

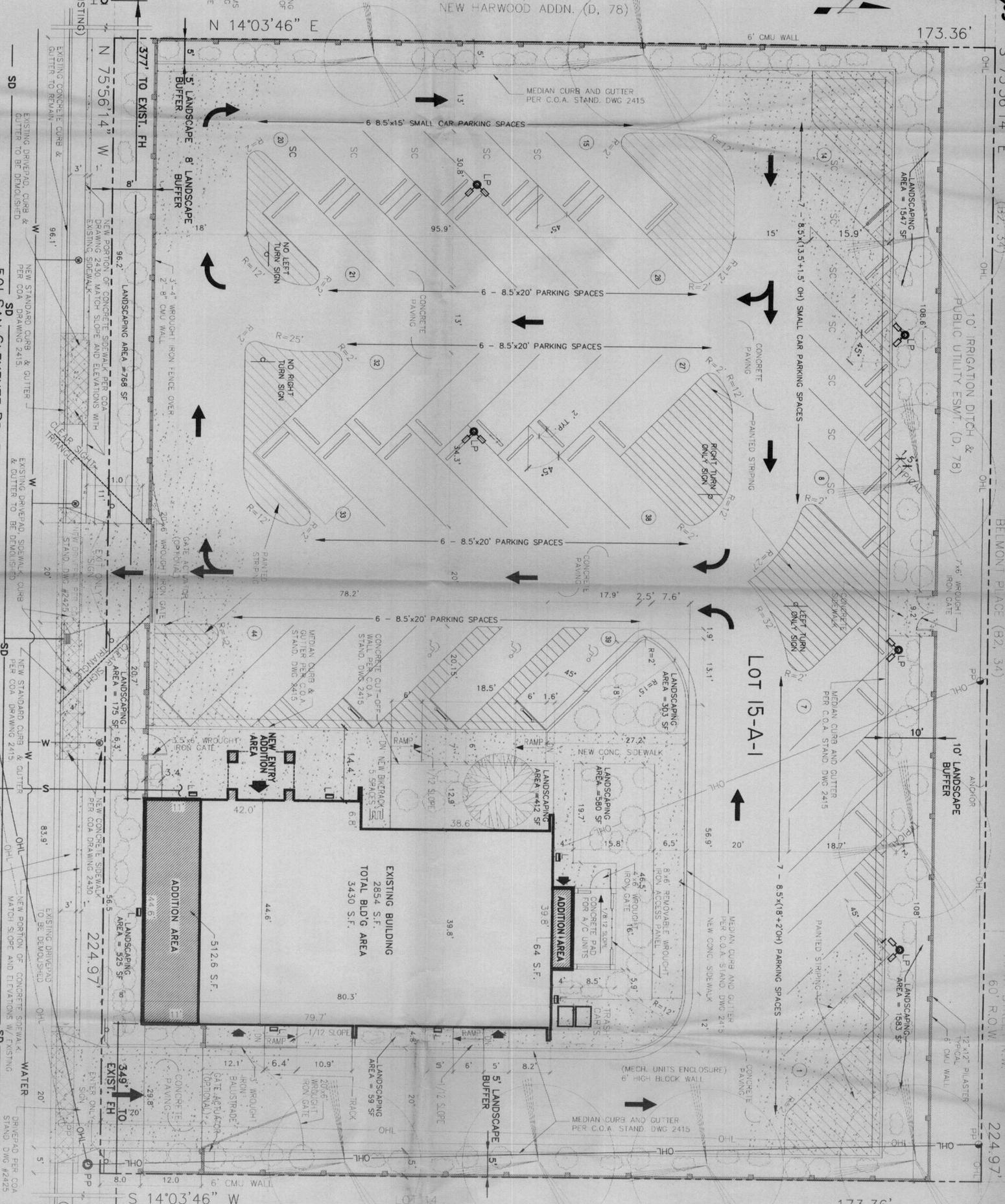
1000080
3/20/03



G-14

- LEGEND**
- PAINTED STRIPING
 - EXISTING CONCRETE PAVEMENT, CURB & GUTTER OR SIDEWALK
 - NEW CONCRETE PAVEMENT, CURB & GUTTER OR SIDEWALK
 - NEW CONCRETE PAVEMENT, CURB & GUTTER OR SIDEWALK TO BE REMOVED
 - CONCRETE WHEEL STOP
 - EXISTING POWER POLE
 - EXISTING POWER POLE TO BE REMOVED OR RELOCATED
 - NEW/RELOCATED POWER POLE
 - NEW POLE MOUNTED LIGHT FIXTURE, SEE SHEET C2
 - NEW WALL MOUNTED LIGHT FIXTURE
 - EXISTING WATER LINE
 - EXISTING FIRE HYDRANT
 - EXISTING SEWER MAIN AND SERVICE LINES
 - EXISTING STOREY SEWER INLET
 - EXISTING WATER MAIN AND SERVICE LINES
 - EXISTING OVERHEAD POWER LINE(S) TO REMAIN
 - EXISTING OVERHEAD POWER LINE(S) TO BE RELOCATED OR REMOVED
 - NEW/RELOCATED OVERHEAD POWER LINE(S)

- LANDSCAPING NOTES**
- LANDSCAPING SHALL BE MAINTAINED BY A COMPLETE DRIP IRRIGATION SYSTEM WITH AN AUTOMATIC CONTROL SYSTEM.
 - APPROVAL OF THIS PLAN SHALL NOT IMPLY OR CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE WATER WASTE AND LANDSCAPING ORDINANCES. WATER MANAGEMENT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.
 - THE OWNER SHALL PROVE AND TRIM STREET TREES UNDER OVERHEAD POWER LINES IN CLOSE COORDINATION AND PER UTILITY COMPANIES DEFINED IN THE CITY OF ALBUQUERQUE ZONING, PLANNING AND BUILDING CODE.
 - LANDSCAPING WHICH DEES SHALL BE REPLACED BY THE OWNER ON TERMS DEFINED IN THE CITY OF ALBUQUERQUE ZONING, PLANNING AND BUILDING CODE.
 - ALL AREAS NOT COVERED WITH LIVING, DROUGHT-RESISTANT, VEGETATIVE MATERIALS, SHALL BE COVERED WITH 3" SANTA FE BROWN GRAVEL OR CRUSHER FINES OVER A COMMERCIAL GRADE WEED BARRIER FABRIC.
 - MINIMUM ACCEPTABLE PLANT SIZES:
TREES: TWO INCHES IN CALIPER MEASURED SIX INCHES ABOVE GROUND, OR 10-12 FEET IN HEIGHT, W/WATERFALL CANOPY DIAMETER 20 MINIMUM.
SHRUBS AND LOW-GROWING EVERGREENS: ONE GALLON GROUND COVER AND TURF ADEQUATE TO PROVIDE GENERAL GROUND COVERAGE WITHIN ONE GROWING SEASON AFTER PLANTING.
- LANDSCAPING CALCULATIONS**
- TOTAL SITE AREA: 39,000.64 SF
TOTAL BUILDING AREA: 34,300.00 SF
NET SITE AREA: 35,570.64 SF
PROPOSED LANDSCAPING AREA (19%): 5,335.00 SF
REMOVED LANDSCAPING AREA (15.3%): 5,952.00 SF
- LANDSCAPING LEGEND**
- 9 GAL. GROUNDCOVERS: JAY JUNIPER, 5 GAL. SCISSOR GRASS, 5 GAL. SANDALWOOD, 5 GAL. CHAMAIS
 - 1 GAL. NATIVES: 4 KING SALTBUSH, POTENTILLA, AUTUMN SAGE, PACIFIC PLUME
 - 15 GAL. FLOWERING GRAPENUT TREES



NOTICE TO CONTRACTOR

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN STREET RIGHT-OF-WAY.
- AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAIL ON THIS PLAN MUST BE PERFORMED, EXCEPT AS OTHERWISE PROVIDED HEREON, IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- THE WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT UTILITY SERVICES (755-1234) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING RUNOFF ON SITE DURING CONSTRUCTION AND AFTER CONSTRUCTION.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON AIRPORT STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS AND/OR EVIDENCES ON THE GROUND, NOT SHOWN ON THE DRAWING. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES SHOWN OR NOT SHOWN ON THE DRAWING.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING RUNOFF ON SITE DURING CONSTRUCTION AND AFTER CONSTRUCTION.
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- CONTRACTOR IS RESPONSIBLE FOR KEEPING RUNOFF ON SITE DURING CONSTRUCTION AND AFTER CONSTRUCTION.

