



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT, DEVELOPMENT SERVICES DIVISION
P.O. BOX 1293, ALBUQUERQUE, NM 87103

13 November 2001

Susan Mirabal
1716 White Cloud, NE
Albuquerque, NM 87112

CERTIFICATE OF ZONING

FILE: 0110-00604 (Project 1000501)

DATE OF FINAL ACTION: 31 August 2000

LEGAL DESCRIPTION: Lots 5 & 6, 17 and 18,
Block 8, Casas Serenas, located at 419 Rhode
Island, SE between Bell Street SE and Trumbull
Street SE, containing approximately 0.3054 acres.
(L-19) Debbie Stover, Staff Planner

THE POSSIBLE APPEAL PERIOD HAVING EXPIRED, THE ZONING ON THE ABOVE
CITED PROPERTY IS NOW CHANGED AS FOLLOWS:

FROM R-T
TO SU-1 for a Church

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of a zone map amendment does not constitute approval of plans for a building permit. Site and building plans need to be reviewed, approved and signed-off by the Environmental Planning Commission, the Development Review Board, the Design Review Committee and/or the Building and Safety Division, as applicable and as required by the site's zoning, before a building permit will be issued.

Sincerely,


for Robert McCabe, AIA, APA
Planning Director

RM/nat

cc: Zoning Code Services Division
Neal Weinberg, AGIS Division

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 5, 2000

**OFFICIAL NOTIFICATION OF
DECISION**

Susan Mirabal
1716 White Cloud NE
Albuquerque, NM 87112

FILE: 00110-00000-00604
00138-00000-01067
(Project #1000501)

LEGAL DESCRIPTION: Lots 5 & 6, 17
and 18, Block 8, Casas Serenas, located at
419 Rhode Island SE, between Bell Street
SE and Trumbull Street SE, containing
approximately 0.3054 acres. (L-19) Debbie
Stover, Staff Planner

On August 31, 2000, the Environmental Planning Commission voted to approve 00110-00000-00604, a request for a zone map amendment from RT to SU-1 for a Church, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a .60 acre site at 419 Rhode Island SE. Currently, a single family dwelling exists on lot 18 and lot 17 is a vacant lot. This is a request for a zone map amendment which would change the zoning from RT to SU-1 for a church for these two lots.
2. This request would allow an existing use that is compatible with the neighborhood to expand.
3. In accordance with R 270-1980, this request would not cause harm to the area and could act as a stabilizing effect for the neighborhood, thereby demonstrating that a different use category is more advantageous to the community.
4. There have been no documented complaints regarding this site in the 14 years of its existence. The applicants have a petition that included 20 signatures of support for the project.

CONDITIONS:

1. Lots 5, 6, 17 & 18 must be re-platted into one lot prior to DRB approval.
-

OFFICIAL NOTIFICATION OF DECISION

00110-00000-00604/00138-00000-01067/Project #1000501

August 31, 2000

Page 2

On August 31, 2000, the Environmental Planning Commission voted to approve 00138-00000-01062, a request for an amendment to the Trumbull Neighborhood Sector Development Plan, based on the following Findings:

FINDINGS:

1. The Trumbull Neighborhood Sector Plan sets forth objectives regarding land use. Some of those goals include revising zoning to be compatible with existing land uses and, to the extent possible, utilizing zoning as a tool for stabilizing the area.
2. The Buddhist Temple has been in existence in this location for 14 years with no evident problems in the neighborhood.
3. The temple offers variety and adds to the number of choices in lifestyles for the community. The creation of a facility for Sunday School for the temple would help maximize these offerings for the community, which is a stated goal in the Trumbull Neighborhood Sector Development Plan.
4. When a zone change is approved within a sector plan, an amendment to that plan is required.

On August 31, 2000, the Environmental Planning Commission voted to approve 00138-00000-00869, a request for site development plan for subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. A site plan for subdivision is required for approval of SU-1 zoning.
2. There have been no documented complaints regarding this site in the 14 years of its existence. The applicants include a petition of 20 signatures of support for the project.
3. There is existing chain link fence on the site.
4. More detailed information will be required at the DRB level.
5. This site plan shall serve as documentation of the site's current development. Any further development or expansion should require an amendment to the site plan.

OFFICIAL NOTIFICATION OF DECISION

00110-00000-00604/00138-00000-01067/Project #1000501

August 31, 2000

Page 3

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
2. This site plan shall serve as documentation of the site's current development. Any further development or expansion shall require an amendment to the site plan.
3. All parking of vehicles shall occur on a paved, striped, designated parking area. ADA parking shall be provided.
4. Provision of adequate off-street parking must be demonstrated prior to approval.
5. Access to the entire site shall be from Pennsylvania Avenue SE.
6. All outside lighting shall be shown on the site plan and measures shall be taken to minimize glare and visibility from the site perimeter. Light poles shall be no more than 16' high.
7. The chain link fence that exists between the four lots shall be removed to allow access between the properties.
8. Existing chain link fence on the west and east sides of the site shall be screened with landscaping treatments such as hedges or vines.
9. Street trees shall be planted per the Street Tree Ordinance along lots 17 and 18 on Rhode Island NE.
10. A 20' landscape buffer shall be provided along the frontage on Rhode Island. This landscape shall consist of street trees, low water use plants, and a gravel mulch or an irrigated warm season grass lawn with shrubs and street trees. All landscaping areas shall have a 75% coverage of organic material of maturity.
11. Top of parapet or screen walls shall be greater than top of all HVAC equipment.
12. There shall be an ADA compliant sidewalk(s) connecting all occupied buildings on site to each other and an ADA compliant sidewalk to the adjacent streets.
13. The parking lot shall comply with the parking lot DPM landscape requirements.

OFFICIAL NOTIFICATION OF DECISION

00110-00000-00604/00138-00000-01067/Project #1000501

August 31, 2000

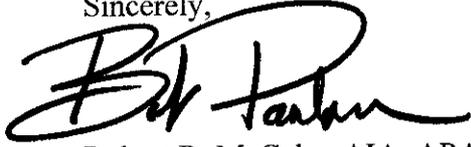
Page 4

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY SEPTEMBER 15, 2000 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL Date: June APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,


FOR Robert R. McCabe, AIA, APA
Planning Director

RM/DS/clp

cc: Thanh Nguyen, 420 Pennsylvania SE, Albuquerque, NM 87108
Susan Mirabal, 419 Rhode Island SE, Albuquerque, NM 87108
Alvorn Clifton, Trumbull Village Assoc., 508 Rhode Island SE, Albuquerque, NM 87108
Dan Serrano, Trumbull Village Assoc., 533 Virginia SE, Albuquerque, NM 87108

equipment shall be screened by screen walls with top of equipment below top of screen walls.

13. All property lines shall be shown on the final site development plan.
14. End aisles shall be provided per DPM standards, 10 foot minimum with landscaping with 75% organic coverage of maturity and shade trees in the parking area.
15. The applicant shall remove all chainlink fence on the eastern edge of parking lot, within the development area as described by the documents submitted to the Environmental Planning Commission. The chainlink fence will be replaced with a new 3 ½ foot, black wrought iron fence with intermittent block pillars to match the proposed clubhouse.

MOVED BY COMMISSIONER J. CHAVEZ
SECONDED BY COMMISSIONER HEISER

MOTION CARRIED 5-0
(COMMISSIONER'S BEGAY &
JOHNSON RECUSED)

00110 00000 00604
00138 00000 01067
Project # 1000501

Thanh Nguyen, agent for Susan Mirabal, request a Zone Map Amendment from R-T to SU-1 for a Church, amendment to the Trumbull Sector Development Plan and Approval of a Site Development Plan for Subdivision for Lots 5 & 6, 17 and 18, Block 8, Casas Serenas, located at 419 Rhode Island, SE between Bell Street, SE and Trumbull Street, SE, containing approximately 0.3054 acres. (L-19) Debbie Stover, Staff Planner

STAFF PRESENT:

Debbie Stover, Planning Department

PERSON PRESENT TO SPEAK IN FAVOR OF THIS REQUEST:

Thanh Nguyen, 420 Pennsylvania SE, Albuquerque, NM 87108

THERE WERE NO PERSONS PRESENT TO SPEAK IN OPPOSITION OF THIS REQUEST:

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to approve 00110-00000-00604, a request for a zone map amendment from RT to SU-1 for a Church, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a .60 acre site at 419 Rhode Island SE. Currently, a single family dwelling exists on lot 18 and lot 17 is a vacant lot. This is a request for a zone map amendment which would change the zoning from RT to SU-1 for a church for these two lots.
2. This request would allow an existing use that is compatible with the neighborhood to expand.
3. In accordance with R 270-1980, this request would not cause harm to the area and could act as a stabilizing effect for the neighborhood, thereby demonstrating that a different use category is more advantageous to the community.
4. There have been no documented complaints regarding this site in the 14 years of its existence. The applicants have a petition that included 20 signatures of support for the project.

CONDITIONS:

1. Lots 5, 6, 17 & 18 must be re-platted into one lot prior to DRB approval.

MOVED BY COMMISSIONER J. CHAVEZ

SECONDED BY COMMISSIONER JOHNSON

MOTION CARRIED UNANIMOUSLY

On August 31, 2000, the Environmental Planning Commission voted to approve 00138-00000-01062, a request for an amendment to the Trumbull Neighborhood Sector Development Plan, based on the following Findings:

FINDINGS:

1. The Trumbull Neighborhood Sector Plan sets forth objectives regarding land use. Some of those goals include revising zoning to be compatible with existing land uses and, to the extent possible, utilizing zoning as a tool for stabilizing the area.
2. The Buddhist Temple has been in existence in this location for 14 years with no evident problems in the neighborhood.
3. The temple offers variety and adds to the number of choices in lifestyles for the community. The creation of a facility for Sunday School for the temple would help maximize these offerings for the community, which is a stated goal in the Trumbull Neighborhood Sector Development Plan.

4. When a zone change is approved within a sector plan, an amendment to that plan is required.

MOVED BY COMMISSIONER J. CHAVEZ
SECONDED BY COMMISSIONER BEGAY

MOTION CARRIED UNANIMOUSLY

On August 31, 2000, the Environmental Planning Commission voted to approve 00138-00000-00869, a request for site development plan for subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. A site plan for subdivision is required for approval of SU-1 zoning.
2. There have been no documented complaints regarding this site in the 14 years of its existence. The applicants include a petition of 20 signatures of support for the project.
3. There is existing chain link fence on the site.
4. More detailed information will be required at the DRB level.
5. This site plan shall serve as documentation of the site's current development. Any further development or expansion should require an amendment to the site plan.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
2. This site plan shall serve as documentation of the site's current development. Any further development or expansion shall require an amendment to the site plan.
3. All parking of vehicles shall occur on a paved, striped, designated parking area. ADA parking shall be provided.
4. Provision of adequate off-street parking must be demonstrated prior to approval.
5. Access to the entire site shall be from Pennsylvania Avenue SE.

6. All outside lighting shall be shown on the site plan and measures shall be taken to minimize glare and visibility from the site perimeter. Light poles shall be no more than 16' high.
7. The chain link fence that exists between the four lots shall be removed to allow access between the properties.
8. Existing chain link fence on the west and east sides of the site shall be screened with landscaping treatments such as hedges or vines.
9. Street trees shall be planted per the Street Tree Ordinance along lots 17 and 18 on Rhode Island NE.
10. A 20' landscape buffer shall be provided along the frontage on Rhode Island. This landscape shall consist of street trees, low water use plants, and a gravel mulch or an irrigated warm season grass lawn with shrubs and street trees. All landscaping areas shall have a 75% coverage of organic material of maturity.
11. Top of parapet or screen walls shall be greater than top of all HVAC equipment.
12. There shall be an ADA compliant sidewalk(s) connecting all occupied buildings on site to each other and an ADA compliant sidewalk to the adjacent streets.
13. The parking lot shall comply with the parking lot DPM landscape requirements.

MOVED BY COMMISSIONER J. CHAVEZ

SECONDED BY COMMISSIONER JOHNSON

MOTION CARRIED UNANIMOUSLY

NOTE: COMMISSIONER BEGAY LEFT AT THIS TIME

00128 00000 00578
Project # 1000363

DCSW Inc., Architects, agents for the City of Albuquerque/National Atomic Museum, request approval of an amendment to a site development plan for subdivision (Master Plan for Balloon Fiesta Park, containing 358 acres) for minor modifications to the area designated for the Balloon Museum and related uses plus approval of a site development plan for building permit for Tract A, Lands of the Order of St. Dominic. The entire 358-acre Balloon Fiesta site is zoned SU-2 for Balloon Fiesta Park, Museum Related Facilities. The 18.1 acre Tract A is located on Balloon Museum Drive north of Alameda Boulevard and south of AMAFCA Channel. (B-17) Bob Paulsen, Staff Planner

COMMISSIONER J CHAVEZ: Mr. Myers the 28th?

MR. MYERS: In light of what the discussion I heard this morning I think the 28th will be fine and we would appreciate it if the staff would make every effort to get their review done and get their input to you so we don't have further delay. Thank you.

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to defer 00110 00000 00176/00138 00000 00177/00128 00000 00590 to the Environmental Planning Commission Public Hearing on September 28, 2000.

MOVED BY COMMISSIONER J CHAVEZ
SECONDED BY COMMISSIONER L CHAVEZ MOTION CARRIED UNANIMOUSLY

~~00110-00000-00604
00128 00000 01003
00138 00000 01067
(Project #1000501)~~

Thanh Nguyen, agent for Susan Mirabal, request a Zone Map Amendment from R-T to SU-1 for a Church, amendment to a sector development plan and approval of a site development plan for subdivision for Lots 17 and 18, Block 8, Casas Serenas, located at 419 Rhode Island, SE between Bell Street, SE and Trumbull Street, SE, containing approximately 0.3054 acres. (L-19) Debbie Stover, Staff Planner **(DEFERRED TO AUGUST 31, 2000)**

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission voted to defer 00110 00000 00604/00128 00000 001003/00138 00000 01067 to the Environmental Planning Commission Public Hearing on August 31, 2000.

MOVED BY COMMISSIONER J CHAVEZ
SECONDED BY COMMISSIONER L CHAVEZ MOTION CARRIED UNANIMOUSLY

00128 00000 00592
00128 00000 00593
(Project #1000032)

Consensus Planning, agents for Lowes Company, Inc., request approval of a site development plan for building permit plus an amendment to a site development plan for subdivision for Tract 3, Coors Village, University of Albuquerque Urban Center zoned SU-3, located on Coors Boulevard NW between Western Trial and Milne Road, containing approximately 14.16 acres. (F-11) Russell Brito, Staff Planner **(DEFERRED FROM JUNE 15, 2000) (WITHDRAWN)**

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: August 18, 2000

OFFICIAL NOTIFICATION OF DECISION

Thanh Nguyen
420 Pennsylvania SE
Albuq. NM 87108

FILE: 00110 00000 00604/00128 00000
01003/00138 00000 01067

LEGAL DESCRIPTION: for Lots 17 and 18,
Block 8, Casas Serenas, located at 419 Rhode
Island, SE between Bell Street, SE and Trumbull
Street, SE, containing approximately 0.3054 acres.
(L-19) Debbie Stover, Staff Planner

On August 17, 2000, the Environmental Planning Commission voted to defer 00110 00000 00604/00128 00000
001003/00138 00000 01067 to the Environmental Planning Commission Public Hearing on August 31, 2000.

Sincerely,


FOR Robert R. McCabe, AIA, APA
Planning Director

RM/DS/ac

cc: Susan Mirabal,
Alvorn Clifton, Trumbull Village Assoc., 508 Rhode Island SE, Albuq. NM 87108
Dan Serrano, Trumbull Village Assoc., 533 Virginia SE, Albuq. NM 87108



NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a public hearing on Thursday, August 31, 2000 at 5:00 p.m., in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol Building, 600 2nd St. NW, Albuquerque, NM to consider the following items:

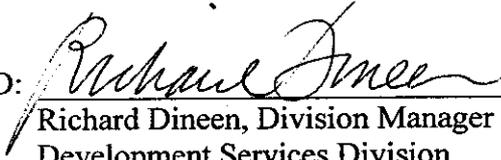
- 00110-00000-00604
00128 00000 01003
00138 00000 01067
(Project #1000501)
- Thanh Nguyen, agent for Susan Mirabal, request a Zone Map Amendment from R-T to SU-1 for a Church, amendment to the Trumbull Sector Development Plan and Approval of a Site Development Plan for Subdivision for Lots 5 & 6, 17 and 18, Block 8, Casas Serenas, located at 419 Rhode Island, SE between Bell Street, SE and Trumbull Street, SE, containing approximately 0.3054 acres. (L-19) Debbie Stover, Staff Planner
- 00128 00000 00578
(Project # 1000363)
- DCSW Inc., Architects, agents for the City of Albuquerque/ National Atomic Museum, request approval of an amendment to a site development plan for subdivision (Master Plan for Balloon Fiesta Park, containing 358 acres) for minor modifications to the area designated for the Balloon Museum and related uses plus approval of a site development plan for building permit for Tract A, Lands of the Order of St. Dominic. The entire 358-acre Balloon Fiesta site is zoned SU-2 for Balloon Fiesta Park, Museum & Related Facilities. The 18.1 acre Tract A is located on Balloon Museum Drive north of Alameda Boulevard and south of AMAFCA Channel. (B-17) Bob Paulsen, Staff Planner **(CONTINUED FROM JULY 20, 2000)**
- 00136-00000-00639
00410-00000-00823
(Project #1000468)
- William B. Keleher, Esq., agent for PRP, Inc and PetroLink Inc., dba Ever Ready Oil Co., appeals the Development Review Boards approval of a request for Vacation (closing) of Public Right-of-Way for T-10N, R3E, Sec 17, Balduini Addition, zoned SU-2/C-1/M-1 (City) and located on the northeast corner of Fruit NE and Arno NE, south of Lomas Blvd. NE between Broadway NE and Edith NE containing approximately .71 acres. [REF: DRB-94-405, 00460-00000-00529] (J-14) Janet Stephens, Staff Planner

Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00 and between 2:00 and 4:00 p.m., Monday through Friday, or you may call April Candelaria at 924-3886. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at the public hearing should contact April Candelaria at 924-3886 (VOICE) or 924-3361 (TTY). TTY users may also access the voice number via the New Mexico Relay Network by calling toll free: 1-800-659-8331.

Chuck Gara, Chairman
Environmental Planning Commission

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL AUGUST 16, 2000.

APPROVED:


Richard Dineen, Division Manager

Development Services Division
Planning Department



STATE OF NEW MEXICO
County of Bernalillo SS

NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a public hearing on Thursday, August 31, 2000 at 5:00 p.m. in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol Building, 600 2nd St. NW, Albuquerque, NM to consider the following items:

00110-00000-00604
00128-00000-01005
00138-00000-01087
(Project #1003501)

Thanh Nguyen, agent for Susan Mirabal, requests a Zone Map Amendment from R-1 to R-1.1 for a Church, amendment to the Trumbull Sector Development Plan and Approval of a Site Development Plan for Subdivision for Lots 5, 6, 17 and 18, Block 8, Casas Serenas, located at 419 Rhode Island, SE between Bell Street, SE and Trumbull Street, SE containing approximately 6.5064 acres. (J-19) Debbie Stover, Staff Planner

00128-00000-00878
(Project #1003363)

DCSW Inc., Architects, agents for the City of Albuquerque National Atomic Museum, request approval of an amendment to a site development plan for subdivision (Master Plan for Balloon Fiesta Park, containing 358 acres) for minor modifications to the area designated for the Balloon Museum and related uses plus approval of a site development plan for building permit for Tract A, Lands of the Order of St. Dominic, The entire 358-acre Balloon Fiesta site is zoned SU-2 for Balloon Fiesta Park Museum & Related Facilities. The Tract A site located on Balloon Museum Drive north of Alameda Boulevard and south of AMAFCA Channel. (B-17) Bob Paulsen, Staff Planner (CONTINUED FROM JULY 20, 2000)

00138-00000-00829
00410-00000-00889
(Project #1003483)

William E. Kelsch, Esq., agent for PBE, Inc. and PaveLink Inc., dba Ever Ready Oil Co., appeals the Development Review Board's approval of a request for Vachters (closing) of Public Right-of-Way for I-10N, RBE, 340.17, B & D, I, M-1, A & D 1110 N, 2009 & SU-2C-1/M-1 (City) and located on the northeast corner of Fruit and Avenue, south of Lomas Blvd. NE between Broadway NE and Earth NE containing approximately .71 acres. (R-E-F, C-R-B, 9-4, 4-0-6, 00460-00000-00829; (J-14) Janet Stephens, Staff Planner

Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00 and between 2:00 and 4:00 p.m., Monday through Friday, or you may call April Candelaria at 924-3888. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at the public hearing should contact April Candelaria at 924-3886 (VOICE) or 924-3361 (TTY). TTY users may also access the voice number via the New Mexico Relay Network by calling toll free: 1-800-659-8331.

Chuck Gara, Chairman
Environmental Planning Commission
APPROVED:
Richard Dineen, Division Manager
Development Services Division
Planning Department
Journal: August 16, 2000

Bill Tafoya, being duly sworn, declares and says that he is Classified Advertising Manager of The Albuquerque Journal, and that this newspaper is duly qualified to publish legal notices or advertisements within the meaning of Section 3, Chapter 167, Session Laws of 1937, and that payment therefore has been made of assessed as court cost; that the notice, copy of which is hereto attached, was published in said paper in the regular daily edition, for 1 times, the first publication being on the 16 day of Aug 2000, and the subsequent consecutive publications on _____, 2000.

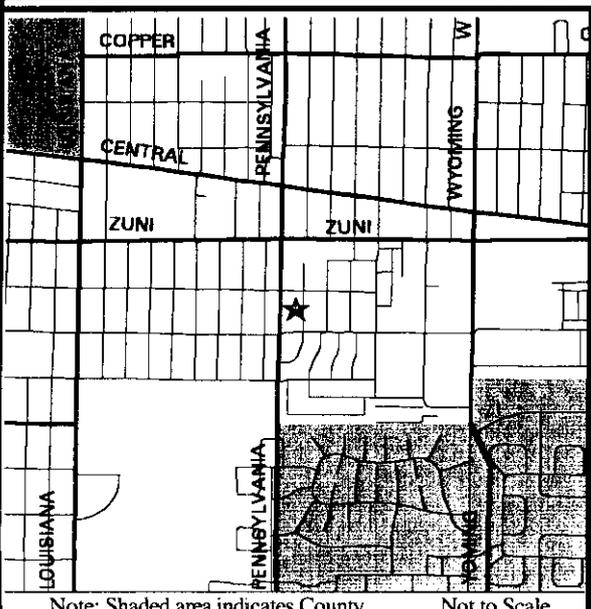
Handwritten signature of Bill Tafoya
Sworn and subscribed to before me, a Notary Public, in and for the County of Bernalillo and State of New Mexico this 16 day Aug of 2000.

