

AA

APPLICATION NO. <u>08AA-10071</u>	PROJECT NO. <u>1000493</u>
PROJECT NAME <u>COTTONWOOD TRAILS</u>	
EPC APPLICATION NO.	
APPLICANT / AGENT <u>STEVEN TESKE</u>	PHONE NO. <u>898-0464</u>
ZONE ATLAS PAGE <u>D-13</u>	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), <u>(AA)</u>	
ONE STOP COMMENT FORM LOG	

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <u>CC</u>	DATE <u>4-23-08</u>	DATE
COMMENTS:		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <u>[Signature]</u>	DATE <u>4/22/08</u>	DATE
COMMENTS:		

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <u>NSF</u>	DATE <u>4/22/08</u>	DATE
COMMENTS:		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

PLANNING (505) 924-3858		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <u>RSS</u>	DATE <u>13 May '08</u>	DATE
COMMENTS:		
<u>Shade Structure. RSS</u>		

Revised 3/3/04

(Return form with plat / site plan)

AA

APPLICATION NO. <u>08AA-10071</u>	PROJECT NO. <u>1000493</u>
PROJECT NAME <u>COTTENWOOD TRAILS</u>	
EPC APPLICATION NO.	
APPLICANT / AGENT <u>STEVEN TESKE</u>	PHONE NO. <u>898-0464</u>
ZONE ATLAS PAGE <u>D-13</u>	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), <u>(AA)</u>	

ONE STOP COMMENT FORM LOG

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <u>CC</u>	DATE <u>7-23-08</u>	DATE
COMMENTS:		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <u>[Signature]</u>	DATE <u>4/22/08</u>	DATE
COMMENTS:		

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <u>NSF</u>	DATE <u>4/22/08</u>	DATE
COMMENTS:		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

PLANNING (505) 924-3858		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <u>233</u>	DATE <u>13 May '08</u>	DATE
COMMENTS:		
<u>Shade Structure p233</u>		

Revised 3/3/04

(Return form with plat / site plan)



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): CIROFF LUMBER/STEVE TESKE PHONE: 898-0464
 ADDRESS: 7902 4th ST NW FAX: 898-8422
 CITY: ALB STATE NM ZIP 87144 E-MAIL: _____

APPLICANT: REGINA ROBERTSON PHONE: _____
 ADDRESS: 6615 SANTA LINA TRL NW FAX: _____
 CITY: ALB STATE NM ZIP 87120 E-MAIL: _____
 Proprietary interest in site: HOMEOWNER List all owners: _____

DESCRIPTION OF REQUEST: ROUGH TIMBER SHADE STRUCTURE IN SU-1 FOR PRD

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 56 Block: 0000 Unit: _____
 Subdiv/Addn/TBKA: COTTON WOOD TRAILS
 Existing Zoning: SU-1 FOR PRD Proposed zoning: _____
 Zone Atlas page(s): D13 UPC Code: 101306310143120905 MRGCD Map No _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1000493 & 1000279

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: _____ Total area of site (acres): 0.230
 LOCATION OF PROPERTY BY STREETS: On or Near: ~~EAGLE RANCH RD~~ ~~SALT CEDAR TRL~~ 6615 SANTA LINA TRL NW
 Between: EAGLE RANCH RD NW and SALT CEDAR TRL NW
 Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 04.21.08
 (Print) STEVEN K. TESKE Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>CEAA 10071</u>	<u>ASBP</u>	<u>P(4)</u>	<u>\$ 45.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>N/A</u>			Total <u>\$ 45.00</u>

Zandy Handley 04/22/08 Project # 1000493
 Planner signature / date

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

- SITE DEVELOPMENT PLAN - BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE (AA01)**
 - Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
 - Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Solid Waste Management Department signature on Site Plan if relevant
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Copy of the LUCC approval if the site is in an historic overlay zone
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application

- AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (AA02)**
- AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION (AA03)**
- CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY (AA04)**

NOTE: The requirements specified below apply to the previous 3 plan types, unless otherwise noted.

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) 5 copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) 1 copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Notice of Decision (not required for WTF)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area

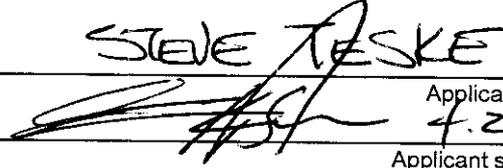
- Notifying letter & certified mail receipts addressed to owners of adjacent properties
- Office of Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

NOTE: Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in addition to all those listed above:

- Co-location evidence as described in Zoning Code §14-16-3-17(A)(5)
- Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
- Registered Engineer's stamp on the Site Development Plans
- Office of Community & Neighborhood Coordination inquiry response as above based on 1/4 mile radius

PLEASE NOTE: If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Debbie Stover at 924-3940 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.


 Applicant name (print) Steve Teske
 Applicant signature / date [Signature] 4.22.08



Form revised June 04, October 2004

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
08AA- - - - - 10071
 - - - - -
 - - - - -

Sandy Handley 04/22/08
 Planner signature / date
Project # 10004913

ADMINISTRATIVE AMENDMENT INFORMATION SHEET

The Planning Department is authorized to approve minor changes to approved Site Development Plans. Minor changes may include expansion of building square footage not greater than 10% and/or other changes that will not have a harmful impact on adjacent property or street circulation. Refer to *Zoning Code* Section 14-16-2-22(A)(6).

