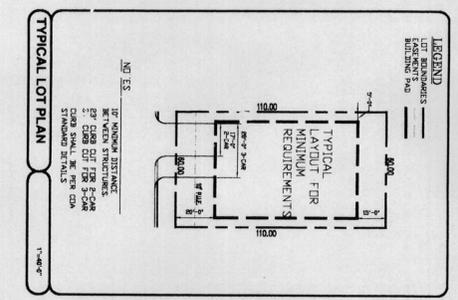
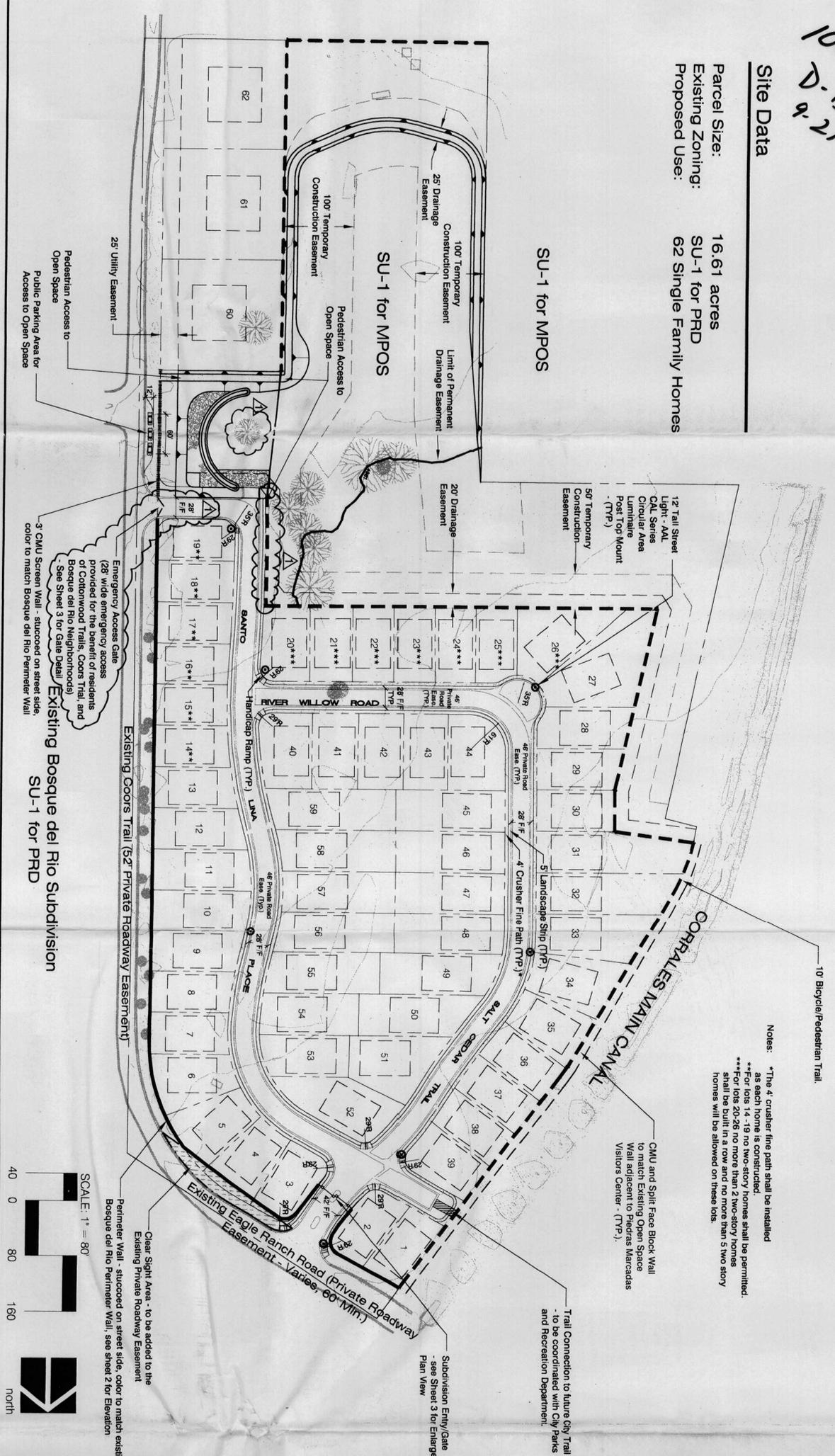


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D-13
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PARCEL "C"

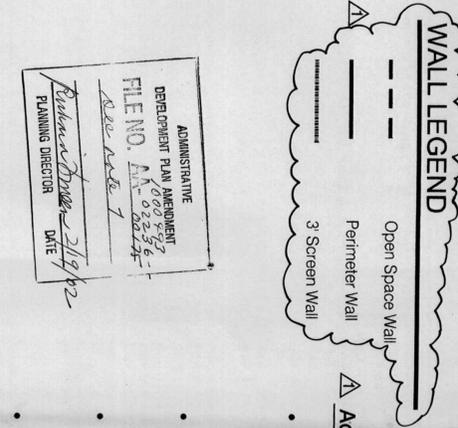
Site Data

Parcel Size: 16.61 acres
Existing Zoning: SU-1 for PRD
Proposed Use: 62 Single Family Homes



Lot Number	Area in Square Feet	Area in Acres
1	6,647.04	0.1526
2	6,871.28	0.1577
3	7,181.56	0.1649
4	7,938.28	0.1822
5	8,907.21	0.2045
6	8,445.14	0.1939
7	6,867.53	0.1577
8	7,157.14	0.1643
9	7,831.89	0.1798
10	8,547.91	0.1962
11	8,588.64	0.1972
12	7,907.29	0.1815
13	7,068.13	0.1627
14	6,378.43	0.1510
15	6,473.22	0.1487
16	6,473.22	0.1487
17	6,564.77	0.1507
18	6,565.21	0.1508
19	7,068.61	0.1613
20	6,391.89	0.1476
21	6,391.89	0.1476
22	6,391.89	0.1476
23	6,391.89	0.1476
24	6,591.69	0.1513
25	6,390.36	0.1465
26	10,195.03	0.2340
27	14,620.27	0.3365
28	7,729.29	0.1774
29	7,070.67	0.1623
30	6,667.47	0.1528
31	12,452.67	0.2869
32	11,828.99	0.2716
33	10,535.98	0.2419
34	8,827.47	0.2027
35	7,462.94	0.1713
36	6,701.20	0.1538
37	6,747.24	0.1549
38	6,523.94	0.1521
39	7,627.12	0.1751
40	8,053.78	0.1849
41	7,153.22	0.1642
42	7,150.05	0.1641
43	8,714.94	0.2001
44	9,526.15	0.2187
45	9,598.44	0.2203
46	9,615.56	0.2207
47	9,612.90	0.2207
48	10,133.93	0.2326
49	9,631.67	0.2211
50		
51	9,827.60	0.2256
52	10,446.62	0.2396
53	7,348.82	0.1687
54	8,401.32	0.1929
55	9,628.23	0.2210
56	10,024.56	0.2301
57	9,662.41	0.2218
58	9,950.81	0.2294
59	10,786.61	0.2475
60	28,729.00	0.6611
61	28,741.66	0.6611
62	28,751.14	0.6611

Lot Number	Area in Square Feet	Area in Acres
24	6,591.69	0.1513
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60	28,729.00	0.6611
61	28,741.66	0.6611
62	28,751.14	0.6611



WALL LEGEND

- Open Space Wall
- Perimeter Wall
- 3 Screen Wall

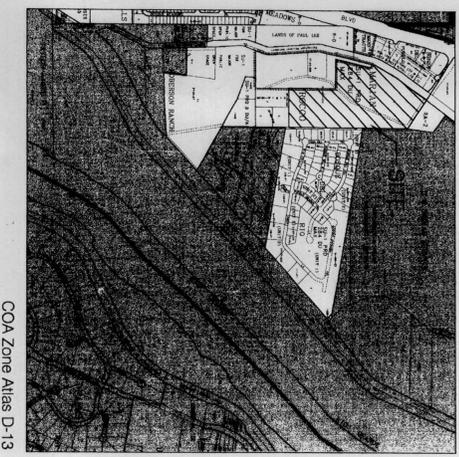
Administrative Amendment

- Revised wall adjacent to City Open Space (Lots 18-26 & 60-62) to allow wrought iron view fencing (see new Sheet 38).
- Added section of Open Space wall along the west side of Santo Lina Place (see Sheet 1).
- Revised note regarding existing cottonwood in the detention pond (see Sheets 2 & 3).
- Added Sheet 3B, Open Space Wall/Fence Plan.
- Modified Emergency Access per City DRC requirements (see Sheet 3).

Prepared by: Garrett Group, Inc. PO Box 10285 Albuquerque, NM 87184-0285
 Consensus Planning, Inc. 924 Park Avenue SW Albuquerque, NM 87102
 Isaacson & Arman, P.A. 128 Monroe Street NE Albuquerque, NM 87108

Cottonwood Trails
SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

Planning Director: *[Signature]* Date: 3-01-01
 Transportation Development: *[Signature]* Date: 4/12/01
 City Engineer/AWARCA: *[Signature]* Date: 2/07/01
 Utility Development: *[Signature]* Date: 2/07/01
 Parks and Recreation Department: *[Signature]* Date: 2/07/01
 Solid Waste Department: *[Signature]* Date: 2/07/01



VICINITY MAP

Notes:
 *The 4 crusher fine path shall be installed as each home is constructed.
 **For lots 14-19 no two-story homes shall be permitted.
 ***For lots 25-26 no more than 2 two-story homes shall be permitted in a row and no more than 5 two story homes will be allowed on these lots.

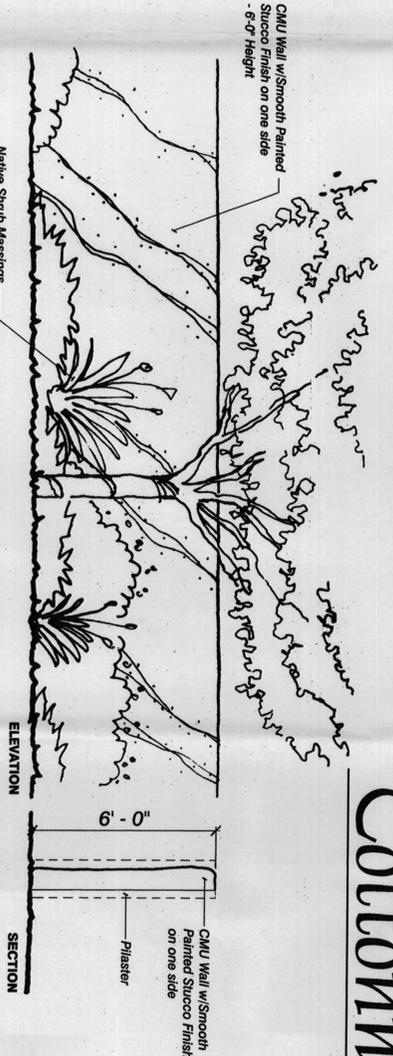
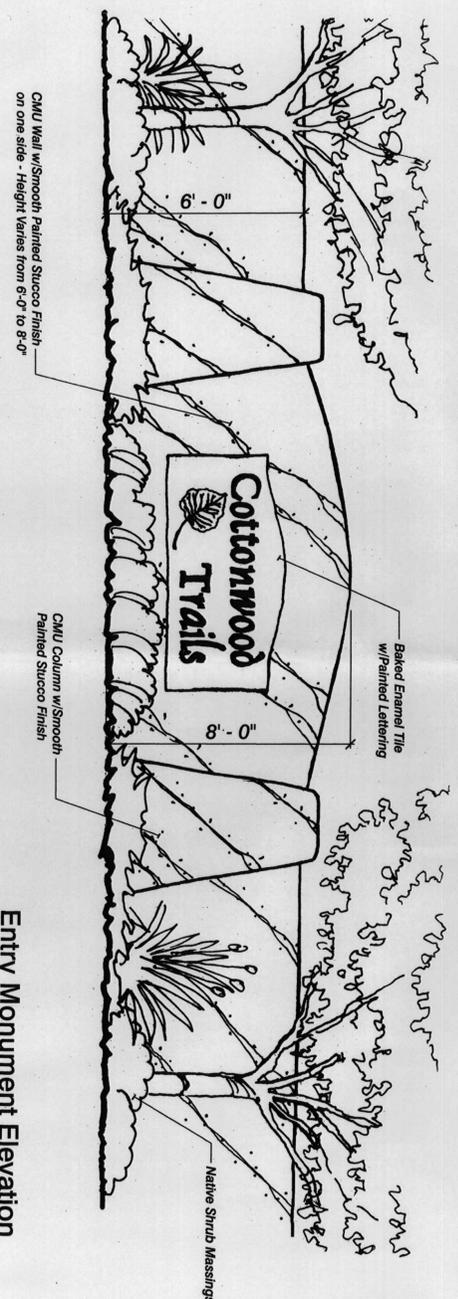
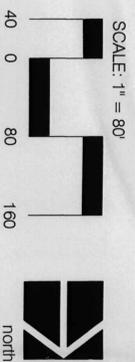
CONSENSUS PLANNING
 January 10, 2001
 Revised: February 13, 2002
 Sheet 1 of 8

*Minimum Front Yard Landscape Standards for Lots 60, 61, and 62 shall be as follows:

- 1 2" Caliper Shade Tree
- 2 20 Gallon Specimen Trees
- 10 5 Gallon Shrubs
- 12 1 Gallon Shrubs
- 2 Landscape Boulders

3/4" Santa Ana Tan Rock Mulch
Steel Header (as required)
Irrigation System w/Automatic Timer

Approved Accents:
Turf Sod (in compliance with Water Conservation Ordinance) or 2"-4" Cobbles (max. 25% of Area)



Cottonwood Trails

LANDSCAPE PLAN

Prepared for:
Garrett Group, Inc.
PO Box 10285
Albuquerque, NM 87184-0285

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102
Isaacson & Artman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108



January 10, 2001
Revised: February 4, 2002
Sheet 2 of 8

LANDSCAPE CONCEPT

The landscape Concept for Cottonwood Trails has been developed to enhance and follow the patterns of the surrounding environment. The entry monument will feature small groupings of Cottonwood, Ash and Pine varieties. The ground plane will be designed with massings of native shrub, groundcover, and perennial materials with accent materials interspersed.

GENERAL

The design and provision of landscape for the Cottonwood Trails Subdivision will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

STREET TREE ORDINANCE REQUIREMENTS

Eagle Ranch Road and Coors Trail at this point is considered a Collector Street and does not fall under the requirements of the City of Albuquerque street Tree Ordinance.

UTILITY NOTES

Due to the small scale, and in order to provide optimum legibility of the landscape plan, utility easements are not shown. The location of utility easements are as indicated on Site Plan.

IRRIGATION SYSTEM

Irrigation system shall consist of a fully automated sprinkler/drip irrigation system to irrigate tree, shrub, and groundcover planting areas.

MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system shall be the responsibility of the Owner. All planting areas will be maintained in a living, attractive, and weed free condition.

GENERAL PLANT PALETTE

This list is provided as a guide only. Additional plant materials included in the Albuquerque Plant List are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

Large Canopy Trees (2" Caliper Min.)
Cottonwood (female), Autumn Purple Ash, Honeylocust species, Chinese Pistache

Evergreen Trees (6 Min. Height)
Pinyon Pine

Accent Trees (1 1/2" Caliper Min.)
Desert Willow, New Mexico Olive, Flowering Pear, Flowering Pumm

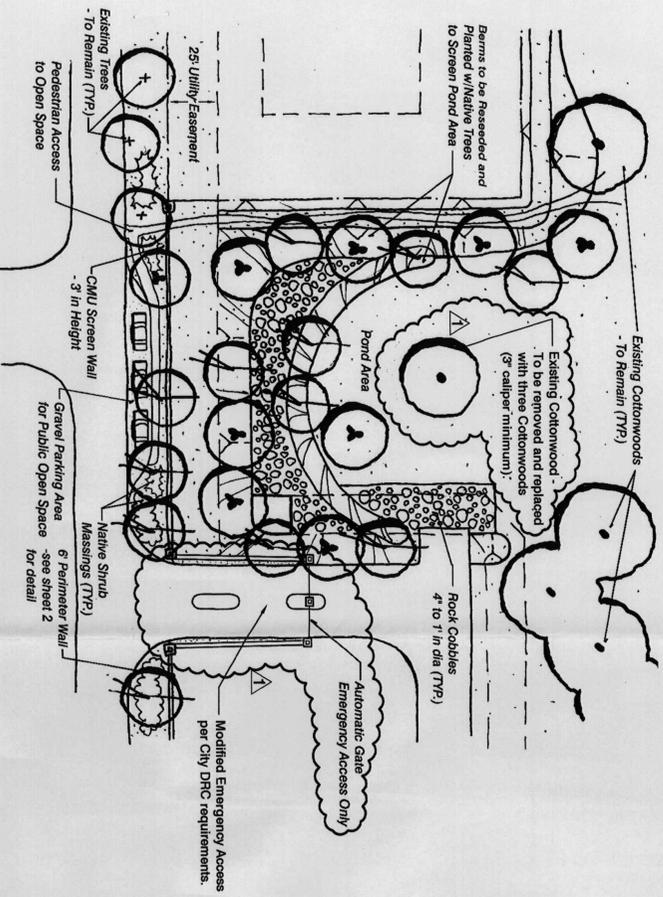
Shrubs (1 & 5 Gallon)
Juniper Species, Potentilla, Chamisa, Artemisia Species, Fourwing Sambucus, Red Yucca, Apache Plume, Dalea Species, Penstemon Species, Desert Spoon, Cocksucker Species, Cherry Sage, Russian Sage, Three-leaf Sumac, Caryopteris, Yucca Species

Groundcovers and Vines
Trumpet Vine, Carolina Jessamine, Juniper species, Honeysuckle, Wisteria, Virginia Creeper