PRICE \$0.28
Statement to come at end of month.

ACCOUNT NUMBER 580583

Handwritten notes: u/8/00, Dumcan

CLA-22-A (R-1/93)



HISTORY MAP

Scale 1" = 386'

PROJECT NO.
1000501

HEARING DATE
07-20-00

MAP NO.
L-19

APPLICATION NO.
00110-00000-00604
00128-00000-00869



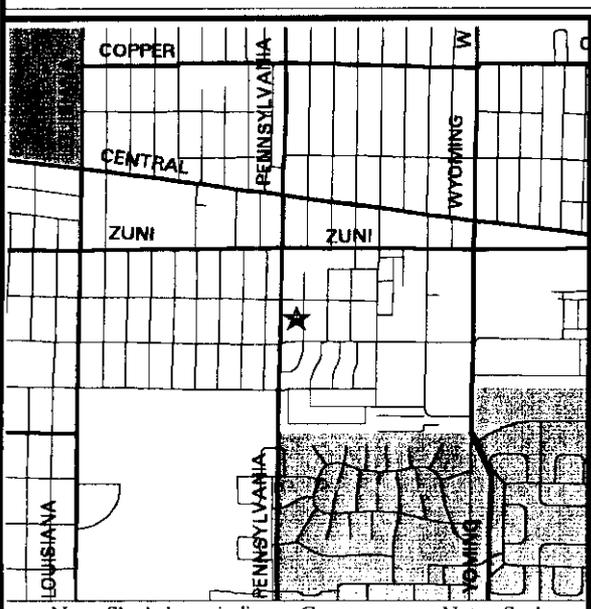
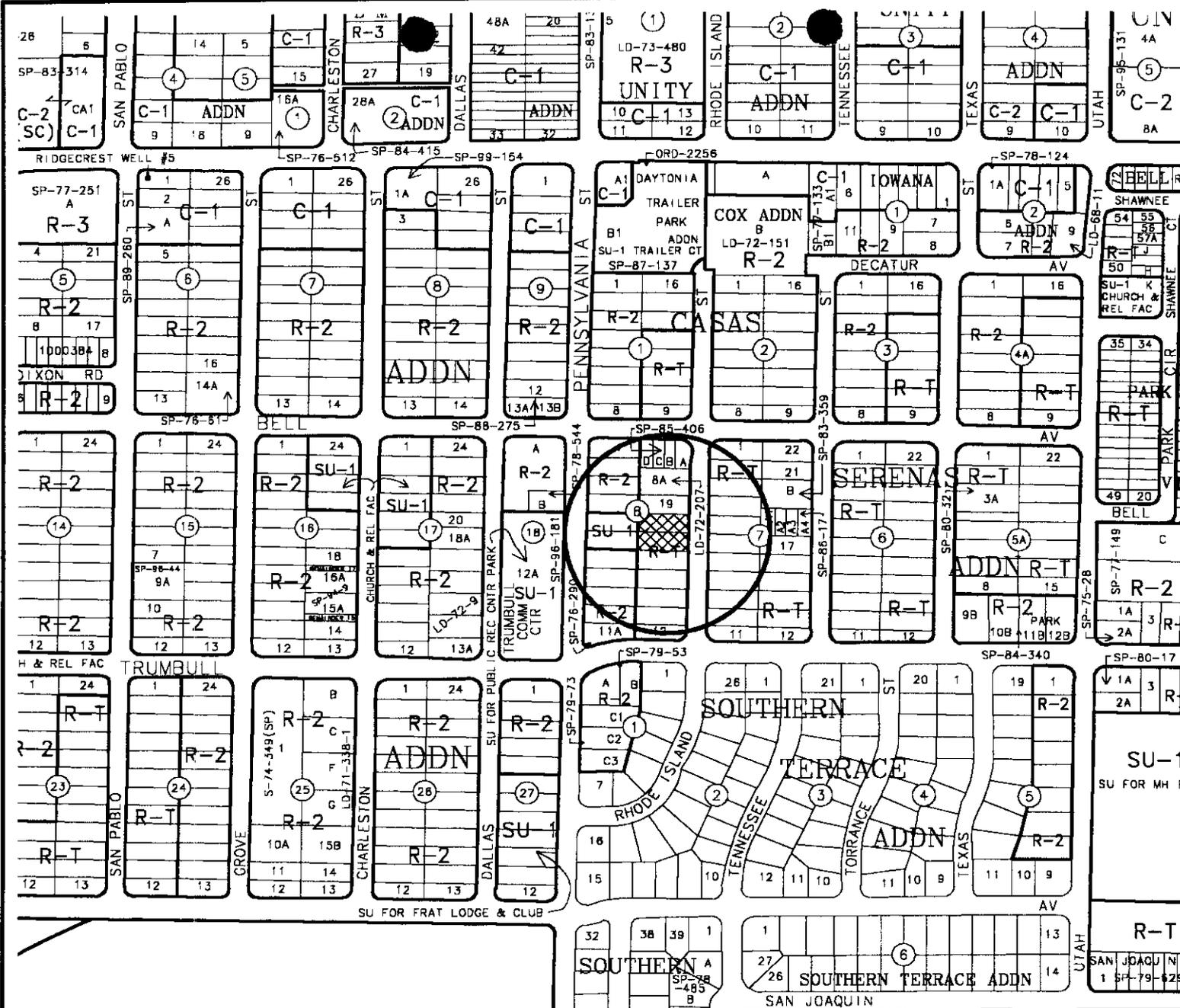
Scale 1" = 386'

PROJECT NO.
1000501

HEARING DATE
07-20-00

MAP NO.
L-19

APPLICATION NO.
00110-00000-00604
00128-00000-00869



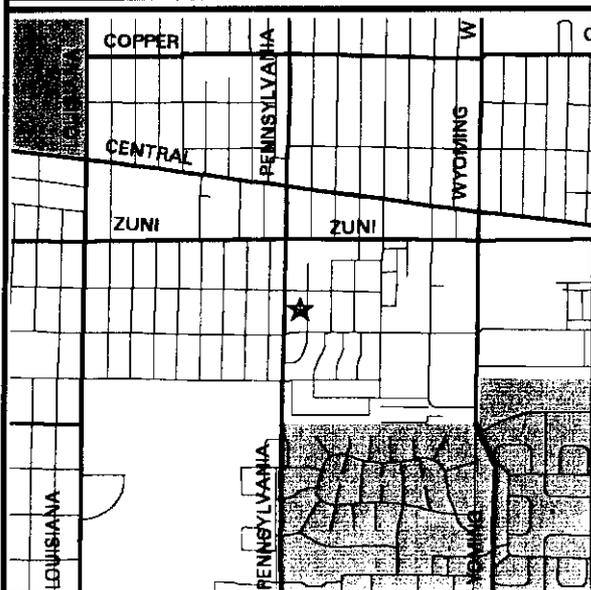
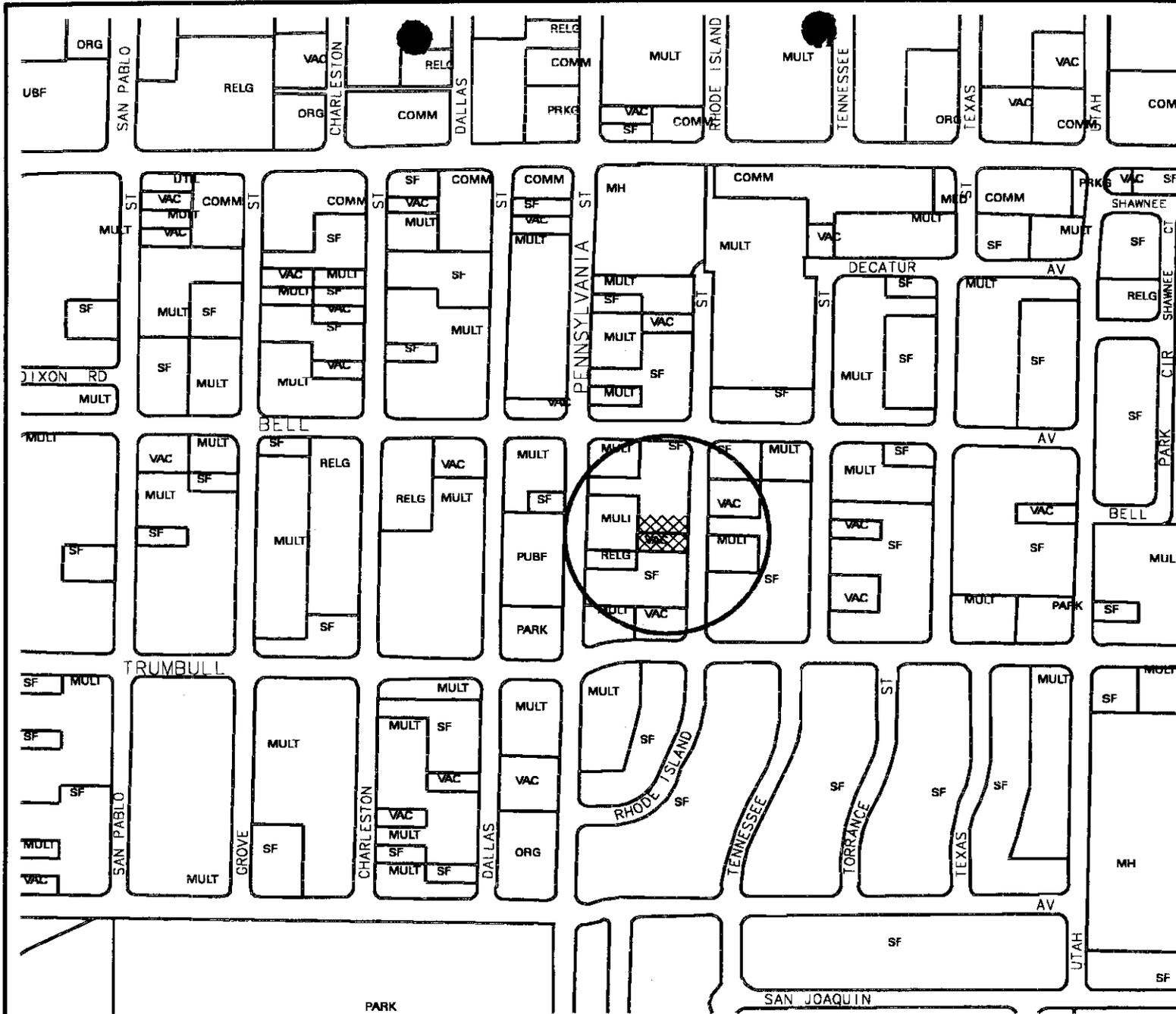
Note: Shaded area indicates County Not to Scale

ZONING MAP



Scale 1" = 386'

PROJECT NO. 1000501
HEARING DATE 07-20-00
MAP NO. L-19
APPLICATION NO. 00110-00000-00604 00128-00000-00869



LAND USE MAP

KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial - Retail, Service, Wholesale
- DRNG Drainage
- EDUC Public or Private School
- GOLF Golf Course
- MED Medical Office or Facility
- MFG Manufacturing or Mining
- MH Mobile Home
- MULT Multi-Family or Group Home
- OFF Office
- ORG Social or Civic Organization
- PARK Park, Recreation or Open Space
- PRKG Parking
- PUBLF Public Facility
- RELG Religious Facility
- SF Single Family
- TRAN Transportation Facility
- UTIL Utility
- VAC Vacant Land or Abandoned Bldgs
- WH Warehousing & Storage



Scale 1" = 386'

PROJECT NO.

1000501

HEARING DATE

07-20-00

MAP NO.

L-19

APPLICATION NO.

00110-00000-00604

00128-00000-00869

ENVIRONMENTAL PLANNING COMMISSION

A G E N D A

Thursday, August 31, 2000

MEMBERS

Chuck Gara, Chairman
Robert Heiser, Vice Chairman

Elizabeth Begay
Larry Chavez
Mick McMahan

Joe Chavez
Susan Johnson
Alan Schwartz

STUDY SESSION

**Plaza del Sol Hearing Room
Plaza del Sol Building - 600 2nd Street, NW
Garden Level
4:00 P.M.**

1. Call to Order.
2. Presentation – 2010 Plan. (Steve Bernstein, MRGCOG)
3. Other Matters.
4. Adjournment.

PUBLIC HEARING

**Plaza del Sol Hearing Room
Plaza del Sol Building - 600 2nd Street, NW
Garden Level
5:00 P.M.**

1. Call to Order.
2. Approval of Minutes – March 30, 2000 and June 22, 2000.

**EPC AGENDA
AUGUST 31, 2000
PAGE 2**

3. 00136-00000-00639
00410-00000-00823
(Project #1000468) William B. Keleher, Esq., agent for PRP, Inc. and PetroLink, Inc., dba EverReady Oil Co., appeals the Development Review Board's approval of a request for Vacation (closing) of Public Right-of-Way for T-10N, R3E, Sec. 17, Balduini Addition, zoned SU-2/C-1/M-1 (City) and located on the northeast corner of Fruit NE and Arno NE, south of Lomas Blvd. NE between Broadway NE and Edith NE containing approximately .71 acres. [REF: DRB-94-405, 00460-00000-00529] (J-14) Janet Stephens, Staff Planner
4. 00128-00000-00894
(Project #1000645) Nims, Calvani & Assoc., agents for City of Albuquerque, requests approval of a site development plan for building permit for El Rancho Atrisco (Ladera Golf Course), zoned SU-1, located on Ladera Drive NW between Sequoia and Redlands, containing approximately 1.2 acres. (G-11, G-10 & H-10) Cynthia Borrego Archuleta, Staff Planner
(CONTINUED FROM AUGUST 17, 2000)
5. 00110-00000-00604
00138 00000 01067
(Project #1000501) Thanh Nguyen, agent for Susan Mirabal, request a Zone Map Amendment from R-T to SU-1 for a Church, amendment to the Trumbull Sector Development Plan and Approval of a Site Development Plan for Subdivision for Lots 5 & 6, 17 and 18, Block 8, Casas Serenas, located at 419 Rhode Island, SE between Bell Street, SE and Trumbull Street, SE, containing approximately 0.3054 acres. (L-19) Debbie Stover, Staff Planner
6. 00128-00000-00578
(Project # 1000363) DCSW Inc., Architects, agents for the City of Albuquerque/ National Atomic Museum, request approval of an amendment to a site development plan for subdivision (Master Plan for Balloon Fiesta Park, containing 358 acres) for minor modifications to the area designated for the Balloon Museum and related uses plus approval of a site development plan for building permit for Tract A, Lands of the Order of St. Dominic. The entire 358-acre Balloon Fiesta site is zoned SU-2 for Balloon Fiesta Park, Museum Related Facilities. The 18.1 acre Tract A is located on Balloon Museum Drive north of Alameda Boulevard and south of AMAFCA Channel. (B-17) Bob Paulsen, Staff Planner
(CONTINUED FROM JULY 20, 2000)
7. Other Matters.
8. Adjournment.



Agenda Number: 5
Case Number: 00110 00000
00604/00128 00000
00869/00138-00000-01067
August 31, 2000

Staff Report

• Agent	Thanh Nguyen
• Applicant	Susan Mirabal
Request	Zone Map Amendment, Site Plan for Subdivision and Amendment to the Trumbull Neighborhood Sector Development Plan
• Legal Description	Lots 5 & 6 and 17 & 18, Block 8, Casas Serenas Subdivision
• Location	419 Rhode Island SE between Bell and Trumbull SE
• Size	approximately .60 acres
• Existing Zoning	RT
• Proposed Zoning	SU-1 for Church

Staff Recommendation

APPROVAL of 00110 00000 00604, request for a zone map amendment approval based on the findings on page 8 and conditions on page 9 and

APPROVAL of 00138-00000-01067, request for an amendment to the Trumbull Neighborhood Sector Development Plan based on the findings on page 8.

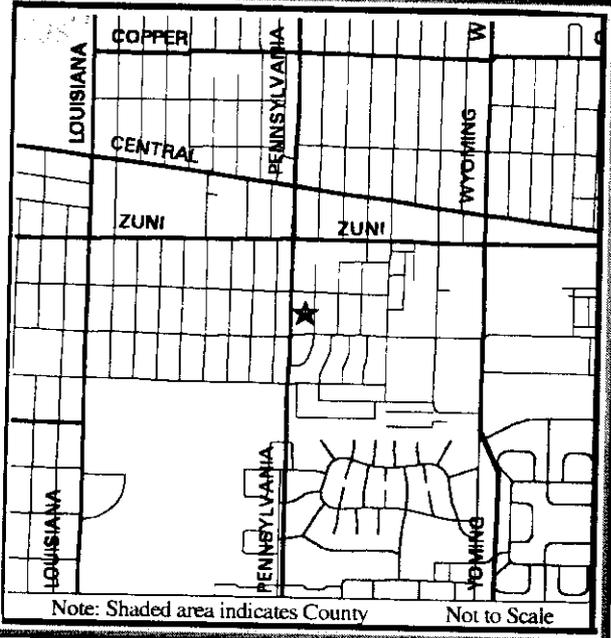
APPROVAL of 00128 00000 00869, request for site plan approval based on the findings on page 9 and the conditions on page 10.

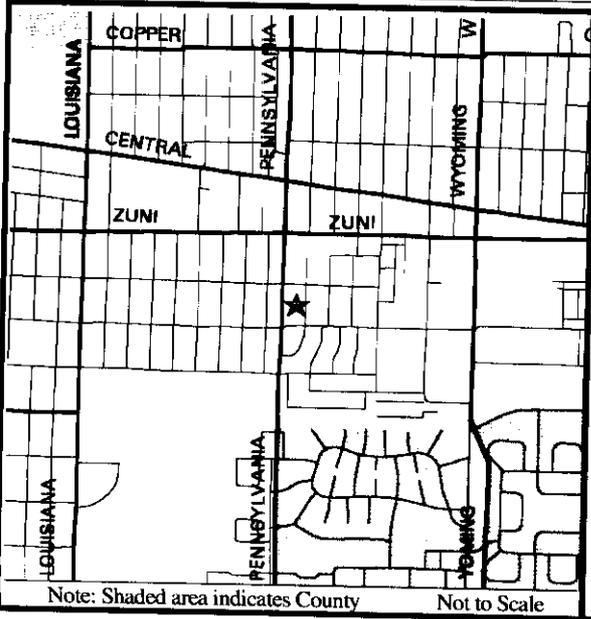
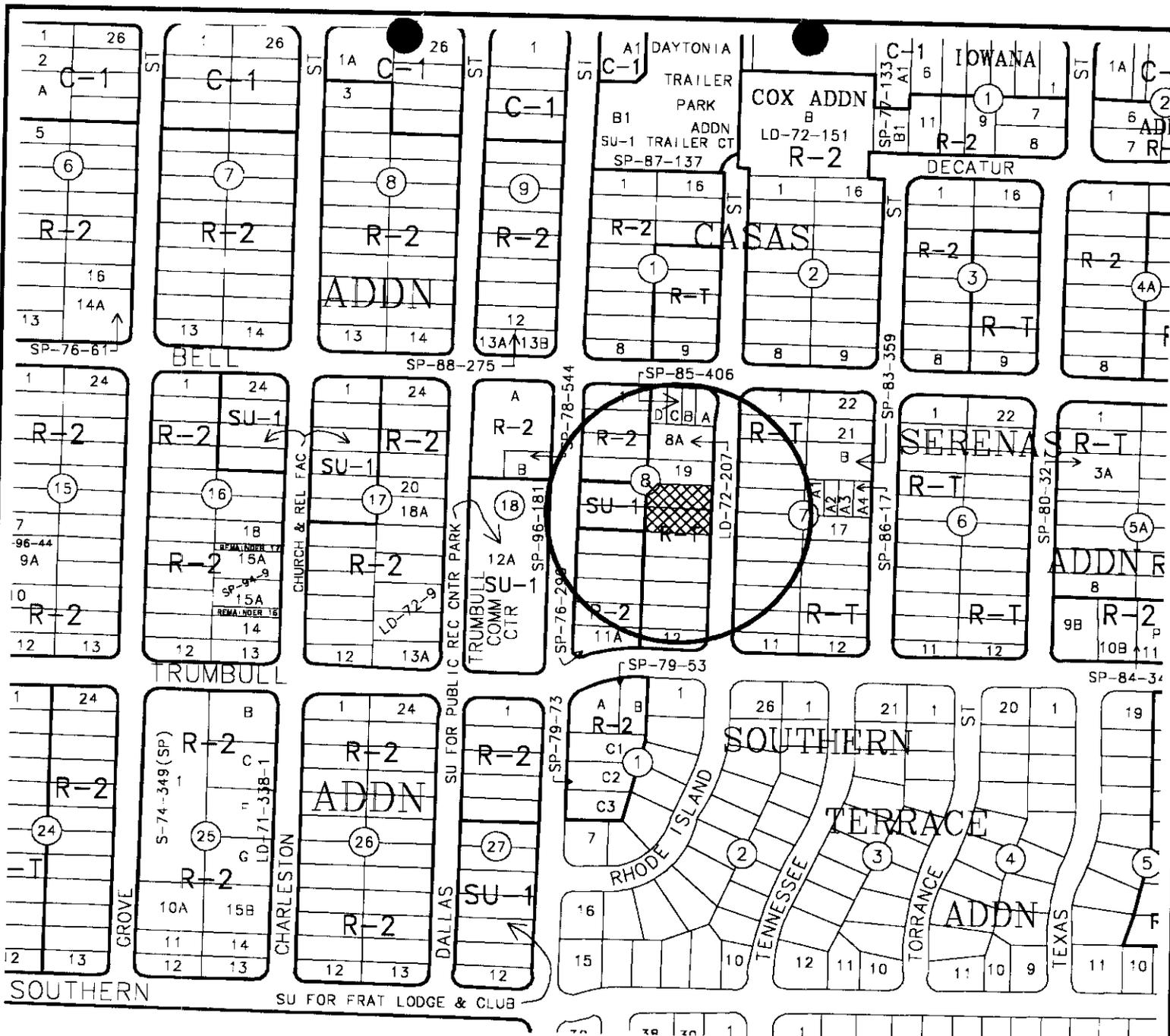
Staff Planner
Deborah L. Stover, Planner

Summary of Analysis

This is a request for a zone map amendment from RT to SU-1 for a Church and amendment to a sector plan for lots 17 & 18, and site plan approval for Lots 5, 6, 17 & 18, Block 8 in the Casas Serenas Subdivision. The subject site consists of .60 acres with a single family home and vacant lot existing on the eastern portion of the site. On the western portion of the subject site is a Buddhist Temple and parking lot. The request is to allow a new zone in order to combine the sites. The applicant's wish to purchase lots 17 & 18 and use this portion and the existing house on the property for a Sunday Dharma school.