Application Requirements

Administrative Amendment Applications are submitted at the Development and Building Services front counter. Each request is assigned an Application number and a Project number. Applications must include the following:

- Completed Application Form with fee submittal
- Letter of Authorization from the Property Owner (if application is submitted by an agent)
- Zone Atlas* page clearly denoting the subject site
- Copy of the most recent Official Notice of Decision pertaining to the subject site
- A letter describing the project and indicating the percent change in heated square footage (if applicable)
- 1 copy of the previously approved plan set (typically the DRB-approved set)
- 5 copies of the revised plan, including all relevant plan sheets. The plans must be clearly dated and labeled as revisions and all proposed changes must be clearly denoted. Changes to parking calculations, landscaping calculations and similar plan elements must be clearly indicated.
- Materials pertinent to Notification (if applicable, see below)

Notification

Amendments proposing a building expansion of more than 2% of the approved square footage and/or amendments which may substantially aggrieve* any person require notification by the applicant. In such instances, the *Zoning Code* requires notification to 2 officers of all Recognized Neighborhood Associations that bound or are adjacent to the subject site and notification to adjacent property owners. The term "adjacent," as it relates to Administrative Amendments, includes property contiguous to the subject site and property that would be contiguous if not for public rights-of-way. Therefore, properties across an alley or street from the subject site are considered adjacent. When notification is required, the following materials must be submitted with the application:

- Developer Inquiry Sheet (completed) from the Office of Neighborhood Coordination (924-3914) plus Notifying Letter (copy) and Certified Mail Receipts
- Zone Atlas* page highlighting adjacent properties (for which notice has been provided), List of adjacent property owners receiving notice, Notifying Letter (copy) and Certified Mail Receipts

Ownership of adjacent property can be determined by using the Bernalillo County Assessor's web site:

www.bernco.gov/assessor. **Notification letters** must clearly describe the project, identify the location of the subject property, provide a phone number for a project contact person, and indicate the phone number for the City Planning Department: 924-3860. The reverse side of this form provides a sample notification letter. Failure to adequately notify may result in delay, denial or forfeiture of approval.

Process / Timeframe

Upon receipt of a complete application, the request is reviewed by Hydrology, Utility Development, and Transportation Planning before final review by the Development Review Division. Oftentimes the Zoning Enforcement office also reviews the submittal, particularly if the request relates to signage. The entire process typically takes 10 or more business days.

Appeal

There is a 15-day period from the date of the final approval for filing appeals with the Planning Department. Appeals to Administrative Amendments are made to the City Council through the Land Use Hearing Officer.

* *Applicants who have reason to believe that one or more persons may be substantially aggrieved by a proposed Administrative Amendment shall comply with the Notification process specified above. Significant delays will result if the Development Review Division determines that adequate Notification has not been provided.*

Administrative Amendment Sample Notification Letter

To be sent by the applicant via Certified Mail to Neighborhood Association representatives and by First Class Mail to adjacent property owners

Date

To

Address

City/State/Zip

Dear Property Owner / Neighborhood Association Representative:

This letter is to inform you that application for an Administrative Amendment to an approved Site Development Plan will be submitted to the City of Albuquerque Planning Department for review and possible approval. The application will be submitted on or about date. **The City's review process will take a minimum of 15 days** (from the postmarked date of this letter), whereupon a final decision will be rendered. A copy of the Planning Department's *Administrative Amendment Information Sheet* is enclosed to help you better understand this process.

The specifics of the project are as follows:

- *IDENTIFY THE LOCATION OF REQUEST & SIZE OF THE SITE*
- *PROVIDE THE LEGAL DESCRIPTION OF THE PROPERTY*
- *DESCRIBE THE REQUEST: WHAT IS BEING CHANGED OR EXPANDED AND WHY*
- *INDICATE HOW THE CHANGES WILL COMPLEMENT THE EXISTING (OR APPROVED) DEVELOPMENT*
- *ADDRESS ANY ITEMS THAT MIGHT BE OF CONCERN TO NEARBY OWNERS / RESIDENTS*

If you have questions about this proposal, please call me at _____.

This application can be reviewed at the City Planning Department offices in downtown Albuquerque at the Plaza del Sol building, located at 600 2nd Street NW. It is advised that you call the Planning Department to schedule a visit so that the project file will be available upon your arrival. To arrange a visit to review this application, please contact Fran Tapia, Development Review Division, at 924-3860. Ms. Tapia can also put you in contact with the planner who will be reviewing the project. The planner will be able to explain the Administrative Amendment process and your opportunity for input.

Sincerely,

Name

Title

Company

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

04/23/2008 Issued By: PLNSDH

.....

Permit Number: 2008 010 071 **Category Code** 940

Application Number: 08AA-10071 Amndt Site Development Plan - Bid Prmt

Address:

Location Description: SANTA LINA TR NW/BETWEEN EAGLE RANCH RD NW AND SALT CEDAR TR NW

Project Number: 1000498

Applicant
Regina Robertson

Agent / Contact
Graf Lumber

6816 Santa Lina Tr NW
Albuquerque NM 87120

7802 4th St NW
Albuquerque NM 87114
898-0464

Application Fees

441015/4871000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4971000	AW Actions	\$45.00
TOTAL:		\$45.00

Groff

LUMBER COMPANY, INC.

www.grofflumber.com

Sales

7902 4th St. NW
Albuquerque, NM 87114
505 898 0464 - Fax 505 898 8422

Accounting

P.O. Box 10279
Albuquerque, NM 87184-0279
505 898-8937 - Fax 505-898 8422

04/21/08

City of Albuquerque

To Whomever It May Concern:

Groff Lumber has been contracted by Robert Robertson to construct a rough timber shade structure affixed to the rear side of his residence at 6615 Santo Lina Trail NW, Albuquerque NM 87120. During the summer months temperatures outside Mr. Robertson's West facing windows regularly exceed 90° and this proposed shade structure will provide the home with much needed protection from the sun. It shall be constructed in a South Western style that will not be visible from Santo Lina Trail NW. The style of the structure will greatly enhance the outdoor quality of Mr. Robertson's backyard without impacting the heated square footage of the existing house.

Groff Lumber appreciates your consideration and looks forward to your response.