Turf Grasses (Seed or Sod)
Kentucky Bluegrass (Max. 20% of landscape area)
Rescue (Max. 20% of landscape area)
Boutelou/Blue Grama Grass

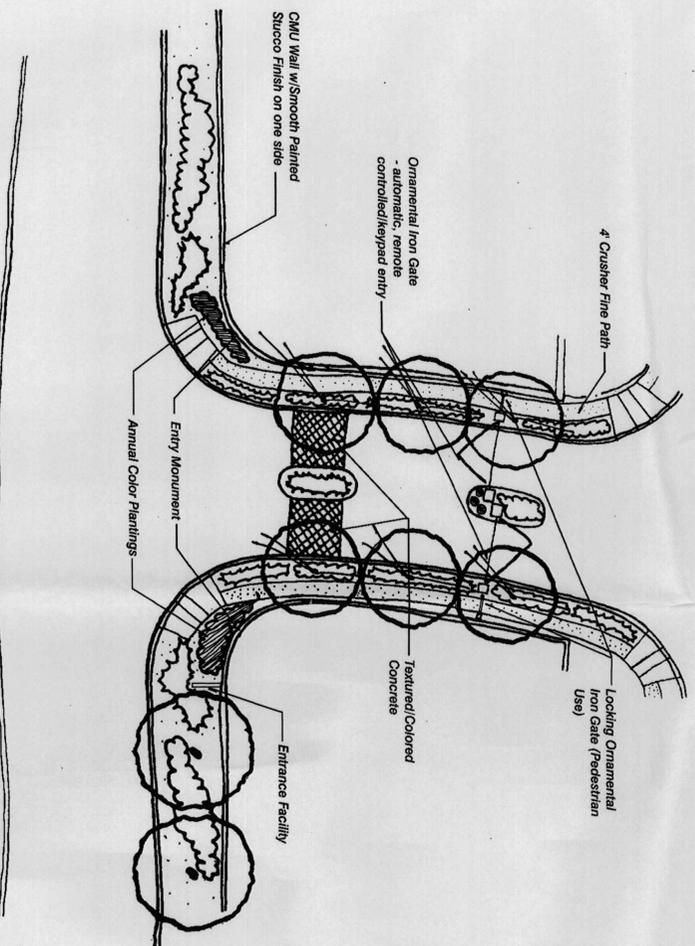
Mulches
Cusker Fines, Bark Mulch, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Rock Mulch

Boulders (6" Max. Dimension)
Moss Rock and/or Granite



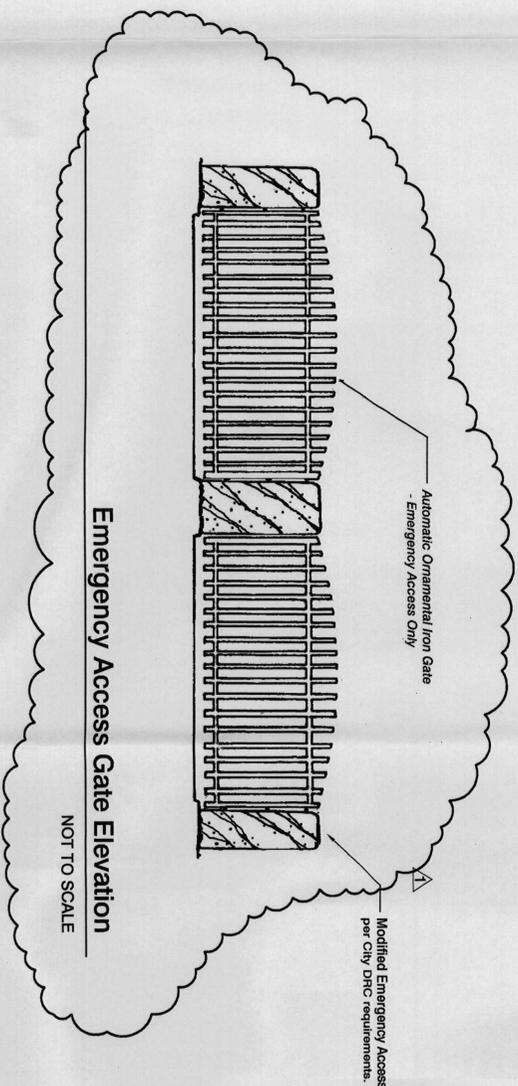
Drainage Detention Area Plan

Scale: 1" = 40'



Subdivision Entry/Gate Plan

Scale: 1" = 20'

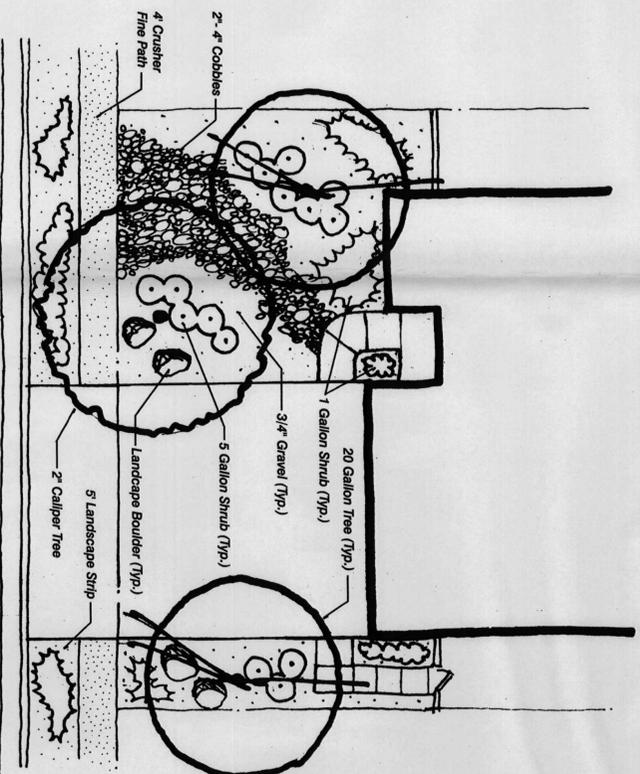


Minimum Front Yard Landscape Standards for Cottonwood Trails (Standard Lot)

- 1 2" Caliper Shade Tree
- 2 20 Gallon Specimen Trees
- 8 5 Gallon Shrubs
- 8 1 Gallon Shrubs
- 2 Landscape Boulders

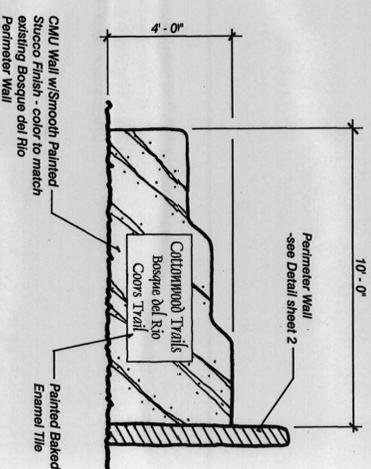
3/4" Santa Ana Tan Rock Mulch
Steel Header (as required)
Irrigation System w/ Automatic Timer

Approved Accents:
Turf Sod (in compliance with Water Conservation Ordinance) or 2"-4" Cobbles (max. 25% of Area)



Typical Front Yard Landscape Plan

Scale: 1/8" = 1'-0"



Cottonwood Trails

CONCEPTUAL LANDSCAPE DETAILS

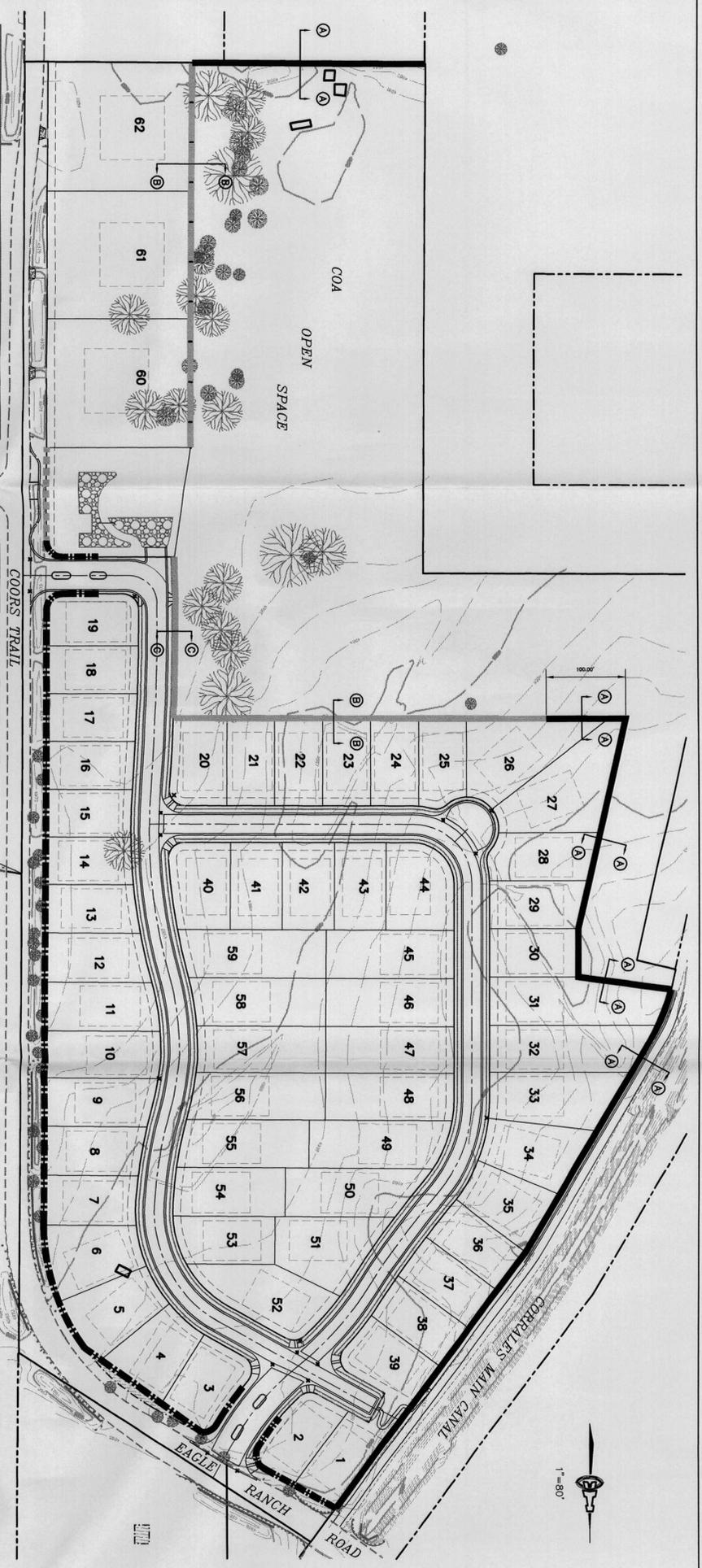
Prepared for:
Garrett Group, Inc.
PO Box 10285
Albuquerque, NM 87194-0285

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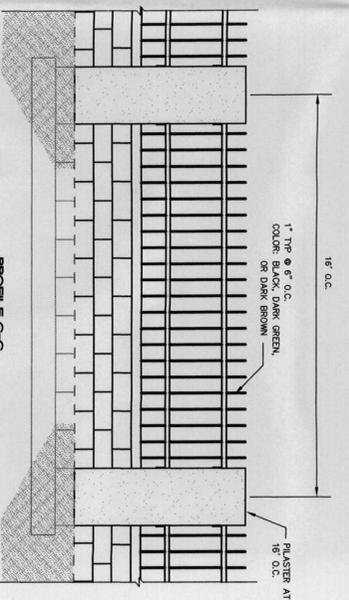
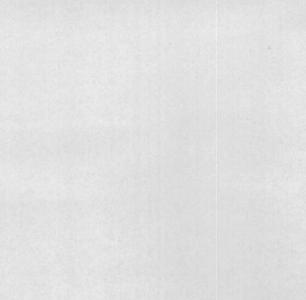
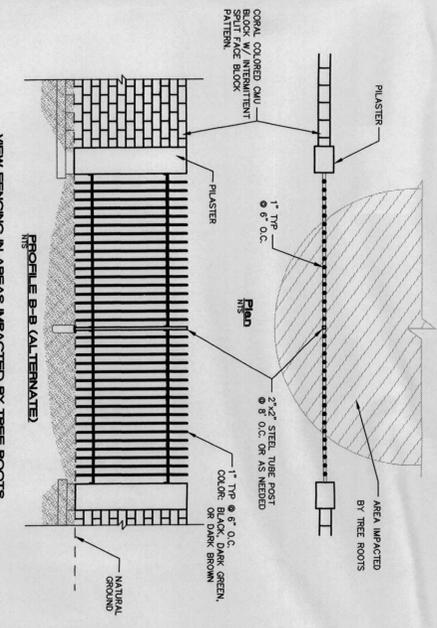
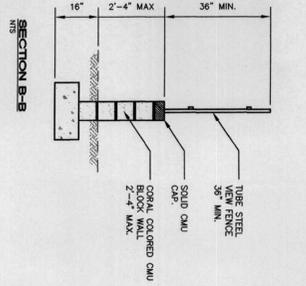
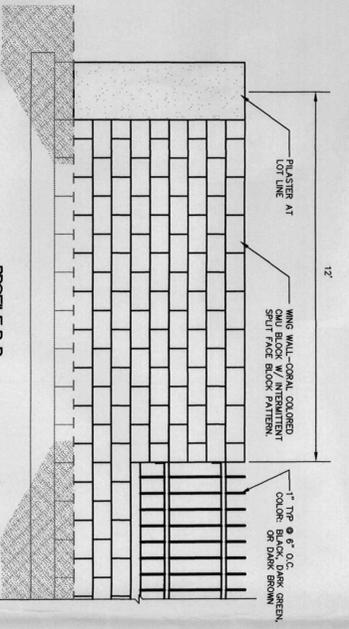
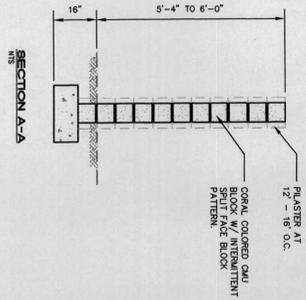
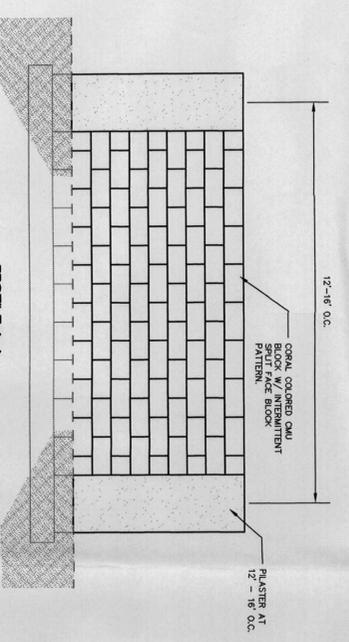


January 10, 2001
Revised: February 13, 2002



LEGEND

- SEE PERIMETER WALL DETAIL (SHEET 2).
- VIEW FENCE OVER CMU WALL. SEE DETAILS B-B AND C-C BELOW.
- SOLID CMU WALL W/ SPLIT FACE PATTERN TO MATCH EXISTING OPEN SPACE VISITOR'S CENTER (TYPE); SEE DETAIL A-A BELOW.
- 3" STUCCO WALL-STUCCO ON STREET SIDE. COLOR TO MATCH BOSQUE DEL RIO PERIMETER WALL.



OPEN SPACE WALL/FENCE PLAN

SHEET 3B

1/7/2018 DWG#M

02/12/202

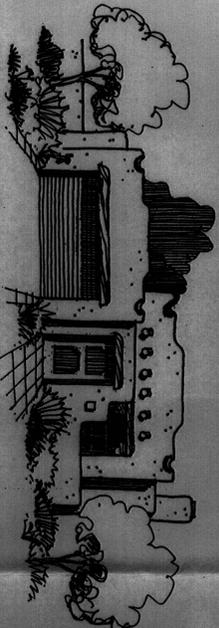
DESIGN GUIDELINES FOR COTTONWOOD TRAILS

The following are guidelines for homes built in the Cottonwood Trails subdivision ("Cottonwood Trails Guidelines"). The construction of homes in Cottonwood Trails will be subject to the review of the Cottonwood Trails Architectural Control Committee (the "CTACC") as described below. Builders will construct all homes within Cottonwood Trails in compliance with these Guidelines.

A. Architectural Styles

All homes must be Pueblo, Territorial, Northern New Mexican, or Mediterranean style. Below are described characteristics of the different styles. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains the characteristics of one of the styles listed below and adheres to the Guidelines. The use of architectural detail and materials should be consistent on all elevations to some degree, the same window and door trim details shall be used consistently in all openings. The CTACC retains the right to approve or deny any aspects of the design on a case-by-case basis without limitation.

Pueblo Style - Pueblo style is a style of architecture featuring the low adobe, flat roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the "Pueblo" buildings of historic Santa Fe, Pueblo style incorporates recessed set doors and windows, and dramatically recessed porches or patios (at front facade). The Pueblo style traditionally uses flat roofs and relies extensively on roof and beam or bearing wall construction. Interesting masonry and soft edged smooth stucco are distinctive features of this style.



1. There are no pitched roof forms in this style.
2. Entry porch is common and a hallmark of the style.
3. Unadorned over eave eaves are common.
4. Exterior wall finish is stucco from the approved color list.
5. Stone can be used in horizontal benches at the base of walls in the prescribed percentages in coursed ashlar pattern.
6. The clustered form allows courtyards to be easily integrated into the design by low walls and gates.
7. Parapets are also used to emphasize forms.

Southwestern Territorial Style - In its roots in the Pueblo style and early Spanish buildings and is characterized by simple, if not symmetrical, masonry, low sloped roofs (no pitched roofs), porches and courtyards often surrounded by low walls or gates, thick parapet caps, horizontal benches and/or chimneys, stucco walls with trim are generally square color palette, and lead are typical. Masonry is used in the construction of wood trim forming the capital and base of the post (no corbels). Territorial style is typically straighter, more formal and more finished than the Pueblo style.



