

Admin Amend

APPLICATION NO. 03AA0-01593	PROJECT NO. 10003910
PROJECT NAME SANDA PROPERTIES	
EPC APPLICATION NO. TRACT G-3 @ Ventana Ranch	
APPLICANT / AGENT GEO RAINHART ARCH.	PHONE NO. 884-9110
ZONE ATLAS PAGE B-10	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	

ONE STOP COMMENT FORM LOG

9/29 called Agent & Faxed Transp. Comm. 1/10

TRANSPORTATION DEV (505) 924-3990

PLANS DISAPPROVED NSF	DATE 9/25/03	DATE
PLANS APPROVED NSF	DATE 10/2/03	DATE

COMMENTS:

- Proposed radii's will need to comply w/ DPM (Chapter 23)
- Need more paint markings to define one-way operation at the entrance (provide arrow)
- Landscaping of Median:
 - Is there a landscaping agreement?
 - Is there any sight distance obstruction for vehicles entering site? Verify

UTILITY DEV (505) 924-3989

PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED NSF	DATE 9/26/03	DATE

COMMENTS:

HYDROLOGY DEV (505) 924-3986

PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED BvB	DATE 9/29/03	DATE

COMMENTS:

PARKS AND REC (505) 768-5328

PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE

COMMENTS:

PLANNING (505) 924-3858 Received 10/6/03 #

PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED Bob Paulin	DATE 10/16/03	DATE

COMMENTS:

Approved w/ the revisions as provided

(Return form with plat / site plan)

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input checked="" type="checkbox"/> for Subdivision Purposes		<input checked="" type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ... for Building Permit	AA	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		
		APPEAL / PROTEST of...	A
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Sandia Properties Ltd. Co. PHONE: 505-856-6419
 ADDRESS: #10 Tramway Loop FAX: 505-856-6335
 CITY: Albuquerque STATE NM ZIP 87122 E-MAIL: _____
 Proprietary interest in site: OWNER
 AGENT (if any): GEORGE RAINHART ARCHITECTS & ASSOCIATES PHONE: 505-884-9110
 ADDRESS: 2325 SAN PEDRO NE, SUITE 2B FAX: 505-837-9877
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: gbyrne@gra-arch.com

DESCRIPTION OF REQUEST: Update site plan to as built, change building size, reduce parking at front of store, adjust walkways **ADMINISTRATIVE AMENDMENT**
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT G-3 Block: _____ Unit: _____
 Subdiv. / Adn. VENTANA SQUARE
 Current Zoning: SU-1 for C-2 Proposed zoning: NA
 Zone Atlas page(s): B-10-2 No. of existing lots: _____ No. of proposed lots: _____
 Total area of site (acres): 1.94 AC Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____
 UPC No. 101006504715730704 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: NEC Paradise Blvd & Universe Ave
 Between: VENTANA RD NW and PASEO DEL NORTE NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX_Z, V, S, etc.): 00DRB-00804 ⁵⁰⁵⁻⁸⁸⁴⁻⁹¹¹⁰
00EPC-00409 & 410 (Site Dev. Plan for BP&SD)

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE E. Aileen O'Byrne DATE 9/22/03
 (Print) E. AILEEN O'BYRNE (GEORGE RAINHART ARCHITECT) Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>03AAO - 01593</u>	<u>AA</u>	<u>(4)</u>	<u>\$ 4500</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date			Total
	<u>9/22/03</u>	<u>NA (AA)</u>		<u>\$ 4500</u>

[Signature] 9/22/03
 Planner signature / date

Project # 1000390

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE

- ___ Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
- ___ Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) **6** copies
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
- ___ Infrastructure List, if relevant to the site plan
- ___ Completed Site Plan for Building Permit Checklist
- ___ Solid Waste Management Department signature on Site Plan if relevant
- ___ 2 copies of the Conceptual Utility Layout Plan if relevant (mark one for Planning, one for Utility Development)
- ___ Blue-line copy of Site Plan with Fire Marshal's stamp
- ___ Copy of the Lucc approval if the site is in an historic overlay zone
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY

- ✓ Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) **5** copies
- ✓ Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) **1** copy
- ✓ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ✓ Letter briefly describing, explaining, and justifying the request
- ✓ Letter of authorization from the property owner if application is submitted by an agent
- ✓ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- ✓ Fee (see schedule) **\$1500**
- ✓ Any original and/or related file numbers are listed on the cover application

NOTE: The next three items are also required only if the original approval required a public hearing.

- ___ Notifying letter and certified mail receipts addressed to owners of any adjacent residential properties
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts (Not required if amendment changes less than 2% of square footage.)
- ___ Sign Posting Agreement (Not required if amendment changes less than 2% of square footage.)

NOTE: Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in addition to **all** those listed above:

- ___ Collocation evidence as described in *Zoning Code* §14-16-3-17(A)(5)
- ___ Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- ___ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- ___ Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- ___ Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
- ___ Registered Engineer's stamp on the Site Development Plans
- ___ Office of Community & Neighborhood Coordination inquiry response as above **based on 1/4 mile radius**

PLEASE NOTE: If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Cynthia Borrego at 924-3335 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

E ALLENE OBYRNE
 Applicant name (print)
E Allene Obyrne 9/22/03
 Applicant signature / date

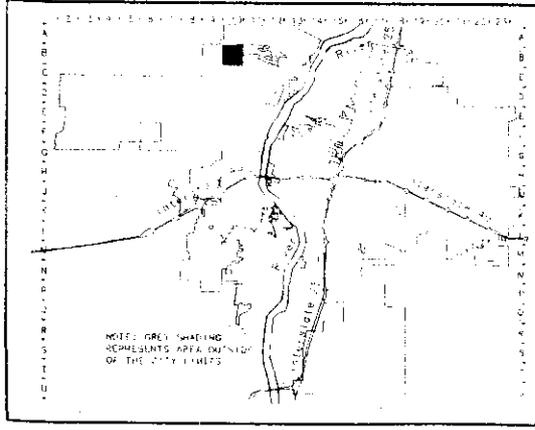
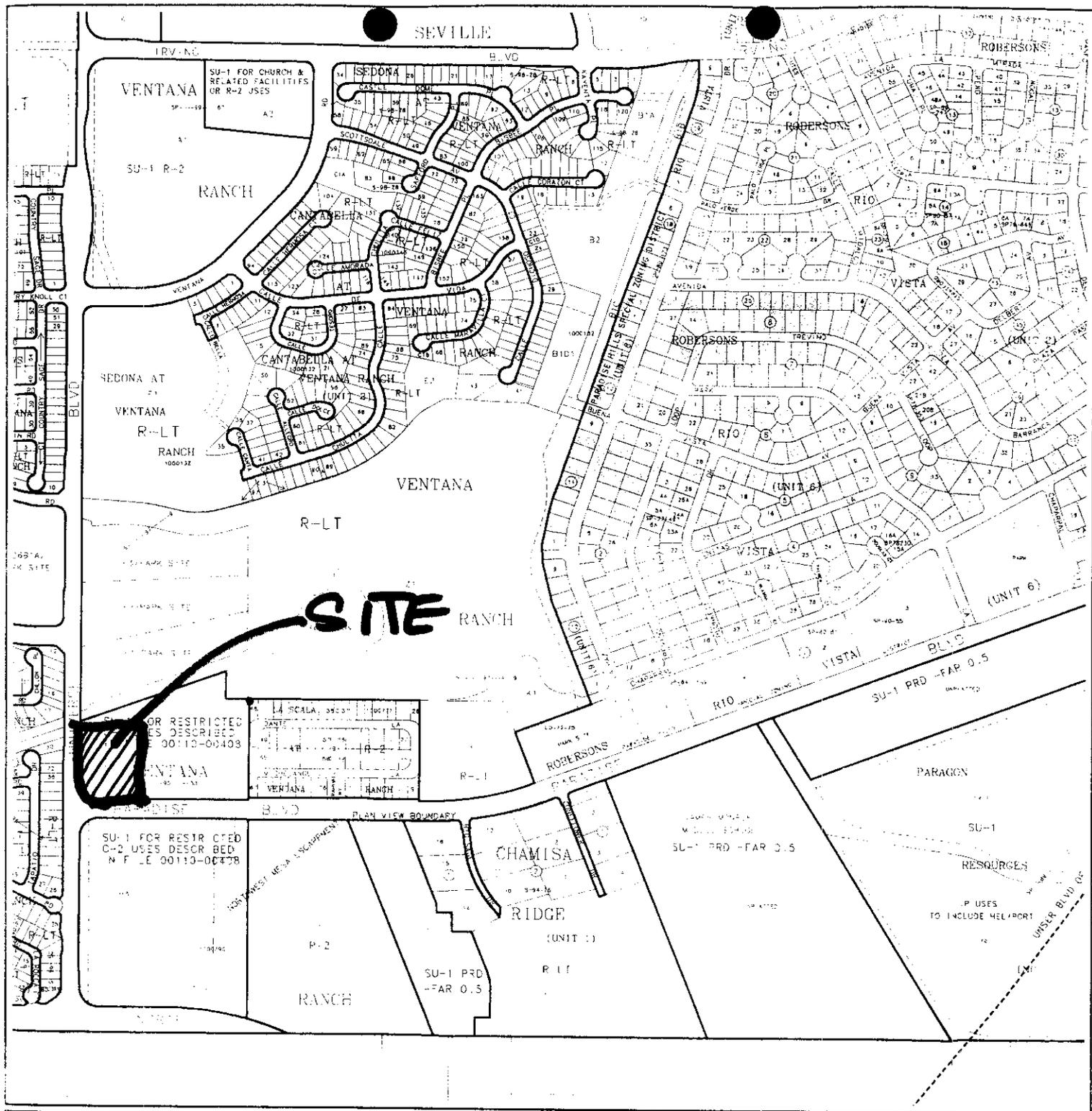


- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

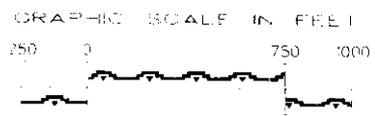
Application case numbers
03990 - 01593
 _____ - _____
 _____ - _____

Form revised May 2003
[Signature] 9/22/03
 Planner signature / date

Project # 1000390



CITY OF
Albuquerque
AGIS
PLANNING DEPARTMENT
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Zone Atlas Page
B-10-Z

Map Amended through January 21, 2003

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: _____ provided: _____
Handicapped spaces required: _____ provided: _____
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: _____
provided: _____
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

 *** TX REPORT ***

TRANSMISSION OK

TX/RX NO 4929
 CONNECTION TEL 98379877
 SUBADDRESS
 CONNECTION ID
 ST. TIME 09/29 08:35
 USAGE T 00'34
 PGS. 1
 RESULT OK

FAX TO: 837-9877 AILENE

Admin Amend

APPLICATION NO. 03AAD-01593	PROJECT NO. 1000390
PROJECT NAME SANDA PROPERTIES	
EPC APPLICATION NO. TRACT G-3 @ VENTANA Ranch	
APPLICANT / AGENT GED RAINHART ARCH.	PHONE NO. 584-9110
ZONE ATLAS PAGE B-10	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
ONE STOP COMMENT FORM LOG	

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED NSF	DATE 9/25/03	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
<ul style="list-style-type: none"> - Proposed radii's will need to comply w/ DPM (Chapter 23) - Need more paint markings to define one-way operation at the entrance (provide arrow) - Landscaping at Median: (1) Is there a landscape agreement? (2) Is there any sight distance obstruction for vehicles entering site? Verify 		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED NSF	DATE 9/26/03	DATE
COMMENTS:		

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

City of Albuquerque
Planning Department
P.O. Box 1293
Albuquerque, NM 87103
505-924-3860

18 September 2003

Administrative Amendment

Ref: Project number: 1000390

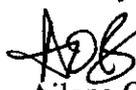
Case numbers: 00128-00000-00409 and 00128-00000-00410

To Whom It May Concern:

The following has been revised to the Site Development Plan for Ventana Ranch Tract G, Walgreens at Ventana Ranch:

1. The building size has been reduced from 15,120 SF to 14,560 SF and the footprint updated to reflect actual building layout.
2. The southern parking lot has been revised from a double row of parking to a single row of parking in the center of the lot to bring the building closer to the street. Pedestrian walkways were adjusted accordingly.
3. The northeast corner of Universe and Paradise reflect the curb radius, bike path and handicap ramp as built.
4. Locations of 50 SF monument sign along Universe and 50 SF monument sign along Paradise are now shown.
5. Landscaping has been adjusted to accommodate the monument signs and the existing bike path, and to more fully complement existing landscaping in street islands.

Thank you,



Ailene O'Byrne
Project Manager

19 September 2003

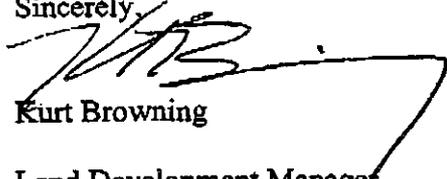
City of Albuquerque
Planning Department
P.O. Box 1293
Albuquerque, NM 87103
505-924-3860

Ref: Project number: 1000390 – Tract G-3 Ventana Square at Ventana Ranch
Case numbers: 00128-00000-00409 and 00128-00000-00410

To Whom It May Concern:

Las Ventanas Limited Partnership, the owner of the property for the above referenced project, hereby authorizes George Rainhart Architects and Associates, P.C. to act as our agent in regard to securing permits and administrative approvals.

Sincerely,



Kurt Browning

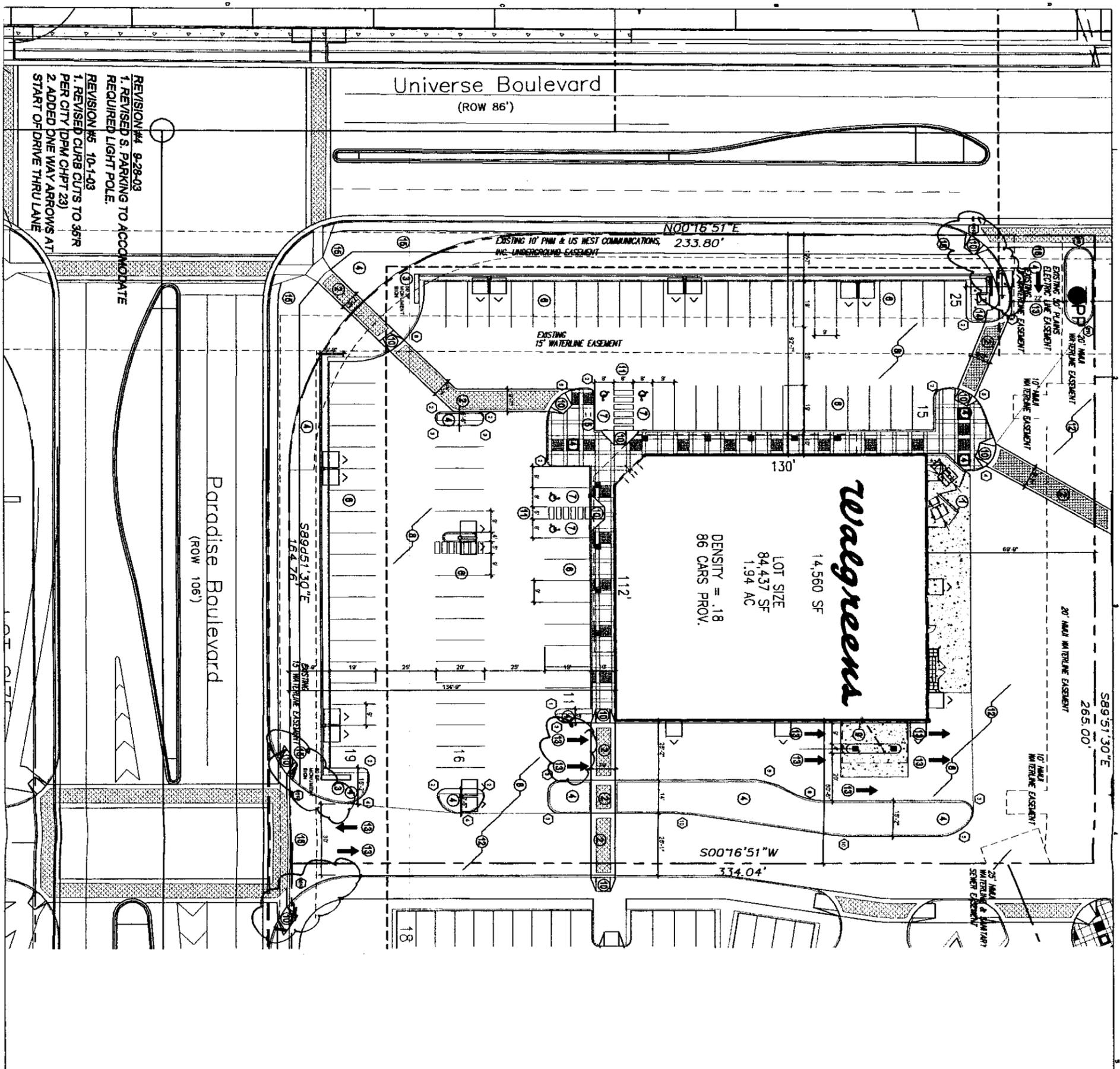
Land Development Manager
Sandia Properties Ltd., Co.
Managing Partner for Las
Ventanas Limited Partnership

