we have requires the preparation of master development plan. Master development plans as defined in the Zoning Ordinance as a plan meeting the requirements for a site development plan for subdivision showing general building and parking locations and specifying design requirements for buildings, landscaping, lighting and signage, that is what we are doing.

MR. DINEEN: But signage is a structure, it is a permitted use in the zone and you can restrict a design, you can talk about kinds of materials the sign will be, you can talk about all those issues but you cannot further restrict it unless you have a special use designation on it. And then you can tailor the zoning in a different way. You can restrict those more. And that is what you really will be doing you would be saying SU-1 for IP with certain restrictions including the signs or any other restrictions the deviate from the IP allowances. You can even restrict the kinds of uses if you wanted to exclude those. But I don't think that is the issue here.

COMMISSIONER HEISER: Well we haven't talked about that but the use.

MR. DEKKER: It seems to me we brought these plans before the Commission in the past where we prepared master development plans and there has been great debate about bike storage facilities.

CHAIRMAN GARA: In a SU zones?

MR. DEKKER: No, this was straight IP zoning.

CHAIRMAN GARA: Which one?

MR. DEKKER: Ron Brown's piece.

COMMISSIONER HEISER: The point that he is making is that is true all that stuff goes into the IP. The problem that we have learned about of recent when we went through a site trip and stuff like that is that when it comes to signage, signage is irrelevant. And all you can dictate on the signage are materials and what else.

MR. DINEEN: Design related issues it could be any of those.

COMMISSIONER HEISER: You cannot regulate size.

MR. DINEEN: You can't height or area.

MR. RELKIN: They will be leased. And even if they were sold by some future land commissioner we would be willing to enter into agreement now that imposition would also be placed on successor interest even if sold. If that helps we will be happy to do that.

COMMISSIONER HEISER: That might be the way to keep it in IP versus SU-1.

CHAIRMAN GARA: I guess the only other thing that if this was a typical submittal and it wasn't a State Land Office we probably would require SU-1. I don't know why we are being any different. Because we will get blasted in the papers again, I don't know holding up progress. Commissioner McMahan?

COMMISSIONER McMAHAN: You are about to loose me (INAUDIBLE).

CHAIRMAN GARA: I have been lost for a while now.

COMMISSIONER McMAHAN: It looks to me there is either a continuance or lets vote.

CHAIRMAN GARA: Mr. Dineen?

MR. DINEEN: Just one point of clarification what we were talking about earlier or just to flush out the idea if we went to special use in order to restrict the signs because that is the issue that I am hearing that you may want to restrict the signs more in this particular zone. It would be SU-1 for IP uses as regulated in the IP zone and that would of course as Russell points out unless you say otherwise both permissive and conditional uses would be then permitted. Or you would have to limit it to permissive only that is another decision.

COMMISSIONER HEISER: Right now the site is IP so that means you have to go to conditional hearing for certain IP uses.

MR. DINEEN: You went to SU-1 and you gave them IP or as regulated that means there is no question about how the individual site plans are reviewed or any of this other issues that they may be uncomfortable with such as all the site plans coming back to you.

COMMISSIONER HEISER: If the applicant can write up the wording on signage, if you can write that up so we can put it I am inclined to I might regret it but I am inclined to accept that as a condition. Maybe others aren't I don't know.

MR. DEKKER: Do you want me to propose some language for MM?

COMMISSIONER HEISER: Yes please. Can you write it down and then, did you write it already?

MR. DEKKER: Yes.

COMMISSIONER HEISER: Okay.

MR. DEKKER: I wrote down what you said earlier it the signage shall be limited to six percent of the façade area with no individual letters exceeding three feet in height.

COMMISSIONER HEISER: I know that part I meant the State Land Offices verbiage.

MR. RELKIN: May I suggest some language off the top of my head.

COMMISSIONER HEISER: Yes can you write it down.

MR. DEKKER: Commissioner Heiser, I am back.

COMMISSIONER HEISER: Okay.

MR. DEKKER: Under signage the applicant agrees to impose on any lessee or successor and interest. A restriction of signage to a maximum of six percent of a façade area and a maximum letter size of three feet.

COMMISSIONER HEISER: I have signage shall be limited to the six percent of façade to which is supplied. The maximum letter size is three feet. I think you need that last sentence as a condition that the signage shall be conveyed and all that kinds of stuff. That these conditions, the signage conditions shall be conveyed to future whatever.

CHAIRMAN GARA: That is what I just said. To all lessees and successors of interest.

COMMISSIONER HEISER: Okay it sounds good. Okay, I am going to apologize and I hope, I really hope this doesn't go in the paper as us being bad Planning Commissioners or anything but there is so many different things on here on these conditions and everything I am not thinking clearly I would like to act on the annexation and zoning.

MR. DEKKER: Okay.

COMMISSIONER HEISER: And then come back to the master plan stuff and we have a hearing on the 31<sup>st</sup>.

CHAIRMAN GARA: With these changes made and incorporated so that we are looking at one set instead of three sets. We are looking at drawing, staff findings, and the language.

COMMISSIONER HEISER: I am sure this stuff will work but it is just, there is so much of it there is so many conditions and so many double letters.

CHAIRMAN GARA: You are not going to be heard at City Council for annexation and zoning before than either.

MR. DEKKER: That is correct.

COMMISSIONER HEISER: I think once it left single letters it lost me. So I am prepared to make a motion for annexation.

CHAIRMAN GARA: We use letters I mean we use numbers so we don't get into double letters Mr. Brito.

COMMISSIONER HEISER: On the matter of 00114 00000 000715, a request for annexation I move for approval based on findings one through four.

CHAIRMAN GARA: Is there a second.

COMMISSIONER McMAHAN: Second.

CHAIRMAN GARA: A motion and a second any discussion? All in favor "Aye?" All opposed "No?" Motion carries unanimously.

COMMISSIONER HEISER: On the matter of 00110 00000 00716, a zone map amendment for IP zoning I move for approval based on findings one through four.

COMMISSIONER McMAHAN: Second.

CHAIRMAN GARA: There is a motion and a second, any discussion? All in favor of the motion "Aye"? All opposed "No"? Motion carries unanimously.

COMMISSIONER HEISER: Mr. Chairman in the matter of 00128 00000 00718, I move for a continuance to the meeting of August 31.

CHAIRMAN GARA: Is that sufficient time Mr. Dekker?

MR. DEKKER: That is sufficient time.

COMMISSIONER McMAHAN: We all have to be here.

COMMISSIONER HEISER: That is true.

CHAIRMAN GARA: He won't be.

COMMISSIONER HEISER: Okay so what is the next hearing?

CHAIRMAN GARA: We have one on the 7<sup>th</sup>. We didn't do the 7<sup>th</sup>.

MR. PAULSEN: We can put it on the all day it will not take long.

CHAIRMAN GARA: Yes, we can do it on the all day. We can do it on the all day provided it is complete based upon all this discussion tonight and the continuance to the all day. Again it is not going to go through City Council and LUPZ before that.

MR. PAULSEN: Do you want to do this as a deferral or a continuance.

CHAIRMAN GARA: Continuance.

MR. PAULSEN: Everyone that is here going to be here.

CHAIRMAN GARA: On the 21<sup>st</sup> of September.

MR. PAULSEN: Other Commissioners are going to have to listen to tapes of this.

CHAIRMAN GARA: Or not hear it. Will all of you be here on the 21<sup>st</sup> of September, thank you. Is that a motion for a continuance to the 21<sup>st</sup>?

COMMISSIONER HEISER: Yes, to the 21<sup>st</sup> of September.

CHAIRMAN GARA: Is there a second?

COMMISSIONER McMAHAN: Second.

CHAIRMAN GARA: All in favor of the motion "Aye"? All opposed "No?" Motion is approved.

## **FINAL ACTION TAKEN**

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to recommend approval to the City Council 00114 00000 00715, annexation of a tract of land in Section 33, T10N, R4E, in the North ½ of the SW 1/4 of the NW 1/4, based on the following Findings:

### **FINDINGS:**

1. This is a request for annexation of an approximately 20 acre site located on Eubank Boulevard SE, south of Gibson Boulevard. This request is accompanied by a request for a zone map amendment to establish City IP zoning.
2. Annexation of the subject site furthers the applicable Goals and policies of the Comprehensive Plan by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.

3. Annexation of the subject site furthers and fulfills the applicable policies of R-54-1990. The site is designated by the Comprehensive Plan as Developing Urban and annexation of such areas into the City is desired and encouraged. The site is contiguous to the City limits, has provision for convenient street access to the City, and has reasonable boundaries for delivery of public services.
4. A pre-annexation agreement is not necessary for this annexation request as City utilities are readily available to the subject site and provision of services can be handled at the Development Review Board during the platting process.

MOVED BY COMMISSIONER HEISER

SECONDED BY COMMISSIONER McMAHAN

MOTION CARRIED UNANIMOUSLY

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NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to recommend approval to the City Council of 00110 00000 000716, a request for establishment of IP zoning for a tract of land in Section 33, T10N, R4E, in the North ½ of the SW 1/4 of the NW ¼ based on the following Findings:

**FINDINGS:**

1. This is a request for a zone map amendment to establish IP zoning for an accompanying annexation request of approximately 20 acres, located on Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies a request for annexation of the subject site.
2. The requested zoning furthers the applicable Goals and policies of the Comprehensive Plan by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
3. The requested zoning furthers and fulfills the policies of R-270-1980. The proposed zoning will further stabilize the land use in the area as a industrial, research and technology park. The existing zoning is inappropriate because of changed neighborhood or community conditions in the form of annexation of the subject site. Also, a different use category is more advantageous to the community as articulated in the Comprehensive Plan. This change of zone will not be harmful to adjacent property, the neighborhood or the community.
4. As required by the Zoning Code, this request for a change to IP zoning is accompanied by a Master Development Plan for the subject site.

MOVED BY COMMISSIONER HEISER  
SECONDED BY COMMISSIONER McMAHAN

MOTION CARRIED UNANIMOUSLY

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to continue 00127 00000 00718 to the Environmental Planning Commission Public Hearing on September 21, 2000.

MOVED BY COMMISSIONER HEISER  
SECONDED BY COMMISSIONER McMAHAN

MOTION CARRIED UNANIMOUSLY

17. 00128 00000 00870  
00128 00000 00871  
Project # 1000188

Tierra West, LLC, agents for Walmart Stores, Coors Ltd, RRG, Repetto, Komadina, Dolde Trust, Valencia Partners, Richard & Susan Saylor requests approval of a site development plan for subdivision plus approval of a site development plan for building permit for a portion of Tract 330 in Unit 8 of a portion of Tracts allotted from the Town of Atrisco Grant, Tract 331-A, Town of Atrisco Grant, Tract 332 in Unit 8, a portion of tracts allotted from the Town of Atrisco Grant, Tract A-2122-A of Northeast Unit, Town of Atrisco Grant, a 0.3074 acre portion of Tract Lettered A-14 in the Northeast Unit of Town of Atrisco Grant, Tract A-19-C2, Northeast Unit, Town of Atrisco Grant, Tract A-1-A Lands of Ann Komadina, 1/9 interest; and undivided interest, zoned SU-1 for C-2, located on Ouray Road NW between Coors Boulevard and Quail Road containing approximately 33.4339 acres. (H-11) Russell Brito, Staff Planner  
**(NO ACTION TAKEN DUE TO NO QUORUM)**

CHAIRMAN GARA: Item number twenty-one, Mr. Suffling?

MR. SUFFLING: Mr. Chairman, this case has been in litigation for a while and recently the judge affirmed the Planning Commission and the City Council. Although before the judge did that he made a decision to have the case heard over again and that is what this is, this is pending. Right now technically having it heard over is moot because the original hearing and the original application has been approved and my understanding is that the applicant is going forward. However, the litigation is still there and there are a number of legal maneuvers that can occur which can change the status quo and I believe that is why the applicant doesn't want to just withdraw the application. Of course he cannot have the application heard either because he has already got approval on second application. So you might see if the neighborhoods want to say anything for the record about it. My advice is not to take any kind of action of any sort but you could put it off until another day. If the status quo is the same in September if you put it off until then then I think either the applicant will withdraw or you can take it off the agenda or take some other kind of action. But I would not advice taking any action on the merits of the case

City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: August 18, 2000

**OFFICIAL NOTIFICATION OF DECISION**

NM Commissioner of Public Lands  
310 Old Santa Fe Trail  
P.O. Box 1148  
Santa Fe, NM 87504

FILE: 00114 00000 00715/00110 00000  
00716/00128 00000 00718

LEGAL DESCRIPTION: for a Tract of land in Section 33 T10N, R4E, in the North ½ of the SW ¼ of the NW ¼, located on Eubank Boulevard SE, south of Gibson Boulevard, containing approximately 20 acres. (M-21) Russell Brito, Staff Planner

On August 17, 2000, the Environmental Planning Commission voted to recommend approval to the City Council 00114 00000 00715, annexation of a tract of land in Section 33, T10N, R4E, in the North ½ of the SW ¼ of the NW ¼, based on the following Findings:

**FINDINGS:**

1. This is a request for annexation of an approximately 20 acre site located on Eubank Boulevard SE, south of Gibson Boulevard. This request is accompanied by a request for a zone map amendment to establish City IP zoning.
  2. Annexation of the subject site furthers the applicable Goals and policies of the Comprehensive Plan by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
  3. Annexation of the subject site furthers and fulfills the applicable policies of R-54-1990. The site is designated by the Comprehensive Plan as Developing Urban and annexation of such areas into the City is desired and encouraged. The site is contiguous to the City limits, has provision for convenient street access to the City, and has reasonable boundaries for delivery of public services.
  4. A pre-annexation agreement is not necessary for this annexation request as City utilities are readily available to the subject site and provision of services can be handled at the Development Review Board during the platting process.
-

AUGUST 17, 2000

00114 00000 00715/00110 00000 00716/00128 0000 00718

PAGE 2

On August 17, 2000, the Environmental Planning Commission voted to recommend approval to the City Council of 00110 00000 000716, a request for establishment of IP zoning for a tract of land in Section 33, T10N, R4E, in the North ½ of the SW ¼ of the NW ¼ based on the following Findings:

**FINDINGS:**

1. This is a request for a zone map amendment to establish IP zoning for an accompanying annexation request of approximately 20 acres, located on Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies a request for annexation of the subject site.
2. The requested zoning furthers the applicable Goals and policies of the Comprehensive Plan by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
3. The requested zoning furthers and fulfills the policies of R-270-1980. The proposed zoning will further stabilize the land use in the area as a industrial, research and technology park. The existing zoning is inappropriate because of changed neighborhood or community conditions in the form of annexation of the subject site. Also, a different use category is more advantageous to the community as articulated in the Comprehensive Plan. This change of zone will not be harmful to adjacent property, the neighborhood or the community.
4. As required by the Zoning Code, this request for a change to IP zoning is accompanied by a Master Development Plan for the subject site.

On August 17, 2000, the Environmental Planning Commission voted to continue 00127 00000 00718 to the Environmental Planning Commission Public Hearing on September 21, 2000.

Sincerely,



for Robert R. McCabe, AIA, APA  
Planning Director

RM/RB/ac

cc: Dekker/Perich/Sabatini, 6801 Jefferson Blvd. NE, Ste 100, Albuquerque, NM 87109

City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: September 22, 2000

**OFFICIAL NOTIFICATION OF DECISION**

NM Commissioner of Public Lands  
310 Old Santa Fe Trail  
P.O. Box 1148  
Santa Fe, NM 87504

FILE: 00114 00000 00715/00110 00000  
00716/00128 00000 00718

LEGAL DESCRIPTION: for a Tract of land in  
Section 33 T10N, R4E, in the North ½ of the SW ¼  
of the NW ¼, located on Eubank Boulevard SE,  
south of Gibson Boulevard, containing approximately  
20 acres. (M-21) Russell Brito, Staff Planner

On September 21, 2000, the Environmental Planning Commission voted to approve 00128 00000 00718, a master development plan for a tract of land in Section 33, T10N, R4E, in the North 2 of the SW 1/4 of the NW 1/4, based on the preceding Findings and subject to the following Conditions of Approval.

**FINDINGS:**

1. This is a request for approval of a Master Development Plan for an accompanying zone map amendment request to IP zoning, for an approximately 20 acre site, located on Eubank Boulevard SE, south of Gibson Boulevard.
2. Approval of this Master Plan is dependent on City Council approval of the accompanying annexation and zone map amendment requests.
3. The master plan submittal furthers the applicable Goals and Policies of the *Comprehensive Plan* by providing the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
4. The master plan submittal meets the *Zoning Code* requirements for a Master Development Plan.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
2. Approval of this Master Plan is dependent on City Council approval of the accompanying annexation and zone map amendment requests.
3. The minimum width for planting areas for street trees shall be 5 feet.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY **OCTOBER 6, 2000** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,

  
FOR Robert R. McCabe, AIA, APA  
Planning Director

RM/RB/ac

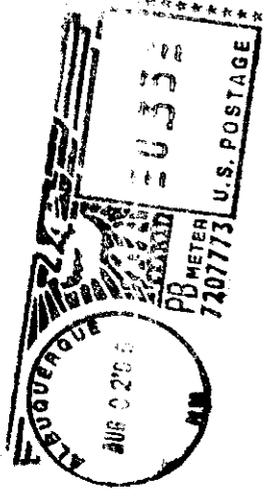
cc: Dekker/Perich/Sabatini, 6801 Jefferson Blvd. NE, Ste 100, Albuquerque, NM 87109



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



*EPC april*

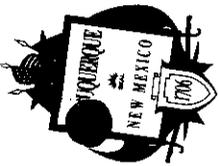
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U S GOVERNMENT  
2050 WYOMING BL SE  
KIRTLAND AFB NM 87117

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UNDELIVERABLE AS ADDRESSED  
REFUSED

57103/1293



**City of Albuquerque**  
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87163  
 PLANNING DEPARTMENT

REIGHT  
 STC 1058  
 INSUFFICIENT  
 PAID



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SHAW, MITCHELL & MALLORY  
 11100 GIBSON SE  
 ALBUQUERQUE NM 87123

#7198764693





ENVIRONMENTAL PLANNING COMMISSION  
A G E N D A

Thursday, August 17, 2000, 8:00 a.m.

Plaza del Sol Hearing Room  
Lower Level  
600 2nd Street NW

MEMBERS

Chuck Gara, Chairman  
Robert Heiser, Vice Chairman

Elizabeth Begay  
Joe Chavez  
Larry Chavez

Susan Johnson  
Mick McMahan  
Alan Schwartz

\*\*\*\*\*  
**NOTE: A LUNCH BREAK AND DINNER BREAK WILL BE ANNOUNCED AS NECESSARY.**  
Agenda items will be heard in the order indicated below unless modifications to the Agenda are approved by the EPC at the beginning of the hearing (see item 1A and 1B below); deferral and withdrawal requests (by applicants) are generally reviewed at this time.

There is no set time for cases to be heard; however, interested parties can monitor the progress of the hearing by calling the Planning Department at 924-3860. All parties wishing to address the Commission must sign-in with the Commission Secretary at the front table prior to the case being heard. In the interest of time, the Chairman may establish time limitations on speakers. Please be prepared to provide brief and concise testimony to the Commission if you intend to speak.