1. There are no pitched roof forms in this style.
2. Entry porch is common and a hallmark of the style.
3. Trim openings can be perforated wood with moldings, but unfinished openings are just as common.
4. Exterior wall finish is stucco with square corners at the base of walls, and may be used as parapet caps in chimney forms.
5. Brick can be used in horizontal benches at the base of walls, and may be used as parapet caps in chimney forms.
6. The symmetrical form allows for formal courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
7. Parapets are also used to emphasize this form.
8. Portal columns are square, or square tapered, and are typically painted finished wood with painted wood trim forming the capital and base of the post.

Mediterranean Style - Low-pitched gabled or hipped roof, flat in some cases) characterizes the Mediterranean style. Windows and doors may have arches above, windows and doors are tall lengths, and entry porches are characteristically recessed. The facade is broken into multiple masses and the wall finishes of stucco, plaster, with stone accent materials, and belt courses at walls and parapets.



1. There are pitched roof forms on main volumes, porches and colonnades or behind parapets in this style, maximum slope is 6 in 12. Low sloped roofs can also be combined with flat roof elements.
2. Entry porch is not common in this style, however, arches above doors, principal windows or beneath porch roofs are common.
3. Trim over and around openings can be tile or terra cotta moldings, but unfinished openings are just as common.
4. A variation of building masses allows courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
5. Parapets are used to emphasize forms.
6. Exterior wall finish is stucco, or smooth stone finish, or smooth stone finish, in the prescribed percentages, with square or slightly rounded corners.

Northern New Mexican Style - are typically a simple one and a half story Pueblo or Territorial style house with pitched roof. Houses tend to be more compact to keep the roof simple and economical, and to conserve heat with lower additions branching off the main form. Roof forms tend to be shed or low sloped and traditionally of corrugated metal sheets with a gabled finish or colored standing seam roofing with second story rooms typically half in the roof creating cathedral ceilings and characteristic dormer windows. Porches tend to have shed roofs, also metal, with a lower pitch than the main roof. Columns and wood trim at openings are similar to those of the Territorial style. Brick or stone can be used in chimney forms in limited amounts with stone being a random table, coursed rubble, or coursed ashlar pattern.



1. Pitched roof forms are allowed in this style with 1-1/2 story height maximum.
2. Trim over openings can be perforated wood with moldings, but unfinished openings are just as common.
3. Entry porch is common and a hallmark of the style.
4. Roof materials and orientation shall be designed to minimize reflection and glare.
5. Exterior wall finish is stucco from the approved color list with square or rounded corners.
6. Brick or stone can be used in chimney forms. Stone to be random rubble, coursed rubble or coursed ashlar pattern.
7. Portal columns are square or square tapered and are typically painted, finished wood with painted wood trim forming the capital and base of the post. No corbels.
8. Roof eaves and fascia require painted moldings and trim at the termination of roofing.
9. Maximum pitch of roof is 12 inches per foot.

B. Building Massing

For all of the architectural styles listed above, building massing is critical, especially for the street elevations. Building masses should be offset from the adjacent masses by an appropriate dimension to the size of the building and approved by the CTACC. The front and rear (if adjacent to a street) elevations must contain at least three building masses, of which two of the building masses must have at least a 1 foot vertical/horizontal offset. Deviations from the 1-foot minimum massing requirements in the Design Guidelines may be approved on an individual basis. A building mass is defined as a volume of space that usually appears as a rectilinear form, consisting of a roof and at least three (3) walls.

C. Roof Forms

- These forms are appropriate at Cottonwood Trails:
1. Low slope, 4 in 12 per foot to 1 per foot, with parapets (all styles).
 2. Gable and hip roofs, stepped than 9 per foot to 12 per foot for Northern New Mexican Style, 6 per foot for Mediterranean Style.
 3. Gabled or hip Dormers, Northern New Mexican Style.

These roof forms may not be used at Cottonwood Trails:

1. Mansard.
2. Dorned or arched.
3. Gambrel.

D. Roof Materials

- These roof materials are appropriate for homes in Cottonwood Trails:
1. Metal roofs, standing seam or corrugated in red, green or silver.
 2. Built-up roofing (non reflective).
 3. Single-ply membrane (low sloped only, non reflective).
 4. Clay or Concrete tile, mission barrel or S shapes in solid colors.

These roofing materials will not be allowed at Cottonwood Trails:

1. Asphalt shingles.
2. Wood shingles and shake shingles.
3. Multi-colored roof tiles.
4. Dark colored roofing.

E. Columns

- The following are appropriate column forms at Cottonwood Trails:
1. Square stucco.
 2. Round stucco.
 3. Square wood.
 4. Square wood, tapered.
 5. Round peeled bark wood.
 6. Round classical with smooth shafts in Doric or simple contemporary order.

The following shall not be allowed:

1. Corinthian.
2. Ionic.
3. Tuscan.
4. Egyptian.

F. Garages

1. Each home must have a garage for not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four parking spaces is provided.
2. Garage doors shall be offset from the surface of the front facade by a minimum of eight inches (8").

G. Windows

Windows are integral with all styles of homes at Cottonwood Trails.

1. Windows may be set deep into the walls to create a feeling of masonry construction and massiveness.
2. Offset minimum.
3. Windows with colored sashes and heavy profiles are appropriate.
4. Unwindowed aluminum frames or mullions may not be used.

H. S setbacks

The use of cantilever streets, short block lengths, and varied front facades have been utilized to prevent the garage doors from dominating the streetscape.

I. Minimum Square Footage

Each home must have at least 1,350 square feet of fully enclosed heating area, exclusive of garages and open porches and patios.

J. Building Materials

1. Stucco shall be the primary building material and shall account for a minimum of 80% of the exterior surface.
2. Stone may be used as an accent feature and shall not comprise more than 20% of the exterior construction. See architectural styles for restrictions.
3. Brick - may be used as an accent feature and shall not comprise more than 20% of the exterior construction. See architectural styles for restrictions.

K. Pre-Approved Building Colors

1. Primary - exterior stucco colors shall be shades of tan, brown, reddish brown, warm gray, or off-white and shall be limited to, or match, the following: El Rey Stucco standard colors including Buckskin, Dilwood, Shew, Sandwood, Shale, La Luz, Desert Rose, Sand, Fawn, Palomero, Adobe, Beige, Cottonwood, Sagestone, Candlelight, Ash, Heidecks, and Ivory. Colors from manufacturers other than El Rey need to match approved colors to be submitted.
2. Accent - a variety of colors may be used to accent architectural features such as entries, window trim, masonry, and exterior architectural features. Colors allowed are typical southwestern, all colors of white, green, red, blue, black, and brown.
3. All roof penetrations shall be painted to match the predominant roof color or stucco color.

L. Building Height

- Houses or improvements on any lot shall not exceed nineteen feet (19') for single-story, and the maximum height allowed for two story homes is twenty-eight feet (28') as defined by the City of Albuquerque Zoning Code.
1. The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the area of the second story area is calculated exclusive of roof decks and porches. For example, if the first floor has an area of 2,000 square feet, the area of the second story portion of the house shall also be set back a minimum of two feet (2') to eliminate the appearance of a two-story wall.
 2. The front elevation of the second story portion of the house shall also be set back a minimum of two feet (2') to eliminate the appearance of a two-story wall.
 3. Floor Area Ratio is the ratio of the heated floor area (including multiple stories) of the structure to the lot. In order to ensure that houses are in appropriate proportion to their lot, a Floor Area Ratio of .75 shall not be exceeded.

M. Landscaping

1. Approval. Plans for front yard landscaping must be submitted to the CTACC for approval prior to the construction of the house and must be compatible with the overall subdivision streetscape and must conform to all applicable codes and regulations.
2. Timing of installation. All front yard landscaping, if the home is on a corner lot, must be completed by the builder no later than two months after completion of construction of the home, but in any event no later than the date of occupancy of the home.

N. Site Lighting

1. Site lighting shall not have a total of site luminaires greater than 1,000 foot lamberts; however, it shall not have an off-site luminance greater than 2,000 foot lamberts measured from the property line of any private property in a residential zone. Site Lighting in Cottonwood Trails shall not be brighter than those in the subdivision.
2. The mounting height of luminaires shall be no higher than 12 feet.
3. Site lighting shall be shielded source with no light source (lamp) visible from the site perimeter.

O. Mechanical Equipment

1. Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view by parapets that are an integral part of the house (as viewed from the front property line of the residence). No air conditioning/heating equipment shall be installed on a pitched roof profile. Equipment that is ground-mounted shall be located within the side or rear yard and screened from the front and side.
2. Any roof-mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design, and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.

P. Fireplaces

Fireplaces and/or stoves within the residence shall be limited to natural gas logs. Environmental Protection Agency (EPA) approved wood-burning fireplaces, and other EPA approved wood burning devices.

Q. Walls

All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.

R. Subdivision Walls

1. Subdivision walls shall be constructed with concrete masonry unit (CMU) with stucco finish on the exterior side and shall be finished and painted (by the Developer) to match the walls of the homes on the same lot side and shall be finished and painted (by the Developer) to match the walls of the homes on the same lot side.
2. The wall adjacent to the Proposed Major Public Open Space shall be CMU and split face block to match the existing Open Space Wall adjacent to the Precincts/Mercado Visitors Center.
3. The Developer and/or Homeowner's Association shall be responsible for removal of any and all graffiti located on the perimeter subdivision wall along Coors Trail within 72 hours of any report of graffiti to the Developer and/or Homeowner's Association.

S. Site Walls

- a. Each house must have a rear wall and two side walls. All rear walls shall extend the entire length of the rear property line. All side walls shall extend from the rear of the lot to at least the rear of the dwelling for the lot. The height of all walls shall be no less than 4 feet (4') and no more than 8 feet (8') in height. Additional interior or materials may be used as approved by the CTACC for lots 60, 61, and 62.
- b. All walls that are located on the common property line between adjoining lots shall be party walls that may not be removed by either property owner, nor shall they be altered in any way. All walls must be constructed from the elevation specified by the subdivision engineer and indicated on the grading plan of the Cottonwood Trails Subdivision. The cost of installation and maintenance of such party retaining walls shall be split equally between property owners of the adjoining lots.
- c. All walls or fences may be erected on a lot that is closer to the street than the front of the dwelling on the lot, except for courtyard walls.
- d. A house is located on a corner when such house abuts more than one public right-of-way. The corner house will be deemed to front on the right-of-way on which the house has a smaller elevation, subject to possible re-designation by the CTACC upon the request of the owner of any such house.
- e. A house is located on a corner when such house abuts more than one public right-of-way. The corner house will be deemed to front on the right-of-way on which the house has a smaller elevation, subject to possible re-designation by the CTACC upon the request of the owner of any such house.

T. Courtyard walls

Courtyard walls are allowed within the front yard setback areas and shall be constructed of materials, finish, and color that are complementary to the house. Wall height shall be as approved by the CTACC.

U. Mailboxes

Customer-type mailboxes will be used for lots 1 through 59, subject to the requirements of, and in coordination with, the United States Postal Service. Lots 60, 61, and 62 shall have standard mailboxes.

V. Solid Walls

Each volume shall have a storage area for residential automated cars; not to be visible from the street.

W. Review for Compliance

The compliance of any structure or improvement within the Cottonwood Trails Subdivision will be reviewed by the CTACC.

In order for the CTACC to perform such review, the following must be submitted (the completeness of which will be subject to the determination of the CTACC):

1. One complete set of plans, including but not limited to, foundations floor plans, elevations, details, and plan, CTACC submitted sheet, landscaping plans and the finished grade of the structure or improvement on the lot.
2. Within 15 days of receipt of the plans, the CTACC will communicate the results of its review in writing to the applicant. The communication will specifically indicate whether or not the proposed structure complies with the Design Guidelines.

X. Vacant Lots; Destruction

1. There shall be no trash, debris, paper or refuse of any kind thrown or dumped onto vacant lots in the Cottonwood Trails Subdivision.
2. The lot owner of a vacant lot shall be responsible for the removal of all weeds, trash and any other items that are visible or otherwise a nuisance to the neighborhood.
3. The Owner of a lot upon which a structure is destroyed by fire or other casualty shall either promptly rebuild, repair or replace the structure or remove the debris (including foundations) from the lot.
4. There shall be no trash, debris, paper, lawn clippings, yard waste or refuse of any kind dumped onto the Open Space Parcel by any Owner of a lot within the Cottonwood Trails Subdivision.

Y. Restricted Activities

1. The use of any trailer, motor home, boat, stack, tent, garage or any other outbuilding as a residence, either temporarily or permanently, is prohibited. However, one motor home or boat may be kept in the driveway or in front of a house for no more than ten (10) days per year.
2. The placement of any kind of antenna (radio, television, satellite or other), either temporarily or permanently, on the roof of a house is prohibited without the prior approval of the CTACC.
3. The construction, erection, placement, maintenance or temporary use of any building or structure (other than any auxiliary building of any nature, permanent or temporary) designed for or used for storage of materials on the house, must be approved in writing by the CTACC and must be of similar architectural design as the house.

Z. Pedestrian/Bicycle Circulation

Pedestrian/Bicycle circulation for residents within Cottonwood Trails is an important benefit. Accordingly, sidewalks and pedestrian/bicycle pathways are incorporated to, from, and throughout, the development. These pathways lead to the existing pedestrian/bicycle network constructed along Coors Trail, Bogue del Rio, and City Open Spaces. A private pedestrian and bicycle access easement will be created for the use and enjoyment of the residents of the Cottonwood Trails Subdivision. The easement will be created for the use and enjoyment of the residents of the Cottonwood Trails Subdivision and the Coors Main Canal to provide for security of Cottonwood Trail residents.

AA. Emergency Access

One or more of the streets within Cottonwood Trails will be available as a 28' wide emergency access through the Cottonwood Trails Subdivision and shall be provided for the benefit of residents of Cottonwood Trails, Coors Trail, and Bogue del Rio Neighborhoods, as required by that certain Covenant and Agreement recorded in the office of the County Clerk of Bernalillo County, New Mexico in book 98-24, pages 59-79 to 59-82.

Cottonwood Trails

DESIGN GUIDELINES

Prepared by:
Garrett Group, Inc.
1705 Box 10288
Albuquerque, NM 87119-0288

Prepared by:
Consensus Planning, Inc.
824 Park Avenue SW
Albuquerque, NM 87102

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Albuquerque, NM 87102

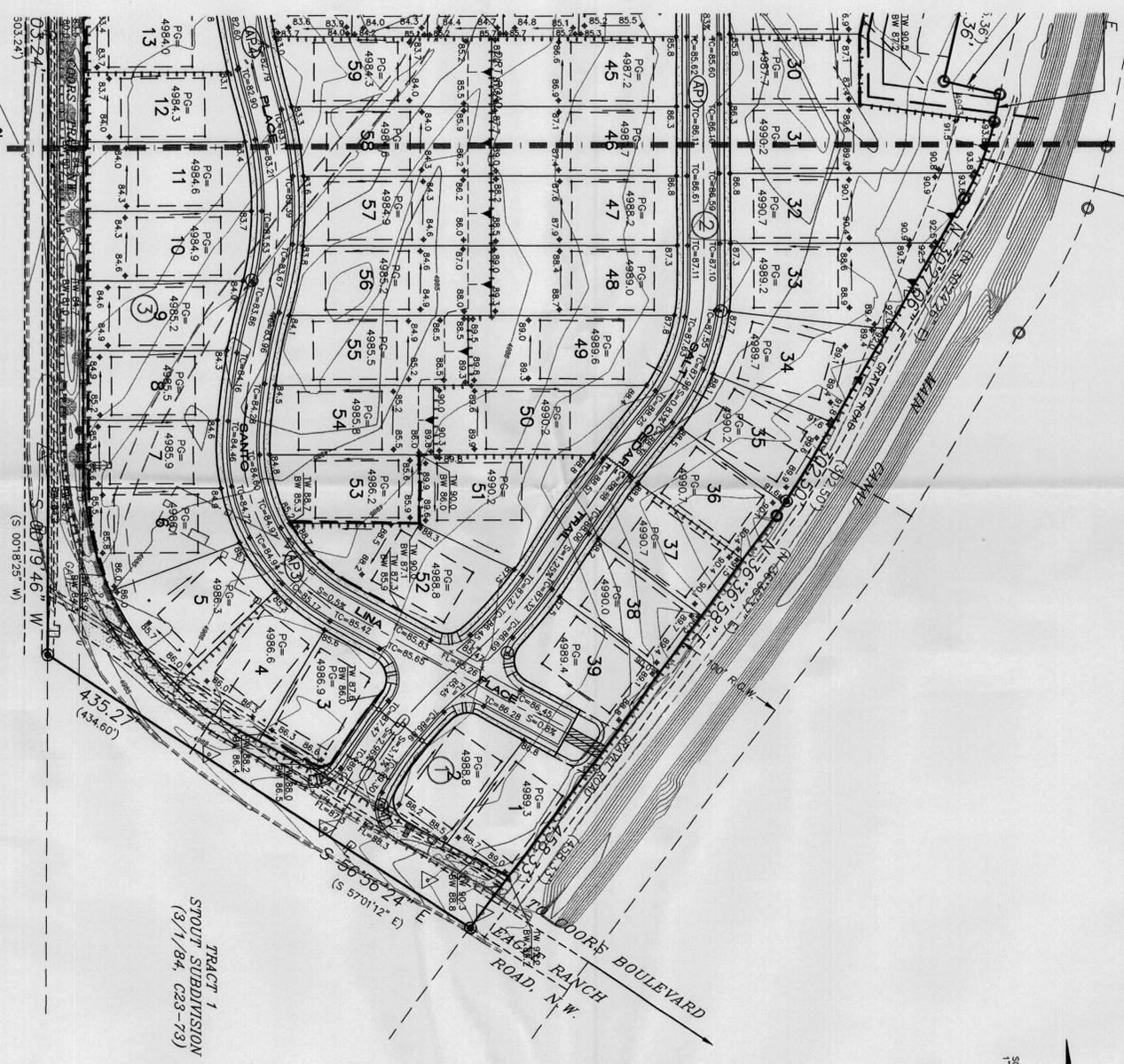
January 10, 2001

Sheet 4 of 8

$\Delta = 17'26.14"$
 $R = 236.50$ ($R=236.50$)
 $L = 71.98$ ($L=71.98$)
 $T = 36.27$
 $CH = N 21'41.14" E$
 $71.70'$