Cc George Rainhart



SANDIA PROPERTIES LTD. CO.

#10 TRAMWAY LOOP NE • ALBUQUERQUE, NEW MEXICO 87122 • (505) 856-6419 • FAX (505) 856-6335
LAND DEVELOPMENT, MANAGEMENT AND BROKERAGE



REVISION #4 9-28-03
 1. REVISED S. PARKING TO ACCOMMODATE
 REQUIRED LIGHT POLE.

REVISION #5 10-1-03
 1. REVISED CURB CUTS TO \$6FR
 PER CITY (DPM CHPT 23)
 2. ADDED ONE WAY ARROWS AT
 START OF DRIVE THRU LANE

- KEYED NOTES
- COMPACTOR LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF ALBUQUERQUE REQUIREMENTS
 - RAISED AND TEXTURED WALKWAYS SEE CIVIL
 - WALGREENS 50 SF MONUMENT SIGN
 - NEW LANDSCAPE BUFFERISLANDS
 - BICYCLE RACK LOCATION - 4 BIKES
 - STRIPING YELLOW 4" WIDE (TYPICAL)
 - HANDICAPPED SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF ALBUQUERQUE REQUIREMENTS
 - STANDARD ASPHALT PAVING FOR CAR TRAFFIC 1/2" ASPHALTIC CONCRETE OVER 8" SUBGRADE
 - 3-LANE PHARMACY DRIVE-THRU
 - HC RAMP - RED STAINED CONCRETE
 - STRIPED HANDICAP ACCESSIBLE
 - HEAVY DUTY ASPHALT PAVING FOR TRUCK TRAFFIC - ASPHALTIC CONCRETE OVER 8" SUBGRADE
 - YELLOW PAINTED ARROW AND 2" HIGH LETTERS
 - TRANSFORMER LOCATION
 - EXISTING ASPHALT BIKE TRAIL
 - NEW CURB CUT
- RADIUS INFORMATION:
- ① RADIUS = 2'-0"
 - ② RADIUS = 3'-0"
 - ③ RADIUS = 5'-0"
 - ④ RADIUS = 10'-0"
 - ⑤ RADIUS = 15'-0"
 - ⑥ RADIUS = 20'-0"
 - ⑦ RADIUS = 25'-0"
 - ⑧ RADIUS = 30'-0"
 - ⑨ RADIUS = 40'-0"
 - ⑩ RADIUS = 50'-0"
 - ⑪ RADIUS = 60'-0"
 - ⑫ RADIUS = 100'-0"

SITEPLAN

SCALE: 1"=20'-0"



Walgreens

PROJECT TYPE: DEVELOPMENT IS LOCATED AT THE NORTHEAST CORNER OF PARADISE AND UNIVERSE ALBUQUERQUE, NEW MEXICO

ARCHITECTS: GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C. 2325 SAN PEDRO NE, SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110

ZONING: SI-1 FOR C-2

OCCUPANT LOAD: 408 OCCUPANTS

OCCUPANCY GROUP: M (MERCANTILE)

TOTAL ACREAGE: ± 1.94 ACRES

CONSTRUCTION TYPE: V-N SPRINKLERED

TOTAL BUILDING AREA: 14,560 SQUARE FEET

PARKING ANALYSIS: 82 REQUIRED PARKING SPACES INCLUDING 82 STANDARD PARKING SPACES AND 4 ACCESSIBLE SPACES (1 VAN ACCESSIBLE SPACES)

NO.	DATE	BY	DESCRIPTION	COMET
1				
2				
3				
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20				

PROJECT NAME: WALGREENS STORE (NE) UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: GEORGE RAINHART ARCHITECT & ASSOCIATES P.C. 2325 SAN PEDRO NE, SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 991-0110 FAX (505) 637-4877 www.gra-arch.com

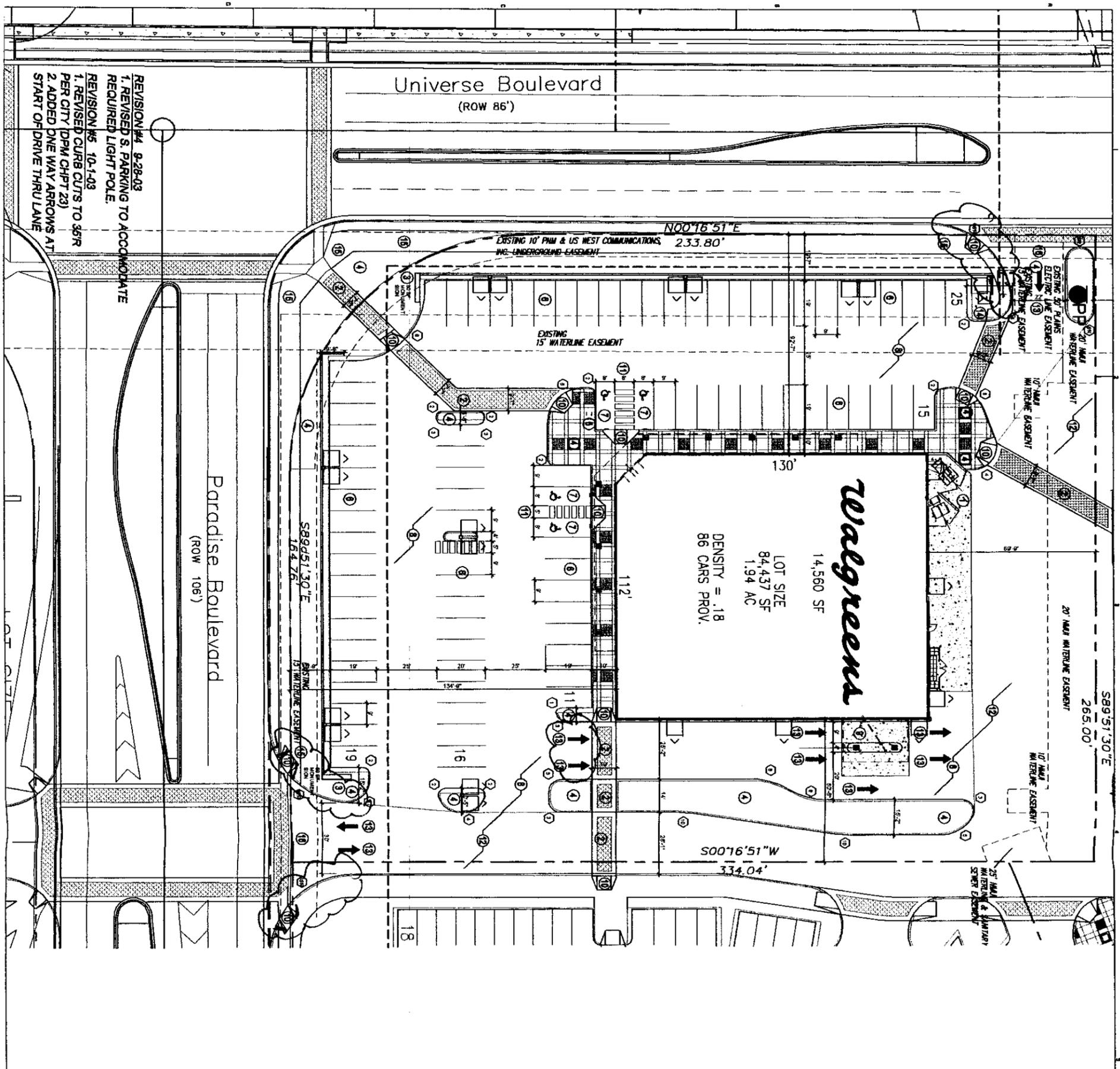
DRAWING NO: A1.0

DATE: 9/20/03

SCALE: 1"=20'-0"