EXISTING BUILDING
2854 S.F.
TOTAL BLDG. AREA
3430 S.F.

ADDITION AREA
512.6 S.F.

ADDITION TO KINGDOM HALL OF JEHOVAH'S WITNESSES
501 SAN CLEMENTE ALBUQUERQUE, NEW MEXICO
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
LANDSCAPING PLAN

RHOMBUS P.A., INC.
ENVIRONMENTAL ENGINEERS
2825 SAN MATEO NE SUITE 8
ALBUQUERQUE, NM 87110
TEL: (505) 881-8880
FAX: (505) 881-8888
www.rhombusp.com

REVISION	DATE	DESCRIPTION	ENGINEER	DATE

MAP NO. G-14-2 PROJECT NO. 03-C2-31 SHEET G-1

LOT 15-A-1
NEW HARWOOD ADDITION
SECTION 5, RANGE 3 EAST N.M.P.M.
BERNALILLO COUNTY, NEW MEXICO
JULY 2003

Project Number: 1000080
Applicant: JEHOVAH'S WITNESSES
EPC Project Number: 02EPC-01352

Environmental Health Department (conditional)
Date: 8/13-03
Solid Waste Management Code Case: 446
Date: 8/13-03
DRB Chairperson: Planning Department
Date: 8/13-03

SITE NOTES

- OFF-STREET PARKING CALCULATIONS
- PROPOSED DEVELOPMENT: BUILDING RENOVATION AND ADDITION TO EXISTING KINGDOM HALL OF JEHOVAH'S WITNESSES
- PARKING REQUIREMENT: 1 PARKING SPACE PER 4 SEATS IN THE MAIN ROOM
- NUMBER OF SPACES PROVIDED: 44
- IC PARKING REQUIREMENT: 2 PARKING SPACE PER 4 SEATS IN THE MAIN ROOM
- NUMBER OF SPACES PROVIDED: 132 SEATS
- NUMBER OF HC SPACES REQUIRED: 2 SPACES PER 14 SEATS
- NUMBER OF HC SPACES PROVIDED: 132 SEATS
- NUMBER OF HD SPACES PROVIDED: 3 SPACES
- NUMBER OF HD SPACES REQUIRED: 3 SPACES

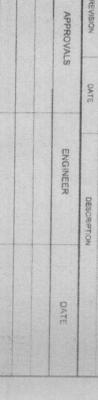
REUSE NOTES:

- THERE IS AN EXISTING REUSE STRIVE FOR THIS FACILITY.
- THIS FACILITY IS AND WILL BE USING A RESIDENTIAL TYPE AUTOMATIC CARS.
- THE PROPOSED ADDITION WILL NOT IMPROVE THE NOISE LEVELS OF THE FACILITY.

IRRIGATION DITCH NOTE:

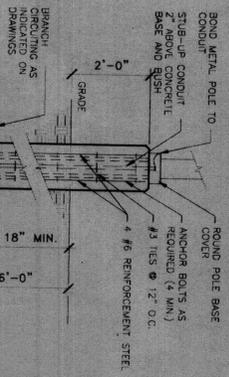
THE EXISTING IRRIGATION DITCH WITHIN 10' OF THE EXISTING BUILDING IS TO BE REMOVED AND A NEW IRRIGATION DITCH SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FACILITY.

NOTE:
ALL GATES SHALL BE LOCKED AFTER BUSINESS HOURS.

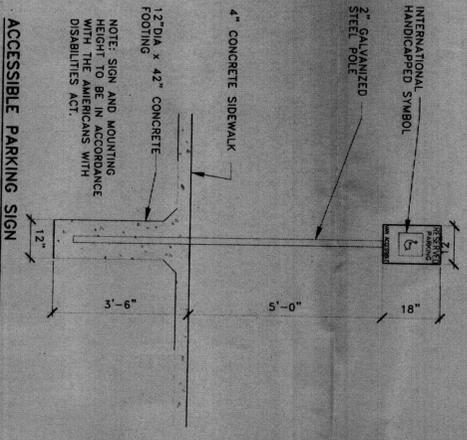
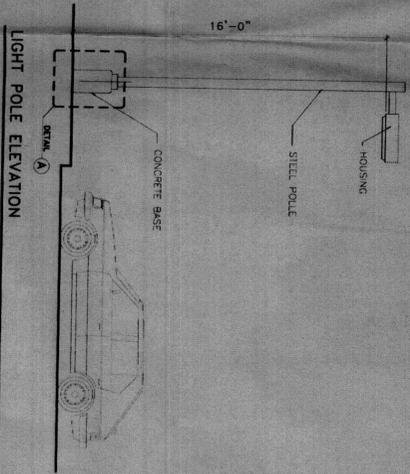


SITE LIGHTING NOTES:

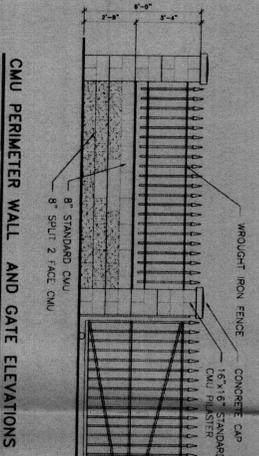
1. SITE AREA LIGHTING SHALL MOUNTED ON 16" HIGH STEEL POLES, PAINTED ACCORDING WITH ORIGINAL COLOR SCHEME OF THE PROJECT. SEE DETAIL THIS SHEET FOR LIGHTING FIXTURES.
2. SITE AREA LIGHTING SHALL NOT DIRECT LIGHT EITHER DIRECTLY OR THROUGH REFLECTIVE DEVICE UPON ADJACENT PROPERTY AND SHALL NOT HAVE A CUT-OFF ANGLE GREATER THAN TOTAL OF 1000 FOOT LAMBERTS MEASURED FROM THE PROPERTY LINE.
3. ALL SITE AREA LIGHTING FIXTURES SHALL USE LOW HIGH PRESSURE SODIUM OR METAL HALIDE LAMPS. NO MERCURY VAPOR LIGHTS SHALL BE ALLOWED.
4. MAXIMUM WATTAGE SHALL BE 250 WATT AND ALL LIGHTING UNITS SHALL BE HOODED OR SHIELDED AS TO DIRECT ALL LIGHTING DOWNWARDS.
5. ARCHITECTURAL LIGHTING FIXTURES SHALL BE DESIGNED AS A PART OF THE ARCHITECTURAL DESIGN AND UNUSUAL CHARACTER.



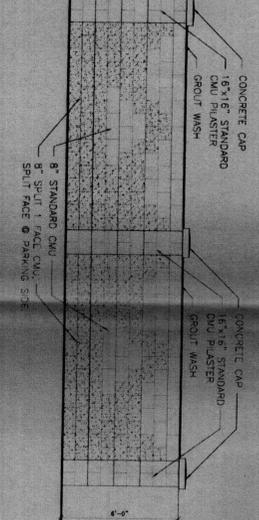
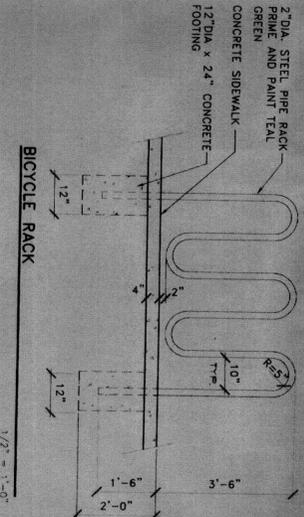
POLE BASE DETAIL
 ACCEPTABLE LIGHT FIXTURE MODEL NUMBER 1" BY SPACING FOR POLE MOUNTING SHALL BE APPROVED BY THE ELECTRICAL ENGINEER OR APPROVED EQUIVALENT SEE ELECTRICAL FOR DETAILS.



ACCESSIBLE PARKING SIGN
 NOTE: SIGN AND MOUNTING HEIGHT TO BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT.

