



↑N

1000316 EAC



# Albuquerque Public Schools

## Elementary School Assignment Areas

★ Property of Interest

- High School
- Middle School
- Elementary School

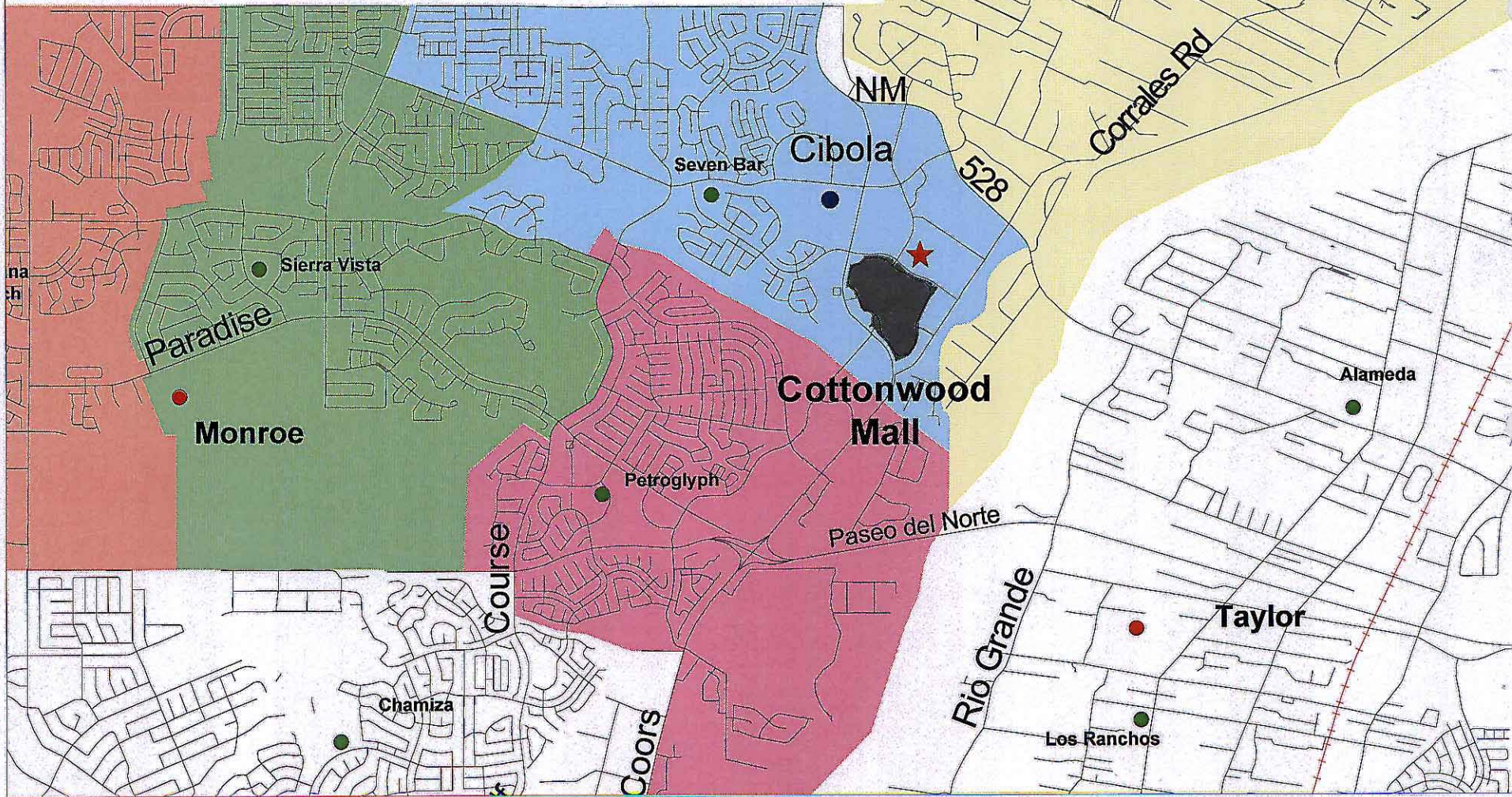


1 inch is approximately .7 miles

Architectural Research Consultants, Incorporated



- Corrales
- Petroglyph
- Seven Bar
- Sierra Vista
- Ventana Ranch





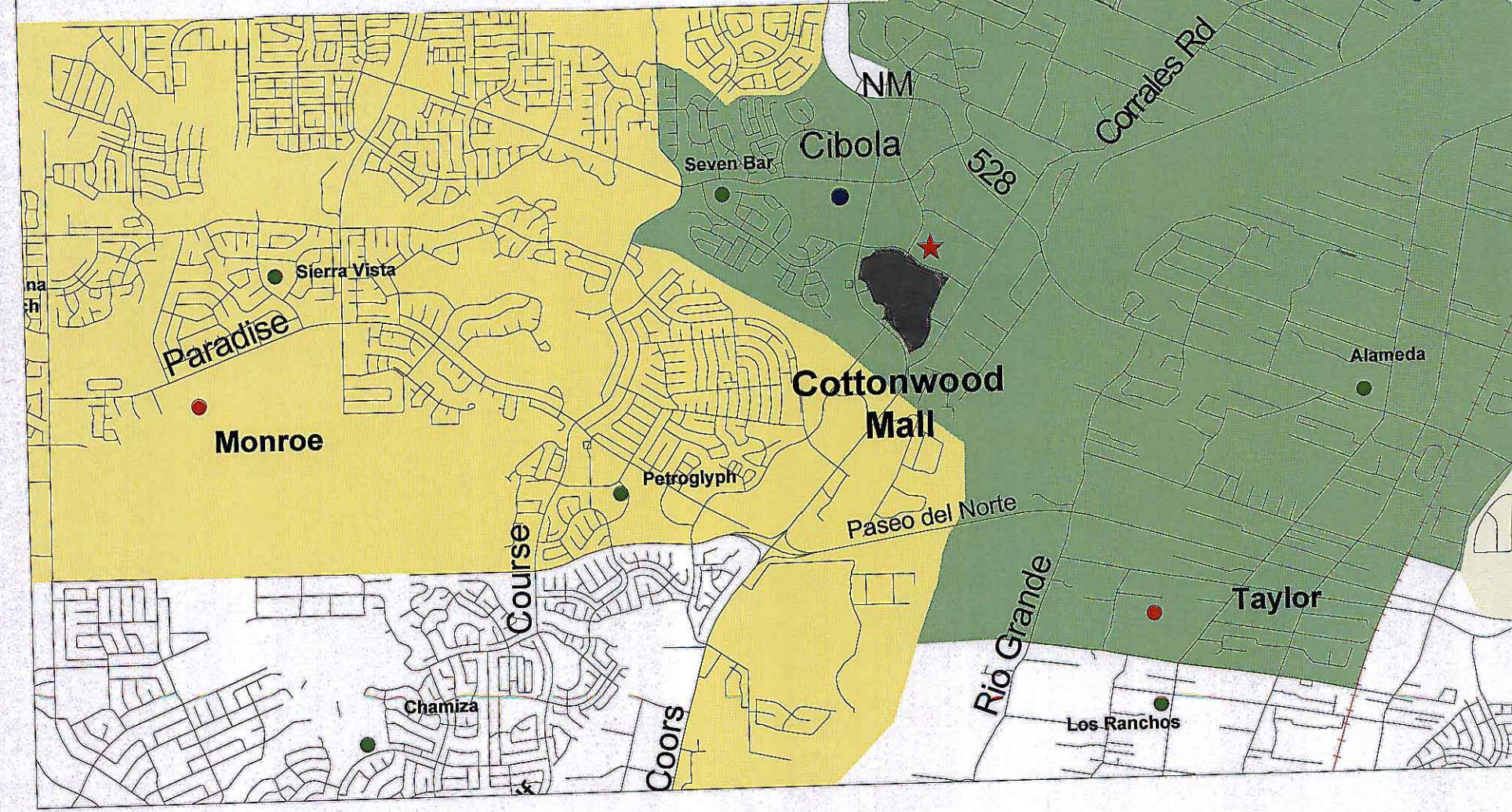
# Albuquerque Public Schools

## Middle School Assignment Areas

- ★ Property of Interest
- High School
- Middle School
- Elementary School

- Monroe
- Taylor

1 inch is approximately .7 miles  
ARC Architectural Research Consultants, Incorporated