MATCHLINE
 SEE SHEET 1 OF 2

U.S. INDIAN SERVICE
 SOUTHWESTERN INDIAN
 POLYTECHNICAL INSTITUTE
 UN-PLATTED



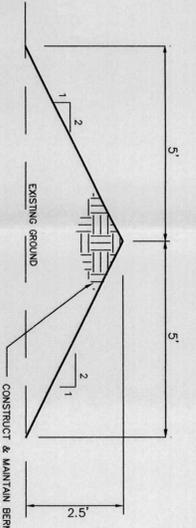
SCALE 1"=50'



TRACT 1
 STOUT SUBDIVISION
 (3/1/84, C23-73)

GRADING NOTES:

1. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFF-SITE.
2. ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
3. EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
4. CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3% FEET.
5. SCARIFY AND COMPACT SUBGRADE FOR FILL. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (22%) CONTENT.
6. UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
7. MAXIMUM SLOPES SHALL BE 3:1 MINIMUM SLOPES SHALL BE 1X.
8. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 280-1990, FOR LOCATION OF EXISTING UTILITIES.
9. IF ANY UTILITY LINES, PRELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, INACCURATE, OR CHANGING. CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PRELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING HERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREOF. THE CONTRACTOR SHALL ANNOUCE THE LOCATION OF EXISTING UTILITY LINES, PRELINES, OR UNDERGROUND UTILITY LINES TO THE CITY ENGINEER PRIOR TO ANY EXCAVATION AND PRESERVE ANY AND ALL EXISTING UTILITIES, PRELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND EXCAVATION WORK, THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PRELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND EXCAVATION WORK, THE CONTRACTOR SHALL COMPLY WITH ALL CITY, COUNTY, STATE, FEDERAL, AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
10. THE CONTRACTOR SHALL PROPERLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT ERODED AND WASHED DOWN THE STREET.
11. OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. ALLOW TESTING SERVICE TO INSPECT AND APPROVE COMPLETED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE DENSITY. CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTOR AND TESTING AT NO ADDITIONAL EXPENSE.
12. OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROTECT ALL OTHER CONSTRUCTION STAKES INCLUDING TRACT CORNERS. CONTRACTOR SHALL CORNER AND PRESERVE ALL BOUNDARY CORNERS AND REMOVE ANY LOST OR DISTURBED CORNERS.



EROSION CONTROL BERM
 SCALE: 1"=2'

EROSION CONTROL

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO THE PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING EROSION CONTROL BERMS (AS DETAIL ABOVE) AS SHOWN ON THE PLAN AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
2. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
3. SEE GRADING NOTES.

LEGEND

— 4900 —	EXISTING CONTOUR
◆ 78.3	PROPOSED SPOT ELEVATION
→	FLOW ARROW
— PG=4984.3	PAD GRADE ELEVATION
— TC 81.95	TOP OF CURB ELEVATION
— FL 81.45	FLOWLINE ELEVATION
— TW 88.2	TOP OF RETAINING WALL
— BW 86.4	BOTTOM OF RETAINING WALL
—	WATER BAR
—	PROPOSED RETAINING WALL
— NW=77.0	INVERT ELEVATION
— (AP) —	ANALYSIS POINT
— (2) —	BASIN ID
—	BASIN BOUNDARY
—	EROSION CONTROL BERM

ISAACSON & ARBMAN, P.A.
 CONSULTING ENGINEERS
 158 Avenue Street, New Mexico
 ALBUQUERQUE, NM 87102

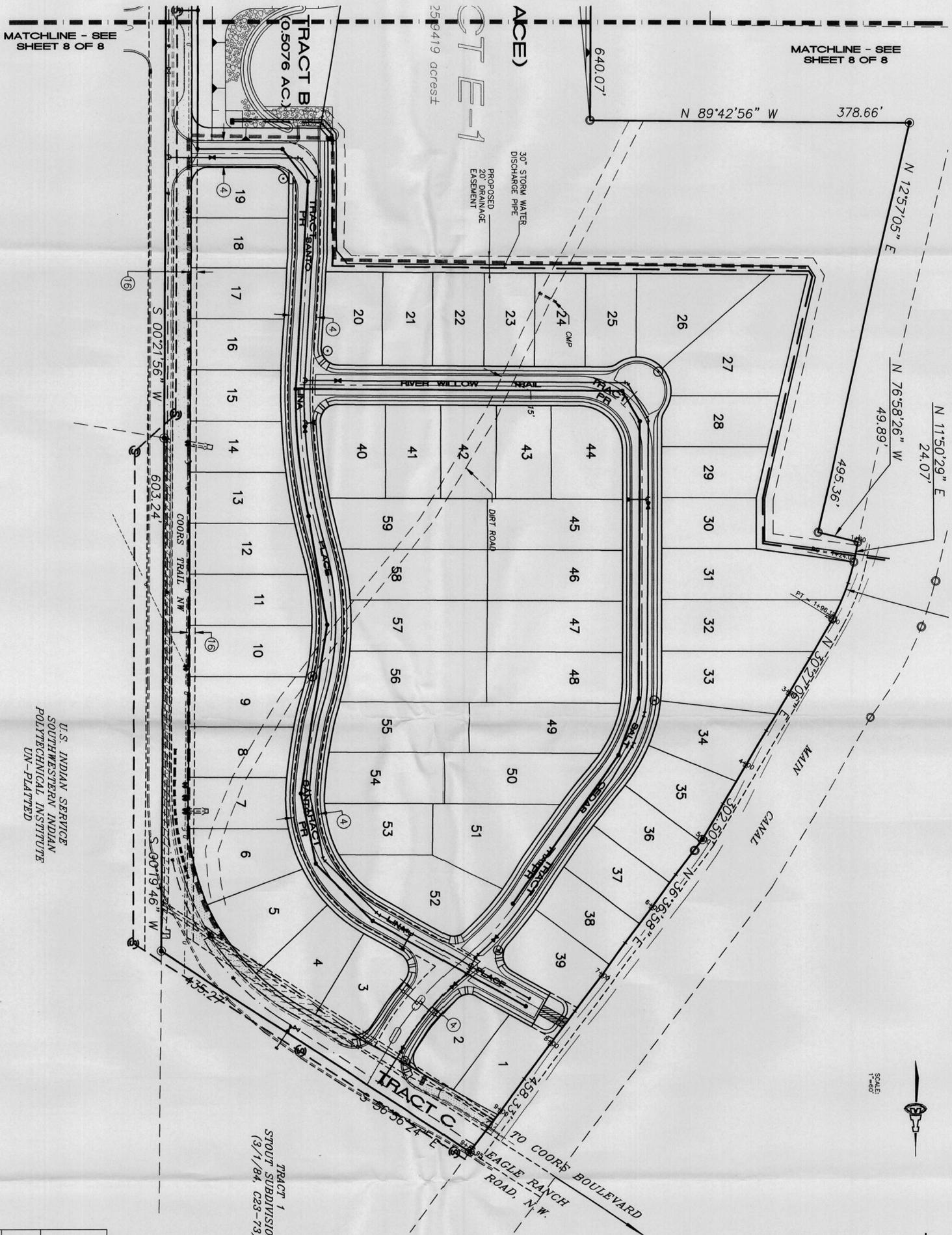
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

TITLE:
 COTTONWOOD TRAILS SUBDIVISION
 GRADING & DRAINAGE PLAN

Design Review Committee City Engineer Approval
 City Project No. Zone Map No. D-13
 Last Design Update Sheet 6 of 8

NO.	DATE	REMARKS	BY
REVISIONS			
DESIGN			
DESIGNED BY	FCA	DATE	12/00
DRAWN BY	ANW	DATE	12/00
CHECKED BY	FCA	DATE	12/00

ENGINEER'S SEAL	SURVEY INFORMATION	BENCH MARKS	AS-BUILT INFORMATION
	FIELD NOTES		CONTRACTOR
	1. PRECISION SURVEYING 01/00	U.S. COE STA. "R. ALAMEDA B-2" NM STATE PLANE	NO. DATE
		COORDINATES (CENTRAL ZONE) BY ACS	STAMPED BY DATE
		ELEV=5,085.25	INSPECTOR'S ACCEPTANCE BY DATE
			FIELD VERIFICATION BY DATE
			DRAWINGS CORRECTED BY DATE
			MICRO-FILM INFORMATION
			RECORDED BY DATE
			NO.

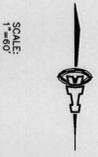


MATCHLINE - SEE SHEET 8 OF 8

MATCHLINE - SEE SHEET 8 OF 8

U.S. INDIAN SERVICE
SOUTHWESTERN INDIAN
POLYTECHNICAL INSTITUTE
UN-PLATTED

TRACT 1
STOUT SUBDIVISION
(3/1/84, C23-73)



- LEGEND**
- PROPOSED RETAINING WALL
 - INVERT ELEVATION
 - EXIST. WATERLINE
 - EXIST. SAS W/ MANHOLE
 - PROP. WL W/ FITTINGS
 - PROP. SAS W/ MANHOLE
 - PROP. STREET LIGHT

ISAACSON & ARPMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
New Mexico 87102
1470111.DWG REV 1 02/05/01

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

UTILITY MASTERPLAN

Design Review Committee City Engineer Approval

City Project No. Zone Map No. Sheet 7 of 8

NO.	DATE	REMARKS	BY
		DESIGN	

ENGINEER'S SEAL

SURVEY INFORMATION

FIELD NOTES

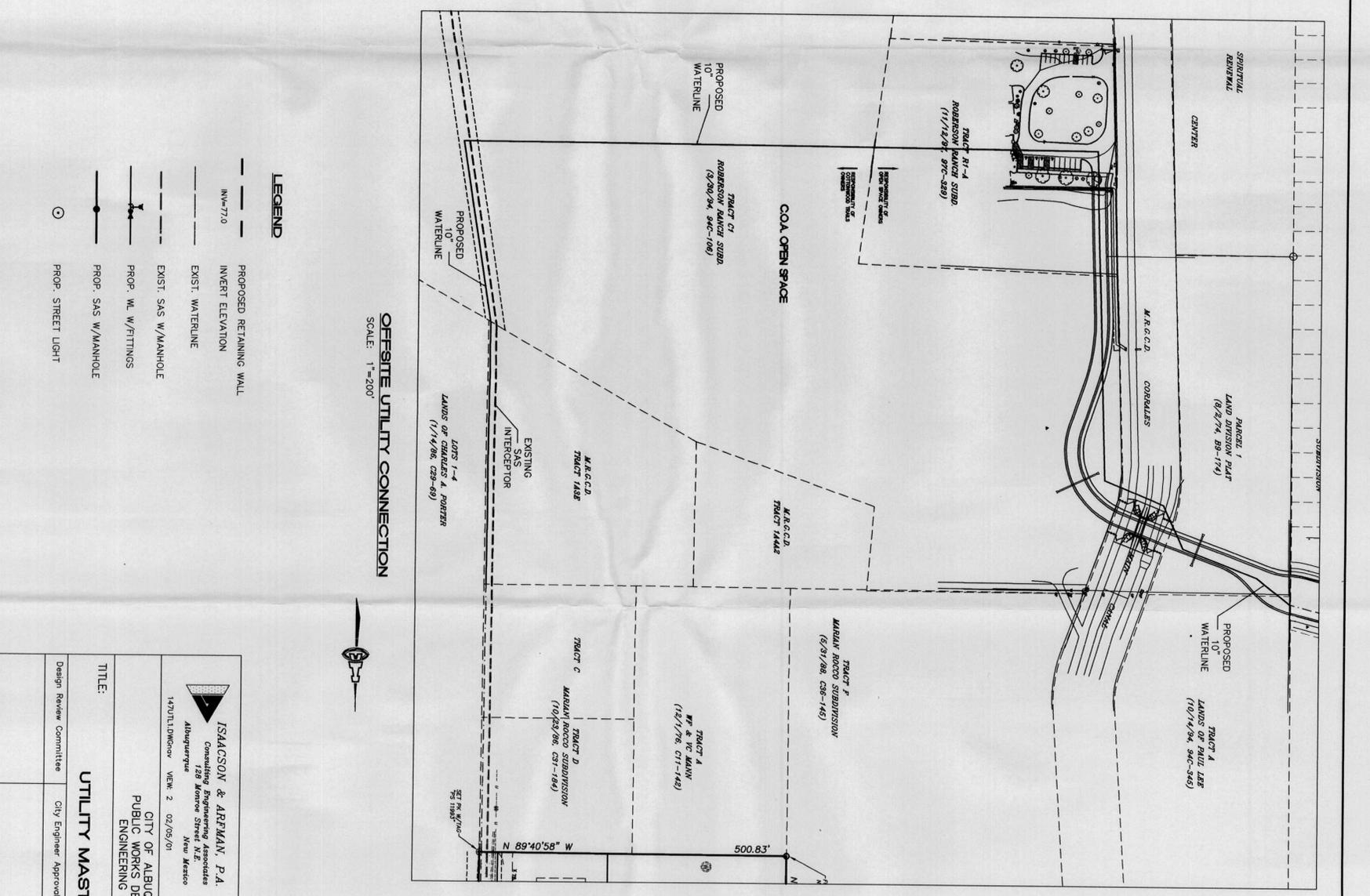
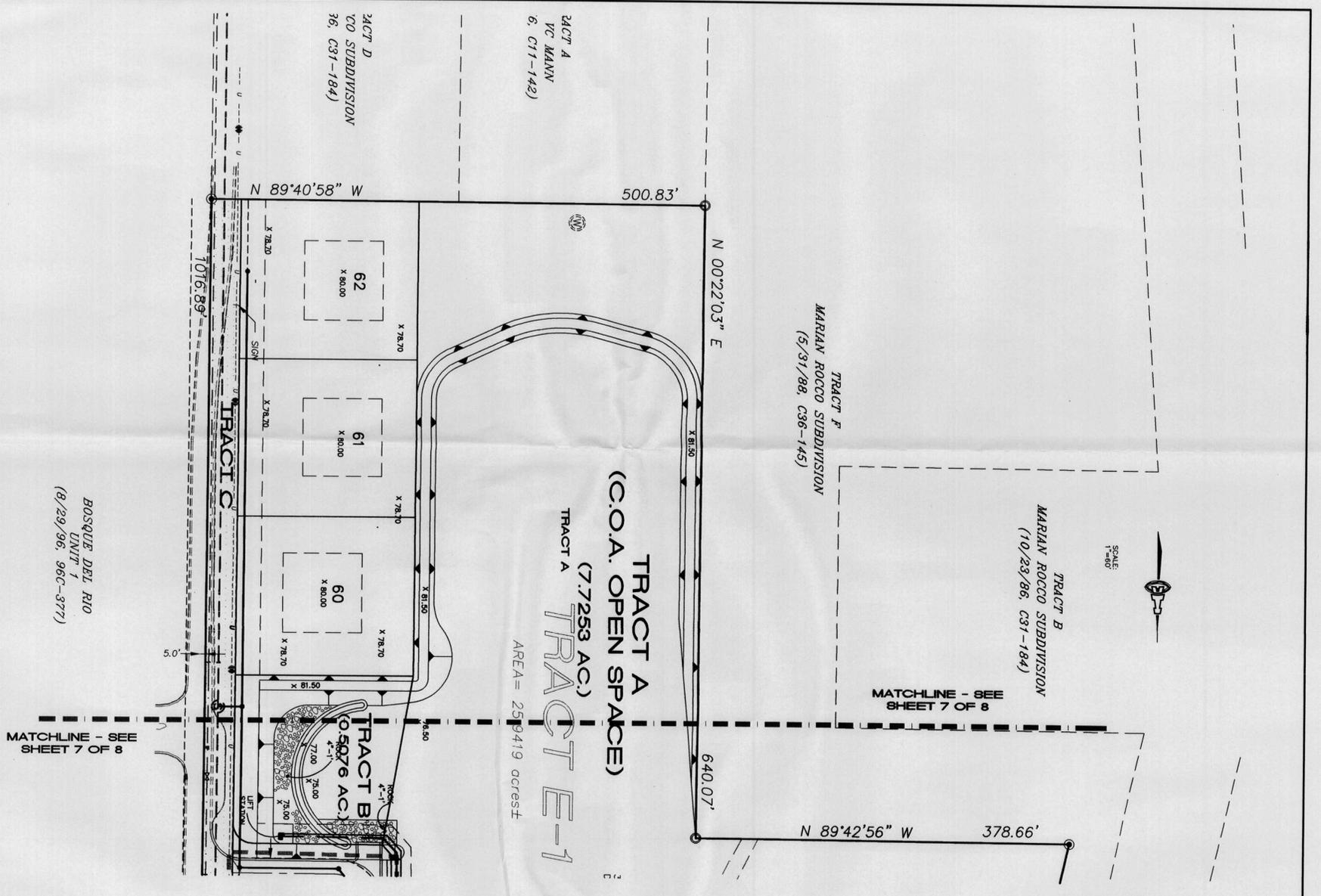
BENCH MARKS

AS-BUILT INFORMATION

CONTRACTOR	DATE
WORK STATED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	



- LEGEND**
- PROPOSED RETAINING WALL
 - INVERT ELEVATION
 - EXIST. WATERLINE
 - EXIST. SAS W/MANHOLE
 - PROP. WL W/FITTINGS
 - PROP. SAS W/MANHOLE
 - PROP. STREET LIGHT

OFFSITE UTILITY CONNECTION
SCALE: 1"=200'

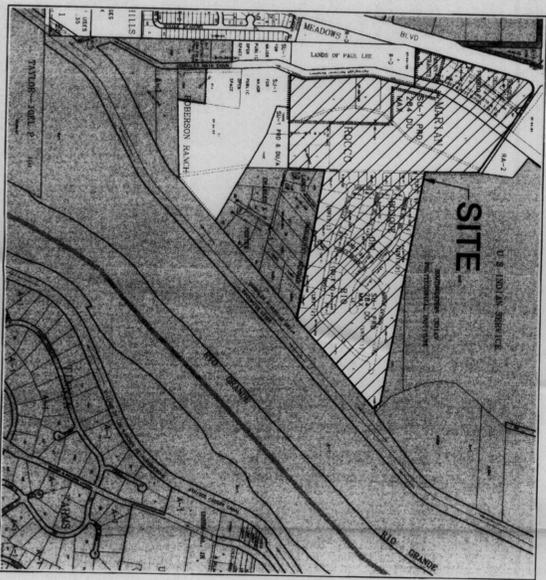
ISAACSON & ARKMAN, P.A.
Consulting Engineers, Architects
128 Monroe Street, N.E.
Albuquerque, New Mexico
1470112.DWG REV. 2 02/05/01

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP**

**TITLE:
UTILITY MASTERPLAN**

Design Review Committee	City Engineer Approval
Zone Map No.	Zone Map No.
City Project No.	City Project No.
Sheet 8	Of 8

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		FIELD NOTES				CONTRACTOR	
NO.	DATE	REMARKS	BY			CONTRACTOR	DATE
		DESIGNED BY	DATE			WORK STAKED BY	DATE
		DRAWN BY	DATE			INSPECTOR'S ACCEPTANCE BY	DATE
		CHECKED BY	DATE			FIELD VERIFICATION BY	DATE
						DRAWINGS CORRECTED BY	DATE
						MICRO-FILM INFORMATION	
						RECORDED BY	DATE
						NO.	