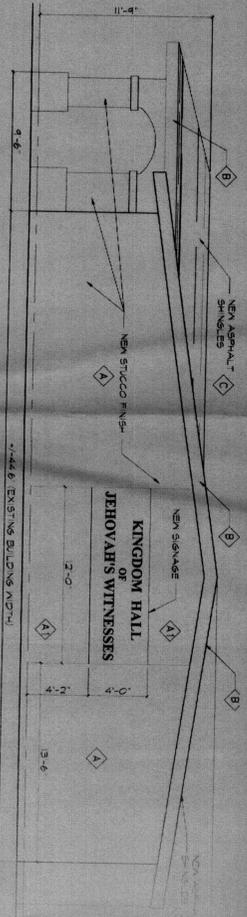


1. ALL CMU TO BE QUALITY GOLD AS MANUFACTURED BY RINGER MATERIALS OR APPROVED EQUAL.
 2. ALL WROUGHT IRON FENCE WILL BE PRIME AND PAINTED BLACK OR TEAL GREEN.

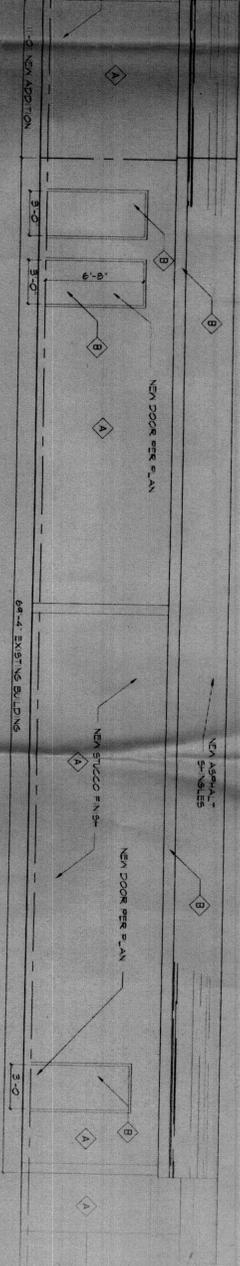


1/4" = 1'-0"

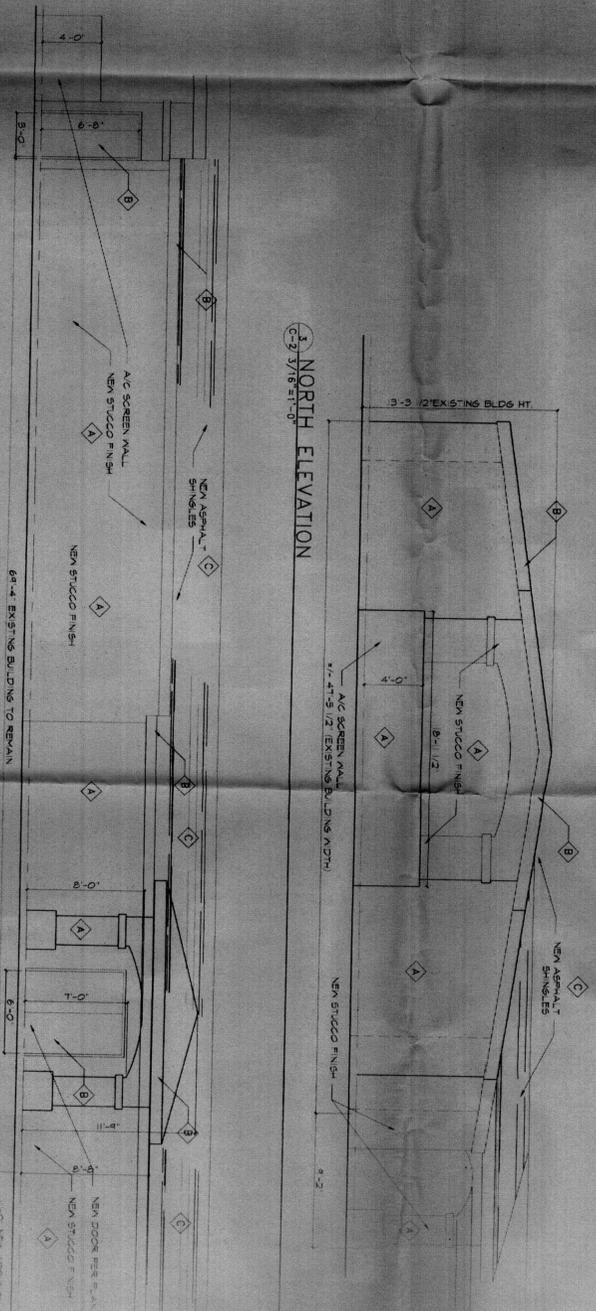
1 SOUTH ELEVATION
 C-2 3/16" = 1'-0"



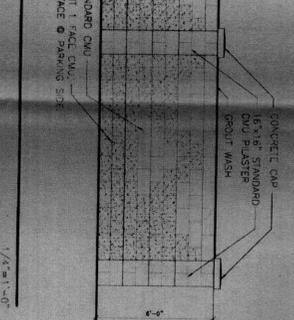
2 EAST ELEVATION
 C-2 3/16" = 1'-0"



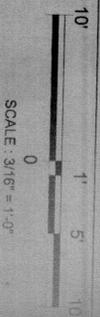
3 NORTH ELEVATION
 C-2 3/16" = 1'-0"



4 WEST ELEVATION
 C-2 3/16" = 1'-0"



- EXTERIOR COLORS:**
- A) STUCCO FINISH - LIGHT CREAM COLOR
 - B) STUCCO FINISH - DARK CREAM COLOR
 - C) TRIM - TEAL GREEN
 - D) SHINGLES - DARK GREY



RHOMBUS P.A., INC.
 FACILITIES ENGINEERS/ENVIRONMENTAL CONSULTANTS

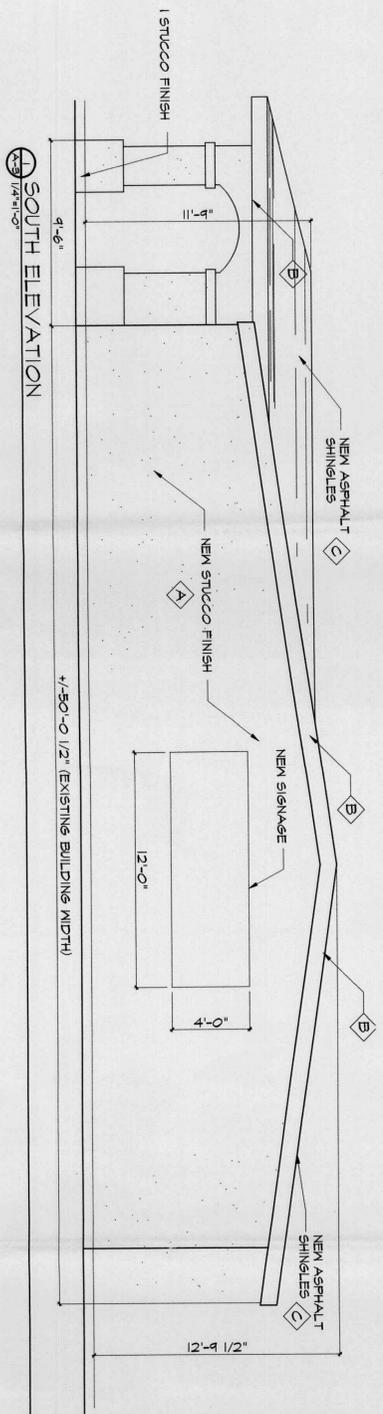
2520 San Marco NE, Suite B
 Atlanta, GA 30329
 TEL: (404) 881-4888
 FAX: (404) 881-4888

