

REVISION #

THIS PLAN AND ANY INFORMATION AND CONSTRUCTION SHALL NOT BE USED FOR CONSTRUCTION BY OTHERS WITHOUT WRITTEN CONSENT.

SHIVER CONSTRUCTION CO. DESIGN BUILD
1412 BROADWAY BLDG. NE ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 344-3461 FAX (505) 744-9198
www.ShiverConstructionCompany.com

A NEW TEMPLE FOR:
CHUA QUANG MINH
THE NEW MEXICO VIETNAMESE BUDDHIST ASSOCIATION
420 PENNSYLVANIA SE ALBUQUERQUE, NEW MEXICO 87108

SHEET
2
2/10/02 DATE
P-05-01 PROJECT NO.

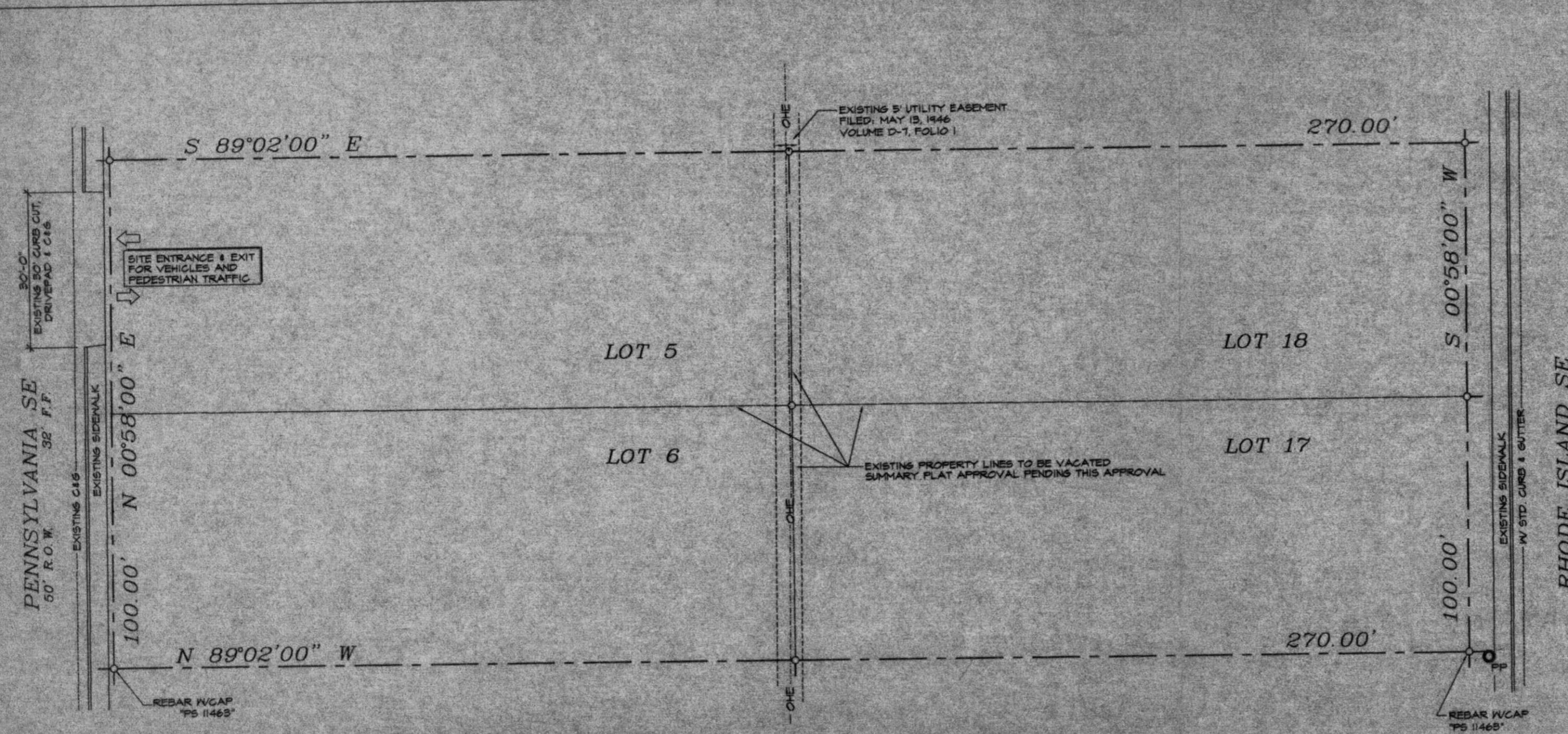


LOCATION MAP L-19-Z

LEGAL DESCRIPTION

LOTS 5, 6, 17 & 18 BLOCK 2, CASAS SERENAS ADDITION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO 420 PENNSYLVANIA AVE SE

BAR SCALE



SITE DEVELOPMENT PLAN FOR SUBDIVISION

SCALE: 1" = 20'-0"

LOTS 5 & 6

USE OF PROPERTIES:
LOTS 5 & 6 CURRENTLY ZONED SU-1 FOR CHURCH.

SITE CONSISTS OF PARKING AND LANDSCAPED AREAS, AND A 2,600 SQ.FT. SINGLE STORY STRUCTURE CONTAINING A TEMPLE OF WORSHIP, PRAYER ROOMS, RELIGIOUS EDUCATION AREA AND RESTROOMS.
[REQUIREMENTS SET FORTH ZONING CODE ARTICLE 14-16-2-22, ITEM B-9]

- MAXIMUM HT. & WIDTH ALLOWED.
[PER ZONING CODE ARTICLE 14-16-2-11, ITEM 'C']
- EXISTING STRUCTURES COMPLY WITH HT. RESTRICTIONS WITHIN 60° ANGLE AT E AND COMPLY W/ SOLAR ACCESS.
- MINIMUM SETBACK REQUIREMENTS FOR SU-1 ZONE TO BE REVIEWED AND APPROVED BY CITY PLANNING.
[PER ZONING CODE ARTICLE 14-16-2-22]
- EXISTING CONDITIONS REVIEWED AND APPROVED. NO CHANGES CURRENTLY INTENDED.
- NONRESIDENTIAL MAXIMUM FLOOR AREA RATIOS NO CHANGES SINCE ORIGINAL SU-1 APPROVAL.
[ZONING CODE ARTICLE 14-16-2-22 ITEM (6)]

LOT 5 AREA... 6,767 SQ.FT.
CONTAINS NO STRUCTURES... F.A.R. = 0.0

LOT 6 AREA... 6,783 SQ.FT.
STRUCTURE AREA... 2,600 SQ.FT... F.A.R. = 3.8

LOTS 17 & 18

USE OF PROPERTIES:
LOTS 5 & 6 CURRENTLY ZONED SU-1 FOR CHURCH.

EXISTING COMMON PROPERTY LINE CURRENTLY STRADDLED BY UNOCCUPIED SINGLE STORY RESIDENTIAL TYPE BRICK AND PITCHED ROOF STRUCTURE. THIS BUILDING IS INTENDED TO BE DEMOLISHED, AND REPLACED BY A NEW 2-STORY BRICK STRUCTURE HOUSING A NEW PLACE OF WORSHIP, PRAYER ROOMS, RELIGIOUS EDUCATION AREAS AND MODERN RESTROOMS. SITE PLAN FOR BP IS CURRENTLY SUBMITTED FOR EPC, SU-1 APPROVAL.

[REQUIREMENTS SET FORTH ZONING CODE ARTICLE 14-16-2-22, ITEM B-9]

- PROPOSED TEMPLE TO COMPLY W/ R-2 ZONE PER CODE. THIS BUILDING COMPLIES W/ ZONING ORDINANCE (14-16-2-11-C). PROPOSED STRUCTURE IS CURRENTLY DESIGNED AT 25' HIGH.
- MINIMUM SETBACK REQUIREMENTS FOR SU-1 ZONE TO BE REVIEWED AND APPROVED BY CITY PLANNING.
[PER ZONING CODE ARTICLE 14-16-2-22]

EXISTING CONDITIONS REVIEWED AND APPROVED. PROPOSED CHANGES CURRENTLY BEING REVIEWED FOR SITE DEVELOPMENT APPROVAL.

LOTS 5, 6, 17 & 18

LOT CONSOLIDATION NOTES FOR F.A.R.

REPLAT ACTION CURRENTLY SUBMITTED AND PENDING THIS APPROVAL.
05DRB-00546 PROJECT 1000501 ZONE MAP L-19

PROPOSED SUMMARY PLAT OF LOTS 5, 6, 17 & 18...
PROPOSED POST APPROVAL SUBDIVISION F.A.R.

CONSOLIDATED LOT AREA... 27,000 SQ.FT.

EXISTING STRUCTURES AREA... F.A.R. = 0.9
(DOES NOT INCLUDE BUILDINGS TO BE DEMOLISHED)

PROPOSED NEW STRUCTURE AREA...
BUILDING FOOTPRINT AREA... 3,320 SQ.FT. (USED FOR F.A.R. CALCULATION)
(2-STORY TOTAL... 6,680 SQ.FT.)