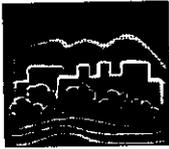
1. Call to Order.
  - A. Announcement of changes and/or Additions to the Agenda.
  - B. Approval of the Amended Agenda.
  - C. Approval of Minutes for June 15, 2000

2. Z-99-31 James R. Achen, agent for Bandelier Equities/McMahon Equities LC, requests a zone map amendment from R-1 to R-2, C-1 and O-1 for an unplatted piece of property located on McMahon Boulevard NW at the intersection of Bandelier Drive (west of Paradise Heights -Unit 1), containing approximately 17.2 acres. (A-12) Bob Torres, Staff Planner **(DEFERRED FROM JUNE 15, 2000)**
  
3. 00138 00000 00911  
00114 00000 00576  
Project # 1000488  
Tierra West LLC, agents for Mock Homes, request annexation and establishment of R-D zoning plus an amendment to the La Cueva Sector Development Plan for Lots 1-5 and 28-32, Block 12, Tract 3, Unit 3, North Albuquerque Acres located on Ventura Avenue NE between Eagle Rock Avenue and Oakland Avenue, containing approximately 10 acres. (C-20) Carmen Marrone, Staff Planner
  
4. 00110 00000 00176  
00138 00000 00177  
00128 00000 00590  
(Project 1000232)  
Consensus Planning, agents for West Tijeras Canyon Ltd., requests an amendment to the Sandia Foothills Area Plan plus a zone map amendment to SU-1 PRD for 64.8 acres and SU-1 for O-1 for 10 acres, SU-1 for R-LT for 18.5 acres, and SU-1 for MPOS for 11 acres and approval of a site development plan for subdivision for Parcel A and a portion of Parcel C, Canyon de Carnuel Land Grant, located south of the Interstate-40 Frontage Road, east of Serenity Hills Neighborhood, containing approximately 104.3 acres (L-23 & M-23) Russell Brito, Staff Planner **(DEFERRED FROM JUNE 15, 2000)**
  
5. 00128 00000 00897  
Project #1000421  
Consensus Planning, Inc., agents for Rigel Corporation dba Krispy Kreme Doughnuts, request approval of a site development plan for building permit for Tract D1, Cottonwood Corners, located on NM528 between Coors by Pass and Ellison Drive, containing approximately 1.4 acres. (A-14) Bob Torres, Staff Planner
  
6. 00110 00000 00460  
00128 00000 00461  
Tierra West LLC, agents for Union Pension Transaction Trust 932 NM, request a zone map amendment from SU-1 for R-3 Uses to SU-1 for C-2 & R-3 Uses plus approval of a site development plan for subdivision purposes for Tract 1B-1, Renaissance Center, located on Renaissance Boulevard NE between Montano Road and Union Way Road, containing approximately 10.460 acres. (F-16) Russell Brito, Staff Planner **(APPROVED ZONE MAP AMENDMENT TO SU-1 FOR C-2 & R-3 USES. DEFERRED SITE DEVELOPMENT PLAN FOR SUBDIVISION PURPOSES FROM JULY 17, 2000)**

7. 00128 00000 00915  
00128 00000 00917  
Project #1000651
- Tierra West LLC, agents for SCM Properties Co., requests approval of a site development plan for subdivision purposes plus approval of a site development plan for building permit for Tract A-29A, Town of Atrisco Grant Northeast, zoned SU-1 for PDA C-1 Uses and Office located on Coors Boulevard between Redlands Road and Pheasant Avenue, containing approximately 3.4116 acres. (G-11) Bob Torres, Staff Planner
8. 00128 00000 00894  
Project #1000645
- Nims, Calvani & Assoc., agents for City of Albuquerque, requests approval of a site development plan for building permit for El Rancho Atrisco (Ladera Golf Course), zoned SU-1, located on Ladera Drive NW between Sequoia and Redlands, containing approximately 1.2 acres. (G-11, G-10 & H-10) Cynthia Borrego Archuleta, Staff Planner
9. 00128 00000 00904  
Project # 1000060
- Herb Denish and Associates, Inc., agents for John Hammons Industries, request approval of a site development plan for building permit for Tracts B and C, Gateway Subdivision, zoned SU-2/C-3, located on Lomas Boulevard NE between Interstate 25 and Woodward Place, containing approximately 9.35 acres. (J-15) Russell Brito, Staff Planner
10. 00110 00000 00844  
Project # 1000617
- Livia Strinbu, agent for Mike Tabrizian request a zone map from C-1 to C-2 for the northwest corner of N/2 of Tract 1, Mesa Park Addition, located on San Pedro SE and Zuni between Zuni and Bell, containing approximately .30 acre. (L-18) Mary Piscitelli, Staff Planner
11. 00128 00000 00906
- Rick Bennett Architect, agent for Conway Oil Co., request approval of a site development plan for building permit for lot A, Tract A, North Albuquerque Acres, zoned SU-1 for C-2, located on the southwest corner of Louisianan and Paseo del Norte, containing approximately 2.7 acres. (D-18) Debbie Stover, Staff Planner
12. 00110 00000 00895  
00128 00000 00896  
Project #1000646
- Insite Architecture + Development, agents for Capital Aspects requests a zone map amendment from SU-1, P-1 to SU-1 plus approval of a site development plan for building permit for Tract H-2, New Holiday Park Addition, located on Montgomery Boulevard between Juan Tabo and Tramway, containing approximately .8264 acre. (F-22) Mary Piscitelli, Staff Planner

13. 00110 00000 00888  
00110 00000 00889  
Project # 1000643  
Rodey, Dickason, Sloan, Akin & Robb, PA, agents for KOAT-TV requests a zone map amendment from C-1 to SU-1 for TV Station, satellite dishes, related facilities and helipad, to allow helipad on radio/TV station site plus approval of a site development plan for building permit for Lot A-1, Block 1, Montgomery Heights, located on Carlisle and Comanche NE, between Montgomery and Comanche, containing approximately 3.6 acres. (G-16) Debbie Stover, Staff Planner
14. 00110 00000 00887  
Project #1000642  
Tierra West, LLC agents for Plumbers and Steamfitters #412, request a zone map amendment from O-1/R-3/C-1 to C-1 for the north half of Tract 1, Mesa Park Addition, located on San Pedro Drive SE between Bell Avenue and Zuni Road, containing approximately 1.239 acres. (L-18) Bob Paulsen, Staff Planner
15. 00128 00000 00899  
Project # 100648  
Advanced Engineering and Consulting, LLC, agents for Zuni Development LLC, request approval of a site development plan for building permit for Tracts 4 and 5, Lands of C.H. Hall, zoned SU-1 for MH, located on 90<sup>th</sup> Street NW between Volcano Road and Bluewater Road, containing approximately 10 acres. (K-9) Russell Brito, Staff Planner
16. 00110-00000-00604  
00128 00000 01003  
00138 00000 01067  
(Project #1000501)  
Thanh Nguyen, agent for Susan Mirabal, request a Zone Map Amendment from R-T to SU-1 for a Church, amendment to a sector development plan and approval of a site development plan for subdivision for Lots 17 and 18, Block 8, Casas Serenas, located at 419 Rhode Island, SE between Bell Street, SE and Trumbull Street, SE, containing approximately 0.3054 acres. (L-19) Debbie Stover, Staff Planner
17. 00110 000000 00898  
Project # 1000647  
John A Myers, agent for Sandia Foundation, a New Mexico Corporation requests an amendment to the Sawmill Sector Development Plan plus a zone map amendment from S-MI to P-R for Tract 238C-1-A-2-A, Stewart Walker Addition, located on 20<sup>th</sup> Street between Mountain Road and Bellamah Avenue, containing approximately .8 acre. (J-13) Debbie Stover, Staff Planner

18. 00128 00000 00907  
Project # 1000650  
DCSW, agents for John J. Mahoney & Assoc., requests approval of a site development plan for building permit for Lots 1A and 2A, Lands of Lamonica and Wenk, located at the southeast corner of the intersection of Coors and Rio Bravo Boulevards SW, containing approximately 26 acres. (P-10) Russell Brito, Staff Planner
19. 00110 00000 00787  
00128 00000 00788  
Project # 1000065  
Keith MacDuffee, agent for Southwest Surveying Co Inc., request a zone map amendment from C-1 to SU-1 for RT plus approval of a site development plan for subdivision purposes for Lot 40, Block 6, Unit 1, Casa Grande Estates, located on Candelaria between Tramway Boulevard and Matador Drive, containing approximately .92 acres. (H-23) Debbie Stover, Staff Planner
20. 00114 00000 00715  
00110 00000 00716  
00128 00000 00718  
Project # 1000554  
Dekker/Perich/Sabatini, agents for NM Commissioner of Public Lands, requests annexation and establishment of IP zoning plus a approval of a master development plan for a Tract of land in Section 33 T10N, R4E, in the North  $\frac{1}{2}$  of the SW  $\frac{1}{4}$  of the NW  $\frac{1}{4}$ , located on Eubank Boulevard SE, south of Gibson Boulevard, containing approximately 20 acres. (M-21) Russell Brito, Staff Planner
21. 00128 00000 00870  
00128 00000 00871  
Project # 1000188  
Tierra West, LLC, agents for Walmart Stores, Coors Ltd, RRG, Repetto, Komadina, Dolde Trust, Valencia Partners, Richard & Susan Saylor requests approval of a site development plan for subdivision plus approval of a site development plan for building permit for a portion of Tract 330 in Unit 8 of a portion of Tracts allotted from the Town of Atrisco Grant, Tract 331-A, Town of Atrisco Grant, Tract 332 in Unit 8, a portion of tracts allotted from the Town of Atrisco Grant, Tract A-2122-A of Northeast Unit, Town of Atrisco Grant, a 0.3074 acre portion of Tract Lettered A-14 in the Northeast Unit of Town of Atrisco Grant, Tract A-19-C2, Northeast Unit, Town of Atrisco Grant, Tract A-1-A Lands of Ann Komadina, 1/9 interest; and undivided interest, zoned SU-1 for C-2, located on Ouray Road NW between Coors Boulevard and Quail Road containing approximately 33.4339 acres. (H-11) Russell Brito, Staff Planner
22. 00128 00000 00592  
00128 00000 00593  
(Project #1000032)  
Consensus Planning, agents for Lowes Company, Inc., request approval of a site development plan for building permit plus an amendment to a site development plan for subdivision for Tract 3, Coors Village, University of Albuquerque Urban Center zoned SU-3, located on Coors Boulevard NW between Western Trial and Milne Road, containing approximately 14.16 acres. (F-11) Russell Brito, Staff Planner  
**(DEFERRED FROM JUNE 15, 2000)**
23. Other Matters



Agenda Number: 20  
 Case Number: 00114 00000 00715  
 00110 00000 00716  
 00128 00000 00718  
 August 17, 2000

## Staff Report

• <i>Agent</i>	Dekker/Perich/Sabitini
• <i>Applicant</i>	NM Commissioner of Public Lands
<b>Requests</b>	Annexation, establishment of zoning and approval of a master development plan
• <i>Legal Description</i>	a tract of land in Section 33, T10N, R4E, in the North ½ of the SW 1/4 of the NW 1/4
• <i>Location</i>	on Eubank Boulevard SE, south of Gibson Boulevard
• <i>Size</i>	approximately 20 acres
• <i>Existing Zoning</i>	County A-1
• <i>Proposed Zoning</i>	IP

### Staff Recommendation

That **APPROVAL** of 00114 00000 00715 be forwarded to the City Council, based on the findings on page 11.

That **APPROVAL** of 00110 00000 00716, be forwarded to the City Council, based on the findings on page 12.

**APPROVAL** of 00128 00000 00718, based on the findings on page 13, and subject to the conditions of approval on pages 14 - 17.

**Staff Planner**  
 Russell Brito, Planner

### Summary of Analysis

The requests for annexation and a zone map amendment to establish IP zoning are justified as per the policies and requirements of *R-54-1990* and *R-270-1980*. The requests further the applicable goals and policies of the *Comprehensive Plan*.

The request for approval of a Master Development Plan is dependent on approval of the annexation and zone map amendment requests by the City Council. It furthers the applicable Goals and policies of the *Comprehensive Plan* and will meet the *Zoning Code* requirements for a Master Development Plan with some additions and changes.

The submitted Master Development Plan will be adequate with some additions and changes.

Location Map (3" x 3")

*City Departments and other interested agencies reviewed this application from 7 July 2000 to 21 July 2000. Agency comments were used in the preparation of this report, and begin on page 18.*

## Development Services Report

### SUMMARY OF REQUEST

<i>Request</i>	1. Annexation 2. Establishment of IP zoning 3. Approval of a master development plan
<i>Location</i>	a tract of land in Section 33, T10N, R4E, in the North ½ of the SW 1/4 of the NW 1/4 located on Eubank Boulevard SE, south of Gibson Boulevard

### AREA CHARACTERISTICS AND ZONING HISTORY

*Surrounding zoning, plan designations, and land uses:*

	<i>Zoning</i>	<i>Comprehensive Plan Area, Applicable Rank II &amp; III Plans</i>	<i>Land Use</i>
<i>Site</i>	County A-1	Developing Urban	undeveloped
<i>NE &amp; North</i>	IP and SU-1 for IP Uses	"	manufacturing, medical office, and commercial
<i>South</i>	County A-1	"	electrical switching station
<i>East</i>	County A-1	"	undeveloped
<i>West</i>	US Government Land	"	Kirtland Air Force Base

### Background

The subject site is located in the unincorporated County adjacent to Kirtland Air Force Base. A developing industrial, research and technology park is located to the north and northeast of the subject site. These lands to the north and northeast were annexed and zoned SU-1 for IP Uses and IP in 1981 and 1980, respectively (Z-81-68/AX-81-16 and Z-80-96/AX-80-21). The Planning Commission has approved site plans for some of the developments in this area and delegated approval of others to the Development Review Board, such as the EMCORE site development plan (Z-98-41/DRB-98-41).

Economic development considerations and the economics of location have driven much of the technology-based development in the immediate area, taking advantage of the area's proximity to Sandia National Laboratories and other technology ventures. It appears that the State Land Office is taking a more direct role in the development of this area with the current request for annexation, establishment of zoning and approval of a Master Development Plan.

## APPLICABLE PLANS AND POLICIES

### *Albuquerque / Bernalillo County Comprehensive Plan*

The subject site is also a part of the Developing Urban Area of the *Comprehensive Plan* which has a Goal "to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment." Applicable policies include:

Policy a The Established and Developing Urban Areas . . . shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

Policy d The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

Policy e New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

Policy g Development shall be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.

Policy i Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

Policy j Where new commercial development occurs, it should generally be located in existing commercially zoned areas as follows:

- in small neighborhood-oriented centers provided with pedestrian and bicycle access within reasonable distance of residential areas for walking or bicycling.
- in larger area-wide shopping centers located at intersections of arterial streets and provided with access via mass transit; more than one shopping center should be allowed at an intersection only when transportation problems do not result.
- in free-standing retailing and contiguous storefronts along streets in older neighborhoods.

Policy k Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

Policy l Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

### *Resolution 54-1990 (Annexation Policy)*

This Resolution sets forth policies and requirements for annexation of territory to the City. Land to be annexed shall be generally contiguous to City boundaries, be accessible to service providers, and have provision for convenient street access to the City. The applicant must agree to timing of capital expenditures for any necessary major streets, water, sanitary sewer

and other facilities. Lands designated as Reserve are appropriate for annexation if they meet guidelines established for the Reserve Area of the Comprehensive Plan.

Findings for annexation must include that the area is suitable for urban intensity (designated in the Comprehensive Plan), or is a City-owned park or open space; other findings should demonstrate that the public welfare is benefited by the annexation.

*Resolution 270-1980 (Zone Change Policy)*

This Resolution requires that one of three findings be made for a change of zone: that there was an error when the existing zone map pattern was created, or that changed neighborhood or community conditions justify the change, or that a different use category is more advantageous to the community. The applicant is required to justify the request.

*Resolution 91-1998 (R-70)*

This Resolution establishes an overall direction for implementation of the City's growth policies, with a framework emphasizing:

- development of community and regional activity centers and major transportation corridors (high capacity corridors); encourage increased densities and mixed uses in activity centers and corridors; meet the needs of residents closer to their homes or employment to decrease Vehicle Miles Traveled and automobile dependence.
- maintenance, enhancements and upgrades of roads and utilities in the core area, to prevent deterioration of existing communities and to encourage infill; diversify the Downtown land use mix with public facilities, hotels, office and retail development, more and higher density housing; generate more activity and attract more private investment in the Downtown area.
- enhance transit system performance, consistent with the principles of a compact urban form and a network of centers and corridors; improve the viability of transit as an alternative to the single-occupancy vehicle and reduce Vehicle Miles Traveled; improve pedestrian mobility and the character of the pedestrian environment, transit orientation and bicycle connections, within centers and corridors.
- plan the timing of road and utility construction to ensure orderly growth, and coordinate capacity increases and street extensions; transportation improvement programs must recognize the significance of natural, historic, and cultural resources and include strategies for minimizing adverse impacts on them.

*Long Range Roadway System*

The Long Range Roadway System designates Eubank Boulevard as a principal arterial which requires 124 feet of right-of-way.

## *ANALYSIS - Annexation*

### *Conformance to Adopted Plans, Policies, and Ordinances*

This is a request for annexation of an approximately 20 acre site located on Eubank Boulevard SE, south of Gibson Boulevard. This request is accompanied by a request for a zone map amendment to establish City IP zoning.

As discussed in the background section of this staff report, the subject site is adjacent to a developing industrial, research and technology park located within the City limits. The adjacent land was annexed in 1981 and zoned SU-1 for IP Uses.

Annexation of the subject site furthers the applicable Goals and policies of the *Comprehensive Plan* by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.

Annexation of the subject site furthers and fulfills the applicable policies of *R-54-1990*. The site is designated by the *Comprehensive Plan* as Developing Urban and annexation of such areas into the City is desired and encouraged. The site is contiguous to the City limits, has provision for convenient street access to the City, and has reasonable boundaries for delivery of public services. A pre-annexation agreement is not necessary for this annexation request as City utilities are readily available to the subject site and provision of services can be handled at the Development Review Board during the platting process.

## *ANALYSIS - Establishment of Zoning (Zone Map Amendment)*

### *Conformance to Adopted Plans, Policies, and Ordinances*

This is a request for a zone map amendment to establish IP zoning for an accompanying annexation request of approximately 20 acres, located on Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies a request for annexation of the subject site.

As discussed in the background section of this staff report, the subject site is adjacent to a developing industrial, research and technology park located within the City limits. The adjacent land was annexed in 1981 and zoned SU-1 for IP Uses.

The requested zoning furthers the applicable Goals and policies of the *Comprehensive Plan* by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.

The requested zoning furthers and fulfills the policies of *R-270-1980*. The proposed zoning will further stabilize the land use in the area as a industrial, research and technology park. The existing zoning is inappropriate because of changed neighborhood or community conditions in the form of annexation of the subject site. Also, a different use category is more advantageous to the community as articulated in the *Comprehensive Plan*. This change of zone will not be harmful to adjacent property, the neighborhood or the community.

As required by the Zoning Code, this request for a change to IP zoning is accompanied by a Master Development Plan for the subject site.

### *ANALYSIS - Master Development Plan*

#### *Conformance to Adopted Plans, Policies, and Ordinances*

This is a request for approval of a Master Development Plan for an accompanying zone map amendment request to IP zoning, for an approximately 20 acre site, located on Eubank Boulevard SE, south of Gibson Boulevard.

The Planning Commission has approval authority for Master Development Plans, but the request is dependent on City Council approval of the accompanying annexation and zone map amendment requests.

The master plan submittal furthers the applicable Goals and Policies of the *Comprehensive Plan* by providing the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.

The master plan submittal will meet the *Zoning Code* requirements for a Master Development Plan with some additions and changes as discussed below.

The applicant is proposing that "individual site plans in conformance with the master development plan design guidelines and criteria may go directly to building permit." In order for this to occur, the design guidelines - criteria should be expanded and amended as discussed in a following section.

#### *Site Plan Layout / Configuration*

The site is specified with proposed uses as allowed in the IP zone. The subject site is proposed to be divided into two parcels with two corresponding phases, Tract A (phase 1) and Tract B (phase 2). The maximum building height allowed for the site is 120 feet. The minimum setbacks for the site are 20' for the front and 10' for the side and rear. The maximum floor area ratio (FAR) for the entire site is 0.25.

The three site layout concepts presented in the design guidelines - criteria all recommend that building footprints be located at the building setback line "to give definition to the street and complex while parking at the back of the lots are visually screened." The three site layout concepts include building and parking configurations for single vehicular access, double vehicular access and shared vehicular access options.

#### *Vehicular Access, Circulation*

Vehicular ingress and egress and internal circulation requirements for the site are addressed by the general notes and the design guidelines - criteria. A 40' private access and utility easement is proposed along the southern property line for access from Eubank Boulevard to Tract B. The site plan notes state that "exact location of driveway access cuts to tracts A and B from 40' access easement to be determined during individual site plan. These to conform with DPM standards." Internal streets are proposed to have a 40' two way drive with a ten

foot landscape easement on either side. Additional detail is necessary to specify approximate locations or relationships of separate pedestrian and vehicular access and circulation.

#### *Pedestrian and Bicycle Access and Circulation*

Pedestrian ingress and egress and internal circulation requirements for the site are touched upon by the design guidelines - criteria. Pedestrian connections are described as 4' wide sidewalks located both sides of internal streets with a mixture of drought tolerant landscaping along the setbacks. Additional detail is necessary to specify approximate locations or relationships of separate pedestrian and vehicular access and circulation.

The Parks and Recreation Department is concerned with the provision of pedestrian and bicycle access and circulation on this site. Their comments state:

"The following language shall be added to the Master Development Plan: East/west public trail access through the site will be maintained in one of the following ways: 1) provision of a 20' east/west public trail easement on the south side of the property, 2) east/west internal public trail connection, or 3) provision of an east/west on-street bike facility.

Additionally, applicant will be required to construct an 8'-10' asphalt trail on Eubank for the length of the property in-lieu of sidewalk. This trail shall be separated from the street by a 5' buffer."

The Transit Department comments address pedestrian and bicycle circulation on the site as well: "The Design Guideline Criteria should provide for buffering of the pedestrian circulation system from vehicles traveling on the internal street. This buffer should occur in the form of landscaping wider sidewalks, on-street bicycle lanes, or on-street parking."

#### *Lighting*

Site lighting is proposed as pedestrian, parking and bollard lights with a maximum height of 16 feet for pedestrian lighting and 25 feet for street or parking lighting. An additional note should be added to the lighting criteria as follows: "Site lighting shall be full cut-off fixtures (e.g. shoe box fixtures) to minimize fugitive light."

#### *Landscaping*

The master landscape plan specifies perimeter landscaping around the entire subject site and around the two proposed, individual parcels. This landscaping is comprised of a mix of shade trees, evergreen trees, shrubs and ground cover. The design guidelines - criteria mentions the intent of the landscaping to act "as a unifying system." Trees are to be provided along internal streets and the emphasis of landscape areas shall be at street sides and shall be live plant drought tolerant landscape to provide screen for parking.

The amount of landscaping on future, individual site plans is not directly addressed by the submittal. In order to assure that adequate landscaping is provided with future site development plans, notes should be added to the Master Development Plan, the Master Landscape Plan, and the Design Guidelines - Criteria stating: "Individual site plans shall have landscaping on at least fifteen percent of the net lot area."

### *Grading, Drainage, Utility Plans*

Though not required by the *Zoning Code* for a Master Development plan, the applicant has submitted a master drainage plan and a master utilities plan as part of their submittal. The site is shown as sloping from the east to the west. The drainage proposal appears to have storm flows directed to on-site detention ponds that will drain to a future, on-site storm sewer along the southern edge of the site that will discharge to the South Eubank Interceptor Storm Sewer.

The master utilities plan proposes to connect to public utilities from Eubank Boulevard and to locate on-site, water and sewer lines within the 40' utility and access easement along the southern edge of the site. Comments from the Public Works Department, Utility Development Division state: "The utility plan must be revised. The proposed dead end water system would not be acceptable. A water and sanitary sewer serviceability statement must be requested and completed prior to DRB action."