Sincerely,



Steven K. Teske
Project Manager
Groff Lumber



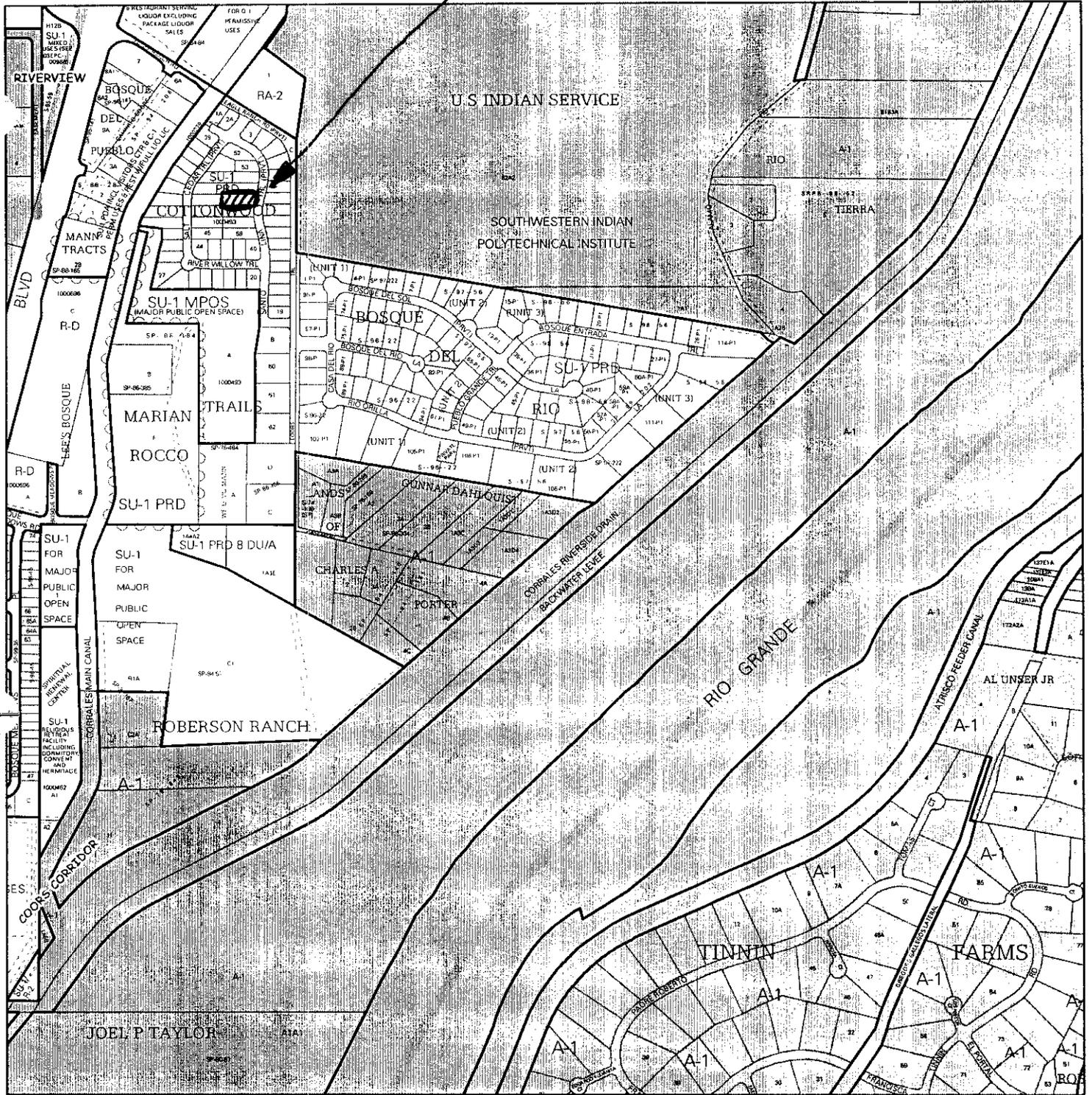
04/21/08

I, Regina Robertson, do hereby authorize Groff Lumber to apply for an SU-1 Administrative Amendment and to construct a Rough Timber Shade Structure on my property.

A handwritten signature in cursive script, appearing to read "Regina Robertson", followed by a long horizontal line extending to the right.

Regina Robertson
6615 Santo Lina Trail NW
Albuquerque NM 87120

6615 SANTO LIA T2L NW



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/8/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-13-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

Feet
0 750 1,500

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: October 20, 2000

Garrett Group
P.O. Box 10285
Alb., NM 87184

OFFICIAL NOTIFICATION OF DECISION

FILE: 00128 000000 00586/00128 000000
00587

LEGAL DESCRIPTION: for a portion of Tract E-1, Marian Rocco Subdivision, zoned SU-1 PRD, located on Coors Boulevard NW between Montañó Road and Paseo del Norte, containing approximately 16.51 acres. (D-13) Russell Brito, Staff Planner **(CONTINUED FROM SEPTEMBER 21, 2000)**

On October 19, 2000, the Environmental Planning Commission voted to approve 00128 00000 00586, a site development plan for subdivision for a portion of Tract E-1 (Parcel C2), Marian Rocco Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site development plan for subdivision for an approximately 16.5 acre site located east of Coors Boulevard, west of the Rio Grande, north of Montañó Road NW and south of Eagle Ranch Road.
2. This submittal furthers the applicable Goals and policies of the *Comprehensive Plan* by helping to maintain the separate identity of rural areas as alternatives to urbanization and by providing visual relief from urbanization by guiding development compatible with their open, natural resources, and traditional settlement patterns.
3. The submittal furthers the applicable policies of the *West Side Strategic Plan* by providing for City services in a location contiguous to the rest of the City.
4. This submittal does not contradict and is consistent with the *Major Public Open Space Facility Plan*.
5. This submittal furthers the applicable policies of the *Coors Corridor Plan* by proposing access and development while preserving the natural wildlife habitat and maintaining essential flood control and drainage functions and by ensuring that the intensity of development shall be compatible with environmental concerns, the natural landscape and design guidelines.

6. The submittal provides all of the information required by the *Zoning Code* for a site development plan for subdivision.
7. The submitted site development plan for subdivision complies with the overriding site development plan for subdivision (00128 00000 00682).

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
 2. The site shall be replatted to reflect the zone boundary lines and new lot lines.
-

On October 19, 2000, the Environmental Planning Commission voted to approve 00128 00000 00586, a site development plan for building permit based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site development plan for building permit for an approximately 16.5 acre site located east of Coors Boulevard, west of the Rio Grande, north of Montaña Road NW and south of Eagle Ranch Road.
2. The request as submitted furthers the applicable Goals and policies of the *Comprehensive Plan* by helping to maintain the separate identity of rural areas as alternatives to urbanization and by providing visual relief from urbanization by guiding development compatible with their open, natural resources, and traditional settlement patterns.
3. The submittal furthers the applicable policies of the *West Side Strategic Plan* by providing for City services in a location contiguous to the rest of the City.
4. This submittal does not contradict and is consistent with the *Major Public Open Space Facility Plan*.