Staff recommends approval of this request.





ZONING MAP

Scale 1" = 296'

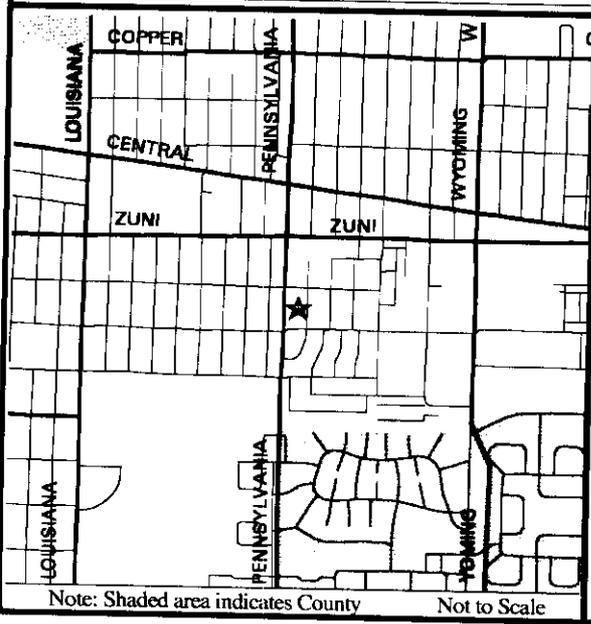
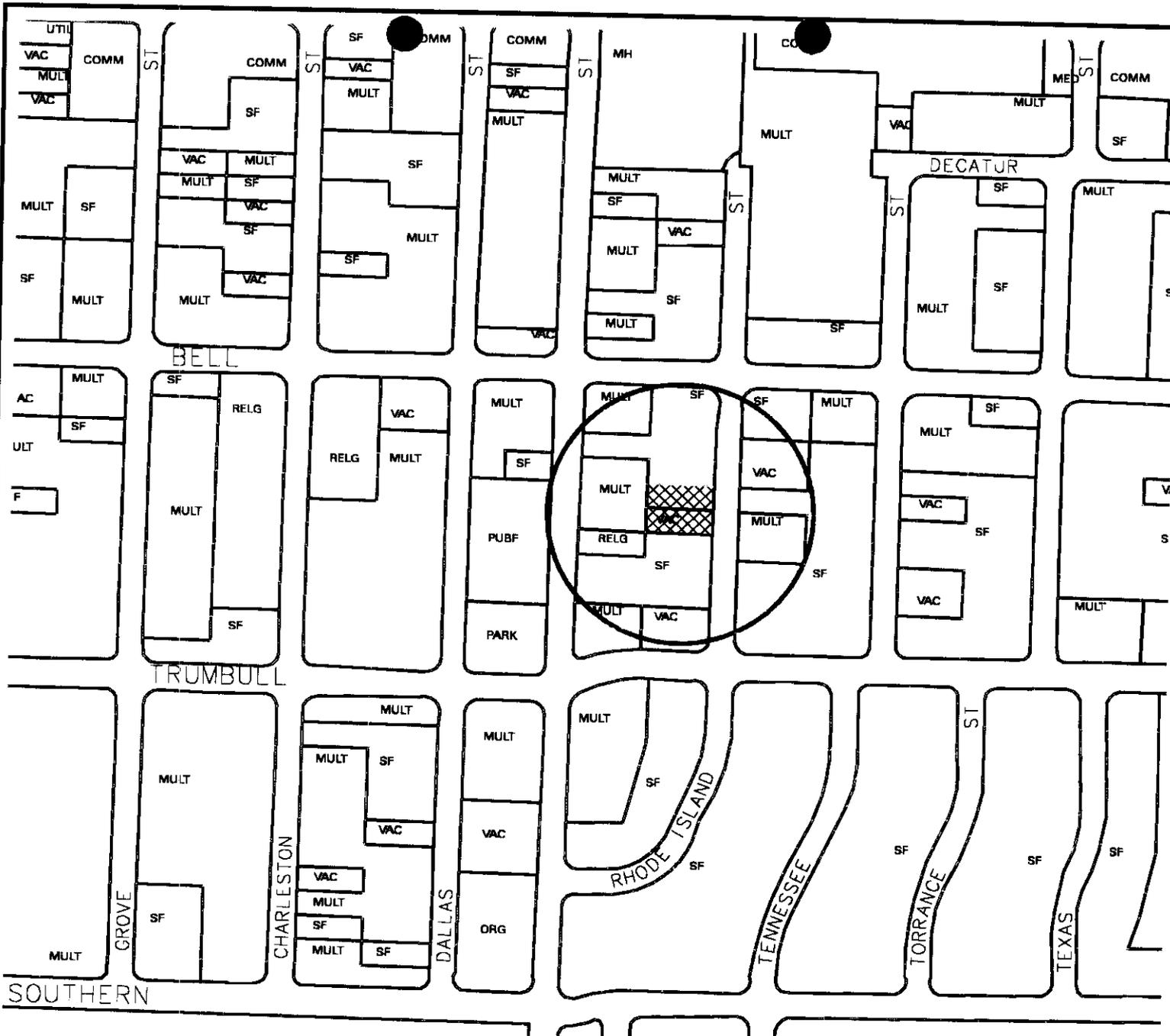
PROJECT NO. 1000501
HEARING DATE 07-20-00
MAP NO. L-19
APPLICATION NO. 00110-00000-00604



AGIS

Scale 1" = 296'

PROJECT NO. 1000501
HEARING DATE 07-20-00
MAP NO. L-19
APPLICATION NO. 00110-00000-00604



LAND USE MAP

KEY TO Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial -Retail, Service, Wholesale
- DRNG Drainage
- EDUC Public or Private School
- GOLF Golf Course
- MED Medical Office or Facility
- MFG Manufacturing or Mining
- MH Mobile Home
- MULT Multi-Family or Group Home
- OFF Office
- ORG Social or Civic Organization
- PARK Park, Recreation or Open Space
- PRKG Parking
- PUBF Public Facility
- RELG Religious Facility
- SF Single Family
- TRAN Transportation Facility
- UTIL Utility
- VAC Vacant Land or Abandoned Bldgs
- WH Warehousing & Storage



Scale 1" = 296'

PROJECT NO.
1000501

HEARING DATE
07-20-00

MAP NO.
L-19

APPLICATION NO.
00110-00000-00604

City Departments and other interested agencies reviewed this application from 7-7-00 to 7-21-00. Agency comments were used in the preparation of this report and begin on page 12.

Development Services Report

SUMMARY OF REQUEST

Requests	1. Zone Map Amendment 2. Trumbull Sector Development Plan Amendment 3. Site Development Plan Approval
Location	419 Rhode Island SE between Bell Road and Trumbull Avenue SE

AREA CHARACTERISTICS AND ZONING HISTORY

Surrounding zoning, plan designations, and land uses:

	Zoning	Comprehensive Plan Area; Applicable Rank II & III Plans	Land Use
Site	SU-1 for Church and RT	Established Urban Area	Buddhist Temple, single-family house & vacant lot
North	RT	Trumbull Neighborhood Sector Development Plan	Single-family house
South	RT		Single-family house
East	SU-1 for Public Recreation Center & Park		Trumbull Community Center
West	RT		Multi-family duplex

Background

This is a .60 acre site at 419 Rhode Island SE. There are four lots involved. A Buddhist Temple is located on lot 6 and lot 5 is the parking lot for the temple. On lot 18 there is a

single family dwelling and lot 17 is a vacant lot. The request is for a zone map amendment which would change the zoning of the single family dwelling and the vacant lot from RT to SU-1 for a church. A site development plan for subdivision is required at the time of approval for the SU-1 zone change request and a request for site development plan approval is included in this request. The single family dwelling would actually become a Sunday Dharma School which would be an outgrowth of the Quang Minhtu Buddhist Temple, which is sited on the western portion of the subject site. In addition, if approved, the zone map change will amend the Trumbull Neighborhood Sector Development Plan. Access to the Sunday Dharma School would be accessed from the existing temple site on Pennsylvania.

Directly north of the subject site is a single family dwelling zoned R-T. Across the street to the east is a duplex, also zoned R-T. South of the site is another single family dwelling zoned R-T and to the west, across Pennsylvania, is the Trumbull Community Center which is zoned SU-1 for Community Center. The larger surrounding area is made up largely of single family homes, duplexes and small apartments. There is a small City park on the corner of Trumbull and Pennsylvania called Trumbull Park. Two blocks west of the subject site are two other sites zoned SU-1 for Church.

The most recent zone change in this area was in 1987 and was in fact for the zone map amendment to allow the Buddhist temple that is part of the site development plan request (Z-87-116). No other land use or zoning changes have occurred in this area since that time.

APPLICABLE PLANS AND POLICIES

Albuquerque / Bernalillo County Comprehensive Plan

The subject site is within the Established Urban Area of the Comprehensive Plan which has a goal "to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment." Applicable policies include:

Policy a The Established and Developing Urban Areas...shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

Policy d The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

Policy k Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

Policy l Quality and innovation in design shall be encouraged in all new development ; design shall be encouraged which is appropriate to the plan area.

Trumbull Neighborhood Sector Development Plan

The Trumbull Neighborhood Sector Plan was first adopted in 1981. The Plan generally encompasses properties between Central to the north, Wyoming to the east, Louisiana to the west, and Kirtland Air Force Base to the south; specific boundaries are shown on Map 1 (page 2) in the Plan. It sets forth objectives regarding land use. Those goals include revising zoning "to be compatible with existing land uses and, to the extent possible, utilizing zoning as a tool for stabilizing the area.

The Plan also reiterates the Comprehensive Plan policies for this area and states as a Goal the following:

The Goal is a quality environment which perpetuates the tradition of identifiable, individualistic communities within the metropolitan area and offers variety and maximum choice in housing, work areas and lifestyles, while creating visually pleasing architecture, landscaping and vistas to enhance the appearance of the community.

Resolution 270-1980 (Zone Change Policy)

This Resolution requires that one of three findings be made for a change of zone: that there was an error when the existing zone map pattern was created, or that changed neighborhood or community conditions justify the change, or that a different use category is more advantageous to the community. The applicant is required to justify the request.

Resolution 91-1998 (R-70)

This Resolution establishes an overall direction for implementation of the City's growth policies, with a framework emphasizing:

- development of community and regional activity centers and major transportation corridors (high capacity corridors); encourage increased densities and mixed uses in activity centers and corridors; meet the needs of residents closer to their homes or employment to decrease Vehicle Miles Traveled and automobile dependence.
- maintenance, enhancements and upgrades of roads and utilities in the core area, to prevent deterioration of existing communities and to encourage infill; diversify the Downtown land use mix with public facilities, hotels, office and retail development, more and higher density housing; generate more activity and attract more private investment in the Downtown area.
- enhance transit system performance, consistent with the principles of a compact urban form and a network of centers and corridors; improve the viability of transit as an alternative to the single-occupancy vehicle and reduce Vehicle Miles Traveled; improve pedestrian mobility and the character of the pedestrian environment, transit orientation and bicycle connections, within centers and corridors.
- plan the timing of road and utility construction to ensure orderly growth, and coordinate capacity increases and street extensions; transportation improvement programs must

recognize the significance of natural, historic, and cultural resources and include strategies for minimizing adverse impacts on them.

ANALYSIS

Conformance to Adopted Plans, Policies, and Ordinances

This is a .60 acre site at 419 Rhode Island SE. This request is to expand SU-1 for Church zoning on lots 5 and 6 to 2 adjacent lots to the east. This would allow for expansion of an existing church site (Buddhist Temple) and allow an existing house on the expanded portion to be used as a Sunday Dharma School. This is a three part request. The first request is for a zone map amendment which would change the zoning from RT to SU-1 for a church. Second, the site is within the Trumbull Neighborhood Sector Development Plan, so if the zone change were to be approved, an amendment to the sector plan is required. Third, when a zone change to SU-1 is requested, a site plan is required. The site plan includes lot 17, a vacant lot, lot 18, a single family dwelling, lot 5, a parking lot, and lot 6, a Buddhist Temple.

Zone Change:

The request is for a zone map amendment from RT to SU-1 for church on lots 17 and 18. The request would allow the existing house on lot 18 to be used as a Sunday Dharma School that would be an outgrowth of the Quang Minh Tu Buddhist Temple that is located on the western portion of the subject site. The existing Buddhist temple is zoned SU-1 for a Church. The Sunday school would be held in the current single-family dwelling and would be accessed from the temple on Pennsylvania. The applicant's state in their letter that there will be approximately 15 children attending the Sunday Dharma School and that there is adequate space in the house for the number of children they are expecting. Those in attendance will be the children of people who already attend services at the temple, so no significant increase in parking or traffic is expected.

A zone change must be justified under Resolution 270-1980. This Resolution requires that one of three findings be made for a change of zone: that there was an error when the existing zone map pattern was created, or that changed neighborhood or community conditions justify the change, or that a different use category is more advantageous to the community. The applicant is required to justify the request.

Although the applicant has not stated so exactly, it would seem that they believe that a category different than R-T would be more advantageous to the community. The letter of justification by the applicant states that they feel the zone change would "benefit the neighborhood" for several reasons. One of the stated reasons for the change is that the current zoning (RT) allows apartments and that apartments would bring a higher density to a quiet neighborhood along with more cars, traffic and noise. This is incorrect, as the RT zone does not allow apartments. The RT zone allows higher density single family homes and townhouses. Nonetheless, the utilization of the RT zone category could bring a higher density atmosphere to this neighborhood.

The applicant contends that their proposal would not create disturbances because they will only utilize the site on Sundays and all access to the site would be through Pennsylvania, not Rhode Island.

Staff agrees that this request would cause no apparent harm to the area and the request would allow an existing use that is compatible within the neighborhood to expand. The request fits within the existing zoning pattern, as there is existing SU-1 for Church adjacent to the subject site to the west and there are several zoned uses for churches in this area. The request is not a spot zone, as the adjacent property to the west is zoned SU-1 for Church.

From staff's observations, Pennsylvania does have more traffic flow than Rhode Island, due to the location of the Trumbull Community Center across the street from the temple on Pennsylvania. The section of Rhode Island on this block is very quiet. An increase in traffic would disturb the peacefulness of the area. A condition that entry to the site be only from the existing Pennsylvania side would ensure that this proposal stays in keeping with the neighborhood values.

Another reason the applicant's state for justification of their request is that there is not "an overabundance of churches in the area" and that "a small church would be a pleasant addition to the neighborhood." There are, however, other church sites a couple of blocks to the west of this location. Nonetheless, since this temple is already in existence and staff is not aware that it has been cause for complaints. The addition of a Sunday school could have a stabilizing effect on the neighborhood and community. Other religious institutions in the area appear to be fitting in well in the area and providing a stabilizing effect on the neighborhood. In addition, petitions submitted by the applicant appear to justify the applicant's contention that approval of this request would be advantageous to the community.

AMENDMENT TO TRUMBULL NEIGHBORHOOD SECTOR DEVELOPMENT PLAN:

If a zone map amendment is approved, that action will necessitate an amendment to the Trumbull Neighborhood Sector Development Plan. The sector plan shows this area zoned RT. The Trumbull Neighborhood Sector Plan sets forth objectives regarding land use. Some of those goals include revising zoning to be compatible with existing land uses and, to the extent possible, utilizing zoning as a tool for stabilizing the area. The Plan also reiterates the Comprehensive Plan policies for this area and states as a Goal a quality environment which perpetuates the tradition of identifiable, individualistic communities within the metropolitan area and offers variety and maximum choice in housing, work areas and lifestyles, while creating visually pleasing architecture, landscaping and vistas to enhance the appearance of the community.

The Buddhist Temple offers a stabilizing effect for the neighborhood. The temple has been in existence in this location for 14 years with no evident problems in the neighborhood. It can be seen as a stabilizing factor. In addition, the temple offers variety and adds to the number of choices in lifestyles for the community. The creation of a facility for Sunday School for the temple would help maximize these offerings for the community.

SITE PLAN FOR SUBDIVISION:

As required by section 14-16-2-22 of the Zoning Code, the applicant has submitted a site development plan for subdivision. The site plan included the two lots zoned RT and the two lots zone SU-1. A site plan was never approved for the existing SU-1 portion. If approved the site plan will provide documentation for the current status of the site's development.

The site plan for subdivision is adequate for this request. If the request for zone map amendment is approved and the applicant purchases lots 17 & 18 west of the facility, no significant improvements are planned for the area at this time, but the site plan is necessary for approval of an SU-1 zone. The applicant has submitted photographic documentation of the site. The following lists details of the site plan as submitted.

Site Plan Layout / Configuration

The existing Buddhist Temple is an approximately 1800 square foot building and is accessed from Pennsylvania Avenue SE through a 16' driveway. The temple is located on lot 6 and lot 5 provides parking for the facility. According to the site plan there are 13 parking spaces provided. The site plan indicates that the existing chain link fence will be removed to provide access between the two properties to avoid increased traffic on Rhode Island.

There is existing chain link fence on the site. A 6' high chain link fence with a rolling, padlocked gate exists at the west side of the temple. A 3' high chain link fence surrounds the front yard of the existing single family dwelling. EPC typically has not allowed new chain link fence to be installed. However, existing chain link fencing has been allowed to remain at some sites, particularly if screened by hedges, vines or other landscape treatment.

Vehicular Access, Circulation and Parking

Access to the existing facility is through a 16' driveway on Pennsylvania Avenue SE. Access to the house and vacant lot on lots 17 & 18 is through an 8' driveway on Rhode Island Avenue SE. The site plan shows 13 parking spaces for the temple, but staff observed more than 13 cars parked in the area on a Sunday morning. However, if the additional facility for a Sunday Dharma school is to provide services for the children of people already in attendance, traffic and the need for parking would probably not increase as a result of this change.

Additionally, Transportation Development Services makes the comment that "Provision of adequate off-street parking must be demonstrated prior to approval."

Pedestrian and Bicycle Access and Circulation, Transit Access

There are no designated bicycle routes in this area. The site does have access to relatively convenient transit services.

Landscaping

There is limited information regarding the landscaping for this site plan. From site visits it was observed that there are numerous elm trees and several large shade trees on the site with honeysuckle and other shrubs, hedges and several flower beds. There is an attractive water lily pond on the west side of the existing temple with a dragon and a Buddha statue featured prominently alongside the pond. On the east side, the site of the proposed Sunday Dharma School, there is a lawn and several existing trees and shrubs. No additions to the landscape plan are proposed at this time.

Staff believes, at a minimum, that the addition of street trees along the Rhode Island section of this request would benefit the neighborhood. In addition, a 20 foot landscaped buffer along Rhode Island would present an appropriate street frontage to the neighborhood. The buffer could include street trees with low water requirement plants and a gravel mulch or an

irrigated warm season grass lawn with shrubs and street trees. Staff would be happy to assist the applicant with details for the landscape buffer.

Architecture and Signage

Both buildings related to this site plan are existing and are frame stucco structures. The Temple has an existing sign on the building. No additional signage is proposed for the site.

The applicant has submitted photos of the site which depict the buildings and existing landscaping and other features on the site.

The temple is a rectangular frame structure with cream colored stucco and brick red trim. The entrance facing west is overhung by a traditional torana gateway. The entrance facing north is covered by a porch with red trim. The courtyard consists of cream and red brick pavers with an elaborate pond and several statues. A 3' block wall stuccoed to match the building separates the parking lot from the existing temple. The back portion of the temple appears to be an addition which reaches almost to the eastern property line.

The existing single family dwelling is also a rectangular frame building with dark brown stucco, dark brown trim and white, asphalt roof shingles. There are two storage sheds on the vacant property south of the dwelling. One is a frame structure stuccoed brown to match the house. The other is a light colored shed constructed of metal siding.

A 6' high chain link fence with a rolling, padlocked gate exists at the west side of the temple. A 3' high chain link fence surrounds the front yard of the existing single family dwelling. As mentioned previously, these should be screened with appropriate vegetation.

Concerns of Reviewing Agencies / Pre-Hearing Discussion

Utility Development makes the following comment:

"Legal ad should be expanded to include site plan approval for lots 5, 6, 17 & 18.

Conditions of approval should include:

- Replat for lot consolidation."

These comments have been included in the report.

Neighborhood Concerns

The applicant has provided petitions of 20 signatures from people in the neighborhood as a show of support for this request. The petitions are included in the packet. The addresses of the supporters are mostly on Rhode Island and Pennsylvania, the streets most affected by this proposal, if approved.

Staff has received no neighborhood comments, written or otherwise, concerning this request.

Conclusions

While this submittal does fall short of many of the expectations for a site plan, it is a fairly benign use of the property and does show promise as a stabilizing factor for the neighborhood. The existing temple has resided in its current location for 14 years and there is no evidence that it has not been a good neighbor. Nonetheless, there are certain standards and requirements that all applicant's must comply with in order to maintain accurate and legal records of land use changes. The site plan is a legal document which must be accurate in the depiction of site elements and conditions. However, the details necessary for this plan to be complete can be checked at the Development Review Board level. Staff see no advantage in requiring the applicant to come back before the Environmental Planning Commission with a site plan for building permit, as they are not planning to build anything. Therefore, staff recommends approval of this request with conditions to be met prior to DRB final sign-off.