CONSOLIDATED LOT F.A.R. = 2.1
[ZONING CODE ARTICLE 14-16-2-22 ITEM (6)]

PROJECT NUMBER: 1000501

APPLICATION NUMBER: 03DRB-01230

DRB SITE DEVELOPMENT PLAN APPROVAL

Rihal Dault 8-06-03
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

Rega A. Sheen 9-5-07
UTILITIES DEVELOPER DATE

Christina Sandoval 8/6/03
PARKS AND RECREATION DEPARTMENT DATE

Bruce J. Bish 8/6/03
CITY ENGINEER DATE

NA
* ENVIRONMENTAL HEALTH DEPARTMENT (conditional) DATE

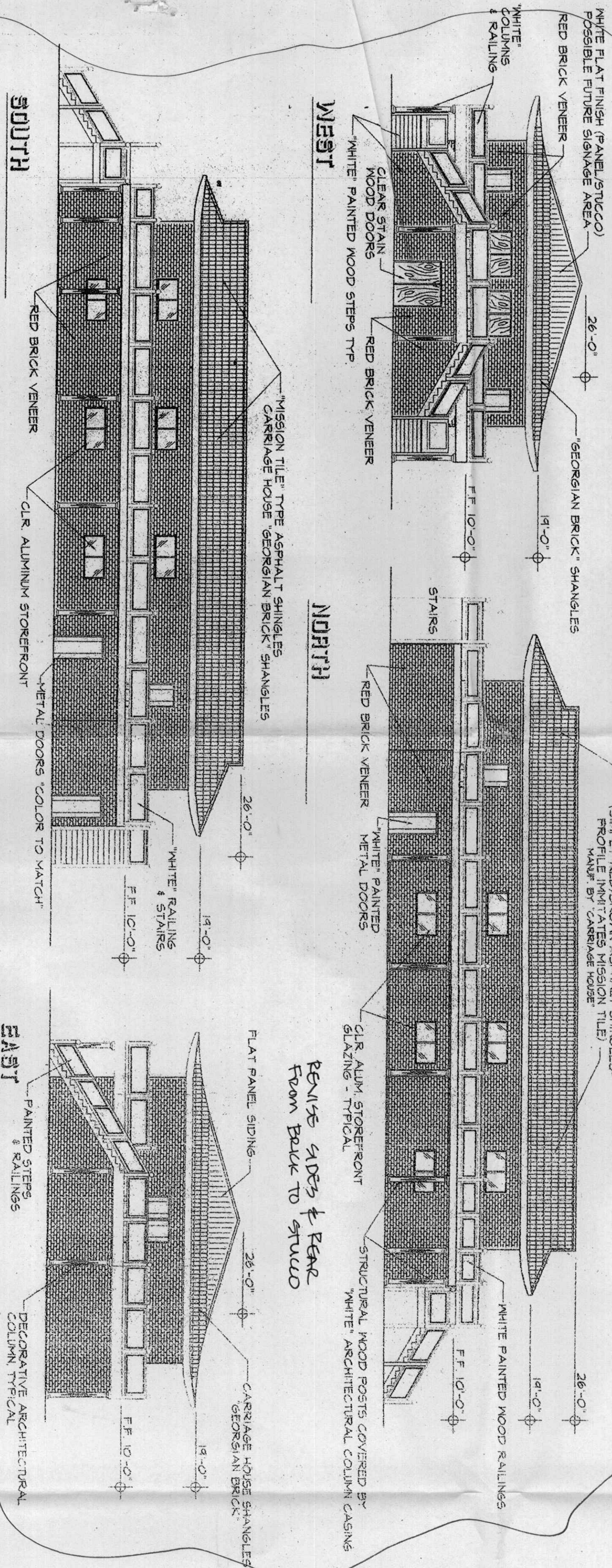
Michael Helton - see attached letter 8-5-03
SOLID WASTE MANAGEMENT DATE

Sharon Matson 8/6/03
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

* ENVIRONMENTAL HEALTH DEPARTMENT (conditional)
8-10-03

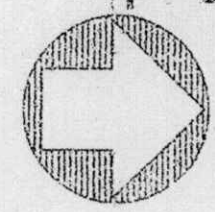
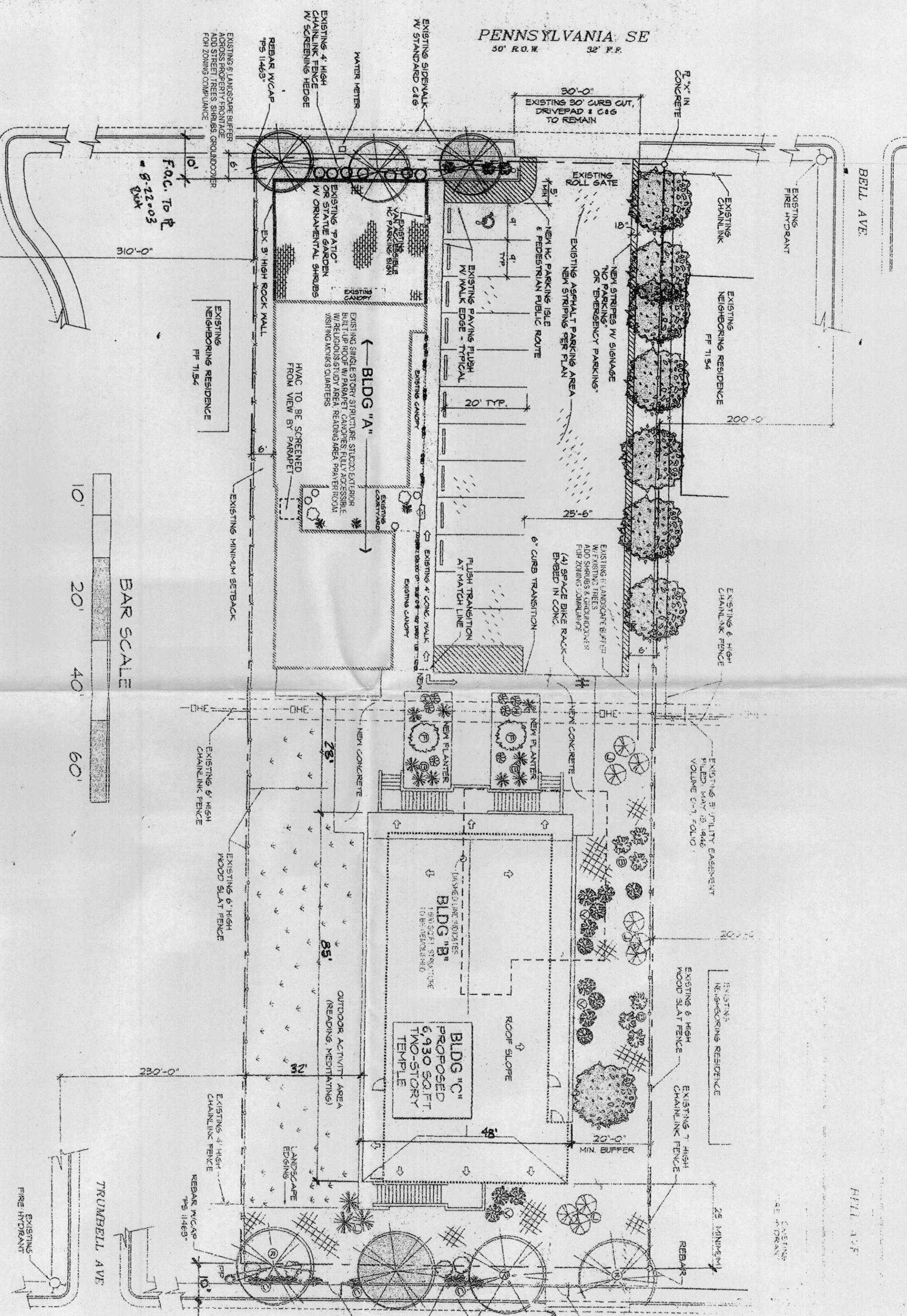
EPC

PROPOSED NEW TEMPLE ELEVATIONS



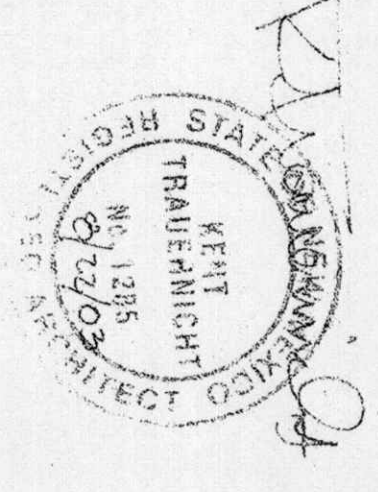
SCALE: 3/32" = 1'-0"

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
(INFORMATION PROVIDED FOR ZONE MAP AMENDMENT, TCL LANDSCAPING & BUILDING PERMIT)



FLOOR AREA SEPARATION CALC.