5. This submittal furthers the applicable policies of the *Coors Corridor Plan* by proposing access and development while preserving the natural wildlife habitat and maintaining essential flood control and drainage functions and by ensuring that the intensity of development shall be compatible with environmental concerns, the natural landscape and design guidelines.
6. The submitted site development plan for building permit complies with the overriding site development plan for subdivision (00128 00000 00682).
7. Asphalt shingles are not compatible with the roof materials in the previously approved Bosque del Rio design guidelines.
8. This project is located directly adjacent to the Major Public Open Space and is highly visible; architectural detail should be consistent on building elevations.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
2. Architecture and Elevations:
 - a. The stone and "El Rey" stucco colors listed in the design guidelines shall be listed with corresponding colors that are definite to allow for a smooth review process at the building permit level.
 - b. The elevation sheet shall list the colors and materials lists of the design guidelines.
 - c. Dark colored roofing is not allowed.
 - d. Asphalt shingles shall not be allowed.
3. The comments and conditions of the Public Works Department shall be addressed:
 - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for. Any subsequent actions taken after City Council Bill O-19, April 4, 1988 must be noted and complied with.
 - b. Criteria for a single access subdivision must be met. This includes adequate width at the entrances; and strategically located emergency access routes. This may require emergency access through the Open Space area.
 - c. The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
 - d. Construction of a 10 foot bicycle / pedestrian trail on the Corrales Main Canal, with connections from the subdivision.

- e. All streets will be constructed to DPM standards. Variances must be specified in approved policies specific to this site.
 - f. On and off-site infrastructure requirements must be financially guaranteed prior to DRB approval.
 - g. The utility plan shall address looping the 10-inch water line.
 - h. Off-site corridors must be identified and easements obtained.
 - i. This property shall help pay for the signal at Eagle Ranch and Coors.
4. This development is subject to the Park Dedication Ordinance requirement of land dedication or cash-in-lieu along with payment of a park development fee at building permit. Given the small number of units and the relationship to open space and the Bosque, cash-in-lieu is required. The note indicating that a streetscape will be constructed on "Boulevard Street" will clarify whether it is public or private.
 5. Each lot/home shall have a storage area for residential automated carts; not to be visible from the street.
 6. This project shall be reviewed by a representative of the Fire Department to determine required fire flow and fire hydrant(s) location before final sign off at the DRB is granted. Unpaved construction roads shall be capable to maintain the load of any emergency apparatus. All new hydrants shall be installed and operating prior to this construction project. The Fire Department shall provide written concurrence to DRB single access subdivision variance.
 7. The site shall be replatted to reflect the zone boundary lines and new lot lines.
 8. To avoid the tractor false front look the use of architectural detail and materials should be consistent with all elevations to some degree; the same window and door trim details shall be used consistently in all openings. All roof penetrations shall be painted to match the predominant roof color or stucco color.
 9. All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY NOVEMBER 3, 2000 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

OFFICIAL NOTICE OF DECISION
00128 00000 00586/00128 00000 001587
OCTOBER 19, 2000
PAGE 5

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,



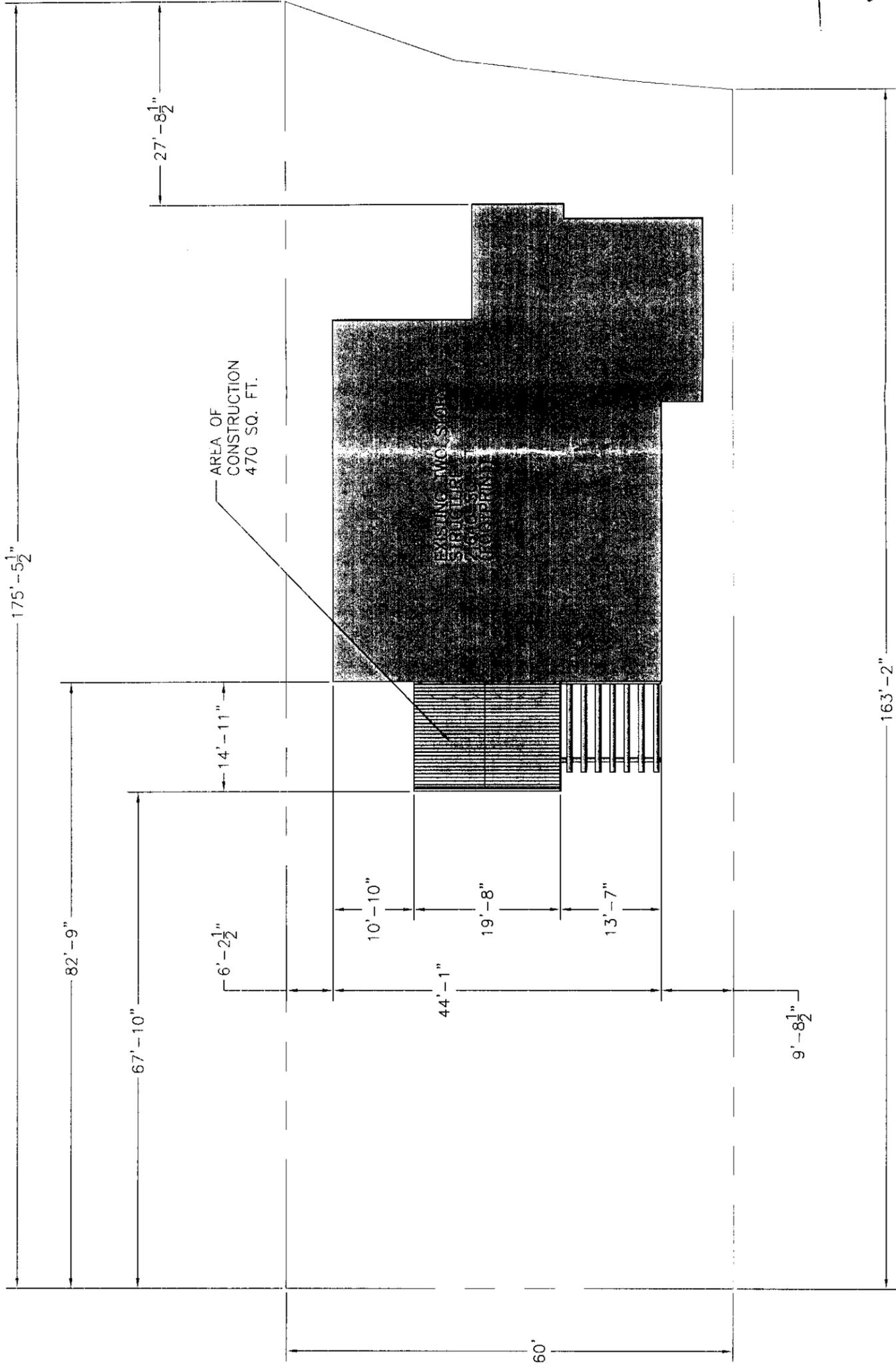
Robert R. McCabe, AIA, APA
Planning Director