REVISIONS TO CONSTRUCTION: 0

OR SS DWG



REVISION#4 9-28-03
 1. REVISED S. PARKING TO ACCOMMODATE
 REQUIRED LIGHT POLE

REVISION#5 10-1-03
 1. REVISED CURB CUTS TO \$6/R
 PER CITY (DPM CHPT 23)
 2. ADDED ONE WAY ARROWS AT
 START OF DRIVE THRU LANE

- KEYED NOTES**
- COMPACTOR LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF ALBUQUERQUE REQUIREMENTS.
 - RAISED AND TEXTURED WALKWAYS - SEE CIVIL.
 - WALGREENS 50' SQUARE SIGN.
 - NEW LANDSCAPE BUFFER/LANES.
 - BICYCLE RACK LOCATION - 4 BIKES.
 - STRIPING, YELLOW, 4" WIDE (TYPICAL).
 - HANDICAPPED SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF ALBUQUERQUE REQUIREMENTS.
 - STANDARD ASPHALT PAVING FOR CAR TRAFFIC 2-1/2" ASPHALTIC CONCRETE OVER 8" SUBGRADE.
 - 3-LANE PHARMACY DRIVE-THRU.
 - HC RAMP, RED STAINED CONCRETE.
 - STRIPED HANDICAP ACCESSIBLE.
 - HEAVY DUTY ASPHALT PAVING FOR TRUCK TRAFFIC-4" ASPHALTIC CONCRETE OVER 8" SUBGRADE.
 - YELLOW PAINTED ARROW AND 24" HIGH LETTERS.
 - TRANSFORMER LOCATION.
 - EXISTING ASPHALT BIKE TRAIL.
 - NEW CURB CUT.
- RADIUS INFORMATION:**
- ① RADIUS = 2'-0"
 - ② RADIUS = 3'-0"
 - ③ RADIUS = 3'-0"
 - ④ RADIUS = 4'-0"
 - ⑤ RADIUS = 10'-0"
 - ⑥ RADIUS = 15'-0"
 - ⑦ RADIUS = 25'-0"
 - ⑧ RADIUS = 30'-0"
 - ⑨ RADIUS = 40'-0"
 - ⑩ RADIUS = 50'-0"
 - ⑪ RADIUS = 60'-0"
 - ⑫ RADIUS = 100'-0"

SITEPLAN

SCALE: 1"=20'-0"



Walgreens

PROJECT NAME: WALGREENS STORE (NE) UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO

PROJECT TYPE: WALGREENS CONSULTANT

DATE: 8/20/03

SCALE: 1"=20'

DRAWING NO: A1.0

DATE: 8/20/03

SCALE: 1"=20'

DRAWING NO: A1.0

LOCATION: DEVELOPMENT IS LOCATED AT THE NORTHEAST CORNER OF PARADISE AND UNIVERSE ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:

ARCHITECTS: GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C. 2325 SAN PEDRO NE, SUITE 2-89 ALBUQUERQUE, NEW MEXICO 87110

ZONING: SU-1 FOR C-2

OCCUPANT LOAD: 406 OCCUPANTS

OCCUPANCY GROUP: M (MERCANTILE)

TOTAL ACREAGE: ± 1.94 ACRES

CONSTRUCTION TYPE: V-N SPRINKLERED

TOTAL BUILDING AREA: 14,560 SQUARE FEET

PARKING ANALYSIS: 73 REQUIRED PARKING SPACES INCLUDING 82 STANDARD PARKING SPACES AND 4 ACCESSIBLE SPACES (1 VAN ACCESSIBLE SPACE)

REVISIONS

NO.	DATE	BY	DESCRIPTION	COMET
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				
16				
17				
18				

CERTIFICATION AND SEAL

I, GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C. (NE) UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO

PROJECT NAME: WALGREENS STORE (NE) UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO

ARCHITECTS: GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C. 2325 SAN PEDRO NE, SUITE 2-89 ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 994-9110 FAX (505) 837-9877 www.gra-arch.com

DATE: 8/20/03

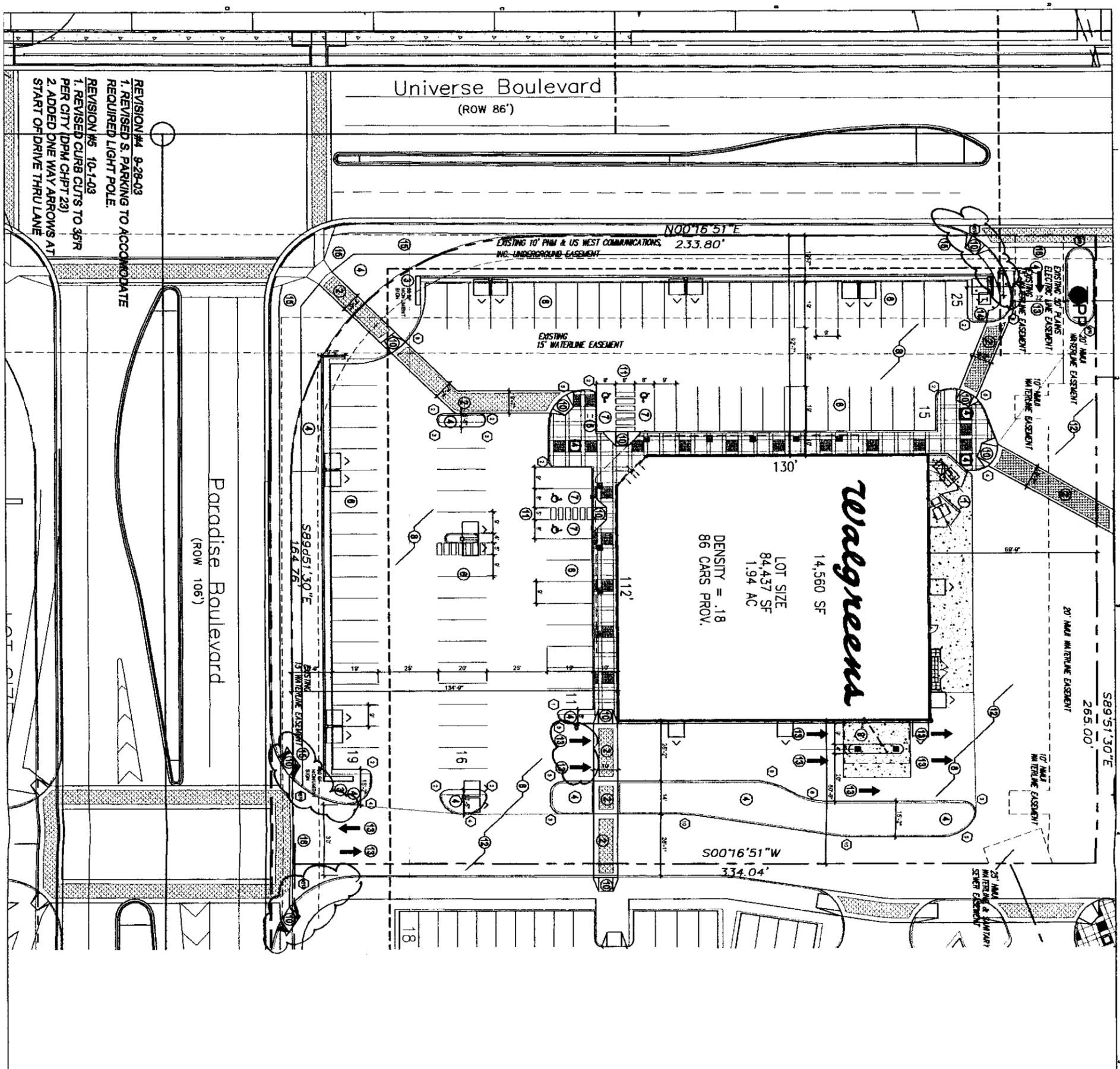
SCALE: 1"=20'

DRAWING NO: A1.0

DATE: 8/20/03

SCALE: 1"=20'

DRAWING NO: A1.0



REVISION #4 9-28-03
1. REVISED S. PARKING TO ACCOMMODATE
REQUIRED LIGHT POLE.