- FIRST FLOOR AREA = 3,115 SQ FT
- DEDUCT CLASSROOMS & OFFICE BY 2 LIN. SEPARATION WALLS (1,355 SQ FT)
- FIRST FLOOR AREA SUBMITTED FOR FIRE FLOW CALC. = 1,760 SQ FT
- SECOND FLOOR AREA SUBMITTED FOR FIRE FLOW CALC. = 2,850 SQ FT
- TOTAL FLOOR AREA FOR FIRE FLOW CALCULATION = 4,610 SQ FT
- TYPE IIA (NON-COMBUSTIBLE) BALCONY DIMITED PER FIRE 9-503



LANDSCAPE CALCULATIONS

NORTH ZONE (WEST PROPERTY LINE TO EAST END OF BUILDING)	2310 SQ FT
SOUTH ZONE (WEST PROPERTY LINE TO EAST END OF BUILDING)	3940 SQ FT
EAST ZONE (NORTH PROPERTY LINE TO SOUTH PROPERTY LINE)	1248 SQ FT
WEST ZONE (NORTH PROPERTY LINE TO SOUTH PROPERTY LINE)	364 SQ FT
TOTAL LANDSCAPED AREAS PROVIDED	8,615 SQ FT
TOTAL SITE AREA	9,625 SQ FT
TOTAL BUILDING AREA	4,965 SQ FT
TOTAL NET LOT AREA	21,001 SQ FT
5% OR AREA REQUIRED	4,250 SQ FT
	8,615 > 4,250

LANDSCAPE NOTES

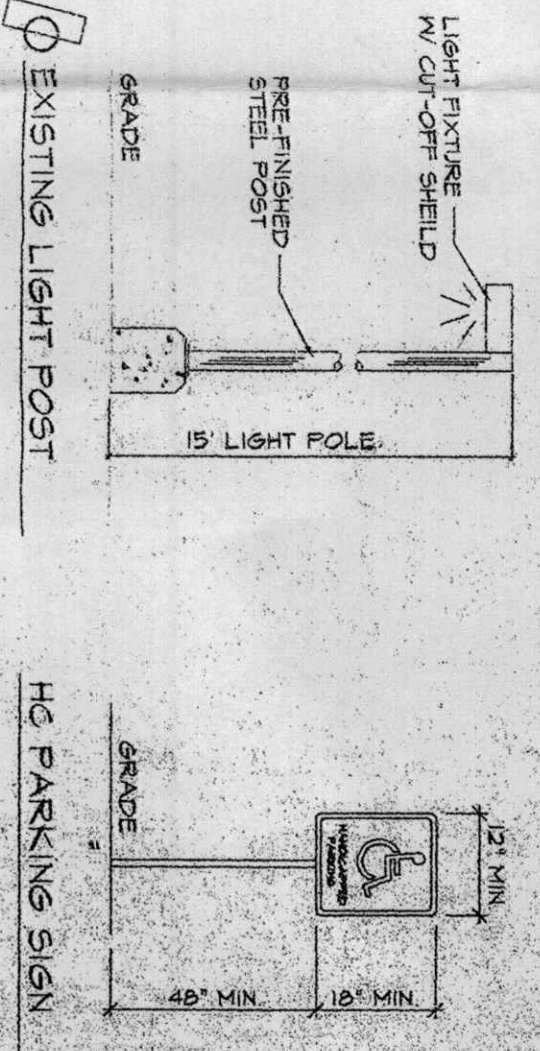
- ALL NEWLY PLANTED LANDSCAPING IS TO BE DIRT SYSTEM IRRIGATED.
- IRRIGATION SYSTEM IS TO BE MAINTAINED BY THE OWNER.
- GROUND COVER TO BE 15% COVERAGE AT MATURITY.
- ALL STREET TREES ARE TO BE 5" CALIPER ORNAMENTALS 2' SHRUBS AND JUMPERS ARE TO BE 3' GAL. MINIMUM PERENNIALS 1' GAL. MIN.
- IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE LOW TO MEDIUM WATER USAGE.

LANDSCAPE LEGEND

	PLANTING SCHEDULE
	EXISTING SHRUB
	EXISTING TREE
	NEW SHRUB
	NEW TREE
	EXISTING PLANTING AREA
	NEW PLANTING AREA
	EXISTING LAWN
	NEW LAWN
	EXISTING HARDSCAPE
	NEW HARDSCAPE

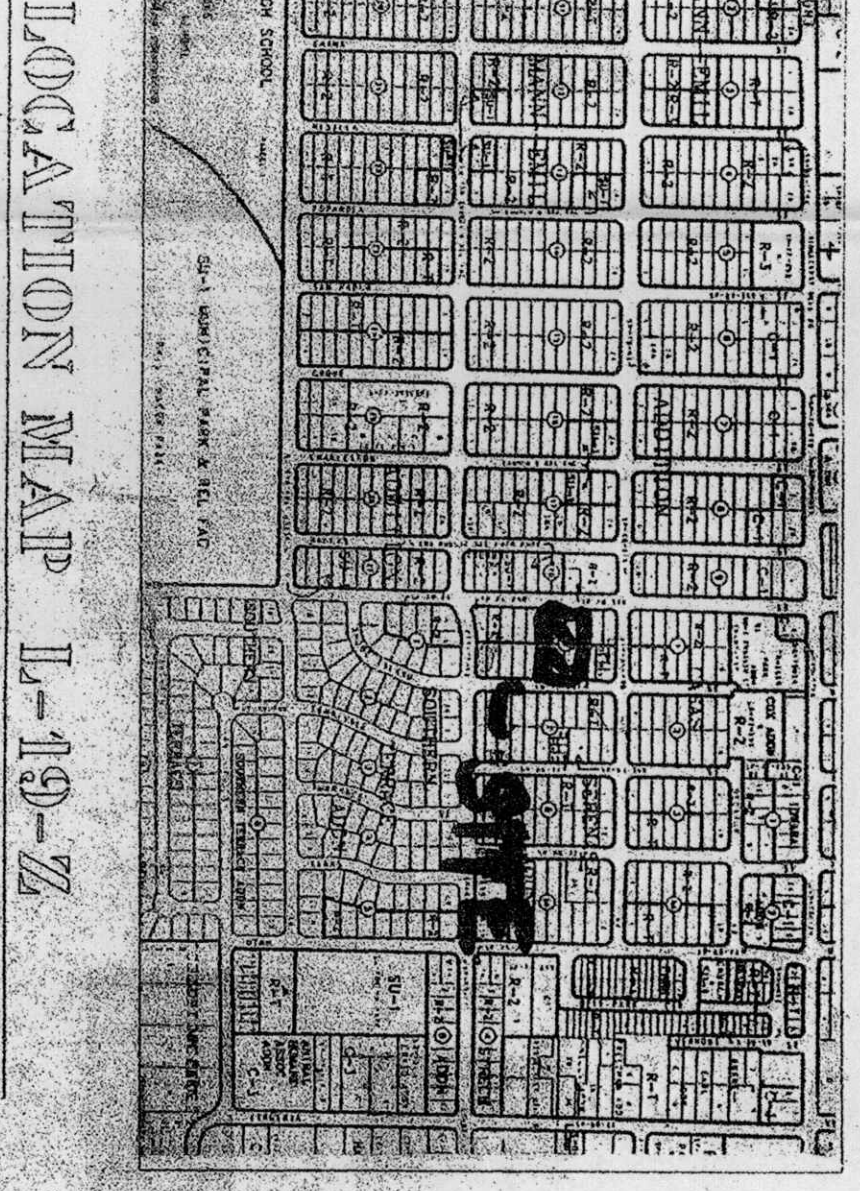
PARKING CRITERIA

SPACE REQUIRED PER (4) CONGREGATION MEMBERS	140
TOTAL CONGREGATION	140
TOTAL SPACES PROVIDED	12 SPACES
INCLUDES (1) VAN ACCESSIBLE HC SPACE	



LEGAL DESCRIPTION

LOTS 5, 6, 17 & 18 BLOCK 8, CASAS SERENAS ADDITION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
420 PENNSYLVANIA AVE SE



PROJECT NUMBER: 1000501
APPLICATION NUMBER: 08DRB-01281

DRB SITE DEVELOPMENT PLAN APPROVAL

Richard Deak
DATE: 8-6-03

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

UTILITIES DEPARTMENT

Christina Gonzalez
DATE: 8/6/03

PARKS AND RECREATION DEPARTMENT

Brandon J. Bell
DATE: 8/6/03

CITY ENGINEER

N/A
DATE: 8-6-03

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)

