

PLAZA DEL SOL AS-BUILT

600 2ND STREET NW, ALBUQUERQUE, NM

AS-BUILT RECORD DRAWINGS

03-28-2022

RECORD DOCUMENTS

THESE RECORD DOCUMENTS WERE DEVELOPED UNDER THE DIRECTION OF SMPC ARCHITECTS, PA. (SMPC) IN CONJUNCTION WITH THE CITY OF ALBUQUERQUE (COA) - JOB NO. 7224.002 - BETWEEN SEPTEMBER AND NOVEMBER 2021. THE ORIGINAL ARCHITECT-OF-RECORD FOR THE CITY BUILDING IS LAWRENCE A. GARCIA AND ASSOCIATES DATED 1974, AS IS COMMON WITH STRUCTURES OF THIS PERIOD. THE ORIGINAL RECORD DOCUMENTS ARE VIRTUALLY NONEXISTENT. COA COMMISSIONED SMPC TO CREATE A NEW SET OF AS-BUILT FLOOR PLANS, OR RECORD DOCUMENTS, FOR REFERENCE AND FOR FUTURE RENOVATIONS IN THE DEVELOPMENT OF THESE RECORD DOCUMENTS. SMPC WAS NOT ABLE TO CONDUCT DESTRUCTIVE TESTING OR RELATED INVESTIGATION OF INACCESSIBLE AREAS OR SIGNIFICANTLY CONCEALED CONDITIONS. THEREFORE, SOME ASSUMPTIONS WERE MADE BY SMPC REGARDING EXISTING ORIGINAL CONDITIONS. SMPC HAS ACTED IN GOOD FAITH IN THE DISCHARGE OF THESE DUTIES AND HAVE ATTEMPTED TO COMPILER AN ACCURATE AND THOROUGH SET OF RECORD DOCUMENTS FOR THE EXISTING BUILDING. HOWEVER, BECAUSE THESE RECORD DOCUMENTS ARE BASED IN PART UPON NON-VERIFIABLE INFORMATION, SMPC CANNOT AND DOES NOT WARRANT THEIR ACCURACY AND/OR COMPLETENESS, AND FURTHERMORE, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED IN THESE RECORD DOCUMENTS. FURTHER INVESTIGATION AND VERIFICATION INCLUDING CODE ANALYSIS WILL BE REQUIRED BY OTHER PARTIES USING OR REFERENCING THESE MATERIALS.

AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT

AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

SCOPE OF WORK

RECORD DOCUMENTATION OF THE EXISTING PLAZA DEL SOL BUILDING, INCLUDING OCCUPANCY LOADS AND PLUMBING FIXTURE COUNTS. CODE REVIEW INFORMATION BELOW IS PROVIDED ONLY TO HIGHLIGHT RELEVANT SECTIONS OF BUILDING CODES APPLICABLE TO RENOVATIONS UNDER CURRENT ADOPTED CODES.

APPLICABLE CODES

- NEW MEXICO ADMINISTRATIVE CODE, TITLE 14 (NMAC)
- NM COMMERCIAL BUILDING CODE, 2015
- NM ENERGY CONSERVATION CODE, 2018
- NM MECHANICAL CODE, 2015
- NM PLUMBING CODE, 2015
- NM ELECTRICAL CODE, 2017
- INTERNATIONAL BUILDING CODE (IBC), 2015
- INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2018
- INTERNATIONAL EXISTING BUILDING CODE (IEBC), 2015
- INTERNATIONAL FIRE CODE (IFC), 2015
- UNIFORM MECHANICAL CODE (UMC), 2015
- UNIFORM PLUMBING CODE (UPC), 2015
- NATIONAL ELECTRICAL CODE (NEC), 2017
- NFPA 101 LIFE SAFETY CODE, 20__

APPLICABLE STANDARDS

- (ALSO SEE STRUCTURAL NOTES - SHEET S-001)
- ADA-ICC/ANSI A117.1, 2005
 - ADA/ADAAG, Americans with disabilities Act Accessibility Guidelines for Buildings and Facilities
 - NFPA 13 INSTALLATION OF SPRINKLER SYSTEMS, 20__
 - NFPA 409, STANDARD ON AIRCRAFT HANGARS, 2011
 - REQUIREMENTS OF THE NEW MEXICO STATE ENVIRONMENTAL HEALTH DIVISION (NMEHD)
 - REQUIREMENTS OF THE NEW MEXICO STATE FIRE MARSHAL'S OFFICE (SFMO)

BUILDING HEIGHT AND AREA

- BUILDING IS 8 STORIES + MECHANICAL PENTHOUSE AND BASEMENT
- REFER TO PLANS FOR GROSS SF OF EACH FLOOR

OCCUPANCY + CONSTRUCTION

EXISTING BUILDING IS A MULTISTORY BUILDING. IT IS ASSUMED TO BE TYPE IIB CONSTRUCTION WITH A B-BUSINESS OCCUPANCY.

| Code Occupancy Use | | | | | |
|--------------------|------|----------------------|-----------------------|----------------------|-----------|
| Level | Area | Occupant Load Factor | Occupant Load SF Type | Calculated Occupants | Occupants |

| | | | | | | |
|--------------------------------------|-----------|-----|-------|------------|-------------|------|
| ACCESSORY MECHANICAL | | | | | | |
| PENTHOUSE | 5,688 SF | 300 | GROSS | 18,958835 | 19 | |
| ACCESSORY MECHANICAL | | | | 5,688 SF | 18,958835 | 19 |
| ASSEMBLY: CONCENTRATED (CHAIRS ONLY) | | | | | | |
| BASEMENT | 1,661 SF | 7 | NET | 237.219987 | 237 | |
| ASSEMBLY: CONCENTRATED (CHAIRS ONLY) | | | | | | |
| CONCENTRATED | 1,661 SF | | | 237.219987 | 237 | |
| ASSEMBLY: UNCONCENTRATED | | | | | | |
| BASEMENT | 786 SF | 15 | NET | 52.402773 | 52 | |
| ASSEMBLY: UNCONCENTRATED | | | | | | |
| UNCONCENTRATED | 786 SF | | | 52.402773 | 52 | |
| BUSINESS AREAS | | | | | | |
| BASEMENT | 11,239 SF | 100 | GROSS | 112,39185 | 112 | |
| GROUND LEVEL | 13,142 SF | 100 | GROSS | 131,423611 | 132 | |
| 2ND LEVEL | 12,535 SF | 100 | GROSS | 125,3525 | 125 | |
| 3RD LEVEL | 11,942 SF | 100 | GROSS | 119,423611 | 119 | |
| 4TH LEVEL | 11,364 SF | 100 | GROSS | 113,636944 | 114 | |
| 5TH LEVEL | 10,799 SF | 100 | GROSS | 107,9925 | 108 | |
| 6TH LEVEL | 10,249 SF | 100 | GROSS | 102,490278 | 103 | |
| 7TH LEVEL | 9,713 SF | 100 | GROSS | 97,130278 | 97 | |
| BUSINESS AREAS | | | | 90,984 SF | 909,841572 | 910 |
| GRAND TOTALS: | | | | 11 | 1218,423167 | 1218 |

FIRE PROTECTION & RESISTANCE

- FIRE PROTECTION**
- SPRINKLERS ARE PROVIDED THROUGHOUT THE BUILDING.
 - PORTIONS OF BUILDINGS SEPARATED BY BY A FIRE WALL SHALL BE CONSIDERED SEPARATE BUILDINGS (IBC 706)
 - REQUIRED FIRE WALL SEPARATION SHALL HAVE A FIRE RESISTANCE RATING OF 2HRS (IBC TABLE 706.4)
 - SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 2HRS WHERE CONNECTING 4 STORIES OR MORE (IBC 718.5)

EGRESS

OCCUPANT LOADS
REFER TO OCCUPANT LOAD CALCULATION TABLES ON THIS SHEET AND EXTENT OF EACH AREA ON THE EGRESS PLAN.

- TOTAL OCCUPANT LOAD = 1,179
- REFER TO EGRESS PLAN FOR OCCUPANCY CLASSIFICATION

- NUMBER OF EXITS REQUIRED BY STORY (IBC TABLE 1006.3.1)**
- GROUND LEVEL REQUIRES 3 EXITS (OCCUPANT LOAD 501-1000)
 - BASEMENT AND ALL OTHER LEVELS REQUIRE 2 EXITS FOR OCCUPANT LOAD OF <500.

- COMMON PATH OF EGRESS TRAVEL (IBC 1006.2.1, TABLE 1006.2.1)**
- B OCCUPANCY WITH SPRINKLERS: 100 FT

- EXIT ACCESS TRAVEL DISTANCE (IBC TABLE 1017.2)**
- B OCCUPANCIES, WITH SPRINKLERS: MAX TRAVEL DISTANCE IS 300 FT.

- STAIRWAYS**
- EXIT ACCESS STAIRWAYS: THE PATH OF EGRESS TRAVEL TO AN EXIT SHALL NOT PASS THROUGH MORE THAN ONE ADJACENT STORY (IBC 1006.3)
 - AREA OF REFUGE IS NOT REQUIRED IN FULLY SPRINKLERED BUILDING (IBC 1009.3, EX. 5)

- DEAD ENDS (IBC 1020.4 & EXCEPTION 2)**
- WHERE MORE THAN ONE EXIT IS REQUIRED, DEAD END CORRIDORS ARE LIMITED TO: 50 FT (B OCCUPANCY).

- EGRESS CAPACITY (IBC 1005.3)**
- STAIRWAYS (0.3' PER OCCUPANT)
 - OTHER EGRESS (0.2' PER OCCUPANT)

- DOORS (IBC 1010)**
- MINIMUM CLEAR WIDTH OF 32 INCHES, MAXIMUM DOOR LEAF WIDTH OF 48 INCHES (IBC 1010.1.1)
 - DOORS SHALL SWING IN DIRECTION OF EGRESS TRAVEL WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE (IBC 1010.1.2.1)
 - IN A OCCUPANCY, ON DOORS SERVING OCCUPANT LOAD OF 50 OR MORE, LATCH/LOCK SHALL BE PANIC/FIRE EXIT HARDWARE (IBC 1010.1.10)

PLUMBING FIXTURES

PLUMBING FIXTURES SHALL BE INSTALLED PER IBC CHAPTER 29.

PLUMBING FIXTURE CALCULATIONS

TOTAL OCCUPANTS: 1199
MALE: 599.5 (50%) FEMALE: 599.5 (50%)

| GROUP | WATER CLOSETS | | LAVATORIES | | DRINKING FOUNTAINS | OTHER |
|---|---|----------|---|--------|--------------------|----------------|
| | MALE | FEMALE | MALE | FEMALE | | |
| Business B OCC: 910 M: 455 F: 455 | 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50 | | 1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80 | | 1 per 100 | 1 service sink |
| REQUIRED | 10.10 | 10.10 | 6.69 | 6.69 | 9.10 | 1.00 |
| Assembly A-2 OCC: 52 M: 26 F: 26 | 1 per 75 | 1 per 75 | 1 per 200 | | 1 Per 500 | 1 service sink |
| REQUIRED | 0.35 | 0.35 | 0.13 | 0.13 | 0.10 | 1.00 |
| Assembly A-3 OCC: 237 M: 119 F: 119 | 1 per 150 | 1 per 75 | 1 per 200 | | 1 Per 1,000 | 1 service sink |
| REQUIRED | 0.79 | 1.59 | 0.60 | 0.60 | 0.24 | 1.00 |

| TOTALS | | | | | | |
|----------|------------|----|----|----|----|---|
| REQUIRED | 13 | 13 | 9 | 9 | 12 | 1 |
| PROVIDED | 16WC / 15U | 25 | 23 | 24 | 14 | 7 |

COVER SHEET

G-001

| NO | DATE | DESCRIPTION |
|-------------|------------------------|-------------|
| DATE: | 03-28-2022 | |
| PROJECT #: | 21803 | |
| DRAWN BY: | Author | |
| CHECKED BY: | Checker | |
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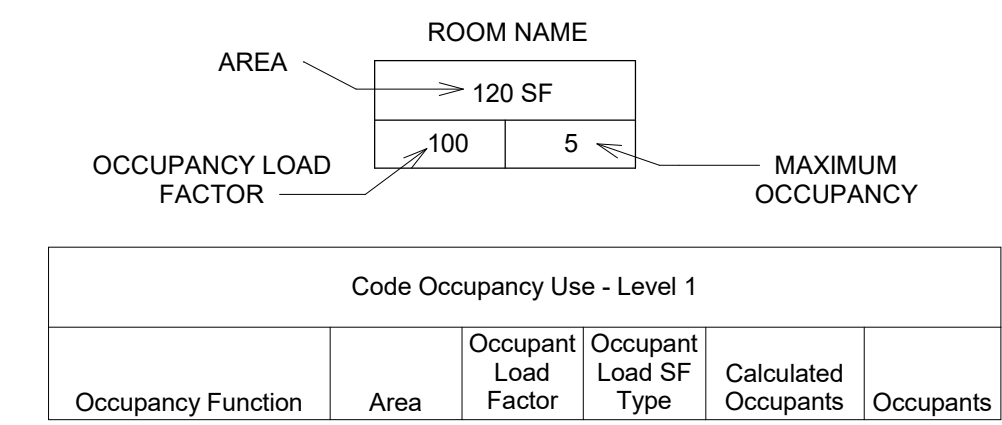
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GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36." THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