### *Design Requirements for Buildings, Signage, Walls and Screening*

The design guidelines - criteria call for: "regional architectural expression" with opaque building materials consistent with those found in Albuquerque; elevations with offsets, fenestration and material change; clearly identified entryways tied into the overall mass and building composition; and variety in structural forms that create visual character and interest. Rooftop equipment is to be screened from public view by parapets of the same materials as the building. Docks are to be located away from view of streets to the extent possible.

Signage is proposed as one wall mounted sign per business, no more than 15% of the facade. This allowance is consistent with that of the *Zoning Code* for IP zones. Additional detail is necessary to specify allowed materials and lighting.

Walls at the street edge must be inset the distance equal to the wall height. Standard CMU block is not allowed as a finished material for perimeter walls.

Screening of outdoor storage, dumpsters and at the street and residential edges of the site are addressed adequately.

### *Design Guidelines - Criteria*

As touched upon in a previous section, the applicant is proposing that "individual site plans in conformance with the master development plan design guidelines and criteria may go directly to building permit." In order for this to occur, the design guidelines - criteria should be expanded and amended to ensure that development on this site is consistent, complementary and of a high caliber. The following guidelines should be added to the submitted design guidelines - criteria, and the submitted design guidelines - criteria amended accordingly:

#### *Parking / Circulation*

- The allowed parking shall be equal to the required parking plus 10%.
- ADA-compliant parking shall be located adjacent to main building entries.
- Cross-access provisions between adjoining parcels are required

#### Pedestrian Amenities

- Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
- Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by permanently anchored tire stops, bollards or raising the walk to provide for a 6 foot wide clear pedestrian area (.assume a 2' overhang for cars).
- Shaded pedestrian access shall be provided, including a clear 6-foot-wide path with adjacent shade trees spaced 25-feet on center within planters that have a minimum interior dimension of 5 feet square.
- A sidewalk with a minimum clearance of 8 feet shall be provided along the front of smaller buildings (4,000 square feet or less).
- A shaded sidewalk that is a minimum of 15-feet-wide shall be provided along the front of larger buildings (more than 4,000 square feet). Shade can be provided with architecturally integrated portals or canopies, or by trees placed at intervals of 25 feet in planters with a minimum interior dimension of 5 feet x 5 feet.
- A continuous sidewalk that is a minimum of 6-feet wide shall be located around the perimeter of larger buildings (more than 4,000 square feet) to provide pedestrian connections between parking areas and entrances.
- An outdoor patio space, minimum 250 square feet, with tables and seating shall be provided for each building. The patio shall have adequate shading provided by trees and/or a shade structure that integrates with building architecture.
- Convenient Pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways. A minimum 6-foot clear pathway is required with shade trees spaced at 25 foot intervals (as practical) in planters with interior dimensions of 5 x 5 feet.

#### Bicycle Amenities

- Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
- A covered and secured bicycle storage area that is a minimum of 200 square feet in size is required for each building.
- Each building shall provide a convenient shower facility available to bicyclists and other employees.

#### Non-vehicular measures

- The following measures to encourage non-vehicular travel are required:
  - a. On site bicycle lockers and/or a secured and covered bicycle storage area
  - b. Car/vanpool preferred parking near the entrances to buildings that is clearly demarcated for this purpose.

#### Landscaping & Buffering

- A 10-foot wide landscape buffer (with trees at least 8-feet high at the time of planting) is required along property lines which abut residential zones. Trees shall be planted at a minimum interval of 25 feet; a mix of evergreens and deciduous trees shall be used in the buffer zone.
- A mix of evergreen (coniferous) and deciduous trees shall be used within parking areas.
- Buffer areas shall include a mix of evergreen (coniferous) and deciduous trees.
- 75% of landscape areas must be covered with living, vegetative material. High-water use turf must be limited in application to 20% of the landscaped area.
- Perimeter walls shall comply with the City's *Design Manual for Subdivision Access and Perimeter Walls*.
- No chain-link, razor wire (concertina) or plastic vinyl fencing is permitted.
- Low walls 2 ½ to 3 feet high shall be used to screen parking areas adjacent to streets. The walls shall integrate with building materials/colors.

#### Architecture

- Building design shall be architecturally integrated within the site and contextual to buildings within the vicinity.
- All canopies and ancillary structures shall be architecturally integrated with main buildings. Special consideration shall be given to roof structures, including materials.
- The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or the predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
- All roof penetrations shall be painted to match roof color or general building color.
- The front facade of all buildings shall have canopies, portals or awnings along the entire facade length providing pedestrians with shade. In the absence of architectural shading, shade trees shall be planted in 5 x 5 foot planters at a distance of 25 feet on center along the front facade.
- No generic franchise building elevations or canopies are permitted.
- No plastic or vinyl building panels, awnings or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
- No chainlink, razor wire or plastic/vinyl fencing is permitted.
- No freestanding cell towers or antenna shall be permitted, antenna shall be integrated into the building architecture.
- ATM's shall be architecturally integrated with building design.

- Loading docks shall be screened by walls and covers that are architecturally integrated with the building.
- Refuse enclosures shall be compatible in design, color and material with building architecture. The gates shall be opaque; chain link gates are not allowed.
- Drive through facilities shall be shaded with architecturally integrated canopies.

#### Signage

- Monument signs which are integrated with building colors and materials are the only free standing signs allowed.
- Building-mounted signs shall consist of individual channel letters. No illuminated plastic panel signs are allowed except logos.

#### Lighting

- Light fixtures shall be a maximum of 25 feet high. The light fixtures shall be fully shielded horizontal lamps so that no fugitive light shall escape beyond the property line. All light fixtures shall be full-cutoff type to prevent fugitive light; no light source shall be visible from the site perimeter.

#### *Concerns of Reviewing Agencies / Pre-Hearing Discussion*

As per the comments from the Environmental Health Department: "This site appears to be within 1000 feet of the former South Eubank Landfill. Landfill gas generated from former landfills can become a health and safety issue for workers or occupants. To protect against risks associated with landfill gas, project should include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans should include risk abatement measures."

#### *Neighborhood Concerns*

No correspondence from any interested parties has been received by the Planning Department at the time this staff report was written.

#### *Conclusions*

The request for annexation is justified as per the policies of *R-54-1990*. The request furthers the applicable Goals and policies of the *Comprehensive Plan*.

The request for a zone map amendment to establish IP zoning is justified as per the policies and requirements of *R-270-1980*. The request furthers the applicable goals and policies of the *Comprehensive Plan*.

The request for approval of a Master Development Plan is dependent on approval of the annexation and zone map amendment requests by the City Council. It furthers the applicable Goals and policies of the *Comprehensive Plan* and will meet the *Zoning Code* requirements for a Master Development Plan with some additions and changes.

The submitted Master Development Plan will be adequate with some additions and changes.

*FINDINGS - 00114 00000 000715 - Annexation*

1. This is a request for annexation of an approximately 20 acre site located on Eubank Boulevard SE, south of Gibson Boulevard. This request is accompanied by a request for a zone map amendment to establish City IP zoning.
2. Annexation of the subject site furthers the applicable Goals and policies of the *Comprehensive Plan* by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
3. Annexation of the subject site furthers and fulfills the applicable policies of *R-54-1990*. The site is designated by the *Comprehensive Plan* as Developing Urban and annexation of such areas into the City is desired and encouraged. The site is contiguous to the City limits, has provision for convenient street access to the City, and has reasonable boundaries for delivery of public services.
4. A pre-annexation agreement is not necessary for this annexation request as City utilities are readily available to the subject site and provision of services can be handled at the Development Review Board during the platting process.

*RECOMMENDATION*

That a recommendation for APPROVAL of 00114 00000 000715, a request for annexation of a tract of land in Section 33, T10N, R4E, in the North ½ of the SW ¼ of the NW ¼, be forwarded to the City Council, based on the preceding Findings.

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*FINDINGS - 00110 00000 00716 - Zone Map Amendment*

1. This is a request for a zone map amendment to establish IP zoning for an accompanying annexation request of approximately 20 acres, located on Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies a request for annexation of the subject site.
  
2. The requested zoning furthers the applicable Goals and policies of the *Comprehensive Plan* by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
  
3. The requested zoning furthers and fulfills the policies of *R-270-1980*. The proposed zoning will further stabilize the land use in the area as a industrial, research and technology park. The existing zoning is inappropriate because of changed neighborhood or community conditions in the form of annexation of the subject site. Also, a different use category is more advantageous to the community as articulated in the *Comprehensive Plan*. This change of zone will not be harmful to adjacent property, the neighborhood or the community.
  
4. As required by the Zoning Code, this request for a change to IP zoning is accompanied by a Master Development Plan for the subject site.

*RECOMMENDATION*

That a recommendation for APPROVAL of 00110 00000 000716, a request for establishment of IP zoning for a tract of land in Section 33, T10N, R4E, in the North ½ of the SW 1/4 of the NW 1/4, be forwarded to the City Council, based on the preceding Findings.

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*FINDINGS - 00128 00000 00718 - Master Development Plan*

1. This is a request for approval of a Master Development Plan for an accompanying zone map amendment request to IP zoning, for an approximately 20 acre site, located on Eubank Boulevard SE, south of Gibson Boulevard.
2. Approval of this Master Plan is dependent on City Council approval of the accompanying annexation and zone map amendment requests.
3. The master plan submittal furthers the applicable Goals and Policies of the *Comprehensive Plan* by providing the framework for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
4. The master plan submittal will meet the *Zoning Code* requirements for a Master Development Plan with some additions and changes.
5. This site appears to be within 1000 feet of the former South Eubank Landfill. Landfill gas generated from former landfills can become a health and safety issue for workers or occupants. To protect against risks associated with landfill gas, the project should include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans should include risk abatement measures.

*RECOMMENDATION*

APPROVAL of 00128 00000 00718, a master development plan for a tract of land in Section 33 T10N, R4E, in the North ½ of the SW 1/4 of the NW 1/4, based on the preceding Findings and subject to the following Conditions of Approval.

*CONDITIONS OF APPROVAL - 00128 00000 00718 - Master Development Plan*

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
2. The site plan shall provide additional detail to specify approximate locations or relationships of separate pedestrian and vehicular access and circulation:
  - a. East/west public trail access through the site shall be maintained in one of the following ways: 1) provision of a 20' east/west public trail easement on the south side of the property, 2) east/west internal public trail connection, or 3) provision of an east/west on-street bike facility.
  - b. Construction of an 8'-10' asphalt trail on Eubank for the length of the property in-lieu of sidewalk. This trail shall be separated from the street by a 5' buffer.
  - c. The Design Guideline Criteria shall provide for buffering of the pedestrian circulation system from vehicles traveling on the internal streets. This buffer shall occur in the form of landscaping, wider sidewalks, on-street bicycle lanes, or on-street parking.
3. Notes shall be added to the Master Development Plan, the Master Landscape Plan, and the Design Guidelines - Criteria stating: "Individual site plans shall have landscaping on at least fifteen percent of the net lot area."
4. The utility plan shall be revised. The proposed dead end water system is not acceptable. A water and sanitary sewer serviceability statement shall be requested and completed prior to DRB action.
5. The following guidelines shall be added to the submitted design guidelines - criteria, and the submitted design guidelines - criteria amended accordingly:
  - a. The allowed parking shall be equal to the required parking plus 10%.
  - b. ADA-compliant parking shall be located adjacent to main building entries.
  - c. Cross-access provisions between adjoining parcels are required

- d. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
- e. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by permanently anchored tire stops, bollards or raising the walk to provide for a 6 foot wide clear pedestrian area (.assume a 2' overhang for cars).
- f. Shaded pedestrian access shall be provided, including a clear 6-foot-wide path with adjacent shade trees spaced 25-feet on center within planters that have a minimum interior dimension of 5 feet square.
- g. A sidewalk with a minimum clearance of 8 feet shall be provided along the front of smaller buildings (4,000 square feet or less).
- h. A shaded sidewalk that is a minimum of 15-feet-wide shall be provided along the front of larger buildings (more than 4,000 square feet). Shade can be provided with architecturally integrated portals or canopies, or by trees placed at intervals of 25 feet in planters with a minimum interior dimension of 5 feet x 5 feet.
- i. A continuous sidewalk that is a minimum of 6-feet wide shall be located around the perimeter of larger buildings (more than 4,000 square feet) to provide pedestrian connections between parking areas and entrances.
- j. An outdoor patio space, minimum 250 square feet, with tables and seating shall be provided for each building. The patio shall have adequate shading provided by trees and/or a shade structure that integrates with building architecture.
- k. Convenient Pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways. A minimum 6-foot clear pathway is required with shade trees spaced at 25 foot intervals (as practical) in planters with interior dimensions of 5 x 5 feet.
- l. Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
- m. A covered and secured bicycle storage area that is a minimum of 200 square feet in size is required for each building.
- n. Each building shall provide a convenient shower facility available to bicyclists and other employees.
- o. The following measures to encourage non-vehicular travel are required:
  - On site bicycle lockers and/or a secured and covered bicycle storage area
  - Car/vanpool preferred parking near the entrances to buildings that is clearly demarcated for this purpose.
- p. A 10-foot wide landscape buffer (with trees at least 8-feet high at the time of planting) is required along property lines which abut residential zones. Trees shall be planted at a minimum interval of 25 feet; a mix of evergreens and deciduous trees shall be used in the buffer zone.

- q. A mix of evergreen (coniferous) and deciduous trees shall be used within parking areas.
- r. Buffer areas shall include a mix of evergreen (coniferous) and deciduous trees.
- s. 75% of landscape areas must be covered with living, vegetative material. High-water use turf must be limited in application to 20% of the landscaped area.
- t. Perimeter walls shall comply with the City's *Design Manual for Subdivision Access and Perimeter Walls*.
- u. No chain-link, razor wire (concertina) or plastic vinyl fencing is permitted.
- v. Low walls 2 ½ to 3 feet high shall be used to screen parking areas adjacent to streets. The walls shall integrate with building materials/colors.
- w. Building design shall be architecturally integrated within the site and contextual to buildings within the vicinity.
- x. All canopies and ancillary structures shall be architecturally integrated with main buildings. Special consideration shall be given to roof structures, including materials.
- y. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or the predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
- z. All roof penetrations shall be painted to match roof color or general building color.
- aa. The front facade of all buildings shall have canopies, portals or awnings along the entire facade length providing pedestrians with shade. In the absence of architectural shading, shade trees shall be planted in 5 x 5 foot planters at a distance of 25 feet on center along the front facade.
- bb. No generic franchise building elevations or canopies are permitted.
- cc. No plastic or vinyl building panels, awnings or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
- dd. No chainlink, razor wire or plastic/vinyl fencing is permitted.
- ee. No freestanding cell towers or antenna shall be permitted, antenna shall be integrated into the building architecture.
- ff. ATM's shall be architecturally integrated with building design.
- gg. Loading docks shall be screened by walls and covers that are architecturally integrated with the building.
- hh. Refuse enclosures shall be compatible in design, color and material with building architecture. The gates shall be opaque; chain link gates are not allowed.
- ii. Drive through facilities shall be shaded with architecturally integrated canopies.

- jj. Monument signs which are integrated with building colors and materials are the only free standing signs allowed.
  - kk. Building-mounted signs shall consist of individual channel letters. No illuminated plastic panel signs are allowed except logos.
  - ll. Light fixtures shall be a maximum of 25 feet high. The light fixtures shall be fully shielded horizontal lamps so that no fugitive light shall escape beyond the property line. All light fixtures shall be full-cutoff type to prevent fugitive light; no light source shall be visible from the site perimeter.
6. To protect against risks associated with landfill gas, the project shall include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans shall include risk abatement measures prior to final sign off at DRB.
7. Public Works, Transportation Conditions:
- a. Each solid and dashed line indicating rights-of-way and easements or delineated area on the master plan shall be identified and clarified on the drawing.
  - b. Dedication of adequate right-of-way for Eubank Boulevard, a principal arterial with a right-of-way of 124 feet.

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Russell Brito  
Planner

RB/ac

cc: NM Commissioner of Public Lands, 310 Old Santa Fe Trail, P.O. Box 1148, Santa Fe, NM 87504

Dekker/Perich/Sabatini, 6801 Jefferson Blvd. NE, Ste 100, Albuquerque, NM 87109

*Attachments*

## *CITY OF ALBUQUERQUE AGENCY COMMENTS*

### *PLANNING DEPARTMENT*

#### Zoning Code Services

"Reviewed, no comment."

### *PUBLIC WORKS DEPARTMENT*

#### Transportation Development Services:

Comments to be transmitted under separate cover.

#### Utility Development:

No adverse comment on annexation or zoning. Given the somewhat Spartan nature of the master development plan, meaningful comment is difficult. The utility plan must be revised. The proposed dead end water system would not be acceptable. A water and sanitary sewer serviceability statement must be requested and completed prior to DRB action.

#### Traffic Engineering Operations:

Access points and good visibility will be essential in this area, complicated by the Sandia Base entrance.

#### Hydrology:

The Hydrology Section has no objection to the subject request.

#### Transportation Planning:

The drawings accompanying this application seem to conflict as to the size and dimensions of the property to be annexed. Also, the "Master Development Site Plan" (Sheet 1) does not clarify the various solid and dashed lines indicating rights-of-way and easements. We recommend that each line or delineated area be identified or explained on the drawing. Our concern is for Eubank street right-of-way, both existing and future. Existing right-of-way may or may not be 108 feet, but these drawings do not clarify that or anything else about existing conditions or things to be newly achieved by means of this plan (or plat?). This matter should be addressed prior to approval, not as a condition of approval.

### *ENVIRONMENTAL HEALTH DEPARTMENT*

#### Air Quality Division

"No comment."

#### Environmental Services Division

This site appears to be within 1000 feet of the former South Eubank Landfill. Has the site been screened for the presence of landfill gas or are there plans to perform such a screen?

Concern: Landfill gas generated from former landfills can become a health and safety issue for workers or occupants.

Suggestion: To protect against risks associated with landfill gas, project should include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans should include risk abatement measures.

### *NEIGHBORHOOD SERVICES*

"No association."

### *PARKS AND RECREATION*

#### *Design & Development*

The following language shall be added to the Master Development Plan: East/west public trail access through the site will be maintained in one of the following ways: 1) provision of a 20' east/west public trail easement on the south side of the property, 2) east/west internal public trail connection, or 3) provision of an east/west on-street bike facility.

Additionally, applicant will be required to construct an 8'-10' asphalt trail on Eubank for the length of the property in-lieu of sidewalk. This trail shall be separated from the street by a 5' buffer.

### *OPEN SPACE DIVISION*

"No adverse comment."

### *POLICE DEPARTMENT/Planning*

Traffic volumes  
lighting issues  
maintenance of landscaping

### *SOLID WASTE MANAGEMENT DEPARTMENT*

#### *Refuse Division*

Approved on condition, will comply with all SWMD ordinances, requirements and regulations. T.L. Baca 761-8142

*FIRE DEPARTMENT/Planning*

"No adverse comment."

*TRANSIT DEPARTMENT*

"The Design Guideline Criteria should provide for buffering of the pedestrian circulation system from vehicles traveling on the internal street. This buffer should occur in the form of landscaping wider sidewalks, on-street bicycle lanes, or on-street parking."

*COMMENTS FROM OTHER AGENCIES:*

*BERNALILLO COUNTY*

*ALBUQUERQUE METROPOLITAN FLOOD CONTROL AUTHORITY*

"No objection. See City Hydrology comments."

*ALBUQUERQUE PUBLIC SCHOOLS*

"No adverse comment."

*MIDDLE RIO GRANDE COUNCIL OF GOVERNMENTS*

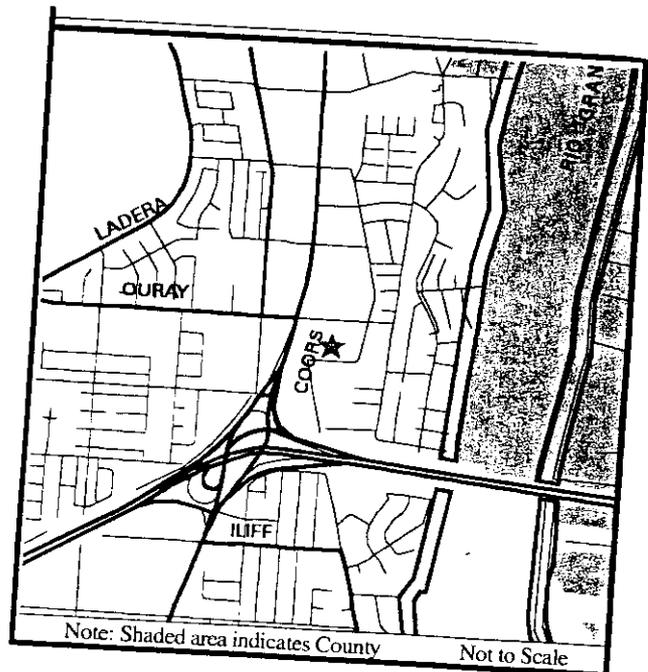
The Long Range Roadway System designates Eubank Boulevard as a principal arterial which requires 124 feet of right-of-way. Adequate right-of-way for Eubank should be preserved.