Michelle H. H. (see note above)
DATE: 8-6-03

SOLID WASTE MANAGEMENT

Sharon M. Matson
DATE: 8/6/03

DRB CHAIRPERSON PLANNING DEPARTMENT

Sharon M. Matson
DATE: 8/6/03

ALBUQUERQUE BUILDING & SAFETY DEPARTMENT

9/19/03
DATE: 9/19/03

SHEET 1

2/6/02 DATE

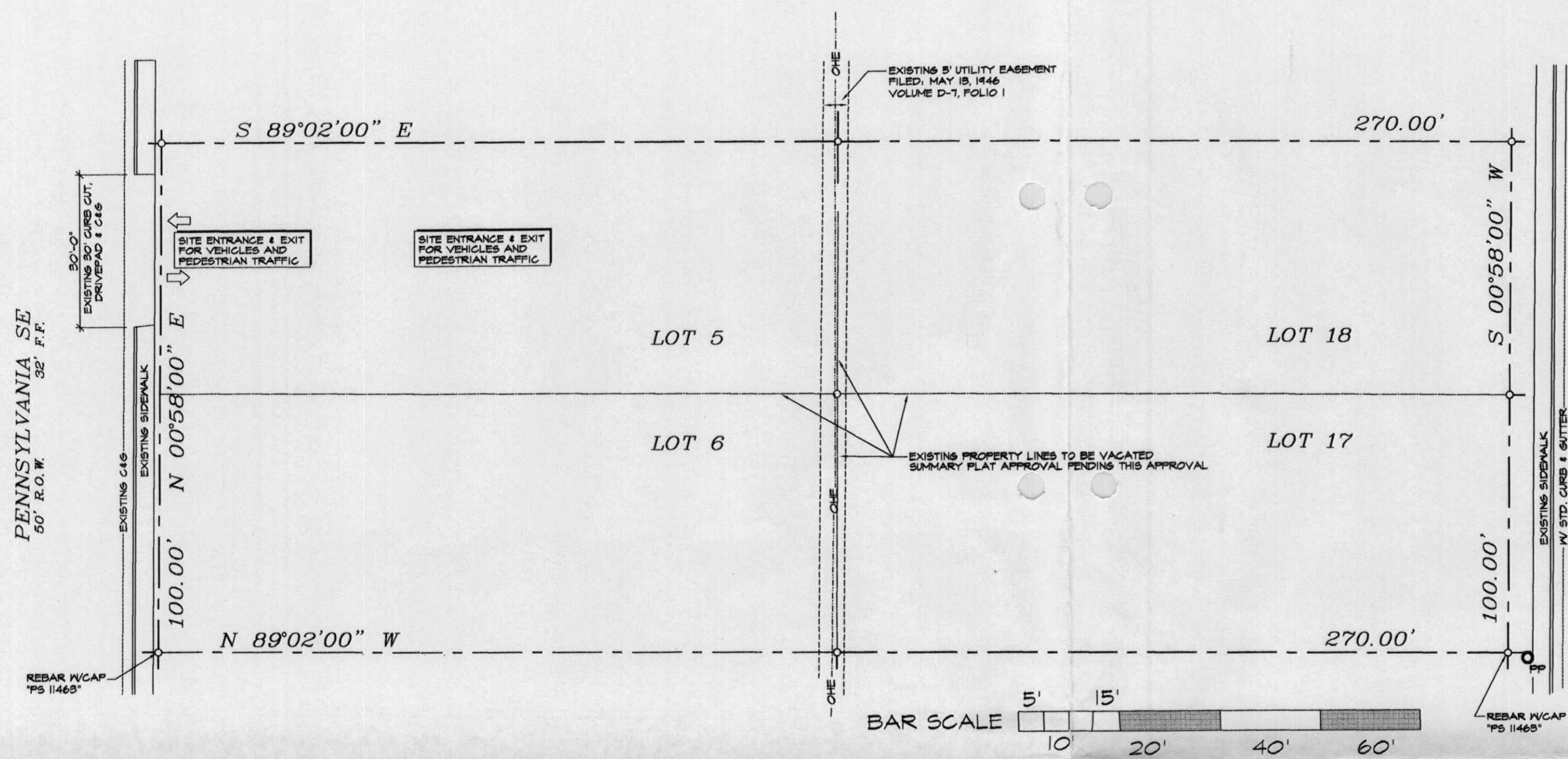
P-05-01 PROJECT NO.

A NEW TEMPLE FOR:
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THE NEW MEXICO VIETNAMESE BUDDHIST ASSOCIATION
420 PENNSYLVANIA SE ALBUQUERQUE, NEW MEXICO 87108

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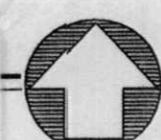
THESE PLANS WERE PREPARED FOR THE USE OF PERMITS AND CONSTRUCTION SOLELY FOR SHIVER CONSTRUCTION, INC. THEY SHALL NOT BE USED FOR CONSTRUCTION BY OTHERS WITHOUT WRITTEN CONSENT.



LEGAL DESCRIPTION
 LOTS 5, 6, 17 & 18 BLOCK 8, CASAS SERENAS ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 420 PENNSYLVANIA AVE SE

SITE DEVELOPMENT PLAN FOR SUBDIVISION

SCALE: 1" = 20'-0"



LOTS 5 & 6

USE OF PROPERTIES:
 LOTS 5 & 6 CURRENTLY ZONED SU-1 FOR CHURCH. SITE CONSISTS OF PARKING AND LANDSCAPED AREAS, AND A 2600 SQ.FT. SINGLE STORY STRUCTURE CONTAINING A TEMPLE OF WORSHIP, PRAYER ROOMS, RELIGIOUS EDUCATION AREA AND RESTROOMS.
 [REQUIREMENTS SET FORTH ZONING CODE ARTICLE 14-16-2-22, ITEM B-4]

- MAXIMUM HT. ALLOWED FOR THESE LOTS IS 26'. [PER ZONING CODE ARTICLE 14-16-2-11, ITEM 1C]
- MINIMUM SETBACK REQUIREMENTS FOR SU-1 ZONE TO BE REVIEWED AND APPROVED BY CITY PLANNING. [PER ZONING CODE ARTICLE 14-16-2-22] EXISTING CONDITIONS REVIEWED AND APPROVED. NO CHANGES CURRENTLY INTENDED.
- NONRESIDENTIAL MAXIMUM FLOOR AREA RATIOS
 NO CHANGES SINCE ORIGINAL SU-1 APPROVAL. [ZONING CODE ARTICLE 14-16-2-22 ITEM (6)]
 LOT 5 AREA...6,767 SQ.FT.
 CONTAINS NO STRUCTURES...F.A.R. = 0.0
 LOT 6 AREA...6,765 SQ.FT.
 STRUCTURE AREA...2,600 SQ.FT...F.A.R. = .38

LOTS 17 & 18

USE OF PROPERTIES:
 LOTS 5 & 6 CURRENTLY ZONED SU-1 FOR CHURCH. EXISTING COMMON PROPERTY LINE CURRENTLY STRADDLED BY UNOCCUPIED SINGLE STORY RESIDENTIAL TYPE BRICK AND PITCHED ROOF STRUCTURE. THIS BUILDING IS INTENDED TO BE DEMOLISHED, AND REPLACED BY A NEW 2-STORY BRICK STRUCTURE HOUSING A NEW PLACE OF WORSHIP, PRAYER ROOMS, RELIGIOUS EDUCATION AREAS AND MODERN RESTROOMS. SITE PLAN FOR BP IS CURRENTLY SUBMITTED FOR EPC, SU-1 APPROVAL.
 [REQUIREMENTS SET FORTH ZONING CODE ARTICLE 14-16-2-22, ITEM B-4]

- MAXIMUM HT. ALLOWED FOR THESE LOTS IS 26'. CURRENT BUILDING IS IN COMPLIANCE. PROPOSED STRUCTURE IS CURRENTLY DESIGNED AT 25' HIGH. [PER ZONING CODE ARTICLE 14-16-2-11, ITEM 1C]
- MINIMUM SETBACK REQUIREMENTS FOR SU-1 ZONE TO BE REVIEWED AND APPROVED BY CITY PLANNING. [PER ZONING CODE ARTICLE 14-16-2-22] EXISTING CONDITIONS REVIEWED AND APPROVED. PROPOSED CHANGES CURRENTLY BEING REVIEWED FOR SITE DEVELOPMENT APPROVAL.

LOTS 5,6,17 & 18

LOT CONSOLIDATION NOTES FOR F.A.R.

REPLAT ACTION CURRENTLY SUBMITTED AND PENDING THIS APPROVAL. 03DRB-00546 PROJECT 1000501 ZONE MAP L-19

PROPOSED SUMMARY FLAT OF LOTS 5,6,17 & 18...
 PROPOSED POST APPROVAL SUBDIVISION F.A.R.

CONSOLIDATED LOT AREA...27,000 SQ.FT.
 EXISTING STRUCTURES AREA...F.A.R. = .01
 (DOES NOT INCLUDE BUILDINGS TO BE DEMOLISHED)

PROPOSED NEW STRUCTURE AREA...
 BUILDING FOOTPRINT AREA...8,520 SQ.FT. (USED FOR F.A.R. CALCULATION)
 (2-STORY TOTAL...8,650 SQ.FT.)