OCCUPANCY LEGEND



PLUMBING FIXTURE CALCULATIONS

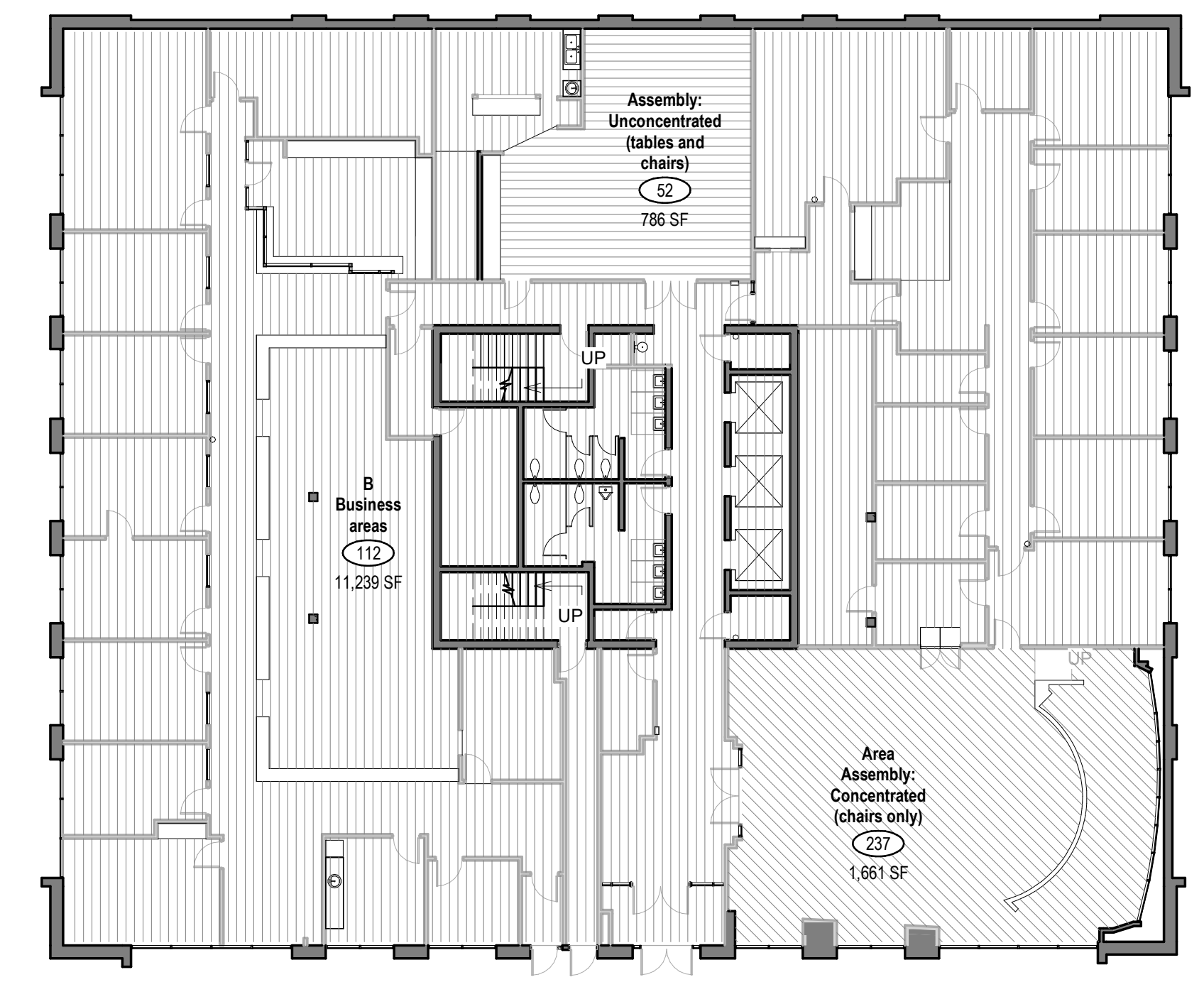
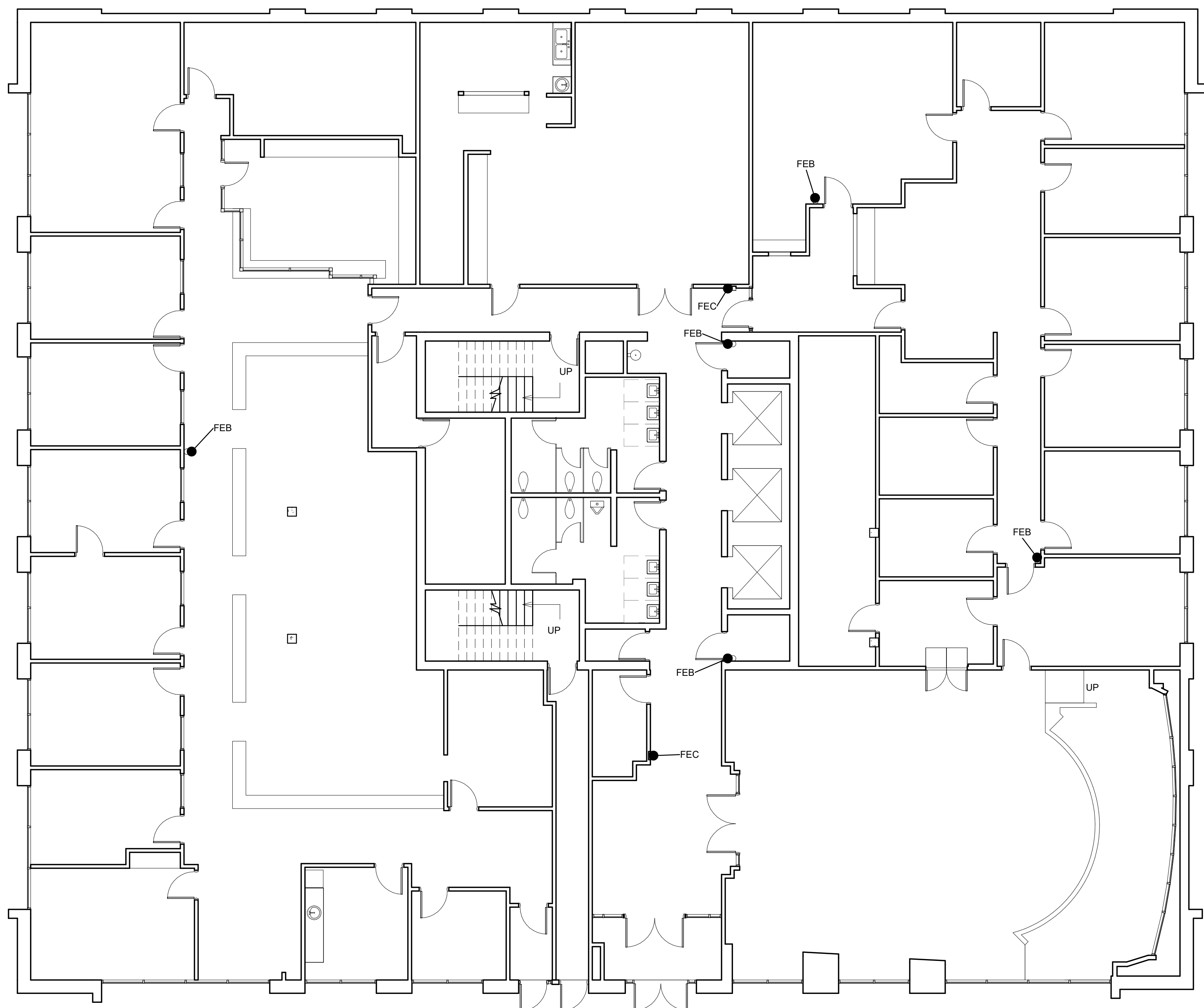
TOTAL OCCUPANTS: 409
MALE: 204.5 (50%) FEMALE: 204.5 (50%)

| GROUP | WATER CLOSETS | | LAVATORIES | | DRINKING FOUNTAINS | OTHER |
|---|---|--------|---|--------|--------------------|----------------|
| | MALE | FEMALE | MALE | FEMALE | | |
| Business B OCC: 120 M: 60 F: 60 | 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50 | | 1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80 | | 1 per 100 | 1 service sink |
| REQUIRED | 2.20 | 2.20 | 1.50 | 1.50 | 1.20 | 1.00 |
| Assembly A-2 OCC: 52 M: 26 F: 26 | 1 per 75 | | 1 per 200 | | 1 Per 500 | 1 service sink |
| REQUIRED | 0.35 | 0.35 | 0.13 | 0.13 | 0.10 | 1.00 |
| Assembly A-3 OCC: 237 M: 119 F: 119 | 1 per 150 | | 1 per 200 | | 1 Per 1,000 | 1 service sink |
| REQUIRED | 0.79 | 1.59 | 0.60 | 0.60 | 0.24 | 1.00 |
| TOTALS | | | | | | |
| REQUIRED | 5 | 5 | 4 | 4 | 4 | 1 |
| PROVIDED | 2WC / 1U | 3 | 3 | 3 | 2 | 1 |

BASEMENT
ASSEMBLY: CONCENTRATED (CHAIRS ONLY)

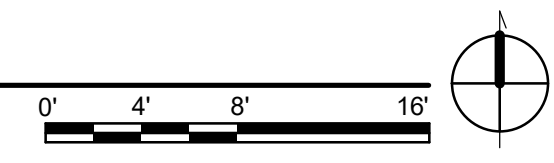
| | | | | | |
|---|----------|----|-----|-------|-----|
| ASSEMBLY: CONCENTRATED (CHAIRS ONLY) | 1,661 SF | 7 | NET | 237.2 | 237 |
| ASSEMBLY: CONCENTRATED (CHAIRS ONLY): 1 | 1,661 SF | | | 237.2 | 237 |
| ASSEMBLY: UNCONCENTRATED | 786 SF | 15 | NET | 52.4 | 52 |
| ASSEMBLY: UNCONCENTRATED | 786 SF | | | 52.4 | 52 |

BUSINESS AREAS
BUSINESS AREAS: 11,239 SF | 100 | GROSS | 112.4 | 112
BUSINESS AREAS: 11,239 SF | | | 112.4 | 112
Grand total: 3 | 13,686 SF | | 402.0 | 401



- Building Code**
- Assembly: Concentrated (chairs only)
 - Assembly: Unconcentrated (tables and chairs)
 - Business areas

A1 FLOOR PLAN - BASEMENT
1/8" = 1'-0"



A12 CODE AREA PLAN - BASEMENT
1/16" = 1'-0"



AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT
AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

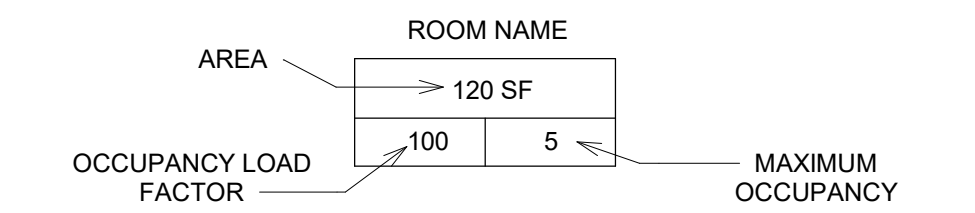
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OCCUPANCY LEGEND



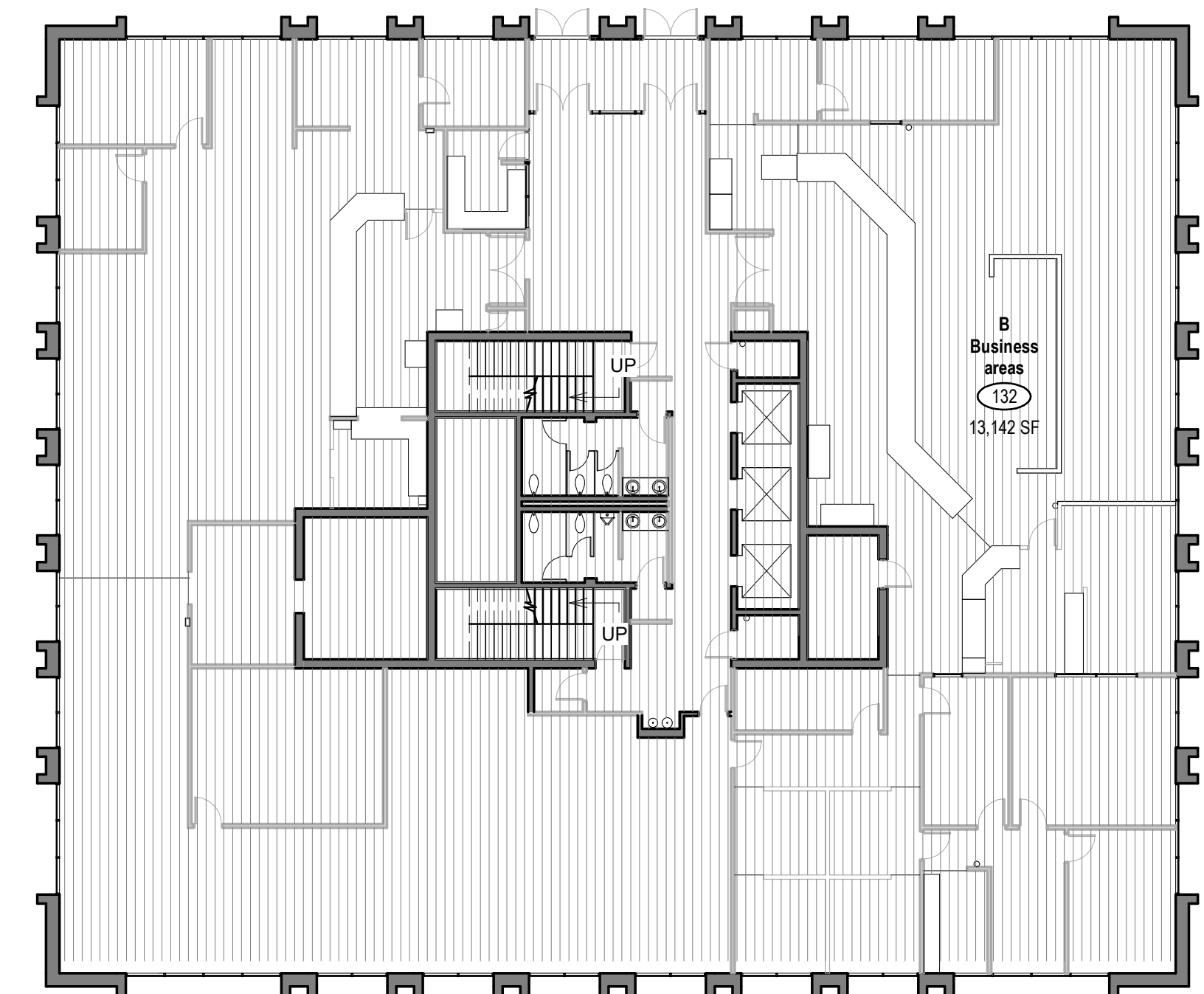
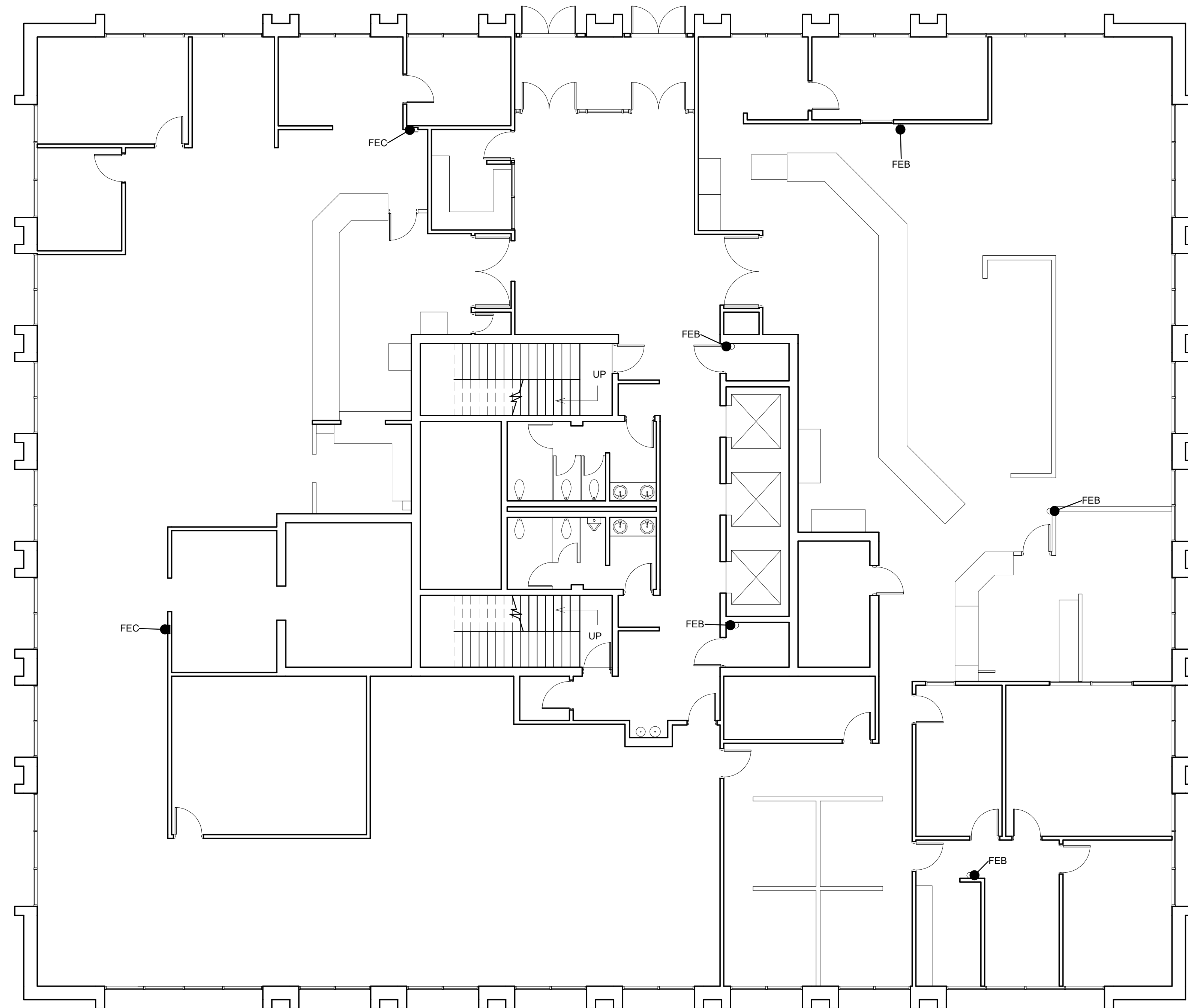
| Code Occupancy Use - Level 2 | | | | | |
|------------------------------|------|----------------------|--------------------|----------------------|-----------|
| Occupancy Function | Area | Occupant Load Factor | Occupant Load Type | Calculated Occupants | Occupants |