# Albuquerque Public Schools

## High School Assignment Areas

★ Property of Interest

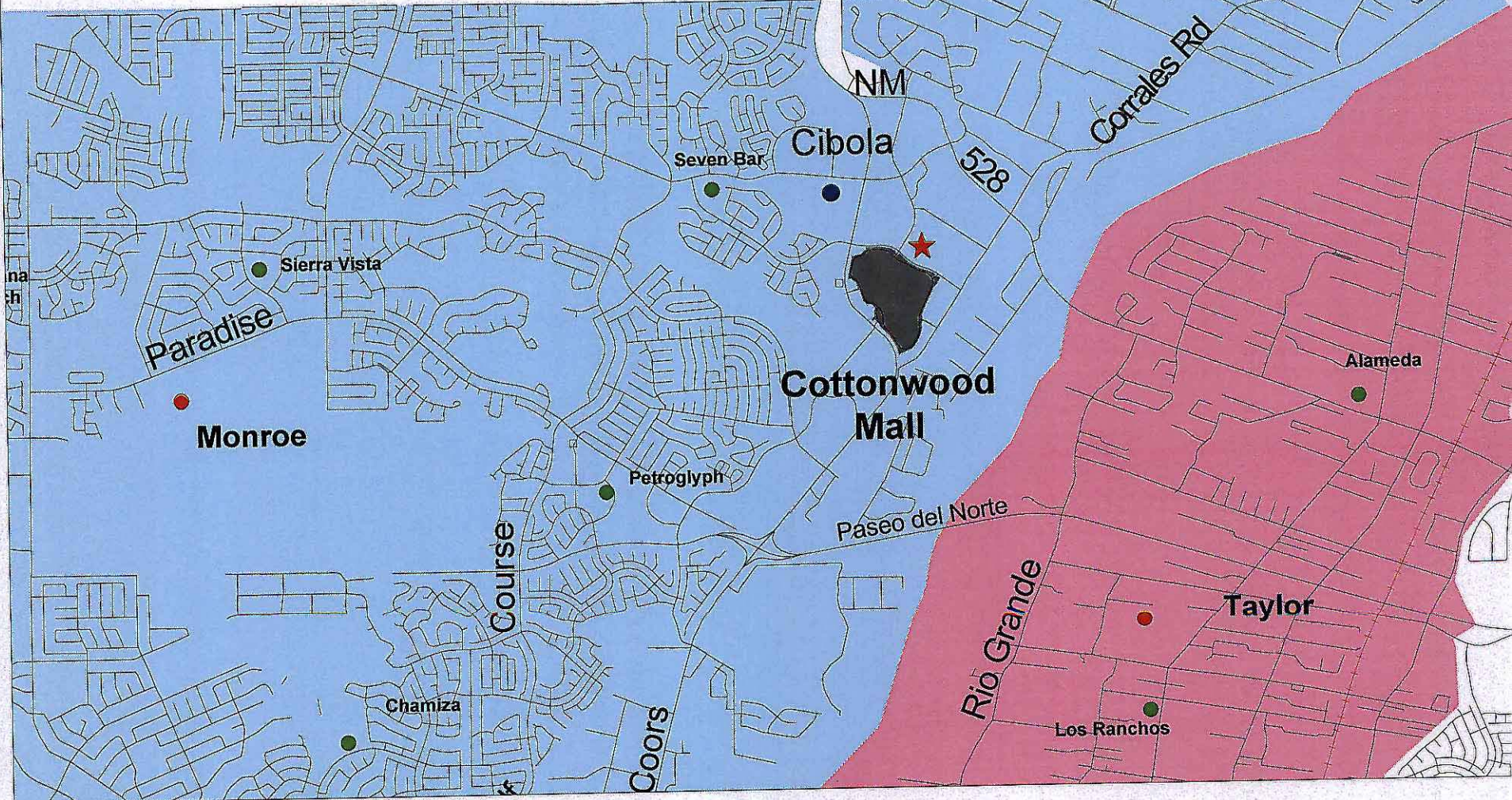
- High School
- Middle School
- Elementary School