## NOTICE OF PUBLIC HEARING

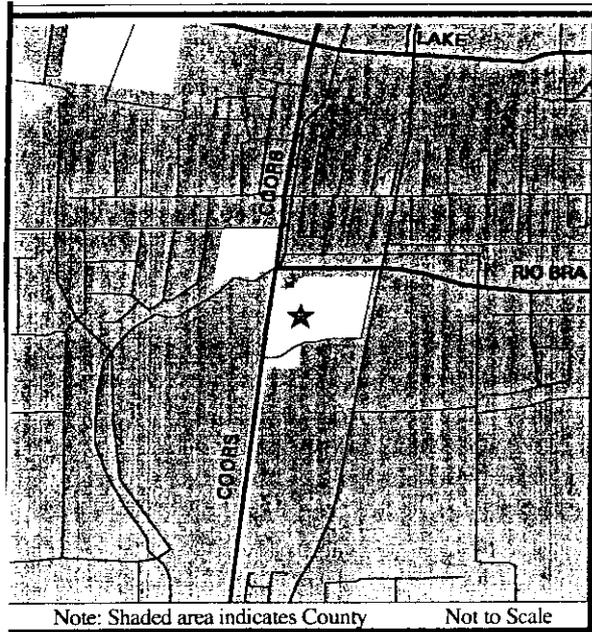
Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a public hearing on Thursday, August 17, 2000 at 8:00 a.m., in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following items:

00128 00000 00870 Tierra West, LLC, agents for Walmart Stores, Coors Ltd, RRG, Repetto,  
00128 00000 00871 Komadina, Dolde Trust, Valencia Partners, Richard & Susan Saylor requests  
Project # 1000188 approval of a site development plan for subdivision plus approval of a site  
development plan for building permit for a portion of Tract 330 in Unit 8 of a  
portion of Tracts allotted from the Town of Atrisco Grant, Tract 331-A, Town of  
Atrisco Grant, Tract 332 in Unit 8, a portion of tracts allotted from the Town of  
Atrisco Grant, Tract A-2122-A of Northeast Unit, Town of Atrisco Grant, a  
0.3074 acre portion of Tract Lettered A-14 in the Northeast Unit of Town of  
Atrisco Grant, Tract A-19-C2, Northeast Unit, Town of Atrisco Grant, Tract A-  
1-A Lands of Ann Komadina, 1/9 interest; and undivided interest, zoned SU-1  
for C-2, located on Ouray Road NW between Coors Boulevard and Quail Road  
containing approximately 33.4339 acres. (H-11) Russell Brito, Staff Planner



- 00128 00000 00894 Project #1000645 Nims, Calvani & Assoc., agents for City of Albuquerque, requests approval of a site development plan for building permit for El Rancho Atrisco (Ladera Golf Course), zoned SU-1, located on Ladera Drive NW between Sequoia and Redlands, containing approximately 1.2 acres. (G-11, G-10 & H-10) Cynthia Borrego Archuleta, Staff Planner
- 00128 00000 00897 Project #1000421 Consensus Planning, Inc., agents for Rigel Corporation dba Krispy Kreme Doughnuts, request approval of a site development plan for building permit for Tract D1, Cottonwood Corners, located on NM528 between Coors by Pass and Ellison Drive, containing approximately 1.4 acres. (A-14) Bob Torres, Staff Planner
- 00128 00000 00899 Project # 100648 Advanced Engineering and Consulting, LLC, agents for Zuni Development LLC, request approval of a site development plan for building permit for Tracts 4 and 5, Lands of C.H. Hall, zoned SU-1 for MH, located on 90<sup>th</sup> Street NW between Volcano Road and Bluewater Road, containing approximately 10 acres. (K-9) Russell Brito, Staff Planner
- 00128 00000 00904 Project # 1000060 Herb Denish and Associates, Inc., agents for John Hammons Industries, request approval of a site development plan for building permit for Tracts B and C, Gateway Subdivision, zoned SU-2/C-3, located on Lomas Boulevard NE between Interstate 25 and Woodward Place, containing approximately 9.35 acres. (J-15) Russell Brito, Staff Planner
- 00128 00000 00906 Rick Bennett Architect, agent for Conway Oil Co., request approval of a site development plan for building permit for lot A, Tract A, North Albuquerque Acres, zoned SU-1 for C-2, located on the southwest corner of Louisianan and Paseo del Norte, containing approximately 2.7 acres. (D-18) Debbie Stover, Staff Planner
- 00128 00000 00915  
00128 00000 00917 Project #1000651 Tierra West LLC, agents for SCM Properties Co., requests approval of a site development plan for subdivision purposes plus approval of a site development plan for building permit for Tract A-29A, Town of Atrisco Grant Northeast, zoned SU-1 for PDA C-1 Uses and Office located on Coors Boulevard between Redlands Road and Pheasant Avenue, containing approximately 3.4116 acres. (G-11) Bob Torres, Staff Planner
- 00110-00000-00604  
00128 00000 01003 (Project #1000501) Thanh Nguyen, agent for Susan Mirabal, request a Zone Map Amendment from R-T to SU-1 for a Church and approval of a site development plan for subdivision for Lots 17 and 18, Block 8, Casas Serenas, located at 419 Rhode Island, SE between Bell Street, SE and Trumbull Street, SE, containing approximately 0.3054 acres. (L-19) Debbie Stover, Staff Planner

- 00110 00000 00787 Keith MacDuffee, agent for Southwest Surveying Co Inc., request a zone map  
 00128 00000 00788 amendment from C-1 to SU-1 for RT plus approval of a site development plan  
 Project # 1000065 for subdivision purposes for Lot 40, Block 6, Unit 1, Casa Grande Estates,  
 located on Candelaria between Tramway Boulevard and Matador Drive,  
 containing approximately .92 acres. (H-23) Debbie Stover, Staff Planner
- 00110 00000 00844 Livia Strinbu, agent for Mike Tabrizian request a zone map from C-1 to C-2 for  
 Project # 1000617 the northwest corner of N/2 of Tract 1, Mesa Park Addition, located on San  
 Pedro SE and Zuni between Zuni and Bell, containing approximately .30 acre.  
 (L-18) Mary Piscitelli, Staff Planner
- 00110 00000 00887 Tierra West, LLC agents for Plumbers and Steamfitters #412, request a zone  
 Project #1000642 map amendment from O-1/R-3/C-1 to C-1 for the north half of Tract 1, Mesa  
 Park Addition, located on San Pedro Drive SE between Bell Avenue and Zuni  
 Road, containing approximately 1.239 acres. (L-18) Bob Paulsen, Staff Planner
- 00110 00000 00888 Rodey, Dickason, Sloan, Akin & Robb, PA, agents for KOAT-TV requests a  
 00110 00000 00889 zone map amendment from C-1 to SU-1 for TV Station, satellite dishes, related  
 Project # 1000643 facilities and helipad, to allow helipad on radio/TV station site plus approval of  
 a site development plan for building permit for Lot A-1, Block 1, Montgomery  
 Heights, located on Carlisle and Comanche NE, between Montgomery and  
 Comanche, containing approximately 3.6 acres. (G-16) Debbie Stover, Staff  
 Planner
- 00110 00000 00895 Insite Architecture + Development, agents for Capital Aspects requests a zone  
 00128 00000 00896 map amendment from SU-1, P-1 to SU-1 plus approval of a site development  
 Project #1000646 plan for building permit for Tract H-2, New Holiday Park Addition, located on  
 Montgomery Boulevard between Juan Tabo and Tramway, containing  
 approximately .8264 acre. (F-22) Mary Piscitelli, Staff Planner
- 00110 000000 00898 John A Myers, agent for Sandia Foundation, a New Mexico Corporation  
 Project # 1000647 requests an amendment to the Sawmill Sector Development Plan plus a zone  
 map amendment from S-MI to P-R for Tract 238C-1-A-2-A, Stewart Walker  
 Addition, located on 20<sup>th</sup> Street between Mountain Road and Bellamah Avenue,  
 containing approximately .8 acre. (J-13) Debbie Stover, Staff Planner
- 00128 00000 00907 DCSW, agents for John J. Mahoney & Assoc., requests approval of a site  
 Project # 1000650 development plan for building permit for Lots 1A and 2A, Lands of Lamonica  
 and Wenk, located at the southeast corner of the intersection of Coors and Rio  
 Bravo Boulevards SW, containing approximately 26 acres. (P-10) Russell  
 Brito, Staff Planner



00138 00000 00911 Tierra West LLC, agents for Mock Homes, request annexation and  
 00114 00000 00576 establishment of R-D zoning plus an amendment to the La Cueva Sector  
 Project # 1000488 Development Plan for Lots 1-5 and 28-32, Block 12, Tract 3, Unit 3, North  
 Albuquerque Acres located on Ventura Avenue NE between Eagle Rock  
 Avenue and Oakland Avenue, containing approximately 10 acres. (C-20)  
 Carmen Marrone, Staff Planner

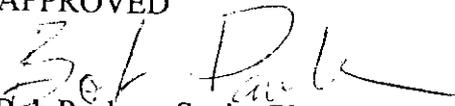
00114 00000 00715 Dekker/Perich/Sabatini, agents for NM Commissioner of Public Lands, requests  
 00110 00000 00716 annexation and establishment of IP zoning plus a approval of a master  
 00128 00000 00718 development plan for a Tract of land in Section 33 T10N, R4E, in the North ½  
 Project # 1000554 of the SW ¼ of the NW ¼, located on Eubank Boulevard SE, south of Gibson  
 Boulevard, containing approximately 20 acres. (M-21) Russell Brito, Staff  
 Planner

Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00 and between 2:00 and 4:00 p.m., Monday through Friday, or you may call April Candelaria at 924-3886. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at the public hearing should contact April Candelaria at 924-3886 (VOICE) or 924-3361 (TTY). TTY users may also access the voice number via the New Mexico Relay Network by calling toll free: 1-800-659-8331.

Chuck Gara, Chairman  
Environmental Planning Commission

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL AUGUST 2, 2000.

APPROVED

  
Bob Paulsen, Senior Planner,  
Development Services Division, Planning Department

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT - DEVELOPMENT SERVICES DIVISION  
PROPERTY OWNERSHIP LIST

Meeting Date: 8/17/00

Zone Atlas Page: M-21-E

Notification Radius: 100 Ft.

App# <u>00114-00000-00715</u>
Proj# <u>1000554</u>
Other# <u>00110-00000-00716</u>
<u>00128-00000-00718</u>

Cross Reference and Location: \_\_\_\_\_

Applicant: NM Commissioner of Public Lands ✓

Address: 310 Old Santa Fe Trail, Santa Fe NM 87504

Agent: Dekker / Perich / Sabatini ✓

Address: 6801 Jefferson NE, #100, 87109

SPECIAL INSTRUCTIONS

NM Commissioner of Public Lands ✓

Po Box 1148

Santa Fe, NM 87504

Notices Must be mailed from the  
City 15 days prior to the meeting.

Date Mailed: 8/12/00

Signature: [Handwritten Signature]

PROPERTY OWNERSHIP / LEGAL LIST

App# \_\_\_\_\_  
 Proj# \_\_\_\_\_

Date: \_\_\_\_\_

Page 1 Of 1

Zone Atlas Page	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address
M-21	1022055	061-302	201-15	✓
		199-328	22	✓
		035-289	05	CA ✓ "NO owner"
		099-289	10	CA ✓ "NO owner"
		020-414	07	✓ mp
		061-415	10	✓ Govt
		110-415	05	✓ mp <sup>2</sup>
		201-400	101-100	✓
		080-448	201-08	✓
		042-448	09	✓ mp <sup>2</sup>
		044-448	20	✓ mp <sup>2</sup>
		080-448	21	✓ mp <sup>2</sup>
M-20	1020055	061-061	101-44	✓

1021055

102105506436220115

\*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE

LEGAL: TR O F LA ND IN SEC 33 T10N R4E IN N1/2 SW1/4 NW1/4 LAND USE:

PROPERTY ADDR: 00000 1600 EUBANK BLV SE

OWNER NAME: STATE OF NEW MEXICO

OWNER ADDR: 00000

PO BOX 1148

SANTA FE

NM 87501

102105519932820122 LEGAL: SE 1 /4 N W 1/4 SEC 33 T10N R4E CONT 40 AC LAND USE:  
PROPERTY ADDR: 00000 EUBANK DR SE  
OWNER NAME: BOARD OF EDUCATION  
OWNER ADDR: 00000 PO BOX 25704 ALBUQUERQUE NM 87125

102105503528920105CA LEGAL: LAND USE:  
PROPERTY ADDR: 00000  
OWNER NAME:  
OWNER ADDR: 00000

102105509928920110CA LEGAL: LAND USE:  
PROPERTY ADDR: 00000  
OWNER NAME:  
OWNER ADDR: 00000

102105502041420167 LEGAL: LT 1 BLK 4 SUBD PLAT FOR SANDIA RESEARCH PARK CONT LAND USE:  
PROPERTY ADDR: 00000 RESEARCH RD  
OWNER NAME: OPPORTUNITY RESEARCH PARK  
OWNER ADDR: 08019 EDITH NE ALBUQUERQUE NM 87113

102105506141520166 LEGAL: LT 2 BLK 4 SUBD PLAT FOR SANDIA RESEARCH PARK CONT LAND USE:  
PROPERTY ADDR: 00000 N/A  
OWNER NAME: CITY OF ALBUQUERQUE  
OWNER ADDR: 10420 RESEARCH RD SE ALBUQUERQUE NM 87123

102105511041520165 LEGAL: LT 3 BLK 4 SUBD PLAT FOR SANDIA RESEARCH PARK CONT LAND USE:  
PROPERTY ADDR: 00000 RESEARCH RD SE  
OWNER NAME: OPPORTUNITY RESEARCH PARK  
OWNER ADDR: 08019 EDITH BL NE ALBUQUERQUE NM 87113

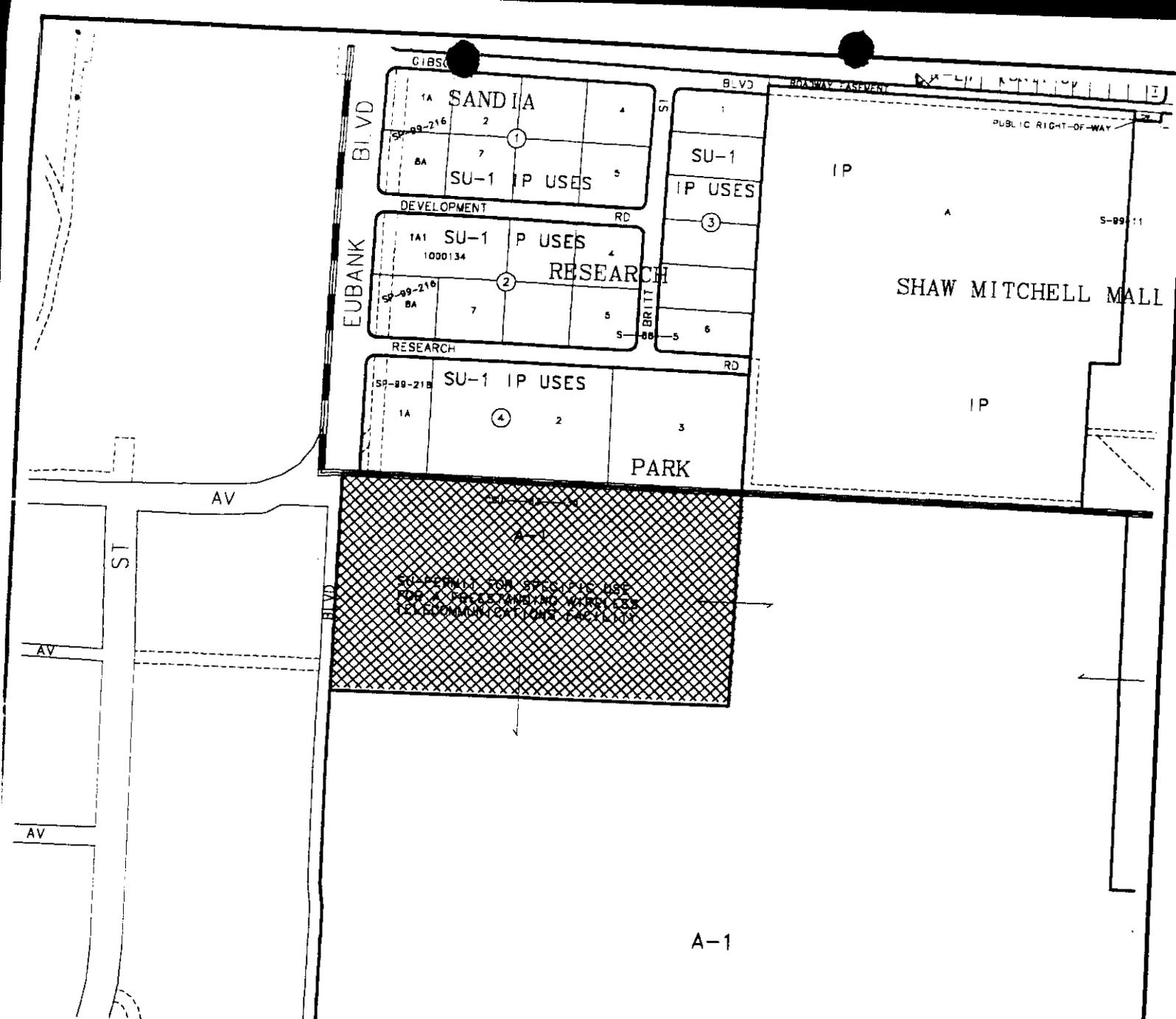
102105526146010160 LEGAL: NE O F NW & NW OF NE CONT 80.00 AC LAND USE:  
PROPERTY ADDR: 00000 11100 GIBSON SE  
OWNER NAME: SHAW, MITCHELL & MALLORY  
OWNER ADDR: 11100 GIBSON SE ALBUQUERQUE NM 87123

102105502044820168 LEGAL: LT 8 BLK 2 SUBD PLAT FOR SANDIA RESEARCH PARK CONT LAND USE:  
PROPERTY ADDR: 00000 10401 RESEARCH RD SE  
OWNER NAME: BUILDING SOLUTIONS INC  
OWNER ADDR: 02275 CANYON SONG AV LAUGHLIN NV 89029

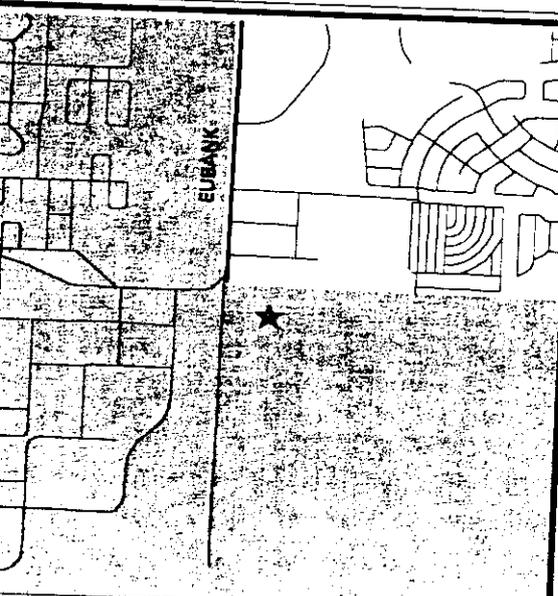
102105504244820169 LEGAL: LT 7 BLK 2 SUBD PLAT FOR SANDIA RESEARCH PARK CONT LAND USE:  
PROPERTY ADDR: 00000 RESEARCH RD  
OWNER NAME: OPPORTUNITY RESEARCH PARK  
OWNER ADDR: 08019 EDITH NE ALBUQUERQUE NM 87113

102105506444820170 LEGAL: LT 6 BLK 2 SUBD PLAT FOR SANDIA RESEARCH PARK CONT LAND USE:  
PROPERTY ADDR: 00000 RESEARCH  
OWNER NAME: OPPORTUNITY RESEARCH PARK  
OWNER ADDR: 08019 EDITH NE ALBUQUERQUE NM 87113

102105508644820171 LEGAL: LT 5 BLK 2 SUBD PLAT FOR SANDIA RESEARCH PARK CONT LAND USE:  
PROPERTY ADDR: 00000 RESEARCH  
OWNER NAME: OPPORTUNITY RESEARCH PARK  
OWNER ADDR: 08019 EDITH NE ALBUQUERQUE NM 87113