| GROUND LEVEL | | | | | |
|-------------------|-----------|-----|-------|-------|-----|
| BUSINESS AREAS | | | | | |
| BUSINESS AREAS | 13,142 SF | 100 | GROSS | 131.4 | 132 |
| BUSINESS AREAS: 1 | 13,142 SF | | | 131.4 | 132 |
| Grand total: 1 | 13,142 SF | | | 131.4 | 132 |

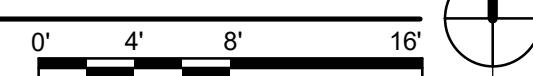
PLUMBING FIXTURE CALCULATIONS

TOTAL OCCUPANTS: 132
 MALE: 66 (50%) FEMALE: 66 (50%)

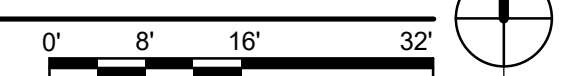
| GROUP | WATER CLOSETS | | LAVATORIES | | DRINKING FOUNTAINS | OTHER |
|-------------------------------------|---|---|---|---|--------------------|----------------|
| | MALE | FEMALE | MALE | FEMALE | | |
| Business OCC: 132 M: 66 F: 66 | 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50 | 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50 | 1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80 | 1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80 | 1 per 100 | 1 service sink |
| REQUIRED | 2.32 | 2.32 | 1.65 | 1.65 | 1.32 | 1.00 |
| TOTALS | | | | | | |
| REQUIRED | 3 | 3 | 2 | 2 | 2 | 1 |
| PROVIDED | 2WC / 1U | 3 | 2 | 2 | 2 | 1 |



A1 FLOOR PLAN - GROUND FLOOR
1/8" = 1'-0"



A14 AREA PLAN - GROUND
1/16" = 1'-0"



| NO | DATE | DESCRIPTION |
|-------------|------------|-------------|
| DATE: | 03-28-2022 | |
| PROJECT #: | 21803 | |
| DRAWN BY: | Author | |
| CHECKED BY: | Checker | |

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SHEET TITLE

GROUND FLOOR PLAN

A-102

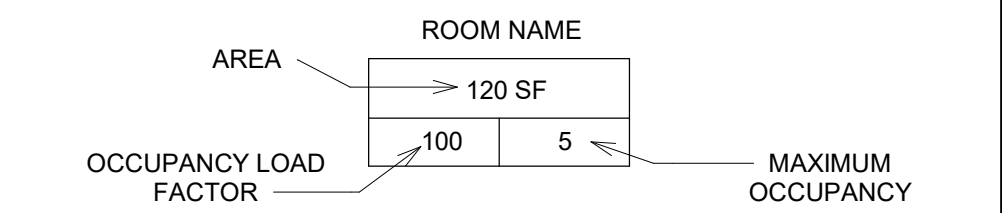
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OCCUPANCY LEGEND



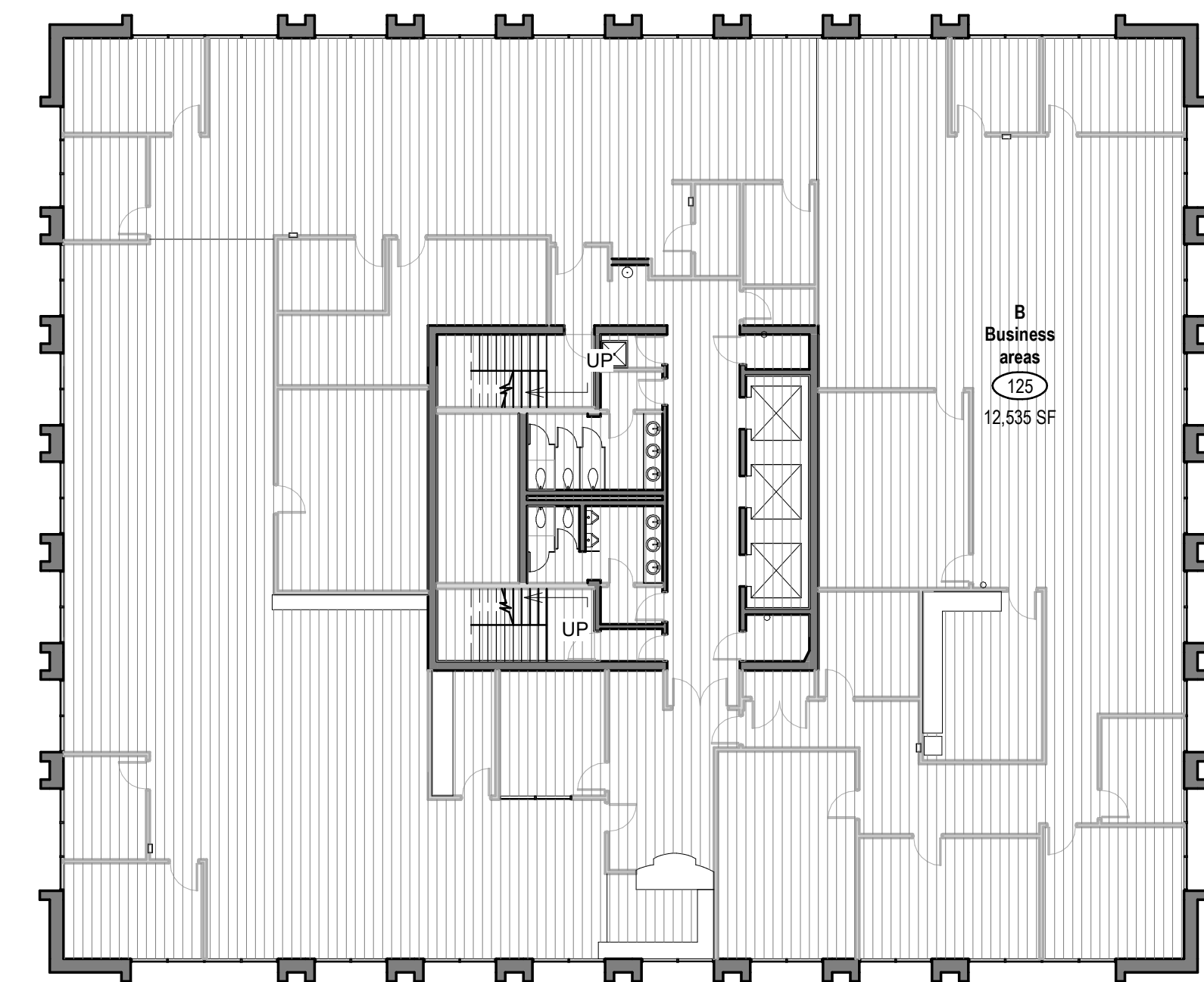
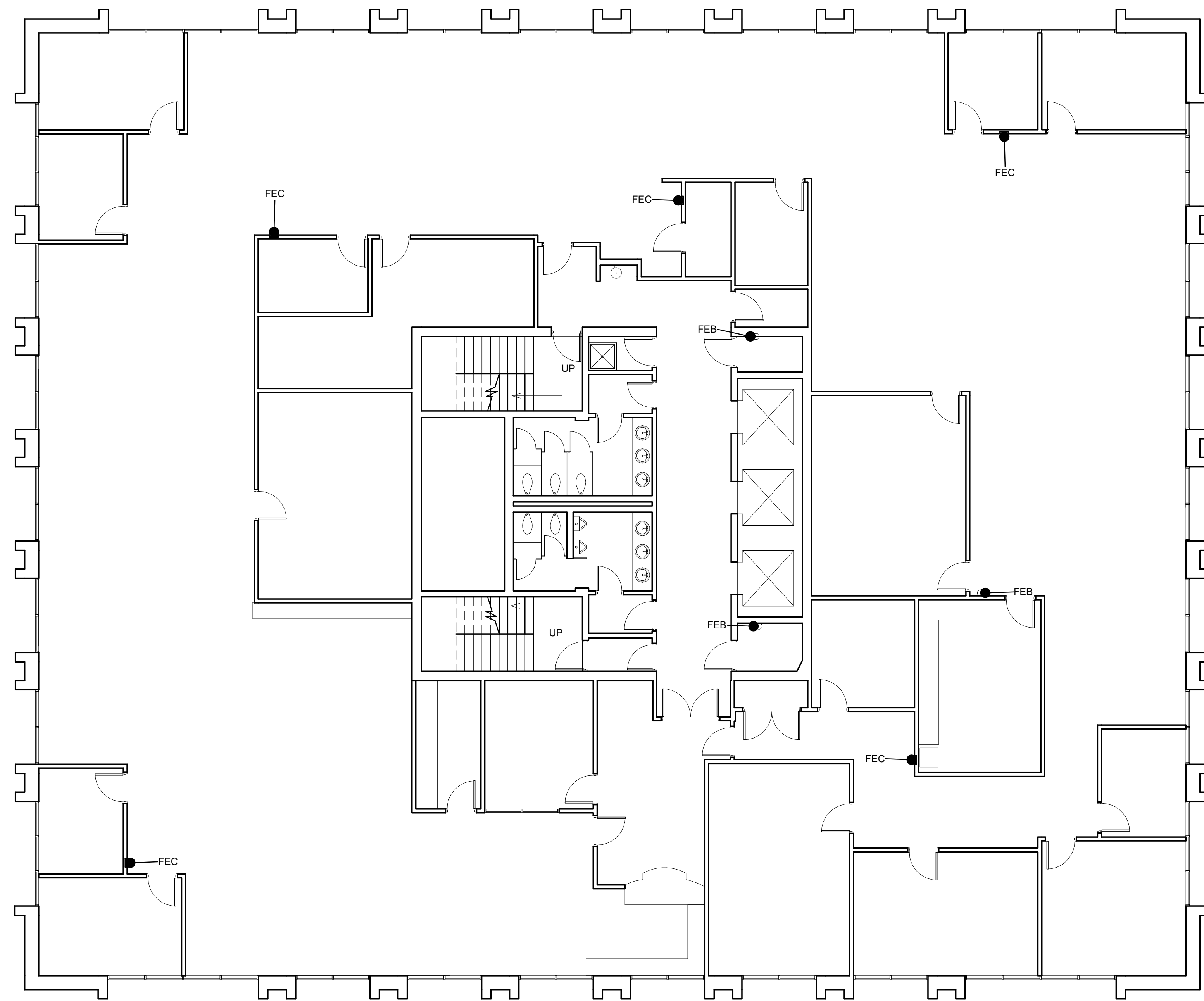
| Code Occupancy Use - Level 3 | | | | | |
|------------------------------|------|----------------------|--------------------|----------------------|-----------|
| Occupancy Function | Area | Occupant Load Factor | Occupant Load Type | Calculated Occupants | Occupants |

| 2ND LEVEL BUSINESS AREAS | | | | |
|--------------------------|-----------|----------------------|-------|-----------|
| Business Areas: | Area | Occupant Load Factor | GROSS | Occupants |
| BUSINESS AREAS: 1 | 12,535 SF | 100 | 125.4 | 125 |
| Grand total: 1 | 12,535 SF | | 125.4 | 125 |