- Cibola
- Valley



1 inch is approximately .7 miles

Architectural Research Consultants, Incorporated





# Albuquerque Public Schools

## Middle School Assignment Areas

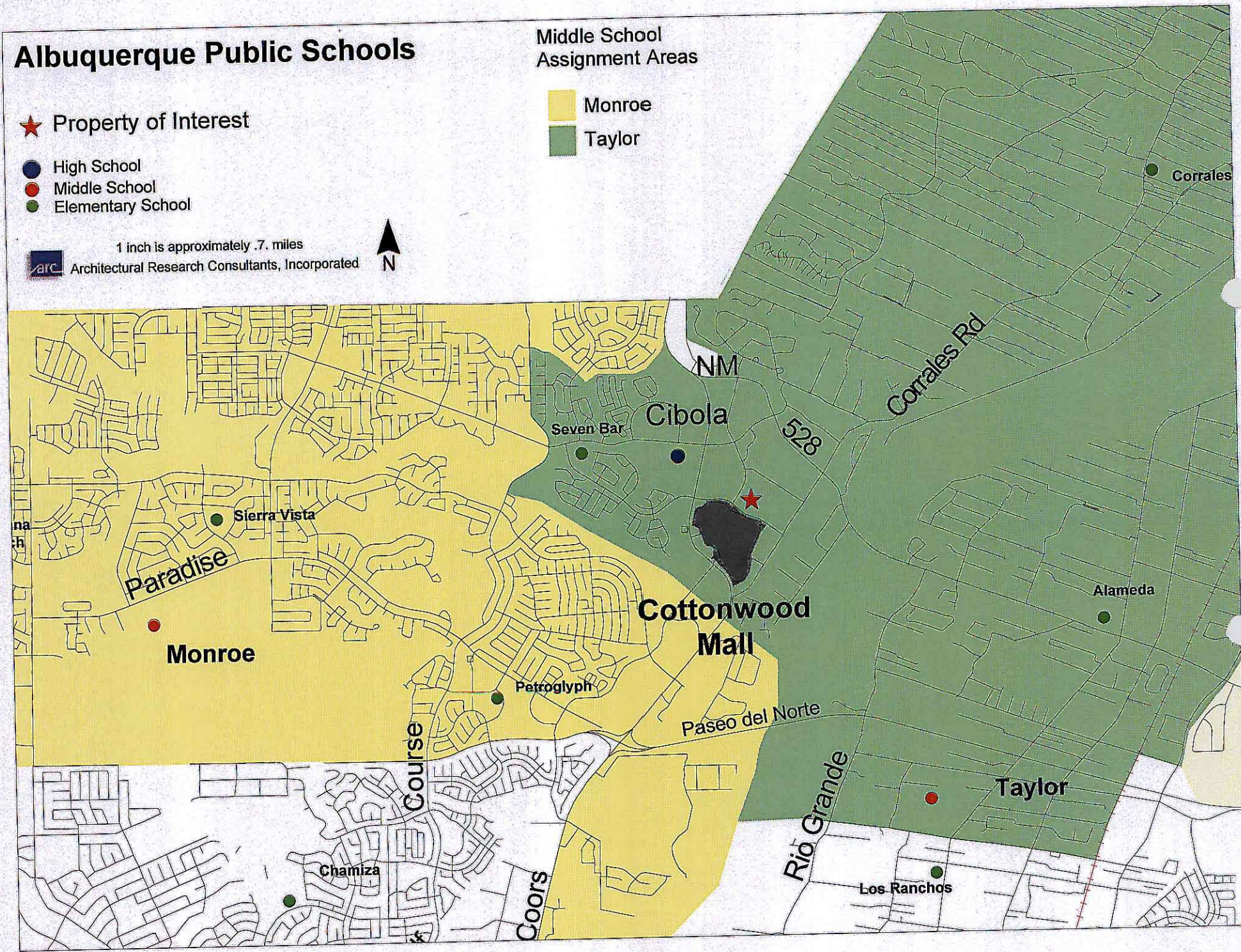
★ Property of Interest

- High School
- Middle School
- Elementary School

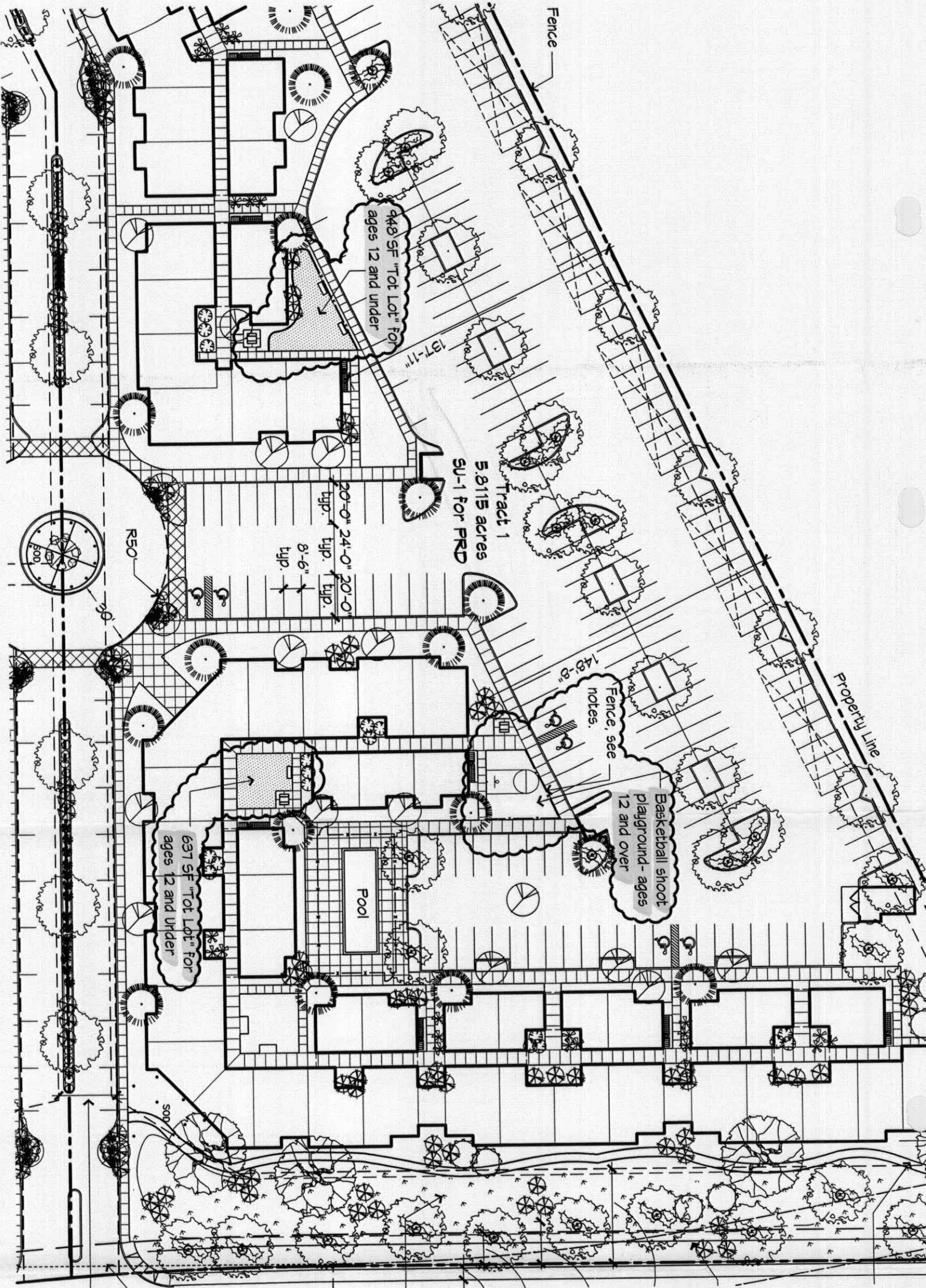
- Monroe
- Taylor

1 inch is approximately .7 miles

ARC Architectural Research Consultants, Incorporated







# Partial Illustrative Site Plan

## Affordable Rate Site - Tract 1



architecture  
interiors  
planning  
engineering



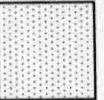
**D**

**Deker/Perich/Sabatini**  
6801 Jefferson NE  
Suite 100  
Albuquerque, NM 87109

505 761-9700  
fax 761-4222  
dps@dpsdba.com

Cottonwood Apartments		GSL	
Old Airport Avenue		Albuquerque, New Mexico	
EPC Condition No. 12 & 13		Project # 1000316	
DRAWN BY	AT	SCALE	AS SHOWN
REVIEWED BY	AT	DATE ISSUED	6/02/05
PROJECT NO.	05013	Exhibit A	
		1 of 2	

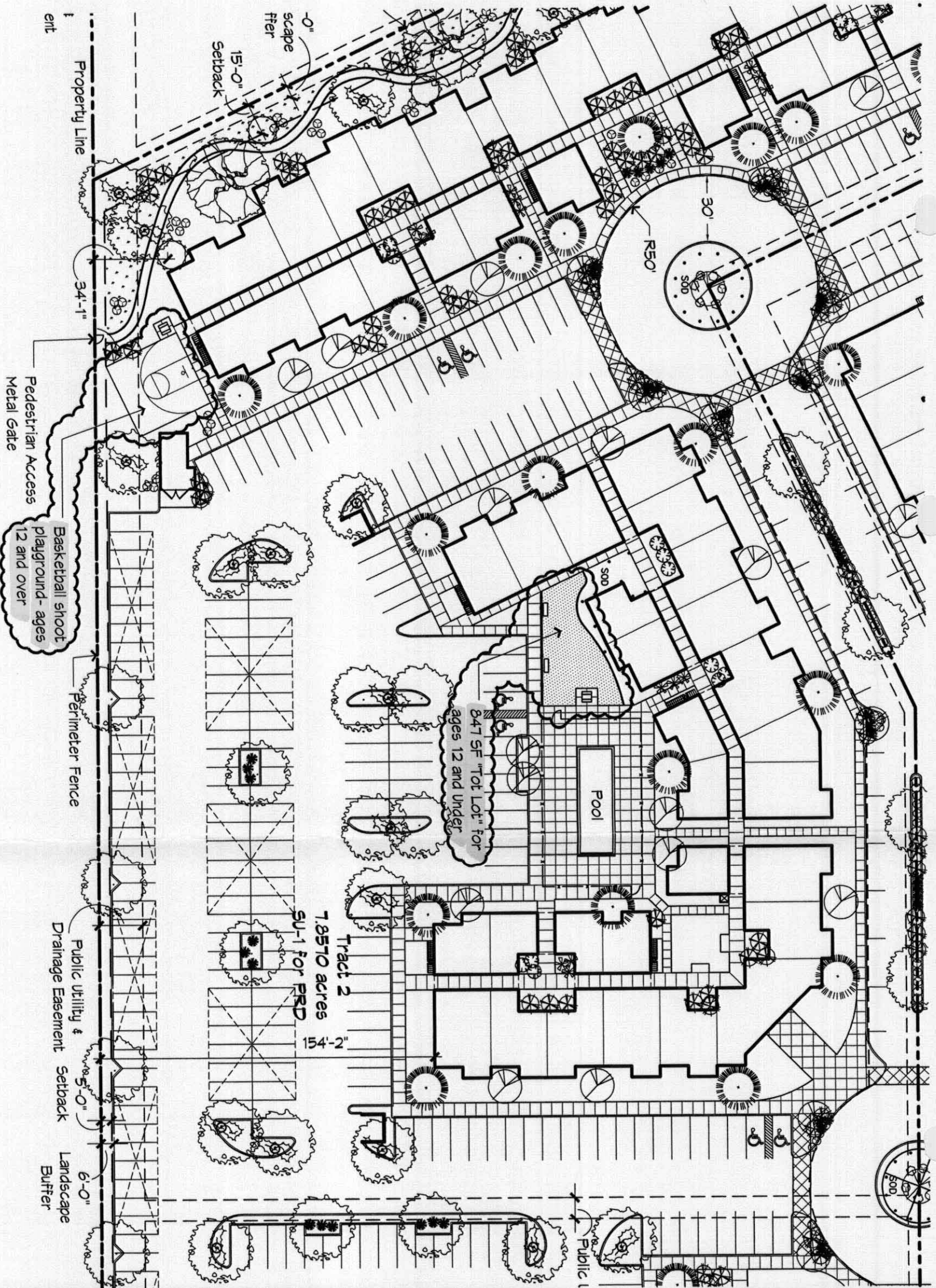
### Site Legend

-  Bench with Seat Back
-  Picnic Table with Bench Seating
-  12" min. Deep Sand Base at "Tot Lots"

### General Notes

1. Designated play areas and playgrounds shall be located in an accessible route, and shall be situated so that the play area is visible by the community.
2. A bench must be provided at all playgrounds to allow child supervision. The bench must be anchored permanently, be in an accessible route and be weather resistant.
3. Play areas and playgrounds in proximity to parking areas shall be provided with a fence facing such areas.
4. A "warning" sign must be posted to advise residents that children playing at the playground will be doing so at their own risk. The sign must be posted at a visible location and use contrasting colors.





# Partial Illustrative Site Plan

## Market Rate Site - Tract 2



### General Notes

1. Designated play areas and playgrounds shall be located in an accessible route, and shall be situated so that the play area is visible by the community.
2. A bench must be provided at all playgrounds to allow child supervision. The bench must be anchored permanently, be in an accessible route and be weather resistant.
3. Play areas and playgrounds in proximity to parking areas shall be provided with a fence facing such areas.
4. A "warning" sign must be posted to advise residents that children playing at the playground will be doing so at their own risk. The sign must be posted at a visible location and use contrasting colors.