PROJECT TITLE: ADDITION TO KINGDOM HALL OF JHOVAH'S WITNESSES BUILDING ELEVATIONS

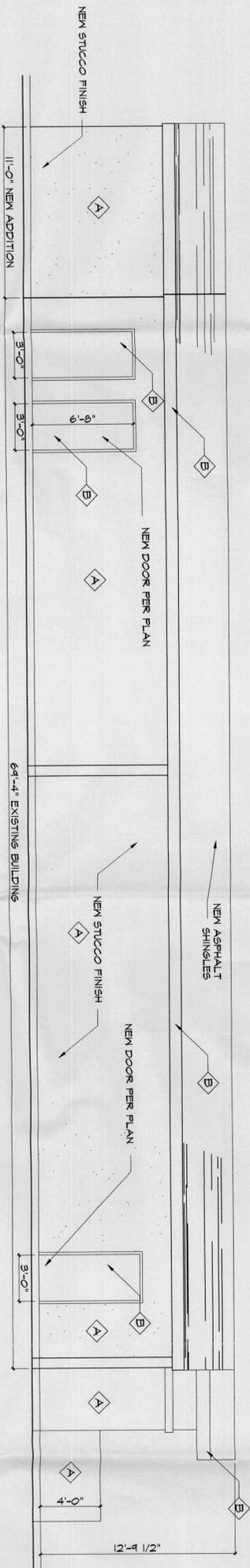
SHEET TITLE: SITE DETAILS BUILDING ELEVATIONS

DATE: 7/28/2023

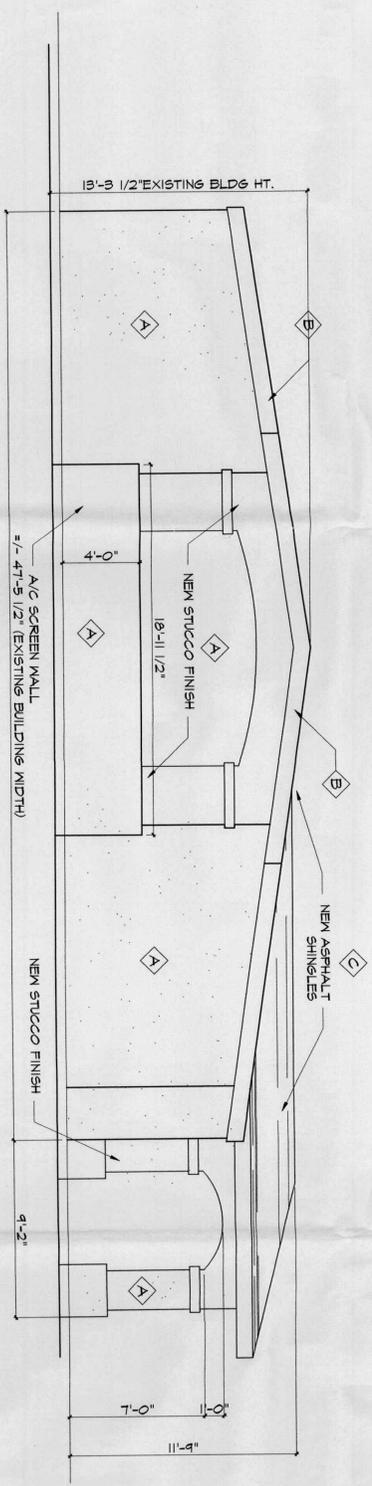
SCALE: 3/16" = 1'-0"



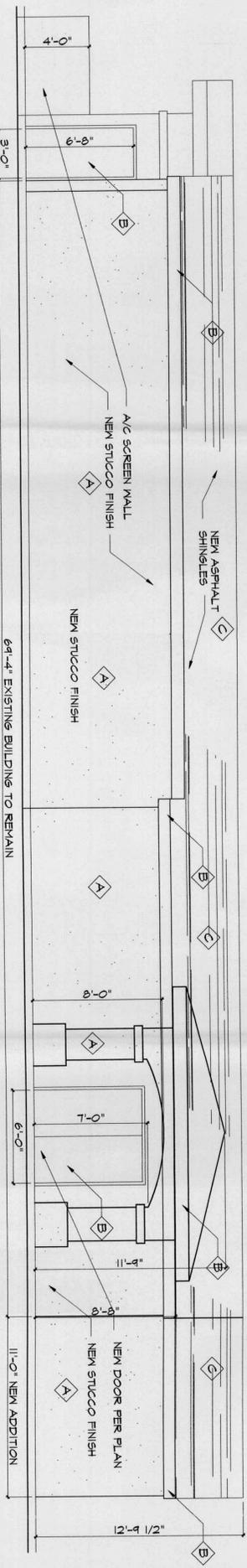
1.3 SOUTH ELEVATION



1.4 EAST ELEVATION



1.5 NORTH ELEVATION



1.6 WEST ELEVATION

- EXTERIOR COLORS:
- ▲ STUCCO FINISH - LIGHT CREAM COLOR
 - ◊ TRIM - TEAL GREEN
 - ◊ SHINGLES - DARK GREY



**KINGDOM HALL OF
JEHOVAH'S WITNESSES**
501 SAN CLEMENTE, ALBUQUERQUE, NEW MEXICO

A-3

EXTERIOR ELEVATIONS

SCALE AS SHOWN 03/05/02

ROOM FINISH SCHEDULE

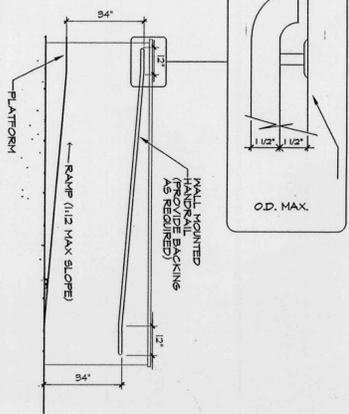
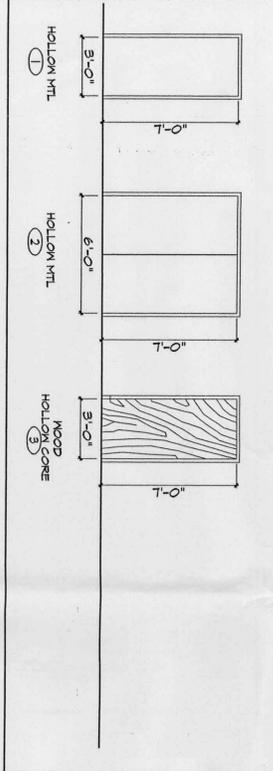
AREAS	ROOM NAME	NO.	FLOORS		WALLS				CEILING		REMARKS
			FINISH	BASE	NORTH	EAST	SOUTH	WEST	FINISH	HGT	
LOBBY		101	NOT USED								
RECEPTION		102	CARPET								
CONFERENCE I		103	CARPET								
CONFERENCE II		104	CARPET								
CONFERENCE III		105	CARPET								
CONFERENCE IV		106	CARPET								
CONFERENCE V		107	CARPET								
CONFERENCE VI		108	CARPET								
CONFERENCE VII		109	CARPET								
CONFERENCE VIII		110	CARPET								
CONFERENCE IX		111	CARPET								
CONFERENCE X		112	CARPET								
CONFERENCE XI		113	CARPET								
CONFERENCE XII		114	CARPET								
CONFERENCE XIII		115	CARPET								
CONFERENCE XIV		116	CARPET								
CONFERENCE XV		117	CARPET								
CONFERENCE XVI		118	CARPET								
CONFERENCE XVII		119	CARPET								
CONFERENCE XVIII		120	CARPET								
CONFERENCE XIX		121	CARPET								
CONFERENCE XX		122	CARPET								
CONFERENCE XXI		123	CARPET								
CONFERENCE XXII		124	CARPET								
CONFERENCE XXIII		125	CARPET								
CONFERENCE XXIV		126	CARPET								
CONFERENCE XXV		127	CARPET								
CONFERENCE XXVI		128	CARPET								
CONFERENCE XXVII		129	CARPET								
CONFERENCE XXVIII		130	CARPET								
CONFERENCE XXIX		131	CARPET								
CONFERENCE XXX		132	CARPET								
CONFERENCE XXXI		133	CARPET								
CONFERENCE XXXII		134	CARPET								
CONFERENCE XXXIII		135	CARPET								
CONFERENCE XXXIV		136	CARPET								
CONFERENCE XXXV		137	CARPET								
CONFERENCE XXXVI		138	CARPET								
CONFERENCE XXXVII		139	CARPET								
CONFERENCE XXXVIII		140	CARPET								
CONFERENCE XXXIX		141	CARPET								
CONFERENCE XL		142	CARPET								
CONFERENCE XLI		143	CARPET								
CONFERENCE XLII		144	CARPET								
CONFERENCE XLIII		145	CARPET								
CONFERENCE XLIV		146	CARPET								
CONFERENCE XLV		147	CARPET								
CONFERENCE XLVI		148	CARPET								
CONFERENCE XLVII		149	CARPET								
CONFERENCE XLVIII		150	CARPET								
CONFERENCE XLIX		151	CARPET								
CONFERENCE L		152	CARPET								