A-1



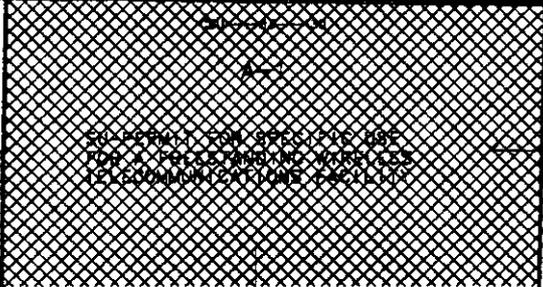
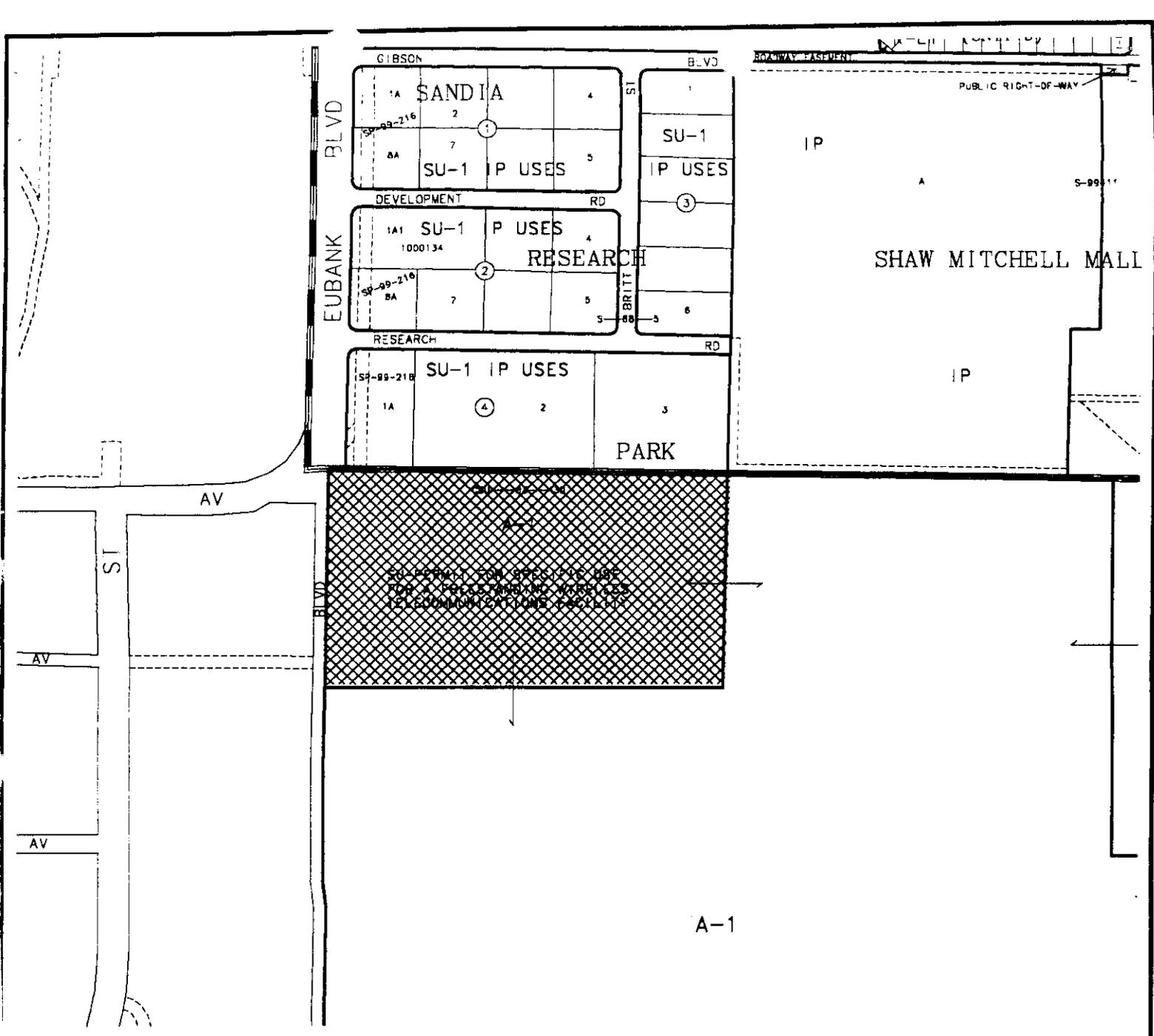
Note: Shaded area indicates County Not to Scale

### ZONING MAP

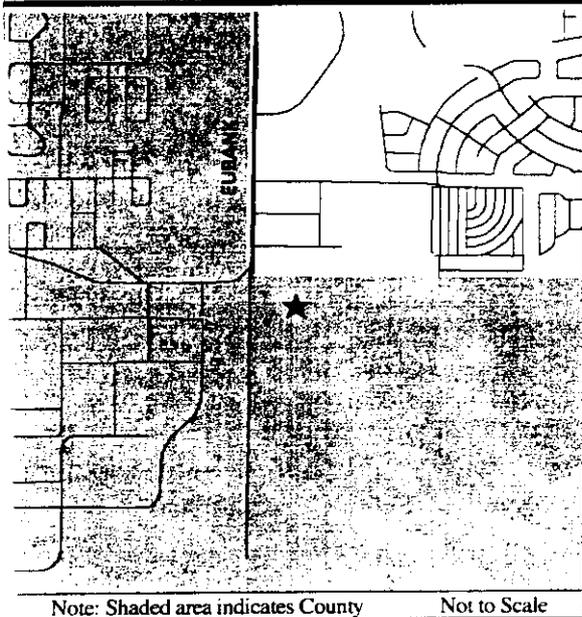


Scale 1" = 460'

PROJECT NO. 1000554
HEARING DATE 08-17-00
MAP NO. M-21
APPLICATION NO. 00114-00000-00715 00110-00000-00716 00128-00000-00718



A-1



**ZONING MAP**



Scale 1" = 460'

**PROJECT NO.**  
1000554

**HEARING DATE**  
08-17-00

**MAP NO.**  
M-21

**APPLICATION NO.**  
00114-00000-00715  
00110-00000-00716  
00128-00000-00718

Note: Shaded area indicates County Not to Scale



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## INTER-OFFICE CORRESPONDENCE

**DATE:** August 3, 2000

**TO:** Lenora Chavez, Planning Department

**FROM:** Marcia A. Pincus, Albuquerque Environmental Health Department

**SUBJECT:** NM Commissioner of Public Lands - Approximate 20 Acre Tract Located Near the Former City of Albuquerque Eubank Landfill - Project # 1000554.

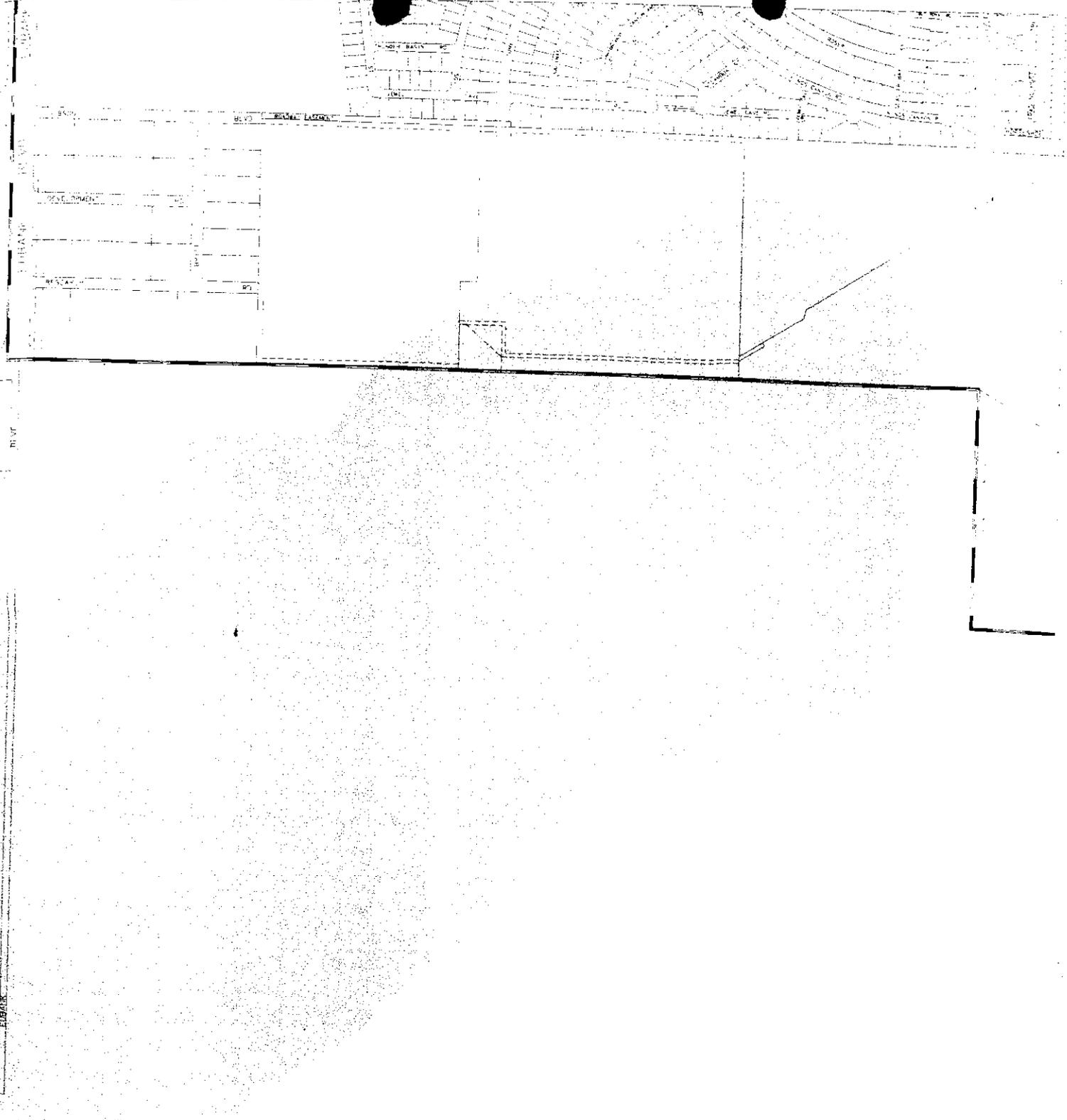
This approximate 20 acre tract is located within the 1000 foot radius of the former Eubank Landfill. Because of the proximity to a former landfill, there is a concern that landfill gas may be present on or near the site. Due to this condition, it is required by AFHD that any development proposed for this tract answer the following question concerning this property.

Has the site been screened for the presence of landfill gas or are there plans to perform such a screen? Landfill gas generated from former landfills can become a health and safety issue for workers or occupants. For this reason Albuquerque Environmental Health Department suggests the following in regard to any future development at the site.

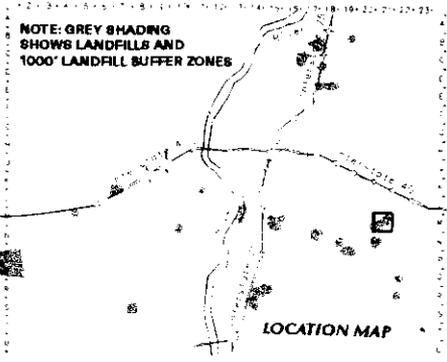
To protect against risks associated with landfill gas, construction activity/projects at this site should include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans should include risk abatement measures that are adequate to address all landfill gas potential risk and certified by a professional with landfill gas experience.

If you have any further questions, please contact me.

cc: Kevin Curran, Legal  
Janet Stephens, Planning  
File



NOTE: GREY SHADING SHOWS LANDFILLS AND 1000' LANDFILL BUFFER ZONES



LOCATION MAP



CITY OF Albuquerque  
 A l b u q u e r q u e G e o g r a p h i c I n f o r m a t i o n S y s t e m  
 P L A N N I N G D E P A R T M E N T  
 © Copyright 2000

— Municipal Limits

**Special LANDFILL Map**

**M-21**  
 April 06, 2000

Scale is Approximately 1" = 750'



RECEIVED

JUN 12 2000

Dekker/Perich/Sabatini

## INTER-OFFICE CORRESPONDENCE

**DATE:** June 12, 2000

**TO:** Fred Aguirre, City Engineer, Public Works Department

**FROM:** Marcia A. Pincus, Environmental Engineer, Albuquerque Environmental Health Department

**SUBJECT:** Twenty Acre Tract Located East of Fubank Boulevard and South of Gibson Boulevard

It is Albuquerque Environmental Health Department's (AEHD) understanding that during this phase of the project only administrative work is being performed in regards to the above referenced site. This administrative work, for the twenty acre tract, consists of requesting annexation of the tract, IP zoning, and approval of a Master Development Plan. Based on this understanding, AEHD recommends that any administrative requirements relative to this property be approved assuming all other planning requirements have been met by the applicants

cc: Kevin Curran, Legal Department  
Janet Stephens, Planning Department  
Lenora Chavez, Planning Department  
Bruce Thompson, Legal Department  
Lori Webber, Dekker/Perich/Sabatini



City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: August 18, 2000

**OFFICIAL NOTIFICATION OF DECISION**

NM Commissioner of Public Lands  
310 Old Santa Fe Trail  
P.O. Box 1148  
Santa Fe, NM 87504

FILE: 00114 00000 00715/00110 00000  
00716/00128 00000 00718

LEGAL DESCRIPTION: for a Tract of land in  
Section 33 T10N, R4E, in the North ½ of the SW ¼  
of the NW ¼, located on Eubank Boulevard SE,  
south of Gibson Boulevard, containing  
approximately 20 acres. (M-21) Russell Brito,  
Staff Planner

On August 17, 2000, the Environmental Planning Commission voted to recommend approval to the City Council 00114 00000 00715, annexation of a tract of land in Section 33, T10N, R4E, in the North ½ of the SW ¼ of the NW ¼, based on the following Findings:

**FINDINGS:**

1. This is a request for annexation of an approximately 20 acre site located on Eubank Boulevard SE, south of Gibson Boulevard. This request is accompanied by a request for a zone map amendment to establish City IP zoning.
  2. Annexation of the subject site furthers the applicable Goals and policies of the Comprehensive Plan by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
  3. Annexation of the subject site furthers and fulfills the applicable policies of R-54-1990. The site is designated by the Comprehensive Plan as Developing Urban and annexation of such areas into the City is desired and encouraged. The site is contiguous to the City limits, has provision for convenient street access to the City, and has reasonable boundaries for delivery of public services.
  4. A pre-annexation agreement is not necessary for this annexation request as City utilities are readily available to the subject site and provision of services can be handled at the Development Review Board during the platting process.
-

OFFICIAL NOTICE OF DECISION

AUGUST 17, 2000

00114 00000 00715/00110 00000 00716/00128 0000 00718

PAGE 2

On August 17, 2000, the Environmental Planning Commission voted to recommend approval to the City Council of 00110 00000 000716, a request for establishment of IP zoning for a tract of land in Section 33, T10N, R4E, in the North ½ of the SW ¼ of the NW ¼ based on the following Findings:

**FINDINGS:**

1. This is a request for a zone map amendment to establish IP zoning for an accompanying annexation request of approximately 20 acres, located on Eubank Boulevard SE, south of Gibson Boulevard. This request accompanies a request for annexation of the subject site.
2. The requested zoning furthers the applicable Goals and policies of the Comprehensive Plan by providing the opportunity for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
3. The requested zoning furthers and fulfills the policies of R-270-1980. The proposed zoning will further stabilize the land use in the area as a industrial, research and technology park. The existing zoning is inappropriate because of changed neighborhood or community conditions in the form of annexation of the subject site. Also, a different use category is more advantageous to the community as articulated in the Comprehensive Plan. This change of zone will not be harmful to adjacent property, the neighborhood or the community.
4. As required by the Zoning Code, this request for a change to IP zoning is accompanied by a Master Development Plan for the subject site.

On August 17, 2000, the Environmental Planning Commission voted to continue 00127 00000 00718 to the Environmental Planning Commission Public Hearing on September 21, 2000.

Sincerely,



for Robert R. McCabe, AIA, APA  
Planning Director

RM/RB/ac

cc: Dekker/Perich/Sabatini, 6801 Jefferson Blvd. NE, Ste 100, Albuquerque, NM 87109

# City of Albuquerque

## DEVELOPMENT REVIEW APPLICATION

Supplemental form		Supplemental form	
<b>ZONING</b>	<b>Z</b>	<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>
<input checked="" type="checkbox"/> Annexation or Map Amendment		<input type="checkbox"/> for Subdivision Purposes *	
<input type="checkbox"/> Sector Plan		<input type="checkbox"/> for Building Permit	
<input type="checkbox"/> Text Amendment		<input type="checkbox"/> Plan Amendment *	
<input type="checkbox"/> Special Exception	<b>E</b>	<input type="checkbox"/> Administrative Amendment	
		<input checked="" type="checkbox"/> Master Development Plan	
<b>SUBDIVISION</b>	<b>S</b>	<b>APPEAL / PROTEST of...</b>	<b>A</b>
<input type="checkbox"/> DRB Major Subdivision *		<input type="checkbox"/> Planning Director, Zoning	
<input type="checkbox"/> DRB Minor Subdivision		<input type="checkbox"/> Enforcement Officer, Zoning	
<input type="checkbox"/> Variance (Non-Zoning)	<b>V</b>	<input type="checkbox"/> Hearing Examiner, DRB, EPC,	
<input type="checkbox"/> Vacation (Public * & Private)		<input type="checkbox"/> Zoning Board of Appeals, LUCC	

\* Notification of the Recognized Neighborhood Association is required

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: NM Commissioner of Public Lands PHONE: 505-827-5760 Santa Fe  
 ADDRESS: 310 Old Santa Fe Trail, P.O. Box 1148 FAX: 505-827-5766 Santa Fe  
 CITY: Santa Fe STATE NM ZIP 87504 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner  
 AGENT (if any): Dekker/Perich/Subatini PHONE: 505-761-9700  
 ADDRESS: 6801 Jefferson Blvd., NE, Ste 100 FAX: 505-761-4222  
 CITY: Albq. STATE NM ZIP 87109 E-MAIL: \_\_\_\_\_

**SITE INFORMATION:**

DESCRIPTION OF REQUEST: Annexation / MDP / Establishment of Zoning - 1P  
Tract of land in Sec 33 T10 N, R4E, in the N'1/2 of the SW'1/4 of the NW'1/4  
 Lot or Tract No. UNPLATED / KIRTLAND AFB Block: 0000 Unit: \_\_\_\_\_  
 Subdiv. / Addn. UNPLATED / US GOVERNMENT  
 Current Zoning: COUNTY A-1 W/SU FOR TOWER Proposed zoning: CITY-1P  
 Zone Atlas page(s): M-21-Z No. of existing lots: 1 No. of proposed lots: 2  
 Total area of site (acres): 20.2683acs Density if applicable: dwellings per gross acre: 0 dwellings per net acre: 0  
 UPC No. 1-021-055-064-362-2-01-15 MRGCD Map No. \_\_\_\_\_  
 Within city limits? Yes No  but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? YES  
 LOCATION OF PROPERTY BY STREETS: On or Near: 1600 EUBANK SE ; on the east side of Eubank  
 Between: South of Gibson Blvd. and \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):  
CSU-91-29 County Zoning

SIGNATURE Lori D. Weber DATE 6-27-00  
 (Print) Lori D. Weber Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised May 2000

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>00114 - 00000 - 60713</u>	_____	\$ <u>270.00</u>
<input type="checkbox"/> All fees have been collected	<u>00110 - 00000 - 60714</u>	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	<u>00128 - 00000 - 60718</u>	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	\$ _____
	Hearing date <u>8-17-2000</u>		Total \$ <u>270.00</u>

J. Phing  
 Planner signature / date

Project # 1000554

**COMMISSIONER'S OFFICE**

Phone (505) 827-5760  
Fax (505) 827-5766

**ADMINISTRATION**

Phone (505) 827-5700  
Fax (505) 827-5853

**GENERAL COUNSEL**

Phone (505) 827-5713  
Fax (505) 827-4262

**PUBLIC AFFAIRS**

Phone (505) 827-1245  
Fax (505) 827-5766



**COMMERCIAL RESOURCES**

Phone (505) 827-5724  
Fax (505) 827-6157

**MINERAL RESOURCES**

Phone (505) 827-5744  
Fax (505) 827-4739

**ROYALTY MANAGEMENT**

Phone (505) 827-5772  
Fax (505) 827-4739

**SURFACE RESOURCES**

Phone (505) 827-5793  
Fax (505) 827-5711

**New Mexico State Land Office  
Commissioner of Public Lands  
Ray Powell, M.S., D.V.M.**

May 25, 2000

Chuck Gara, Chairman,  
Environmental Planning Commission  
6002<sup>nd</sup>, NW, Plaza del Sol, 3<sup>rd</sup> Floor  
Albuquerque, New Mexico 87102

Re: Request for Annexation; Request for IP Zoning; Request  
For EPC approval of Master Development Plan

Dear Chairman Gara:

Let this letter serve as authorization from the Commissioner of Public Lands for Dekker Perich Sabatini to act as agents for us. Specifically DPS will be filing applications to EPC for annexation, establishment of IP zoning and master development plan approval on behalf of the Commissioner of Public Lands. The subject property contains approximately 20 acres and is located on the east side of Eubank Blvd. south of Gibson Blvd.

Thank you, for your attention to this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Harry Relkin".

Harry Relkin,  
Assistant Commissioner

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: NM STATE LAND OFFICE Date of request: 5/25/00 Zone atlas page(s): M-21-Z

CURRENT: Zoning COUNTY A-1 W/SU FOR TOWER Legal Description - TRACT OF LAND IN SEC 33 T10N R24  
AGENT - DEKKER/PERILA/SABATINI Lot or Tract # IN N 1/2 SW 1/4 OF Block # —

Parcel Size (acres / sq.ft.) 19.31 ACRES Subdivision Name THE NW 1/4

### REQUESTED CITY ACTION(S):

Annexation	[ X ]	Sector Plan	[ ]	Site Development Plan:	Building Permit	[ ]
Comp. Plan	[ ]	Zone Change	[ X ]	a) Subdivision	Access Permit	[ ]
Amendment	[ ]	Conditional Use	[ ]	b) Build'g Purposes	Other	[ X ]
				c) Amendment		MASTER DEVELOPMENT PLAN

### PROPOSED DEVELOPMENT:

### GENERAL DESCRIPTION OF ACTION:

No construction / development	[ ]	# of units -	<u>N/A</u>
New Construction	[ X ]	Building Size -	<u>110,525</u> (sq. ft.) MAXIMUM TRACT A, Phase 1
Expansion of existing development	[ ]	FUTURE TRACT B	<u>110,137 SF MAX.</u>

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative Shon D. Welton Date 5/26/00  
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [  ] NO [ ] BORDERLINE [ ]

PWD, Dev. & Bldg. Services Div., Transportation Dev. Section - 2nd FL. 600 2nd St. NW Plaza del Sol Bldg. 924-3991 or 3994

THRESHOLDS MET? YES [  ] NO [ ] Mitigating reasons for not requiring TIS: Previously studied: [ ]

Notes: TIS must be initiated immediately, and must be complete prior to determination of infra-structure by DRB or annexation approval to City  
IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Joseph D. Montano 5/26/2000  
for TRAFFIC ENGINEER DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES [ ] NO [  ] BORDERLINE [ ]

ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 768-2600

THRESHOLDS MET? YES [ ] NO [  ] Mitigating reasons for not requiring AQIA: Previously studied: [ ]

Notes: TRIP GENERATION OF > 4,700 T/DAY WILL REQUIRE AN AQIA.  
IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

[Signature] 5/26/00  
ENVIRONMENTAL HEALTH DATE

Required TIS and / or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS	- SUBMITTED	<u>— / — / —</u>	_____	_____
	- FINALIZED	<u>— / — / —</u>	TRAFFIC ENGINEER	DATE
AQIA	- SUBMITTED	<u>— / — / —</u>	_____	_____
	- FINALIZED	<u>— / — / —</u>	ENVIRONMENTAL HEALTH	DATE

Accept: Joll

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH

September 7, 2000

Russell Brito  
City of Albuquerque Planning Department  
P.O. Box 1293  
Albuquerque, NM 87102

**Dekker/Perich/Sabatini**

architecture  
interiors  
planning  
engineering

RE: Case # 00128 00000 00718, State Land Office Eubank, SE  
20 Acre Annexation, Establishment of IP Zoning and Master Development Plan  
**Master Development Plan Conditions of Approval**

Dear Russell:

We have revised the Master Development Plan to reflect the EPC Conditions of Approval from the August 17, 2000 EPC hearing on this matter. As you will see, we also revised sketches on the "Design Guidelines Criteria, Sheet 5 of 5" for consistency with the conditions.