### Site Legend

- Bench with Seat Back
- Picnic Table with Bench Seating
- 12" min. Deep Sand Base at "Tot Lots"

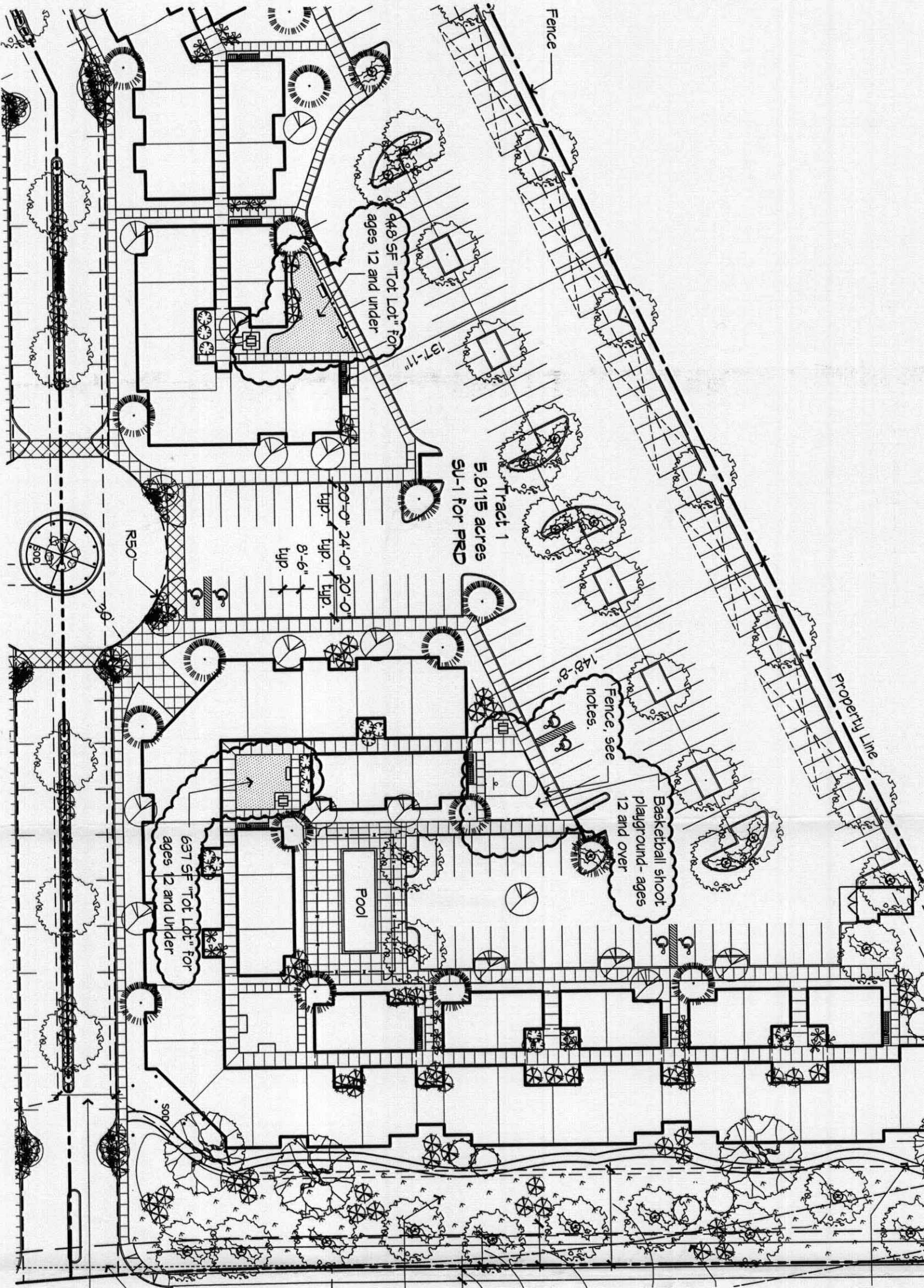
architecture  
interiors  
planning  
engineering

**Dekker/Perich/Sabatini**  
6801 Jefferson NE  
Suite 100  
Albuquerque, NM 87109

505 761-9700  
fax 761-4222  
dps@dpsdq.com

Cottonwood Apartments GSL Old Airport Avenue Albuquerque, New Mexico		EPC Condition No. 12 & 13 Project # 1000316	
DRAWN BY	AT	SCALE	AS SHOWN
REVIEWED BY	AT		
DATE ISSUED	6/02/05	<b>Exhibit B</b>	
PROJECT NO.	05013	2 OF 2	

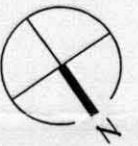




# Partial Illustrative Site Plan

## Affordable Rate Site- Tract 1

1" = 50'-0"



**DP**  
**Dekker/Perich/Sabatini**  
 architecture  
 interiors  
 planning  
 engineering  
 6801 Jefferson NE  
 Suite 100  
 Albuquerque, NM 87109  
 505 761-9700  
 fax 761-4222  
 dps@dpsdba.com

Cottonwood Apartments  
 Old Airport Avenue  
 Albuquerque, New Mexico



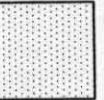
<b>EPC Condition No. 12 &amp; 13</b>		<b>Project # 1000316</b>	
DRAWN BY	AT	SCALE	AS SHOWN
REVIEWED BY	AT		
DATE ISSUED	6/02/05		
PROJECT NO.	05013		

**Exhibit A**  
 1 OF 2

### General Notes

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2. A bench must be provided at all playgrounds to allow child supervision. The bench must be anchored permanently, be in an accessible route and be weather resistant.
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### Site Legend

-  Bench with Seat Back
-  Picnic Table with Bench Seating
-  12" min. Deep Sand Base at "Tot Lots"











**Cottonwood Apartments  
GSL**  
Old Airport Avenue  
Albuquerque, New Mexico

- LANDSCAPE PALETTE**
- EVERGREEN TREES**  
6-8' Austrian Pine
- LARGE SHADE TREES**  
7' Cal. Chinese Pistache  
Purple Robe Locust  
Royal Palm  
Cottonwood  
(In Ponding Areas/ Exterior Trails Only)
- ORNAMENTAL TREES**  
19' Gal. Flowering Pear (Along Center Strip Only)  
Multi-Trunk Ornamental Trees  
19' Gal. Desert Willow  
Japanese Maple (In Inner Courtyard Areas Only)  
Vitek (Ginkgo) Tree
- DESERT ACCENTS**  
5 Gal. Agave  
Nolina  
Frickly Pear  
Palm  
Yucca  
Yucca
- XERIC/NATIVE SHRUBS**  
5 Gal. Apache Pine  
Autumn Sage  
Blind of Paradise  
Blue Mist Spiraea  
Butterfly Bush  
Chamaisa  
Coccoloba  
Photinia  
Raphanopalis  
Rosemary  
Russian Sage  
Spanish Broom  
Three-Leaf Sumac
- ACCENT SHRUBS (In Inner Courtyard Areas Only)**  
1 Gal. Maranta  
Red Twig Dogwood  
Spreading Yew
- PERENNIALS, MILDFLOWERS AND GROUNDCOVERS**  
1 Gal. Agave  
Blanketflower (Gaillardia)  
Coneflower  
Creeping Rosemary  
Creeping Thyme  
Dwarf Plumago (In Inner Courtyard Areas Only)  
Gaura  
Lupinus  
Kimblick  
Linlope (In Inner Courtyard Areas Only)  
Pincushion Flower  
Primrose  
Red Hot Poker  
Sedum  
Wallflower  
Yarrow
- ORNAMENTAL GRASSES**  
6 Gal. Blue Fescue (Festuca)  
Blue Fescue (Festuca)  
Deergrass (Muhlenbergia)  
Threadgrass (Stipa)  
5 Gal. Maidenhair (Miscanthus)  
Regal Mist (Muhlenbergia)
- NATIVE SEED MIX**  
Will include wildflowers not mentioned above such as Desert Marigold (Hymeroxis) and Globeamallow (Sphaeralcea) as well as native shrubs such as Chamaisa and Apache Plume.

- REVISIONS**
- 10/24/05 EPC Conditions of Approval

- DRAWN BY** AJT/MS  
**REVIEWED BY** DW/JAT  
**DATE** October 24, 2005  
**PROJECT NO.** 05019  
**DRAWING NAME** Illustrative Landscape & Building Layout Plan

- General Notes**
1. Locations of fire hydrants shall be determined at time of building permit with guidance from the Fire Marshal.
2. Refer to Landscape Design Standards in Sheet 4 of 6.

- Site Legend**
- Accessible Parking Space
  - Wheeled Refuse Container
  - Wheeled Refuse Compactor
  - Concrete Sidewalk/Paving
  - Carport
  - Bench
  - Picnic Table

- COMMERCIAL GRADE**  
STEEL EDGE  
3/4" GRSY GRAVEL WITH FILTER FABRIC  
COBBLE

- 500**  
**11'-2"**

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REVISIONS	DATE	BY	APPROVAL
1	10/24/09	AT/MS	ERC Conditions of Approval
2		DN/MS	

DRAWN BY	AT/MS
REVIEWED BY	DN/MS
DATE	October 24, 2009
PROJECT NO.	09019
DRAWING NAME	Development Design Standards

**Architectural Design Standards, cont.:**

**Walls/Fences:**  
Perimeter walls and fencing are allowed on the property, however efforts shall be made to lessen the visual impact of the walls or fencing through use of landscaping, and the design and location of openings.

- unfinished block walls, barbed wire, chain link, concrete wire, and plastic vinyl fencing are prohibited.
- Perimeter fences shall be painted tube steel with vertical pickets.
- To complement the color and architectural character of the buildings, acceptable materials for perimeter and yard walls include masonry block (with decorative finish), block with stucco, split face block, stone and painted tube steel.
- A combination of fence and/or wall is acceptable.
- Perimeter walls and fences, if used, shall include pedestrian openings at a minimum of 6'-0" in height.
- Clear sight distances shall be maintained at all driveway and garage locations.
- Perimeter walls and fences, if used, shall be designed to be architecturally coordinated with the buildings they serve.