CONSOLIDATED LOT F.A.R. = .21
 [ZONING CODE ARTICLE 14-16-2-22 ITEM (6)]

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE _____
UTILITIES DEVELOPMENT	DATE _____
PARKS AND RECREATION DEPARTMENT	DATE _____
CITY ENGINEER	DATE _____
• ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE _____
SOLID WASTE MANAGEMENT	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE _____
• ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE _____

4-10-03

REVISION # _____

THESE PLANS WERE PREPARED FOR THE PURPOSE OF OBTAINING PERMITS AND CONSTRUCTION OF THE PROJECT. SHIVER CONSTRUCTION, INC. IS NOT RESPONSIBLE FOR ANY CONSTRUCTION BY OTHERS WITHOUT WRITTEN CONSENT.

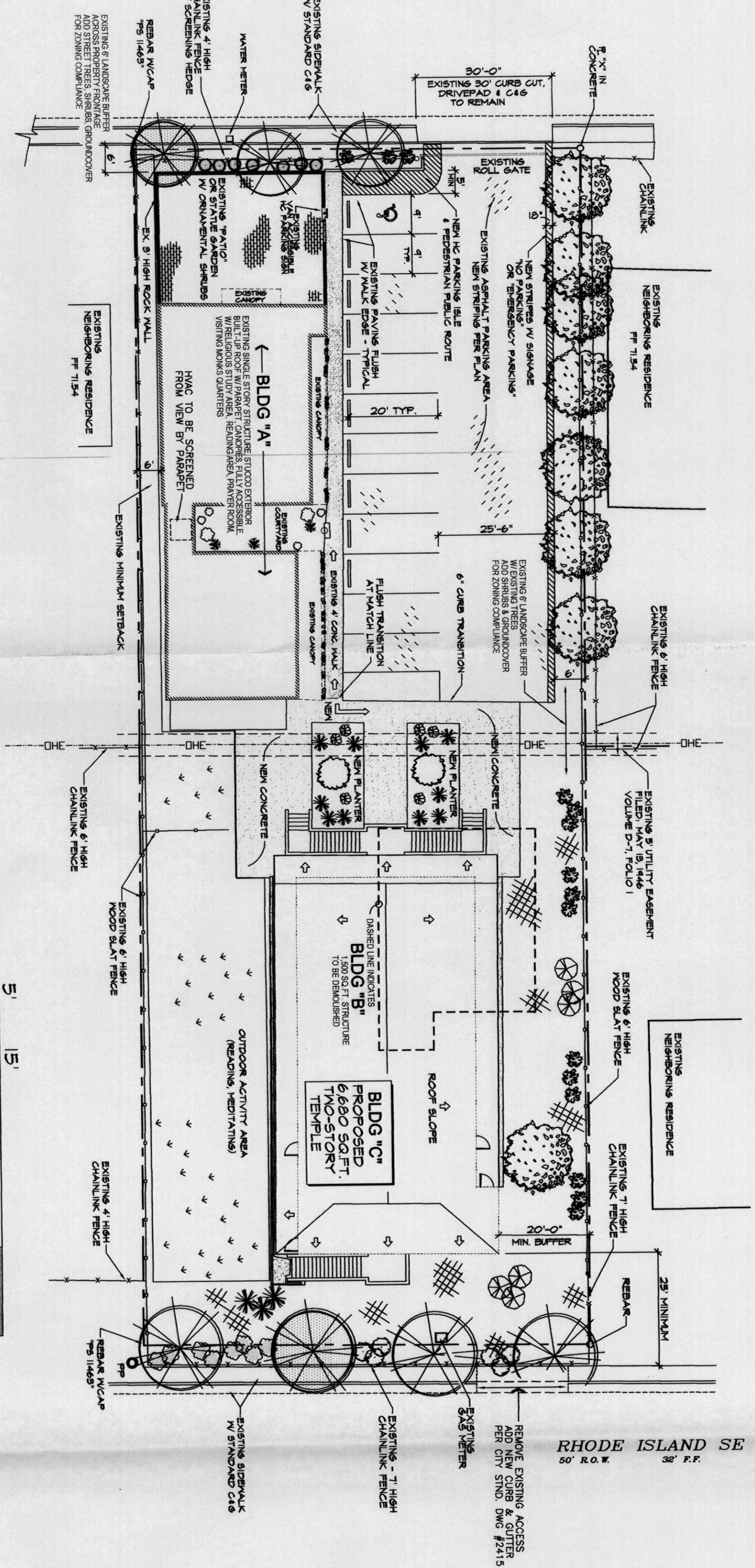
SHIVER CONSTRUCTION CO.
DESIGN BUILD
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SHEET

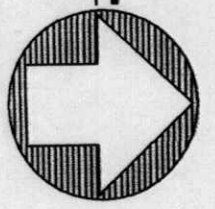
2/10/02
 DATE

F-03-01
 PROJECT NO.



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

(INFORMATION PROVIDED FOR SUBDIVISION, ZONE MAP AMENDMENT, TOL & BUILDING PERMIT) SCALE: 1" = 20'-0"

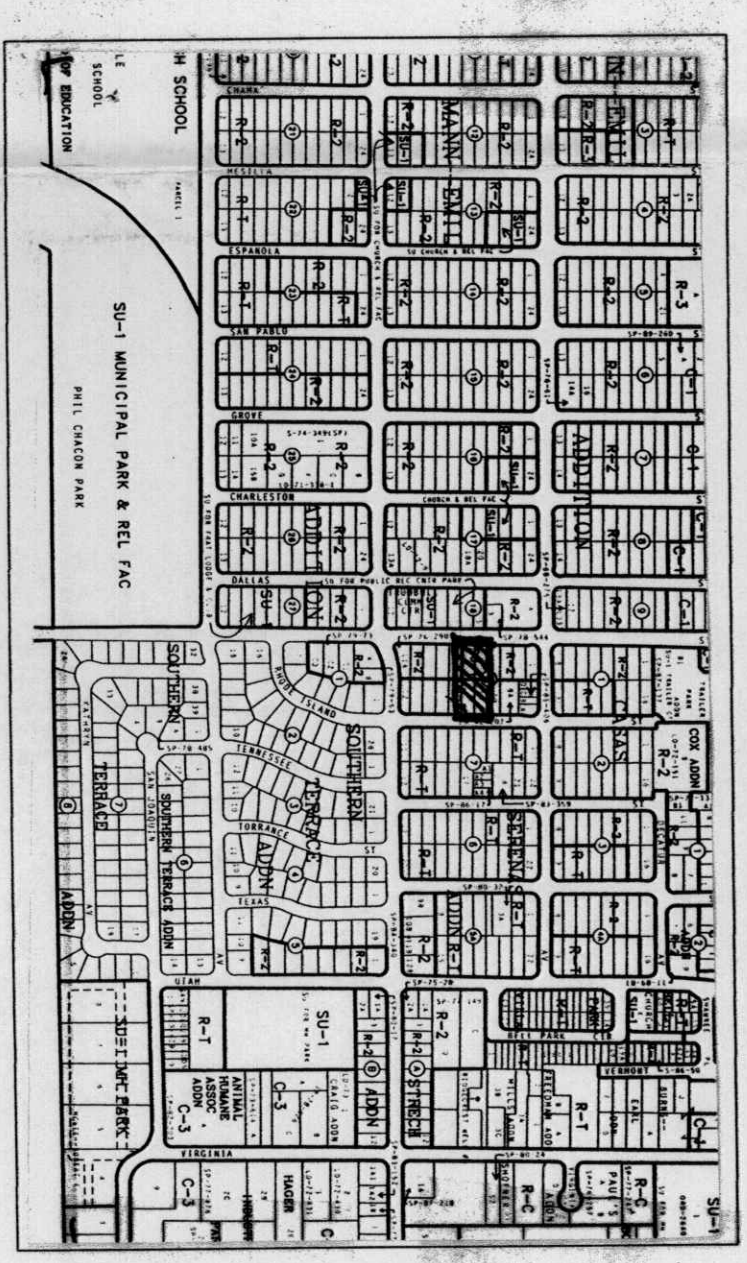


- LANDSCAPE NOTES**
- ALL NEWLY PLANTED LANDSCAPING IS TO BE DRIP SYSTEM IRRIGATED.
 - LANDSCAPING IS TO BE MAINTAINED BY THE OWNER.
 - IRRIGATION SYSTEM IS TO BE MAINTAINED BY THE OWNER.
 - GROUND COVER TO BE 75% COVERAGE AT MATURITY.
 - ALL STREET TREES ARE TO BE 3" CALIPER ORNAMENTALS 2' SHRUBS AND JUNIPERS ARE TO BE 5 GAL. MINIMUM PERENNIALS AND ORNAMENTALS OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE MASTER WATER ORDINANCE. ALL TREES SHRUBS & GRASSES ARE TO BE LOW TO MEDIUM WATER USAGE.