FINDINGS -00110 00000 00604, August 31, 2000, zone map amendment

1. This is a .60 acre site at 419 Rhode Island SE. Currently, a single family dwelling exists on lot 18 and lot 17 is a vacant lot. This is a request is for a zone map amendment which would change the zoning from RT to SU-1 for a church for these two lots.
2. This request would allow an existing use that is compatible with the neighborhood to expand.
3. In accordance with R 270-1980, this request would not cause harm to the area and could act as a stabilizing effect for the neighborhood, thereby demonstrating that a different use category is more advantageous to the community.
4. There have been no documented complaints regarding this site in the 14 years of its existence. The applicants have a petition that included 20 signatures of support for the project.

RECOMMENDATION - 00110 00000 00604, August 31, 2000

APPROVAL of 00110 00000 00604, a request for a zone map amendment, based on the above findings and the following conditions:

CONDITIONS OF APPROVAL - 00110 00000 00604, August 31, 2000, Zone Map Amendment

1. Lots 5, 6, 17 & 18 must be re-platted into one lot prior to DRB approval.

FINDINGS -00138 00000 01062, August 31, 2000, Trumbull Neighborhood Sector Plan

1. The Trumbull Neighborhood Sector Plan sets forth objectives regarding land use. Some of those goals include revising zoning to be compatible with existing land uses and, to the extent possible, utilizing zoning as a tool for stabilizing the area.
2. The Buddhist Temple has been in existence in this location for 14 years with no evident problems in the neighborhood.
3. The temple offers variety and adds to the number of choices in lifestyles for the community. The creation of a facility for Sunday School for the temple would help maximize these offerings for the community, which is a stated goal in the Trumbull Neighborhood Sector Development Plan.
4. When a zone change is approved within a sector plan, an amendment to that plan is required.

RECOMMENDATION - 00138 00000 01062, August 31, 2000

APPROVAL of 00138 00000 01062, a request for an amendment to the Trumbull Neighborhood Sector Development Plan, based on the above findings.

FINDINGS - 00128 00000 00869, August 31, 2000, Site Development Plan for Subdivision

1. A site plan for subdivision is required for approval of SU-1 zoning.

2. There have been no documented complaints regarding this site in the 14 years of its existence. The applicants include a petition of 20 signatures of support for the project.
3. There is existing chain link fence on the site.
4. More detailed information will be required at the DRB level.
5. This site plan shall serve as documentation of the site's current development. Any further development or expansion should require an amendment to the site plan.

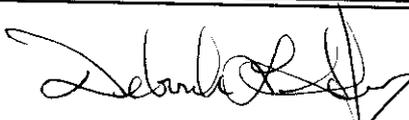
RECOMMENDATION - 00128 00000 00869, August 31, 2000, site development plan for subdivision

APPROVAL of 00128 00000 00869, a request for approval of a site development for subdivision, based on the above findings and the following conditions:

CONDITIONS OF APPROVAL - 00128 00000 00869, August 31, 2000, site development plan for subdivision

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
2. This site plan shall serve as documentation of the site's current development. Any further development or expansion shall require an amendment to the site plan.
3. All parking of vehicles shall occur on a paved, striped, designated parking area.
6. Provision of adequate off-street parking must be demonstrated prior to approval.

5. Access to the entire site shall be from Pennsylvania Avenue SE.
7. All outside lighting shall be shown on the site plan and measures shall be taken to minimize glare and visibility from the site perimeter . Light poles shall be no more than 20' high.
8. The chain link fence that exists between the four lots shall be removed to allow access between the properties.
9. Existing chain link fence on the west and east sides of the site shall be screened with landscaping treatments such as hedges or vines.
10. Street trees shall be planted per the Street Tree Ordinance along lots 17 and 18 on Rhode Island NE.
11. A 20' landscape buffer shall be provided along the frontage on Rhode Island. This landscape shall consist of street trees, low water use plants, and a gravel mulch or an irrigated warm season grass lawn with shrubs and street trees.
12. HVAC equipment shall be screened from public view.


Deborah L. Stover
Planner

DS/ac

cc: Thanh Nguyen, 420 Pennsylvania SE, Albuquerque, NM 87108
Susan Mirabal, 419 Rhode Island SE, Albuquerque, NM 87108
Alvorn Clifton, Trumbull Village Assoc., 508 Rhode Island SE, Albuquerque, NM 87108
Dan Serrano, Trumbull Village Assoc., 533 Virginia SE, Albuquerque, NM 87108

Attachments

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Code Services

"Reviewed, no comments."

PUBLIC WORKS DEPARTMENT

Transportation Development Services:

Provision of adequate off-street parking must be demonstrated prior to approval.

Utility Development:

Legal ad should be expanded to include site plan approval for lots 5, 6, 17 & 18.

Conditions of approval should include:

- Replat for lot consolidation.

Traffic Engineering Operations:

Need good sight distance at each egress point.

Hydrology:

The Hydrology Section has no objection to the zone map amendment request.

Transportation Planning:

This request should have no adverse effect on the arterial street system nor on the bikeway system.

ENVIRONMENTAL HEALTH DEPARTMENT

Air Quality Division

"No comment."

Environmental Services Division

"No known landfills in the immediate vicinity."

NEIGHBORHOOD SERVICES

"Trumbull Village (a recognized association) was notified."

PARKS AND RECREATION

Design & Development

"No adverse comment."

OPEN SPACE DIVISION

"No adverse comment."

POLICE DEPARTMENT/Planning

lighting issues
maintenance of landscaping

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division

"No adverse comment."

FIRE DEPARTMENT/Planning

"No adverse comment."

TRANSIT DEPARTMENT

"No comment."

COMMENTS FROM OTHER AGENCIES:

BERNALILLO COUNTY

ALBUQUERQUE METROPOLITAN FLOOD CONTROL AUTHORITY

"No objection. See City Hydrology comments."

ALBUQUERQUE PUBLIC SCHOOLS

"No adverse comment."

MIDDLE RIO GRANDE COUNCIL OF GOVERNMENTS

"No adverse comment."



ENVIRONMENTAL PLANNING COMMISSION A G E N D A

Thursday, August 17, 2000, 8:00 a.m.

Plaza del Sol Hearing Room
Lower Level
600 2nd Street NW

MEMBERS

Chuck Gara, Chairman
Robert Heiser, Vice Chairman

Elizabeth Begay
Joe Chavez
Larry Chavez

Susan Johnson
Mick McMahan
Alan Schwartz

NOTE: A LUNCH BREAK AND DINNER BREAK WILL BE ANNOUNCED AS NECESSARY.
Agenda items will be heard in the order indicated below unless modifications to the Agenda are approved by the EPC at the beginning of the hearing (see item 1A and 1B below); deferral and withdrawal requests (by applicants) are generally reviewed at this time.
There is no set time for cases to be heard; however, interested parties can monitor the progress of the hearing by calling the Planning Department at 924-3860. All parties wishing to address the Commission must sign-in with the Commission Secretary at the front table prior to the case being heard. In the interest of time, the Chairman may establish time limitations on speakers. Please be prepared to provide brief and concise testimony to the Commission if you intend to speak.

1. Call to Order.
 - A. Announcement of changes and/or Additions to the Agenda.
 - B. Approval of the Amended Agenda.
 - C. Approval of Minutes for June 15, 2000

2. Z-99-31 James R. Achen, agent for Bandelier Equities/McMahon Equities LC, requests a zone map amendment from R-1 to R-2, C-1 and O-1 for an unplatted piece of property located on McMahon Boulevard NW at the intersection of Bandelier Drive (west of Paradise Heights -Unit 1), containing approximately 17.2 acres. (A-12) Bob Torres, Staff Planner **(DEFERRED FROM JUNE 15, 2000)**

3. 00138 00000 00911
00114 00000 00576
Project # 1000488
Tierra West LLC, agents for Mock Homes, request annexation and establishment of R-D zoning plus an amendment to the La Cueva Sector Development Plan for Lots 1-5 and 28-32, Block 12, Tract 3, Unit 3, North Albuquerque Acres located on Ventura Avenue NE between Eagle Rock Avenue and Oakland Avenue, containing approximately 10 acres. (C-20) Carmen Marrone, Staff Planner

4. 00110 00000 00176
00138 00000 00177
00128 00000 00590
(Project 1000232)
Consensus Planning, agents for West Tijeras Canyon Ltd., requests an amendment to the Sandia Foothills Area Plan plus a zone map amendment to SU-1 PRD for 64.8 acres and SU-1 for O-1 for 10 acres, SU-1 for R-LT for 18.5 acres, and SU-1 for MPOS for 11 acres and approval of a site development plan for subdivision for Parcel A and a portion of Parcel C, Canyon de Carnuel Land Grant, located south of the Interstate-40 Frontage Road, east of Serenity Hills Neighborhood, containing approximately 104.3 acres (L-23 & M-23) Russell Brito, Staff Planner **(DEFERRED FROM JUNE 15, 2000)**

5. 00128 00000 00897
Project #1000421
Consensus Planning, Inc., agents for Rigel Corporation dba Krispy Kreme Doughnuts, request approval of a site development plan for building permit for Tract D1, Cottonwood Corners, located on NM528 between Coors by Pass and Ellison Drive, containing approximately 1.4 acres. (A-14) Bob Torres, Staff Planner

6. 00110 00000 00460
00128 00000 00461
Tierra West LLC, agents for Union Pension Transaction Trust 932 NM, request a zone map amendment from SU-1 for R-3 Uses to SU-1 for C-2 & R-3 Uses plus approval of a site development plan for subdivision purposes for Tract 1B-1, Renaissance Center, located on Renaissance Boulevard NE between Montano Road and Union Way Road, containing approximately 10.460 acres. (F-16) Russell Brito, Staff Planner **(APPROVED ZONE MAP AMENDMENT TO SU-1 FOR C-2 & R-3 USES. DEFERRED SITE DEVELOPMENT PLAN FOR SUBDIVISION PURPOSES FROM JULY 17, 2000)**

EPC AGENDA
AUGUST 17, 2000
PAGE 3 OF 5

7. 00128 00000 00915
00128 00000 00917
Project #1000651
Tierra West LLC, agents for SCM Properties Co., requests approval of a site development plan for subdivision purposes plus approval of a site development plan for building permit for Tract A-29A, Town of Atrisco Grant Northeast, zoned SU-1 for PDA C-1 Uses and Office located on Coors Boulevard between Redlands Road and Pheasant Avenue, containing approximately 3.4116 acres. (G-11) Bob Torres, Staff Planner
8. 00128 00000 00894
Project #1000645
Nims, Calvani & Assoc., agents for City of Albuquerque, requests approval of a site development plan for building permit for El Rancho Atrisco (Ladera Golf Course), zoned SU-1, located on Ladera Drive NW between Sequoia and Redlands, containing approximately 1.2 acres. (G-11, G-10 & H-10) Cynthia Borrego Archuleta, Staff Planner
9. 00128 00000 00904
Project # 1000060
Herb Denish and Associates, Inc., agents for John Hammons Industries, request approval of a site development plan for building permit for Tracts B and C, Gateway Subdivision, zoned SU-2/C-3, located on Lomas Boulevard NE between Interstate 25 and Woodward Place, containing approximately 9.35 acres. (J-15) Russell Brito, Staff Planner
10. 00110 00000 00844
Project # 1000617
Livia Strinbu, agent for Mike Tabrizian request a zone map from C-1 to C-2 for the northwest corner of N/2 of Tract 1, Mesa Park Addition, located on San Pedro SE and Zuni between Zuni and Bell, containing approximately .30 acre. (L-18) Mary Piscitelli, Staff Planner
11. 00128 00000 00906
Rick Bennett Architect, agent for Conway Oil Co., request approval of a site development plan for building permit for lot A, Tract A, North Albuquerque Acres, zoned SU-1 for C-2, located on the southwest corner of Louisianan and Paseo del Norte, containing approximately 2.7 acres. (D-18) Debbie Stover, Staff Planner
12. 00110 00000 00895
00128 00000 00896
Project #1000646
Insite Architecture + Development, agents for Capital Aspects requests a zone map amendment from SU-1, P-1 to SU-1 plus approval of a site development plan for building permit for Tract H-2, New Holiday Park Addition, located on Montgomery Boulevard between Juan Tabo and Tramway, containing approximately .8264 acre. (F-22) Mary Piscitelli, Staff Planner

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT - DEVELOPMENT SERVICES DIVISION
PROPERTY OWNERSHIP LIST

Meeting Date: 8/17/00

Zone Atlas Page: C-19-E

Notification Radius: 100 Ft.

Cross Reference and Location: _____

App# <u>00110-00000-006004</u>
Proj# <u>1000501</u>
Other# _____

Applicant: Susan Mirabal ✓

Address: 1716 White Cloud NE, 87112

Agent: Thanh Van Nguyen ETUX ✓

Address: 1714 White Cloud NE 87112

SPECIAL INSTRUCTIONS

Notices Must be mailed from the
City 15 days prior to the meeting.

Date Mailed: August 2, 2000

Signature: Bridget Hallegas

PROPERTY OWNERSHIP / LEGAL LIST

App# _____
 Proj# _____

Date: _____

Page 1 of 2

Zone Atlas Page	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address
C-15	10190510	298-432	11607	✓ mp	10190510	284-432	111	17 ✓ mp
		298-436	08	✓ mp		284-424		18 ✓
		284-405	01	✓		284-417		19 ✓
		298-406	02	✓		284-412		20 ✓ mp
		298-412	03	✓ mp		317-430	112	11 ✓ mp
		298-414	04	✓ mp		317-451		12 ✓ mp
		298-422	05	✓ mp		317-446		13 ✓ mp
		298-426	06	✓ mp		317-442		14 ✓ mp
		298-442	09	✓		317-436		15 ✓
		298-444	10	✓		317-432		16 ✓
		288-449	11	✓		317-426		17 ✓ mp
		291-449	21	✓		317-422		18 ✓ mp
		294-445	22	✓		317-416		19 ✓
		298-449	23	✓		317-412		20 ✓
		284-454	12	✓		317-406		01 ✓
		284-452	13	✓		330-409		02 ✓
		284-446	14	✓		330-416		04 ✓
		284-442	15	✓				05
		284-436	16	✓ mp		319-430		04 ✓

1019056 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE

101905629843211107 LEGAL: *001 7000 8CASAS SERENAS ADDN LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: MIRABAL SUSAN
 OWNER ADDR: 00419 RHODE ISLAND SE ALBUQUERQUE NM 87108

101905629843611108 LEGAL: * 01 8 00 8CASAS SERENAS LAND USE:
 PROPERTY ADDR: 00000 419 RHODE ISLAND SE
 OWNER NAME: MIRABAL SUSAN
 OWNER ADDR: 00419 RHODE ISLAND SE ALBUQUERQUE NM 87108

101905628440511101 LEGAL: * 11 A 00 8CASAS SERENAS SUB REPLAT LOT 11 BLK 8 CAS LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: BONING TERRY R & MARY R
 OWNER ADDR: 04408 SOMBRA PL NW ALBUQUERQUE NM 87114

101905629840611102 LEGAL: * 01 2 00 8CASAS SERENAS LAND USE:
 PROPERTY ADDR: 00000 RHODE ISLAND ST SE
 OWNER NAME: DURAN BOBBY F & CLORINDA E
 OWNER ADDR: 00000 PO BOX 1684 TAOS NM 87571

101905629841211103 LEGAL: * 01 3 00 8CASAS SERENAS LAND USE:
 PROPERTY ADDR: 00000 RHODE ISLAND ST SE
 OWNER NAME: ZEPEDA DONALDO & SANDRA LUZ
 OWNER ADDR: 00433 RHODE ISLAND SE ALBUQUERQUE NM 87108

101905629841611104 LEGAL: * 01 4 00 8CASAS SERENAS LAND USE:
 PROPERTY ADDR: 00000 433 RHODE ISLAND ST SE
 OWNER NAME: ZEPEDA DONALDO & SANDRA LUZ
 OWNER ADDR: 00433 RHODE ISLAND SE ALBUQUERQUE NM 87108

101905629842211105 LEGAL: * 01 5 00 8CASAS SERENAS LAND USE:
 PROPERTY ADDR: 00000 429 RHODE ISLAND ST SE
 OWNER NAME: GURULE LARRY R ETUX
 OWNER ADDR: 01212 PROPPS NE ALBUQUERQUE NM 87112

101905629842611106 LEGAL: *001 6000 8CASAS SERENAS ADDN LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: GURULE LARRY R ETUX
 OWNER ADDR: 01212 PROPPS NE ALBUQUERQUE NM 87112

101905629844211109 LEGAL: * 01 9 00 8CASAS SERENAS LAND USE:
 PROPERTY ADDR: 00000 417 RHODE ISLAND ST SE
 OWNER NAME: NOWLIN RUSSELL B
 OWNER ADDR: 00417 RHODE ISLAND SE ALBUQUERQUE NM 87108

101905629844611110 LEGAL: TR 8 A R EPL OF LTS 20 & S1/2 OF LT 21 CASAS SERENA LAND USE:
 PROPERTY ADDR: 00000 409 RHODE ISLAND SE
 OWNER NAME: MARTINEZ ANSELMO & REYES J &
 OWNER ADDR: 00409 RHODE ISLAND SE ALBUQUERQUE NM 87108

101905628844911111 LEGAL: *D 8 BEI NG A REPL OF LT 22 & THE N/2 OF LT 21 BLK LAND USE:
 PROPERTY ADDR: 00000 7930 BELL DR
 OWNER NAME: RAE L REINA
 OWNER ADDR: 07930 BELL AV SE ALBUQUERQUE NM 87108

101905629144911121 LEGAL: *C 8 BEI NG A REPL OF LT 22 & THE N/2 OF LT 21 BLK LAND USE:
PROPERTY ADDR: 00000 7932 BELL SE
OWNER NAME: HAVERLAND RICHARD A & VIVIAN M
OWNER ADDR: 07932 BELL SE ALBUQUERQUE NM 87103

101905629444911122 LEGAL: *B 8 BEI NG A REPL OF LT 22 & THE N/2 OF LT 21 BLK LAND USE:
PROPERTY ADDR: 00000 7934 BELL SE
OWNER NAME: SENA PROPERTIES INC
OWNER ADDR: 00000 PO BOX 5191 ALBUQUERQUE NM 87185

101905629844911123 LEGAL: *A 8 BEI NG A REPL OF LT 22 & THE N/2 OF LT 21 BLK LAND USE:
PROPERTY ADDR: 00000 7936 BELL SE
OWNER NAME: GARCIA RICHARD J & DINA M
OWNER ADDR: 07936 BELL SE ALBUQUERQUE NM 87108

101905628445611112 LEGAL: * 00 1 00 8CASAS SERENAS LAND USE:
PROPERTY ADDR: 00000 400 PENNSYLVANIA AVE SE
OWNER NAME: SANCHEZ JUSTO & TERESITA
OWNER ADDR: 00003 SYLVANDELL TIJERAS NM 87059

101905628445211113 LEGAL: * 00 2 00 8CASAS SERENAS LAND USE:
PROPERTY ADDR: 00000 406 PENNSYLVANIA AVE SE
OWNER NAME: ARAGON JOE
OWNER ADDR: 00406 PENNSYLVANIA SE ALBUQUERQUE NM 87108

101905628444611114 LEGAL: * 00 3 00 8CASAS SERENAS LAND USE:
PROPERTY ADDR: 00000 408 PENNSYLVANIA AVE SE
OWNER NAME: VALENCIA MARI ELENA
OWNER ADDR: 00000 PO BOX 81552 ALBUQUERQUE NM 87198

101905628444211115 LEGAL: * 00 4 00 8CASAS SERENAS LAND USE:
PROPERTY ADDR: 00000 412 PENNSYLVANIA AVE SE
OWNER NAME: HARRISON RALPH
OWNER ADDR: 03717 DEL MAR NE ALBUQUERQUE NM 87111

101905628443611116 LEGAL: * 00 5 00 8CASAS SERENAS LAND USE:
PROPERTY ADDR: 00000 420 PENNSYLVANIA AVE SE
OWNER NAME: NM VIETNAMESE BUDDHIST ASSN
OWNER ADDR: 00000 PO BOX 40141 ALBUQUERQUE NM 87196

101905628443211117 LEGAL: * 00 6 00 8CASAS SERENAS LAND USE:
PROPERTY ADDR: 00000 420 PENNSYLVANIA AVE SE
OWNER NAME: NM VIETNAMESE BUDDHIST ASSN
OWNER ADDR: 00000 PO BOX 40141 ALBUQUERQUE NM 87196

101905628442411118 LEGAL: * 00 7 00 8CASAS SERENAS & N25FT L8 LAND USE:
PROPERTY ADDR: 00000 424 PENNSYLVANIA AVE SE
OWNER NAME: REGINO MIGUEL A &
OWNER ADDR: 00424 PENNSYLVANIA ST SE ALBUQUERQUE NM 87108

101905628441711119 LEGAL: 008T HE S GOUTH 25 FT OF LOT 8 AND ALL OF LOT 9 CASAS LAND USE:
PROPERTY ADDR: 00000 428 PENNSYLVANIA AVE SE
OWNER NAME: EATON C NORMAN & KATHLEEN N
OWNER ADDR: 00428 PENNSYLVANIA SE ALBUQUERQUE NM 87108