**Pedestrian Amenities:**  
The creation of a pedestrian-friendly environment will depend on creative site design and will be a primary design objective for this project. Objectives to achieve this goal include maintaining a high quality and consistent design for all pedestrian amenities, including benches, plazas, walkways, landscaping, signage and lighting. Other objectives include providing shaded walkways, and separating pedestrian and vehicle circulation systems in order to reinforce the village character of the project and minimize conflict between people and cars.

The use of alternative paving material for pedestrian pathways is encouraged but is not mandatory. The use of art is another site amenity that is encouraged.

**Trails and Sidewalks**  
Public and private walks provide important connectivity within the project as well as out of the site. Private trails are proposed along Old Airport Road and between the adjacent commercial site and the apartments.

- All private trails and paths shall be soft surface with a minimum of 6'-0". The use of asphalt is discouraged. Concrete or compacted crusher fines with stabilizer are acceptable materials.
- All hard surface pedestrian paths shall be designed to be handicapped accessible, except where topography makes this infeasible.
- Pedestrian connections to buildings should be provided in parking lots with greater than 50 spaces, where practical. These connections should also link to adjacent roadways, sidewalks, and pathways.
- Pedestrian crossings shall be clearly demarcated with contrasting paving treatment.
- Secure bicycle storage racks shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided.
- Although there are no public trails or open space on or adjacent to the property, the site design must include pedestrian paths and trails that enable connectivity to facilities off-site.

**Private Common Areas/ Public Open Space:**  
An important feature of this residential community is the inclusion of private plazas and pool areas that exist adjacent to buildings. These spaces provide visual and physical relief, as well as opportunities for residents to meet their neighbors. The site is designed to provide residents with connections to public sidewalks from internal paths/sidewalks to reach public open space areas via car, bicycle or public transportation. The site offers its own open space for residential use (additionally, clubhouse provides amenities such as exercise facilities and meeting rooms for apartment residents. All private common area / public open space and pools will be maintained by the property owner.

**Preliminary grading and drainage plan:**  
The drainage is designed to be an incorporated feature of the site rather than an intrusive site requirement. The ponding area will be landscaped with appropriate plant materials and maintained by owner.

**Architectural Design Standards, cont.:**

**Site Lighting:**  
In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to provide adequate safety lighting while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing dark sky.
- Area light fixtures shall be full cut-off design with no bottom light fixture housing. Building mounted fixtures shall also comply with this requirement.
- The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- Light pole fixtures shall be a maximum of 20' in height, consistent with the "Bar Sector Plan and the Coors Corridor Plan."

**Placement of Mechanical Units:**  
Care should be made to hide the view of exposed mechanical units, riders, and other equipment from the ground directly adjacent to the building whenever possible, whether roof or pad mounted units are used. Ground level units shall be screened from public view through the use of walls, or landscape material. Roof mounted units shall be screened from public view through the use of parapet walls that are architecturally coordinated with the building they serve.

**Signage:**  
The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and complements the visual character of the development.

- All signs shall comply with section 14-16-9-5 General Sign Regulations of the Zoning Code.
- Entry identification signs shall be of the well mounted monument type and shall complement the materials, color, and architectural character of the buildings. The maximum height of the sign to receive the sign shall not exceed the height of the perimeter fence.
- The design of the interior directional signs shall be coordinated with the design of the monument sign.
- Building mounted signs shall comply with section 14-16-9-5.6.6 No illuminated plastic panel signs are allowed except business logos within the non-residential area to the property.

**Screen Walls and Fences:**  
The effective use of screening devices for utilitarian spaces, such as loading and refuse areas, is critical to creating an attractive and functional development. The site orientation of these elements shall be away from streets, building entrances and pedestrian areas.

**Screening:**  
Screening requirements are in addition to those listed in the parking and landscape sections.

Refuse containers shall be screened from view through the use of walls at least six feet high that are architecturally coordinated with the buildings they serve and meet City design standards.

- Refuse enclosures shall be further screened through the use of trees and shrubs.
- Loading areas shall be located, if possible, at the rear of buildings and away from public streets. Loading areas that are visible from public streets shall be screened through the use of walls at least six feet high that are architecturally coordinated with the buildings they serve.
- Changes for pedestrian pathways shall be provided where they occur.
- The use of barbed wire, concrete wire, chain link or plastic fencing is not allowed.

**Design Standards for Planned Residential Development (PRD)**

The purpose of these design standards is to establish a framework for the quality development of the subject development. Area shown on the site development plan for subdivision. The primary goal for these design standards is to create an attractive, comfortable and safe residential community that fosters pedestrian accessibility and creates a village-type character. These standards address the issues of architecture, parking, site lighting, screen walls and fences, pedestrian amenities, and signage to create the quality image desired for this development. The design standards are intended to be complementary to the planning and design of adjacent properties.

Minor amendments to this Site Plan for subdivision shall be approved by the Planning Director in accordance with the Albuquerque Comprehensive City Zoning Code. Major amendments to this Site Development Plan for subdivision shall be approved by the Environmental Planning Commission.

**Off-Street Parking:**  
Off-street parking space shall be provided in compliance with regulation 14-16-9-1 of the Albuquerque Comprehensive City Zoning Code. In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design:

- Handicapped parking spaces shall be provided adjacent to building entries and accessible units.
- The total minimum amount of parking provided shall meet or exceed parking requirements in the Albuquerque Comprehensive City Zoning Code after applying the allowable transit corridor reduction.
- Structures and on-site circulation systems should be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- Parking areas shall be designed to include pedestrian links between perimeter sidewalks and adjacent buildings.
- Covered parking in the form of carports will be provided for approximately one-fourth of the total parking stalls.

**Architectural Design Standards:**

**Dwelling Unit Sizes:**  
Dwelling unit sizes range from 500 to 1200 square feet.

**Exterior Wall Materials and Colors:**  
Exterior wall materials are to be predominately masonry based. The varying styles of masonry Northern New Mexico Architecture shall be the basis of a more simple and contemporary expression or interpretation for architectural design.

Articulation of massing so as not to produce a long and flat building facade should be considered and encouraged. An articulated top-line of buildings, and the play of figures/groove patterns will help the massing to achieve this goal. The building massing should also promote pedestrian site access when possible.

Attention to enhanced internal streetscape should be considered to promote a sense of place and complement pedestrian movement through the site. Utilizing the buildings to infer a street edge, applying pedestrian friendly landscape material along walking paths, or a simple planter of the building pad up off the adjacent ground plane are all ways to help accomplish this goal and also to acknowledge the "Established Urban" zone in the Mesquite Street Area Plan.

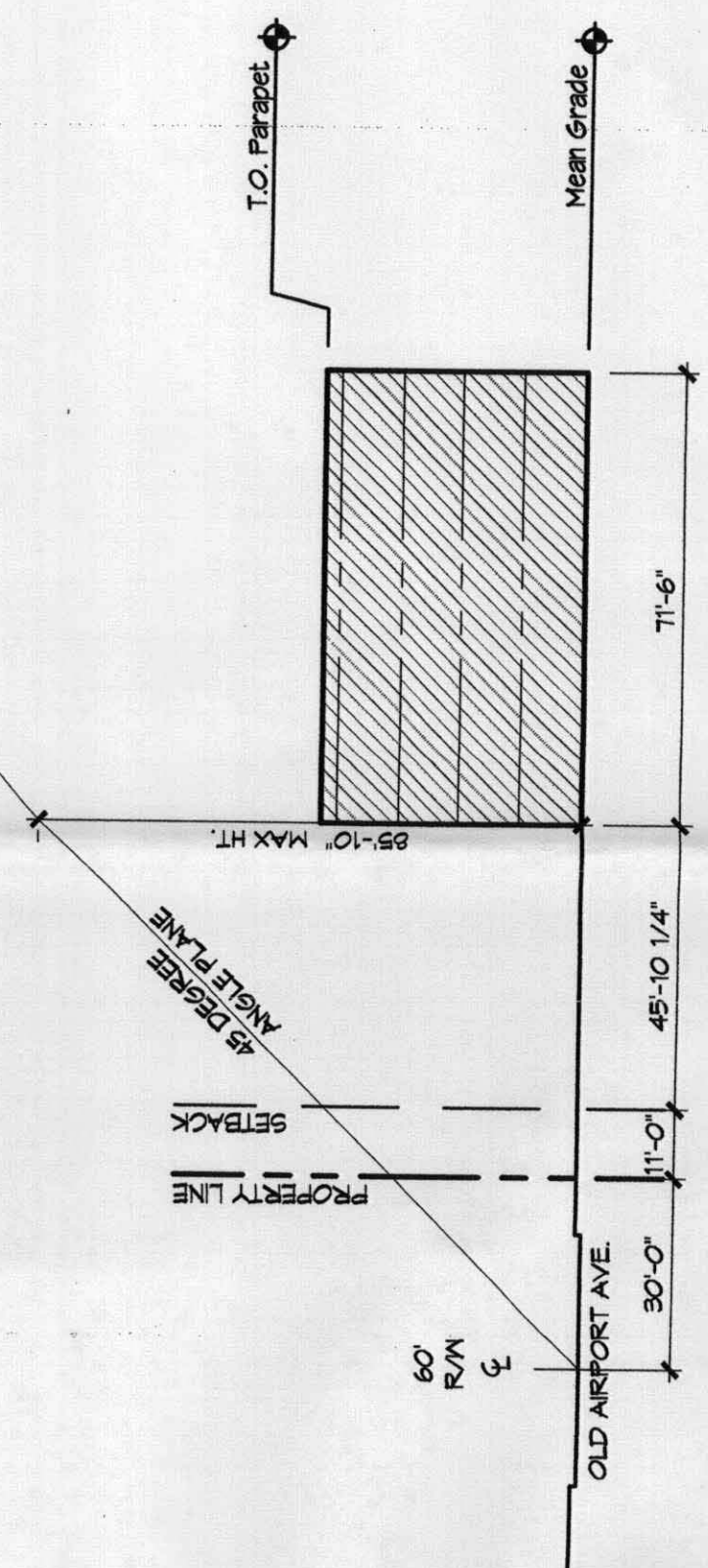
The use of a stucco wall finish system (or synthetic version thereof) shall be the predominant material for buildings to reinforce the Northern New Mexico vernacular architectural expression.