APPROVED SITE PLAN FOR SUBDIVISION:
City Council Bill O-19, April 4, 1988.
(Revised February 6, 2001)

Exhibit 2
O-19 of the Eighth Council

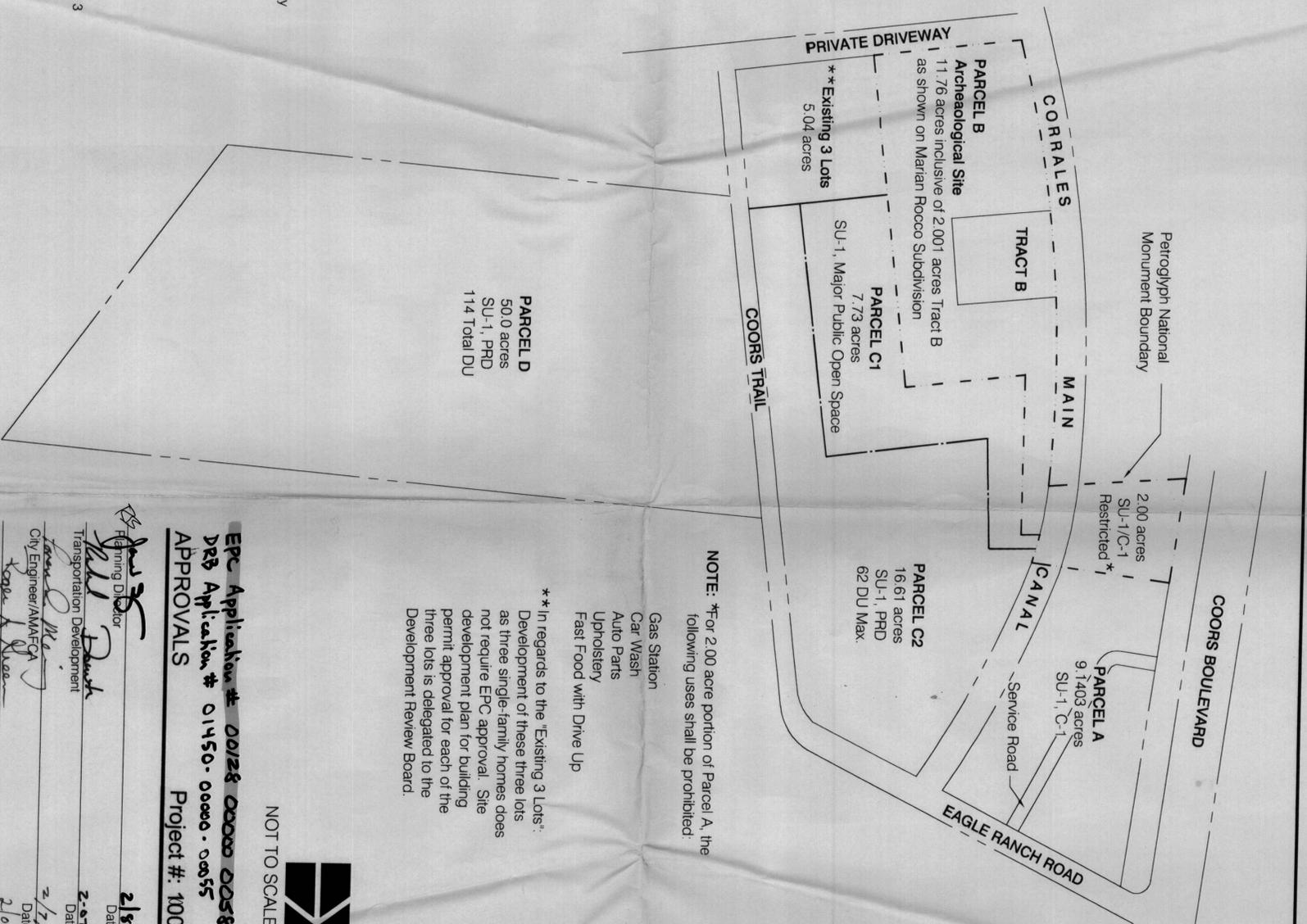
SITE DEVELOPMENT PLAN POLICIES
("Parcels" refer to those shown in Exhibit 1)

PARCEL C1:
1. The site shall be Major Public Open Space owned and maintained by the City of Albuquerque.

- PARCEL C2:
- Development shall consist of not more than 62 houses and their incidental improvements.
 - All internal streets shall be private, and the community shall be gated.
 - A paved road has been constructed, including utilities, in accordance with City standards, and as defined and illustrated on sheets 4-13 of the Bosque del Rio Site Development Plan for Building Permit (DRB#94-578).
 - A local street shall intersect Eagle Ranch Road near its north end (just east of the Corrales Main Canal), so that all of the subdivision traffic does not travel a substantive distance on Coors Trail before accessing local residential streets.
 - Water and sanitary sewer lines have been constructed adjacent to Eagle Ranch Road and Coors Trail which includes sufficient capacity to serve the Coors Trail residences.
 - All utilities shall be underground.
 - No emergency ingress and egress (knock-down barrier) is required over the Corrales Main Canal and the 2.0 acre portion of Parcel A (Visitor's Center).

- PARCEL D (Matsubara Property):
- Development consists of 114 houses and their incidental improvements as approved by Z-95-24, DRB#94-578.
 - All internal streets are private.
 - The lots adjacent to the southern and eastern boundaries (the "Boundary Lots") are at least one acre in size, inclusive of easements.
 - An easement has been placed over and across one or more of the interior streets within the Bosque del Rio subdivision for pedestrian and equestrian use and access to and from the Coors Trail neighborhood to and from the Rio Grande Bosque east of the Bosque del Rio subdivision. The Bosque del Rio subdivision has granted a 12 foot wide access easement between lots 26 and 114 for the exclusive use of the Bosque del Rio residents and the Coors Trail neighborhood. The access to the Rio Grande Bosque shall be controlled with a gate. These easements are indicated on the Bosque del Rio Plat, Units 1, 2, and 3 (DRB#94-578).
 - If at least 60 percent of the area in the rear yards of the Boundary Lots is not planted in vegetation which is maintained, the rear yards shall be enclosed with a solid fence or wall at least six feet high.
 - For the south-side Boundary Lots the rear-yard setback shall be at least 100 feet.
 - All utilities shall be underground.

EXHIBIT 1



NOTE: *For 2.00 acre portion of Parcel A, the following uses shall be prohibited:

- Gas Station
- Car Wash
- Auto Parts
- Upholstery
- Fast Food with Drive Up

**In regards to the "Existing 3 Lots", Development of these three lots as three single-family homes does not require EPC approval. Site development plan for building permit approval for each of the three lots is delegated to the Development Review Board.

NOT TO SCALE

EPC Application # 00128 00000 00584
DRB Application # 01450-00000-00055
APPROVALS
Project #: 100493

Planning Director: *[Signature]* Date: 2/8/01
City Engineer/MARCA: *[Signature]* Date: 2/12/01
Utility Development: *[Signature]* Date: 2/07/01
Parks and Recreation Department: *[Signature]* Date: 2/07/01

NOTES

- PARCEL A
- The design guidelines for the commercial lots of Parcel A (as approved by Bosque del Pueblo plat) and the 2.0 acre restricted C-1 parcel will be as follows:
- Proposed uses would be those found in the C-1 zone, plus restaurant with full liquor license excluding package liquor sales.
 - Permitted architectural styles will include pueblo, southwestern territorial, spanish mission, or mediterranean. Structures will be limited to single story, earth tones, and roof mounted mechanical systems will be required to be screened. The sight-planes of the Coors Corridor plan will be maintained. The maximum building height will be 20 feet.
 - Maximum floor area ratio (FAR) for any lot will be limited to 28%.
 - Landscaping will include the requirement to landscape and maintain a 35 foot buffer strip along Coors Boulevard.
 - Each lot shall have minimum width of 100 feet, with set-backs of a minimum of 30 feet from the frontage road, 10 feet on all side lot lines and 15 feet for the rear lots for all commercial lots backing onto the Corrales Main Canal.
 - Signage will be limited to one free-standing sign per commercial lot, not to exceed 20 feet in height, and not to exceed 75 square feet of sign area.
 - Perimeter walls will only be permitted on the rear portions of those lots backing onto the Corrales Main Canal, and shall not exceed 5 feet in height.
 - No individual commercial building shall exceed 30,000 square feet of floor area.

PARCEL C1:
Zoning for the 7.73 acre site is SU-1 for Major Public Open Space.

- PARCEL C2:
- Zoning proposed for the 16.61 acre site is SU-1 for PPD for 62 dwelling units.
 - There will be architectural covenants to restrict design to pueblo, southwestern territorial, spanish mission, northern new mexican, or mediterranean style.
 - A wall to match the wall along the Archeological Site shall be built along the southern boundary of Parcel C1, continuing along the shared boundary between Parcels C1 and C2, and along the western boundary of Parcel C2 adjacent to the Corrales Main Canal as approved by City Open Space Division. Internal residential streets will be private, 24 ft. paving section with gravel shoulder, no sidewalks, to maintain the "country flavor" of the area. The streets and lots will be custom-designed to preserve as many of the existing cottonwood trees as possible.

PARCEL D:
This property, consisting of approximately 50.0 acres, is zoned for PPD, maximum 117 DUs, all single family detached homes.

- There will be architectural covenants to restrict design to pueblo, southwestern territorial, spanish mission, or mediterranean style.
- Internal residential streets will be private, 24 foot paving section with gravel shoulder, no sidewalks, to maintain the "country flavor" of the area.

GENERAL NOTES

- Maximum building height on residential parcels will be 26 feet.
- Building set-back will conform to R-1 zoning requirements on residential parcels and C-1 zoning requirements on the commercial parcel.
- Remaining design characteristics will be subject to final site plan approval and existing neighborhood agreements.
- A pull out space to accommodate a minimum of 3 vehicles shall be provided adjacent to the drainage facility for access to the major public open space by the public. The surface shall be either gravel or crusher fine.

LAND USE ALLOCATIONS	ZONING	LAND AREA
A	SU-1/C1	9.1403 acres
B	MPOS	11.76 acres
C1	SU-1/PRD	7.73 acres
C2	SU-1/PRD	16.61 acres
D	SU-1/PPD	50.0 acres

Cottonwood Trails

SITE PLAN FOR SUBDIVISION AMENDMENT

Prepared by:
Garrett Group, Inc.
PO Box 10286
Albuquerque, NM 87184-0286

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

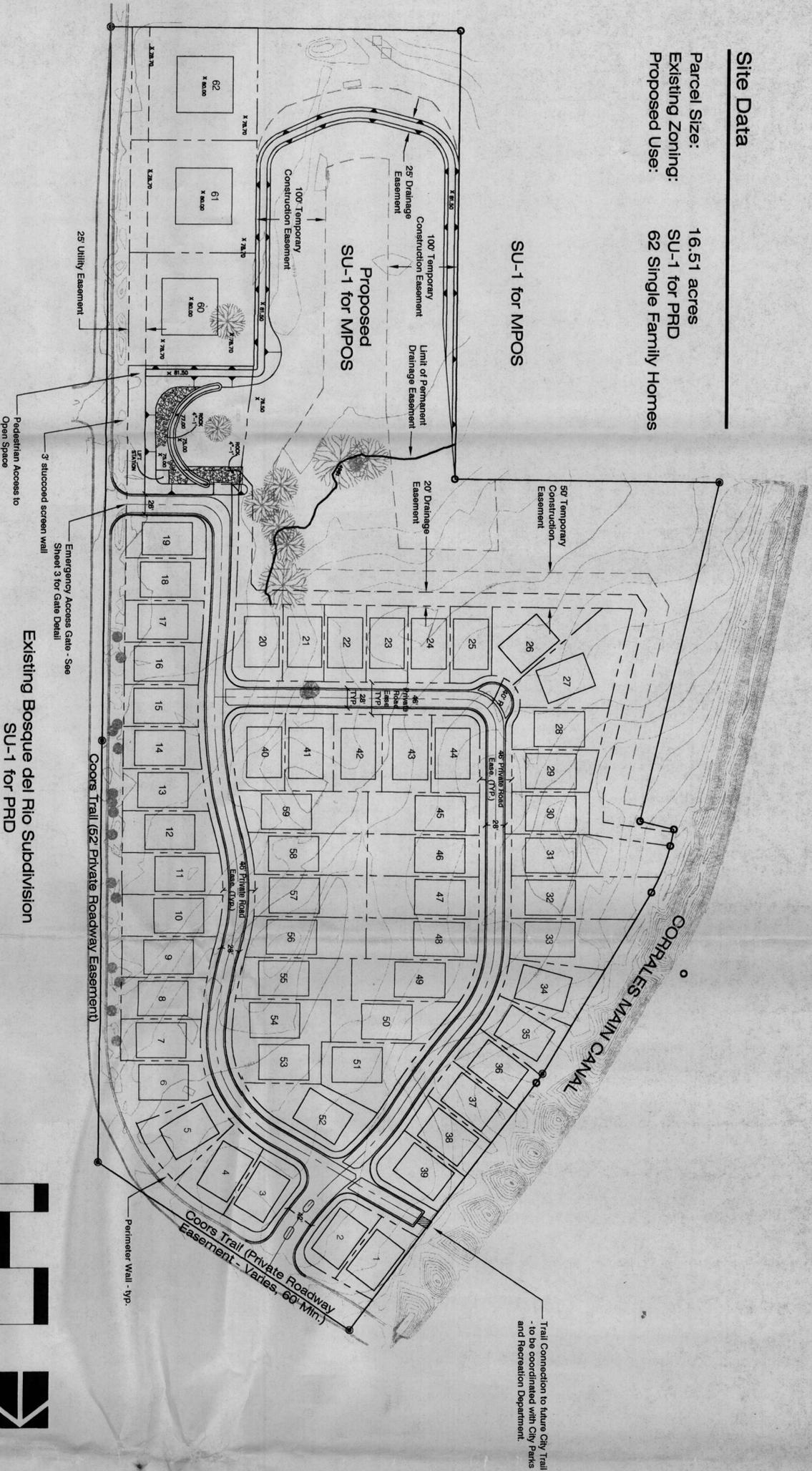
Consensus Planning
February 6, 2001

Sheet 1 of 1

PARCEL "C"

Site Data

Parcel Size: 16.51 acres
 Existing Zoning: SU-1 for PRD
 Proposed Use: 62 Single Family Homes



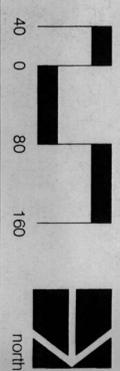
APPROVED SITE PLAN FOR SUBDIVISION:
 City Council Bill O-19, April 4, 1988.

GENERAL NOTES

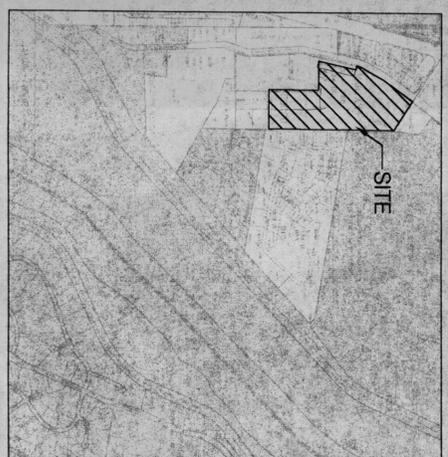
1. Maximum building height on residential parcels will be 28 feet.
 2. Building set-back will conform to R-1 zoning requirements on residential parcels and C-1 zoning requirements on the commercial parcel.
 3. A license will be obtained from MFGCD for a bridge crossing to link the Visitors Center Site with the Archaeological Site.
 4. The specific location of the bridge crossing the Corrales Main Canal will be determined with the license application.
 5. Remaining design characteristics will be subject to final site plan approval and existing neighborhood agreements.
- NOTES**
- PARCEL C**
- Zoning proposed for the 30.9314 acre site is SU-1 for PRD for 124 dwelling units.
1. There will be architectural covenants to restrict design to public, southwestern territorial, spanish mission, or mediterranean style. Lots adjacent to the Archaeological Site shall be restricted to single story and there will be a building set-back line from the Archaeological Site boundary of 35 feet.
 2. A wall to match the wall along the Archaeological Site shall be extended north along the entire length of the Corrales Main Canal adjacent to this parcel.
 3. Internal residential streets will be private, 24 ft. paving section with gravel shoulder, not sidewalks, to maintain the "country flavor" of the area. The streets and lots will be custom-designed to preserve as many of the existing cottonwood trees as possible.