SYMBOL	PLANT TYPE
	EXISTING TREES BLACK LOCUST ROBINA PERILOCA RUSSET OLIVE ELAEAGNUS ARGENTIFOLIA
	NEW STREET TREE HONEY LOCUST GLEDITSIA TRIACANTHOS NEWBOLD OLEA EUROPEA ARIZONAL PINE PINUS MONTEZUMAE
	EXISTING SHRUBS / ORNAMENTALS COTONWOOD PARROT MONTANA PRUNELLA MONTANA PRUNELLA
	NEW SHRUBS / ORNAMENTALS HOLLY LILY BURNING ORNAMENTALS BARBERRY ERIGONIA JUNIPERUS
	NEW GROUNDCOVER JUNIPER JUNIPERUS BLUE CHIP OR BLUE BOY SPREA JUNIPERUS
	SEED MIX STANDARD CITY OF ALBUQUERQUE SEED MIX
	5/4 - 7/8 BRONZE COVER FILTER FABRIC

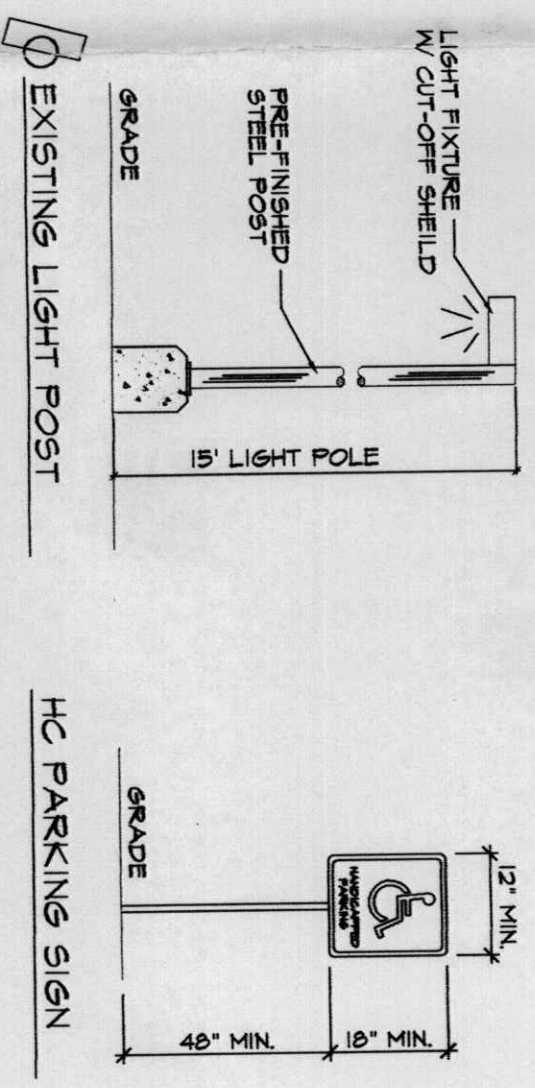
LANDSCAPE CALCULATIONS

NORTH ZONE (WEST PROPERTY LINE TO EAST END OF BUILDING)	2160 SQ. FT.
SOUTH ZONE (WEST PROPERTY LINE TO EAST END OF BUILDING)	9940 SQ. FT.
EAST ZONE (NORTH PROPERTY LINE TO SOUTH PROPERTY LINE)	1844 SQ. FT.
WEST ZONE (NORTH PROPERTY LINE TO SOUTH PROPERTY LINE)	964 SQ. FT.
TOTAL LANDSCAPED AREAS PROVIDED	8,619 SQ. FT.
TOTAL SITE AREA	0.62 ACRES = 270,072 SQ. FT.
TOTAL BUILDING AREA	4,965 SQ. FT.
TOTAL NET LOT AREA	270,007 SQ. FT.
15% OR AREA REQUIRED	40,251 SQ. FT.
	5,619 X 4,025



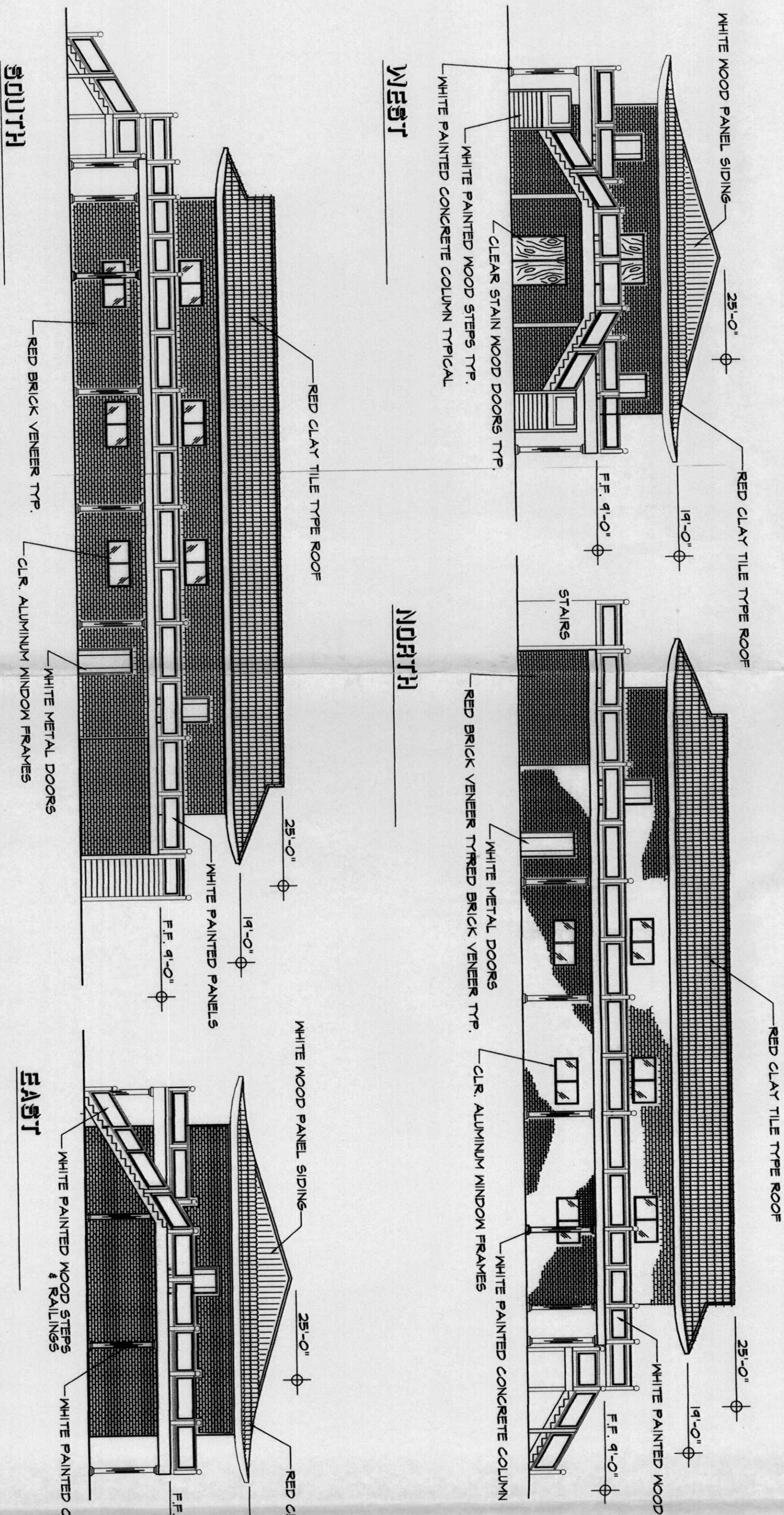
LOCATION MAP L-19-Z

LEGAL DESCRIPTION
 LOTS 5, 6, 17 & 18 BLOCK 8 CASAS SERENAS ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 420 PENNSYLVANIA AVE SE



PARKING CRITERIA

1 SPACE REQUIRED PER (4) CONVERSATION NEIGHBORS
 TOTAL CONVERSATION (40)
 TOTAL SPACES REQUIRED 11 SPACES
 TOTAL SPACES PROVIDED 12 SPACES
 INCLUDES (1) VAN ACCESSIBLE HC SPACE



PROPOSED NEW TEMPLE ELEVATIONS

SCALE: 3/32" = 1'-0"

PROJECT NUMBER: _____
APPLICATION NUMBER: _____
DRB SITE DEVELOPMENT PLAN APPROVAL: _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE

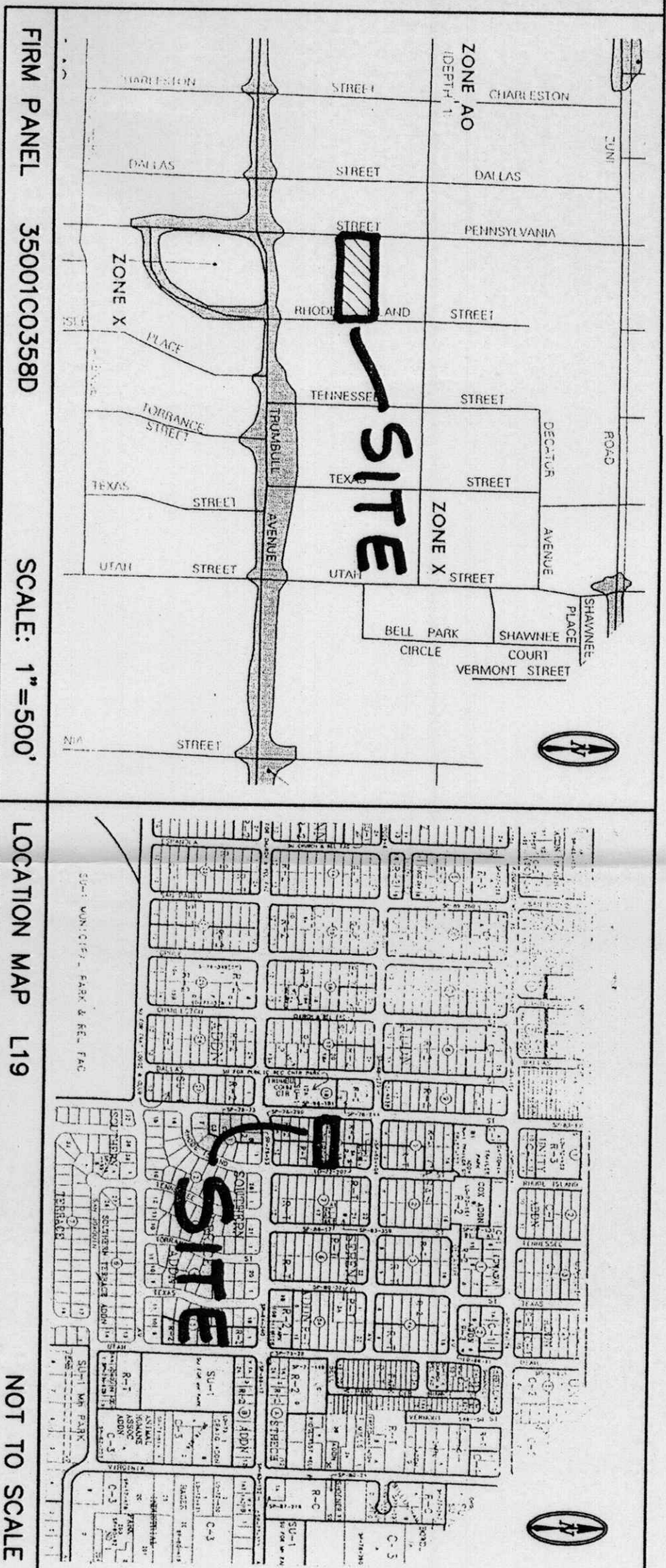
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SHEET
 1

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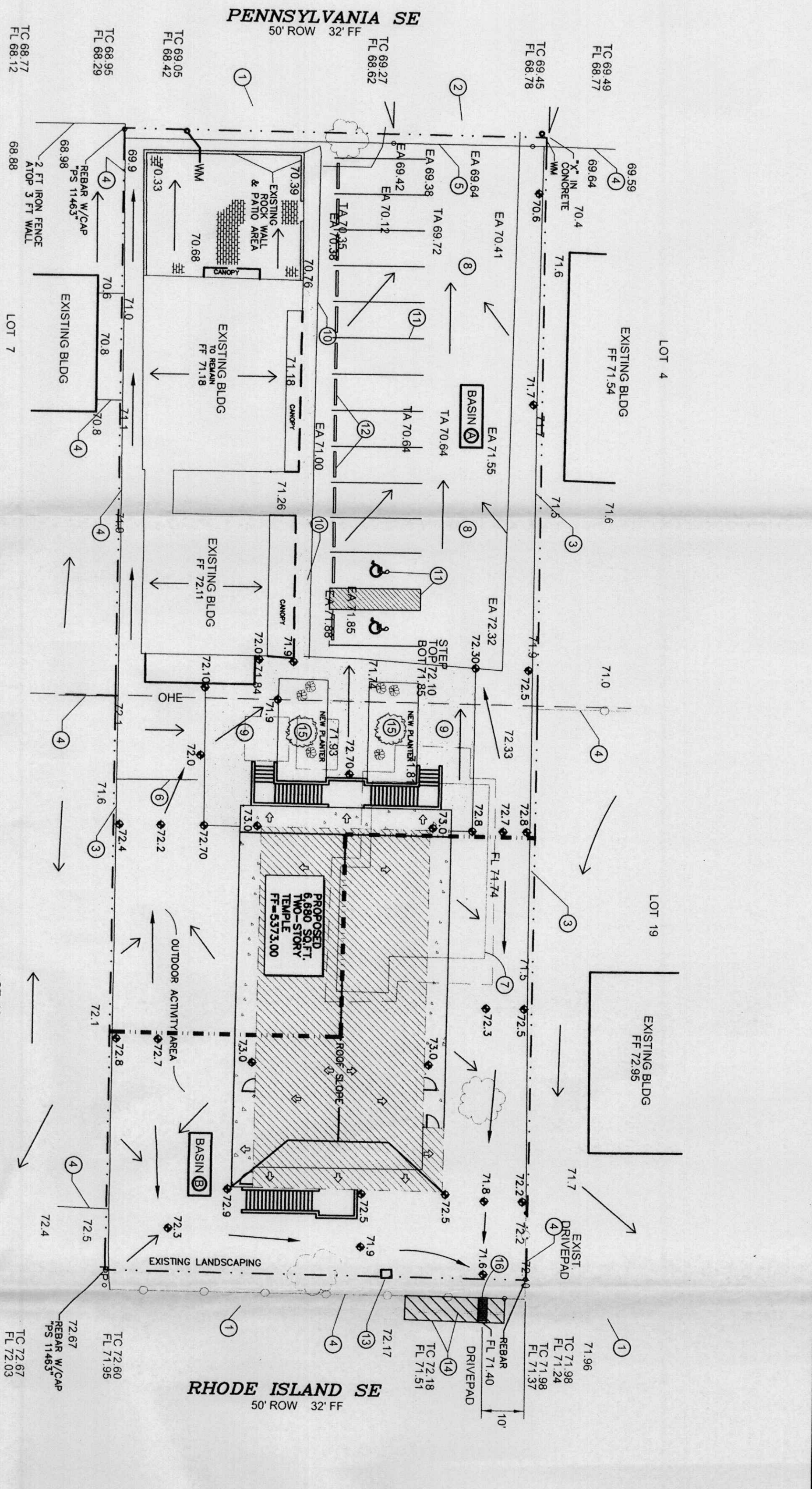
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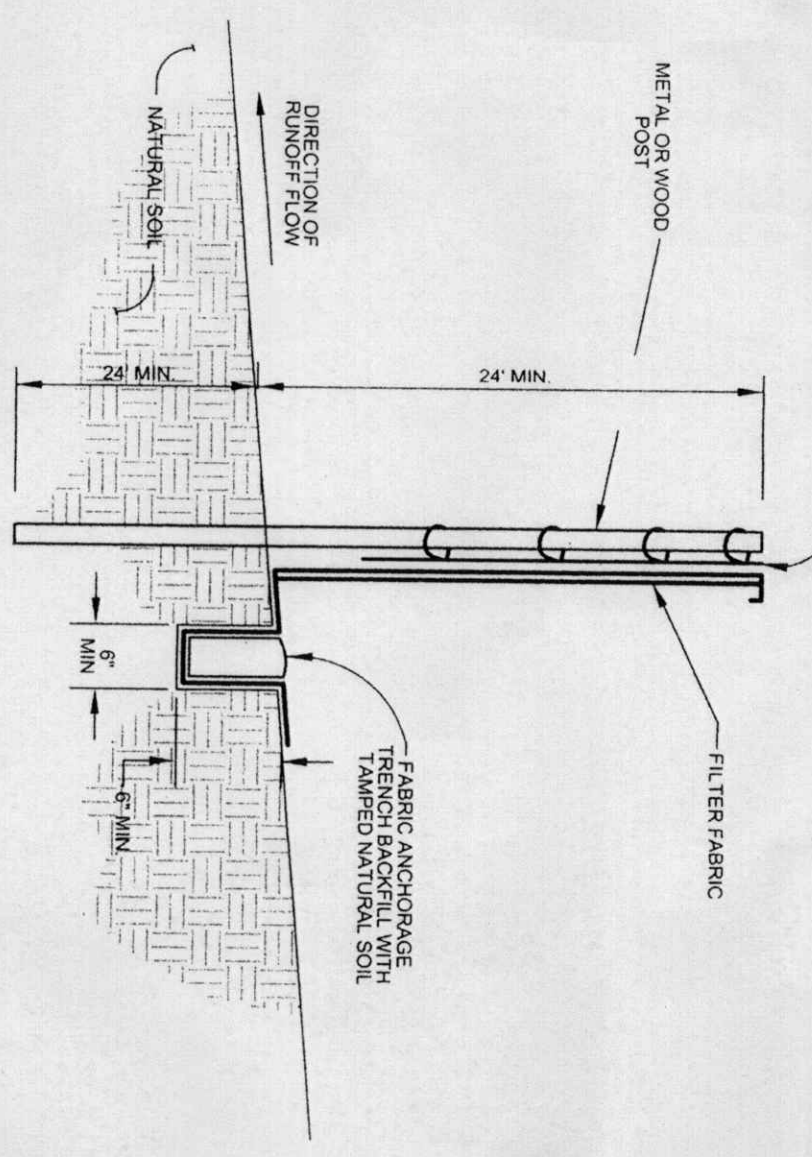
GRADING AND DRAINAGE NOTES