Site and patio walls should reflect the same use of stucco finish to complement the site of the buildings, or may contrast the building finish by use of exposed split-face CMU.

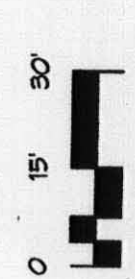
Exterior wall color should reflect a consistent overall palette of earth-based tones for the field colors, however, more saturated earth-based tones with a much wider color palette mix of building uses in the area. This is intended to add visibility to the rich residential neighborhood, so building variety should be encouraged to better relate to its immediate surroundings.

Exterior detail trim such as shade canopies, trellises, open railings, pitched roof elements, parapet cornices, lintels, etc. should be consistently detailed throughout the site to complement the overall architecture and minimized the overall detail variety to the extent possible.

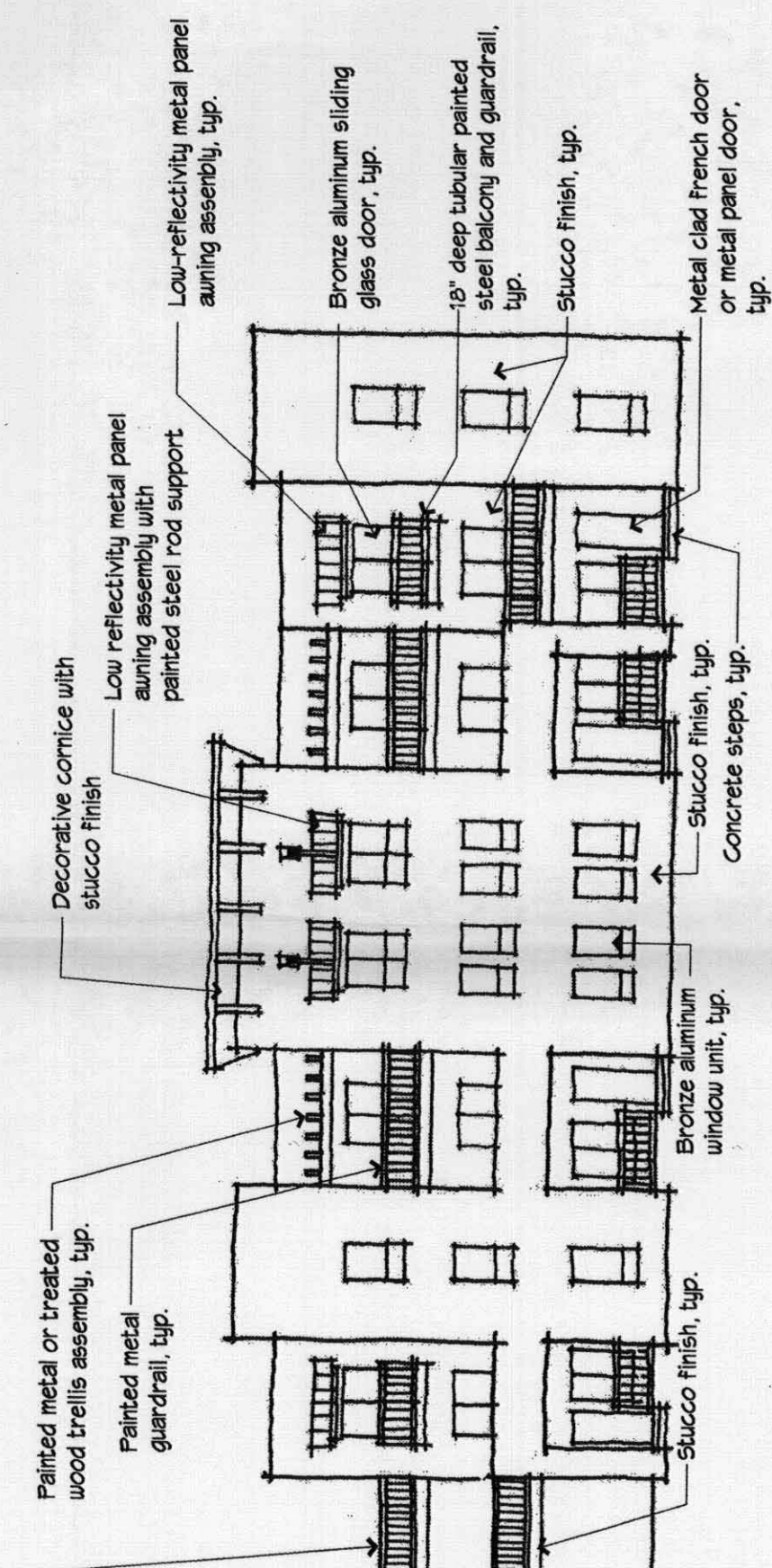
**Roof materials and colors:**  
Roof materials may vary with the New Mexico vernacular expression from flat roof (low slope) with parapet, to metal roof and clay or concrete tile roof. Low reflectivity is required.



**Solar Study Diagram**



**Typical Elevation Design Concept**  
Senior, 3-Stories



**Typical Elevation Design Concept**  
Market, 4-Stories

**Typical Elevation Design Concept**  
Market, 3-Stories





**Design Standards for Planned Residential Development (PRD)**

The purpose of these design standards is to establish a framework for the quality development of the subject development area shown on the site development plan for subdivision. The primary goal for these design standards is to create an attractive, comfortable and safe residential community that fosters pedestrian accessibility and creates a village-type character. These standards address the issues of architecture, parking, site lighting, screen walls and fences, pedestrian amenities, and signage to create the quality image desired for this development. The design standards are intended to be complementary to the planning and design of adjacent properties.

Minor amendments to this Site Plan for Subdivision shall be approved by the Planning Director in accordance with the Albuquerque Comprehensive City Zoning Code. Major amendments to this Site Development Plan for Subdivision shall be approved by the Environmental Planning Commission.

**Off-Street Parking:**  
Off-street parking space shall be provided in compliance with regulation 14-16-9-3 of the Albuquerque Comprehensive City Zoning Code. In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design:

- Handicapped parking spaces shall be provided adjacent to building entries and accessible units.
- The total minimum amount of parking provided shall meet or exceed parking requirements in the Albuquerque Comprehensive City Zoning Code after applying the allowable transit corridor reduction.
- Structures and on-site circulation systems should be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- Parking areas shall be designed to include pedestrian links between perimeter sidewalks and adjacent buildings.
- Covered parking in the form of carports will be provided for approximately one-fourth of the total parking stalls.

**Architectural Design Standards:**

**Dwelling Unit Sizes:**

Dwelling unit sizes range from 500 to 1200 square feet.

**Exterior Wall Materials and Colors:**

Exterior wall materials are to be consistently veneer based. The varying shades of veneer materials are to be coordinated with the overall architectural character. Contemporary expression or interpretation for architectural design.

Articulation of massing so as not to produce a long flat building facade should be considered and encouraged. An articulated top-line of buildings, and the play of figure/ground planes will help the massing to achieve this goal. The building massing should also promote pedestrian site access when possible.

Attention to enhanced internal stress-escape should be considered to promote a sense of place and complement pedestrian movement through the site. Building heights should be placed and enhanced pedestrian movement through the site. Building heights should be placed and enhanced pedestrian movement through the site. Building heights should be placed and enhanced pedestrian movement through the site.

The use of a stucco wall finish system (or synthetic version thereof) shall be the predominant material for buildings to reinforce the Northern New Mexico vernacular architectural expression.

Site and patio walls should reflect the same use of stucco finish to complement that of the buildings, or may contrast the building finish by use of exposed split-face masonry.