We concur with staff recommendations for Conditions of Approval dated August 17, 2000 with the following proposed changes in bold and strike-through.

Condition # and suggested language: (**Bold** text is new.)

1. Concur. (See General Note A on MDP.) The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each EPC condition.
2. Concur. (These items have been added to the MDP. See revised MDP and General Note B on the MDP.) The site plan shall provide additional detail to specify approximate locations or relationships of separate pedestrian and vehicular access and circulation:
  - a. East/west public trail access through the site shall be maintained in one of the following ways: 1) provision of a 20' east/west public trail easement on the south side of the property' 2) east/west internal public trail connection, or 3) provision of an east/west on-street bike facility.
  - b. Construction of an 8'-10' asphalt trail on Eubank for the length of the property in-lieu of sidewalk. This trail shall be separated from the street by a 5' buffer.
  - c. The Design Guideline Criteria shall provide for buffering of the pedestrian circulation system from vehicles traveling on the internal streets. This buffer shall occur in the form of landscaping, wider sidewalks, on-street bicycle lanes, or on-street parking.

■■■  
6801 Jefferson NE  
Suite 100  
Albuquerque NM  
87109  
505 761.9700  
fax 761.4222  
dps@dpsabq.com

To: Russell Brito  
Re: EPC Conditions State Land Office MDP  
September 7, 2000

- 2 -

3. Concur. (This note has been added. See General Note C on the MDP, General Note 1 on the Landscape Plan, and "D. Landscaping" on the Design Guidelines - Criteria Sheet.) Notes shall be added to the Master Development Plan, the Master Landscape Plan, and the Design Guidelines - Criteria stating: "Individual site plans shall have landscaping on at least fifteen percent of the net lot area."
4. Concur. (The Utility Plan will be revised to reflect this. See General Note J on the MDP.) The proposed dead end water system is not acceptable. A water and sanitary sewer serviceability statement shall be requested and completed prior to DRB action.
5. The following guidelines shall be added to the submitted Design Guideline - Criteria, and the submitted design guidelines - criteria amended accordingly:
  - a. and b. Concur. (See General Note 3 on the MDP.) **PARKING:** The allowed parking shall be equal to the required parking plus 10%. **ADA-compliant parking shall be located adjacent to main building entries.**
  - b. Concur. (See General Note 3 on the MDP.) ADA-compliant parking shall be located adjacent to main building entries.
  - c. (See General Note 4 on MDP.) Cross access provisions between adjoining parcels are required for **further subdivision of Tracts A & B should that occur.**
  - d. Concur. (See General Note 6 on the MDP.) Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
  - e. Concur. (See General Note 7 on the MDP.) Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by permanently anchored tire stops, bollards or raising the walk to provide for a 6 foot wide clear pedestrian area. (Assume a 2' overhang for cars.)
  - f. (See General Note 8 on MDP.) Shaded pedestrian access shall be provided **from Eubank for Tracts A and B, and from the east-west easement along the south property line for Tract B**, including a clear 6' wide path with adjacent trees spaced 25' on center. ~~with planters that have a minimum interior dimension of 5'.~~

To: Russell Brito  
Re: EPC Conditions State Land Office MDP  
September 7, 2000

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- g. (See General Note 9 on MDP.) A sidewalk with a minimum clearance of 8' shall be provided **(15' for multiple entry and/or multiple tenant buildings) along building sides where needed to provide direct connections from the pedestrian circulation system to the building entrance.** ~~along the front of smaller buildings (4000 SF or less).~~ **Shade shall be provided for these sidewalks when they are located along the west and south sides of buildings. Shade can be provided with architecturally integrated portals or canopies, or by trees placed at intervals of 25 feet in planters with a minimum interior dimension of 5 feet x 5 feet. Single tenant buildings shall provide a "plaza" at the main entrance of no less than 400 square feet.**
- h. ~~A shaded sidewalk that is a minimum of 15' wide shall be provided along the front of larger buildings. Shade can be provided with architecturally integrated portals or canopies, or by trees placed at intervals of 25 feet in planters with a minimum interior dimension of 5 feet x 5 feet. (This would be covered by "g" above, with the change from 15' to 8' wide.)~~
- i. ~~A continuous sidewalk that is a minimum of 6 feet wide shall be located around the perimeter of larger buildings (more than 4000 square feet) to provide pedestrian connections between parking areas and entrances. (This would be covered by "g" above.)~~
- j. (See General Note 33 on MDP.) An outdoor patio space, minimum 250 SF with tables and seating shall be provided for each **occupied building over 10,000 square feet.** The patio shall have adequate shading provided by trees and/or a shade structure that integrates with building architecture.
- k. Concur. (See General Note 10 on MDP.) Convenient pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways. A minimum 6-foot clear pathway is required with shade trees spaced at 25 foot intervals (as practical) in planters with interior dimensions of 5 x 5 feet.
- l. Concur. (See General Note 34 on MDP.) Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
- m. (See General Note 35 on MDP.) A covered and secured bicycle storage area that is a minimum of 200 square feet in size is required for each building **with 30 or more occupants per shift.**

To: Russell Brito  
Re: EPC Conditions State Land Office MDP  
September 7, 2000

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- n. (See General Note 36 on MDP.) Each building **with 30 occupants or more per shift** shall provide a convenient shower facility available to bicyclists and other employees.
- o. (See General Note 37 on MDP.) The following measures to encourage non-vehicular travel are required:
  - ~~On site bicycle lockers and/or a secured and covered bicycle storage area.~~  
(Same as "m" above.)
  - Concur. Car/vanpool preferred parking near the entrances to buildings that is clearly demarcated for this purpose.
- p. Concur. (See General Note 12 on MDP.) A 10-foot wide landscape buffer (with trees at least 8-feet high at the time of planting) is required along property lines which abut residential zones. Trees shall be planted at a minimum interval of 25 feet; a mix of evergreens and deciduous trees shall be used in the buffer zone, **and a minimum of a 6' high solid screen wall to screen parking, loading, refuse collection and delivery/storage areas is required where adjacent to residential zones.**
- q. Concur. (See General Note 13 on MDP.) A mix of evergreen (coniferous) and deciduous trees shall be used within parking areas.
- r. Concur. (See General Note 14 on MDP.) Buffer areas shall include a mix of evergreen (coniferous) and deciduous trees.
- s. Concur. (See General Note 15 on MDP.) 75% of landscape areas must be covered with living, vegetative material. High-water use turf must be limited in application to 20% of the landscaped area.
- t. Concur. (See General Note 17 on MDP.) Perimeter walls shall comply with the *City's Design Manual for Subdivision Access and Perimeter Walls*.
- u. Concur. (See General Note 18 on MDP.) No chain link, razor wire (concertina) or plastic vinyl fencing is permitted.
- v. (See General Note 19 on MDP.) Low walls 2 ½ to 3' high shall be used to screen parking ~~spaces areas~~ adjacent to **Eubank streets**. The walls shall integrate with building materials/colors **and shall comply with the City's Design Manual for Subdivision Access and Perimeter Walls**.
- w. Concur. (See General Note 24 on MDP.) Building design shall be architecturally integrated within the site and contextual to buildings within the vicinity.
- x. Concur. (See General Note 25 on MDP.) All canopies and ancillary structures shall be architecturally integrated with main buildings. Special consideration shall be given to roof structures, including materials.

To: Russell Brito  
Re: EPC Conditions State Land Office MDP  
September 7, 2000

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- y. (See General Note 26 on MDP.) The top of all rooftop equipment shall be below the top parapet and screened from view from all property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. ~~Rooftop equipment and other~~ **All visible roof** penetrations shall be painted to match the predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
- z. ~~All roof penetrations shall be painted to match roof color or general building color. (This would be covered in "y" above.)~~
- aa. ~~The front facade of all buildings shall have canopies, portals or awnings along the entire facade length providing pedestrians with shade. In the absence of architectural shading, shade trees shall be planted in 5 x 5 foot planters a distance of 25' on center along the front facade. (This would be covered by "g".)~~
- bb. Concur. (See General Note 27 on MDP.) No generic franchise building elevations or canopies are permitted.
- cc. Concur. (See General Note 28 on MDP.) No plastic or vinyl building panels, awnings or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
- dd. ~~No chainlink, razor wire or plastic/vinyl fencing is permitted. (Same as "u".)~~
- ee. Concur. (See General Note 29 on MDP.) No freestanding cell towers or antenna shall be permitted, antenna shall be integrated into building architecture.
- ff. Concur. (See General Note 30 on MDP.) ATM's shall be architecturally integrated with building design.
- gg. (See General Note 20 on MDP.) Loading docks **where they are adjacent to residential zones and visible from Eubank Blvd.**, shall be screened by walls and covers that are architecturally integrated with the building.
- hh. Concur. (See General Note 21 on MDP.) Refuse enclosures shall be compatible in design, color and material with building architecture. The gates shall be opaque; chain link gates are not allowed.
- ii. Concur. (See General Note 22 on MDP.) Drive through facilities shall be shaded with architecturally integrated canopies.
- jj. Concur. (See General Note 31 on MDP.) Monument signs which are integrated with building colors and materials are the only freestanding signs allowed.
- kk. (See General Note 32 on MDP.) Building mounted signs shall consist of individual channel letters. No illuminated plastic panel signs are allowed except logos. **All building signage shall be limited to a maximum area of 6% of the wall area the sign is mounted on. Maximum letter height shall be 3 feet.**

To: Russell Brito  
Re: EPC Conditions State Land Office MDP  
September 7, 2000

- 6 -

- ii. Concur. (See General Note 23 on MDP.) Light fixtures shall be a maximum of 25 feet high. The light fixtures shall be fully shielded horizontal lamps so that no fugitive light shall escape beyond the property line. All fixtures shall be full cut-off type to prevent fugitive light; no light source shall be visible from the site perimeter.
6. Concur. (See General Note F on MDP.) To protect against risks associated with landfill gas, the project shall include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans shall include risk abatement measures prior to final sign off at DRB.
7. (See General Note G on MDP.)
  - a. Concur. (These lines have been noted on the MDP.) Each solid and dashed line indicating rights-of-way and easements or delineated area on the MDP shall be identified and clarified on the drawing.
  - b. **Reserve for future dedication by State Land Office's (SLO's) successors in interest, a 78' public road access, utility and drainage easement east of the center line of Eubank Blvd.**
  - c. **Provide a 60' public access, utility and drainage easement along the full length of the southern property boundary.**
8. (See General Note H on MDP.) **All outdoor storage shall be limited to 20 feet in height. Outdoor storage tanks shall be limited to 40' in height.**
9. (See General Note I on MDP.) **All walls shall follow all wall criteria set forth in the City's Design Manual for Subdivision Access and Perimeter Walls.**

Please call me if you have any questions.

Very truly yours,

**Dekker/Perich Sabatini Ltd.**



Lori D. Weber  
Planning Contractor

May 26, 2000

**Dekker/Perich/Sabatini**

architecture  
interiors  
planning  
engineering

Chuck Gara, Chairman,  
Environmental Planning Commission  
Planning Department  
600 2<sup>nd</sup> St., NW, Plaza del Sol, 3<sup>rd</sup> Floor  
Albuquerque, New Mexico 87102

Re: Request for Annexation; Request for IP Zoning; Request  
for EPC Approval of Master Development Plan

Dear Chairman Gara:

On behalf of our client, New Mexico Commissioner of Public Lands (NMCPL) we are submitting an application for Annexation, EPC approval of IP zoning, and EPC approval of a Master Development Plan.

**EXISTING SITE:**

The subject property is located on the east side of Eubank Blvd., south of Gibson Blvd..

The site contains approximately 20 acres (one 20 acres tract) and is currently zoned A-1 in Bernalillo County, with a SU Permit for a wireless telecommunications tower indicated on the Zone Atlas Map. The property is vacant.

**REASON FOR REQUEST:**

As agents for the NMCPL, we respectfully request annexation of this 20 acre site, IP zoning, and approval of a Master Development Plan (MDP). The proposed MDP includes Design Guidelines and Criteria and would allow the subdivision of the 20 acre tract into two (2) 10 acre tracts. Annexation and IP zoning would benefit the development through utility access and site design standards consistent with the City Zoning designation of IP and Master Development Plan.

The proposed MDP identifies land uses permissive in the IP zone. The Eubank corridor south of Gibson is becoming a science and technology corridor / park. Several land owners, including the NMCPL have entered into a Memorandum of Understanding, committing to certain design guidelines for site development within

■ ■ ■  
6801 Jefferson NE  
Suite 100  
Albuquerque NM  
87109  
505 761.9700  
fax 761.4222  
dps@dpsabq.com

this corridor. These guidelines are consistent with the design guidelines attached in the MDP.

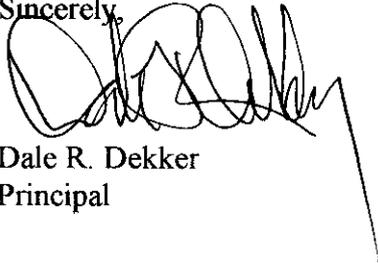
The proposed IP zoning is consistent with this development trend. The subject property is at an excellent location for these uses, easily accessible from Sandia National Laboratories, Department of Energy and other related industries nearby.

Attached please find:

1. Application for Annexation
2. Application for Establishment of Zoning of IP (Form Z)
3. Application for Master Development Plan (Form P)
4. Reason for Request (included herein)
5. Master Development Plan including Design Guidelines & Criteria (30 sets)
6. TIS/AQIA Form
7. Zone Atlas Map, page M-21-Z
8. Site Plan Checklist
9. Fee of \$270 for Master Development Plan Approval (no fee for annexation & establishment of zoning)
10. Reduced copies of plans, 8 ½ x 11"
11. Neighborhood Coordination letter
12. Letter of agency

Thank you for your consideration on this matter.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dale R. Dekker', with a long, thin vertical line extending downwards from the end of the signature.

Dale R. Dekker  
Principal

# South Eubank State Land Office 20 Acres

## 20 Acre Master Planned Development

25 May, 2000

### INDEX OF DRAWINGS

- COVER SHEET
- SHEET 1 OF 5 MASTER DEVELOPMENT PLAN
- SHEET 2 OF 5 MASTER DRAINAGE PLAN
- SHEET 3 OF 5 MASTER UTILITY PLAN
- SHEET 4 OF 5 MASTER LANDSCAPE PLAN
- SHEET 5 OF 5 DESIGN GUIDELINES CRITERIA

# Master Development Plan

Eubank, SE

Albuquerque, New Mexico

EPG ARCHITECTURAL

#### Owner:

Commissioner of Public Lands  
310 Old Santa Fe Trail  
PO Box 1148 Santa Fe, New Mexico 87504

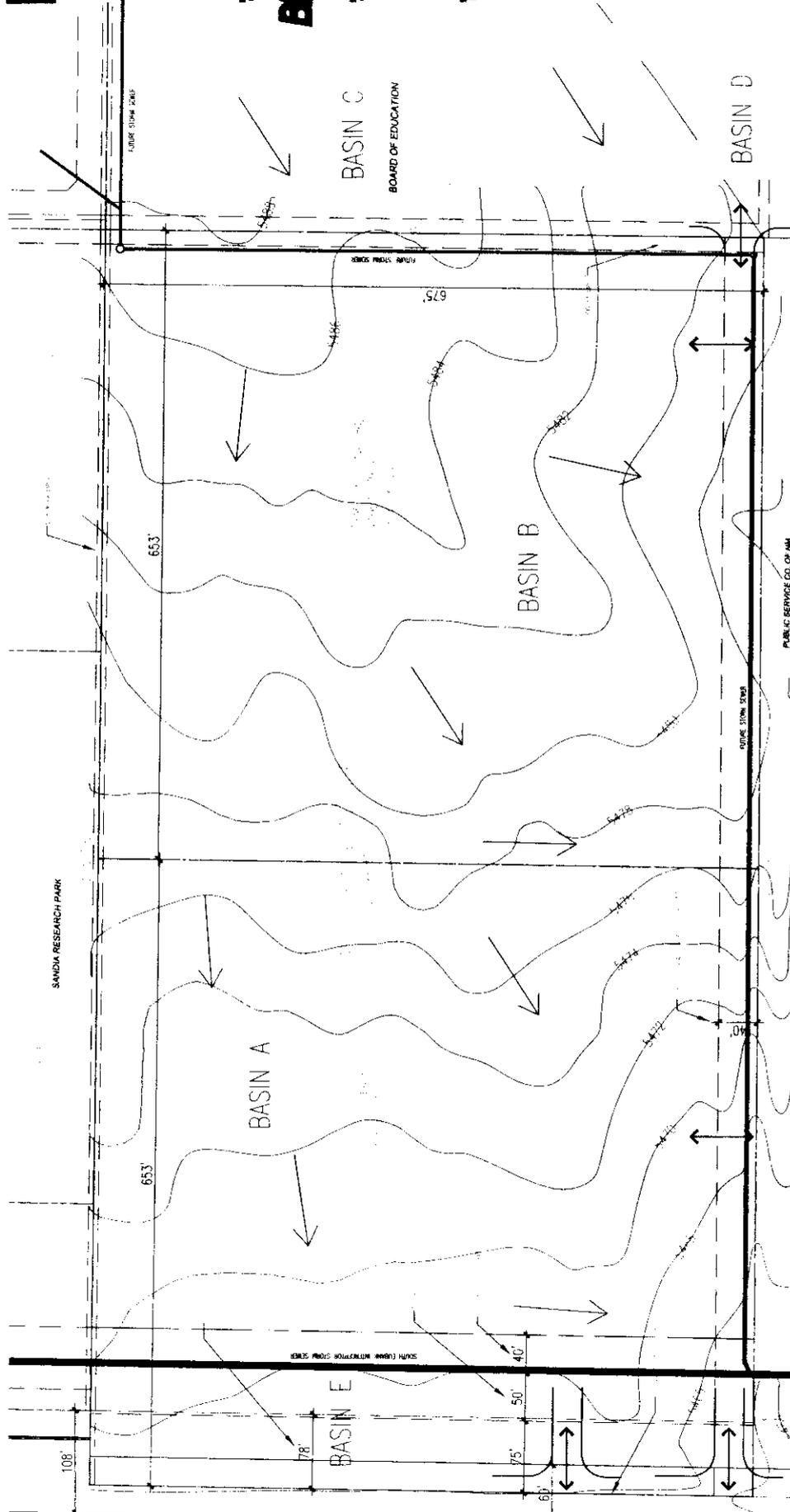
#### Architectural/Structural

Dekker/Perich/Sabatini, Ltd.  
6801 Jefferson NE., Suite 100  
Albuquerque, New Mexico 87109  
(505) 761-9700  
Fax: 761-4222

#### Civil:

Brasher & Lorenz, Inc.  
2210 San Pedro NE Building 1 Suite 210  
Albuquerque, New Mexico 87711  
(505) 888-8088  
Fax: 888-6188





### Master Drainage Plan

PROJECT NO. 10000  
 SHEET NO. 00000

DATE: 10/1/2000  
 DRAWN BY: JLV  
 CHECKED BY: JLV

PROJECT LOCATION:  
 20 Acres  
 South Eubank State Land Office

PROJECT NO. 10000  
 SHEET NO. 00000

DATE: 10/1/2000  
 DRAWN BY: JLV  
 CHECKED BY: JLV

PROJECT LOCATION:  
 20 Acres  
 South Eubank State Land Office

**Dokker Perich Sabatini**  
 8881 ADDRESS ST  
 SUITE 100  
 ALBUQUERQUE, NM 87109  
 505-261-2222  
 505-261-2223  
 FAX: 505-261-2224  
 WWW.DOKKERPERICH.COM