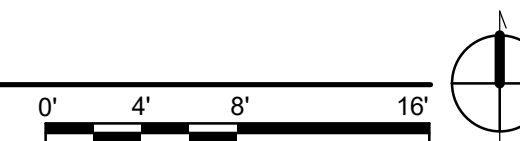
PLUMBING FIXTURE CALCULATIONS

TOTAL OCCUPANTS: 126
MALE: 63 (50%) FEMALE: 63 (50%)

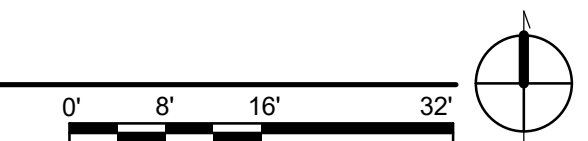
| GROUP | WATER CLOSETS | | LAVATORIES | | DRINKING FOUNTAINS | OTHER |
|---|---|--------|---|--------|--------------------|----------------|
| | MALE | FEMALE | MALE | FEMALE | | |
| Business B OCC: 126 M: 63 F: 63 | 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50 | | 1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80 | | 1 per 100 | 1 service sink |
| REQUIRED | 2.26 | 2.26 | 1.58 | 1.58 | 1.26 | 1.00 |
| TOTALS | | | | | | |
| REQUIRED | 3 | 3 | 2 | 2 | 2 | 1 |
| PROVIDED | 2WC / 2U | 3 | 3 | 3 | 1 | 1 |



A1 FLOOR PLAN - LEVEL 2
1/8" = 1'-0"



A12 AREA PLAN - LEVEL 2
1/16" = 1'-0"



AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT

AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

| NO | DATE | DESCRIPTION |
|-------------|------------|-------------|
| DATE: | 03-28-2022 | |
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| DRAWN BY: | Author | |
| CHECKED BY: | Checker | |

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SHEET TITLE

2ND FLOOR PLAN

A-103

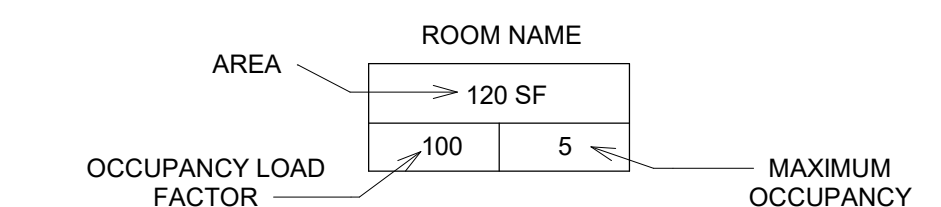
RECORD DOCUMENTS

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GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36," THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

OCCUPANCY LEGEND

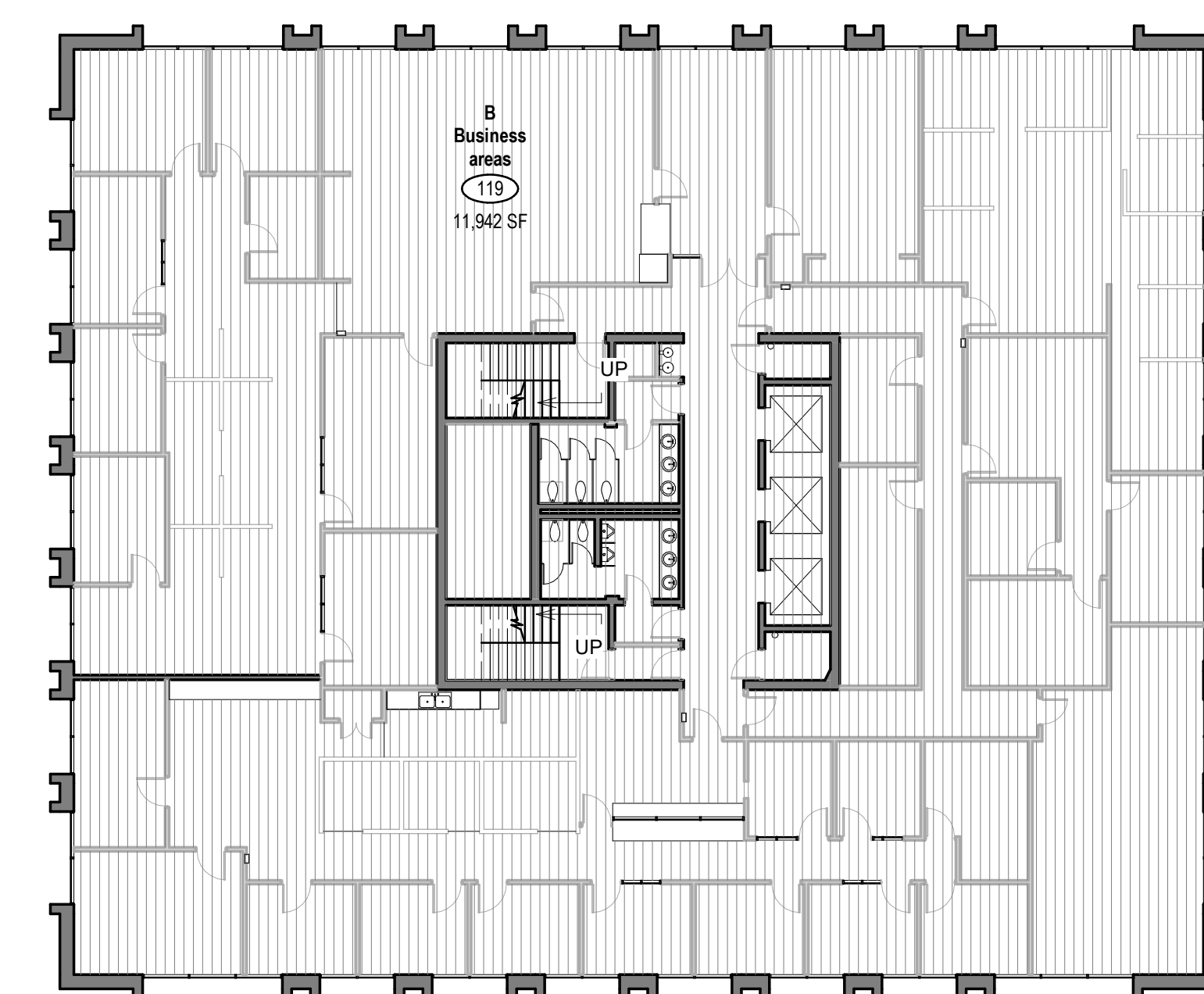
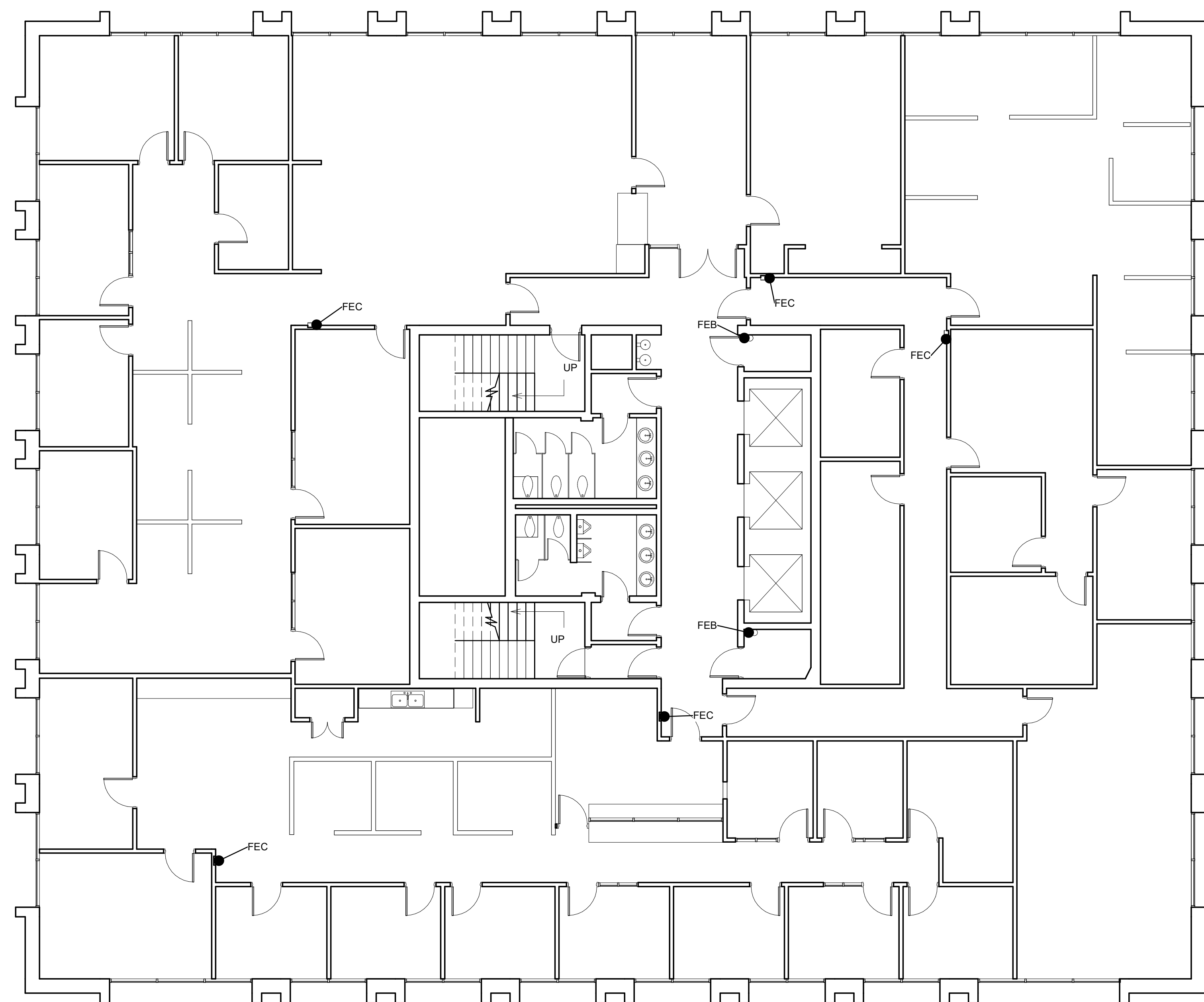


| Code Occupancy Use - Level 4 | | | | | |
|------------------------------|-----------|----------------------|--------------------|----------------------|-----------|
| Occupancy Function | Area | Occupant Load Factor | Occupant Load Type | Calculated Occupants | Occupants |
| 3RD LEVEL BUSINESS AREAS | | | | | |
| BUSINESS AREAS | 11,942 SF | 100 | GROSS | 119.4 | 119 |
| BUSINESS AREAS: 1 | 11,942 SF | | | 119.4 | 119 |
| Grand total: 1 | 11,942 SF | | | 119.4 | 119 |

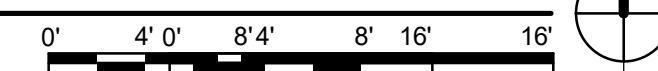
PLUMBING FIXTURE CALCULATIONS

TOTAL OCCUPANTS: 120
MALE: 60 (50%) FEMALE: 60 (50%)

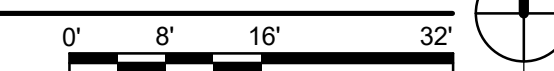
| GROUP | WATER CLOSETS | | LAVATORIES | | DRINKING FOUNTAINS | OTHER |
|--|---|--------|---|--------|--------------------|----------------|
| | MALE | FEMALE | MALE | FEMALE | | |
| Business B OCC: 120 M: 60 F: 60 | 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50 | | 1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80 | | 1 per 100 | 1 service sink |
| REQUIRED | 2.20 | 2.20 | 1.50 | 1.50 | 1.20 | 1.00 |
| TOTALS | | | | | | |
| REQUIRED | 3 | 3 | 2 | 2 | 2 | 1 |
| PROVIDED | 2WC / 2U | 3 | 3 | 3 | 2 | 1 |



A1 FLOOR PLAN - LEVEL 3
1/8" = 1'-0"



A12 AREA PLAN - LEVEL 3
1/16" = 1'-0"



AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT

AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

| NO | DATE | DESCRIPTION |
|-------------|------------|-------------|
| DATE: | 03-28-2022 | |
| PROJECT #: | 21803 | |
| DRAWN BY: | Author | |
| CHECKED BY: | Checker | |

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SHEET TITLE

3TH FLOOR PLAN

A-104

AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT
AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

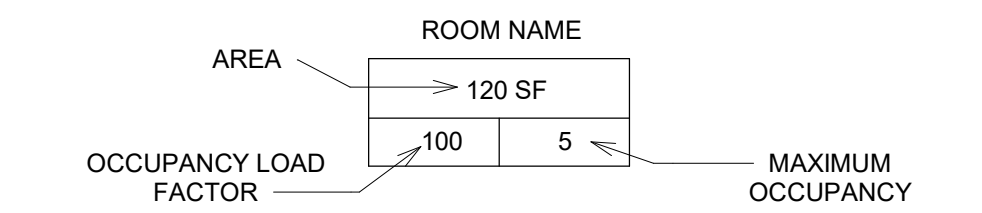
RECORD DOCUMENTS

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GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36," THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

OCCUPANCY LEGEND



| Code Occupancy Use - Level 5 | | | | |
|------------------------------|------|----------------------|-----------------------|----------------------|
| Occupancy Function | Area | Occupant Load Factor | Occupant Load SF Type | Calculated Occupants |