Exterior wall color should reflect a consistent overall palette of earth-based tones for the building. However, more saturated earth-based tones with a much wider color palette should be encouraged for accent colors. This is intended to add vitality to the rich mix of building uses in the area. The site is not located adjacent to a developed residential neighborhood, so building variety should be encouraged to better relate to its immediate surroundings.

Exterior detail trim such as shade canopies, trellises, open railings, pitched roof elements, parapet cornicing, lintels, etc. should be consistently detailed throughout the site to complement the overall architecture and minimized the overall detail variety to the extent possible.

**Roof Materials and Colors:**

Roof materials may vary with the New Mexico vernacular expression from flat roof (low slope) with parapet, to metal roof and clay or concrete tile roof. Low reflectivity is required.

**Architectural Design Standards, cont.:**

**Site Lighting:**

Placement of fixtures and standards shall conform to state and local safety and illumination standards.  
All lights shall be shielded to prevent spillage into adjacent properties or light pollution of the existing dark sky.  
Lighting shall be designed to provide uniform illumination of the site and to be aesthetically pleasing.  
Lighting shall be designed to provide uniform illumination of the site and to be aesthetically pleasing.

**Placement of Mechanical Units:**

Care should be made to hide or screen exposed mechanical units, riders, and other equipment in mechanical units are used. Ground level units shall be screened from public view through the use of walls, or landscape material. Roof mounted units shall be screened from public view through the use of parapet walls that are architecturally coordinated with the building they serve.

**Signage:**

The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and complements the visual character of the development.

- All signs shall comply with section 14-16-9-5 General Sign Regulations of the zoning code.
- Entry identification signs shall be of the wall mounted monument type.
- The maximum height of the sign shall be limited to the maximum height of the building.
- The design of the sign shall be coordinated with the design of the building.
- Building mounted signs shall comply with section 14-16-9-5.6.6 of the zoning code.
- No illuminated plastic panel signs are allowed except business logos within the non-residential area to the property.

**Screen Walls and Fences:**  
The effective use of screening devices for utilitarian spaces, such as loading and unloading areas, is critical to creating an attractive and functional development. The site orientation of these elements shall be away from streets, building entrances and pedestrian areas.

**Screening:**

Screening requirements are in addition to those listed in the parking and landscape standards.  
Re-use containers shall be screened from view through the use of walls at least six feet high that are architecturally coordinated with the buildings they serve and meet City design standards.

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Re-use containers shall be screened from view through the use of walls at least six feet high that are architecturally coordinated with the buildings they serve and meet City design standards.

**Architectural Design Standards, cont.:**

**Malls/Fences:**

Perimeter walls and fencing are allowed on the property. However efforts shall be made to lessen the visual impact of the walls or fencing through use of landscaping, and the design and location of openings.  
• Unfinished block walls, bricked wire, chain link, concrete wire, and perimeter fencing shall be prohibited.  
• To complement the color and architectural character of the buildings, acceptable materials for perimeter and gate walls include masonry block (with decorative finish), block with stucco, split face block, stone and painted tube steel.  
• A combination of fence and/or wall is acceptable.  
• Perimeter walls and fences, if used, shall include pedestrian openings at key locations within the development to ensure convenient access to adjacent properties.  
• The maximum height of perimeter walls and fences shall not exceed 6 feet in height.  
• Clear sight distances shall be maintained at all driveway/entrance locations.  
• Perimeter walls and fences, if used, shall be designed to be architecturally coordinated with the buildings they serve.

**Pedestrian Amenities:**

The location of pedestrian-friendly environment will depend on creative site design and will be a key design objective for this project. Objectives to achieve this goal include maintaining a high quality and consistency in site for site amenities, including benches, plazas, walkways, landscaping, signage and lighting. Other objectives include providing shaded walkways, and separating pedestrian and vehicular circulation systems in order to reinforce the village character of the project and minimize conflict between people and cars.

**Trails and Sidewalks:**

Public and private trails provide important connectivity within the project, as well as the site of the site. Trails shall be provided along Old Airport Road and between the site and adjacent properties.  
• All private trails and paths shall be soft surface, with a minimum of 6'-0". The use of asphalt is discouraged. Concrete or compacted crusher fines with stabilizer are acceptable materials.  
• All hard surface pedestrian paths shall be designed to be hand-capped accessible, except where topography makes this unfeasible.  
• Pedestrian connections to buildings should be provided in parking lots with greater than 50 spaces, where practical. These connections should also link to adjacent roadways, sidewalks, and pathways.  
• Pedestrian crossings shall be clearly demarcated with contrasting paving treatment.  
• Secure bicycle storage racks shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces, public trails or open space on or adjacent to the property. The site design must include pedestrian paths and trails that enable connectivity to facilities off-site.

**Private Common Areas/ Public Open Space:**

An important feature of this residential community is the inclusion of private plazas and pool areas that exist adjacent to buildings. These spaces provide visual and physical relief, as well as opportunities for residents to meet their neighbors. The site is designed to provide residents with connections to public sidewalks from internal paths/sidewalks to reach public open space areas via car, bicycle or public transportation. The site offers its own open space for residential use, including a playground, a dog park, a community room, and meeting rooms for apartment residents. All private common area/public open space and pools will be maintained by the property owner.

**Preliminary Grading and Drainage Plan:**

The drainage is to be coordinated with the site orientation of these elements shall be away from streets, building entrances and pedestrian areas.