SITE DEVELOPMENT PLAN POLICIES

- PARCEL C**
1. Development shall consist of not more than 124 houses and their incidental improvements.
 2. All internal streets shall be private.
 3. A Boulevard (the Boulevard) with a landscaped median shall be constructed from Eagle Hatch Road to the south end of the Property, with the existing 22 foot private access easement serving as the north-bound segment of the Boulevard; the Boulevard shall provide access to and only to the Mann-Rocco-Zuris Property (Parcel C), the Matsubara Property (Parcel D), the Stan Zuris Property, and the properties fronting on Coors Trail.
 4. A local street shall intersect the Boulevard near its north end, so that all of the subdivision traffic does not travel a substantial distance on the Boulevard before accessing local residential streets.
 5. Water and sanitary sewer lines shall be constructed in the Boulevard which include sufficient capacity to serve the Coors Trail residences.
 6. All utilities shall be underground.



VICINITY MAP



APPROVALS

Planning Director	Date
Transportation Development	Date
City Engineer/AWA/CA	Date
Utility Development	Date
Parks and Recreation Department	Date

Cottonwood Trails

SITE PLAN FOR SUBDIVISION AND BUILDING PURPOSES

Prepared for:
 Garrett Group, Inc.
 PO Box 10285
 Albuquerque, NM 87184-0285

Prepared by:
 Consensus Planning, Inc.
 924 Park Avenue SW
 Albuquerque, NM 87110

Smith Engineering, Inc.
 6400 Uptown Blvd. NE, Suite 500E
 Albuquerque, NM 87110

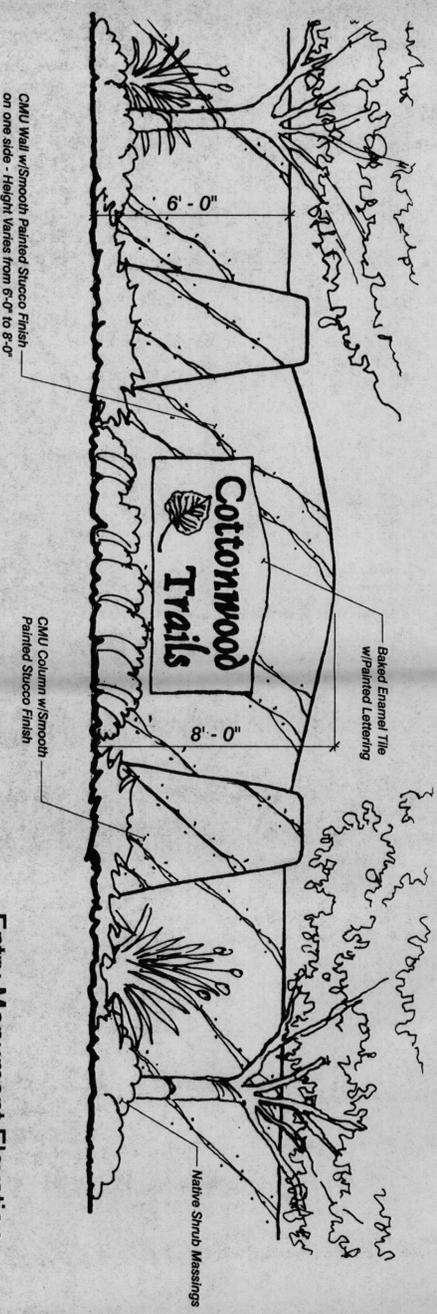
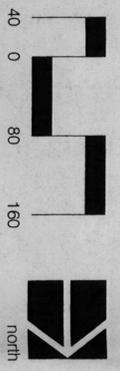
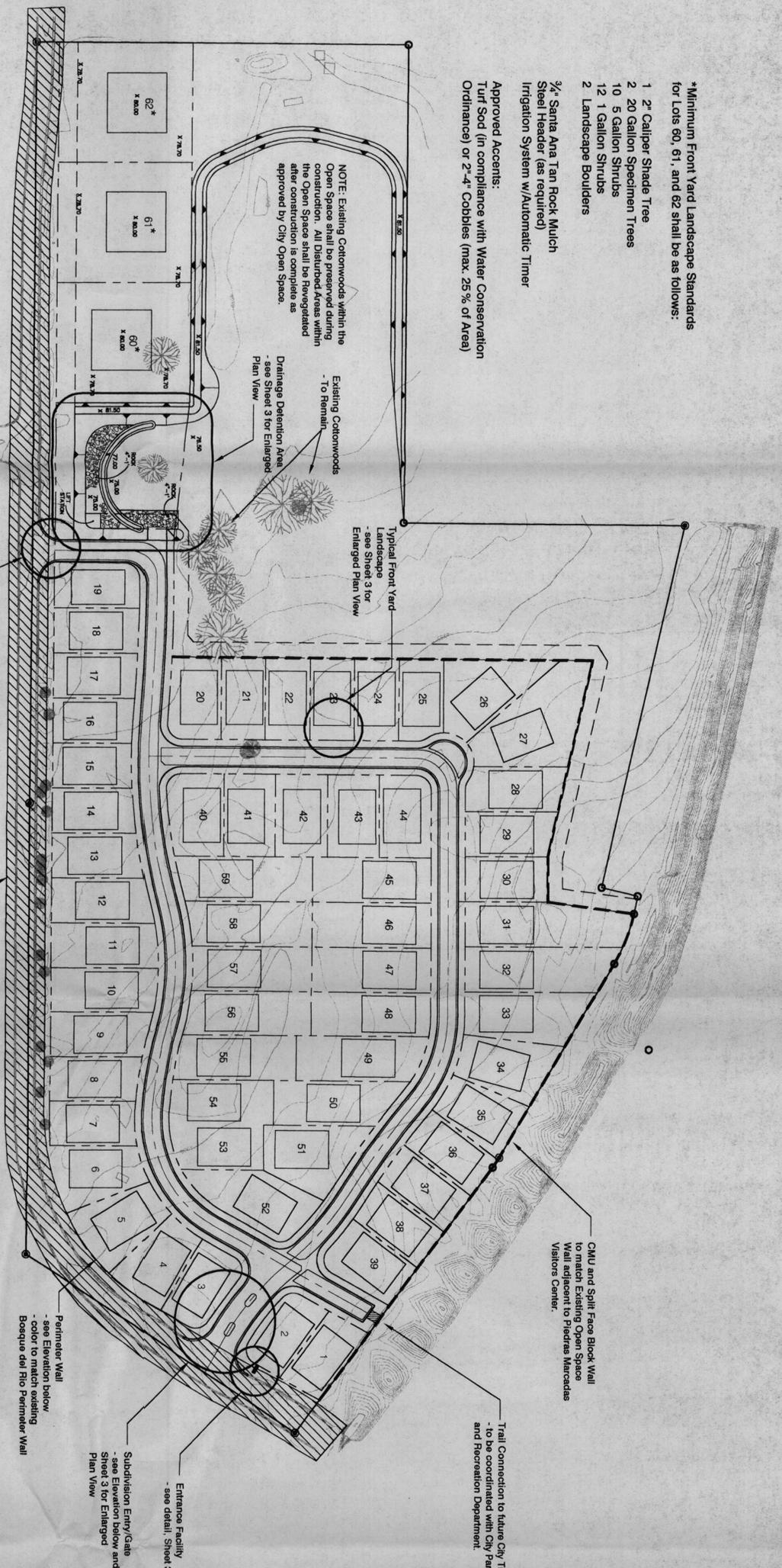
***Minimum Front Yard Landscape Standards for Lots 60, 61, and 62 shall be as follows:**

- 1 2" Caliper Shade Tree
- 2 20 Gallon Specimen Trees
- 10 5 Gallon Shrubs
- 12 1 Gallon Shrubs
- 2 Landscape Boulders

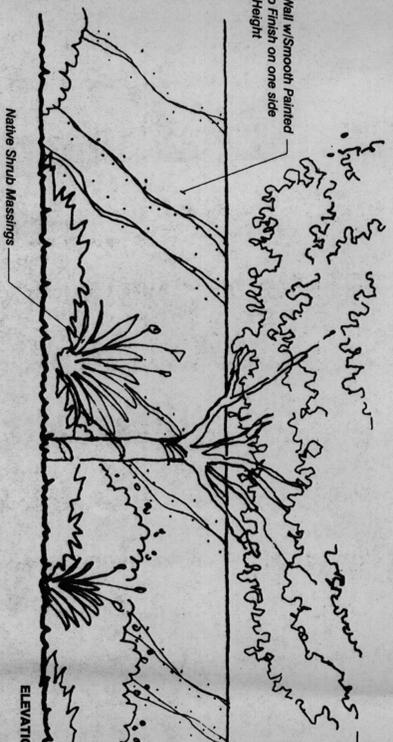
3/4" Santa Ana Tan Rock Mulch Steel Header (as required) Irrigation System w/Automatic Timer

Approved Accents:
Turf Sod (in compliance with Water Conservation Ordinance) or 2"-4" Cobbles (max. 25% of Area)

NOTE: Existing Cottonwoods within the Open Space shall be preserved during construction. All Disturbed Areas within the Open Space shall be revegetated after construction is complete as approved by City Open Space.



Entry Monument Elevation
Scale: 3/8" = 1'-0"



Perimeter Wall @ Coors Trail
Scale: 3/8" = 1'-0"

LANDSCAPE CONCEPT

The landscape concept for Cottonwood Trails has been developed to enhance and follow the patterns of the surrounding environment. The entry monument will feature small groupings of Cottonwood, Ash and Fire varieties. The ground plane will be developed with massings of native shrub, groundcover, and perennial materials with accent materials interspersed.

GENERAL

The design and provision of landscape for the Cottonwood Trails Subdivision will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

STREET TREE ORDINANCE REQUIREMENTS

Coors Trail at this point is considered a Collector Street and does not fall under the requirements of the City of Albuquerque street Tree Ordinance.

UTILITY NOTES

Due to the small scale, and in order to provide optimum legibility of the landscape plan, utility easements are not shown. The location of utility easements are as indicated on Site Plan.

IRRIGATION SYSTEM

Irrigation system shall consist of a fully automated sprinkler/drip irrigation system to irrigate tree, shrub, and groundcover planting areas.

MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system shall be the responsibility of the Owner. All planting areas will be maintained in a living, attractive, and weed free condition.

GENERAL PLANT PALETTE

This list is provided as a guide only. Additional plant materials included in the Albuquerque Plant List are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

Large Canopy Trees (2" Caliper Min.)
Cottonwood (femal), Autumn Purple Ash, Honeylocust species, Chinese Pistache

Emergreen Trees (6" Min. Height)
Austin Pine, Scotch Pine, Pison Pine

Accent Trees (1 1/2" Caliper Min.)
Desert Willow, New Mexico Olive, Flowering Pear, Flowering Plum

Shrubs (1 & 5 Gallon)

Juniper Species, Potentilla, Chamisa, Artemisia Species, Fourwing Saltbush, Red Yucca, Apache Plume, Datura Species, Penstemon Species, Desert Spoon, Coronaster Species, Cherry Sage, Russian Sage, Three-leaf Sumac, Caryopteris, Yucca Species

Groundcovers and Vines

Tournefort Vine, Carolina Jessamine, Juniper species, honeysuckle, Wisteria, Virginia Creeper

Turf Grasses (Seed or Sod)
Kentucky Bluegrass (Max. 20% of landscape area)
Fescue (Max. 20% of landscape area)
Briar/Blue Grama Grass

Mulches

Cuscuter Fines, Bark Mulch, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Rock Mulch

Boulders (5" Max. Dimension)
Moss Rock and/or Granite

Cottonwood Trails

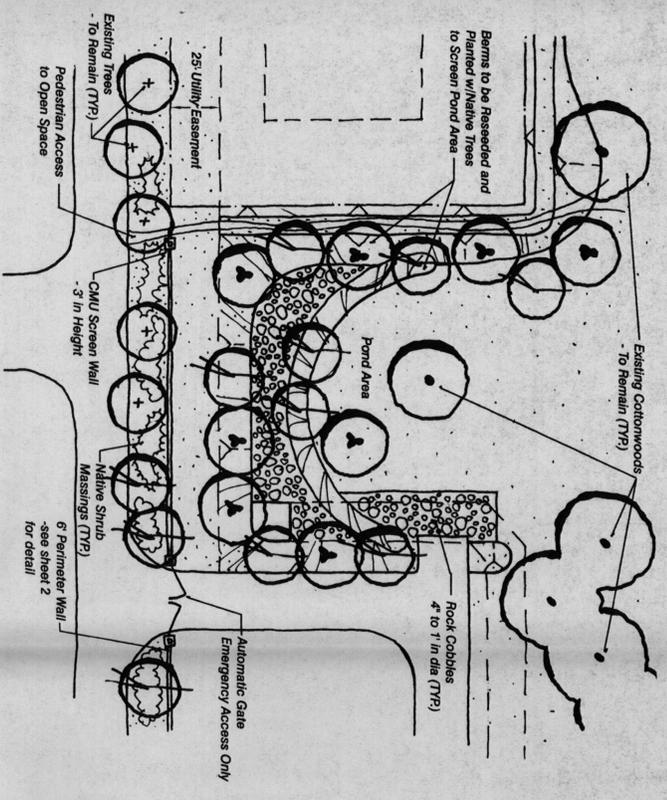
LANDSCAPE PLAN

Prepared for:
Garrett Group, Inc.
PO Box 10285
Albuquerque, NM 87184-0285

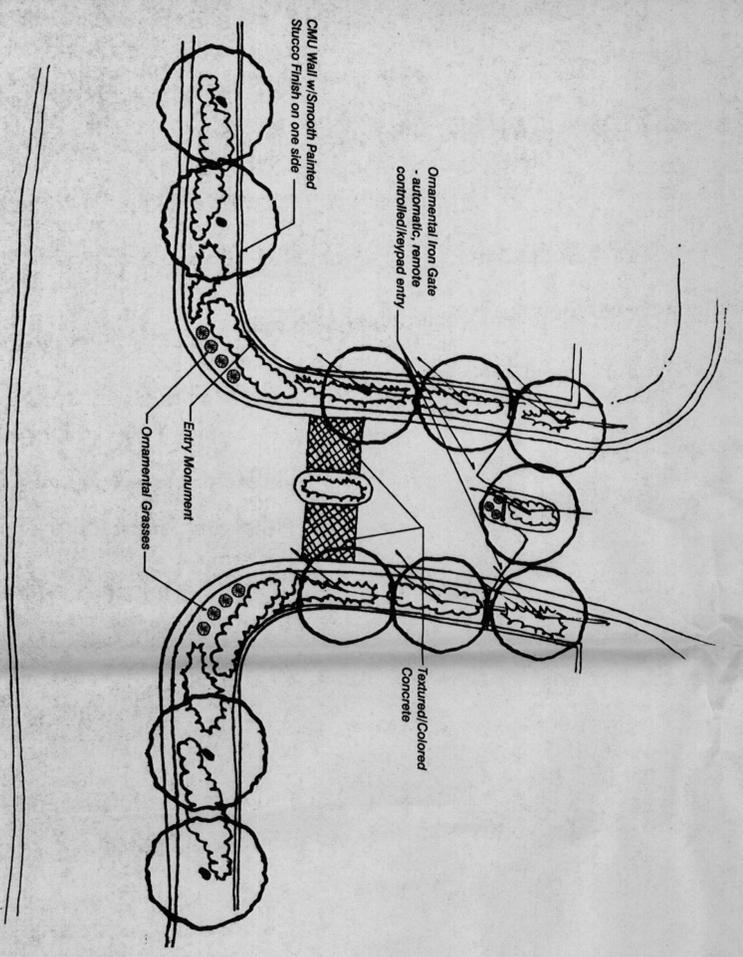
Prepared by:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102
Smith Engineering, Inc.
6400 Uplown Blvd. NE, Suite 500E
Albuquerque, NM 87110

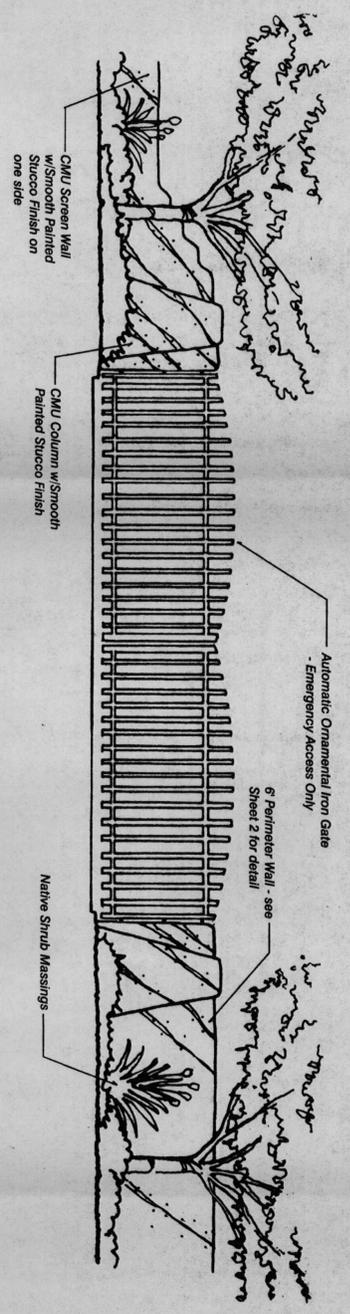




Drainage Detention Area Plan
Scale: 1" = 40'