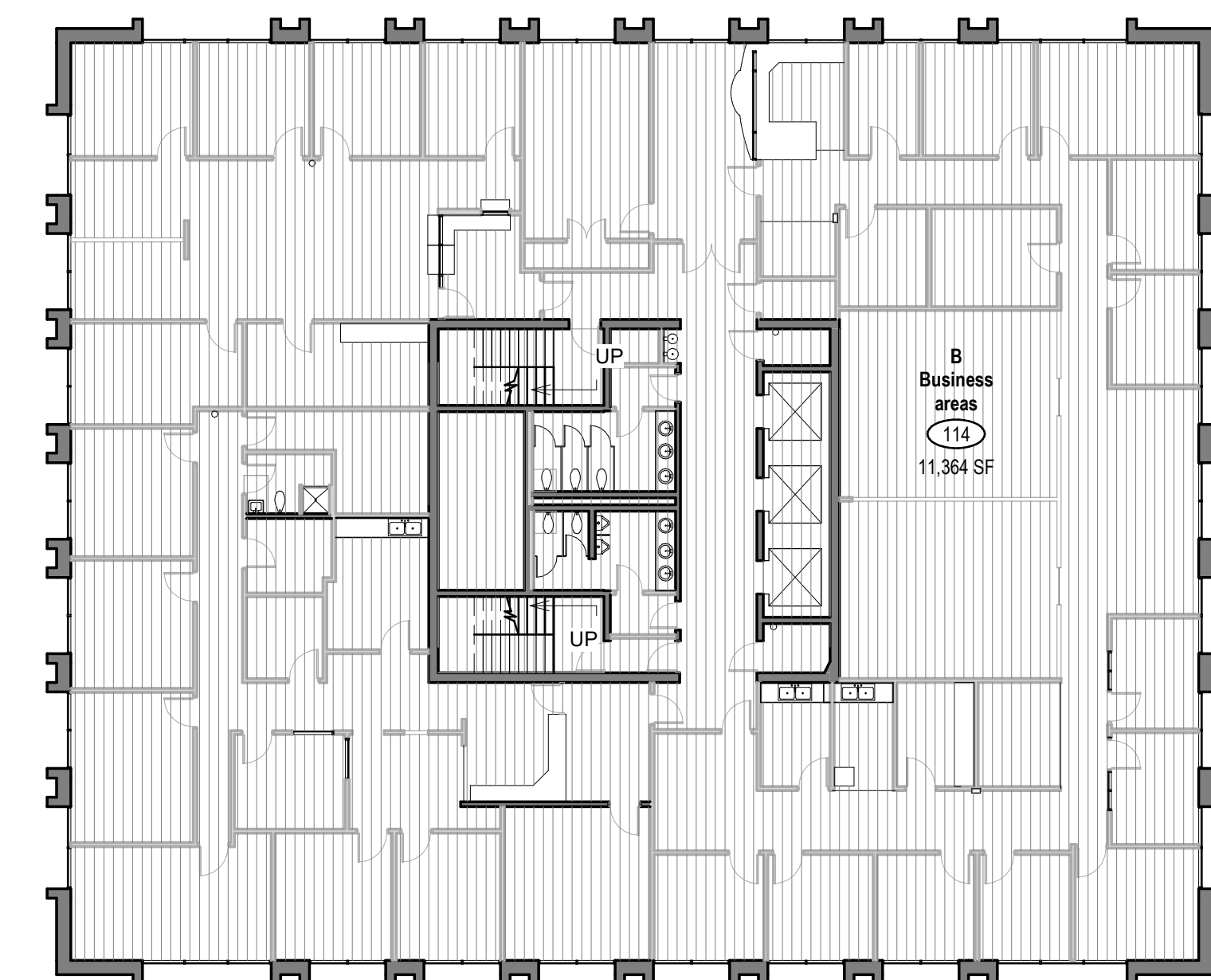
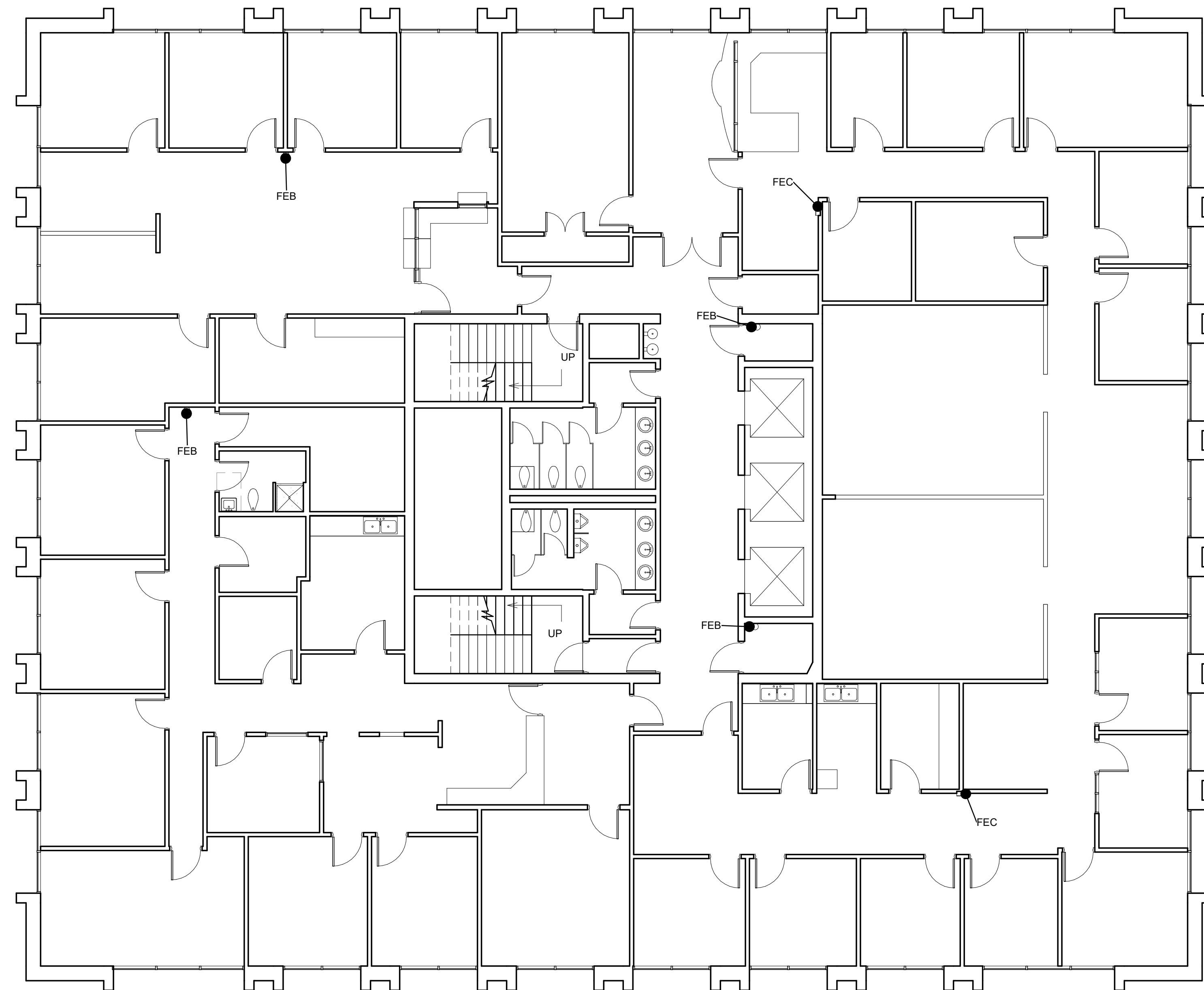
| 4TH LEVEL | | | | |
|-------------------|-----------|----------------------|-------|-----------|
| BUSINESS AREAS | | | | |
| BUSINESS AREAS | Area | Occupant Load Factor | GROSS | Occupants |
| BUSINESS AREAS: 1 | 11,364 SF | 100 | 113.6 | 114 |
| Grand total: 1 | 11,364 SF | | 113.6 | 114 |

PLUMBING FIXTURE CALCULATIONS

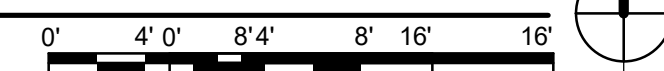
TOTAL OCCUPANTS: 114
MALE: 57 (50%) FEMALE: 57 (50%)

| GROUP | WATER CLOSETS | | LAVATORIES | | DRINKING FOUNTAINS | OTHER | BATHTUBS SHOWERS |
|--|---|--------|---|--------|--------------------|----------------|------------------|
| | MALE | FEMALE | MALE | FEMALE | | | |
| Business B OCC: 114 M: 57 F: 57 | 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50 | | 1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80 | | 1 per 100 | 1 service sink | No Requirements |
| REQUIRED | 2.14 | 2.14 | 1.43 | 1.43 | 1.14 | 1.00 | 0.00 |

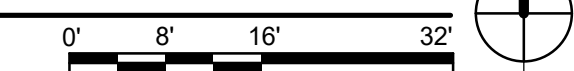
| TOTALS | | | | | | | |
|----------|----------|---|---|---|---|---|----|
| REQUIRED | 3 | 3 | 2 | 2 | 2 | 1 | NA |
| PROVIDED | 2WC / 2U | 3 | 3 | 4 | 2 | 1 | 1 |



A1 FLOOR PLAN - LEVEL 4
1/8" = 1'-0"



A12 AREA PLAN - LEVEL 4
1/16" = 1'-0"



| NO | DATE | DESCRIPTION |
|-------------|------------|-------------|
| DATE: | 03-28-2022 | |
| PROJECT #: | 21803 | |
| DRAWN BY: | Author | |
| CHECKED BY: | Checker | |

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SHEET TITLE

4TH FLOOR PLAN

A-105

AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT
AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

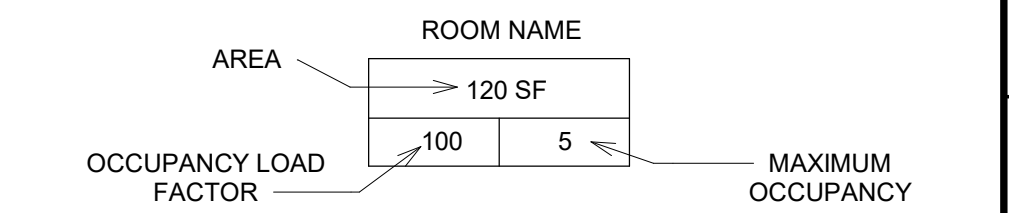
RECORD DOCUMENTS

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GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36," THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

OCCUPANCY LEGEND



| Code Occupancy Use - Level 6 | | | | | |
|------------------------------|------|----------------------|-----------------------|----------------------|-----------|
| Occupancy Function | Area | Occupant Load Factor | Occupant Load SF Type | Calculated Occupants | Occupants |

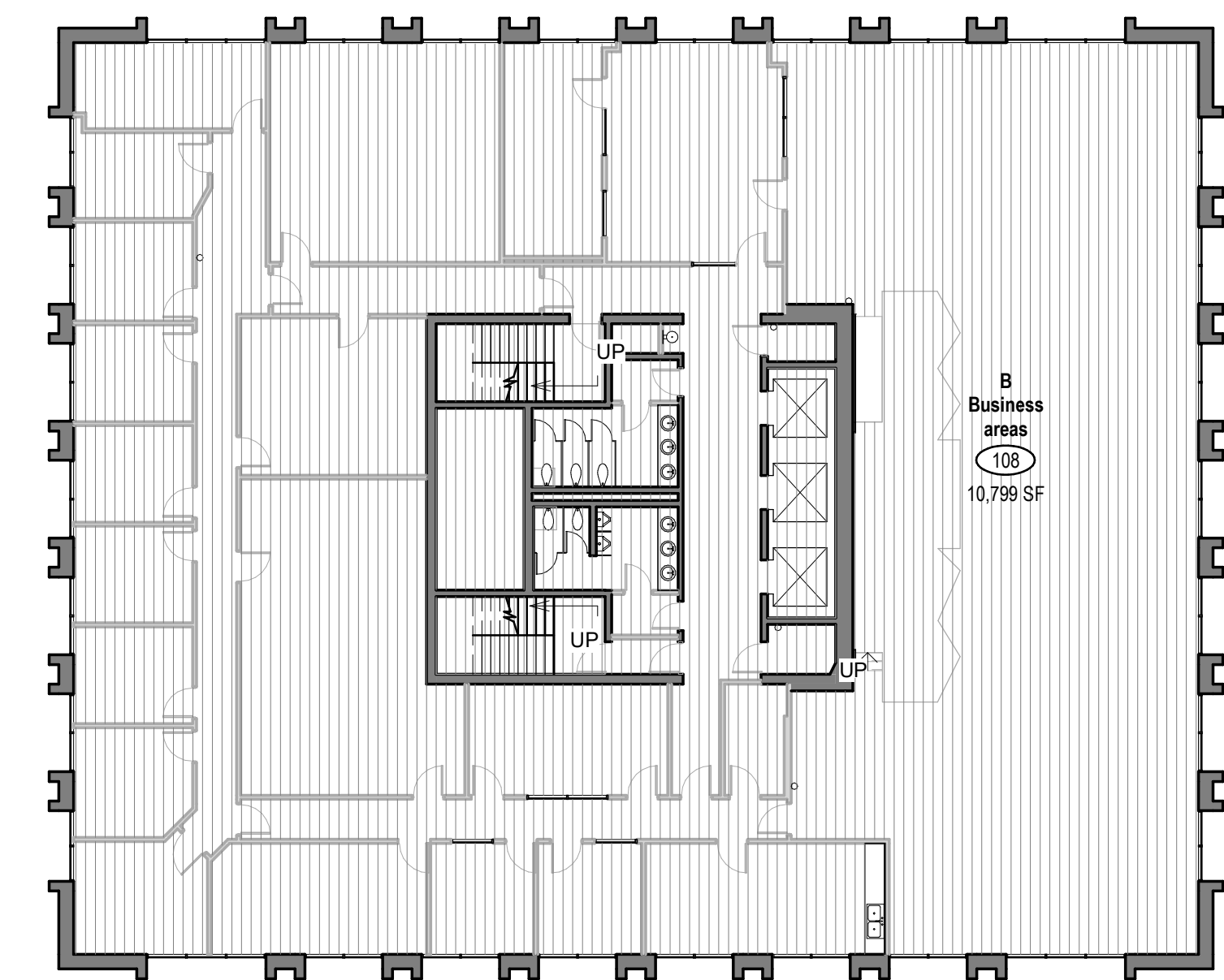
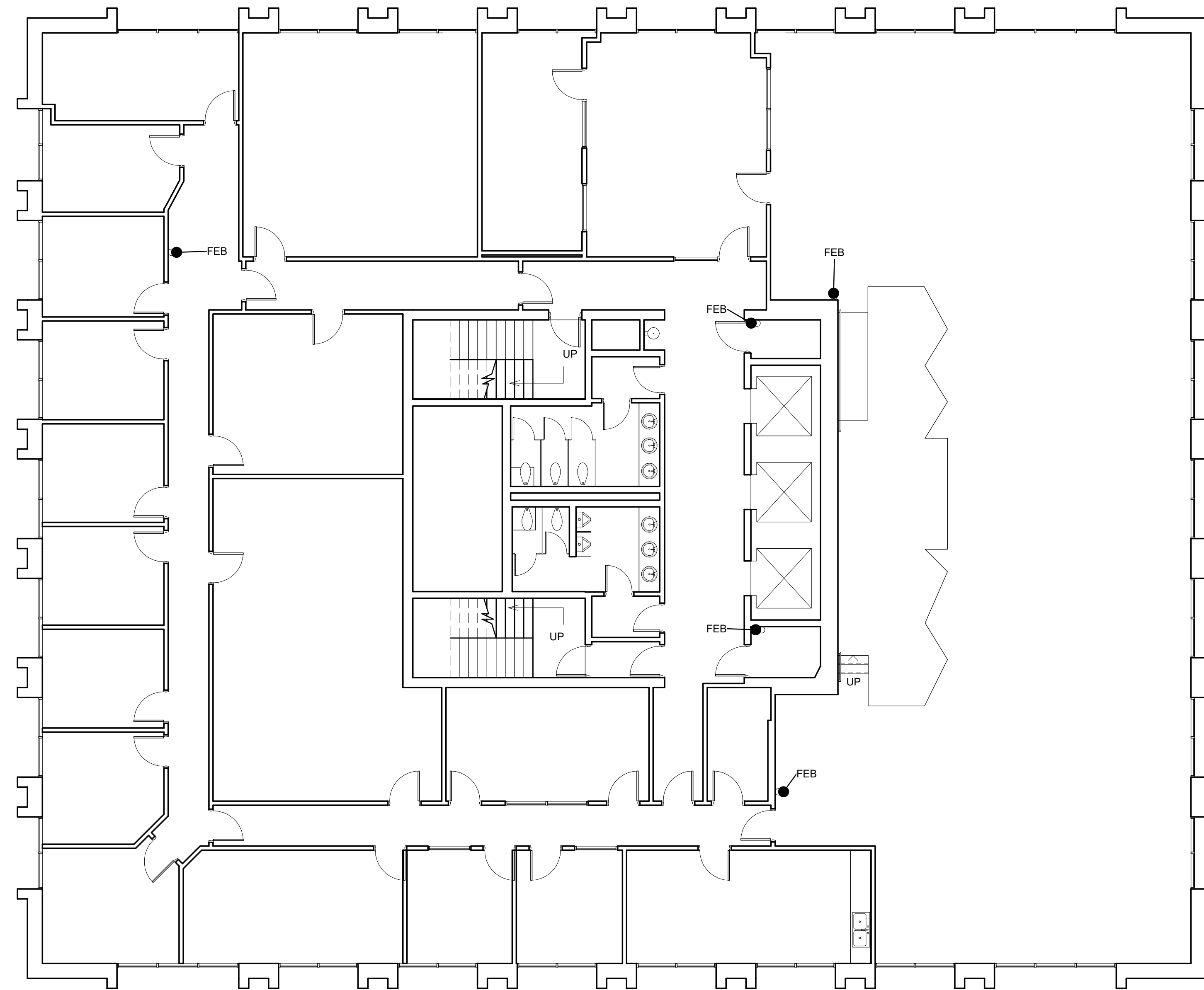
| 5TH LEVEL | | | | | |
|-------------------|-----------|-----|-------|-------|-----|
| BUSINESS AREAS | | | | | |
| BUSINESS AREAS | 10,799 SF | 100 | GROSS | 108.0 | 108 |
| BUSINESS AREAS: 1 | 10,799 SF | | | 108.0 | 108 |
| Grand total: 1 | 10,799 SF | | | 108.0 | 108 |