101905628441211120	LEGAL: * 01 0 00 8CASAS SERENAS PROPERTY ADDR: 00000 432 PENNSYLVANIA AVE SE OWNER NAME: BONING TERRY R & MARY R OWNER ADDR: 04408 SOMBRA	LAND USE: PL NW ALBUQUERQUE NM 87114
101905631745611211	LEGAL: * 00 1 00 7CASAS SERENAS PROPERTY ADDR: 00000 400 RHODE ISLAND ST SE OWNER NAME: SANCHEZ CURITS J & GUADALUPE OWNER ADDR: 00400 RHODE ISLAND	LAND USE: SE ALBUQUERQUE NM 87108
101905631745111212	LEGAL: * 00 2 00 7CASAS SERENAS SUBD PROPERTY ADDR: 00000 404 RHODE ISLAND ST SE OWNER NAME: SANCHEZ CURTIS J & GUADALUPE OWNER ADDR: 00400 RHODE ISLAND	LAND USE: SE ALBUQUERQUE NM 87108
101905631744611213	LEGAL: * 00 3 00 7CASAS SERENAS PROPERTY ADDR: 00000 RHODE ISLAND ST SE OWNER NAME: MORALES OSCAR & MORALES FRANCI OWNER ADDR: 00232 FLIP	LAND USE: LN SW ALBUQUERQUE NM 87121
101905631744211214	LEGAL: * 00 4 00 7CASAS SERENAS PROPERTY ADDR: 00000 412 RHODE ISLAND ST SE OWNER NAME: MORALES OSCAR & MORALES FRANCI OWNER ADDR: 00232 FLIP	LAND USE: LN SW ALBUQUERQUE NM 87121
101905631743611215	LEGAL: * 00 5 00 7CASAS SERENAS PROPERTY ADDR: 00000 416 RHODE ISLAND ST SE OWNER NAME: NOWLIN THOMAS C OWNER ADDR: 00416 RHODE ISLAND	LAND USE: ST SE ALBUQUERQUE NM 87108
101905631743211216	LEGAL: * 00 6 00 7CASAS SERENAS PROPERTY ADDR: 00000 420 RHODE ISLAND ST SE OWNER NAME: HOLE JAMES W ETUX OWNER ADDR: 03939 SAN PEDRO	LAND USE: NE ALBUQUERQUE NM 87110
101905631742611217	LEGAL: * 00 7 00 7CASAS SERENAS PROPERTY ADDR: 00000 424 RHODE ISLAND ST SE OWNER NAME: HOLLIDAY HERBERT ETUX OWNER ADDR: 09618 ELVIN	LAND USE: NE ALBUQUERQUE NM 87112
101905631742211218	LEGAL: * 00 8 00 7CASAS SERENAS PROPERTY ADDR: 00000 RHODE ISLAND ST SE OWNER NAME: HOLLIDAY HERBERT ETUX OWNER ADDR: 09618 ELVIN	LAND USE: NE ALBUQUERQUE NM 87112
101905631741611219	LEGAL: * 00 9 00 7CASAS SERENAS PROPERTY ADDR: 00000 432 RHODE ISLAND ST SE OWNER NAME: FUENTES PATRICK R OWNER ADDR: 00475 ABBEY	LAND USE: PL BOSQUE FARMS NM 87068
101905631741211220	LEGAL: * 01 0 00 7CASAS SERENAS PROPERTY ADDR: 00000 RHODE ISLAND ST SE OWNER NAME: SHARMA PARBHKAR OWNER ADDR: 00700 COORS	LAND USE: NW ALBUQUERQUE NM 87105

101905631740611201	LEGAL: * 01 1 00 7CASAS SERENAS PROPERTY ADDR: 00000 8001 TRUMBELL AVE SE OWNER NAME: BROWN MANINA LEWIS & DORRIS OWNER ADDR: 08001 TRUMBULL	LAND USE: SE ALBUQUERQUE NM 87108
101905633040911202	LEGAL: LOTS 12 & 13 CASAS SERENAS SUBD PROPERTY ADDR: 00000 N/A OWNER NAME: SERNA PEDRO ETUX OWNER ADDR: 00437 TENNESSEE	LAND USE: SE ALBUQUERQUE NM 87108
101905633041611204	LEGAL: * 01 4 00 7CASAS SERENAS PROPERTY ADDR: 00000 433 TENNESSEE ST SE OWNER NAME: PACHECO JOYCE ANA & ANGELO OWNER ADDR: 00433 TENNESSEE	LAND USE: SE ALBUQUERQUE NM 87108
101905631943011206	LEGAL: LOT A-1 LAND DIVISION PLAT LOTS A1, A2, A3 & A4 LO PROPERTY ADDR: 00000 411 TENNESSEE SE OWNER NAME: ALLENBAUGH DREW J OWNER ADDR: 07710 ROUTE 30	LAND USE: N HUNTINGDON PA 15642
101905633044411207	LEGAL: * B 7 LD DIV PLAT LTS A & B OF CASAS SERENAS IN SE PROPERTY ADDR: 00000 409 TENNESSEE ST SE OWNER NAME: BULLARD JAMES H & OWNER ADDR: 00000 PO BOX 656	LAND USE: CORRALES NM 87048
101905632343011208	LEGAL: LOT A-2 LAND DIVISION PLAT LOTS A1, A2, A3 & A4 LO PROPERTY ADDR: 00000 411 TENNESSEE AVE SE OWNER NAME: ALLENBAUGH DREW J OWNER ADDR: 07710 ROUTE 30	LAND USE: NO HUNTINGDON PA 15642
101905633045111209	LEGAL: * 02 1 00 7CASAS SERENAS PROPERTY ADDR: 00000 405 TENNESSEE SE OWNER NAME: P2 PROPERTY MANAGEMENT OWNER ADDR: 00516 CHAMA	LAND USE: NE ALBUQUERQUE NM 87108
101905633045611210	LEGAL: * 02 2 00 7CASAS SERENAS PROPERTY ADDR: 00000 TENNESSEE ST SE OWNER NAME: TAPLEY OLIN & DIANE OWNER ADDR: 08208 CALLE PRIMERA	LAND USE: NW ALBUQUERQUE NM 87120
101905626541421801	LEGAL: LT 1 2-A BLK 18 PLAT OF LT 12-A BLK 18 EMIL MANN AD PROPERTY ADDR: 00000 N/A OWNER NAME: CITY OF ALBUQUERQUE OWNER ADDR: 00000 PO BOX 1293	LAND USE: ALBUQUERQUE NM 87103
101905627044021809	LEGAL: TRAC T B OF SUMMARY REPLAT OF EMIL MANN ADDITION BL PROPERTY ADDR: 00000 N/A OWNER NAME: LERMA RAMONA & JOSE OWNER ADDR: 00415 PENNSYLVANIA	LAND USE: NE ALBUQUERQUE NM 87108
101905626544521812	LEGAL: TRAC T A OF SUMMARY REPLAT OF EMIL MANN ADDITION BL PROPERTY ADDR: 00000 7900 BELL AVE SE OWNER NAME: RURAL HOUSING INC A NEW MEXICO OWNER ADDR: 05101 COPPER	LAND USE: NE ALBUQUERQUE NM 87108

The NM Vietnamese Buddhist Association
420 Pennsylvania S.E.
Albuquerque, NM 87108
May 2, 2000

Trumbull Village Association
Alvorn Clifton
508 Rhode Island S.E.
Albuquerque, NM 87108

Dear Alvorn Clifton,

We, the New Mexico Vietnamese Buddhist Association, have asked the city of Albuquerque for a zoning change for lots 17 and 18 block 8, Casas Serenas Addition. At the present time, these lots are zoned R-T with a single family dwelling located on lot 18, 419 Rhode Island S.E., Albuquerque. The zone change that we have requested is for a small church (Sunday Dharma class for children). We feel this zone change would benefit the neighborhood for the following reasons:

A church (Sunday Dharma school) would be a quiet and attractive addition to the neighborhood. Our present church has resided in its location for 14 years without any incidents or complaints. It has also become an excellent site-seeing location in the neighborhood. There will be no traffic and street parking problems on Rhode Island street because there will be fencing around the lots and we will pick up our children and drop them off at our present entrance on Pennsylvania street.

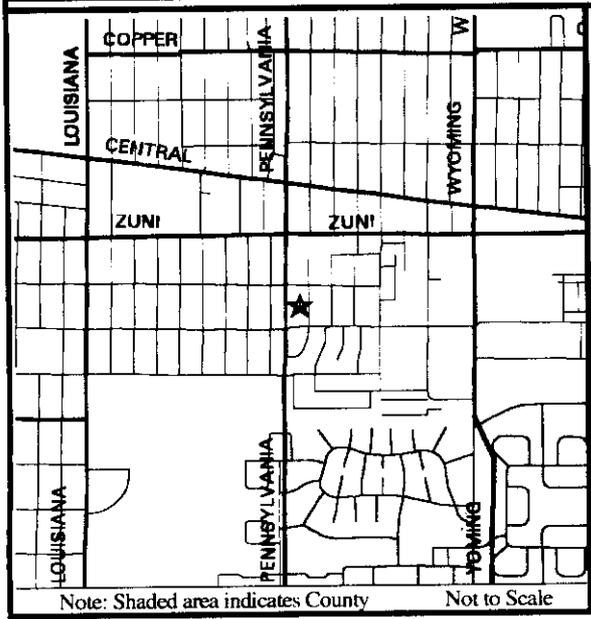
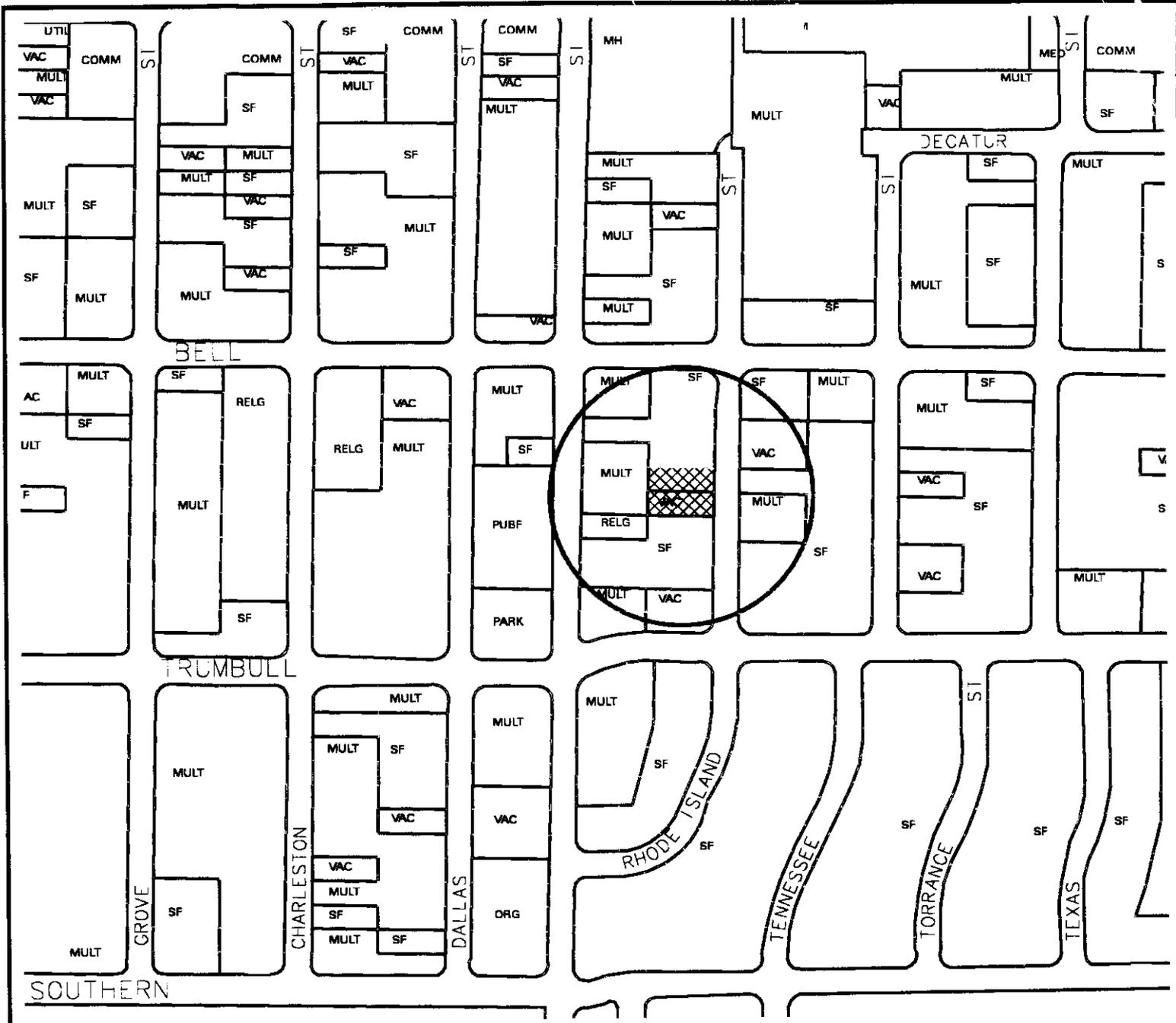
For these reasons, we hope that you will approve this change not just because we ask for it but also for the benefit that we could add to the neighborhood and our children.

Sincerely



Thanh Nguyen,
Secretary of the NM Vietnamese Buddhist Association

cc: Zoning Department
City of Albuquerque



LAND USE MAP

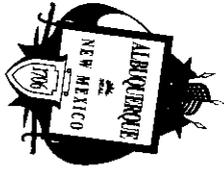
- KEY to Land Use Abbreviations
- AGRI Agricultural
 - COMM Commercial - Retail, Service, Wholesale
 - DRNG Drainage
 - EDUC Public or Private School
 - GOLF Golf Course
 - MED Medical Office or Facility
 - MFG Manufacturing or Mining
 - MH Mobile Home
 - MULT Multi-Family or Group Home
 - OFF Office
 - ORG Social or Civic Organization
 - PARK Park, Recreation or Open Space
 - PRKG Parking
 - PUBF Public Facility
 - RELG Religious Facility
 - SF Single Family
 - TRAN Transportation Facility
 - UTIL Utility
 - VAC Vacant Land or Abandoned Bldge
 - WH Warehousing & Storage



Scale 1" = 296'

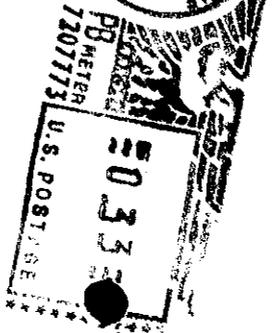
PROJECT NO. 1000501
HEARING DATE 07-20-00
MAP NO. L-19
APPLICATION NO. 00110-00000-00604

Note: Shaded area indicates County Not to Scale

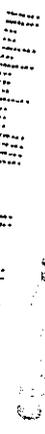
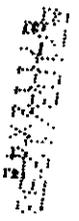


City of Albuquerque
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PLANNING DEPARTMENT

Susan Mirabal
1716 White Cloud Dr
Albq, NM 87112



[Handwritten initials]

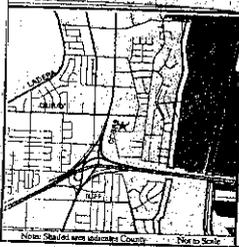




NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission will hold a public hearing on Thursday, August 17, 2000 at 8:00 a.m. in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following items:

00128 00000 00870 Terra West, LLC, agents for Walmart Stores, Coors Ltd, RRG, Repetto, Komadina, Doldre, Tract, Valencia Partners, Richard & Susan Saylor requests approval of a site development plan for subdivision plus approval of a site development plan for building permit for a portion of Tract 330 in Unit 8 of a portion of Tracts allotted from the Town of Atrisco Grant, Tract 331-A, Town of Atrisco Grant, Tract 332 in Unit 8, a portion of tracts allotted from the Town of Atrisco Grant, Tract A-2122-A of Northeast Unit, Town of Atrisco Grant, a 0.3074 acre portion of Tract Lettered A-14 in the Northeast Unit of Town of Atrisco Grant, Tract A-19-C2, Northeast Unit, Town of Atrisco Grant, Tract A-1-A Lands of Ann Komadina, 1/9 interest, and undivided interest, zoned SU-1 for C-2, located on Ouray Road NW between Coors Boulevard and Quail Road containing approximately 33.4339 acres. (11-11) Russell Brito, staff Planner



00128 00000 00894 Nims, Caivani & Assoc., agents for City of Albuquerque, requests approval of a site development plan for building permit for El Rancho Atrisco (Ladera Golf Course), zoned SU-1, located on Ladera Drive NW between Sequoia and Redlands, containing approximately 1.2 acres. (G-11, G-10 & H-10) Cynthia Borrego Archuleta, Staff Planner.

00128 00000 00897 Consensus Planning, Inc., agents for Rigel Corporation dba Krispy Kreame Doughnuts, requests approval of a site development plan for building permit for Tract DI, Cottonwood Corners, located on NMS28 between Coors by Pass and Ellison Drive containing approximately 1.4 acres. (A-14) Bob Torres, Staff Planner

00128 00000 00899 Advanced Engineering and Consulting, LLC, agents for Zuni Development LLC, request approval of a site development plan for building permit for Tracts 4 and 5, Lands of C.H. Hall, zoned SU-1 for MH, located on 90th Street NW between Volcano Road and Bluewater Road, containing approximately 10 acres. (K-9) Russel Brito, Staff Planner

0012800000 00904 Herb Denish and Associates, Inc., agents for John Hammons Industries, request approval of a site development plan for building permit for Tracts B and C, Gateway subdivision, zoned SU-2/C-3, located on Lomas Boulevard NE between Interstate 25 and Woodward Place, containing approximately 9.33 acres. (J-15) Russel Brito, Staff Planner

00128 00000 00906 Rick Bennett Architect, agent for Conway Oil Co., request approval of a site development plan for building permit for a lot A, Tract A, North Albuquerque Acres, zoned SU-1 for C-2, located on the southwest corner of Louisiana and Paseo del Norte, containing approximately 2.7 acres. (D-18) Debbie Stover, Staff Planner

00128 00000 00915 Tierra West LLC, agents for SCM Properties Co., requests approval of a site development plan for subdivision purposes plus approval of a site development plan for building permit for Tract A-29-A, Town of Atrisco Grant Northeast, zoned SU-1 for PDA C-1 Uses and Office located on Coors Boulevard between Redlands Road and Pheasant Avenue, containing approximately 3.4116 acres. (G-11) Bob Torres, Staff Planner

00110 00000 00604 Thanh Nguyen, agent of Susan Mirabel, request a Zone Map Amendment from R-T to SU-1 for a Church and approval of a site development plan for subdivision for Lots 17 and 18, Block 8, Casas Serenas, located at 419 Rhude Island, SE between Bell Street, SE and Trumbell Street, SE, containing approximately 0.3054 acres. (G-11) Bob Torres, Staff Planner

00110 00000 00787 Keith MacDuffee, agent for Southwest Surveying Co Inc., request a zone map amendment from C-1 to SU-1 for RT plus approval of a site development plan for subdivision purposes for Lot 40, Block 6, Unit 1, Casa Grande Estates, located on Candelaria between Trainway Boulevard and Matador Drive, containing approximately .92 acres. (H-23) Debbie Stover, Staff Planner

00110 00000 00844 Livra Strimbu, agent for Mike Tabrizian request a zone map from C-1 to C-2 for the northwest corner of N/2 of Tract 1, Mesa Park Addition, located on San Pedro SE and Zuni between Zuni and Bell, containing approximately .30 acres (L-18) Mary Piscitelli, Staff Planner

00110 00000 00887 Tierra West, LLC agents for Plumbers and Steam fitters #412, request a zone map amendment from O-1/R-3/C-1 to C-1 for the north half of Tract 1, Mesa Park Addition, located on San Pedro Drive SE between Bell Avenue and Zuni Road, containing approximately 1.239 acres (L-18) Bob Paulsen, Staff Planner

00110 00000 00888 Rodey Dickason, Sloan, Akin & Robb, PA, agents for KOAT-TV requests a zone map amendment from C-1 to SU-1 for TV station, satellite dishes, related facilities and helipad, to allow helipad on radio/TV station site plus approval of a site development plan for building permit for Lot A-1, Block 1, Montgomery Heights, located on Carlisle and Comanche NE, between Montgomery and Comanche, containing approximately 3.6 acres. (G-16) Debbie Stover, Staff Planner

Bill Tafoya, being duly sworn, declares and says that he is Classified Advertising Manager of The Albuquerque Journal, and that this newspaper is duly qualified to publish legal notices or advertisements within the meaning of Section 3, Chapter 167, Session Laws of 1937, and that payment therefore has been made of assessed as court cost; that the notice, copy of which is hereto attached, was published in said paper in the regular daily edition, for 1 times, the first publication being on the 8 day of August 2000, and the subsequent consecutive publications on _____, 2000.

Sworn and subscribed to before me, a Notary Public, in and for the County of Bernalillo and State of New Mexico this 8 day August of 2000.

PRICE # 241.17 Statement to come at end of month.

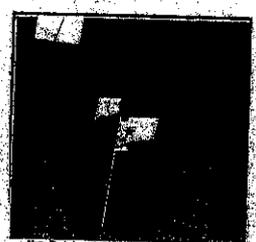
ACCOUNT NUMBER 520583

CLA-22-A (R-1/93)

00110 0000 00895 Insite Architecture + Development, agents for Capital Aspects requests a zone map amendment from SU-1, P-1 to SU-1 plus approval of a site development plan for building permit for Tract H-2, New Holiday Park Addition, located on Montgomery Boulevard between Juan Tabo and Tramway, containing approximately .8264 acre. (F-22) Mary Piscitelli, Staff Planner

00110 0000 00898 John A Myers, agent for Sandia Foundation, a New Mexico Corporation requests an amendment to the Sawmill Sector Development Plan plus a zone map amendment from S-MI to P-R for Tract 238C-1-A-2-A Stewart Walker Addition, located on 20th Street between Mountain Road and Bellemah Avenue, containing approximately .8 acre. (J-13) Debbie Stover, Staff Planner

00128 00000 00907 DCSW, agents for John J. Mahoney & Assoc., requests approval of a site development plan for building permit for lots 1A and 2A, Lands of Lamonica and Wenk, located at the southeast corner of the intersection of Coors and Rio Bravo Boulevards SW, containing approximately 26 acres. (P-10) Russell Brito, Staff Planner



00138 00000 00911 Tierra West LLC, agents for Mock Homes, request annexation and establishment for R-D zoning plus an amendment to the La Cueva Sector Development Plan for Lots 1-5 and 28-32, Block 12, Tract 3, North Albuquerque Acres located on Ventura Avenue NE between Eagle Rock Avenue and Oakland Avenue, containing approximately 10 acres. (C-20) Carmen Marrone, Staff Planner

00114 00000 00576 Dekker/Perich/Sabatini, agents for NM Commissioner of Public Lands, requests annexation and establishment of IP zoning plus a approval of a master development plan for a Tract of land in Section 33 T10N, R4E, in the North 1/2 of the SW 1/4 of the NW 1/4, located on Eubank Boulevard, SE, south of Gibson Boulevard, containing approximately 20 acres. (M-21) Russell Brito, Staff Planner

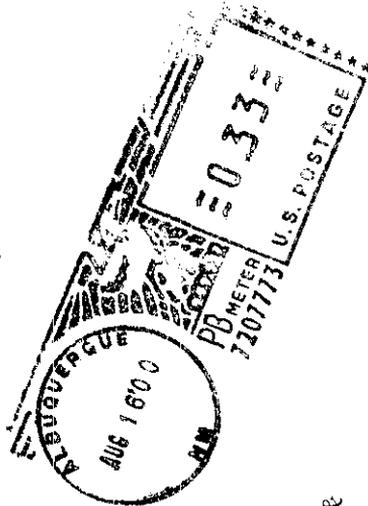
Details of these applications may be examined at the Development Services Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street, NW between 10:00 a.m. and 12:00 and between 2:00 and 4:00 pm., Monday through Friday, or you may call April Candelaria at 924-3886. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at the public hearing should contact April Candelaria at 924-3886 (VOICE) or 924-3361 (TTY). TTY users may also access the voice number via the New Mexico Relay Network by calling toll free: 1-800-659-8331. Chuck Gara, Chairman, Environmental Planning Commission

APPROVED Bob Paulsen, Senior Planner, Development Services Division, Planning Department

Journal: August 2, 2000



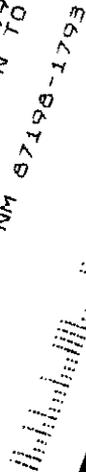
City of Albuquerque
P.O. BOX 1288 ALBUQUERQUE, NEW MEXICO 87103
PLANNING DEPARTMENT



101905629844611110
MARTINEZ ANSELMO & REYES J &
409 RHODE ISLAND SE
ALBUQUERQUE NM 87108

MAH1404K
FORWARD TIME EXP 11 08/18/00
PO BOX 61793 RTN TO SEND
ALBUQUERQUE NM 87198-1793

6710544370061253



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT - DEVELOPMENT SERVICES DIVISION
PROPERTY OWNERSHIP LIST

Meeting Date: Aug. 31, 2000

Zone Atlas Page: C-19-2

Notification Radius: 100 Ft.