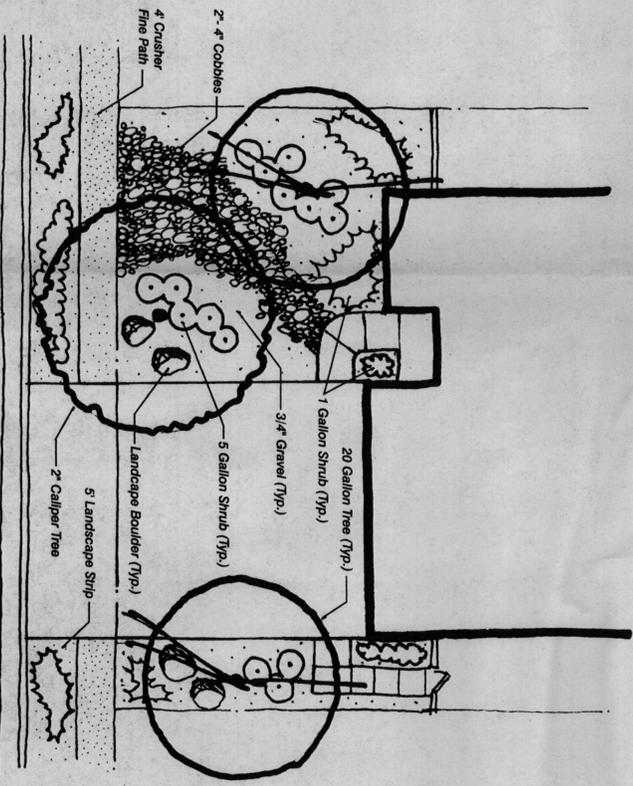


Subdivision Entry/Gate Plan
Scale: 1" = 20'

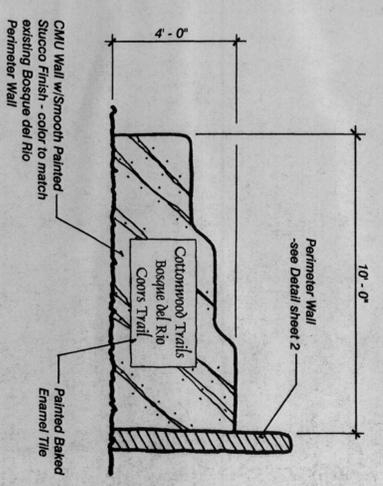


Emergency Access Gate Elevation
Scale: 1/4" = 1' - 0"

- Minimum Front Yard Landscape Standards for Cottonwood Trails (Standard Lot)
- 1 2' Calliper Shade Tree
 - 2 20 Gallon Specimen Trees
 - 8 5 Gallon Shrubs
 - 8 1 Gallon Shrubs
 - 2 Landscape Boulders
- 3/4" Santa Ana Tan Rock Mulch
Steel Header (as required)
Irrigation System w/ Automatic Timer
- Approved Accents:
Turf Sod (in compliance with Water Conservation Ordinance) or 2'-4" Cobbles (max. 25% of Area)



Typical Front Yard Landscape Plan
Scale: 1/8" = 1' - 0"



Entrance Facility Elevation
Scale: 3/8" = 1' - 0"

Cottonwood Trails

CONCEPTUAL LANDSCAPE DETAILS

Prepared for:
Garrett Group, Inc.
PO Box 10285
Albuquerque, NM 87184-0285

Prepared by:
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DESIGN GUIDELINES FOR COTTONWOOD TRAILS

The following are guidelines for homes built in the Cottonwood Trails subdivision ("Cottonwood Trails Guidelines"). The construction of homes in Cottonwood Trails will be subject to the review of the Cottonwood Trails Architectural Control Committee (the "CTACC") as described below. Builder will construct all homes within Cottonwood Trails in compliance with these Guidelines.

A. Architecture Styles

All homes must be Pueblo, Mediterranean, or Mediterranean Eclectic style. Below are described characteristics of the different styles. While these characteristics are typical, it is no the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains the characteristics of one of the styles listed below and adheres to the Guidelines. The ACC retains the right to approve or deny any aspects of the design on a case-by-case basis without limitation.

- 1. Pueblo Style** - Pueblo style is walled architecture recalling the low adobe, flat roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the "Pueblo" buildings of historic Santa Fe, Pueblo style incorporates recessed set doors and windows, and dramatically recessed portals or patios (at front facades). The Pueblo style traditionally uses flat roofs and relies extensively on post and beam or bearing wall construction. Interesting massing and soft edged smooth stucco are distinctive features of this style.
- 2. Mediterranean Style** - Low-pitched gabled or hipped roofs (that in some cases) characterize the Mediterranean style. Windows and doors may have arches above, windows tend toward full lengths, and entry porches are characteristically recessed. The facade is broken into multiple masses and the wall finishes of stucco, potentially with stone accent materials, and belt courses at walls and parapets.
- 3. Mediterranean Eclectic Style** - The Mediterranean eclectic style is similar to the Mediterranean style but with additional embellishments. This style is more likely to have stone accents added to the facade at some locations, roof slopes may be steeper, detailing is often more active and varied, and additional masses may be added.

B. Building Massing

For all of the architectural styles listed above, building massing is critical, especially for the street elevations. Building masses should be offset from the adjacent masses by an appropriate dimension to the size of the building and approved by the CTACC. The front and rear (if adjacent to a street) elevations must contain at least three building masses, of which two of the building masses must have at least a 1 foot vertical/horizontal offset. Deviations from the 1-foot minimum massing requirements in the Design Guidelines may be approved on an individual basis. A building mass is defined as a volume of space that usually appears as a rectilinear form, consisting of a roof and at least three (3) walls.

C. Garages

1. Each home must have a garage for not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four parking spaces is provided.
2. Garage doors shall be offset from the surface of the front facade by a minimum of eight inches (8").

D. Windows

All exterior windows and frames of windows must be white or tan color.

E. Setbacks

The use of curvilinear streets, short block lengths, and varied front facades has been utilized to prevent the garage doors from dominating the streetscape.

1. Front yard setback
 - a. No house shall be constructed within fifteen feet (15') from the front property line of a lot.
 - b. The garage shall be constructed to ensure that a twenty-foot (20') minimum parking area exists in front of the garage.
2. Side yard setback - no house shall be constructed within five feet (5') from the side property line of a lot.
3. Rear yard setback - no house shall be constructed within fifteen feet (15') from the rear property line of a lot.

F. Minimum Square Footage

Each home must have at least 1,700 square feet of fully enclosed heating area, exclusive of garages and open porches and patios.

G. Materials and Pre-Approved Building Colors

1. All homes must be finished with stucco or stone. Subject to ACC approval, the only colors of stucco (El Rey or approved equal) or stone finishes that will be allowed on homes are the following:
 - a.
 - b.
 - c.
 - d.
 - e.

Stone: Austin, Brown, Texas Creamy Gray, Desert Blend
Stucco: Soapstone, Candlelight, Buckskin, Ash, Driftwood, Fawn, Palominio, Sandalwood, Hacienda, Ivory
Stucco Perma-Flex: Saddle, Tierra, Stone Bluff, Yellow Horse, Buffalo, Earth, Dry River, Alamo, Laral, Casa

If a brand of stucco is used other than El Rey, the color must match one of the above colors. Additional colors may be approved by the ACC on an individual basis.

2. Stone and/or tile may be used as an accent feature.

H. Building Height

Houses or improvements on any lot shall not exceed nineteen feet (19') for single-story, and the maximum height allowed for two story homes is twenty-six feet (26') as defined by the City of Albuquerque Zoning Code.

1. The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the garage area and porch area. The second story area is calculated exclusive of roof decks and porches. For example, if the first floor has an area of 2,000 square feet, the area of the second story is limited to a maximum of 1,500 square feet.
2. The front elevation of the second story portion of the house shall also be set back a minimum of two feet (2') to eliminate the appearance of a two-story wall.
3. Floor Area Ratio is the ratio of the heated floor area (including multiple stories) of the structures to the lot. In order to ensure that houses are in appropriate proportion to their lot, a Floor Area Ratio of .75 shall not be exceeded.

I. Landscaping

1. Approval Plans for front yard landscaping must be submitted to the CTACC for approval prior to the start of construction of landscaping and must be compatible with the overall subdivision streetscape and must conform to and meet or exceed the minimum standards as approved.
2. Timing of installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of construction of the home, but in any event no later than the date of occupancy of the home.

J. Site Lighting

1. Site lighting shall not have a total off-site luminaire greater than 1000 foot lamberts; however, it shall not have an off-site luminaire greater than 200 foot lamberts measured from the property line of any private property in a residential zone.
2. The mounting height of luminaires in vehicular and/or storage areas shall be no higher than 20 feet.

K. Mechanical Equipment

1. All conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view by parapets that are an integral part of the house (as viewed from the front property line of residences). No air conditioning/heating equipment shall be installed on a pitched roof profile. Equipment that is ground-mounted shall be located within the side or rear yard and screened from the front and sides.
2. Any roof-mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design, and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.

L. Fireplaces

Fireplaces and/or stoves within the residence shall be limited to gas logs and Environmental Protection Agency approved wood-burning devices. No ordinary wood-burning fireplaces shall be installed in any residential dwelling.

M. Walls

- 1. Subdivision Walls.** The perimeter subdivision wall along Coors Trail shall be concrete masonry unit (CMU) with stucco finish on the Coors Trail side and will be installed and paid for by the Developer. The wall height shall be no more than eight feet (8') and no less than four feet (4') as measured from the street side of the wall. The wall along Coors Trail will match the Bosque del Rio wall but be stuccoed on the street side only. The wall adjacent to the Proposed Major Public Open Space shall be CMU and split face block to match the existing Open Space Wall adjacent to the Piedras Marcadas Visitors Center.
- 2. Site walls**
 - a. Each house must have a rear wall and two sidewalls. All rear walls shall extend the entire length of the rear property line. All sidewalls shall extend from the rear of the lot to at least the rear of the dwelling.
 - b. Interior residential lot line walls shall be brown CMU and no more than eight feet (8') in height.
 - c. All walls that are located on the common property line between adjoining lots shall be party walls that may not be removed by either property owner of the adjoining lots. All walls must be constructed from the elevation specified by the subdivision engineer and indicated on the grading plan of the Cottonwood Trails Subdivision. The cost of installation and maintenance of such party retaining walls shall be split equally between property owners of the adjoining lots.
 - d. No wall or fence may be erected on a lot that is closer to the street than the front of the dwelling on the lot, except for courtyard walls.
 - e. A house is located on a corner when such house abuts more than one public right-of-way.

The corner house will be deemed to front on the right-of-way on which the house has a smaller dimension, subject to possible redesignation by the CTACC upon the request of the owner of any such house.

- 3. Courtyard walls.** Courtyard walls are allowed within the front yard setback areas and shall be constructed of materials, finish, and color that are complementary to the house. Wall height shall be as approved by the CTACC.

N. Mailboxes

"Cluster-type" mailboxes will be used, subject to the requirements of, and in coordination with, the United States Postal Service.

O. Review for Compliance

The compliance of any structure or improvement within the Cottonwood Trails Subdivision will be reviewed by the CTACC.

In order for the CTACC to perform such review, the following must be submitted (the completeness of which will be subject to the determination of the CTACC):

1. One complete set of plans, including but not limited to, foundations floor plans, elevations, details, plot plan, CTACC submittal sheet, landscaping plans and the finished grade of the structure or improvement on the lot.

Within 15 days of receipt of the plans, the CTACC will communicate the results of its review in writing to the builder. The communication will specifically indicate whether or not the proposed structure complies with the Design Guidelines.

P. Vacant Lots; Destruction

1. There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots in the Cottonwood Trails Subdivision.
2. The Owner of a lot within the Cottonwood Trails Subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
3. The Owner of a lot upon which a structure is destroyed by fire or other casualty shall either promptly rebuild, repair or replace the structure or remove the debris (including foundations) from the lot.

Q. Restricted Activities

1. The use of any trailer, motor home, boat, shack, tent, garage or any other outbuilding as a residence, either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of a house for no more than ten (10) days per year.
2. The placement of any kind of antenna (radio, shortwave, television or others), either temporarily or permanently, is prohibited without the prior approval of the CTACC.
3. The construction, erection, placement, assembly or maintenance of any outbuilding or storage building or other auxiliary building of any nature, permanent or temporary, detached from the permitted improvements on the house, must be approved in writing by the CTACC and must be of similar architectural design as the house.

R. Pedestrian Circulation

Pedestrian circulation for residents for the Cottonwood Trails is an important benefit. Accordingly, sidewalks and/or pedestrian/bicycle pathways are incorporated to, from, and throughout, the development. These pathways lead to the existing pedestrian/bicycle network constructed along Corrales Main Canal, Bosque del Rio, and City Open Space. An access gate will be installed between the Cottonwood Trails Subdivision and the Corrales Main Canal to provide for security of Cottonwood Trail residents.

Cottonwood Trails

DESIGN GUIDELINES

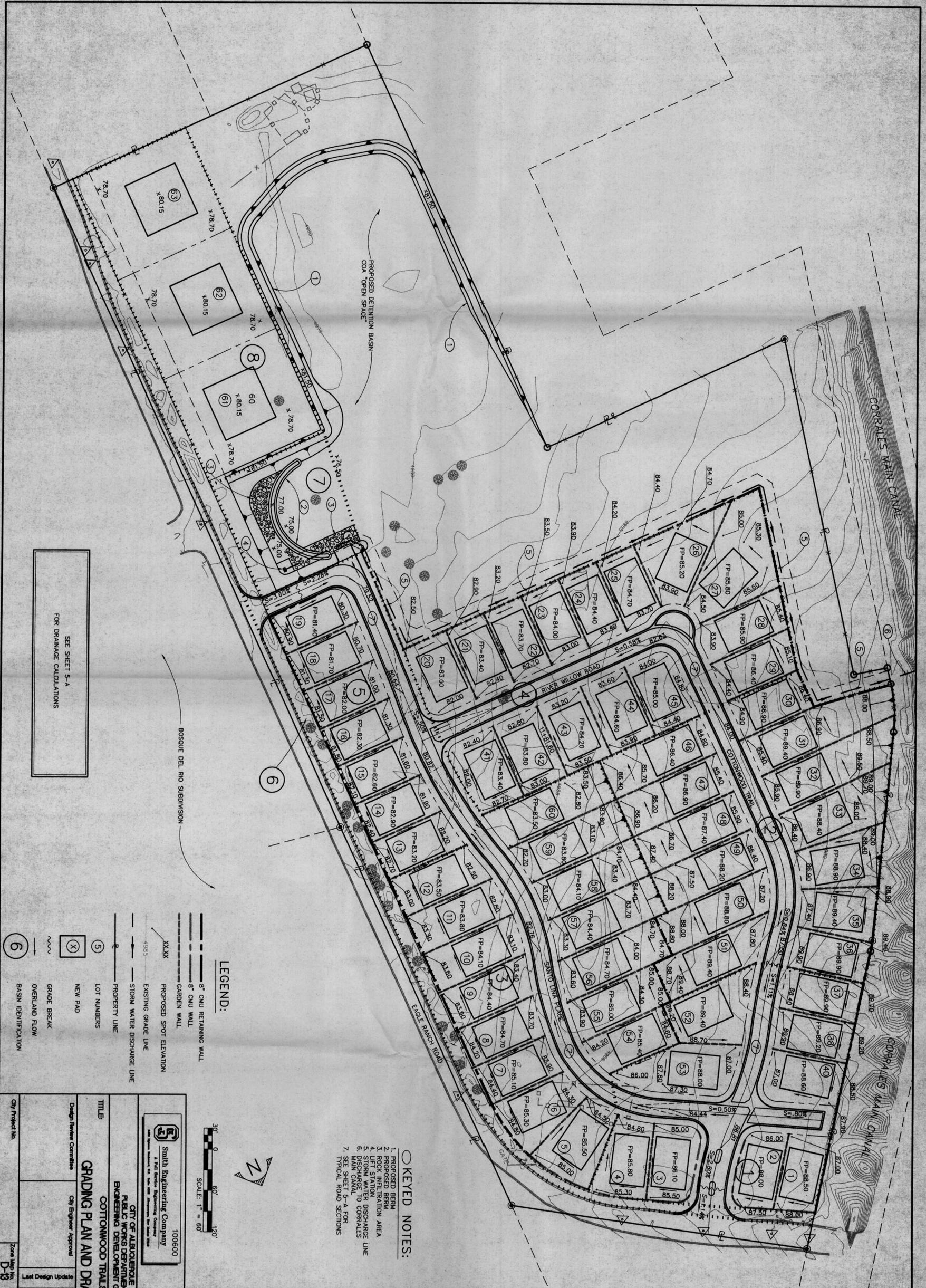
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CONSENSUS
PLANNING
April 28, 2000



SEE SHEET S-A
FOR DRAINAGE CALCULATIONS

- LEGEND:**
- XXXX PROPOSED SPOT ELEVATION
 - EXISTING GRADE LINE
 - STORM WATER DISCHARGE LINE
 - PROPERTY LINE
 - (5) LOT NUMBERS
 - (X) NEW PAD
 - GRADE BREAK
 - OVERLAND FLOW
 - (6) BASIN IDENTIFICATION
 - 8" CMU RETAINING WALL
 - 8" CMU WALL
 - GARDEN WALL

- KEYED NOTES:**
1. PROPOSED BERM
 2. PROPOSED BERM
 3. ROCK ANTI-ROTATION AREA
 4. ROCK ANTI-ROTATION AREA
 5. STORM WATER DISCHARGE LINE
 6. DISCHARGE TO CORRALES MAIN CANAL
 7. TYPICAL ROAD SECTIONS

Smith Engineering Company
100600
A Full Service Engineering Company
4985 - 1st Street, San Diego, CA 92121

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
COTTONWOOD TRAILS
GRADING PLAN AND DRAINAGE**

Design Review Committee: City Engineer Approval:

City Project No. **D-13** Zone Map No. **5** of **7**

Last Design Update:



ENGINEERS SEAL



SURVEY INFORMATION

FIELD NOTES		
NO.	BY	DATE

BENCH MARKS

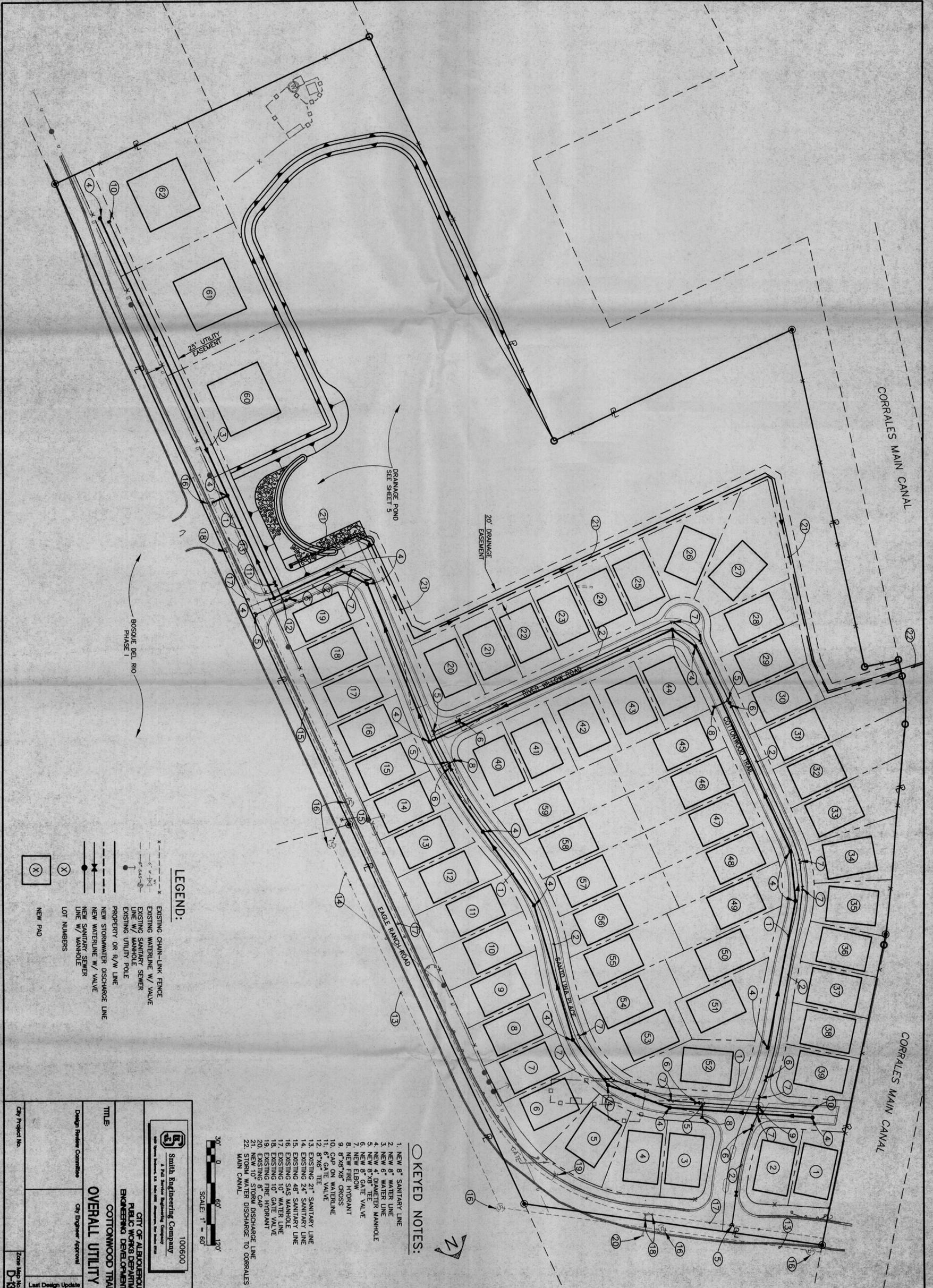
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Y=1,520,142.81
ELEVATION=5,058.25
G/G FACTOR=0.99967638

AS BUILT INFORMATION

CONTRACTOR	
WORK STARTED BY	
INSPECTOR'S ACCEPTANCE BY	
FIELD VERIFICATION BY	
DRAWINGS CORRECTED BY	
MICRO-FILM INFORMATION	
RECORDED BY	
NO.	

NO.	DATE	REMARKS	BY

DESIGNED BY	JCS	DATE	02-00
DRAWN BY	SDD	DATE	02-00
CHECKED BY	PJC	DATE	02-00



LEGEND:

- EXISTING CHAIN-LINK FENCE
- EXISTING WATERLINE W/ VALVE
- EXISTING SANITARY SEWER LINE W/ MANHOLE
- EXISTING UTILITY POLE
- PROPERTY OR R/W LINE
- NEW STORMWATER DISCHARGE LINE
- NEW WATERLINE W/ VALVE
- NEW SANITARY SEWER LINE W/ MANHOLE
- LOT NUMBERS
- NEW PAD

KEYED NOTES:

1. NEW 8" SANITARY LINE
2. NEW 8" WATER LINE
3. NEW 4" DIAMETER MANHOLE
4. NEW 8"x8" TEE
5. NEW 8"x8" TEE
6. NEW 8" GATE VALVE
7. NEW ELBOW
8. NEW 8"x8" GROSS
9. 8"x8"x8" GROSS
10. CAP ON WATERLINE
11. 8" GATE VALVE
12. 8"x8" TEE
13. EXISTING 24" SANITARY LINE
14. EXISTING 24" SANITARY LINE
15. EXISTING 48" SANITARY LINE
16. EXISTING 36" MANHOLE
17. EXISTING 10" GATE VALVE
18. EXISTING 10" GATE VALVE
19. EXISTING FIRE HYDRANT
20. EXISTING 8" CAP
21. NEW 10" STORM DISCHARGE LINE
22. NEW 10" STORM DISCHARGE TO CORRALES MAIN CANAL

Smith Engineering Company
100600

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

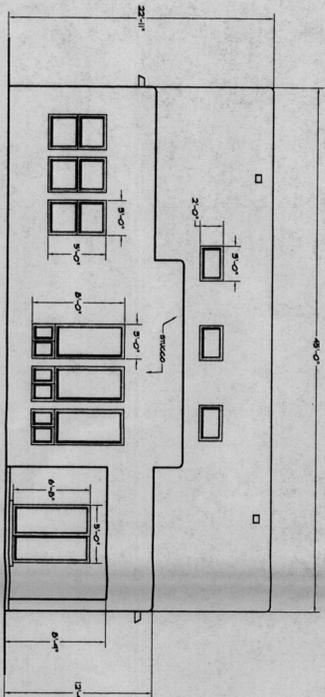
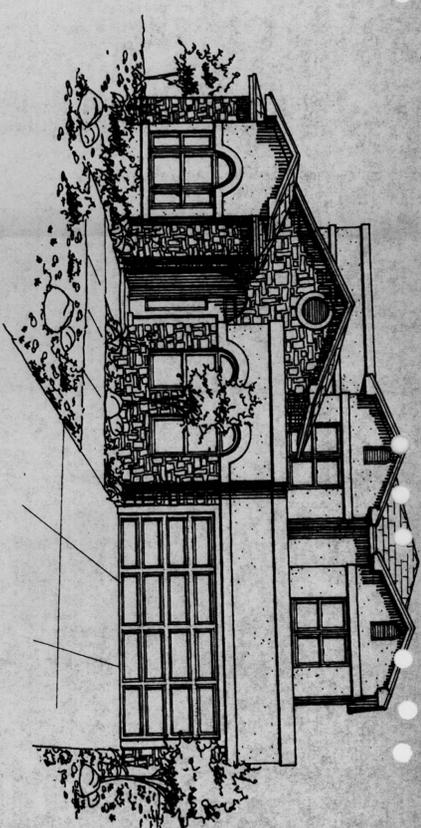
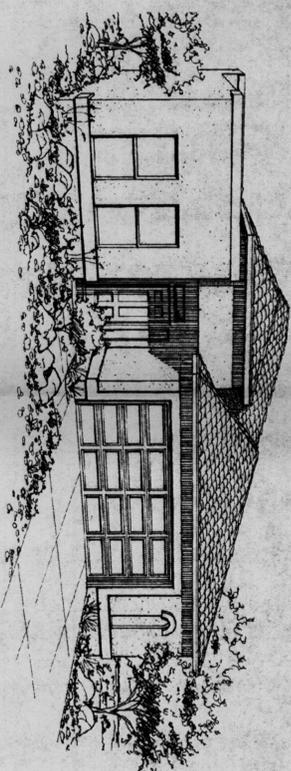
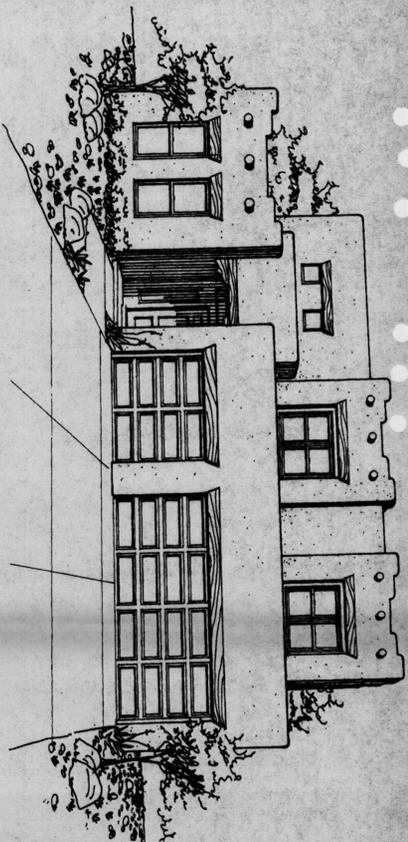
COTTONWOOD TRAILS
OVERALL UTILITY PLAN

Design Review Committee
City Engineer Approval

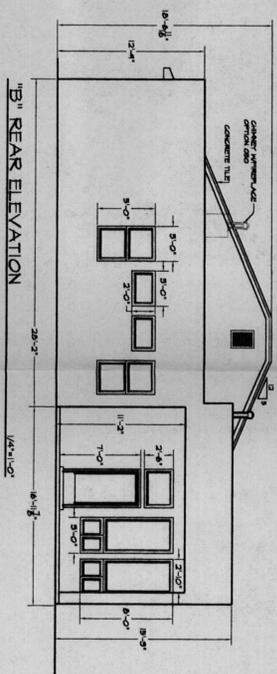
Zone Map No. **D-13**
Sheet **6** of **7**

ENGINEERS SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
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					Y=1,520,142.81	FIELD VERIFICATION BY	DATE
					ELEVATION=5,058.25	DRAWINGS CORRECTED BY	DATE
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						RECORDED BY	DATE
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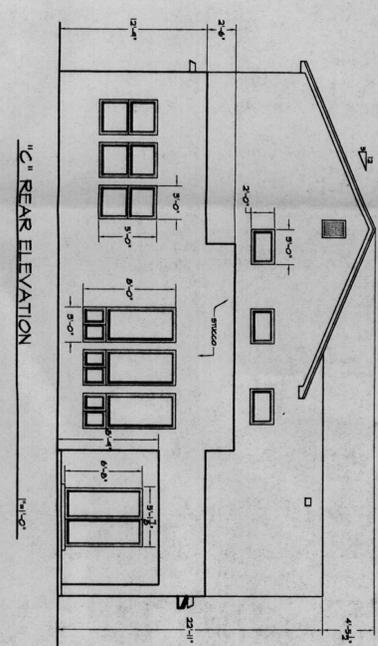
NO.	DATE	REMARKS	BY
DESIGN			
DESIGNED BY	JCS	DATE	02-00
DRAWN BY	SDD	DATE	02-00
CHECKED BY	PJC	DATE	02-00



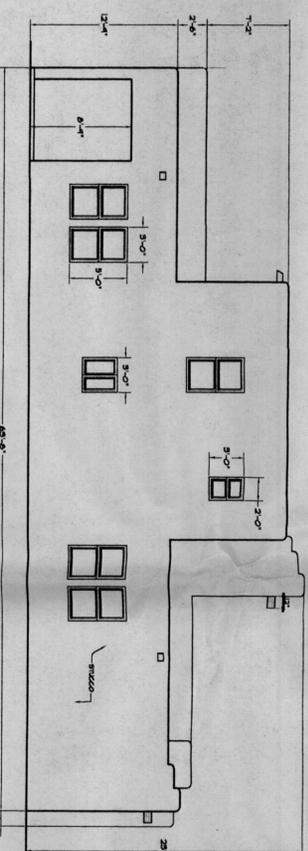
"A" REAR ELEVATION



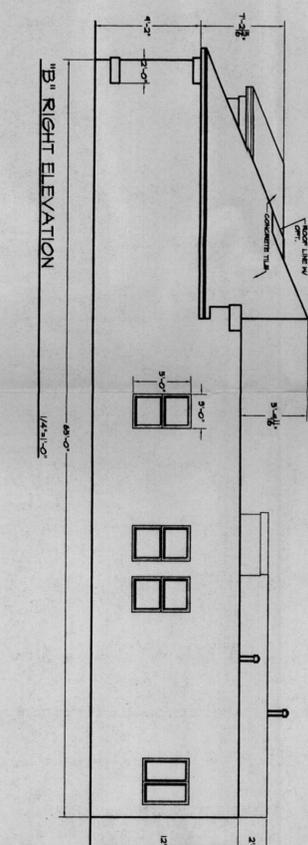
"B" REAR ELEVATION



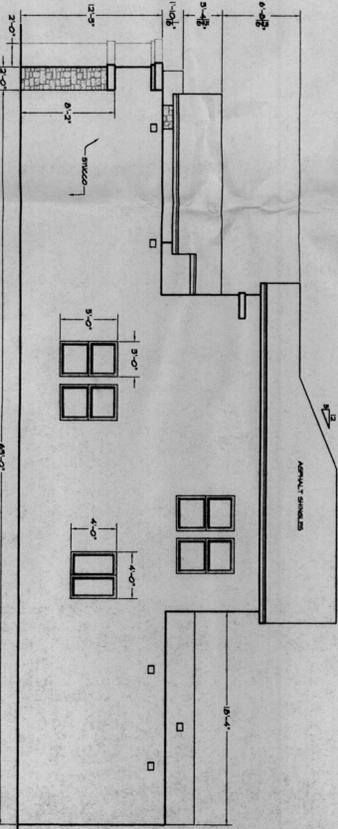
"C" REAR ELEVATION



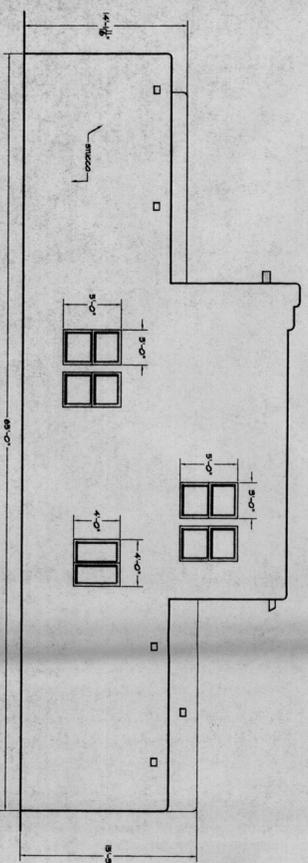
"A" LEFT ELEVATION



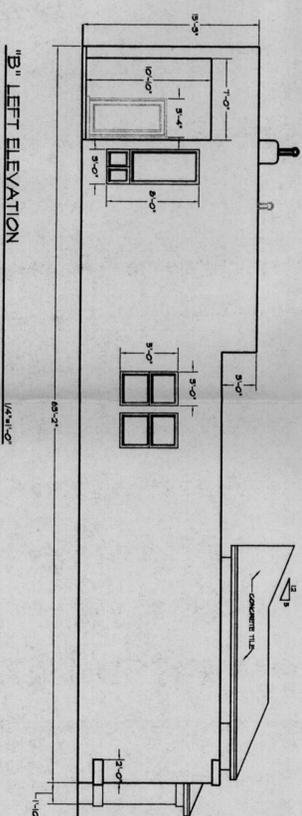
"B" RIGHT ELEVATION



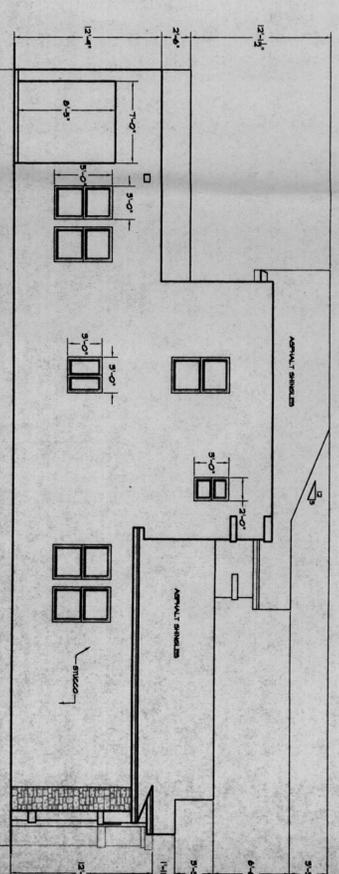
"C" RIGHT ELEVATION



"A" RIGHT ELEVATION



"B" LEFT ELEVATION



"C" LEFT ELEVATION

NOTE: THESE DRAWINGS ARE EXAMPLES OF TYPES OF RESIDENTIAL UNITS THAT MAY OCCUR UNDER THE DESIGN GUIDELINES. THEY ARE NOT TYPICAL UNITS, NOR ARE THEY TO SET PRECEDENT FOR EVERY HOUSE AT COTTONWOOD TRAILS.

Cottonwood Trails

EXTERIOR ELEVATIONS

April 28, 2000
Sheet 7 of 7