RM/RB/ac

cc: Consensus Planning, 924 Park Ave. SW, Alb., NM 87102
Bob Linehaugh, Coors Trail NA, 7120 Coors Trail NW, Alb., NM 87120
Rick Attenberg, Coors Trail NA, 7105 Coors Trail NW, Alb., NM 87120
Doug Goodfellow, Taylor Ranch NA, 7609 Window Rock NW, Alb., NM 87120
Christine Dillow, 6108 Hokona Pl., NW, Alb., NM 87120
Michael Cadigan, 2705 Bosque del Sol, Albuquerque, NM 87120
Martin Haynes, P.O. Box 9043, Albuquerque, NM 87119
Jay Hill, 201 Third St. NW, Ste 2075, Albuquerque, NM 87102



CONECOS DRIVE SE



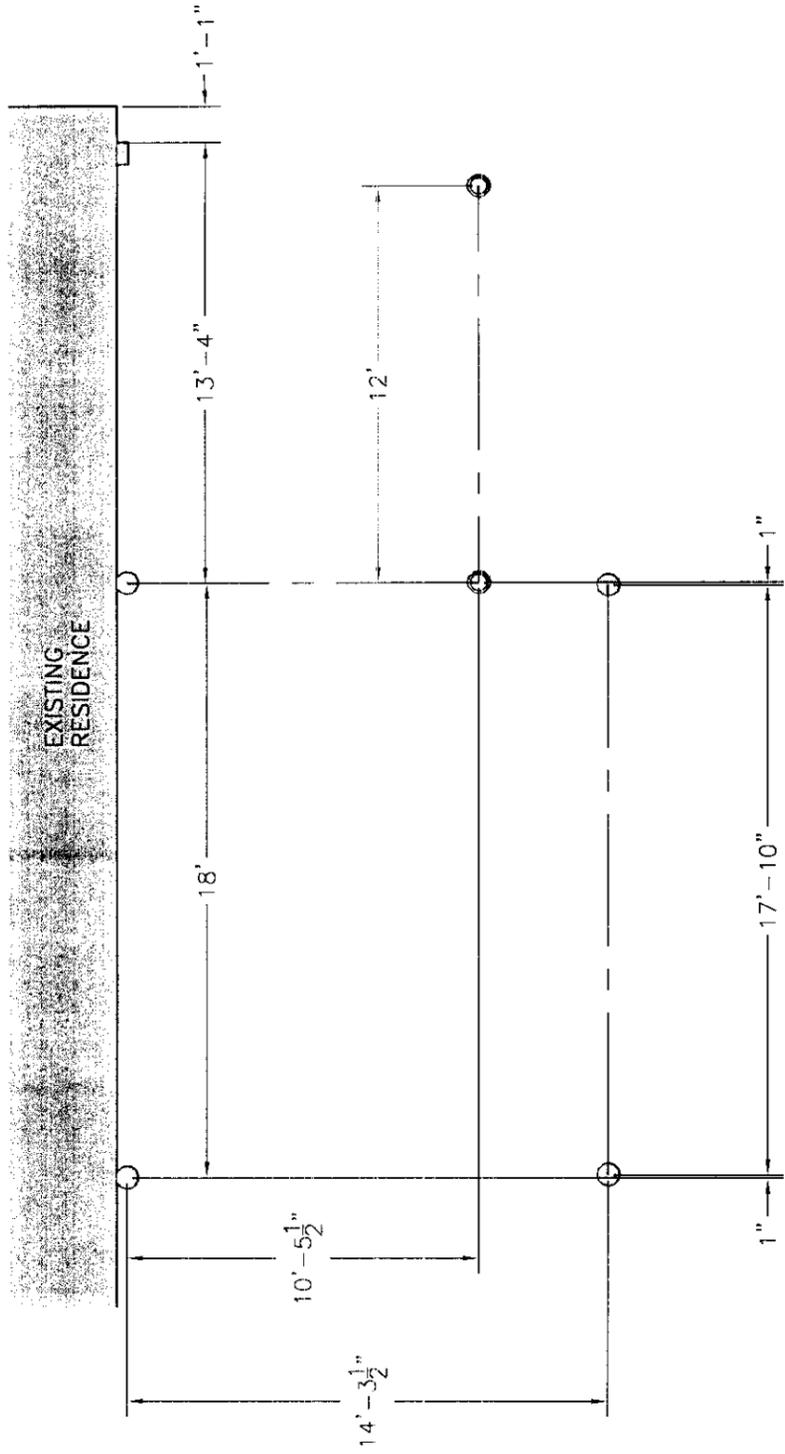
ADMINISTRATIVE APPROVAL
 08/11/07 ACC 0493
 Shade Structures
 APPROVED BY: *Paul Roberts* DATE: 13 May 08

Scale: 1/16" = 1'

Homeowner:
 Robert & Regina Robertson
 6615 Santo Lina Trail NW
 Albuquerque NM 87120