REVISION #5 10-1-03
1. REVISED CURB CUTS TO 36"R
PER CITY (DPM CHPT 23)
2. ADDED ONE WAY ARROWS AT
START OF DRIVE THRU LANE

- KEYED NOTES:**
- COMPACTOR LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF ALBUQUERQUE REQUIREMENTS
 - RAISED AND TEXTURED WALKWAYS - SEE CIVIL
 - WALGREENS 60 SF MONUMENT SIGN
 - NEW LANDSCAPE SUPERGRASS
 - BICYCLE BACK LOCATION - 4 BIKES
 - STRIPING, YELLOW 4" WIDE (TYPICAL)
 - HANDICAPPED SPACE WITH PAINTED STAMPEL AND SIGN PER CITY OF ALBUQUERQUE REQUIREMENTS
 - STANDARD ASPHALT PAVING FOR CAR TRAFFIC 1/2" ASPHALTIC CONCRETE OVER 8" SUBGRADE
 - 2-LANE PHARMACY DRIVE-THRU
 - HC RAMP, RED STAINED CONCRETE
 - STRIPED HANDICAP ACCESS AISLE
 - HEAVY DUTY ASPHALT PAVING FOR TRUCK TRAFFIC - ASPHALTIC CONCRETE OVER 8" SUBGRADE
 - YELLOW PAINTED PAVEMENT AND 24" HIGH LETTERS
 - TRANSFORMER LOCATION
 - EXISTING ASPHALT BIKE TRAIL
 - NEW CURB CUT
- RADIUS INFORMATION:**
- ① RADIUS = 2'-0"
 - ② RADIUS = 1'-0"
 - ③ RADIUS = 5'-0"
 - ④ RADIUS = 10'-0"
 - ⑤ RADIUS = 15'-0"
 - ⑥ RADIUS = 20'-0"
 - ⑦ RADIUS = 25'-0"
 - ⑧ RADIUS = 30'-0"
 - ⑨ RADIUS = 40'-0"
 - ⑩ RADIUS = 50'-0"
 - ⑪ RADIUS = 60'-0"
 - ⑫ RADIUS = 100'-0"

SITEPLAN

SCALE: 1"=20'-0"



Walgreens

FACILITIES PLANNING AND DESIGN
230 WALTON ROAD
12404 SHELBY
DORSETT, IL 60428

PROJECT TYPE
WALGREENS CONSULTANT
LANDSCAPE CONSULTANT

ALL CONSTRUCTION WORK SHALL BE NOTED OTHERWISE BY:
 WALGREENS CONTRACTOR
 LANDSCAPE CONTRACTOR
 TURNKEY CONSTRUCTION

STREET: BUILDING

NEW: NEW CONSTRUCTION
 REVISION: REVISION
 RELOCATION: RELOCATION
 OTHER: OTHER

PROJECT INFORMATION

LOCATION: DEVELOPMENT IS LOCATED AT THE NORTHEAST CORNER OF PARADISE AND UNIVERSE ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:

ARCHITECTS:
GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110

ZONING: SU-1 FOR C-2

OCCUPANT LOAD: 408 OCCUPANTS

OCCUPANCY GROUP: M (MERCANTILE)

TOTAL ACREAGE: ± 1.94 ACRES

CONSTRUCTION TYPE: V-N SPRINKLERED

TOTAL BUILDING AREA: 14,560 SQUARE FEET

PARKING ANALYSIS: 73 REQUIRED PARKING SPACES INCLUDING 82 STANDARD PARKING SPACES AND 4 ACCESSIBLE SPACES (1 VAN ACCESSIBLE SPACE)

NO.	DATE	BY	DESCRIPTION	COMET
1	6/22/03	WPS	REVISED PLOT LINES/PARKING	
2	6/24/03	WPS	ADDED SIGN TO SOUTH	
3	6/24/03	WPS	REVISED SIGN LINES/PARKING	
4	6/24/03	WPS	ADDED SIGN TO SOUTH	
5	6/24/03	WPS	REVISED SIGN LINES/PARKING	
6	6/24/03	WPS	ADDED SIGN TO SOUTH	
7	6/24/03	WPS	REVISED SIGN LINES/PARKING	
8	6/24/03	WPS	ADDED SIGN TO SOUTH	
9	6/24/03	WPS	REVISED SIGN LINES/PARKING	
10	6/24/03	WPS	ADDED SIGN TO SOUTH	
11	6/24/03	WPS	REVISED SIGN LINES/PARKING	
12	6/24/03	WPS	ADDED SIGN TO SOUTH	
13	6/24/03	WPS	REVISED SIGN LINES/PARKING	
14	6/24/03	WPS	ADDED SIGN TO SOUTH	
15	6/24/03	WPS	REVISED SIGN LINES/PARKING	
16	6/24/03	WPS	ADDED SIGN TO SOUTH	
17	6/24/03	WPS	REVISED SIGN LINES/PARKING	
18	6/24/03	WPS	ADDED SIGN TO SOUTH	

PROJECT NAME: WALGREENS STORE
NEO UNIVERSE & PARKSIDE
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: GEORGE RAINHART ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-8110 FAX (505) 831-4877
WWW.GRA-ARCH.COM