Cross Reference and Location: _____

App#	00110-00000-00604
Proj#	1000501
Other#	00128-00000-01003
	00138-00000-01067

Applicant: Susan Mirabal ✓

Address: 1716 White Cloud NE, 87112

Agent: Thanh Van Nguyen Etax ✓

Address: 1716 White Cloud NE, 87112

SPECIAL INSTRUCTIONS

Notices Must be mailed from the
City 15 days prior to the meeting.

Date Mailed: 8/16/00

Signature: [Signature]

PROPERTY OWNERSHIP / LEGAL LIST

App# _____
 Proj# _____

Date: _____

Page 1 Of 2

Zone Atlas Page	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address
C-19	1015050	298-432	1607	✓ mp	1019050	294-432	111	17 mp				
		298-436	08	✓ mp		294-424		18 ✓				
		284-405	01	✓		294-417		19 ✓				
		298-406	02	✓		284-412		20 ✓				
		298-412	03	✓ mp		317-450	112	11 ✓				
		298-414	04	✓ mp		317-451		12 ✓				
		298-422	05	✓ mp		317-440		13 ✓				
		298-426	06	✓ mp		317-442		14 ✓				
		298-442	09	✓		317-430		15 ✓				
		298-446	10	✓		317-432		16 ✓				
		288-449	11	✓		317-426		17 ✓				
		291-449	21	✓		317-422		18 ✓				
		294-445	22	✓		317-414		19 ✓				
		298-449	23	✓		317-412		20 ✓				
		284-454	12	✓		317-406		01 ✓				
		284-452	13	✓		330-409		02 ✓				
		284-446	14	✓		330-416		04 ✓				
		284-442	15	✓								
		284-436	16	✓ mp		319-430		05 ✓				

1019056 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE

101905629843211107 LEGAL: *001 7000 8CASAS SERENAS ADDN LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: MIRABAL SUSAN
 OWNER ADDR: 00419 RHODE ISLAND SE ALBUQUERQUE NM 87108

101905629843611108 LEGAL: * 01 8 00 8CASAS SERENAS LAND USE:
 PROPERTY ADDR: 00000 419 RHODE ISLAND SE
 OWNER NAME: MIRABAL SUSAN
 OWNER ADDR: 00419 RHODE ISLAND SE ALBUQUERQUE NM 87108

101905628440511101 LEGAL: * 11 A 00 8CASAS SERENAS SUB REPLAT LOT 11 BLK 8 CAS LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: BONING TERRY R & MARY R
 OWNER ADDR: 04408 SOMBRA PL NW ALBUQUERQUE NM 87114

101905629840611102 LEGAL: * 01 2 00 8CASAS SERENAS LAND USE:
 PROPERTY ADDR: 00000 RHODE ISLAND ST SE
 OWNER NAME: DURAN BOBBY F & CLORINDA E
 OWNER ADDR: 00000 PO BOX 1684 TAOS NM 87571

101905629841211103 LEGAL: * 01 3 00 8CASAS SERENAS LAND USE:
 PROPERTY ADDR: 00000 RHODE ISLAND ST SE
 OWNER NAME: ZEPEDA DONALDO & SANDRA LUZ
 OWNER ADDR: 00433 RHODE ISLAND SE ALBUQUERQUE NM 87108

101905629841611104 LEGAL: * 01 4 00 8CASAS SERENAS LAND USE:
 PROPERTY ADDR: 00000 433 RHODE ISLAND ST SE
 OWNER NAME: ZEPEDA DONALDO & SANDRA LUZ
 OWNER ADDR: 00433 RHODE ISLAND SE ALBUQUERQUE NM 87108

101905629842211105 LEGAL: * 01 5 00 8CASAS SERENAS LAND USE:
 PROPERTY ADDR: 00000 429 RHODE ISLAND ST SE
 OWNER NAME: GURULE LARRY R ETUX
 OWNER ADDR: 01212 PROPPS NE ALBUQUERQUE NM 87112

101905629842611106 LEGAL: *001 6000 8CASAS SERENAS ADDN LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: GURULE LARRY R ETUX
 OWNER ADDR: 01212 PROPPS NE ALBUQUERQUE NM 87112

101905629844211109 LEGAL: * 01 9 00 8CASAS SERENAS LAND USE:
 PROPERTY ADDR: 00000 417 RHODE ISLAND ST SE
 OWNER NAME: NOWLIN RUSSELL B
 OWNER ADDR: 00417 RHODE ISLAND SE ALBUQUERQUE NM 87108

101905629844611110 LEGAL: TR 8 A R EPL OF LTS 20 & S1/2 OF LT 21 CASAS SERENA LAND USE:
 PROPERTY ADDR: 00000 409 RHODE ISLAND SE
 OWNER NAME: MARTINEZ ANSELMO & REYES J &
 OWNER ADDR: 00409 RHODE ISLAND SE ALBUQUERQUE NM 87108

101905628844911111 LEGAL: *D 8 BEI NG A REPL OF LT 22 & THE N/2 OF LT 21 BLK LAND USE:
 PROPERTY ADDR: 00000 7930 BELL DR
 OWNER NAME: RAE L REINA
 OWNER ADDR: 07930 BELL AV SE ALBUQUERQUE NM 87108

101905629144911121 LEGAL: *C 8 BEI NG A REPL OF LT 22 & THE N/2 OF LT 21 BLK LAND USE:
PROPERTY ADDR: 00000 7932 BELL SE
OWNER NAME: HAVERLAND RICHARD A & VIVIAN M
OWNER ADDR: 07932 BELL SE ALBUQUERQUE NM 87103

101905629444911122 LEGAL: *B 8 BEI NG A REPL OF LT 22 & THE N/2 OF LT 21 BLK LAND USE:
PROPERTY ADDR: 00000 7934 BELL SE
OWNER NAME: SENA PROPERTIES INC
OWNER ADDR: 00000 PO BOX 5191 ALBUQUERQUE NM 87185

101905629844911123 LEGAL: *A 8 BEI NG A REPL OF LT 22 & THE N/2 OF LT 21 BLK LAND USE:
PROPERTY ADDR: 00000 7936 BELL SE
OWNER NAME: GARCIA RICHARD J & DINA M
OWNER ADDR: 07936 BELL SE ALBUQUERQUE NM 87108

101905628445611112 LEGAL: * 00 1 00 8CASAS SERENAS LAND USE:
PROPERTY ADDR: 00000 400 PENNSYLVANIA AVE SE
OWNER NAME: SANCHEZ JUSTO & TERESITA
OWNER ADDR: 00003 SYLVANDELL TIJERAS NM 87059

101905628445211113 LEGAL: * 00 2 00 8CASAS SERENAS LAND USE:
PROPERTY ADDR: 00000 406 PENNSYLVANIA AVE SE
OWNER NAME: ARAGON JOE
OWNER ADDR: 00406 PENNSYLVANIA SE ALBUQUERQUE NM 87108

101905628444611114 LEGAL: * 00 3 00 8CASAS SERENAS LAND USE:
PROPERTY ADDR: 00000 408 PENNSYLVANIA AVE SE
OWNER NAME: VALENCIA MARI ELENA
OWNER ADDR: 00000 PO BOX 81552 ALBUQUERQUE NM 87198

101905628444211115 LEGAL: * 00 4 00 8CASAS SERENAS LAND USE:
PROPERTY ADDR: 00000 412 PENNSYLVANIA AVE SE
OWNER NAME: HARRISON RALPH
OWNER ADDR: 03717 DEL MAR NE ALBUQUERQUE NM 87111

101905628443611116 LEGAL: * 00 5 00 8CASAS SERENAS LAND USE:
PROPERTY ADDR: 00000 420 PENNSYLVANIA AVE SE
OWNER NAME: NM VIETNAMESE BUDDHIST ASSN
OWNER ADDR: 00000 PO BOX 40141 ALBUQUERQUE NM 87196

101905628443211117 LEGAL: * 00 6 00 8CASAS SERENAS LAND USE:
PROPERTY ADDR: 00000 420 PENNSYLVANIA AVE SE
OWNER NAME: NM VIETNAMESE BUDDHIST ASSN
OWNER ADDR: 00000 PO BOX 40141 ALBUQUERQUE NM 87196

101905628442411118 LEGAL: * 00 7 00 8CASAS SERENAS & N25FT L8 LAND USE:
PROPERTY ADDR: 00000 424 PENNSYLVANIA AVE SE
OWNER NAME: REGINO MIGUEL A &
OWNER ADDR: 00424 PENNSYLVANIA ST SE ALBUQUERQUE NM 87108

101905628441711119 LEGAL: 008T HE S OUTH 25 FT OF LOT 8 AND ALL OF LOT 9 CASAS LAND USE:
PROPERTY ADDR: 00000 428 PENNSYLVANIA AVE SE
OWNER NAME: EATON C NORMAN & KATHLEEN N
OWNER ADDR: 00428 PENNSYLVANIA SE ALBUQUERQUE NM 87108

101905628441211120	LEGAL: * 01 0 00 8CASAS SERENAS PROPERTY ADDR: 00000 432 PENNSYLVANIA AVE SE OWNER NAME: BONING TERRY R & MARY R OWNER ADDR: 04408 SOMBRA	LAND USE: PL NW ALBUQUERQUE NM 87114
101905631745611211	LEGAL: * 00 1 00 7CASAS SERENAS PROPERTY ADDR: 00000 400 RHODE ISLAND ST SE OWNER NAME: SANCHEZ CURITS J & GUADALUPE OWNER ADDR: 00400 RHODE ISLAND	LAND USE: SE ALBUQUERQUE NM 87108
101905631745111212	LEGAL: * 00 2 00 7CASAS SERENAS SUBD PROPERTY ADDR: 00000 404 RHODE ISLAND ST SE OWNER NAME: SANCHEZ CURTIS J & GUADALUPE OWNER ADDR: 00400 RHODE ISLAND	LAND USE: SE ALBUQUERQUE NM 87108
101905631744611213	LEGAL: * 00 3 00 7CASAS SERENAS PROPERTY ADDR: 00000 RHODE ISLAND ST SE OWNER NAME: MORALES OSCAR & MORALES FRANCI OWNER ADDR: 00232 FLIP	LAND USE: LN SW ALBUQUERQUE NM 87121
101905631744211214	LEGAL: * 00 4 00 7CASAS SERENAS PROPERTY ADDR: 00000 412 RHODE ISLAND ST SE OWNER NAME: MORALES OSCAR & MORALES FRANCI OWNER ADDR: 00232 FLIP	LAND USE: LN SW ALBUQUERQUE NM 87121
101905631743611215	LEGAL: * 00 5 00 7CASAS SERENAS PROPERTY ADDR: 00000 416 RHODE ISLAND ST SE OWNER NAME: NOWLIN THOMAS C OWNER ADDR: 00416 RHODE ISLAND	LAND USE: ST SE ALBUQUERQUE NM 87108
101905631743211216	LEGAL: * 00 6 00 7CASAS SERENAS PROPERTY ADDR: 00000 420 RHODE ISLAND ST SE OWNER NAME: HOLE JAMES W ETUX OWNER ADDR: 03939 SAN PEDRO	LAND USE: NE ALBUQUERQUE NM 87110
101905631742611217	LEGAL: * 00 7 00 7CASAS SERENAS PROPERTY ADDR: 00000 424 RHODE ISLAND ST SE OWNER NAME: HOLLIDAY HERBERT ETUX OWNER ADDR: 09618 ELVIN	LAND USE: NE ALBUQUERQUE NM 87112
101905631742211218	LEGAL: * 00 8 00 7CASAS SERENAS PROPERTY ADDR: 00000 RHODE ISLAND ST SE OWNER NAME: HOLLIDAY HERBERT ETUX OWNER ADDR: 09618 ELVIN	LAND USE: NE ALBUQUERQUE NM 87112
101905631741611219	LEGAL: * 00 9 00 7CASAS SERENAS PROPERTY ADDR: 00000 432 RHODE ISLAND ST SE OWNER NAME: FUENTES PATRICK R OWNER ADDR: 00475 ABBEY	LAND USE: PL BOSQUE FARMS NM 87068
101905631741211220	LEGAL: * 01 0 00 7CASAS SERENAS PROPERTY ADDR: 00000 RHODE ISLAND ST SE OWNER NAME: SHARMA PARBHAKAR OWNER ADDR: 00700 COORS	LAND USE: NW ALBUQUERQUE NM 87105

101905631740611201	LEGAL: * 01 1 00 7CASAS SERENAS PROPERTY ADDR: 00000 8001 TRUMBELL AVE SE OWNER NAME: BROWN MANINA LEWIS & DORRIS OWNER ADDR: 08001 TRUMBULL	LAND USE: SE ALBUQUERQUE NM 87108
101905633040911202	LEGAL: LOTS 12 & 13 CASAS SERENAS SUBD PROPERTY ADDR: 00000 N/A OWNER NAME: SERNA PEDRO ETUX OWNER ADDR: 00437 TENNESSEE	LAND USE: SE ALBUQUERQUE NM 87108
101905633041611204	LEGAL: * 01 4 00 7CASAS SERENAS PROPERTY ADDR: 00000 433 TENNESSEE ST SE OWNER NAME: PACHECO JOYCE ANA & ANGELO OWNER ADDR: 00433 TENNESSEE	LAND USE: SE ALBUQUERQUE NM 87108
101905631943011206	LEGAL: LOT A-1 LAND DIVISION PLAT LOTS A1, A2, A3 & A4 LO PROPERTY ADDR: 00000 411 TENNESSEE SE OWNER NAME: ALLENBAUGH DREW J OWNER ADDR: 07710 ROUTE 30	LAND USE: N HUNTINGDON PA 15642
101905633044411207	LEGAL: * B 7 LD DIV PLAT LTS A & B OF CASAS SERENAS IN SE PROPERTY ADDR: 00000 409 TENNESSEE ST SE OWNER NAME: BULLARD JAMES H & OWNER ADDR: 00000 PO BOX 656	LAND USE: CORRALES NM 87048
101905632343011208	LEGAL: LOT A-2 LAND DIVISION PLAT LOTS A1, A2, A3 & A4 LO PROPERTY ADDR: 00000 411 TENNESSEE AVE SE OWNER NAME: ALLENBAUGH DREW J OWNER ADDR: 07710 ROUTE 30	LAND USE: NO HUNTINGDON PA 15642
101905633045111209	LEGAL: * 02 1 00 7CASAS SERENAS PROPERTY ADDR: 00000 405 TENNESSEE SE OWNER NAME: P2 PROPERTY MANAGEMENT OWNER ADDR: 00516 CHAMA	LAND USE: NE ALBUQUERQUE NM 87108
101905633045611210	LEGAL: * 02 2 00 7CASAS SERENAS PROPERTY ADDR: 00000 TENNESSEE ST SE OWNER NAME: TAPLEY OLIN & DIANE OWNER ADDR: 08208 CALLE PRIMERA	LAND USE: NW ALBUQUERQUE NM 87120
101905626541421801	LEGAL: LT 1 2-A BLK 18 PLAT OF LT 12-A BLK 18 EMIL MANN AD PROPERTY ADDR: 00000 N/A OWNER NAME: CITY OF ALBUQUERQUE OWNER ADDR: 00000 PO BOX 1293	LAND USE: ALBUQUERQUE NM 87103
101905627044021809	LEGAL: TRAC T B OF SUMMARY REPLAT OF EMIL MANN ADDITION BL PROPERTY ADDR: 00000 N/A OWNER NAME: LERMA RAMONA & JOSE OWNER ADDR: 00415 PENNSYLVANIA	LAND USE: NE ALBUQUERQUE NM 87108
101905626544521812	LEGAL: TRAC T A OF SUMMARY REPLAT OF EMIL MANN ADDITION BL PROPERTY ADDR: 00000 7900 BELL AVE SE OWNER NAME: RURAL HOUSING INC A NEW MEXICO OWNER ADDR: 05101 COPPER	LAND USE: NE ALBUQUERQUE NM 87108



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: May 2, 2000

TO CONTACT NAME: Thanh Van Nguyen 293-2094

COMPANY/AGENCY: _____

ADDRESS/ZIP/PHONE: 1716 White Cloud NE / 87112

Thank you for inquiry of 5-2-00 (date) requesting the names of the Recognized

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at lots 17+18, Block 8, Casas Serenas

addition
zone map page(s): L-19

Our records indicate that the Recognized Neighborhood Associations affected by this proposal and their contact names, addresses and phone numbers are as follows:

Isumbull Village Assoc.
Neighborhood Association
Contacts: Alvon Clifton
508 Rhode Island SE / 87108
255-0360 (w)
Dan Serrano
533 Virginia SE / 87108
232-2310 (w) 232-2411 (fax)

Neighborhood Association
Contacts: _____

See reverse side for additional Neighborhood Association Information: Yes [] No []

✓ Please note that according to O-92 you are required to notify each of the contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR THIRTY (30) DAYS.**

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at (505) 924-3913.

Dalaina L. Carmena
OFFICE OF COMMUNITY/NEIGHBORHOOD COORDINATION



DEVELOPMENT REVIEW APPLICATION

<p>ZONING</p> <p><input checked="" type="checkbox"/> Map Amendment <input checked="" type="checkbox"/> Annexation/Establishmt. Of Zoning <input type="checkbox"/> Sector Plan <input type="checkbox"/> Text Amendment <input type="checkbox"/> Special Exception</p> <p>SUBDIVISION</p> <p><input type="checkbox"/> DRB Major & Minor <input type="checkbox"/> Variance (Non-Zoning) <input type="checkbox"/> Vacation (Public & Private)</p>	<p>Supplemental form Z</p> <p>E</p> <p>S</p> <p>V</p>	<p>SITE DEVELOPMENT PLAN</p> <p><input checked="" type="checkbox"/> for subdivision purposes <input type="checkbox"/> for Building Permit <input type="checkbox"/> Plan Amendment <input type="checkbox"/> Administrative Amendment</p> <p>APPEAL</p> <p><input type="checkbox"/> Planning Director, Zoning <input type="checkbox"/> Enforcement Officer, Zoning <input type="checkbox"/> Hearing Examiner, DRB, EPC, <input type="checkbox"/> Zoning Board of Appeals, LUCC</p>	<p>Supplemental form P</p> <p>A</p>
---	---	--	---

PRINT OR TYPE IN BLACK INK ONLY. The completed application must be submitted in person to the Planning Department by the applicant or agent. Fees are required at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: SUSAN MIRABAL PHONE: 268-6172
 ADDRESS: 1716 WHITE CLOUD NE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87112 E-MAIL: _____

Proprietary interest in site: _____

AGENT (if any): THANH NGUYEN PHONE: 293-2094
 ADDRESS: 1716 WHITE CLOUD NE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87112 E-MAIL: _____

SITE INFORMATION:

Request Description: REQUEST FOR A CHANGE OF ZONE FROM R-T TO SU FOR TWO (2) LOTS 17 AND 18 ON RHODE ISLAND SE

Current Zoning: R-T Proposed Zoning: SU-1^{CHURCH} Zone Atlas Page: L-19
 Lot or Tract No. 17 & 18 Block / MRGCD Map No. 8
 Subdiv. / Addn. CASAS SERENAS
 UPC No. LOT 17 = 101905629843211107 Total area of site (acres): 0.3054
 Number of Lots Existing: 2 Number Proposed: 2; LOT 18 = 101905629843611108
 Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.)

LOCATION OF PROPERTY BY STREETS: On or Near: 419 RHODE ISLAND SE

Between: BELL and TRUMBULL

SIGNATURE

Thanh Van Nguyen Date 5/1/2000
 (Print) THANH VAN NGUYEN Applicant Agent

SUPPLEMENT INFORMATION

- (A). List Cross Reference to Environmental Planning Commission Case (Z-) if applicable: _____
- (B). List Cross Reference to Development Review Board Cases (DRB-) if applicable: _____
- (C). List any Variance Granted (ZA-) if applicable Case No.: _____ City _____ County _____

Form	Case #'s	Fees	Hearing Date	Post Hearing Status
	<u>00110 - 00000 - 00604</u>	<u>\$ 170.00</u>	<u>7-20-00</u>	_____
	<u>00128 - 00000 - 00869</u>	<u>\$ 270.00</u>	_____	_____
	<u>00136 - 00000 - 01062</u>	\$ _____	_____	_____
	_____	\$ _____	_____	_____
	_____	\$ _____	_____	_____

Total fees \$ 170.00

Application and fees accepted by, Sam Outstanding 4/26/2000

JM Date: 5/4/00

FORM Z: ZONING

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW APPLICATION FOR A ZONING ACTION. CHECK-OFF THE SECTION BELOW CORRESPONDING TO THE ACTION YOU REQUEST. A PRE-APPLICATION DISCUSSION WITH A PLANNER FROM DEVELOPMENT SERVICES IS RECOMMENDED.