**BL**  
 BRUNNER & NORDLIE  
 10000  
 505-261-2222

EPC SUBMITTAL

Master Drainage Plan  
 20 Acres  
 South Eubank State Land Office

PROJECT NO. 10000  
 SHEET NO. 00000  
 DATE: 10/1/2000  
 DRAWN BY: JLV  
 CHECKED BY: JLV



**Dokker  
Porch  
Sabatini**

3001 ALABAMA ST.  
SOUTH EUBANK STATION  
SOUTH EUBANK, GA 30138  
404-731-1111  
www.dokkerporch.com



REGISTERED PROFESSIONAL ENGINEER

**EPC SUBMITTAL**

PROJECT

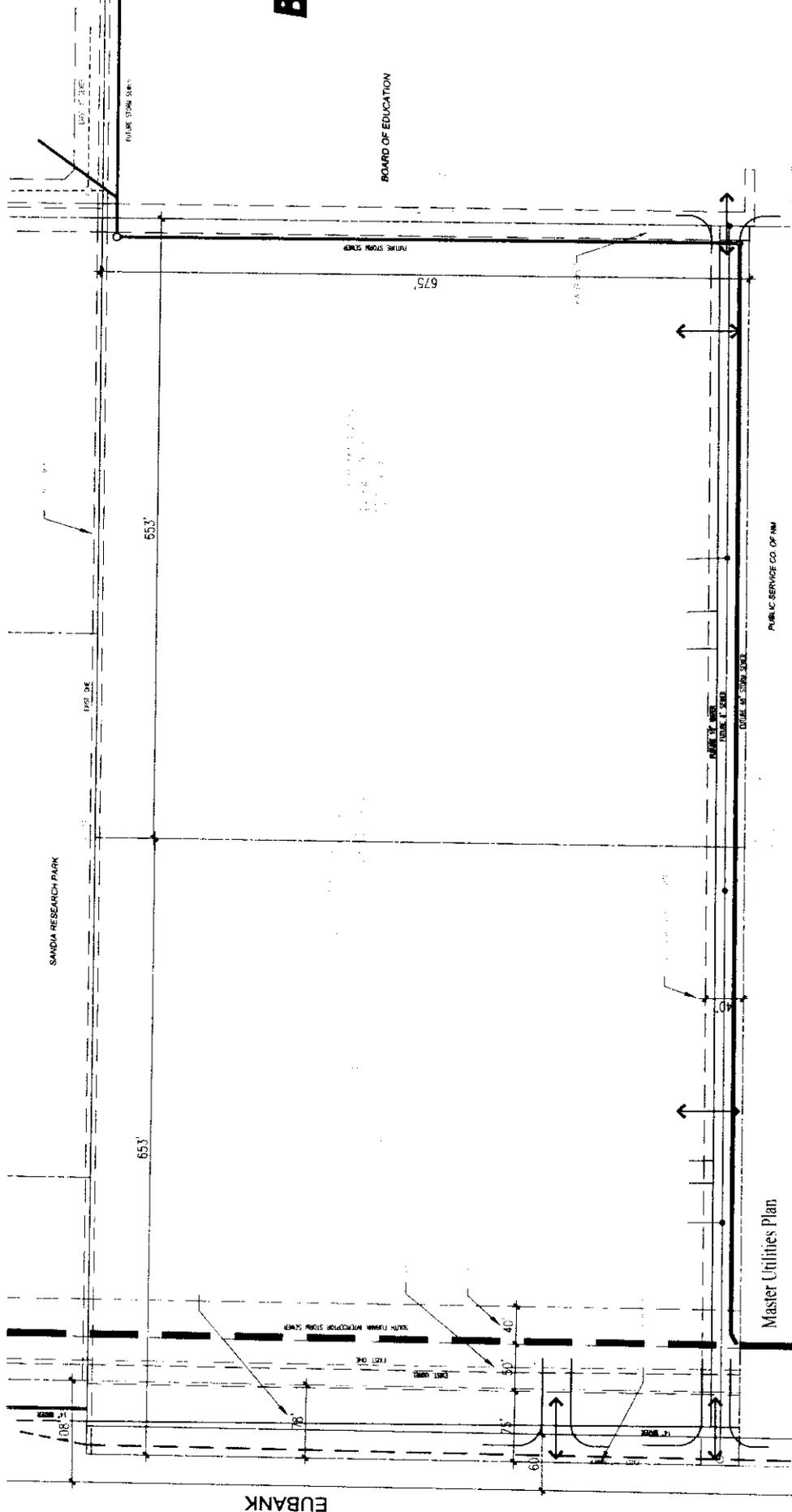
Master Utilities Plan  
South Eubank State Land Office  
20 Acres

DATE

BY

PROJECT NO.  
SHEET NO.  
DATE

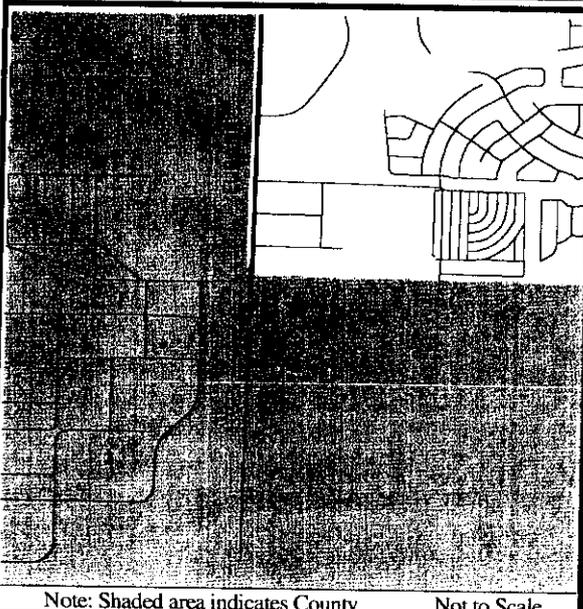
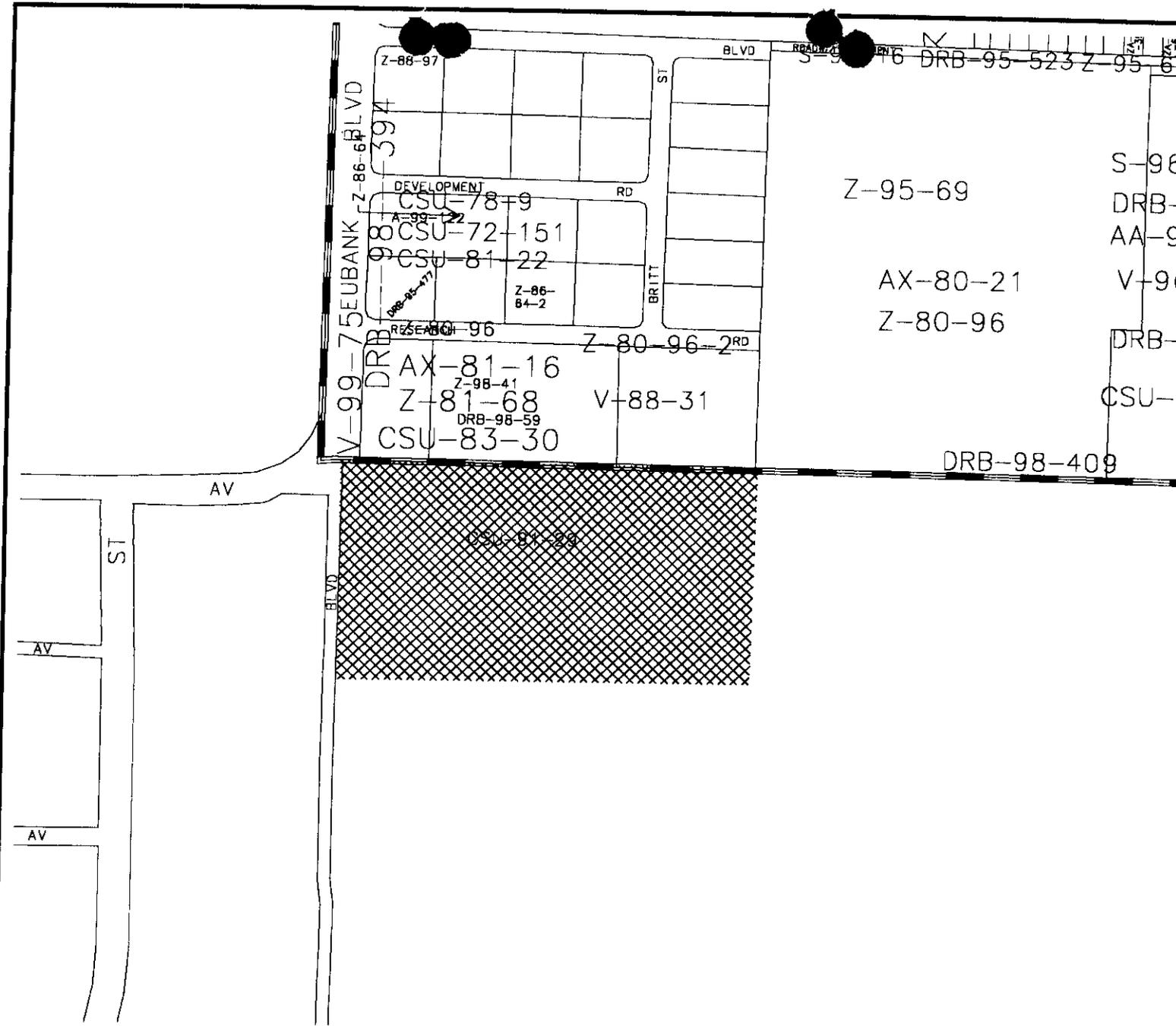
Master Utilities Plan  
South Eubank State  
Land Office  
20 Acres



Master Utilities Plan







HISTORY MAP



Scale 1"=460'

PROJECT NO. 1000554
HEARING DATE 08-17-00
MAP NO. M-21
APPLICATION NO. 00114-00000-00715 00110-00000-00716 00128-00000-00718

Note: Shaded area indicates County Not to Scale

# South Eubank State Land Office 20 Acres

## 20 Acre Master Planned Development

25 May, 2000

### INDEX OF DRAWINGS

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SHEET 5 OF 5 DESIGN GUIDELINES CRITERIA

# Master Development Plan

Eubank, SE

Albuquerque, New Mexico

PRELIMINARY

#### Owner:

Commissioner of Public Lands  
310 Old Santa Fe Trail  
PO Box 1148 Santa Fe, New Mexico 87504

#### Architectural/Structural

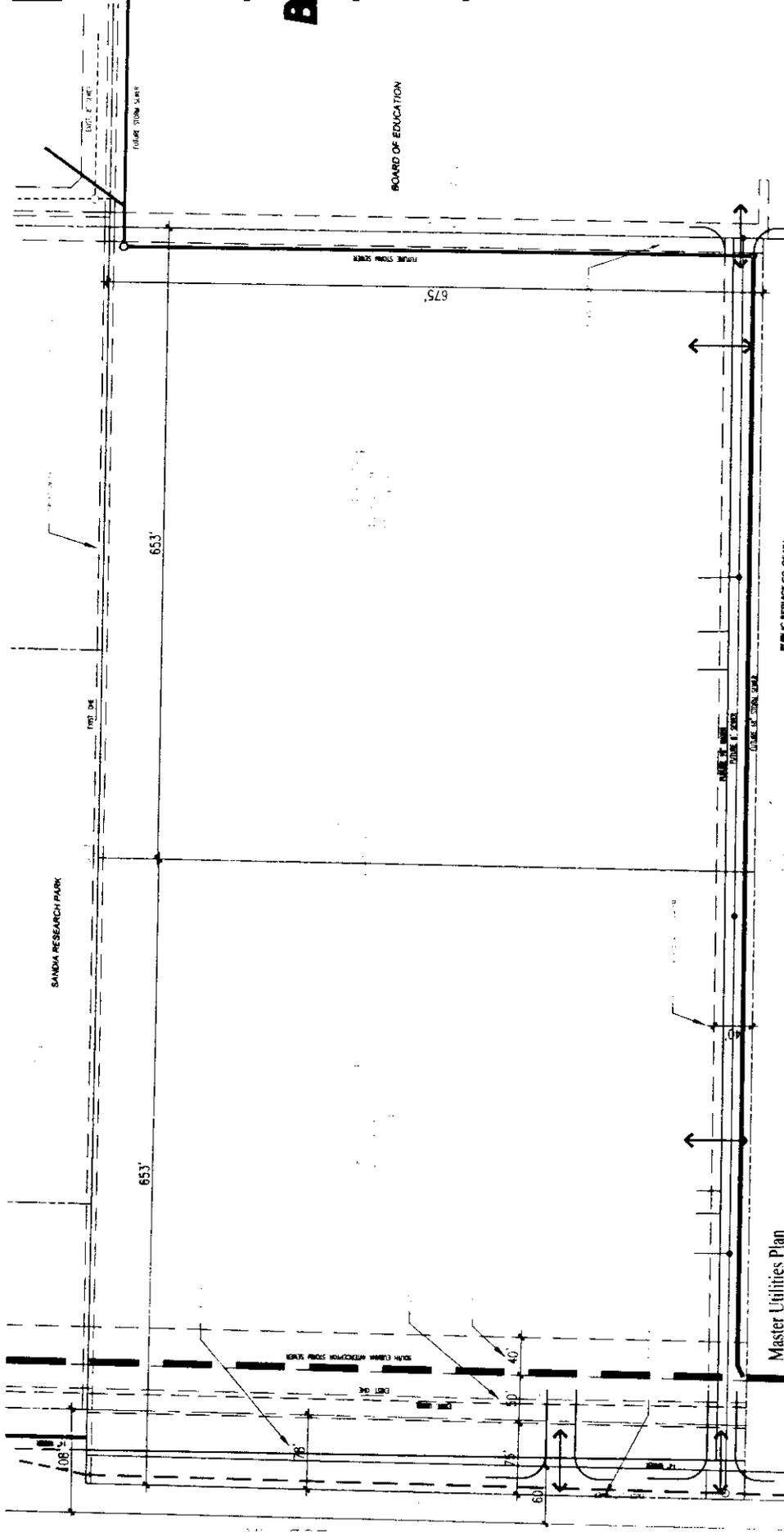
Dekker/Perich/Sabath, Ltd.  
6601 Jefferson NE., Suite 100  
Albuquerque, New Mexico 87109  
(505) 761-9700  
Fax: 761-4222

#### Civil:

Brashear & Lorenz, Inc.  
2210 San Pedro NE Building 1 Suite 210  
Albuquerque, New Mexico 87111  
(505) 888-6088  
Fax: 888-6188







Master Utilities Plan

Master Utilities Plan  
 South Eubank State Land Office  
 20 Acres

EPC SUBMITTAL

certification  
 submit  
 planning  
 engineering

**Dokker  
 Perich  
 Sabatini**

1818 Hillcrest Dr.  
 Suite 100  
 Albuquerque, NM 87102  
 505-263-1111  
 info@psab.com

**BLI**  
 BUREAU OF LAND INFORMATION

Project No. \_\_\_\_\_  
 Date \_\_\_\_\_  
 Prepared by \_\_\_\_\_  
 Checked by \_\_\_\_\_  
 Drawn by \_\_\_\_\_  
 Scale \_\_\_\_\_  
 Project No. \_\_\_\_\_  
 Drawing No. \_\_\_\_\_  
 Master Utilities Plan  
 South Eubank State  
 Land Office  
 20 Acres

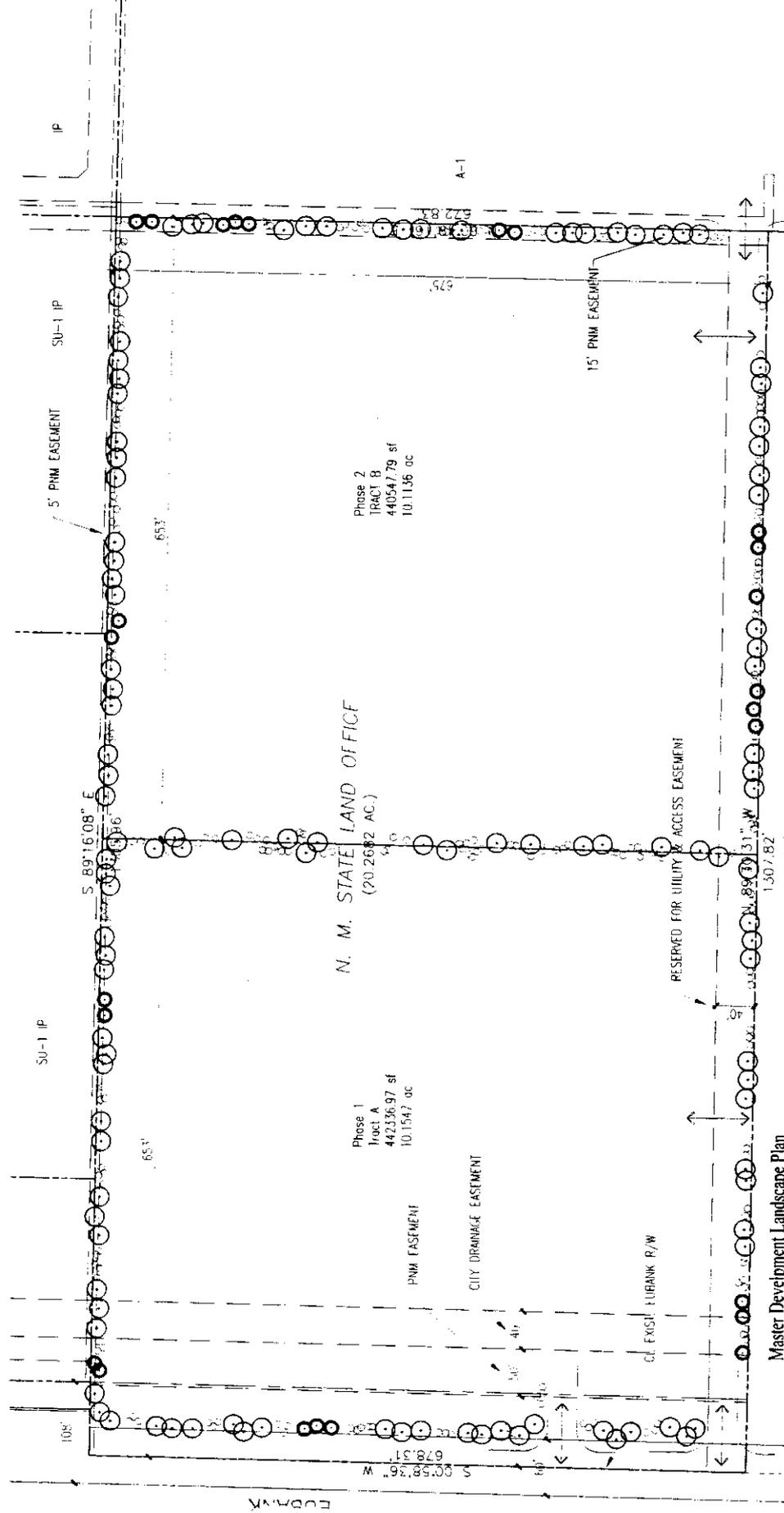



**Dekker Perich Sabatini**  
 4800 UNIVERSITY BL  
 SUITE 200  
 ALBUQUERQUE, NM 87105  
 TEL: (505) 263-1234  
 FAX: (505) 263-1235  
 WWW: DSABATINI.COM


**South Eubank State Land Office**  
 20 Acres

**Master Landscape Plan**  
 South Eubank State Land Office  
 20 Acres

PROJECT NO.: 20000  
 DRAWING NO.: 20000  
 DATE: 10/15/10  
 DESIGNER: JAV  
 CHECKER: JAV  
 APPROVED: JAV  
**Master Landscape Plan**  
 South Eubank State  
 Land Office  
 20 Acres



**Master Development Landscape Plan**  
 Eubank, SE Albuquerque, NM

**Plant Legend**

- 
 Shade trees 7-12' tall  
 All trees must come from CDL plant list and must meet all CDL requirements.
- 
 Emergent trees 15' tall  
 All emergent trees must be from CDL plant list and must meet all CDL requirements.
- 
 Small trees 1-5' tall  
 All small trees must be from CDL plant list and must meet all CDL requirements.
- 
 Small shrubs 1-5' tall  
 All shrubs must be from CDL plant list and must meet all CDL requirements.
- 
 Small ground cover or mulch  
 All ground cover or mulch must be from CDL plant list and must meet all CDL requirements.
- 
 Small ground cover or mulch  
 All ground cover or mulch must be from CDL plant list and must meet all CDL requirements.

**General Notes**

- Landscape Maintenance and Irrigation system requirements shall be the responsibility of the owner.
- All landscaping shall be installed by a complete underground irrigation system (100% covered by automatic timer). Backflow prevention shall be installed at the point of connection for irrigation system is unknown at current time and shall be coordinated at the field.
- It is the intent of this plan to comply with the City of Albuquerque water conservation and water reuse ordinance.
- All landscape beds shall be planted so to achieve 75% tree ground cover or majority.
- Approval of this plan does not constitute or imply exemption from other water provisions of the water conservation landscaping and water reuse ordinance. The landscape manager is the sole responsibility of the property owner.
- To the extent possible, all existing cottonwood trees shall be retained.





City of Albuquerque

*fax: 873-9637*

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: June 27, 2000

COA/Planning Department  
Plaza Del Sol Building  
600 Second St. NW/87102

This letter will serve to notify you that on June 27, 2000  
(date)

CONTACT NAME: LORI WEBER 873-9638

COMPANY/AGENCY: DEKKER / PERICH / SABATINI

ADDRESS/ZIP/PHONE: 6801 JEFFERSON BLVD. NE, STE 100 / 87109

Contacted the Office of Community/Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Association(s) affected by their request concerning a Zoning Action or Site Development Plan, etc. at Tract of Land in S33 T10N, R4E, 10 N 1/2 of the SW 1/4 of the NW 1/4 - 1600 Embank SE.  
zone map page(s): M-21

Our records indicate that as of 6-27-00 there were no Recognized Neighborhood Associations in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at (505) 924-3913.

*Stephan Winkler*  
OFFICE OF COMMUNITY/NEIGHBORHOOD COORDINATION

**FORM Z: ZONING**

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW APPLICATION FOR A ZONING ACTION. CHECK-OFF THE SECTION BELOW CORRESPONDING TO THE ACTION YOU REQUEST. A PRE-APPLICATION DISCUSSION WITH A PLANNER FROM DEVELOPMENT SERVICES IS RECOMMENDED.