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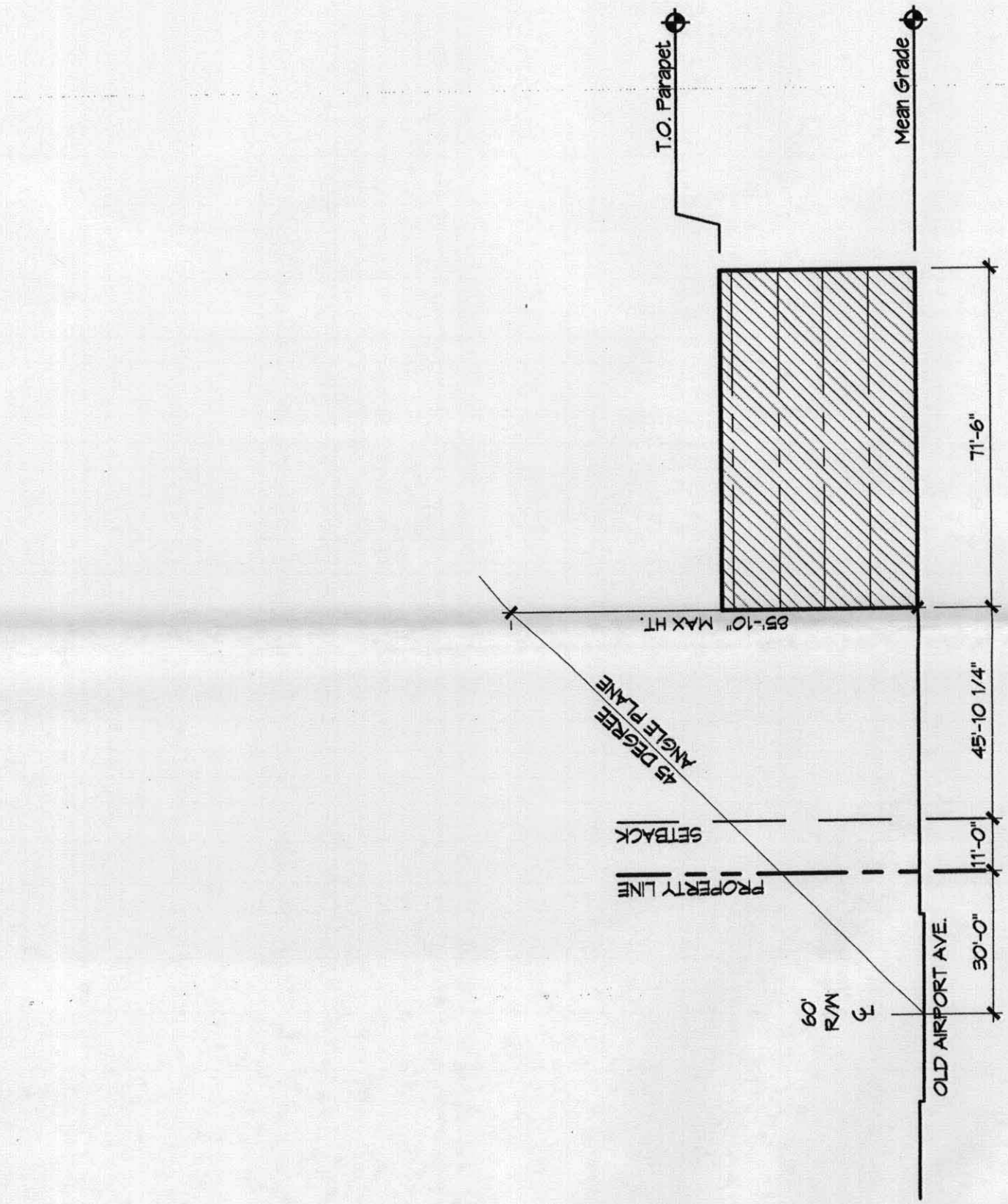
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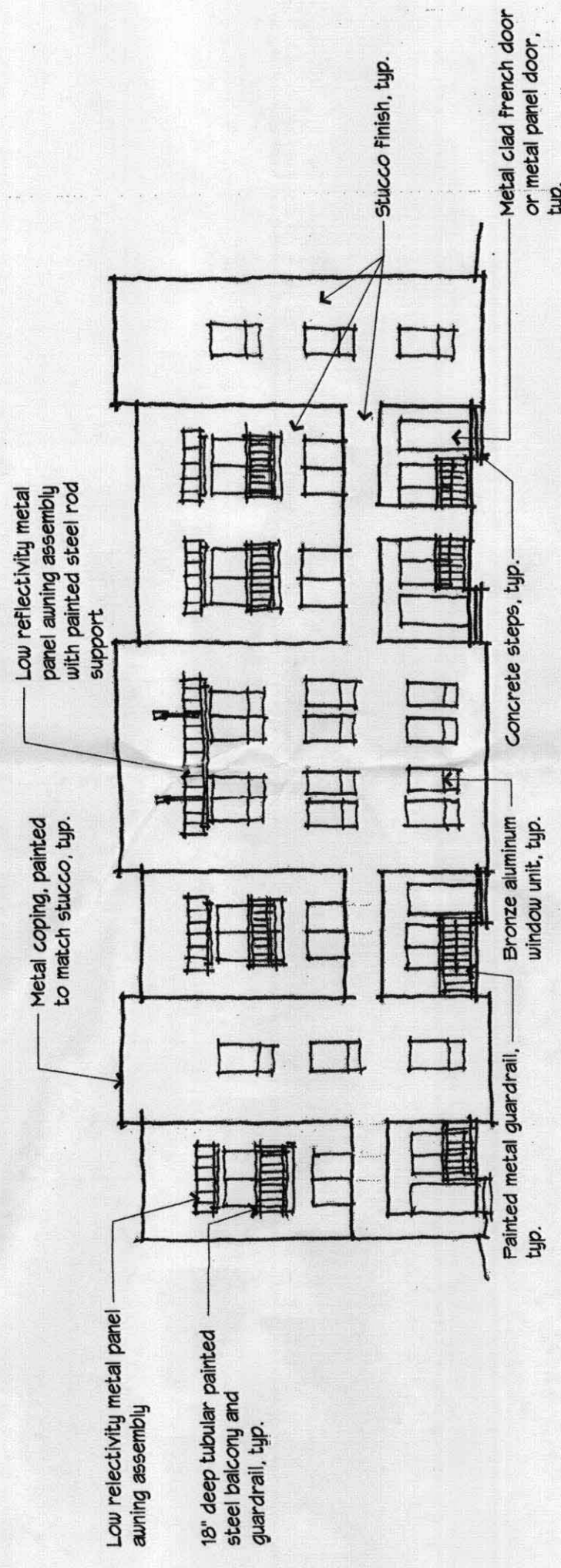
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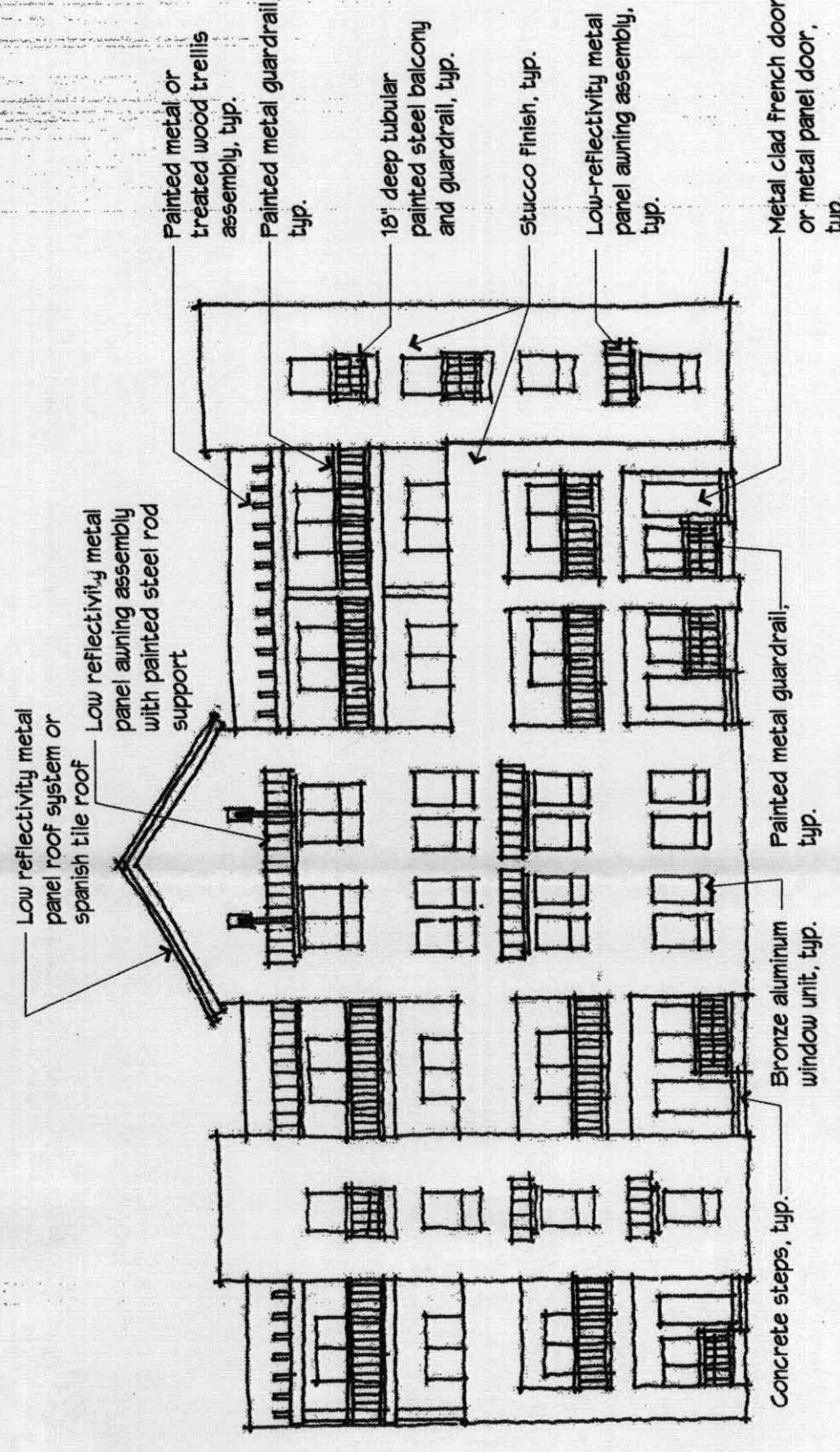
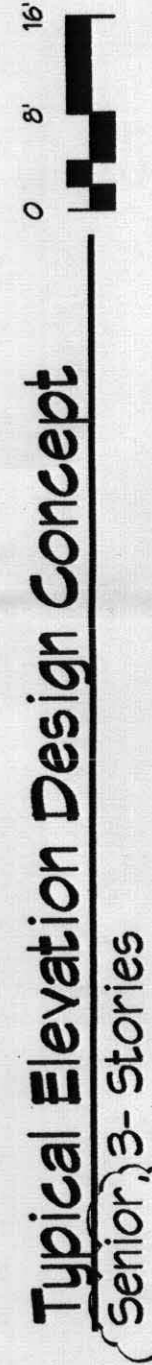
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**Solar Study Diagram**



**Typical Elevation Design Concept  
Senior, 3- Stories**



**Typical Elevation Design Concept  
Market, 4- Stories**

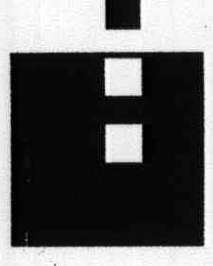


**Cottonwood Apartments**  
GSL  
Old Airport Avenue  
Albuquerque, New Mexico

REVISIONS	DATE	BY	APPROVAL
1	10/24/05	DP	PS
2			
3			
4			
DRAWN BY: AJT/MS		APPROVAL:	
REVIEWED BY: DVA/MB		DATE: October 24, 2005	
PROJECT NO: 05015		DRAWING NAME: Development Design Standards	



architecture  
interiors  
planning  
engineering



**Dekker  
Perich  
Sabatini**

8801 Jefferson NE  
Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsabq.com

ARCHITECT

ENGINEER

PROJECT

**Cottonwood Apartments  
GSL  
Old Airport Avenue  
Albuquerque, New Mexico**

REVISIONS

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DRAWN BY: AJT/MB  
REVIEWED BY:  
DATE: October 24, 2005  
PROJECT NO.: 05019  
DRAWING NAME:

**Landscape  
Design Standards**

SHEET NO.