FINISH SCHEDULE NOTES:
 1. FINISH COAT, TEXTURE (KNOCK DOWN), PRIME & PAINT (EGG SHELL FINISH)
 2. FINISH COAT, TEXTURE (KNOCK DOWN), PRIME & PAINT (SEMI-GLOSS FINISH)
 3. FINISH COAT, TEXTURE (KNOCK DOWN), PRIME & PAINT (SEMI-GLOSS FINISH)

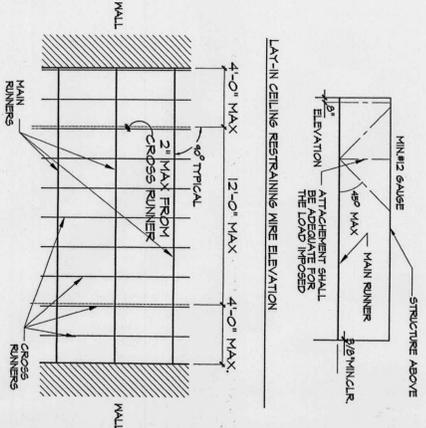
DOOR SCHEDULE

DOOR NO.	W	H	TRK	MATERIAL	TYPE	GLASS	FINISH	TRANSOM	H	FRAMES			REMARKS
										MATERIAL	TYPE	DETAILS	
1	6'-0"	7'-0"	1/2"	1/2" SLT.	2	-	-	-	-	-	J	3	FINISH HARDWARE
2	6'-0"	7'-0"	1/2"	1/2" SLT.	2	-	-	-	-	-	J	3	FINISH HARDWARE
3	6'-0"	7'-0"	1/2"	1/2" SLT.	2	-	-	-	-	-	J	3	FINISH HARDWARE
4	6'-0"	7'-0"	1/2"	1/2" SLT.	2	-	-	-	-	-	J	3	FINISH HARDWARE
5	6'-0"	7'-0"	1/2"	1/2" SLT.	2	-	-	-	-	-	J	3	FINISH HARDWARE
6	6'-0"	7'-0"	1/2"	1/2" SLT.	2	-	-	-	-	-	J	3	FINISH HARDWARE
7	6'-0"	7'-0"	1/2"	1/2" SLT.	2	-	-	-	-	-	J	3	FINISH HARDWARE
8	6'-0"	7'-0"	1/2"	1/2" SLT.	2	-	-	-	-	-	J	3	FINISH HARDWARE
9	6'-0"	7'-0"	1/2"	1/2" SLT.	2	-	-	-	-	-	J	3	FINISH HARDWARE
10	6'-0"	7'-0"	1/2"	1/2" SLT.	2	-	-	-	-	-	J	3	FINISH HARDWARE

DOOR & FRAME TYPES

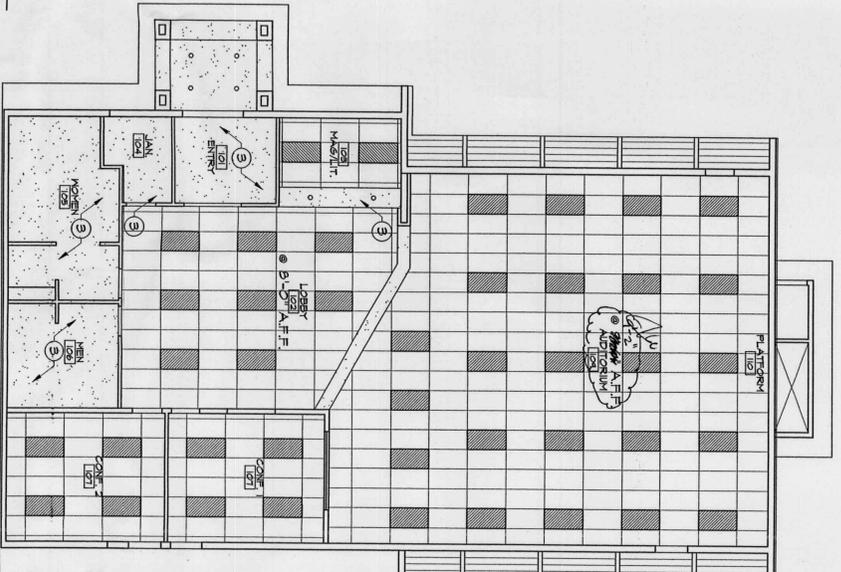


TYPICAL HANDICAPPED RAMP RAIL



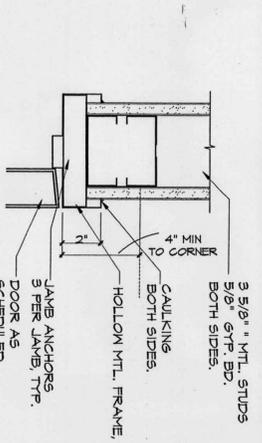
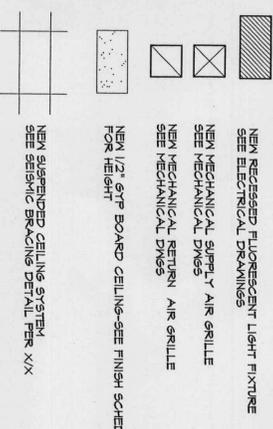
INSTALLATION
 SUSPENDED CEILING SEISMIC BRACING
 ALL ATTACHMENTS OF SEISMIC BRACING TO THE STRUCTURE SHALL BE TO THE STRUCTURE MEMBER IN THE
 ADVANCED PERMITS OR AS OTHERWISE SHOWN OR INDICATED FOR THE APPROVED SYSTEM. THE
 APPROVED SYSTEM SHALL BE USED TO PROVIDE THE REQUIRED BRACING.

REFLECTED CEILING PLAN



- KEYED NOTES:
- EXISTING PLANK CEILING TO REMAIN
 - EXISTING GULL-LAM BEAM TO REMAIN
 - NEW 1/2" GYP BOARD CEILING SEE FINISH SCHEDULE
 - NEW 1/2" EXTERIOR GRADE GYP BOARD CEILING
 - NEW MECHANICAL DUCT SOFFIT PER XXX
 - NEW SUSPENDED CEILING SYSTEM PER XXX

REFLECTED CEILING PLAN LEGEND



SUSPENDED GYPSUM BOARD CEILING

TYPICAL DOOR HEAD AND JAMB

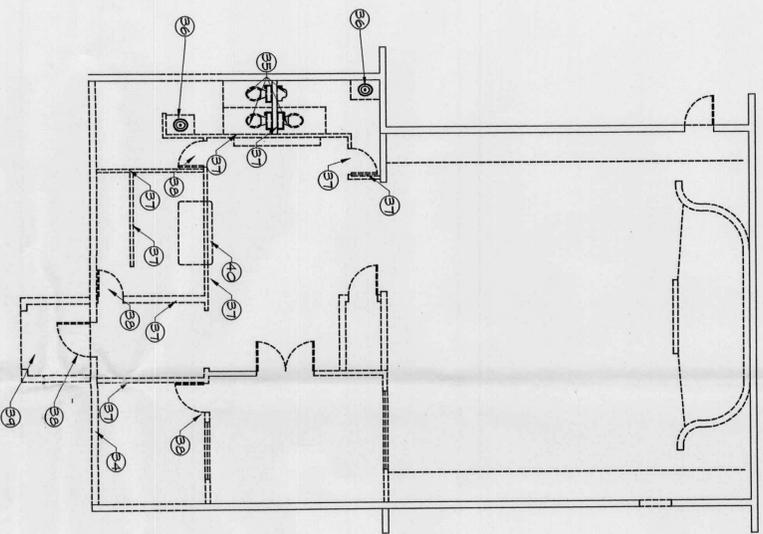


KINGDOM HALL OF
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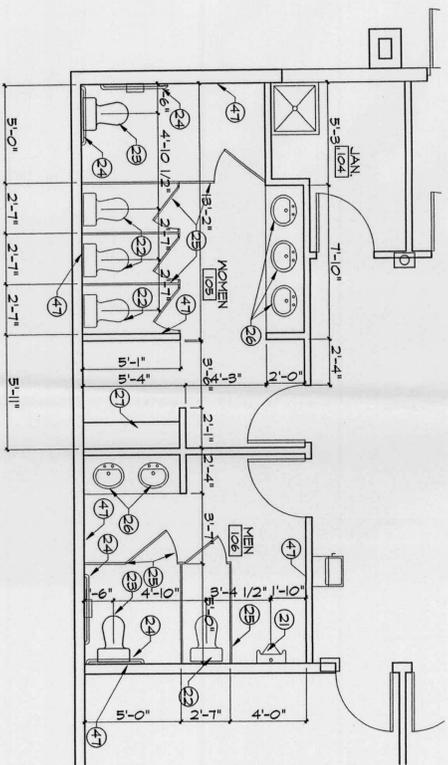
A-2

REF. CLG PLAN/SCHED.