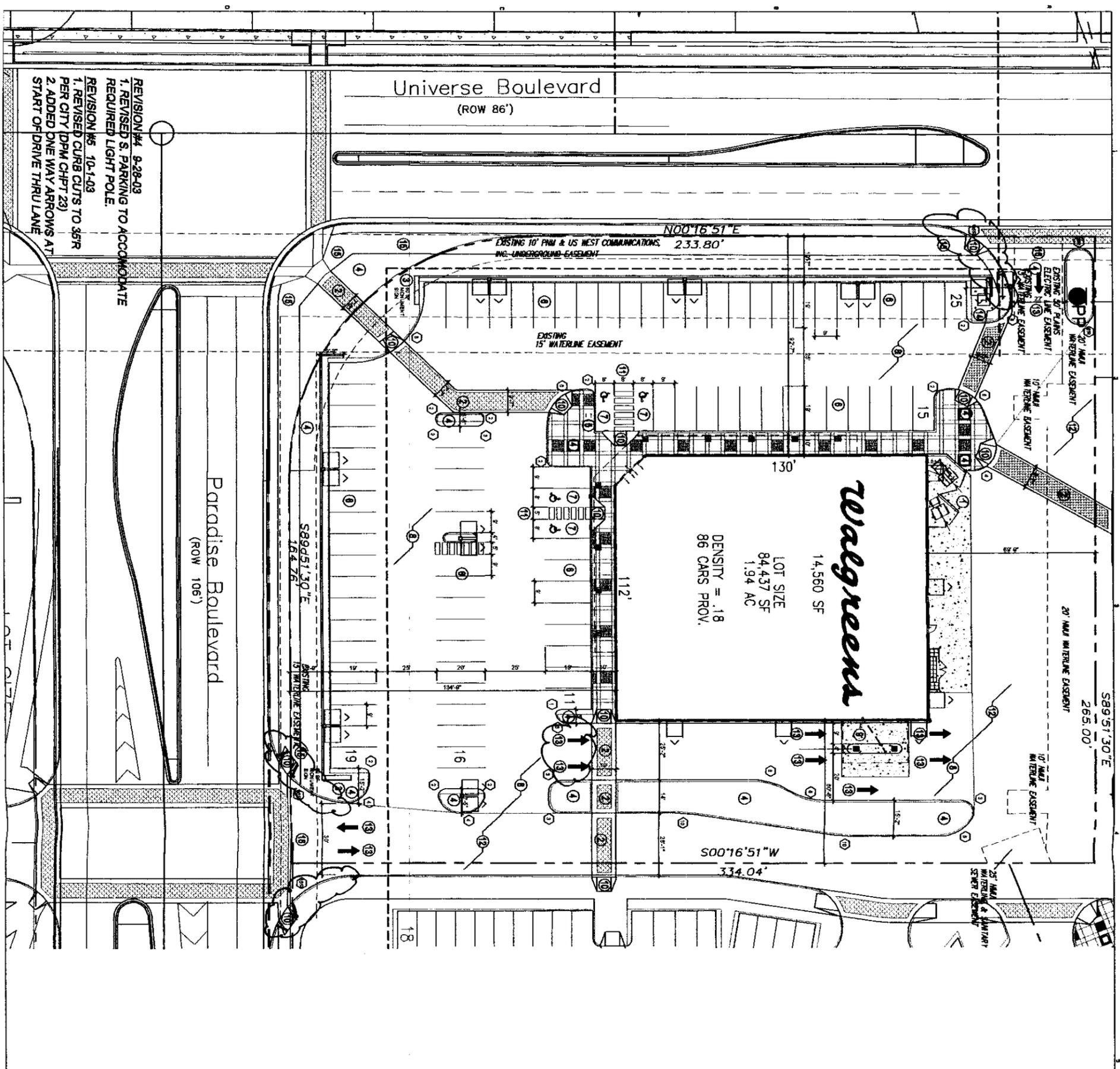
DRAWING TITLE: FLOOR PLAN

DATE: 6/28/03
SCALE: 1"=20'

DRAWING NO.: A1.0

DATE: 6/28/03
SCALE: 1"=20'

DRAWING NO.: A1.0



REVISION #4 9-28-03
 1. REVISED S. PARKING TO ACCOMMODATE
 REQUIRED LIGHT POLE.

REVISION #5 10-1-03
 1. REVISED CURB CUTS TO 35R
 PER CITY (DPM CHPT 23)
 2. ADDED ONE WAY ARROWS AT
 START OF DRIVE THRU LANE

- KEYED NOTES:**
- COMPACTOR LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF ALBUQUERQUE REQUIREMENTS.
 - RAISED AND TEXTURED WALKWAYS. SEE CHIL.
 - WALKWAYS 30" SP. MONUMENT STON.
 - NEW LANDSCAPE BUFFERS/LANDS.
 - BICYCLE RACK LOCATION - 4 BIKES.
 - STRIPING YELLOW, 4" WIDE (TYPICAL).
 - HANDICAPPED SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF ALBUQUERQUE REQUIREMENTS.
 - STANDARD ASPHALT PAVING FOR TRUCK TRAFFIC. 2" ASPHALTIC CONCRETE OVER 8" SUBGRADE.
 - 2-LANE PHARMACY DRIVE THRU.
 - HC RAMP. RED STAINED CONCRETE.
 - STRIPED HANDICAP ACCESS AISLE.
 - HEAVY DUTY ASPHALT PAVING FOR TRUCK TRAFFIC. 4" ASPHALTIC CONCRETE OVER 8" SUBGRADE.
 - YELLOW PAINTED CONCRETE OVER 24" HIGH LETTERS.
 - TRANSFORMER LOCATION.
 - EXISTING ASPHALT BIKE TRAIL.
 - NEW CURB CUT.
- RADIUS INFORMATION:**
- ① RADIUS = 2'-0"
 - ② RADIUS = 3'-0"
 - ③ RADIUS = 5'-0"
 - ④ RADIUS = 10'-0"
 - ⑤ RADIUS = 15'-0"
 - ⑥ RADIUS = 20'-0"
 - ⑦ RADIUS = 25'-0"
 - ⑧ RADIUS = 30'-0"
 - ⑨ RADIUS = 40'-0"
 - ⑩ RADIUS = 50'-0"
 - ⑪ RADIUS = 60'-0"
 - ⑫ RADIUS = 100'-0"

SITEPLAN

SCALE: 1"=20'-0"



Waagreena

FACILITIES PLANNING ADDRESS: 200 WALLOT ROAD, ALBUQUERQUE, NM 87110

PROJECT TITLE: WAAGREENA

DATE: 8/20/03

SCALE: 1"=20'

DRAWING NO: A1.0

DATE: 8/20/03

SCALE: 1"=20'

DRAWING NO: A1.0

LOCATION: DEVELOPMENT IS LOCATED AT THE NORTHEAST CORNER OF PARADISE AND UNIVERSE ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:

ARCHITECTS: GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C. 2325 SAN PERO NE, SUITE 2-9 ALBUQUERQUE, NEW MEXICO 87110

ZONING: SU-1 FOR C-2

OCCUPANT LOAD: 406 OCCUPANTS

OCCUPANCY GROUP: M (MERCANTILE)

TOTAL ACREAGE: ± 1.94 ACRES

CONSTRUCTION TYPE: V-N SPRINKLERED

TOTAL BUILDING AREA: 14,560 SQUARE FEET

PARKING ANALYSIS: 73 REQUIRED PARKING SPACES INCLUDING 62 STANDARD PARKING SPACES AND 4 ACCESSIBLE SPACES (1 VAN ACCESSIBLE SPACE)

REVISIONS

NO.	DATE	BY	DESCRIPTION	CONTR.
1	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
2	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
3	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
4	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
5	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
6	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
7	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
8	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
9	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
10	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
11	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
12	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
13	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
14	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
15	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
16	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
17	8/20/03	WPS	REVISED PROJ. DESCRIPTION	
18	8/20/03	WPS	REVISED PROJ. DESCRIPTION	

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFIC INFORMATION CONTAINED HEREIN WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AND SEAL.

PROJECT NAME: WAAGREENA

PROJECT ADDRESS: 2325 SAN PERO NE, SUITE 2-9 ALBUQUERQUE, NEW MEXICO

ARCHITECT: GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C. 2325 SAN PERO NE, SUITE 2-9 ALBUQUERQUE, NEW MEXICO 87110