PLUMBING FIXTURE CALCULATIONS

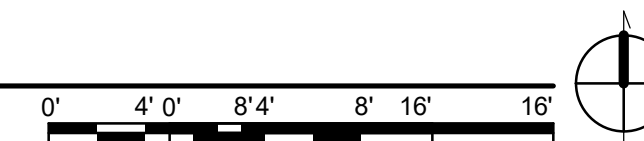
TOTAL OCCUPANTS: 108
MALE: 54 (50%) FEMALE: 54 (50%)

| GROUP | WATER CLOSETS | | LAVATORIES | | DRINKING FOUNTAINS | OTHER |
|---|---|--------|---|--------|--------------------|----------------|
| | MALE | FEMALE | MALE | FEMALE | | |
| Business B OCC: 108 M: 54 F: 54 | 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50 | | 1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80 | | 1 per 100 | 1 service sink |
| REQUIRED | 2.08 | 2.08 | 1.35 | 1.35 | 1.08 | 1.00 |

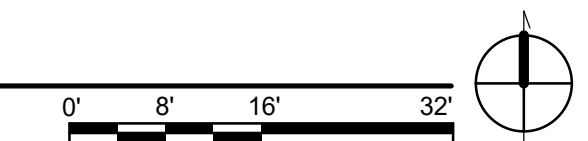
| TOTALS | | | | | | |
|----------|----------|---|---|---|---|---|
| REQUIRED | 3 | 3 | 2 | 2 | 2 | 1 |
| PROVIDED | 2WC / 2U | 3 | 3 | 3 | 1 | 1 |



A1 FLOOR PLAN - LEVEL 5
1/8" = 1'-0"



A12 AREA PLAN - LEVEL 5
1/16" = 1'-0"



| NO | DATE | DESCRIPTION |
|-------------|------------------------|-------------|
| DATE: | 03-28-2022 | |
| PROJECT #: | 21803 | |
| DRAWN BY: | Author | |
| CHECKED BY: | Checker | |
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SHEET TITLE

5TH FLOOR PLAN

A-106

AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT
AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

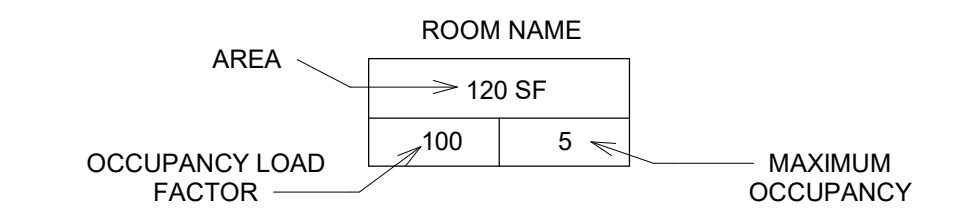
RECORD DOCUMENTS

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GENERAL NOTES

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OCCUPANCY LEGEND



| Code Occupancy Use - Level 7 | | | | |
|------------------------------|------|----------------------|--------------------|----------------------|
| Occupancy Function | Area | Occupant Load Factor | Occupant Load Type | Calculated Occupants |

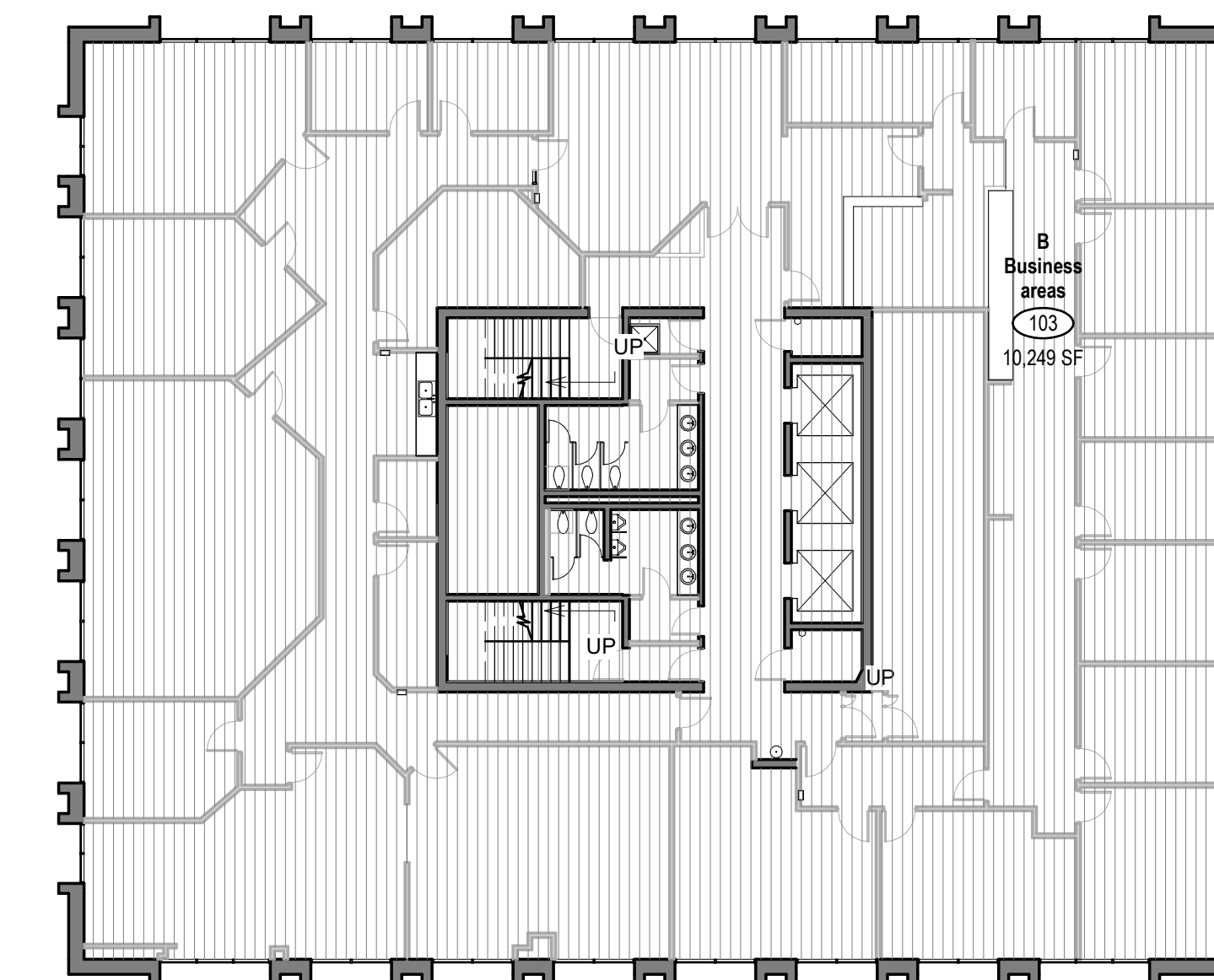
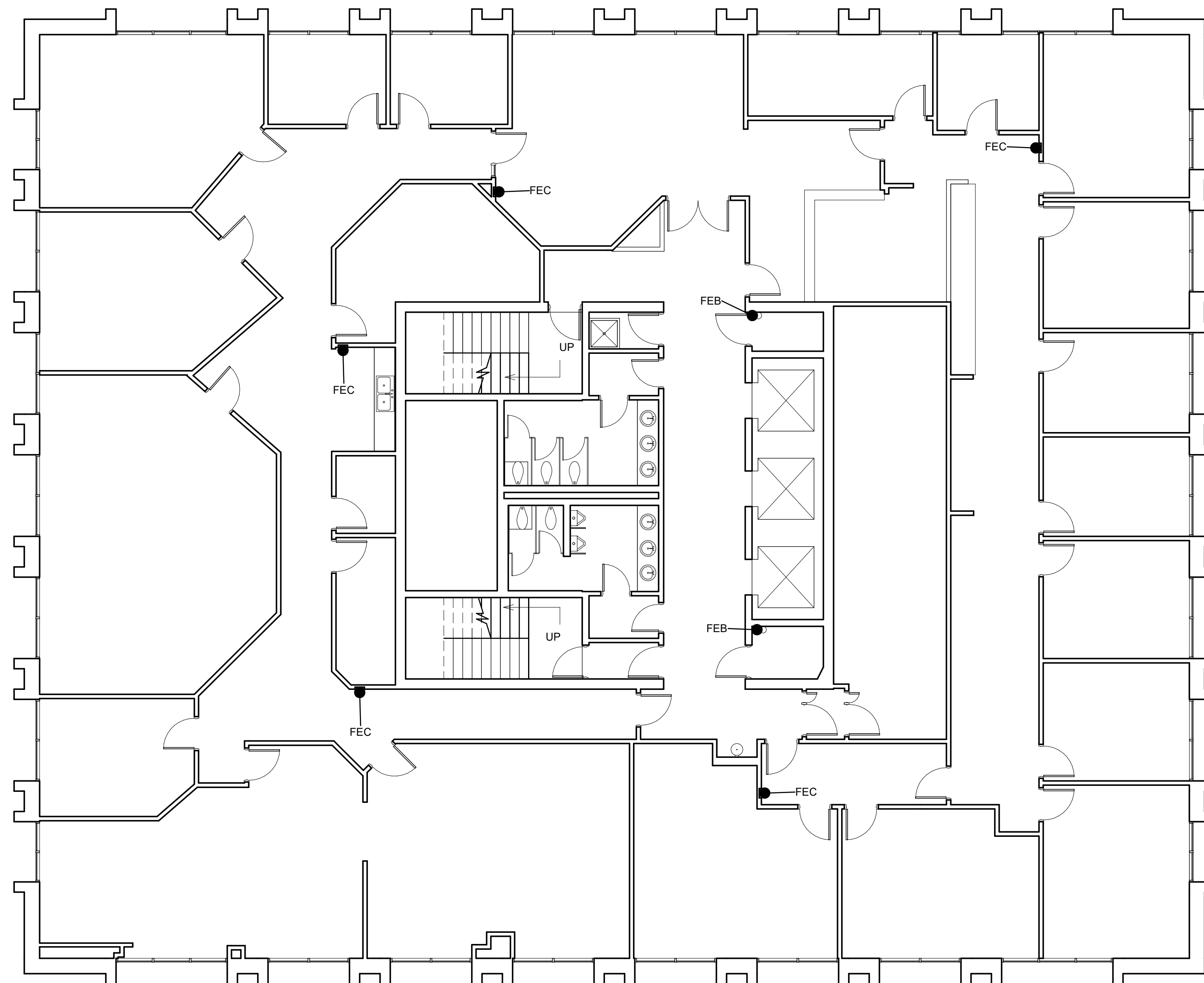
| 6TH LEVEL BUSINESS AREAS | | | | |
|--------------------------|-----------|-----|-------|-------|
| BUSINESS AREAS | 10,249 SF | 100 | GROSS | 102.5 |
| BUSINESS AREAS: 1 | 10,249 SF | | | 103 |
| Grand total: 1 | 10,249 SF | | | 103 |