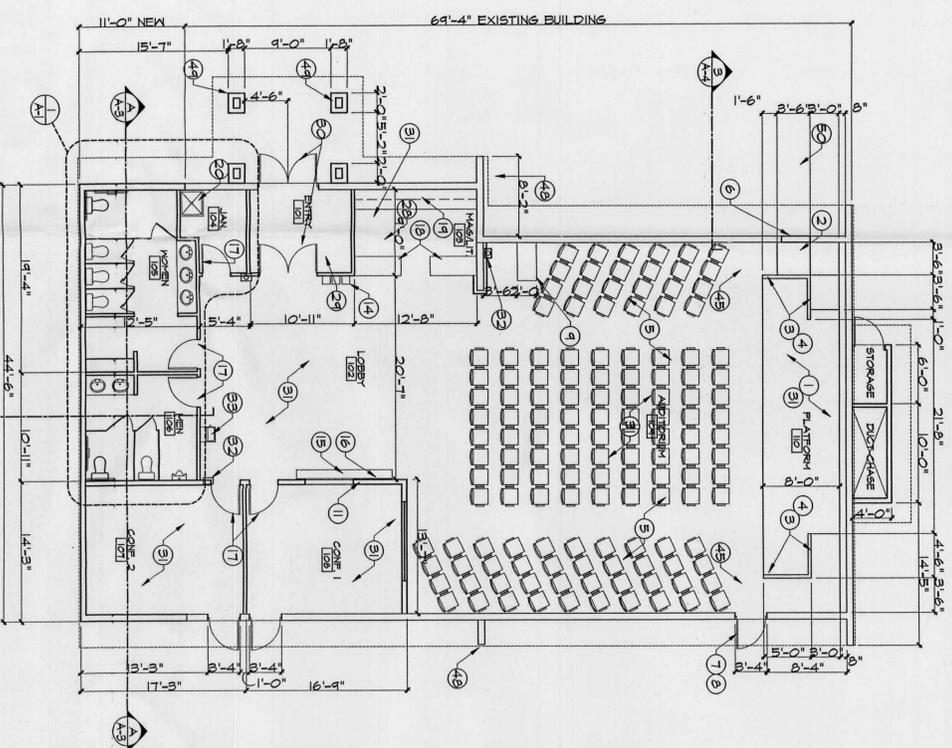
SCALE AS SHOWN 12/15/02



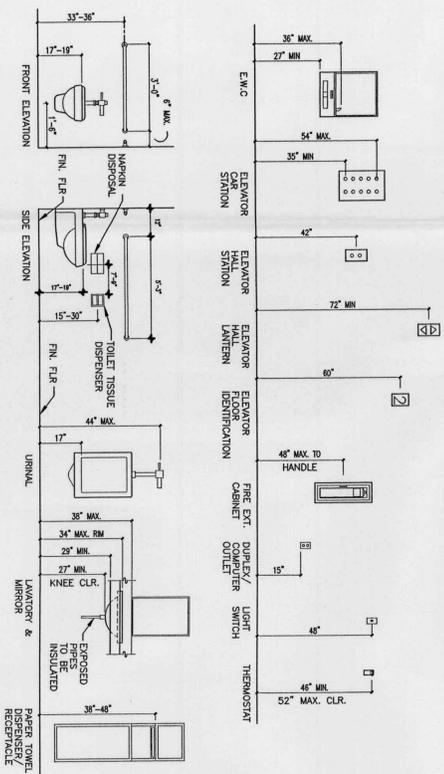
DEMOLITION PLAN
Scale: 1/8" = 1'-0"



ENLARGED TOILET ROOM PLAN
Scale: 1/4" = 1'-0"



NEW FLOOR PLAN
Scale: 1/8" = 1'-0"



TYPICAL HANDICAPPED FIXTURE MOUNTING HEIGHTS
Scale: 1/8" = 1'-0"

KEYED NOTES:

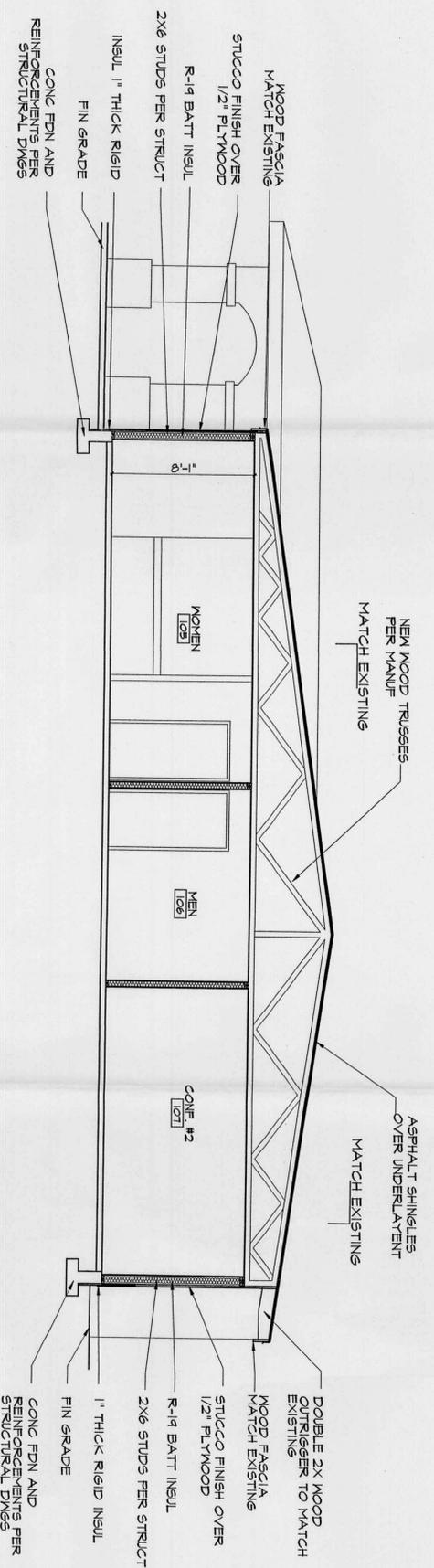
- 1 NEW 7" HIGH PLATFORM
- 2 NEW HANDICAPPED ACCESSIBLE RAMP @ 1:12 SLOPE MAX.
- 3 NEW LOW WALL @ 36" HIGH ABOVE PLATFORM
- 4 NEW HANDRAIL @ 39" ABOVE RAMP SURFACE SEE 1/A-2
- 5 APPROXIMATE LOCATION OF MOVABLE CHAIRS
- 6 EXIST. DOOR TO BE REMOVED. FILL IN WALL WITH CMU AND STUCCO FINISH TO MATCH EXISTING
- 7 NEW 3070 EXIT DOOR WITH PANIC HARDWARE AND 1/2" HIGH MAX ALUMINUM THRESHOLD
- 8 NEW 4'-0"x4'-0" CONC STOOP TO BE FLUSH WITH ASPHALT PAVING
- 9 LOCATION OF NEW SOUND EQUIPMENT CABINET
- 10 EXISTING WINDOW TO REMAIN
- 11 EXISTING ALUM DOORS TO BE REMOVED. FILL IN WITH NEW FRAMED WALL TO MATCH EXISTING
- 12 EXISTING BRICK VENEER TO BE REMOVED
- 13 NEW 6TP BD OVER 2X FURRING STRIPS @ 24" O.C. FINISH TO MATCH EXISTING WALL
- 14 LOCATION OF NEW WALL MOUNTED CONTRIBUTION BOXES @ 42" ABOVE FINISH FLOOR
- 15 LOCATION OF NEW WALL MOUNTED INFORMATION COUNTER @ 42" ABOVE FINISH FLOOR
- 16 LOCATION OF NEW WALL MOUNTED INFORMATION BOARD
- 17 NEW 3070 WOOD DOOR WITH HOLLOW METAL FRAME AND HANDICAPPED LEVER TYPE HARDWARE
- 18 NEW MAGAZINE/LITERATURE STORAGE COUNTER @ 94" HIGH
- 19 NEW HOP SINK PER PLUMBING DRAWINGS
- 20 NEW HANDICAPPED HEIGHT URINAL SEE 2/A-1
- 21 NEW WATER CLOSET
- 22 NEW HANDICAPPED HEIGHT MATTER CLOSET PER 2/A-1
- 23 NEW STAINLESS STEEL HANDICAPPED GRAB BARS PER 2/A-1
- 24 NEW METAL TOILET PARTITIONS
- 25 NEW COUNTERTOP MOUNTED LAVATORIES - TOP OF RIM TO COMPLY WITH 2/A-1
- 26 NEW BABY CHANGING COUNTER TO BE 94" A.F.F.
- 27 NEW COAT HANGING ROD TO BE AT 49" A.F.F. WITH SHELF
- 28 NEW TILE FLOOR IN ENTRY
- 29 NEW PAIR 3070 METAL DOORS WITH HOLLOW METAL FRAME WITH PANIC HARDWARE AND 1/2" MAX HIGH THRESHOLD
- 30 NEW LOW PILE CARPET
- 31 LOCATION OF FIRE EXTINGUISHER IN SEMI-RECESSED WALL CABINET SEE XX
- 32 LOCATION OF HANDICAPPED ACCESSIBLE ELECTRIC WATER COOLER
- 33 EXISTING CMU WALL TO BE REMOVED
- 34 EXISTING WATER CLOSET TO BE REMOVED
- 35 EXISTING LAVATORY TO BE REMOVED
- 36 EXISTING WALL TO BE REMOVED (SHOWN DASHED)
- 37 EXISTING CHU ENTRY WITH ROOF TO BE REMOVED
- 38 EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED
- 39 EXISTING CHU ENTRY WITH ROOF TO BE REMOVED
- 40 EXISTING LIT. COUNTER AND CABINETS TO BE REMOVED
- 41 EXISTING FURNACE TO REMAIN
- 42 EXISTING ADOBE VENEER WALL TO BE REMOVED
- 43 EXISTING PLATFORM TO BE REMOVED
- 44 EXISTING DUCT SOFFITS TO BE REMOVED
- 45 NEW DUCT SOFFITS ABOVE
- 46 NEW COVERED WALKWAY ABOVE
- 47 NEW FIBERGLASS MAINSCOT AT 49" A.F.F.
- 48 STUCCO VENEER OVER EXISTING CHU KINGSMALL
- 49 NEW WOOD FRAME/STUCCO COLUMN



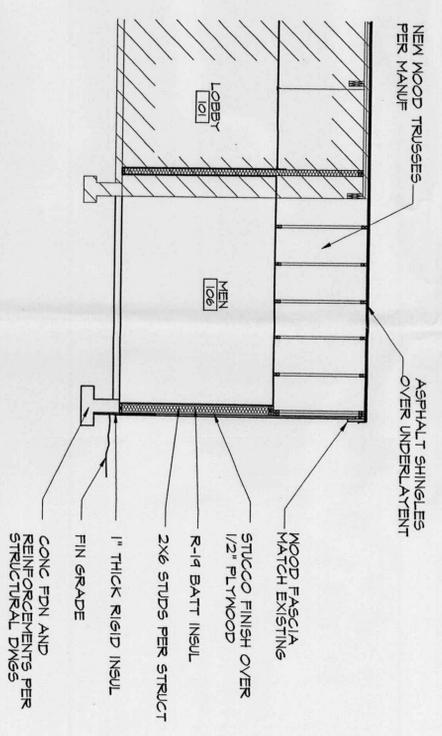
**KINGDOM HALL OF
JEHOVAH'S WITNESSES**
501 SAN CLEMENTE, ALBUQUERQUE, NEW MEXICO