PHONE: (505) 994-4110 **FAX:** (505) 837-9877

WWW: www.gra-arch.com

DATE: 8/20/03

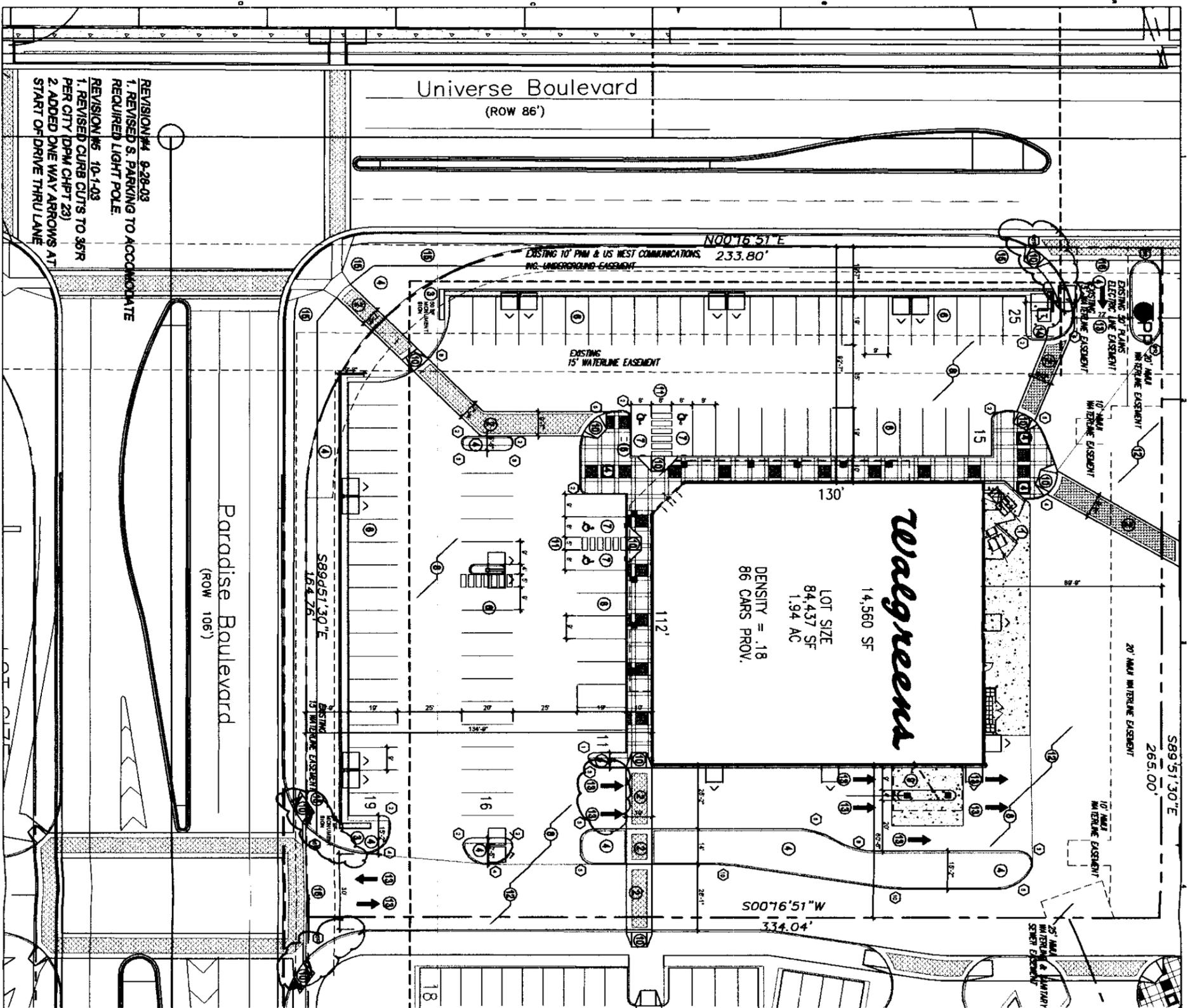
SCALE: 1"=20'

DRAWING NO: A1.0

DATE: 8/20/03

SCALE: 1"=20'

DRAWING NO: A1.0



Walgreens
 14,560 SF
 LOT SIZE
 84,437 SF
 1.94 AC
 DENSITY = .18
 86 CARS PROV.

REVISION/M4 9-28-03
 1. REVISED S. PARKING TO ACCOMMODATE
 REQUIRED LIGHT POLE.
 REVISION/M5 10-1-03
 1. REVISED CURB CUTS TO 36R
 PER CITY (DPM CHPT 23)
 2. ADDED ONE WAY ARROWS AT
 START OF DRIVE THRU LANE

- KEYED NOTES:**
1. COMPACTOR LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF ALBUQUERQUE REQUIREMENTS
 2. RASPED AND TEXTURED WALKWAYS SEE CIVIL
 3. WALKGREENS TO BE MOUNTED SIGN
 4. NEW LANDSCAPE BUFFERSTRIPS
 5. BICYCLE RACK LOCATION - 4 BIKES
 6. STRIPING, YELLOW, 4" WIDE (TYPICAL)
 7. HANDICAPPED SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF ALBUQUERQUE REQUIREMENTS
 8. STANDARD ASPHALT PAVING FOR CAR TRAFFIC 2-1/2"
 9. ASPHALTIC CONCRETE OVER SUBGRADE
 10. 2-LANE PHARMACY DRIVE THRU
 11. HC RAMP, RED STAINED CONCRETE
 12. STRIPED HANDICAP ACCESSIBLE
 13. HEAVY DUTY ASPHALT PAVING FOR TRUCK TRAFFIC 4"
 14. ASPHALTIC CONCRETE OVER SUBGRADE
 15. YELLOW PAINTED ARROW AND 24" HIGH LETTERS
 16. TRANSFORMER LOCATION
 17. EXISTING ASPHALT BIKE TRAIL
 18. NEW CURB CUT

- RADIUS INFORMATION:**
- ① RADIUS = 2'-0"
 - ② RADIUS = 3'-0"
 - ③ RADIUS = 3'-0"
 - ④ RADIUS = 10'-0"
 - ⑤ RADIUS = 15'-0"
 - ⑥ RADIUS = 20'-0"
 - ⑦ RADIUS = 25'-0"
 - ⑧ RADIUS = 30'-0"
 - ⑨ RADIUS = 40'-0"
 - ⑩ RADIUS = 50'-0"
 - ⑪ RADIUS = 60'-0"
 - ⑫ RADIUS = 100'-0"

SITEPLAN

SCALE: 1"=20'-0"



Walgreens
 FACILITIES PLANNING AND DESIGN
 200 WALLOT ROAD
 TOMBALL, TX 77480-2380

PROJECT TITLE
 WALGREENS CONSULTANT
 LANDSCAPE CONSULTANT

ALL CONSTRUCTION WORK SHALL BE NOTED OTHERWISE BY
 WALGREENS CONTRACTOR
 LANDSCAPE CONTRACTOR
 TURNKEY CONTRACTOR

STONE
 NEW
 REBUILDING
 RELOCATION
 OTHER

BUILDING
 NEW
 EXISTING
 NEW WELL ONLY

PROJECT INFORMATION

LOCATION: DEVELOPMENT IS LOCATED AT THE
 NORTHEAST CORNER OF
 PARADISE AND UNIVERSE
 ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:

ARCHITECTS:
 GEORGE RAMMART ARCHITECT & ASSOCIATES, P.C.
 2325 SAN PEDRO NE, SUITE 2-8
 ALBUQUERQUE, NEW MEXICO 87110

ZONING: SU-1 FOR C-2
 OCCUPANT LOAD: 408 OCCUPANTS
 OCCUPANCY GROUP: M (MERCANTILE)

TOTAL ACREAGE: ± 1.94 ACRES
 CONSTRUCTION TYPE: V-N SPRINKLED
 TOTAL BUILDING AREA: 14,560 SQUARE FEET

PARKING ANALYSIS:
 72 REQUIRED PARKING SPACES
 86 PROVIDED PARKING SPACES
 INCLUDING 82 STANDARD PARKING SPACES
 AND 4 ACCESSIBLE SPACES (1 VAN ACCESSIBLE SPACE)

NO.	DATE	BY	DESCRIPTION	COMET.
1	6/22/03	WRS	REVISION RCPD LUBRICATION	
2	6/25/03	WRS	LOCKED ROAD BY SOUTH	
3	6/26/03	WRS	CON-COMMIT/148 BUILTS	
4	6/26/03	WRS	REVISED MARKING	
5	10/1/03	WRS	CITY COMMENTS	
6				
7				
8				

CERTIFICATION AND SEAL

PROJECT NAME
 WALGREENS STORE
 NEEDHAMPORT & PARADISE
 ALBUQUERQUE, NEW MEXICO

GEORGE RAMMART ARCHITECT & ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-8
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 899-5110 FAX (505) 851-4877
 www.gra-va.com

DATE: 6/26/03
 DRAWN: WRS
 SCALE: 1"=20'

DRAWING NO: A1.0
 SHEET NO: 53 OF 53

DATE: 6/26/03
 DRAWN: WRS
 SCALE: 1"=20'

DRAWING TITLE: FLOOR PLAN

DATE: 6/26/03
 DRAWN: WRS
 SCALE: 1"=20'

DRAWING NO: A1.0
 SHEET NO: 53 OF 53

DATE: 6/26/03
 DRAWN: WRS
 SCALE: 1"=20'

