

PLAZA DEL SOL AS-BUILT

600 2ND STREET NW, ALBUQUERQUE, NM

AS-BUILT RECORD DRAWINGS

03-28-2022

RECORD DOCUMENTS

THESE RECORD DOCUMENTS WERE DEVELOPED UNDER THE DIRECTION OF SMPC ARCHITECTS, PA. (SMPC) IN CONJUNCTION WITH THE CITY OF ALBUQUERQUE (COA) - JOB NO. 7224.002 - BETWEEN SEPTEMBER AND NOVEMBER 2021. THE ORIGINAL ARCHITECT-OF-RECORD FOR THE CITY BUILDING IS LAWRENCE A. GARCIA AND ASSOCIATES DATED 1974, AS IS COMMON WITH STRUCTURES OF THIS PERIOD. THE ORIGINAL RECORD DOCUMENTS ARE VIRTUALLY NONEXISTENT. COA COMMISSIONED SMPC TO CREATE A NEW SET OF AS-BUILT FLOOR PLANS, OR RECORD DOCUMENTS, FOR REFERENCE AND FOR FUTURE RENOVATIONS. IN THE DEVELOPMENT OF THESE RECORD DOCUMENTS, SMPC WAS NOT ABLE TO CONDUCT DESTRUCTIVE TESTING OR RELATED INVESTIGATION OF INACCESSIBLE AREAS OR SIGNIFICANTLY CONCEALED CONDITIONS. THEREFORE, SOME ASSUMPTIONS WERE MADE BY SMPC REGARDING EXISTING ORIGINAL CONDITIONS. SMPC HAS ACTED IN GOOD FAITH IN THE DISCHARGE OF THESE DUTIES AND HAVE ATTEMPTED TO COMPILER AN ACCURATE AND THOROUGH SET OF RECORD DOCUMENTS FOR THE EXISTING BUILDING. HOWEVER, BECAUSE THESE RECORD DOCUMENTS ARE BASED IN PART UPON NON-VERIFIABLE INFORMATION, SMPC CANNOT AND DOES NOT WARRANT THEIR ACCURACY AND/OR COMPLETENESS, AND FURTHERMORE, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED IN THESE RECORD DOCUMENTS. FURTHER INVESTIGATION AND VERIFICATION INCLUDING CODE ANALYSIS WILL BE REQUIRED BY OTHER PARTIES USING OR REFERENCING THESE MATERIALS.

AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT

AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

SCOPE OF WORK

RECORD DOCUMENTATION OF THE EXISTING PLAZA DEL SOL BUILDING, INCLUDING OCCUPANCY LOADS AND PLUMBING FIXTURE COUNTS. CODE REVIEW INFORMATION BELOW IS PROVIDED ONLY TO HIGHLIGHT RELEVANT SECTIONS OF BUILDING CODES APPLICABLE TO RENOVATIONS UNDER CURRENT ADOPTED CODES.

APPLICABLE CODES

- NEW MEXICO ADMINISTRATIVE CODE, TITLE 14 (NMAC)
- NM COMMERCIAL BUILDING CODE, 2015
- NM ENERGY CONSERVATION CODE, 2018
- NM MECHANICAL CODE, 2015
- NM PLUMBING CODE, 2015
- NM ELECTRICAL CODE, 2017
- INTERNATIONAL BUILDING CODE (IBC), 2015
- INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2018
- INTERNATIONAL EXISTING BUILDING CODE (IEBC), 2015
- INTERNATIONAL FIRE CODE (IFC), 2015
- UNIFORM MECHANICAL CODE (UMC), 2015
- UNIFORM PLUMBING CODE (UPC), 2015
- NATIONAL ELECTRICAL CODE (NEC), 2017
- NFPA 101 LIFE SAFETY CODE, 20__

APPLICABLE STANDARDS

- (ALSO SEE STRUCTURAL NOTES - SHEET S-001)
- ADA-ICC/ANSI A117.1, 2005
 - ADA/ADAAG, Americans with disabilities Act Accessibility Guidelines for Buildings and Facilities
 - NFPA 13 INSTALLATION OF SPRINKLER SYSTEMS, 20__
 - NFPA 409, STANDARD ON AIRCRAFT HANGARS, 2011
 - REQUIREMENTS OF THE NEW MEXICO STATE ENVIRONMENTAL HEALTH DIVISION (NMEHD)
 - REQUIREMENTS OF THE NEW MEXICO STATE FIRE MARSHAL'S OFFICE (SFMO)

BUILDING HEIGHT AND AREA

- BUILDING IS 8 STORIES + MECHANICAL PENTHOUSE AND BASEMENT
- REFER TO PLANS FOR GROSS SF OF EACH FLOOR

OCCUPANCY + CONSTRUCTION

EXISTING BUILDING IS A MULTISTORY BUILDING. IT IS ASSUMED TO BE TYPE IIB CONSTRUCTION WITH A B-BUSINESS OCCUPANCY.