PLUMBING FIXTURE CALCULATIONS

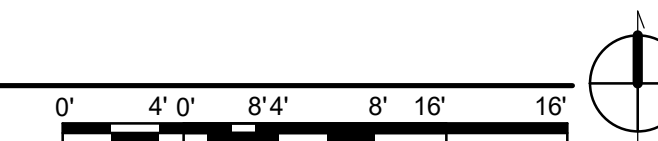
TOTAL OCCUPANTS: 103
MALE: 51.5 (50%) FEMALE: 51.5 (50%)

| GROUP | WATER CLOSETS | | LAVATORIES | | DRINKING FOUNTAINS | OTHER |
|---|---|--------|---|--------|--------------------|----------------|
| | MALE | FEMALE | MALE | FEMALE | | |
| Business B OCC: 103 M: 52 F: 52 | 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50 | | 1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80 | | 1 per 100 | 1 service sink |
| REQUIRED | 2.04 | 2.04 | 1.30 | 1.30 | 1.03 | 1.00 |

| TOTALS | | | | | | |
|----------|----------|---|---|---|---|---|
| REQUIRED | 3 | 3 | 2 | 2 | 2 | 1 |
| PROVIDED | 2WC / 2U | 3 | 3 | 3 | 1 | 1 |



A1 FLOOR PLAN - LEVEL 6
1/16" = 1'-0"



A12 AREA PLAN - LEVEL 6
1/16" = 1'-0"



| NO | DATE | DESCRIPTION |
|---|------------|-------------|
| DATE: | 03-28-2022 | |
| PROJECT #: | 21803 | |
| DRAWN BY: | Author | |
| CHECKED BY: | Checker | |
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| SHEET TITLE | | |

6TH FLOOR PLAN

A-107

AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT
AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

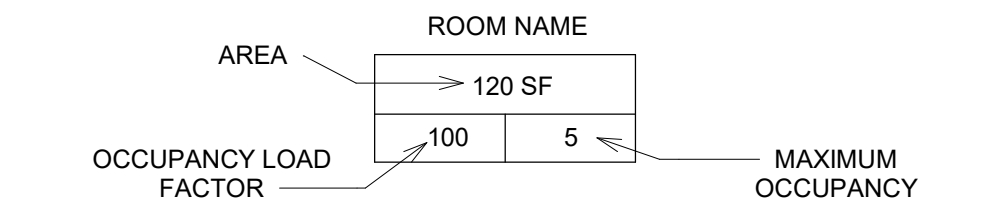
RECORD DOCUMENTS

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GENERAL NOTES

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OCCUPANCY LEGEND



| Code Occupancy Use - Level 8 | | | | | |
|------------------------------|------|----------------------|-----------------------|----------------------|-----------|
| Occupancy Function | Area | Occupant Load Factor | Occupant Load SF Type | Calculated Occupants | Occupants |

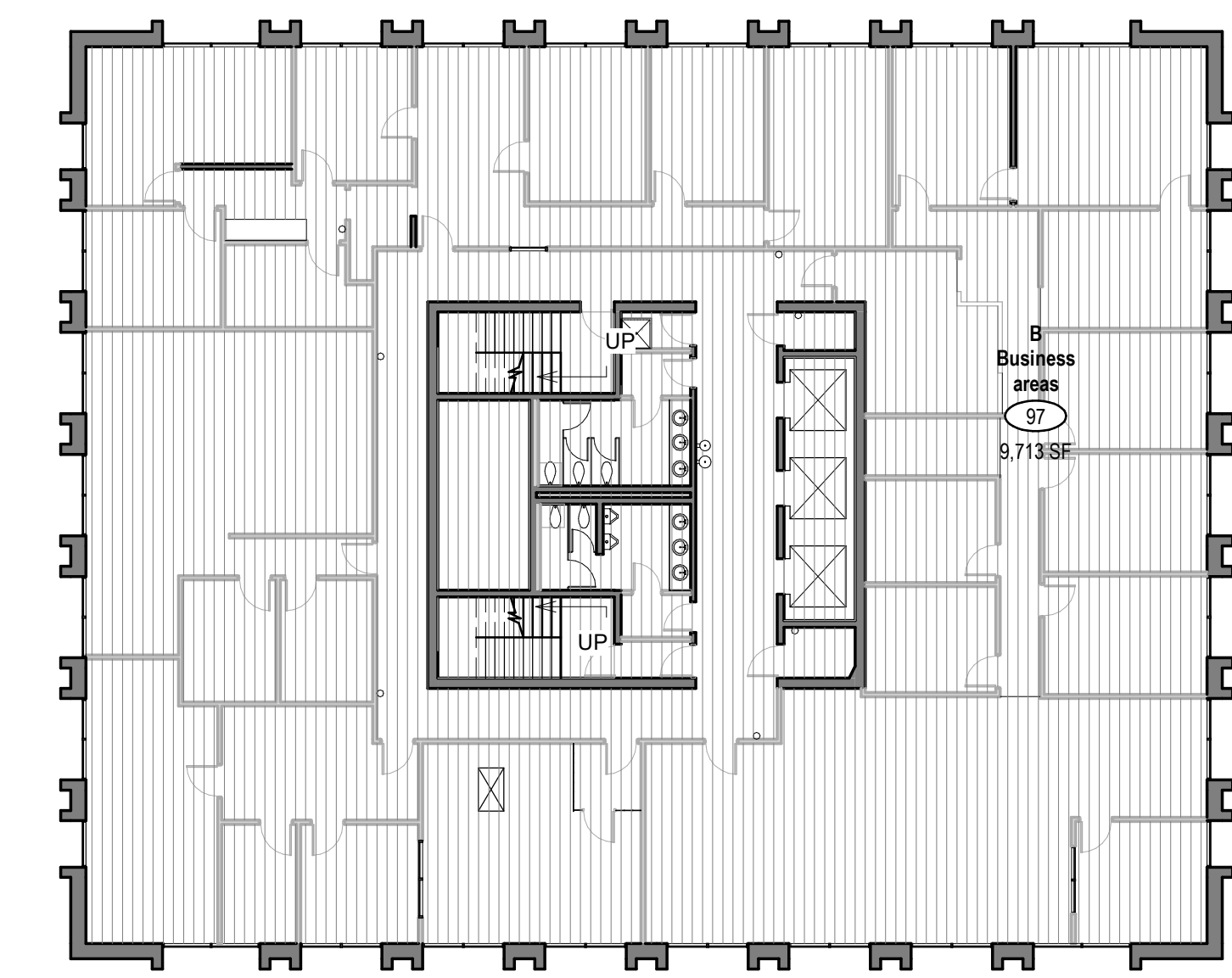
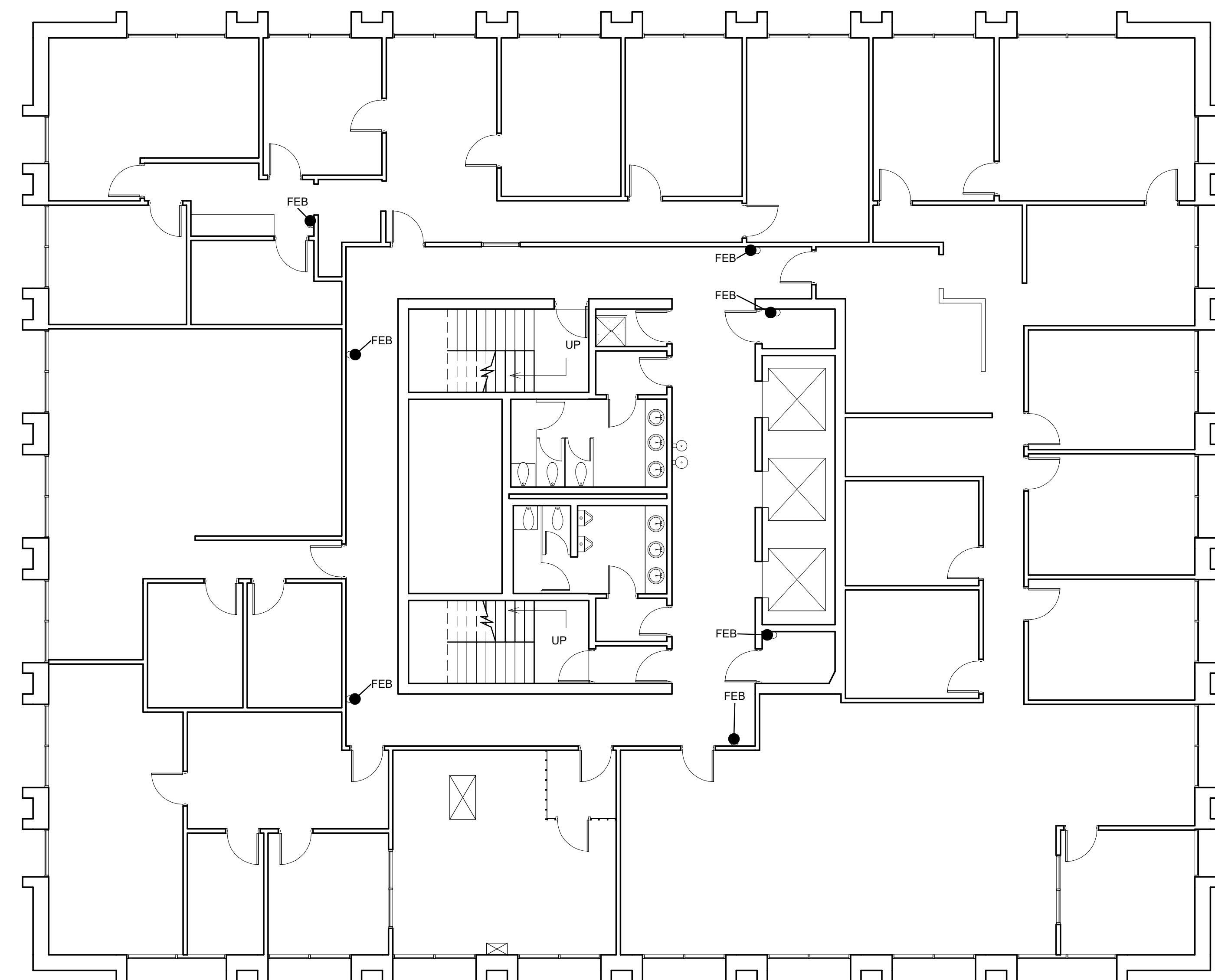
| 7TH LEVEL BUSINESS AREAS | | | | | |
|--------------------------|----------|-----|-------|------|----|
| BUSINESS AREAS | 9,713 SF | 100 | GROSS | 97.1 | 97 |
| BUSINESS AREAS: 1 | 9,713 SF | | | 97.1 | 97 |
| Grand total: 1 | 9,713 SF | | | 97.1 | 97 |

PLUMBING FIXTURE CALCULATIONS

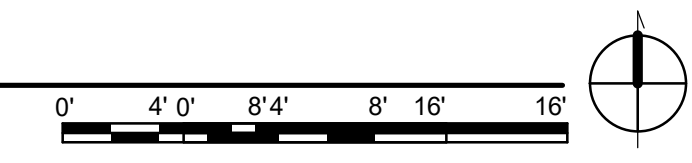
TOTAL OCCUPANTS: 97
MALE: 48.5 (50%) FEMALE: 48.5 (50%)

| GROUP | WATER CLOSETS | | LAVATORIES | | DRINKING FOUNTAINS | OTHER |
|---|---|--------|---|--------|--------------------|----------------|
| | MALE | FEMALE | MALE | FEMALE | | |
| Business B OCC: 97 M: 49 F: 49 | 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50 | | 1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80 | | 1 per 100 | 1 service sink |
| REQUIRED | 1.96 | 1.96 | 1.23 | 1.23 | 0.97 | 1.00 |

| TOTALS | | | | | | |
|----------|----------|---|---|---|---|---|
| REQUIRED | 2 | 2 | 2 | 2 | 1 | 1 |
| PROVIDED | 2WC / 2U | 3 | 3 | 3 | 2 | 1 |



A1 FLOOR PLAN - LEVEL 7
1/8" = 1'-0"



A12 AREA PLAN - LEVEL 7
1/16" = 1'-0"



| NO | DATE | DESCRIPTION |
|-----------------------------------|------------|-------------|
| DATE: | 03-28-2022 | |
| PROJECT #: | 21803 | |
| DRAWN BY: | Author | |
| CHECKED BY: | Checker | |
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SHEET TITLE

7TH FLOOR PLAN

A-108

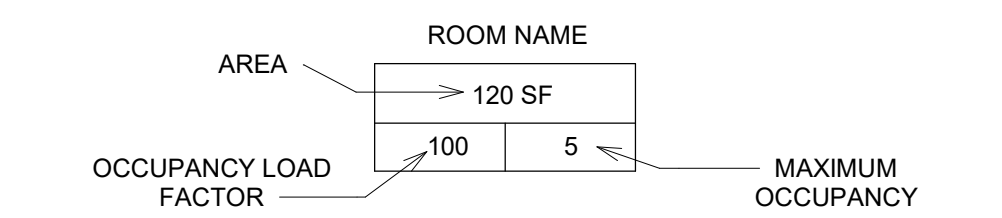
RECORD DOCUMENTS

THESE RECORD DOCUMENTS WERE DEVELOPED UNDER THE DIRECTION OF SMPC ARCHITECTS, PA. (SMPC) IN CONJUNCTION WITH THE CITY OF ALBUQUERQUE (COA) - JOB NO. 7224.002 - BETWEEN SEPTEMBER AND NOVEMBER 2021. THE ORIGINAL ARCHITECT-OF-RECORD FOR THE CITY BUILDING IS LAWRENCE A. GARCIA AND ASSOCIATES DATED 1974, AS IS COMMON WITH STRUCTURES OF THIS PERIOD. THE ORIGINAL RECORD DOCUMENTS ARE VIRTUALLY NONEXISTENT. COA COMMISSIONED SMPC TO CREATE A NEW SET OF AS-BUILT FLOOR PLANS, OR RECORD DOCUMENTS, FOR REFERENCE AND FOR FUTURE RENOVATIONS. IN THE DEVELOPMENT OF THESE RECORD DOCUMENTS, SMPC WAS NOT ABLE TO CONDUCT DESTRUCTIVE TESTING OR RELATED INVESTIGATION OF INACCESSIBLE AREAS OR SIGNIFICANTLY CONCEALED CONDITIONS. THEREFORE, SOME ASSUMPTIONS WERE MADE BY SMPC REGARDING EXISTING ORIGINAL CONDITIONS. SMPC HAS ACTED IN GOOD FAITH IN THE DISCHARGE OF THESE DUTIES AND HAVE ATTEMPTED TO COMPILER AN ACCURATE AND THOROUGH SET OF RECORD DOCUMENTS FOR THE EXISTING BUILDING. HOWEVER, BECAUSE THESE RECORD DOCUMENTS ARE BASED IN PART UPON NON-VERIFIABLE INFORMATION, SMPC CANNOT AND DOES NOT WARRANT THEIR ACCURACY AND/OR COMPLETENESS, AND FURTHERMORE, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED IN THESE RECORD DOCUMENTS. FURTHER INVESTIGATION AND VERIFICATION INCLUDING CODE ANALYSIS WILL BE REQUIRED BY OTHER PARTIES USING OR REFERENCING THESE MATERIALS.

GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36," THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

OCCUPANCY LEGEND



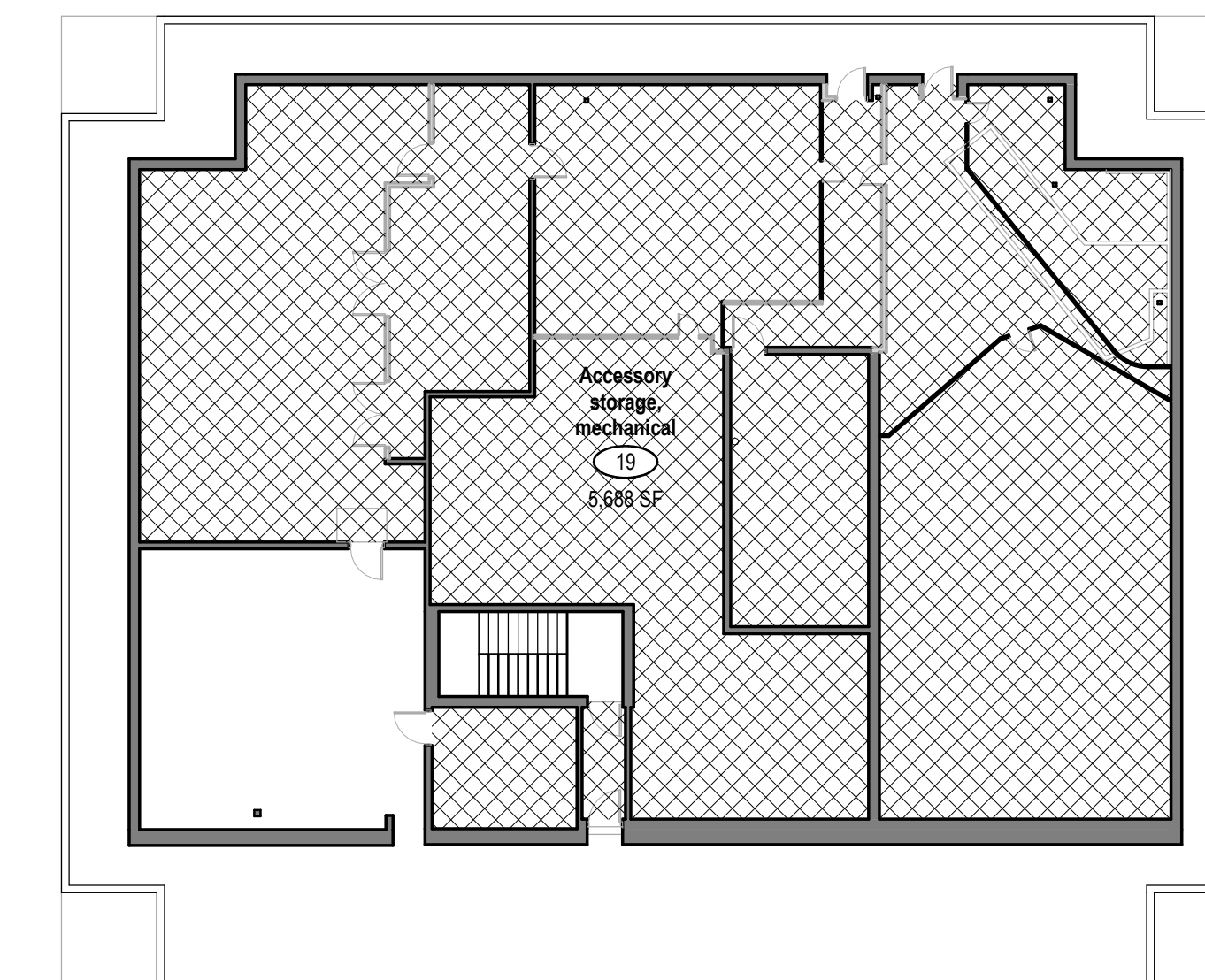
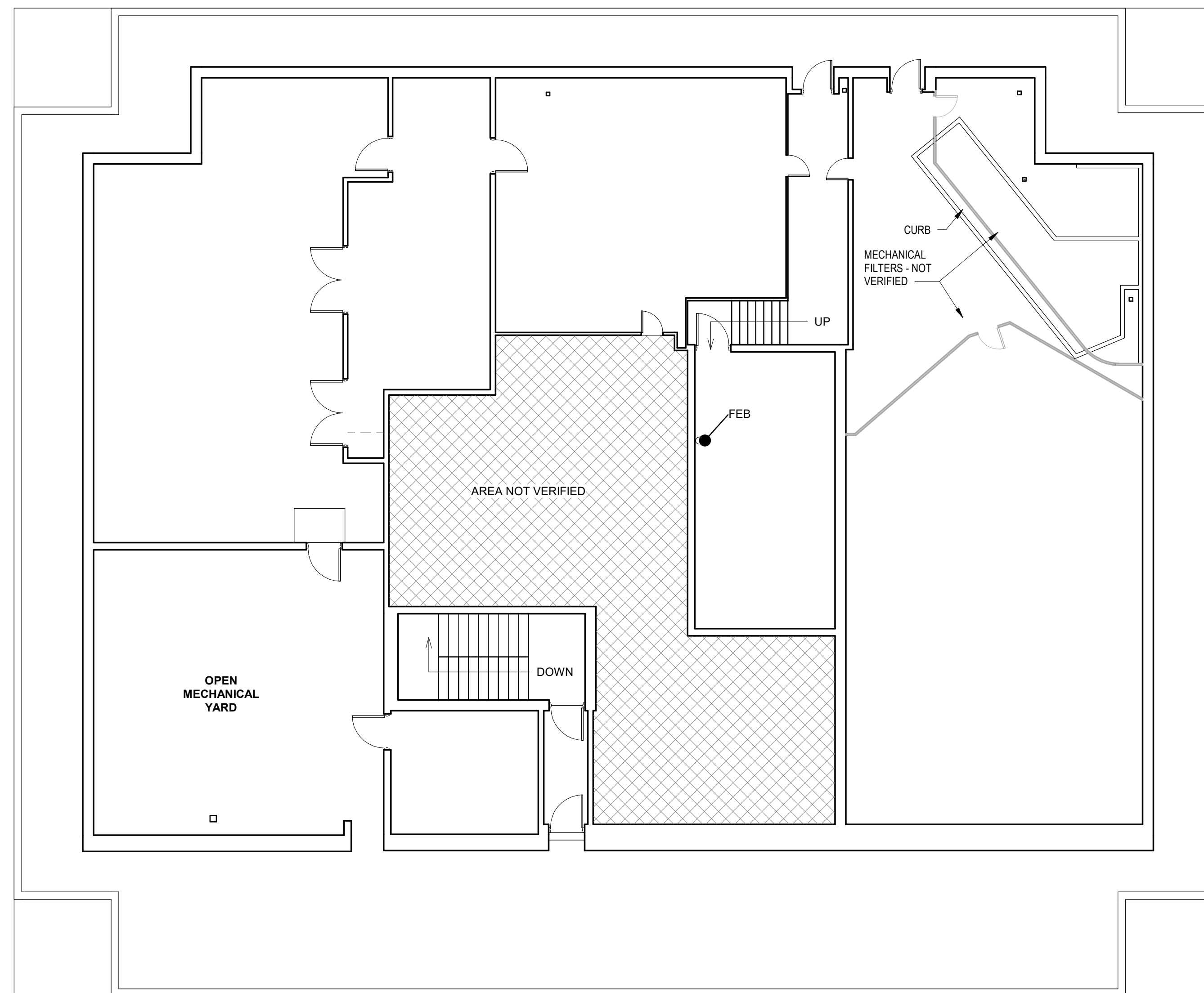
Code Occupancy Use - Level 9

| Occupancy Function | Area | Occupant Load Factor | Occupant Load Type | Calculated Occupants | Occupants |
|--------------------------------|----------|----------------------|--------------------|----------------------|-----------|
| PENTHOUSE ACCESSORY MECHANICAL | | | | | |
| ACCESSORY MECHANICAL | 5,688 SF | 300 | GROSS | 19.0 | 19 |
| ACCESSORY MECHANICAL: 1 | 5,688 SF | | | 19.0 | 19 |
| Grand total: 1 | 5,688 SF | | | 19.0 | 19 |

PLUMBING FIXTURE CALCULATIONS

TOTAL OCCUPANTS: 19
MALE: 9.5 (50%) FEMALE: 9.5 (50%)

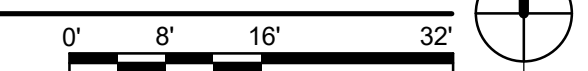
| GROUP | WATER CLOSETS | | LAVATORIES | | DRINKING FOUNTAINS | OTHER |
|--|---|--------|---|--------|--------------------|----------------|
| | MALE | FEMALE | MALE | FEMALE | | |
| Business B OCC: 19 M: 10 F: 10 | 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50 | | 1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80 | | 1 per 100 | 1 service sink |
| REQUIRED | 0.40 | 0.40 | 0.25 | 0.25 | 0.19 | 1.00 |
| TOTALS | | | | | | |
| REQUIRED | 1 | 1 | 1 | 1 | 1 | 1 |
| PROVIDED | 0 | 0 | 0 | 0 | 0 | 1 |



A1 FLOOR PLAN - MECHANICAL PENTHOUSE
1/8" = 1'-0"



A12 AREA PLAN - MECH PH
1/16" = 1'-0"



AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT
AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

| NO | DATE | DESCRIPTION |
|-------------|------------|-------------|
| DATE: | 03-28-2022 | |
| PROJECT #: | 21803 | |
| DRAWN BY: | Author | |
| CHECKED BY: | Checker | |

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SHEET TITLE

MECHANICAL PENTHOUSE FLOOR PLAN

A-109

RECORD DOCUMENTS

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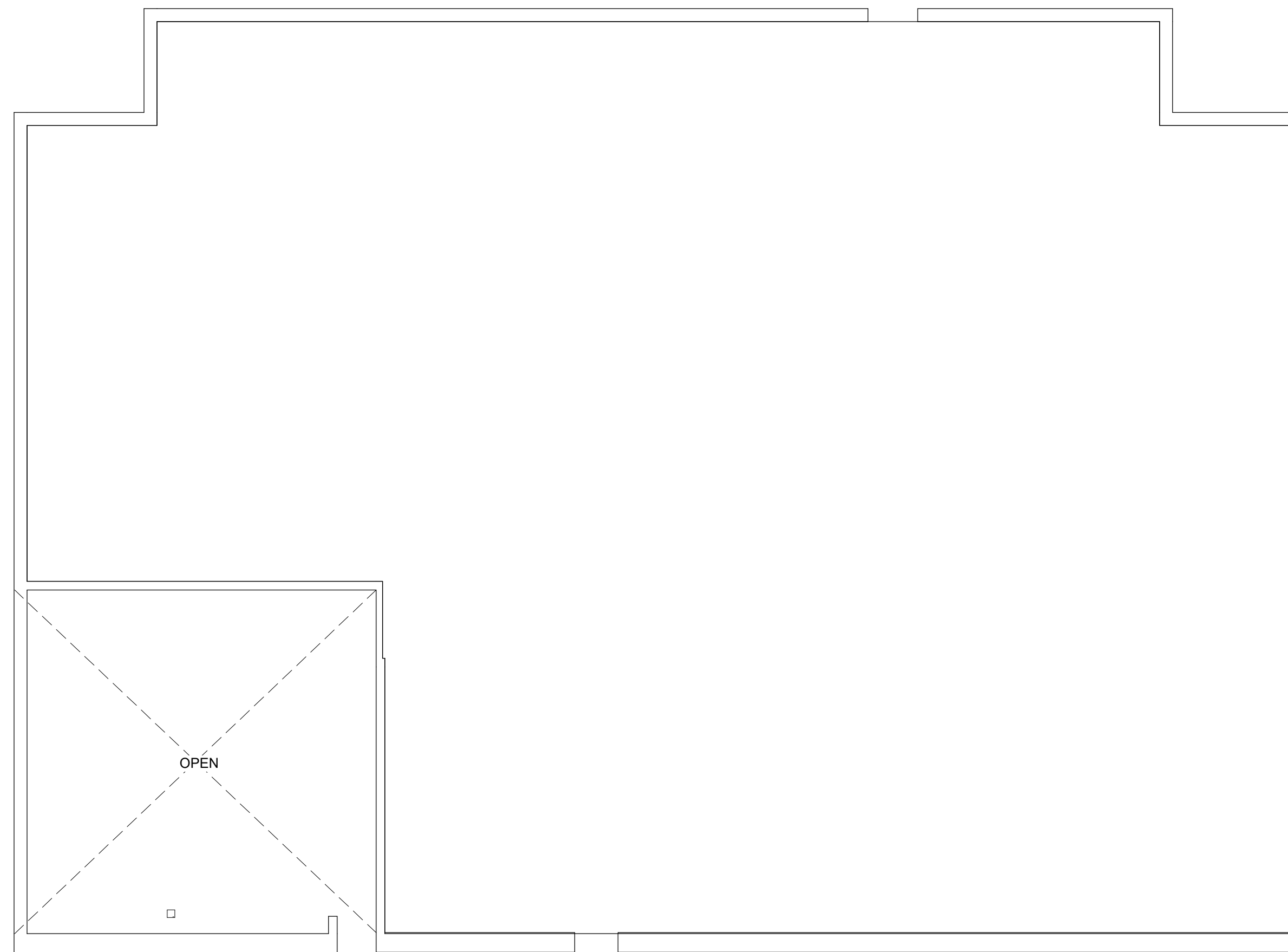
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**AS-BUILT
RECORD
DRAWINGS**

PLAZA DEL SOL AS-BUILT

AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM



| NO | DATE | DESCRIPTION |
|----|------|-------------|
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DATE: 03-28-2022
PROJECT #: 21803
DRAWN BY: Author
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SHEET TITLE

ROOF PLAN

A-110

A1 FLOOR PLAN - ROOF

1/8" = 1'-0"