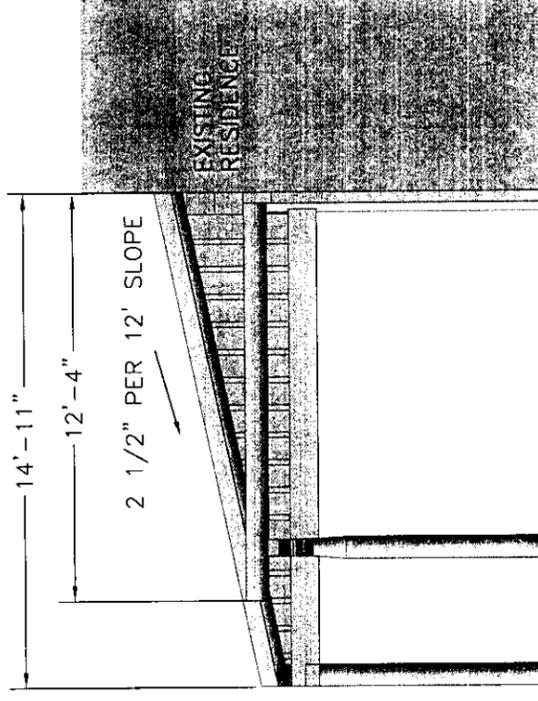
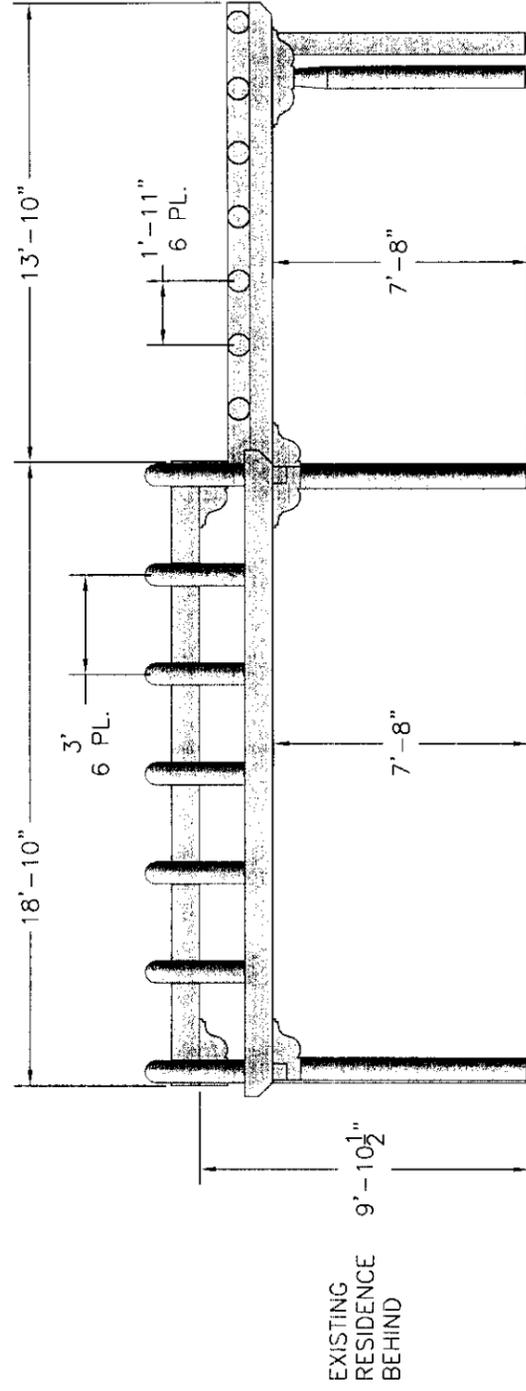
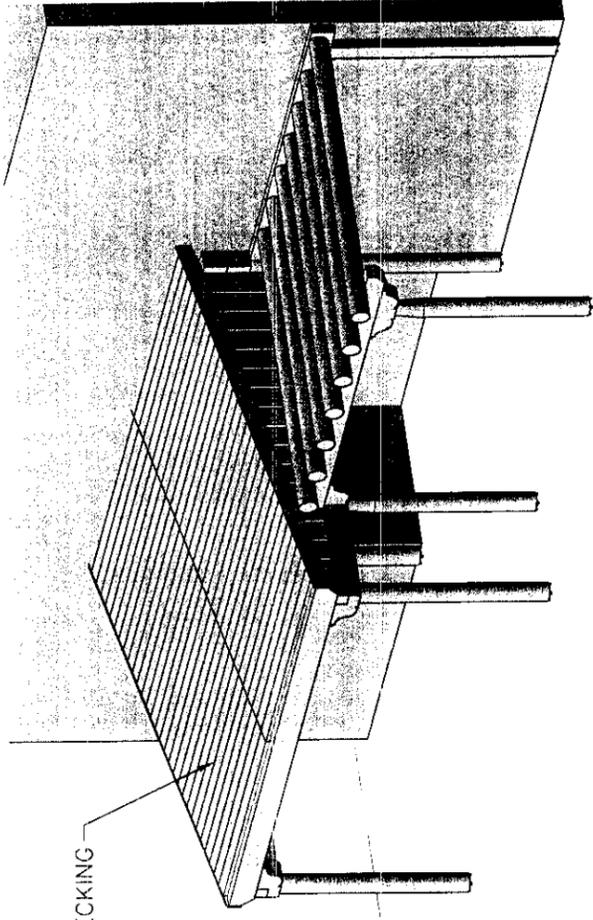
SETBACKS

POST/RISER LOCATIONS



NOTES:

2x6 ROUGH SAWN DECKING



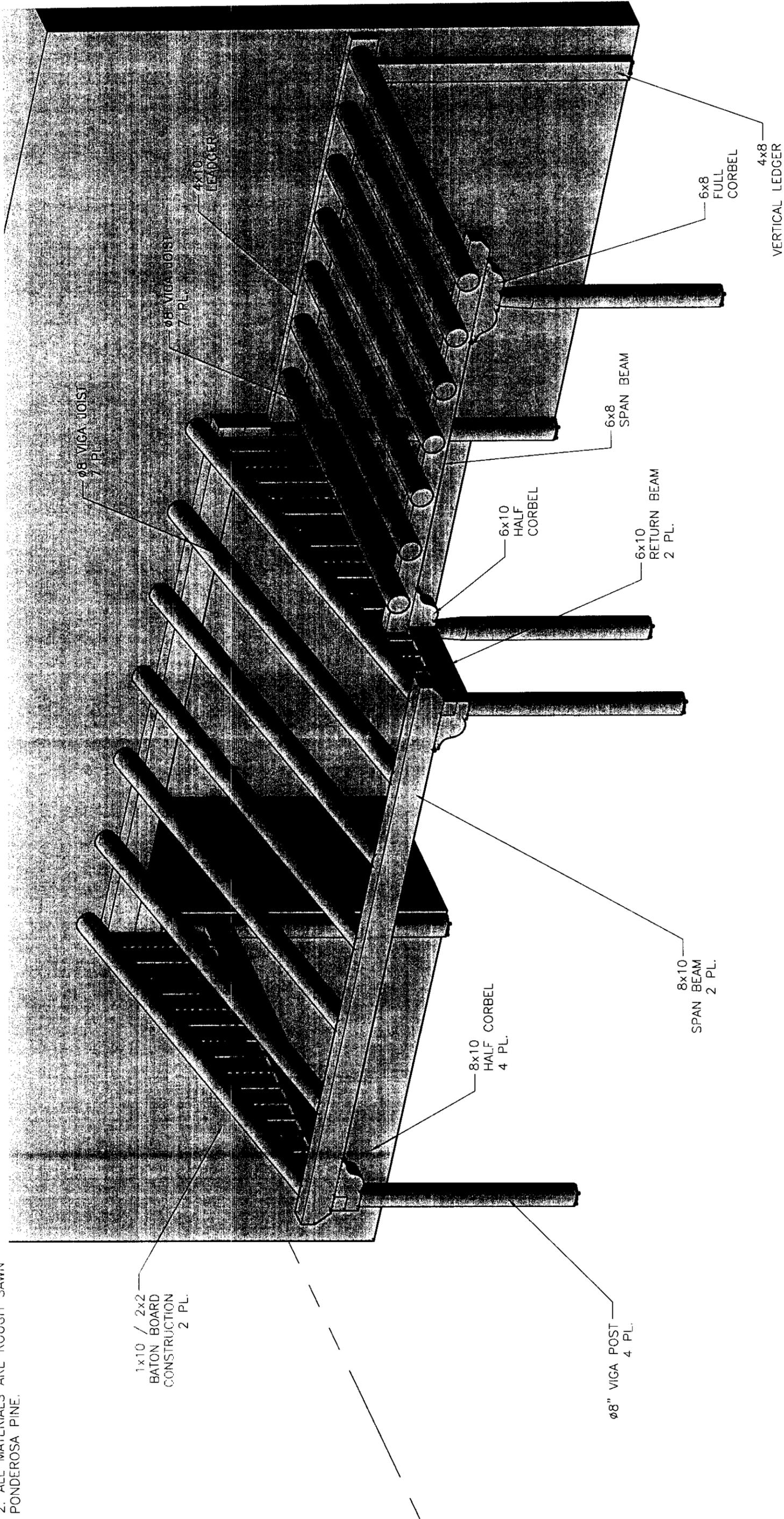
Scale: 3/16" = 1'

Homeowner:
Robert & Regina Robertson
6615 Santo Lina Trail NW
Albuquerque NM 87120

PORTAL DIMENSIONS

NOTES:

1. DECKING & ROOFING NOT SHOWN FOR CLARITY.
2. ALL MATERIALS ARE ROUGH SAWN PONDEROSA PINE.

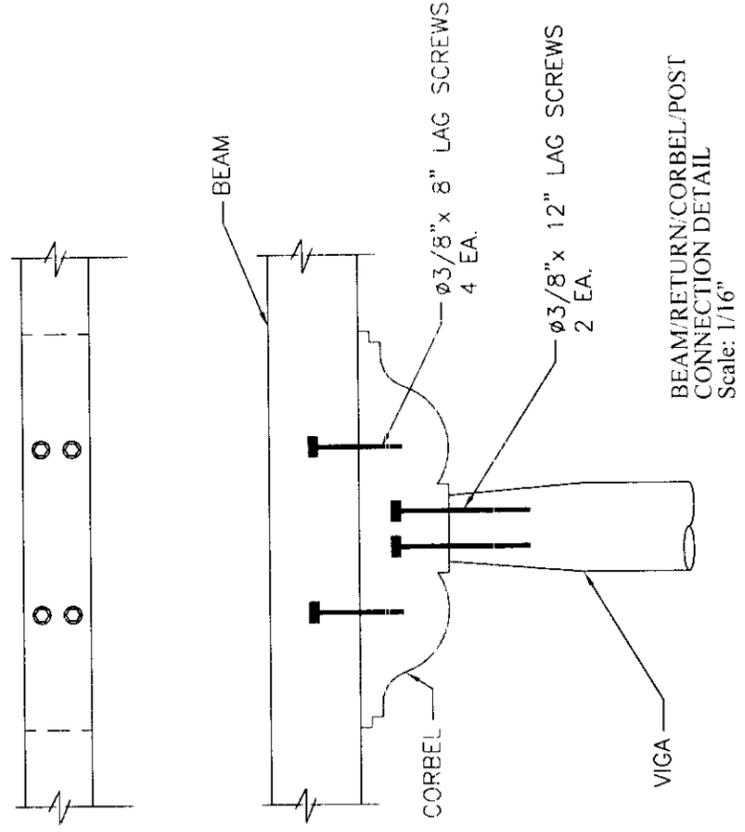
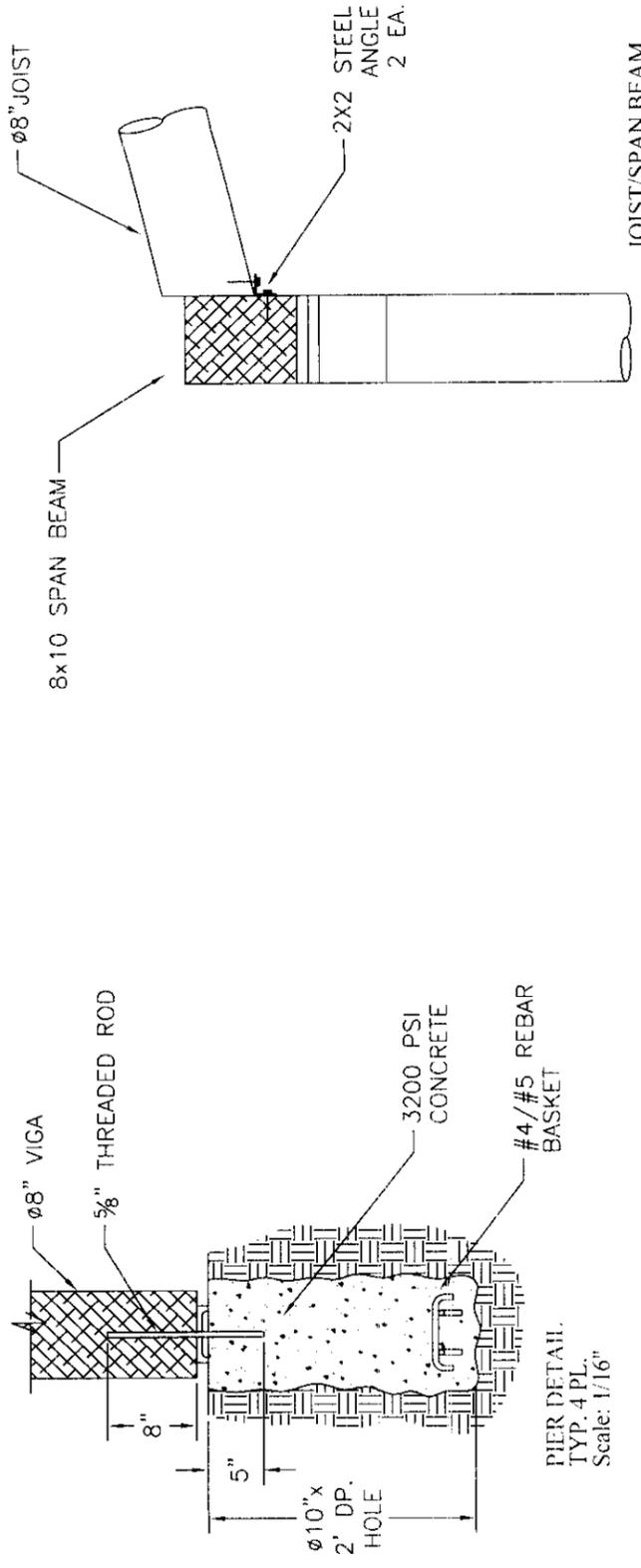


Homeowner:
 Robert & Regina Robertson
 6615 Sonto Lina Trail NW
 Albuquerque NM 87120

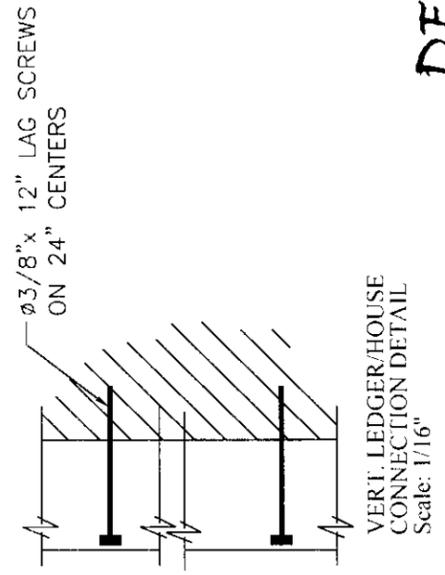
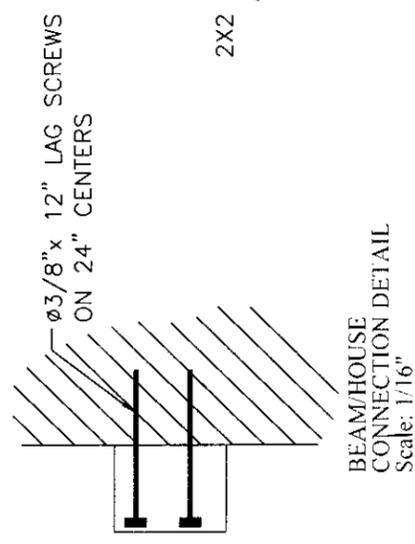
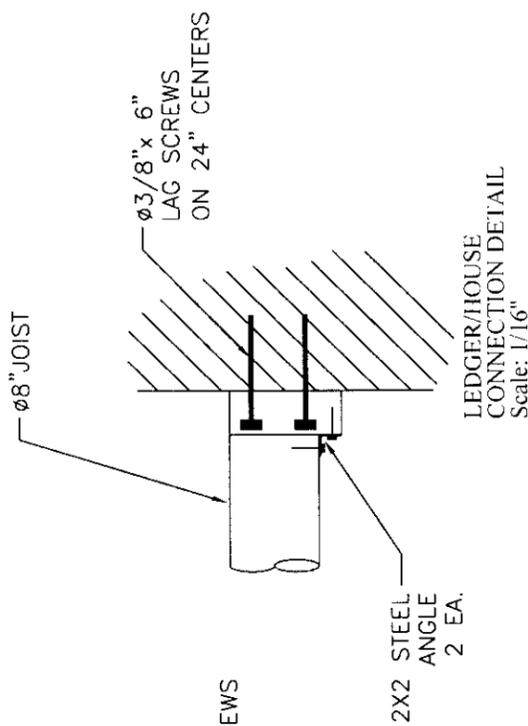
PORTAL FRAMEWORK

DETAILS

Homeowner:
Robert & Regina Robertson
6615 Santo Lina Trail NW
Albuquerque NM 87120



JOIST/SPAN BEAM
CONNECTION DETAIL
Scale: 1/16"



RETURN/VERT. LEDGER
CONNECTION DETAIL
TYP. 2 PL.
Scale: 1/16"