MAP AMENDMENT. You must submit for,

Annexation / Establishment of Zoning

AX# _____ - _____ - _____

Zone Change (Map Amendment)

Z# _____ - _____ - _____

Property owner's signature on application or written permission

Written explanation of reasons for amendment

Zone Atlas page showing the property clearly marked

If an annexation, submit a survey of the property to be annexed and a sketch of any current uses.

If a Site Development Plan is also being submitted for approval, attach Form-P to submittal package.

Traffic Impact Study (TIS) / Air Quality Form

Neighborhood notification

Sign Posting Agreement

Fee (see schedule)

YOUR CASE REQUIRES AN EPC PUBLIC HEARING. HEARINGS ARE APPROXIMATELY SEVEN WEEKS AFTER THE FILING DEADLINE. YOUR ATTENDANCE IS REQUIRED.

SECTOR PLAN. You must submit for,

SD# _____ - _____ - _____

Phase I-Conceptual Plan Review Phase II-Final Review & Approval Phase II-Final DRB Sign-off

Adoption Amendment

See Map Amendment requirements and consult Planning Dept. Staff

Fee for final review and approval only (see schedule)

PHASE I -CONCEPTUAL PLAN REVIEW requires a DRB meeting and an EPC public hearing.

YOUR ATTENDANCE IS REQUIRED.

PHASE II -FINAL REVIEW & APPROVAL Requires a DRB public hearing, an EPC public hearing, and in some cases, City Council approval. **YOUR ATTENDANCE IS REQUIRED.**

PHASE II -FINAL DRB SIGN-OFF requires a DRB meeting. Your attendance is recommended.

ZONE CODE TEXT AMENDMENT. You must submit for,

TA# _____ - _____ - _____

30 copies of the amendment. Include title and enactment number of the document to be amended.

Fee (see schedule)

YOUR CASE REQUIRES AN EPC PUBLIC HEARING. HEARINGS ARE APPROXIMATELY SEVEN WEEKS AFTER THE FILING DEADLINE. YOUR ATTENDANCE IS REQUIRED.

SPECIAL PROJECTS REVIEW.

SPR# _____ - _____ - _____

Consult with a City planner for the requirements specific to your project.

All original and related case numbers must be listed here! (DRB, Zone Change, Variance, Etc.)

All necessary information has been submitted and checked at the time of application

(Sign) FOR Kenneth T. Nguyen

(Print) FOR THANH VAN NGUYEN 5-4-00

Applicant or Agent / Date

JM 5/4/00
Planner / Date

Project 1000501 Appl # 00110-00000-00604

Rev. 01/29/98

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Since development proposals vary in type and scale, there may be application requirements that are not included here. Nonetheless, it is the applicant's responsibility to provide a complete submittal. Incomplete submittals will be rejected. Site development plans submitted will ordinarily be composed of the following plan sheets:

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading Plan
4. Building and Structure Elevations

Submitted plans shall be organized in the above manner. The following checklist describes the minimum information necessary for element. The Applicant shall check off all items shown on the site plan or label as NA, if not applicable.

Accompanying Material - Fee payment

- A. Complete application with summary.
- B. 8 1/2" x 11" reductions

SHEET #1 - SITE PLAN

A. General Information

- 1. Scale
 - Under 1.0 acre 1" = 10'
 - 1.0 - 5.0 acres 1" = 20'
 - Over 5 acres 1" = 50'
 - Over 20 acres 1" = 100'
 - Other scales as approved by staff
- 2. Bar Scale
- 3. North Arrow
- 4. Scaled Vicinity Map
- 5. Existing structures on site and on sites adjacent to the proposal that may impact, or may be impacted by the project.
- 6. Property lines
- 7. Existing and proposed easements (identify each)

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures on the property and on adjacent properties, including privacy and retaining walls (distinguish between proposed and existing structures).
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Wall(s), fence(s), and screening: height, length, color and materials. Show cross-sections for retaining walls.

- N/A F. Dimensions of all principal site elements
- N/A G. Loading facilities
- N/A H. Site lighting (height, type, and intensity)

2. Non-Structural and Parking

- N/A A. Parking design with spaces numbered per aisle.
 - N/A 1. Location
 - NP 2. Arrangements
 - NA 3. Dimensions and curve radii
 - NA 4. Turning spaces
 - NA 5. Drives
 - NA 6. Aisles
 - NA 7. Ingress
 - NA 8. Egress
 - NA 9. Number of spaces required: _____
 - NA 10. Handicapped parking, spaces required: _____
- NP B. Bicycle racks, spaces required: _____
- NP C. Elevation drawing of refuse container and enclosure, if applicable.

C. Street and Circulation

- NA 1. Identification and location of public and private streets and alleys with proper name, existing and proposed width dimensions.
- NA 2. Curve radii
- NA 3. Right-of-Way width
- NA 4. Pavement width (flow line to flow line) including medians and median cuts.
- NP 5. Sidewalk widths and locations, existing and proposed.
- NP 6. Rail spurs, if applicable
- NP 7. Location of traffic signs and signals related to the functioning of the proposal.
- NP 8. Bikeways
- NP 9. Bus facilities, including bays and shelters where required.
- NA 10. Curb cut size and type.
- NP 11. Provisions for non-auto transportation, including transit and bicycle related improvements and pedestrian linkage.

D. Utilities

- NA 1. Fire hydrant locations, existing and proposed.
- NA 2. Distribution lines
- NA 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- NP 4. Existing water, sewer, storm drainage facilities (public and/or private).
- NP 5. Proposed water, sewer, storm drainage facilities (public and/or private)

E. Phasing

- NA 1. Proposed phasing of improvements and provision for interim facilities. Information on future phasing should be included. If applicable, indicate location and square footage.

SHEET #2 - LANDSCAPING PLAN

If appropriate, landscaping maybe shown on sheet #1 with the approval of Planning staff. See article 6-1-1et.al.; the Water Conservation Landscaping and Water Waste Ordinance for specific restrictions, regulations, standards, and requirements

- NA 1. Scale - must be same as scale on sheet #1 - Site plan
- NA 2. Bar Scale
- NA 3. North Arrow
- NA 4. Property Lines
- NA 5. Existing and proposed easements
- NA 6. Identify nature of ground cover materials
 - A. Impervious areas (pavements, sidewalks, slope pavings, curb, and gutters, etc.).
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.).
 - C. Ponding areas either for drainage or landscaping/recreational use.
- 7. Identify nature, location and size of shrubbery and trees (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- N/A 8. Irrigation System
- 9. Planting Beds
- N/A 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- NA 11. Responsibility for maintenance (Statement)
- NA 12. Statement of Water Waste, etc.
- NA 13. Landscaped area requirement; square footage and percent: _____
- NA 14. Landscaped area provided; square footage and percent: _____

SHEET #3 - GRADING PLAN

A. General Information

- NA 1. Scale - must be same as Sheet #1 - Site Plan
- NA 2. Bar Scale
- NA 3. North Arrow
- NA 4. Existing topography and structural improvements within at least 25 feet beyond property boundaries (more may be required).
- NA 5. Property Lines
- NA 6. Existing and proposed easements
- NA 7. Proposed contours and/or spot elevations
- NA 8. Retaining walls

B. Proposal

- 1. Grading submittals, ponding areas, erosion and sediment control facilities:
 - A. Conceptual grading and drainage plan
 - B. Drainage plan (maybe required for other submittals)
 - C. Drainage Report (maybe required for other submittals)

- NA A. **Cross Sections**
Provide cross section for all perimeter property lines at the point of the greatest grade change: Where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the reference point.
- NA B. **Spot Elevation**
Provide spot elevations existing and proposed within 20 feet of both sides of the property line, not to exceed intervals of 100 feet.
- NA C. **Grade Changes**
Identify grade change on the site greater than 2 feet with shading or a single cross-hatch. Identify grade changes greater than 4 feet with darker shading or a double cross-hatch.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- NA 1. **Scale** (minimum of 1/8" or as approved by Planning Staff).
- NA 2. **Bar Scale**
- NA 3. **Facade orientation** (elevation of all sides of the buildings)
- NA 4. **Dimensions, to scale** including overall height and width, and dimensions of major facade elements.
- NA 5. **Location, material and colors** of windows, doors and framing.
- NA 6. **Materials and colors** of all building elements and structures.

B. Signage

- NA 1. **Elevations**
- NA 2. **Location**
- NA 3. **Height and width**
- NA 4. **Sign face area - dimensions and square footage**
- NA 5. **Lighting**
- NA 6. **Materials and Colors** for sign face and structural elements.

C. Additional information, including, renderings and perspective drawings may be submitted.

- NA A. **Samples**
 - NA 1 **Presentation Models**
 - NA 2. **Photos**

May 1, 2000

Zoning Department
City of Albuquerque

Gentlemen:

We have asked the city for a zoning change for lots 17 & 18 block 8, Casas Serenas Addition. At the present time, these lots are zoned R-T with a single family dwelling located on lot 18. The zone change that we have requested is for a small church (Sunday Dharma class for children). We feel that this zone change would benefit the neighborhood for the following reasons:

1. The present building is suitable for Sunday Dharma school of approximately 15 children, so a larger structure will not be necessary.
2. The vacant lot adjacent to the building is suitable all needed playground if necessary.
3. The church (Sunday Dharma school) would have services on Sunday and would not be generally in use for the rest of the time.
4. A church (Sunday Dharma school) would certainly not add to the crime rate in the area, but would be quiet, attractive addition.
5. The added landscaping that would be planted on the lots would make an even more attractive property than the already nice landscaping that is presently on the property.
6. Our church has been in the neighborhood for the last 14 years without any incidents or complaints and we have contributed an attractive street side appearance for the neighborhood.
7. There is no traffic on Rhode Island street because we will fence around the lots and use our present entrance on the Pennsylvania street. Very minor alteration consisting of the removal of a fence between the two properties (Please see the map).
8. An apartment building on these lots would bring a higher density of continuous traffic, on the street parking problems and perhaps more air pollution with the addition of more constant traffic.
9. There is not an overabundance of churches in the area and we fell that in this particular area, a small church would be a pleasant addition to the neighborhood.
10. This particular neighborhood has various kinds of properties such as the Trumbull recreation center which is across the street from our church. A park is adjacent to the left and an apartment is adjacent to the right of the recreation center. And the rest of the block has townhouses, apartments, and a single family dwelling.

All the reasons above, we hope that you will approve this change not just because we ask for it but also for the benefit that we could add to the neighborhood and our children.

Sincerely



Thanh Nguyen,
Agent

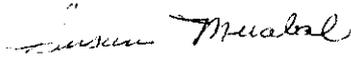
Zoning Department
City of Albuquerque

May 1, 2000

Gentlemen,

I, Susan Mirabal, owner of the property located at 419 Rhode Island SE, legal description, lots 17 and 18, block 8 in Casa Serenas Addition, give authorization to my agent, Mr. Thanh Nguyen, Secretary of the New Mexico Buddhist Association, to request for a change of zone from R-T to SU-1 for a small church (Sunday Bible School for children).

Sincerely

A handwritten signature in cursive script that reads "Susan Mirabal". The signature is written in dark ink and is positioned above the printed name.

Susan Mirabal

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: KILHOA NGUYEN FOR Date of request: 5/2/00 Zone atlas page(s): _____

CURRENT: THANH VAN NGUYEN Legal Description -
Zoning R-T to SU-1 for Church Lot or Tract # 17 & 18 Block # 8

Parcel Size (acres / sq.ft.) .3 Subdivision Name CASAS SERENAS ADDN

REQUESTED CITY ACTION(S):

- | | | | | | | |
|------------|-----|-----------------|-------|------------------------|-----------------|-----|
| Annexation | [] | Sector Plan | [] | Site Development Plan: | Building Permit | [] |
| Comp. Plan | [] | Zone Change | [X] | a) Subdivision | Access Permit | [] |
| Amendment | [] | Conditional Use | [] | b) Build'g Purposes | Other | [] |
| | | | | c) Amendment | | [] |

PROPOSED DEVELOPMENT:

GENERAL DESCRIPTION OF ACTION: 1

- | | | | |
|-----------------------------------|-------|-----------------|-----------------|
| No construction / development | [X] | # of units - | _____ |
| New Construction | [] | Building Size - | _____ (sq. ft.) |
| Expansion of existing development | [] | | |

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative Kendra Neer Date 5.2.00
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []
PWD, Dev. & Bldg. Services Div., Transportation Dev. Section - 2nd FL. 600 2nd St. NW Plaza del Sol Bldg. 924-3991 or 3994

THRESHOLDS MET? YES [] NO [X] Mitigating reasons for not requiring TIS: Previously studied: []

Notes:
Special Use request for Church Use.

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Joseph D. Montano 5/2/2000
for TRAFFIC ENGINEER DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES [] NO [X] BORDERLINE []

ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 768-2600

THRESHOLDS MET? YES [] NO [X] Mitigating reasons for not requiring AQIA: Previously studied: []

Notes:
IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

[Signature] 5/3/00
ENVIRONMENTAL HEALTH DATE

Required TIS and / or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS	- SUBMITTED	___/___/___	_____	_____
	- FINALIZED	___/___/___	TRAFFIC ENGINEER	DATE
AQIA	- SUBMITTED	___/___/___	_____	_____
	- FINALIZED	___/___/___	ENVIRONMENTAL HEALTH	DATE

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Since development proposals vary in type and scale, there may be application requirements that are not included here. Nonetheless, it is the applicant's responsibility to provide a complete submittal. Incomplete submittals will be rejected. Site development plans submitted will ordinarily be composed of the following plan sheets:

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading Plan
4. Building and Structure Elevations

Submitted plans shall be organized in the above manner. The following checklist describes the minimum information necessary for element. The Applicant shall check off all items shown on the site plan or label as NA, if not applicable.

Accompanying Material - Fee payment

- A. Complete application with summary.
- B. 8 1/2" x 11" reductions

SHEET #1 - SITE PLAN

A. General Information

- 1. Scale
 - Under 1.0 acre 1" = 10'
 - 1.0 - 5.0 acres 1" = 20'
 - Over 5 acres 1" = 50'
 - Over 20 acres 1" = 100'
 - Other scales as approved by staff
- 2. Bar Scale
- 3. North Arrow
- 4. Scaled Vicinity Map
- 5. Existing structures on site and on sites adjacent to the proposal that may impact, or may be impacted by the project.
- 6. Property lines
- 7. Existing and proposed easements (identify each)

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures on the property and on adjacent properties, including privacy and retaining walls (distinguish between proposed and existing structures).
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Wall(s), fence(s), and screening: height, length, color and materials. Show cross-sections for retaining walls.

- F. *Dimensions of all principal site elements*
- G. *Loading facilities*
- H. *Site lighting (height, type, and intensity)*

2. Non-Structural and Parking

- A. *Parking design with spaces numbered per aisle.*
 - 1. *Location*
 - 2. *Arrangements*
 - 3. *Dimensions and curve radii*
 - 4. *Turning spaces*
 - 5. *Drives*
 - 6. *Aisles*
 - 7. *Ingress*
 - 8. *Egress*
 - 9. *Number of spaces required: _____*
 - 10. *Handicapped parking, spaces required: _____*
- B. *Bicycle racks, spaces required: _____*
- C. *Elevation drawing of refuse container and enclosure, if applicable.*

C. Street and Circulation

- 1. *Identification and location of public and private streets and alleys with proper name, existing and proposed width dimensions.*
- 2. *Curve radii*
- 3. *Right-of-Way width*
- 4. *Pavement width (flow line to flow line) including medians and median cuts.*
- 5. *Sidewalk widths and locations, existing and proposed.*
- 6. *Rail spurs, if applicable*
- 7. *Location of traffic signs and signals related to the functioning of the proposal.*
- 8. *Bikeways*
- 9. *Bus facilities, including bays and shelters where required.*
- 10. *Curb cut size and type.*
- 11. *Provisions for non-auto transportation, including transit and bicycle related improvements and pedestrian linkage.*

D. Utilities

- 1. *Fire hydrant locations, existing and proposed.*
- 2. *Distribution lines*
- 3. *Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.*
- 4. *Existing water, sewer, storm drainage facilities (public and/or private).*
- 5. *Proposed water, sewer, storm drainage facilities (public and/or private)*

E. Phasing

- 1. *Proposed phasing of improvements and provision for interim facilities. Information on future phasing should be included. If applicable, indicate location and square footage.*

SHEET #2 - LANDSCAPING PLAN

If appropriate, landscaping maybe shown on sheet #1 with the approval of Planning staff. See article 6-1-1-1et.al.; the Water Conservation Landscaping and Water Waste Ordinance for specific restrictions, regulations, standards, and requirements

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavements, sidewalks, slope pavings, curb, and gutters, etc.).
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.).
 - C. Ponding areas either for drainage or landscaping/recreational use.
- 7. Identify nature, location and size of shrubbery and trees (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Irrigation System
- 9. Planting Beds
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for maintenance (Statement)
- 12. Statement of Water Waste, etc.
- 13. Landscaped area requirement; square footage and percent: _____
- 14. Landscaped area provided; square footage and percent: _____

SHEET #3 - GRADING PLAN

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Existing topography and structural improvements within at least 25 feet beyond property boundaries (more may be required).
- 5. Property Lines
- 6. Existing and proposed easements
- 7. Proposed contours and/or spot elevations
- 8. Retaining walls

B. Proposal

- 1. Grading submittals, ponding areas, erosion and sediment control facilities:
 - A. Conceptual grading and drainage plan
 - B. Drainage plan (maybe required for other submittals)
 - C. Drainage Report (maybe required for other submittals)

- A. Cross Sections**
Provide cross section for all perimeter property lines at the point of the greatest grade change: Where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the reference point.
- B. Spot Elevation**
Provide spot elevations existing and proposed within 20 feet of both sides of the property line, not to exceed intervals of 100 feet.
- C. Grade Changes**
Identify grade change on the site greater than 2 feet with shading or a single cross-hatch. Identify grade changes greater than 4 feet with darker shading or a double cross-hatch.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- 1. Scale (minimum of 1/8" or as approved by Planning Staff).
- 2. Bar Scale
- 3. Facade orientation (elevation of all sides of the buildings)
- 4. Dimensions, to scale including overall height and width, and dimensions of major facade elements.
- 5. Location, material and colors of windows, doors and framing.
- 6. Materials and colors of all building elements and structures.

B. Signage

- 1. Elevations
- 2. Location
- 3. Height and width
- 4. Sign face area - dimensions and square footage
- 5. Lighting
- 6. Materials and Colors for sign face and structural elements.

C. Additional information, including, renderings and perspective drawings may be submitted.

- A. Samples**
 - 1. Presentation Models
 - 2. Photos

The NM Vietnamese Buddhist Association
420 Pennsylvania S.E.
Albuquerque, NM 87108
May 2, 2000

Trumbull Village Association
Dan Serrano
533 Virginia S.E.
Albuquerque, NM 87108

Dear Mr. Dan Serrano,

We, the New Mexico Vietnamese Buddhist Association, have asked the city of Albuquerque for a zoning change for lots 17 and 18 block 8, Casas Serenas Addition. At the present time, these lots are zoned R-T with a single family dwelling located on lot 18, 419 Rhode Island, S.E., Albuquerque. The zone change that we have requested is for a small church (Sunday Dharma class for children). We feel this zone change would benefit the neighborhood for the following reasons:

A church (Sunday Dharma school) would be a quiet and attractive addition to the neighborhood. Our present church has resided in its location for 14 years without any incidents or complaints. It has also become an excellent site-seeing location in the neighborhood. There will be no traffic and street parking problems on Rhode Island street because there will be fencing around the lots and we will pick up our children and drop them off at our present entrance on Pennsylvania street.

For these reasons, we hope that you will approve this change not just because we ask for it but also for the benefit that we could add to the neighborhood and our children.

Sincerely



Thanh Nguyen,
Secretary of the NM Vietnamese Buddhist Association

cc: Zoning Department
City of Albuquerque

The NM Vietnamese Buddhist Association
420 Pennsylvania S.E.
Albuquerque, NM 87108
May 2, 2000

Trumbull Village Association
Alvorn Clifton
508 Rhode Island S.E.
Albuquerque, NM 87108

Dear Alvorn Clifton,

We, the New Mexico Vietnamese Buddhist Association, have asked the city of Albuquerque for a zoning change for lots 17 and 18 block 8, Casas Serenas Addition. At the present time, these lots are zoned R-T with a single family dwelling located on lot 18, 419 Rhode Island S.E., Albuquerque. The zone change that we have requested is for a small church (Sunday Dharma class for children). We feel this zone change would benefit the neighborhood for the following reasons:

A church (Sunday Dharma school) would be a quiet and attractive addition to the neighborhood. Our present church has resided in its location for 14 years without any incidents or complaints. It has also become an excellent site-seeing location in the neighborhood. There will be no traffic and street parking problems on Rhode Island street because there will be fencing around the lots and we will pick up our children and drop them off at our present entrance on Pennsylvania street.

For these reasons, we hope that you will approve this change not just because we ask for it but also for the benefit that we could add to the neighborhood and our children.

Sincerely



Thanh Nguyen,
Secretary of the NM Vietnamese Buddhist Association

cc: Zoning Department
City of Albuquerque



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: May 2, 2000

TO CONTACT NAME: Thanh Van Nguyen 293-2094

COMPANY/AGENCY: —

ADDRESS/ZIP/PHONE: 1716 White Cloud NE / 87112

Thank you for inquiry of 5-2-00 (date) requesting the names of the Recognized

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at lots 17+18, Block 8, Casas Serenas Addition

zone map page(s): L-19

Our records indicate that the Recognized Neighborhood Associations affected by this proposal and their contact names, addresses and phone numbers are as follows:

Drumhull Village Assoc.
 Neighborhood Association
 Contacts: Alvorn Clifton
508 Rhode Island SE / 87108
255-0360 (w)
Dan Serrano
533 Virginia SE / 87108
232-2310 (w) 232-2411 (fax)

Neighborhood Association
 Contacts: _____

See reverse side for additional Neighborhood Association Information: Yes [] No

Please note that according to O-92 you are required to notify each of the contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR THIRTY (30) DAYS.**

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at (505) 924-3913.