FLOOR PLANS
A-1

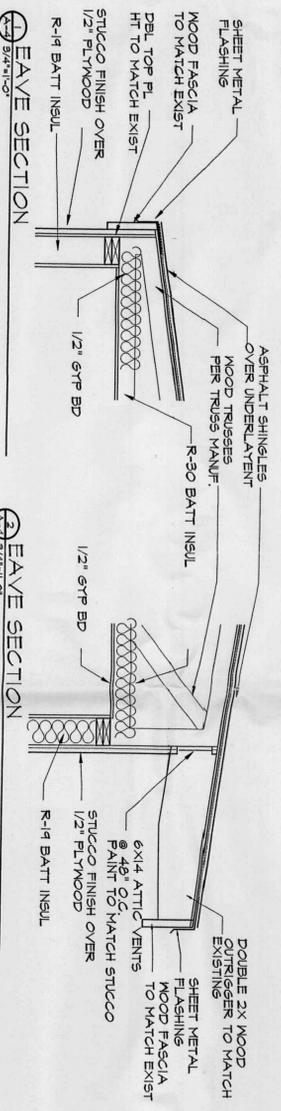
SCALE: AS SHOWN 12/25/02



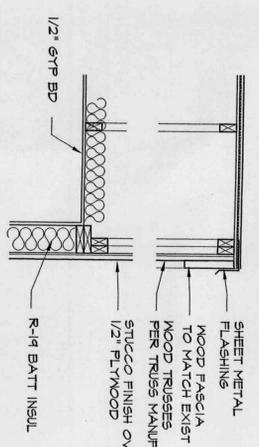
1 NEM ADDITION CROSS SECTION



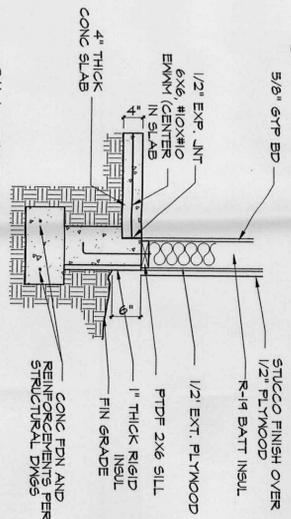
2 NEM ADDITION SECTION



3 EAVE SECTION



4 RAKE DETAIL



5 EAVE SECTION

6 SILL DETAIL



**KINGDOM HALL OF
JEHOVAH'S WITNESSES**
501 SAN CLEMENTE, ALBUQUERQUE, NEW MEXICO

A-4

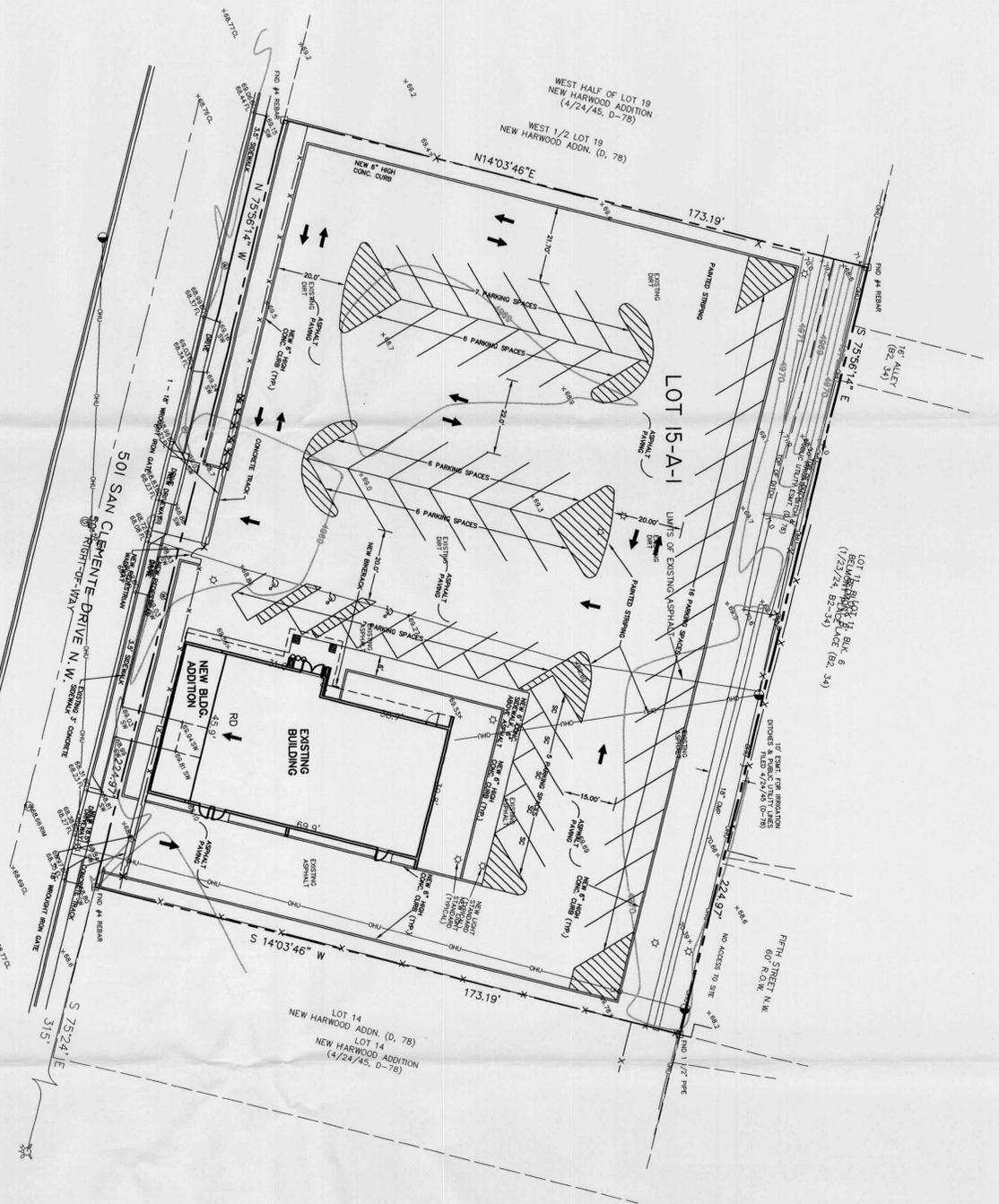
BUILDING SECTIONS

SCALE: 1/8"=1'-0" (0/7/78) SHEET 1 OF

GRADING
9-4-02
1:50
5/23/2011

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 19.614. THE SURFACE ELEVATION OF THIS BENCHMARK IS 5099.85 FEET. THE SURVEY IS IN THE NW/4 QUADRANT OF THE INTERSECTION OF FOURTH ST. NW AND SAN CLEMENTE NW.

**LOT 15-A-1
NEW HARWOOD ADDITION
SECTION 5, T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**



- SPOT ELEVATION LEGEND**
- ⊙ = ELEVATION AT GROUND
 - ⊕ = ELEVATION AT TOP OF FINISHED SURFACE
 - ⊖ = ELEVATION AT TOP OF SIDEWALK
 - ⊗ = ELEVATION AT CENTERLINE OF DRAINING LANE
 - ⊘ = ELEVATION AT BACK OF CURB
 - ⊙ = ELEVATION AT FLOWLINE
 - ⊖ = ELEVATION AT RIM OF MANHOLE
- SYMBOLS LEGEND**
- ⊙ = LIGHT POLE
 - ⊕ = POWER POLE
 - ⊖ = OVERHEAD UTILITY LINE
 - ⊗ = ANCHOR
 - ⊘ = SEWER MANHOLE
 - ⊙ = WATER METER
 - ⊖ = SEWER CLEANOUT
 - ⊗ = FIRE HYDRANT
 - ⊘ = DROP INLET
 - ⊙ = FENCE

CONCEPTUAL DRAINAGE PLAN

SCOPE:
Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. Interior building (existing) modifications and small addition to the building are proposed for the subject property, with associated access, parking and landscaping improvements.

EXISTING CONDITIONS:
Presently, the 0.89 acre site is partially developed. The site is bounded on the east by the existing building, the site is bounded on the north by the existing driveway, NW. The site is very flat and slopes slightly to the south. An existing irrigation ditch is located along the north property line. As shown by FEMA Map Panel No. 119, dated 1986, the site is not located in a 100-year floodplain. No offsite runoff enters the property.

PROPOSED CONDITIONS:
As shown by the plan, the existing building is located near the easterly half of the property. The easterly half to one third of the property is currently paved. The proposed building addition will be located on the easterly half of the property. The new paving will be sloped to the perimeter landscaping areas where retention ponds will be installed to hold twice the 100-year runoff due to the development. All roof drainage will continue to discharge from the roof to the south and flow to existing flow paths.

Supplemental calculations have been provided to the City of Albuquerque Hydrology Department.

CALCULATIONS:

The calculations shown hereon define the 100-year/8-hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, 3rd edition."

Existing Treatment Types:

- Treatment A = 0.00 acres
- Treatment B = 0.00 acres
- Treatment C = 0.50 acres
- Treatment D = 0.39 acres

Proposed Treatment Types:

- Treatment A = 0.00 acres
- Treatment B = 0.13 acres
- Treatment C = 0.06 acres
- Treatment D = 0.70 acres

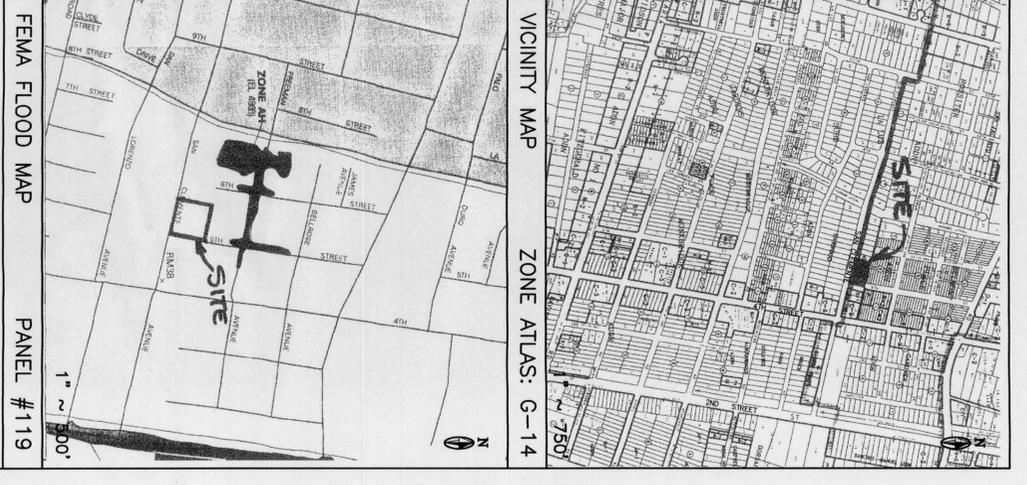
Using the values above produces the following storm water flows and volumes:

- Existing 100-year Flow = 3.40 cfs
- Proposed 100-year Flow = 3.77 cfs
- Existing 100-year Volume = 5052 cu. ft.
- Proposed 100-year Volume = 6001 cu. ft.

PROPERTY ADDRESS:
509 San Clemente Drive NW

TOPOGRAPHY:
Topographic information provided by Surveys Southwest, Ltd. Dated June 2002.

CONCEPTUAL DRAINAGE PLAN



CITY OF ALBUQUERQUE, BERNALILLO COUNTY
NEW MEXICO

LOT 15A & LOT 18
NEW HARWOOD ADDITION
SANDERS/KINGDOM HALL ADDITION

McDowell Engineering Inc.

Designed JSW
Drawn STAFF
Checked JSW
File SAND102L Date SEPTEMBER 2002

Sheet 1 of 1