DRAWING TITLE: FLOOR PLAN

DATE: 6/26/03
 DRAWN: WRS
 SCALE: 1"=20'

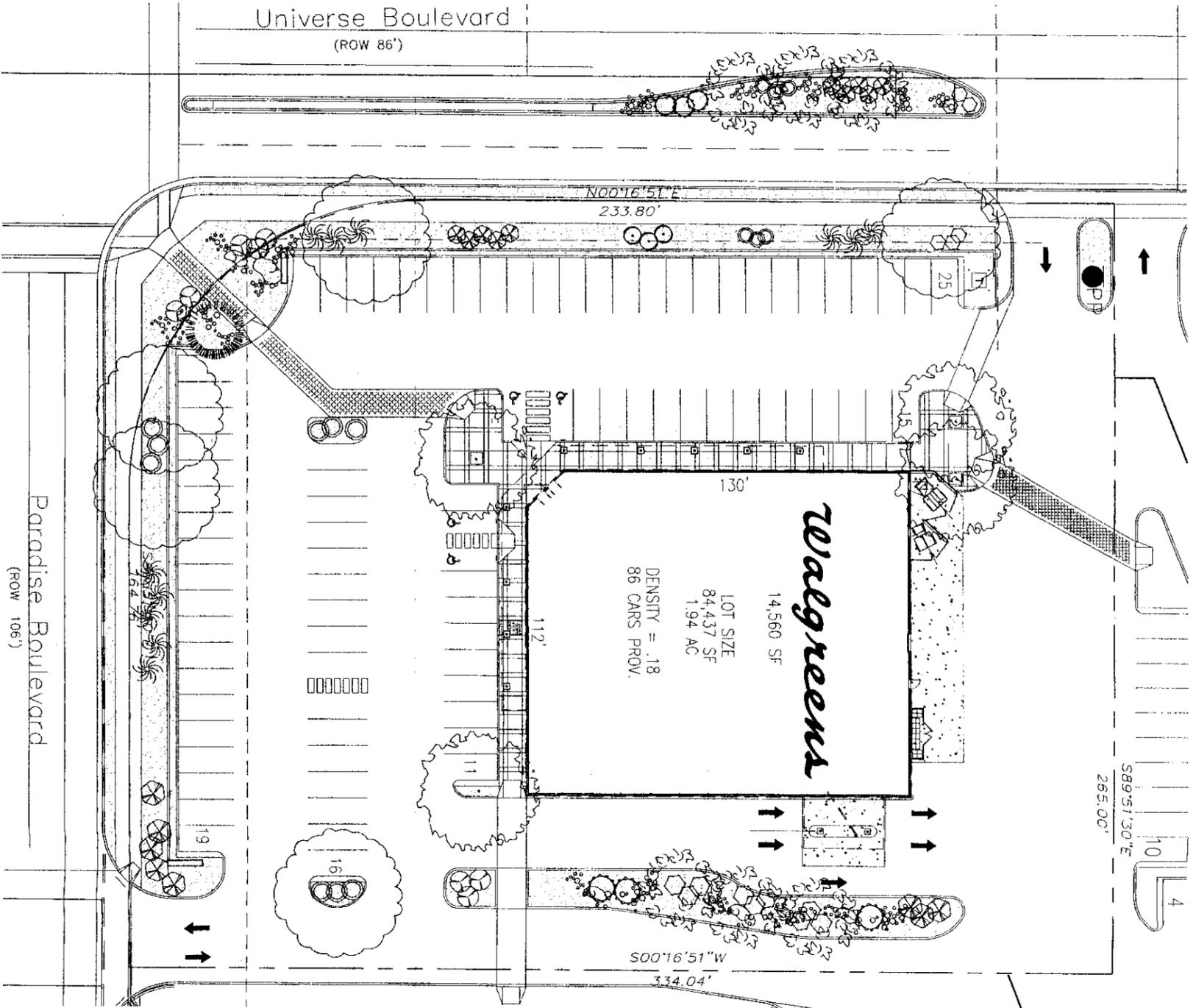
DRAWING NO: A1.0
 SHEET NO: 53 OF 53

DATE: 6/26/03
 DRAWN: WRS
 SCALE: 1"=20'

DRAWING TITLE: FLOOR PLAN

DATE: 6/26/03
 DRAWN: WRS
 SCALE: 1"=20'

DRAWING NO: A1.0
 SHEET NO: 53 OF 53



PLANT LEGEND

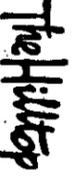
- RAYWOOD ASH (M+) 5
Flaxinus oxycarpa raywood
2 Gal.
- WASHINGTON HAWTHORN (H) 6
Crataegus phaenopynum
15 Gal.
- SILVERBERRY (M) 6
Elaeagnus pungens
5 Gal.
- MAIDENHAIR (M) 11
Mertensia virginica
5 Gal.
- INDIAN HAWTHORN (M) 18
Raphanocarpus indica
5 Gal.
- RUSSIAN SAGE (M) 3
Perovskia atriplicifolia
5 Gal.
- ARIZONA ASH (M+) 4
Fraxinus viridis
2 Gal.
- AUSTRIAN PINE (M) 1
Pinus nigra
8-8
- ROSEMARY (M) 15
Rosmarinus officinalis
2 Gal. 36sf
- AUTUMN SAGE (M) 15
Salvia greggii
2 Gal. 36sf
- WILDFLOWER 8
1 Gal. 4sf
- OVERSIZED GRAVEL
& 6 BOULDERS
- 3/4" GRAY GRAVEL
WITH FILTER FABRIC

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City of Albuquerque Water Conservation Ordinance and Water Conservation planting restriction approach.
 Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Ordinance. In general, water conservation, environmentally sound landscape principles will be followed in design and installation.
 Plant beds shall achieve 75% live ground cover at maturity.
 Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

LANDSCAPE PLAN

GRAPHIC SCALE
 20 10 0 10 20
 SCALE: 1"=20'



LANDSCAPE ARCHITECTS & CONSULTANTS

Cont. Lic. #26458
 7909 Edinburg NE
 Albuquerque, NM 87114
 P.O. Box 5051 898-7737
 Fax: (505) 898-7737
 cnd@hilltoplandscaping.com
 www.hilltoplandscaping.com

<p>Waagreena</p> <p>FACILITIES PLANNING AND DESIGN 200 WALNUT ROAD TORRANO, CO 80521</p> <p>DESIGNED BY 9/20/15</p>		<p>PROJECT TYPE</p> <p>LANDSCAPE ARCHITECTURE</p> <p>LANDSCAPE CONSULTANT</p>	
<p>DRAWING SPECIFICATIONS BY</p> <p>WAAGREENA CONSULTANT</p> <p>LANDSCAPE CONSULTANT</p>		<p>ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY</p> <p>WAAGREENA CONTRACTOR</p> <p>TURNKEY CONSTRUCTION</p>	
<p>PROJECT INFORMATION</p> <p>NEW <input checked="" type="checkbox"/> EXISTING <input type="checkbox"/></p> <p>RENOVATION <input type="checkbox"/> NEW BUILD ONLY <input type="checkbox"/></p> <p>OTHER <input type="checkbox"/></p>		<p>STONE <input type="checkbox"/></p> <p>BUILDING <input type="checkbox"/></p>	
<p>DATE: 9/20/15</p> <p>SCALE: 1"=20'</p> <p>DRAWING NO: L1.0</p>		<p>PROJECT NAME: WAAGREENA STORE</p> <p>MECH: UNIVERSE & PARADISE</p> <p>ALBUQUERQUE, NEW MEXICO</p>	
<p>DESIGNED BY: [Signature]</p> <p>CHECKED BY: [Signature]</p> <p>DATE: 9/20/15</p>		<p>CERTIFICATION AND SEAL</p> <p>THESEY GENTRY, P.E. LANDSCAPE ARCHITECT STATE OF NEW MEXICO 9-15-05</p>	
<p>GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C. 2225 SAN PEDRO NE, SUITE 218 ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 884-9110 FAX (505) 837-4877 www.gra-arch.com</p>			