Dalaina S. Carmoua
OFFICE OF COMMUNITY/NEIGHBORHOOD COORDINATION

Additional Neighborhood Association Information

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Neighborhood Association

Contacts: _____

Z 188 585 784

US Postal Service

Receipt for Certified Mail

No Insurance Coverage Provided.

Do not use for International Mail (See reverse)

Sent to	
DAN SERRANO	
Street & Number	
533 VIRGINIA SE	
Post Office, State, & ZIP Code	
ALB, ALBUQUERQUE, NM 87108	
Postage	\$ 0.33
Certified Fee	1.40
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to Whom & Date Delivered	1.25
Return Receipt Showing to Whom, Date, & Addressee's Address	
TOTAL Postage & Fees	\$ 2.98
Postmark or Date	UNIT ID: 0116 Clerk: KMD09D 05/03/00

PS Form 3800, April 1995

Z 188 585 783

US Postal Service

Receipt for Certified Mail

No Insurance Coverage Provided.

Do not use for International Mail (See reverse)

Sent to	
ALWORN CLIFTON	
Street & Number	
508 RHODE ISLAND SE	
Post Office, State, & ZIP Code	
ALB, ALBUQUERQUE, NM 87108	
Postage	\$ 0.33
Certified Fee	1.40
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to Whom & Date Delivered	1.25
Return Receipt Showing to Whom, Date, & Addressee's Address	
TOTAL Postage & Fees	\$ 2.98
Postmark or Date	UNIT ID: 0116 Clerk: KMD09D 05/03/00

PS Form 3800, April 1995

PLANNING
DEPARTMENT
PLANNING DIV.

June 2

~~MAY 33~~ 12 44 PM '00

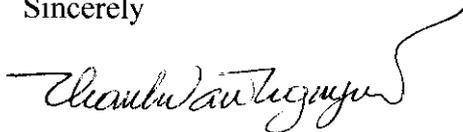
New Mexico Vietnamese Buddhist Association
c/o Thanh Van Nguyen
1716 White Cloud NE
Albuquerque, NM 87112
May 31, 2000

To:
Mr. Chuck Gara, Chairman
Environmental Planning Commission
Development Services Division
P.O. Box 1293
Albuquerque, NM 87103

Dear sir,

We request that our case No: 00110 - 00000 - 00604, at 419 Rhode Island, SE be deferred from July 20th, 2000 hearing to the August 17th, 2000 hearing. This will allow time for us to complete the required site plan.

Sincerely



Thanh Van Nguyen

PLANNING
DEPARTMENT
PLANNING DIV.

To: City of Albuquerque, Planning Dept.
Mr. Torres

June 2

~~MAY 31~~ 12 44 PM '00

June 1, 2000

Mr. Torres,

I Susan Mirabal, seller of said property, have agreed to support the NM Vietnamese Buddhist Association get a zone change from R1 to SU1 for the property located at 419 Rhode Island SE, Albuquerque, NM 87108, legal description Lot 17 & 18 Block 8 of Casas Serenas Addition.

Thank You,



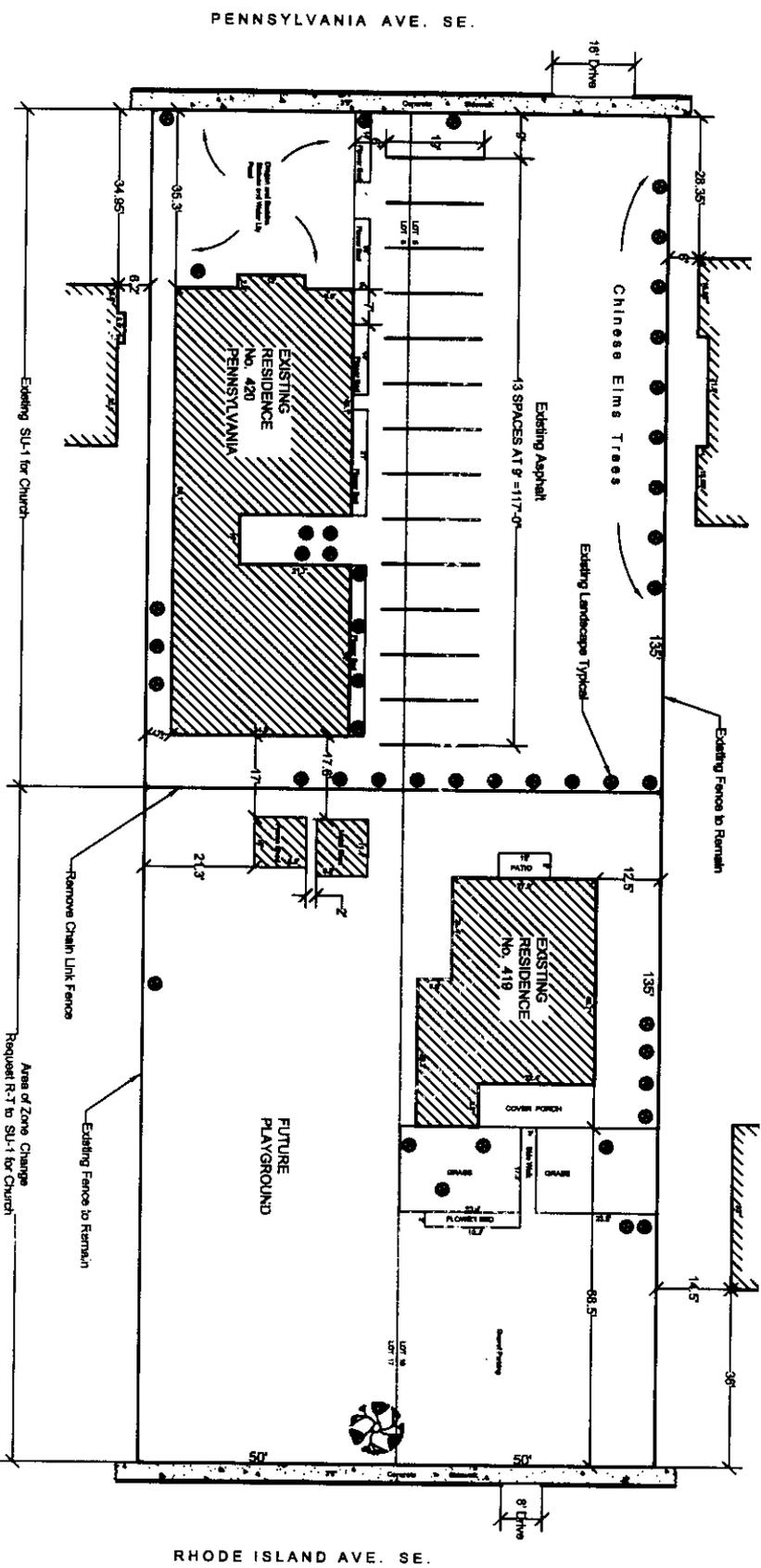
Susan Mirabal

Case # 00110-00000-00604

Hand Van Nguyen

SITE PLAN FOR SUBDIVISION

Note: This site plan shows existing conditions.
No changes are intended except as noted.



Note:

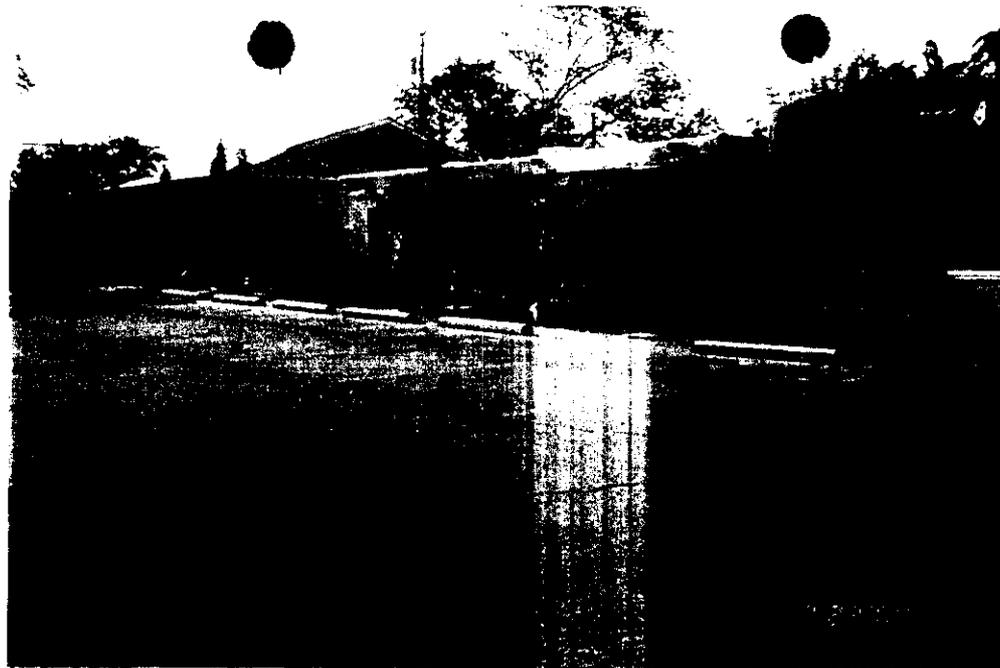
- 1. ● : 8' diameter tree.
- 2. ○ : 32' diameter tree.

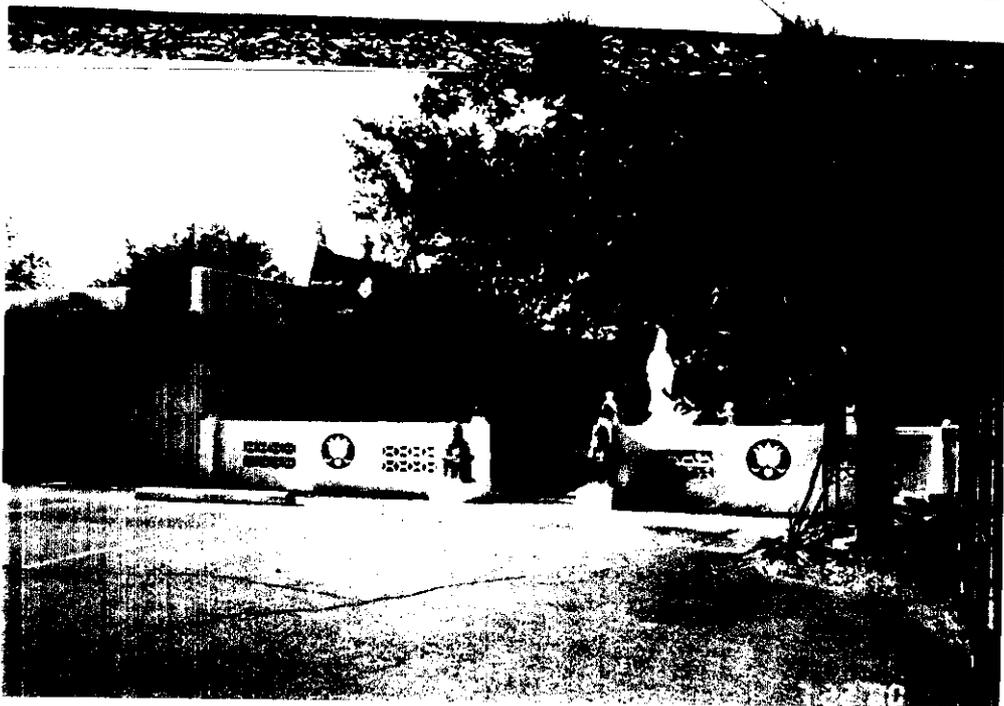
Scale: 1" = 10'

EPC August 17, 2000
Case # D0110-00000-00604
Site Plan for Subdivision Zone
Map Amendment
Applicant: Thanh Van Nguyen
1716 White Cloud NE,
Albuquerque, NM 87112
Tel: (505) 283-2094









PLANNING
DEPARTMENT
PLANNING DIV.

To : City of Albuquerque, Planning Dept.
Mr. Torres

June 2

June 1, 2000

~~MAY 31~~ 12 44 PM '00

Mr. Torres,

I Susan Mirabal, seller of said property, have agreed to support the NM Vietnamese Buddhist Association get a zone change from R1 to SU1 for the property located at 419 Rhode Island SE, Albuquerque, NM 87108, legal description Lot 17 & 18 Block 8 of Casas Serenas Addition.

Thank You,



Susan Mirabal

Case # 00110-00000-00604

PLANNING
DEPARTMENT
PLANNING DIV.

June 2

~~MAY 33~~ 12 44 PM '00

New Mexico Vietnamese Buddhist Association
c/o Thanh Van Nguyen
1716 White Cloud NE
Albuquerque, NM 87112
May 31, 2000

To:

Mr. Chuck Gara, Chairman
Environmental Planning Commission
Development Services Division
P.O. Box 1293
Albuquerque, NM 87103

00110 - 00000 - 00604

Dear sir,

We request that our case No: 00110 - 00000 - 00604, at 419 Rhode Island, SE be deferred from July 20th, 2000 hearing to the August 17th, 2000 hearing. This will allow time for us to complete the required site plan.

Sincerely



Thanh Van Nguyen



TRUMBULL VILLAGE ASSOCIATION

508 RHODE ISLAND SE
ALBUQUERQUE, NM 87108

Robert McCabe, AIA, APA
Planning Director
City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, NM 87103

RECEIVED

AUG 30 2000

August 29, 2000

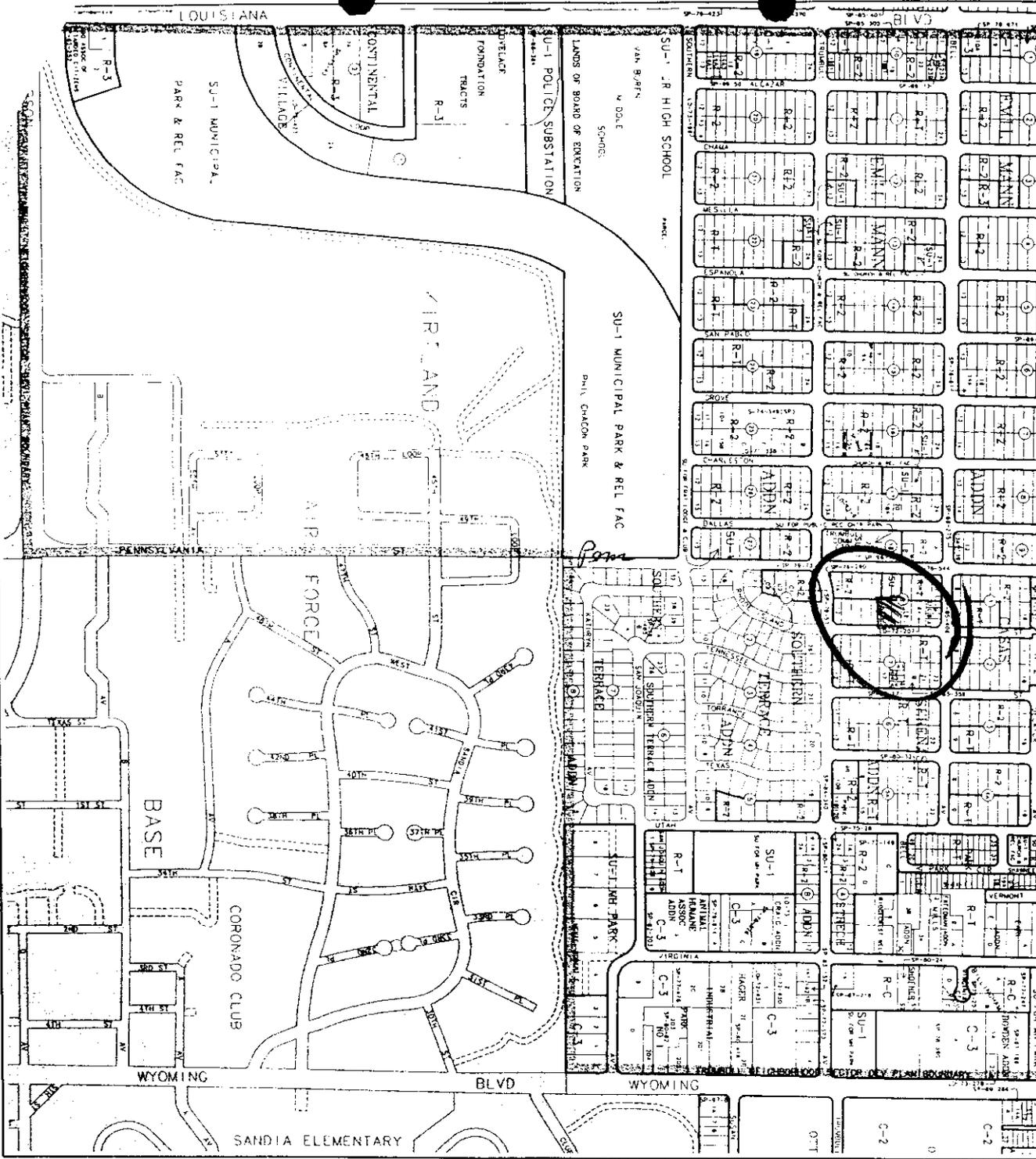
RE: File: 00110 00000 00604/00128 0000001003/00138 00000 01067
Legal Description: for Lots 17 & 18, Block 8, Casas Serenas, located at 419 Rhode Island SE,
between Bell Street SE and Trumbull Street SE, containing approximately 0.3054 acres (L19)
Debbie Stover, Staff Planner

Dear Mr. McCabe,

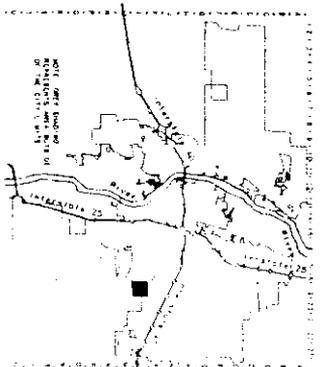
As the Vice President and on behalf of the Trumbull Village association, I would like to support the proposed Zone Map Amendment from R-T to SU-1 for a Church, amendment to the Trumbull Sector Development Plan and Approval of a Site Development Plan for Subdivision for Lots 5 & 6, 17 & 18, Block 8, Casas Serenas, located at 419 Rhode Island SE, and Trumbull Street SE, containing approximately 0.3054 acres. We feel that this is a most appropriate use of the land and will help raise the quality of life for the residents of the Trumbull Village area.

Sincerely,

Walt Lang, Vice President
Trumbull Village Association



CITY OF Albuquerque
 Planning Department
 Copyright 1999



Zone Atlas Page L-19-Z

Map Amended through September 21, 1999

DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Community and Neighborhood Coordination (OCNC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – 924-3913 - will need the following information **BEFORE** neighborhood association information will be released to the applicant/developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at 924-3914.

CONTACT NAME: THANH VAN NGUYEN
COMPANY NAME: SELF
ADDRESS: 1716 WHITE CLOUD NE
ZIP: 87112
PHONE: 293-2094
FAX: _____

NEIGHBORHOOD ASSOCIATION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN

THE AREA OF THE PROPERTY DESCRIBED AS LOTS OF 17 & 18
BLOCK #8 - CASAS SERENAS ADDITION
LEGAL DESCRIPTION

LOCATED ON 419 RHODE ISLAND SE
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN PENNSYLVANIA AND
STREET NAME OR OTHER IDENTIFYING LANDMARK
WYOMING
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (L-19).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
LAND DEVELOPMENT COORDINATION DIVISION
PAID RECEIPT

APPLICANT NAME: Susan Mirabal

AGENT: Thanh Van Nguyen / Kimhoa Nguyen

ADDRESS: 1716 White Cloud NE Abq NM 87112
(w/zip code)

CASE NUMBER: Project # 1000501 App # 00110-00000-00604

AMOUNT DUE: \$ 170.00

441006/4921000 (City Cases)

THANH VAN NGUYEN KIMHOA NGUYEN 1716 WHITE CLOUD NE ALBUQUERQUE, NM 87112		95-7005/3070 1107610920	1134
PAY TO THE ORDER OF <u>City of Alb.</u>		DATE <u>5-8-00</u>	
<u>One hundred seventy and 00/100</u>		<u>\$ 170.00</u>	
MEMO <u>zone change</u>		<u>Keith T. Nguyen</u>	
KIRTLAND FEDERAL CREDIT UNION P. O. BOX 80570 ALBUQUERQUE, NM 87198			
⑆307070050⑆		⑆107610920⑆	⑆1134⑆

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 7-5-00 to 7-20-00

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for 15 days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

For Kevin T. Meyer 5-4-00
(Applicant or Agent) (Date)

I issued 1 signs for this application, 5/4/00 (Date) [Signature] (Staff Member)

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION
P.O. BOX 1293, Albuquerque, NM 87103

Luis Galarza
P.O. Box 40141
Albuquerque, NM 87196-0387

Date: September 23, 1987

CERTIFICATION OF ZONING

File: SD-80-6-3/Z-87-116

DATE OF FINAL ACTION: 9/17/87

Location: Thanh Nguyen,
agent for Luis Galarza,
requests an amendment to the
Trumbull Sector Development
Plan and a zone map amendment
for Lots 5 and 6, Block 8 in
Casas Serenas Addition
presently zoned R-2 and
proposed to be zoned as SU-1
for a Church located at 420
Pennsylvania Street SE
between Bell Street and
Trumbull Street SE containing
approximately .31 acres.
(L-19)

The Environmental Planning Commission ruled favorably on your request to amend the zone map as it applies to the above-cited property.

THE POSSIBLE APPEAL PERIOD HAVING EXPIRED, THE ZONING ON THE ABOVE CITED PROPERTY IS NOW CHANGED AS FOLLOWS:

Amendment to the Trumbull Sector Development Plan and a change of zone from R-2 to SU-1 for a church

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of this case does not constitute approval of plans for a building permit. You should take two copies of your plans to the Building & Inspection Division of the City to initiate a building permit.

Sincerely,

Richard Dineen
For Phil Garcia
City Planner

cc: Graphics
Zoning
IMS/Work Study

Z-CERTIFICATION