**MAP AMENDMENT. You must submit for,**

- Annexation / Establishment of Zoning
- Zone Change (Map Amendment)

AX# \_\_\_\_\_  
Z# \_\_\_\_\_

- Property owner's signature on application or written permission
- Written explanation of reasons for amendment
- Zone Atlas page showing the property clearly marked
- If an annexation, submit a survey of the property to be annexed and a sketch of any current uses.
- If a Site Development Plan is also being submitted for approval, attach Form-P to submittal package.
- Traffic Impact Study (TIS) / Air Quality Form
- Neighborhood notification N/A
- Sign Posting Agreement
- Fee (see schedule)

**YOUR CASE REQUIRES AN EPC PUBLIC HEARING. HEARINGS ARE APPROXIMATELY SEVEN WEEKS AFTER THE FILING DEADLINE. YOUR ATTENDANCE IS REQUIRED.**

**SECTOR PLAN. You must submit for,**

- Phase I-Conceptual Plan Review
- Adoption
- Phase II-Final Review & Approval
- Amendment
- Phase II-Final DRB Sign-off

SD# \_\_\_\_\_

See Map Amendment requirements and consult Planning Dept. Staff  
Fee for final review and approval only (see schedule)

**PHASE I - CONCEPTUAL PLAN REVIEW requires a DRB meeting and an EPC public hearing. YOUR ATTENDANCE IS REQUIRED.**

**PHASE II - FINAL REVIEW & APPROVAL Requires a DRB public hearing, an EPC public hearing, and in some cases, City Council approval. YOUR ATTENDANCE IS REQUIRED.**

**PHASE II - FINAL DRB SIGN-OFF requires a DRB meeting. Your attendance is recommended.**

**ZONE CODE TEXT AMENDMENT. You must submit for,**

- 30 copies of the amendment. Include title and enactment number of the document to be amended.
- Fee (see schedule)

TA# \_\_\_\_\_

**YOUR CASE REQUIRES AN EPC PUBLIC HEARING. HEARINGS ARE APPROXIMATELY SEVEN WEEKS AFTER THE FILING DEADLINE. YOUR ATTENDANCE IS REQUIRED.**

**SPECIAL PROJECTS REVIEW.**

- Consult with a City planner for the requirements specific to your project.

SPR# \_\_\_\_\_

**All original and related case numbers must be listed here! (DRB, Zone Change, Variance, Etc.)**

CSU-91-29

necessary information has been submitted and checked at the time of application

Sign) Lori D. Weber

J. Chung

Print) Lori D. Weber / 5-26-00  
Applicant or Agent / Date

L. Chung 5-26-2000  
Planner / Date

Rev. 01/29/98

Project # 1000 534 / 00 / 114 2000 00715

00 110 00000 00716Z# \_\_\_\_\_  
00 128 00000 00718

# DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Community and Neighborhood Coordination (OCNC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – 924-3913 - will need the following information **BEFORE** neighborhood association information will be released to the applicant/developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at 924-3914.

CONTACT NAME: LORI WEBER

COMPANY NAME: DEKKER PERICH SABATINI

ADDRESS: 6801 JEFFERSON, NE, SUITE 100, ALBANY, NM

ZIP: 87109

PHONE: 505-761-9700

FAX: 505-761-4222

## NEIGHBORHOOD ASSOCIATION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN

THE AREA OF THE PROPERTY DESCRIBED AS TRACT OF LAND IN SEC 33  
T 10 N R 4 E IN N 1/2 SW 1/4 NW 1/4 CONT. 19.31 ACS.

LEGAL DESCRIPTION

LOCATED ON

THE EAST SIDE OF EUBANK BLVD.

STREET NAME OR OTHER IDENTIFYING LANDMARK

~~BETWEEN~~ SOUTH OF GIBSON & SOUTH OF RESEARCH RD. ~~AND~~

STREET NAME OR OTHER IDENTIFYING LANDMARK

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (M-21).  
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)

\*\*\*\*\*  
\*\*\* TX REPORT \*\*\*  
\*\*\*\*\*

TRANSMISSION OK

TX/RX NO	2067	
CONNECTION TEL		97614222
SUBADDRESS		
CONNECTION ID		
ST. TIME	07/03 08:23	
USAGE T	02'45	
PGS.	5	
RESULT	OK	




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Mailing Address: P.O. Box 1293  
 Street Address: 600 2nd St. NW  
 Albuquerque, NM 87103  
 Fax: 505-924-3339  
 Phone: 505-924-3860

---

Planning Department

Fax Transmittal Cover Sheet

TO: Fiori Weber

Company: Dekker/Perich/Sabatini

Fax No.: ~~761-9~~ 761-4322

Telephone: 761-9700

From: Lenora

Division: Policy Planning / Development Services

Telephone: 505-924-3860

Total No. Of Pages (Including Cover Page) 5



Mailing Address: P.O. Box 1293  
Street Address: 600 2nd St. NW  
Albuquerque, NM 87103  
Fax: 505-924-3339  
Phone: 505-924-3860

Planning Department

Fax Transmittal Cover Sheet

TO: Fiori Weber

Company: Dukker/Perich/Seitzman

Fax No.: ~~505-924-4300~~ 505-4300

Telephone: 505-924-9100

From: Lenora

Division: Policy Planning / Development Services

Telephone: 505-924-3860

Total No. Of Pages (Including Cover Page) 5

COMMENTS: Here's a corrected copy of

the application along w/ the correct

dates on the sign posting agreement

Thanks

Lenora

FORM P: SITE DEVELOPMENT PLAN

REVISED 6/99

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW APPLICATION FOR SITE PLAN APPROVAL. CHECK-OFF THE SECTION BELOW CORRESPONDING TO THE ACTION YOU REQUEST. APPLICANTS MUST BE AWARE THAT APPROVED SITE DEVELOPMENT PLANS MAY EXPIRE AND SHOULD READ CAREFULLY ZONING CODE SECTION: 14-16-3-11 REGARDING THIS MATTER. A PRE-APPLICATION DISCUSSION WITH A PLANNER FROM DEVELOPMENT SERVICES IS RECOMMENDED.

A LETTER EXPLAINING THE REASON FOR THE REQUEST IS REQUIRED FOR ALL SUBMITTALS.....

SKETCH PLAN REVIEW AND COMMENT. You must submit,

6 copies of the proposed plan (folded to 8.5" by 14")

Zone Atlas page showing the property clearly marked

MUST BE ABLE TO PHOTO COPY

YOUR ATTENDANCE IS NOT REQUIRED AT DRB MEETINGS. COMMENTS CAN BE FORWARDED.

X SITE DEVELOPMENT PLAN APPROVAL OR AMENDMENT. You must submit for, --- MUST BRING ORIGINAL MYLAR TO THE DRB MEETING ---

Site Development Plan for Building Permit Site Development Plan for Subdivision X Master Dev. Plan

X EPC public hearing DRB public hearing DRB non-public hearing

Administrative Amendment: DRB Planning staff

X EPC: 30 copies of the site plan (folded to 8.5" by 14")

DRB: 24 copies of Site Plan if a public hearing case (folded to 8.5" by 14")

DRB: 6 copies of Site Plan if a non-public hearing case (folded to 8.5" by 14")

DRB: 6 copies of the Infrastructure List, if infrastructure required.

X 12 copies of Utility Layout Plan

AA: 5 copies of Site Plan if an Administrative Amendment case (folded to 8.5" by 14")

X Zone Atlas map showing the property clearly marked

MUST BE ABLE TO PHOTO COPY

X Site plan checklist

X Traffic Impact Study / Air Quality Statement if a EPC public hearing case (one copy)

FORM DRWS/TIS (Drainage Report / Water & Sewer Availability/Traffic Impact Study) if a public hearing case (one copy)

X Neighborhood Notification if a public hearing case NONE REQ.

X Sign Posting Agreement if a public hearing case

X Reductions (8.5" x 11") of site plans if an EPC case

X Fee (see schedule)

If your case requires an EPC HEARING, hearings are approximately SEVEN WEEKS after the filing deadline.

If your case requires a DRB PUBLIC HEARING, hearings are approximately ONE MONTH after filing deadline.

If your case requires DRB NON-PUBLIC HEARING, meetings are approximately EIGHT DAYS after the

Tuesday noon filing deadline. IN ALL CASES, YOUR ATTENDANCE IS REQUIRED.

FINAL SIGN-OFF FOR E.P.C. APPROVED PLAN FILE - -. You must submit,

Six complete sets of the plan (folded to 8.5" by 14")

Zone Atlas map showing the property clearly marked

MUST BE ABLE TO PHOTO COPY

E.P.C. Official Notification of Decision with conditions for site development

Letter outlining how you have met each condition of the Notification of Decision

Drainage Report submitted to Hydrology Division, (date submitted)

Blue print with the Fire Marshall's signature

The Filing deadline is Tuesday noon. The DRB meeting is Wednesday of the following week.

YOUR ATTENDANCE IS REQUIRED.

All original and related case numbers must be listed here! (Zone change, variance, etc.)

CSU-91-29

All necessary information has been submitted and checked at the time of application

(Sign) Lori D. Weker

J. Chung

(Print) Lori D. Weker 5/26/00

L. Chung 5-26-2000

Applicant or Agent / Date

Planner / Date

Proj # 1000554 / 00114 00005 00715  
00110 00000 00716  
00128 00000 00718

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Since development proposals vary in type and scale, there may be application requirements that are not included here. Nonetheless, it is the applicant's responsibility to provide a complete submittal. Incomplete submittals will be rejected. Site development plans submitted will ordinarily be composed of the following plan sheets:

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading Plan
4. Building and Structure Elevations

Submitted plans shall be organized in the above manner. The following checklist describes the minimum information necessary for element. The Applicant shall check off all items shown on the site plan or label as NA, if not applicable.

### Accompanying Material - Fee payment

- A. Complete application with summary.
- B. 8 1/2" x 11" reductions

## SHEET #1 - SITE PLAN

### A. General Information

- 1. Scale
 

Under 1.0 acre	1" = 10'
1.0 - 5.0 acres	1" = 20'
Over 5 acres	1" = 50'
Over 20 acres	1" = 100'
Other scales as approved by staff	
- 2. Bar Scale
- 3. North Arrow
- 4. Scaled Vicinity Map
- 5. Existing structures on site and on sites adjacent to the proposal that may impact, or may be impacted by the project.
- 6. Property lines
- 7. Existing and proposed easements (identify each)

### B. Proposed Development

#### 1. Structural

- ~~NA~~ A. Location of existing and proposed structures on the property and on adjacent properties, including privacy and retaining walls (distinguish between proposed and existing structures).
- B. Square footage of each structure
- C. Proposed use of each structure
- ~~NA~~ D. Temporary structures, signs and other improvements
- ~~NA~~ E. Wall(s), fence(s), and screening: height, length, color and materials. Show cross-sections for retaining walls.

- N/A F. Dimensions of all principal site elements
- N/A G. Loading facilities
- N/A H. Site lighting (height, type, and intensity)

**2. Non-Structural and Parking**

- N/A A. Parking design with spaces numbered per aisle.
  - 1. Location
  - 2. Arrangements
  - 3. Dimensions and curve radii
  - 4. Turning spaces
  - 5. Drives
  - 6. Aisles
  - 7. Ingress
  - 8. Egress
  - 9. Number of spaces required: \_\_\_\_\_
  - 10. Handicapped parking, spaces required: \_\_\_\_\_
- NA B. Bicycle racks, spaces required: \_\_\_\_\_
- NA C. Elevation drawing of refuse container and enclosure, if applicable.

**C. Street and Circulation**

- X 1. Identification and location of public and private streets and alleys with proper name, existing and proposed width dimensions.
- X 2. Curve radii
- X 3. Right-of-Way width
- X 4. Pavement width (flow line to flow line) including medians and median cuts.
- N/A 5. Sidewalk widths and locations, existing and proposed.
- N/A 6. Rail spurs, if applicable
- N/A 7. Location of traffic signs and signals related to the functioning of the proposal.
- NA 8. Bikeways
- NA 9. Bus facilities, including bays and shelters where required.
- NA 10. Curb cut size and type.
- NA 11. Provisions for non-auto transportation, including transit and bicycle related improvements and pedestrian linkage.

**D. Utilities**

- X 1. Fire hydrant locations, existing and proposed.
- X 2. Distribution lines
- X 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- X 4. Existing water, sewer, storm drainage facilities (public and/or private).
- X 5. Proposed water, sewer, storm drainage facilities (public and/or private)

**E. Phasing**

- X 1. Proposed phasing of improvements and provision for interim facilities. Information on future phasing should be included. If applicable, indicate location and square footage.

## SHEET #2 - LANDSCAPING PLAN

If appropriate, landscaping maybe shown on sheet #1 with the approval of Planning staff. See article 6-1-1et.al.; the Water Conservation Landscaping and Water Waste Ordinance for specific restrictions, regulations, standards, and requirements

- X 1. Scale - must be same as scale on sheet #1 - Site plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Existing and proposed easements
- X 6. Identify nature of ground cover materials
  - A. Impervious areas (pavements, sidewalks, slope pavings, curb, and gutters, etc.).
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.).
  - C. Ponding areas either for drainage or landscaping/recreational use.
- X 7. Identify nature, location and size of shrubbery and trees (common and/or botanical names).
  - A. Existing, indicating whether it is to preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- X 8. Irrigation System
- X 9. Planting Beds
- X 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- X 11. Responsibility for maintenance (Statement)
- X 12. Statement of Water Waste, etc.
- NA 13. Landscaped area requirement; square footage and percent: \_\_\_\_\_
- NA 14. Landscaped area provided; square footage and percent: \_\_\_\_\_

## SHEET #3 - GRADING PLAN

### A. General Information

- X 1. Scale - must be same as Sheet #1 - Site Plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Existing topography and structural improvements within at least 25 feet beyond property boundaries (more may be required).
- X 5. Property Lines
- X 6. Existing and proposed easements
- NA 7. Proposed contours and/or spot elevations
- NA 8. Retaining walls

### B. Proposal

- 1. Grading submittals, ponding areas, erosion and sediment control facilities:
  - A. Conceptual grading and drainage plan
  - B. Drainage plan (maybe required for other submittals)
  - C. Drainage Report (maybe required for other submittals)

NA A. **Cross Sections**

Provide cross section for all perimeter property lines at the point of the greatest grade change: Where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the reference point.

NA B. **Spot Elevation**

Provide spot elevations existing and proposed within 20 feet of both sides of the property line, not to exceed intervals of 100 feet.

NA C. **Grade Changes**

Identify grade change on the site greater than 2 feet with shading or a single cross-hatch. Identify grade changes greater than 4 feet with darker shading or a double cross-hatch.

**SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS** N/A

A. **General Information** N/A

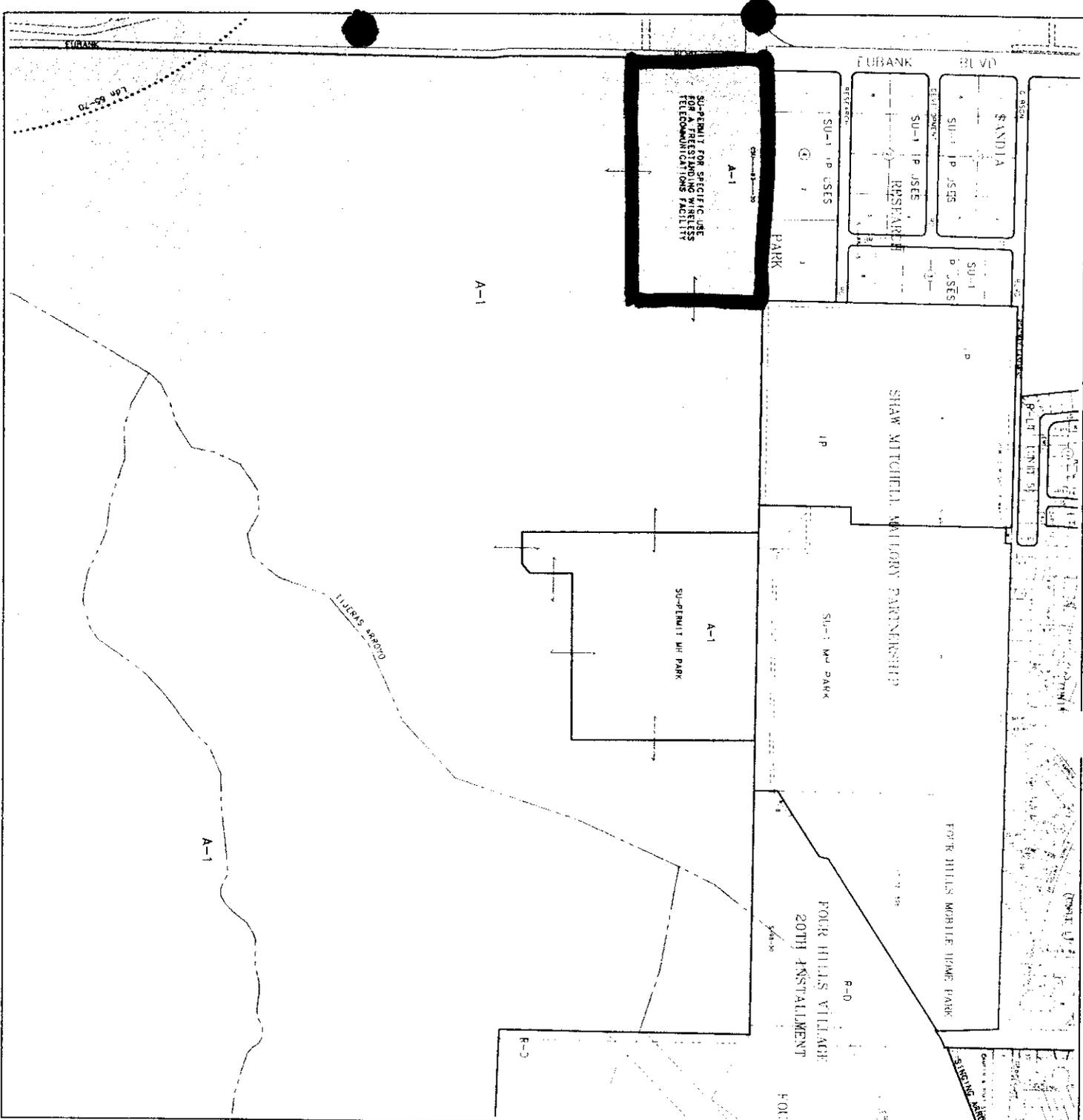
- 1. Scale (minimum of 1/8" or as approved by Planning Staff).
- 2. Bar Scale
- 3. Facade orientation (elevation of all sides of the buildings)
- 4. Dimensions, to scale including overall height and width, and dimensions of major facade elements.
- 5. Location, material and colors of windows, doors and framing.
- 6. Materials and colors of all building elements and structures.

B. **Signage** N/A

- 1. Elevations
- 2. Location
- 3. Height and width
- 4. Sign face area - dimensions and square footage
- 5. Lighting
- 6. Materials and Colors for sign face and structural elements.

C. **Additional information, including, renderings and perspective drawings may be submitted.** N/A

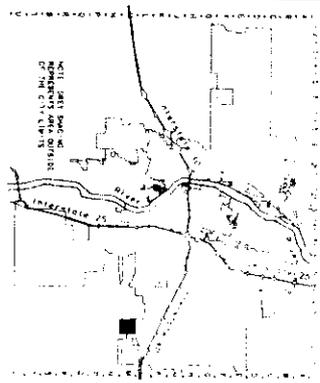
- A. **Samples**
  - 1. Presentation Models
  - 2. Photos



**CITY OF**  
**ALBUQUERQUE**  
**PLANNING DEPARTMENT**  
 Copyright 1999



**GRAPHIC SCALE IN FEET**



**Zone Atlas Page**  
**M-21-Z**

Map Amended through  
 December 20, 1999

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
LAND DEVELOPMENT COORDINATION DIVISION  
PAID RECEIPT

APPLICANT NAME: Nm Commissioner of Public Lands

AGENT: Dekker/Perich/Sabatini

ADDRESS: \_\_\_\_\_  
(w/zip code)

CASE NUMBER: Project # 1000 534 / 60114 DDLXSS 00715  
60110 DDLXSS 00716  
60128 DDLXSS 00717

AMOUNT DUE: \$270.00

- 441006/4921000 (City Cases)
- 441018/4921000 (County)
- 441011/7000110 (LUCC)

**DEKKER/PERICH/SABATINI, LTD.** 12-92  
6801 JEFFERSON NE SUITE 100  
ALBUQUERQUE, NM 87109  
(505) 761-9700  
FED. #85-0367023

**NORWEST BANK NEW MEXICO, N.A.** 0204  
Albuquerque, NM 87103-1081  
95-219-1070

19633  
**019633**

CHECK NO.

Exactly Two hundred seventy and no / 100 Dollars

DATE  
5/25/00

AMOUNT  
\$270.00

**PAY**  
TO THE  
ORDER  
OF

CITY OF ALBUQUERQUE

*Steven Perich*

VOID AFTER 90 DAYS

MP

⑈019633⑈ ⑆107002192⑆ 1047519568⑈

# SIGN POSTING REQUIREMENTS

## POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

### 4. TIME

Signs must be posted from 8/2/00 to 8/17/2000

### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for 15 days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] (Applicant or Agent)      6-30-2000 (Date)

issued 2 signs for this application, 5-26-2000 (Date) J. Chung (Staff Member)

CASE NUMBER Project # 1000554

00114 00000 00713  
00110 00000 00714  
00138 00000 00718

~~Not scheduled by SPL 9/20/00~~  
OK JL