1. BU recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit infiltration of groundwater. Future alterations of grades adjacent to the proposed structures is not recommended. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
3. This Plan is prepared to establish on-site drainage and grading criteria only. BU assumes no responsibility for subsurface analysis, foundation/structural design or utility design.
4. Local codes may require all footings to be placed in natural undisturbed soil. If a registered Professional Engineer or a registered Professional Engineer issues a BU to prepare the Certification, we must be notified prior to placement of the fill, to test and inspect all earthwork aspects of the project.
5. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

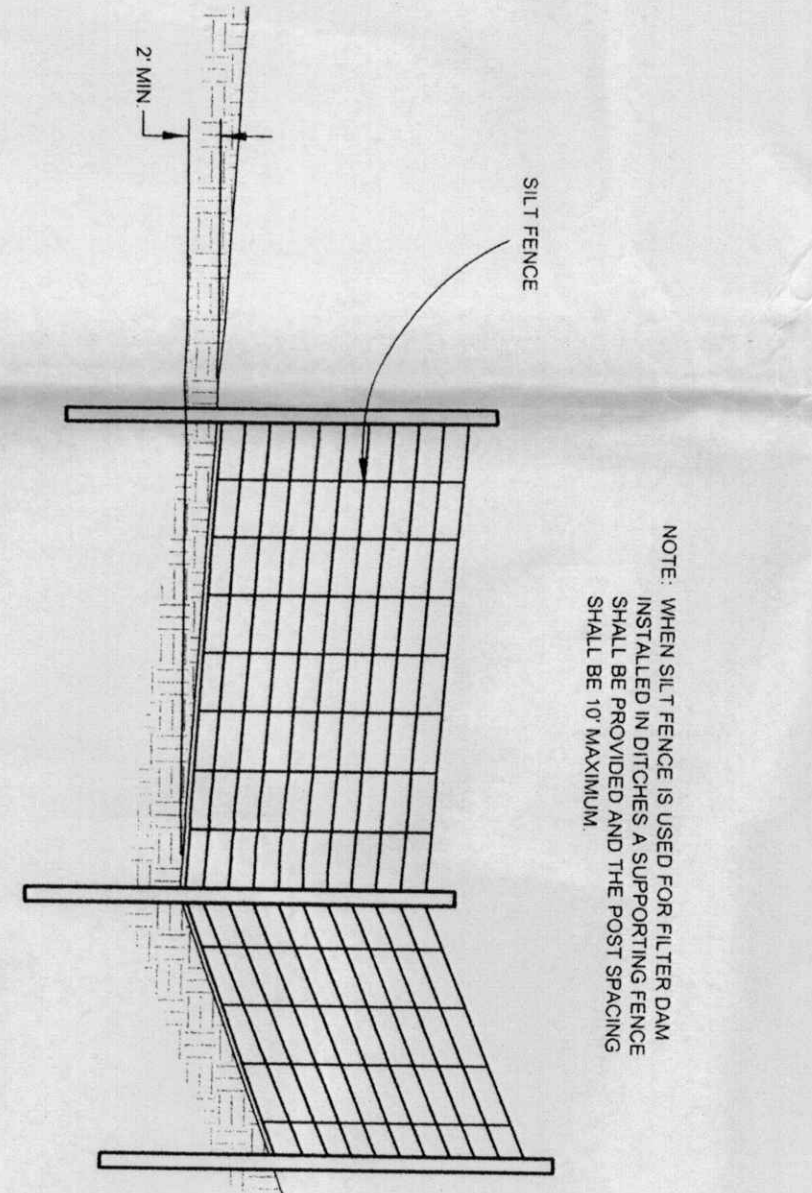
DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

1. ALL EXCAVATION PERMITS WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAIL ON THESE PLANS TO BE PERFORMED EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE CONSTRUCTION, 1985.
3. THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LOCAL SERVICE, 765-124.
4. PRIOR TO CONSTRUCTION OF ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY THE LOCAL SERVICE, 765-124.
5. A MINIMUM AMOUNT OF DELAY SHALL BE MAINTAINED TO PREVENT THE LOCAL SERVICE FROM BEING INTERRUPTED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL CONSTRUCTION WORKS WITHIN THE CITY RIGHT-OF-WAY.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

ELEVATION - FILTER DAM (SILT FENCE OPTION)



ELEVATION - FILTER DAM (SILT FENCE OPTION)



KEYED NOTES

1. EXISTING STANDARDB CURB & GUTTER
2. EXISTING DRIVEWAY TO REMAIN
3. EXISTING 6" WOOD FENCE TO REMAIN
4. EXISTING CHAINLINK FENCE TO REMAIN
5. EXISTING 2" WOOD FENCE TO REMAIN
6. EXISTING WOOD FENCE TO BE REMOVED
7. EXISTING BUILDINGS TO BE DEMOLISHED
8. SEE SITE DEMOLITION PLAN
9. NEW CONCRETE FLATWORK TO REMAIN
10. EXISTING CONCRETE SIDEWALK TO REMAIN
11. NEW PARKING STRIPING PER CITY CODE
12. EXISTING DRIVEWAY TO BE REMOVED
13. REMOVE & DISPOSE EXISTING 20" CONCRETE DRIVEWAY CONSTRUCT STD CONCRETE CURB & GUTTER PER COA STD DWG 2415
14. REMOVE & DISPOSE EXISTING 20" CONCRETE DRIVEWAY CONSTRUCT STD CONCRETE CURB & GUTTER PER COA STD DWG 2415
15. CONSTRUCT 12" INCH SIDEWALK CURB PER COA STD DWG 2238

LEGEND

- - - - - EXISTING CONTOUR ELEVATION
- 02.5 x EXISTING SPOT ELEVATION
- 01 - - - - PROPOSED CONTOUR ELEVATION
- 01 - - - - PROPOSED SPOT ELEVATION
- 01.5 x PROPOSED SPOT ELEVATION
- -- -- DRAINAGE SWALE
- - - - - DRAINAGE BASIN DIVIDE

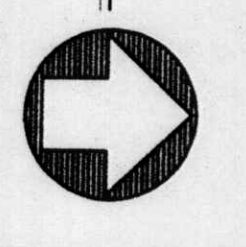
PROJECT DATA

PROPERTY ADDRESS
420 PENNSYLVANIA SE
LEGAL DESCRIPTION
LOT 5-A, BLOCK 8, CASAS SERENAS SUBDIVISION
PROJECT BENCHMARK
ACS STATION "1-L19" A SQUARE CHISELED IN TOP OF CONCRETE CURB, ESE QUADRANT
ELEVATION = 3374.16 FT MSLD
MAPPING
FIELD MEASUREMENTS BY BRASHER & LORENZ, INC. DECEMBER 2002

PROJECT HYDROLOGY									
NEW MEXICO VIETNAMESE BUDDHIST ASSOCIATION									
ZONE	AREA (ac)	AREA (sq ft)	PERCENT IMPERVIOUS	PERCENT IMPERVIOUS	PERCENT IMPERVIOUS	PERCENT IMPERVIOUS	PERCENT IMPERVIOUS	PERCENT IMPERVIOUS	PERCENT IMPERVIOUS
3	2.80	240,000	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4.90	4.90	424,000	0.00	0.00	0.00	0.00	0.00	0.00	0.00
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E (ac)	Q (cfs)	VOL (cfs-h)	
1	0.62	0.00	0.05	0.22	0.35	1.86	2.6	0.0995	
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E (ac)	Q (cfs)	VOL (ac-ft)	
1	0.62	0.00	0.09	0.13	0.40	1.93	2.7	0.0995	
2	0.44	0.00	0.06	0.10	0.28	1.93	1.9	0.0706	
3	0.18	0.00	0.03	0.03	0.12	1.93	0.6	0.0289	

GRADING & DRAINAGE PLAN

SCALE: 1" = 20'-0"



BRASHER & LORENZ CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6098 Fax: 505-888-6188



01/20/03
SITE
BL002548
PROJECT NO.

A NEW FACILITY OF WORSHIP FOR:
CHUA QUANG MINH
NEW MEXICO VIETNAMESE BUDDHIST ASSOCIATION
ALBUQUERQUE, NEW MEXICO

SHIVER CONSTRUCTION CO.
DESIGN/BUILD
100 IRON AVE. SE, ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 344-3461 FAX (505) 764-8198 WWW.SHIVERCONSTRUCTIONCOMPANY.COM