Code Occupancy Use					
Level	Area	Occupant Load Factor	Occupant Load SF Type	Calculated Occupants	Occupants

ACCESSORY MECHANICAL					
PENTHOUSE	5,688 SF	300	GROSS	18,958835	19
ACCESSORY MECHANICAL	5,688 SF			18,958835	19
ASSEMBLY: CONCENTRATED (CHAIRS ONLY)					
BASEMENT	1,661 SF	7	NET	237.219987	237
ASSEMBLY: CONCENTRATED (CHAIRS ONLY)					
CONCENTRATED (CHAIRS ONLY)	1,661 SF			237.219987	237
ASSEMBLY: UNCONCENTRATED					
BASEMENT	786 SF	15	NET	52.402773	52
ASSEMBLY: UNCONCENTRATED					
UNCONCENTRATED	786 SF			52.402773	52
BUSINESS AREAS					
BASEMENT	11,239 SF	100	GROSS	112.39185	112
GROUND LEVEL	13,142 SF	100	GROSS	131.423611	132
2ND LEVEL	12,535 SF	100	GROSS	125.3525	125
3RD LEVEL	11,942 SF	100	GROSS	119.423611	119
4TH LEVEL	11,364 SF	100	GROSS	113.636944	114
5TH LEVEL	10,799 SF	100	GROSS	107.9925	108
6TH LEVEL	10,249 SF	100	GROSS	102.490278	103
7TH LEVEL	9,713 SF	100	GROSS	97.130278	97
BUSINESS AREAS					
BUSINESS AREAS	90,984 SF			909.841572	910
GRAND TOTALS:	11	99,118 SF		1218.423167	1218

FIRE PROTECTION & RESISTANCE

- FIRE PROTECTION**
- SPRINKLERS ARE PROVIDED THROUGHOUT THE BUILDING.
 - PORTIONS OF BUILDINGS SEPARATED BY BY A FIRE WALL SHALL BE CONSIDERED SEPARATE BUILDINGS (IBC 706)
 - REQUIRED FIRE WALL SEPARATION SHALL HAVE A FIRE RESISTANCE RATING OF 2HRS (IBC TABLE 706.4)
 - SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 2HRS WHERE CONNECTING 4 STORIES OR MORE (IBC 718.5)

EGRESS

OCCUPANT LOADS
REFER TO OCCUPANT LOAD CALCULATION TABLES ON THIS SHEET AND EXTENT OF EACH AREA ON THE EGRESS PLAN.

- TOTAL OCCUPANT LOAD = 1,179
- REFER TO EGRESS PLAN FOR OCCUPANCY CLASSIFICATION

- NUMBER OF EXITS REQUIRED BY STORY (IBC TABLE 1006.3.1)**
- GROUND LEVEL REQUIRES 3 EXITS (OCCUPANT LOAD 501-1000)
 - BASEMENT AND ALL OTHER LEVELS REQUIRE 2 EXITS FOR OCCUPANT LOAD OF <500.

- COMMON PATH OF EGRESS TRAVEL (IBC 1006.2.1, TABLE 1006.2.1)**
- B OCCUPANCY WITH SPRINKLERS: 100 FT

- EXIT ACCESS TRAVEL DISTANCE (IBC TABLE 1017.2)**
- B OCCUPANCIES, WITH SPRINKLERS: MAX TRAVEL DISTANCE IS 300 FT.

- STAIRWAYS**
- EXIT ACCESS STAIRWAYS: THE PATH OF EGRESS TRAVEL TO AN EXIT SHALL NOT PASS THROUGH MORE THAN ONE ADJACENT STORY (IBC 1006.3)
 - AREA OF REFUGE IS NOT REQUIRED IN FULLY SPRINKLERED BUILDING (IBC 1009.3, EX. 5)

- DEAD ENDS (IBC 1020.4 & EXCEPTION 2)**
- WHERE MORE THAN ONE EXIT IS REQUIRED, DEAD END CORRIDORS ARE LIMITED TO: 50 FT (B OCCUPANCY).

- EGRESS CAPACITY (IBC 1005.3)**
- STAIRWAYS (0.3' PER OCCUPANT)
 - OTHER EGRESS (0.2' PER OCCUPANT)

- DOORS (IBC 1010)**
- MINIMUM CLEAR WIDTH OF 32 INCHES, MAXIMUM DOOR LEAF WIDTH OF 48 INCHES (IBC 1010.1.1)
 - DOORS SHALL SWING IN DIRECTION OF EGRESS TRAVEL WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE (IBC 1010.1.2.1)
 - IN A OCCUPANCY, ON DOORS SERVING OCCUPANT LOAD OF 50 OR MORE, LATCH/LOCK SHALL BE PANIC/FIRE EXIT HARDWARE (IBC 1010.1.10)

PLUMBING FIXTURES

PLUMBING FIXTURES SHALL BE INSTALLED PER IBC CHAPTER 29.

PLUMBING FIXTURE CALCULATIONS

TOTAL OCCUPANTS: 1199
MALE: 599.5 (50%) FEMALE: 599.5 (50%)

GROUP	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
	MALE	FEMALE	MALE	FEMALE		
Business B OCC: 910 M: 455 F: 455	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50		1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80		1 per 100	1 service sink
REQUIRED	10.10	10.10	6.69	6.69	9.10	1.00
Assembly A-2 OCC: 52 M: 26 F: 26	1 per 75	1 per 75	1 per 200		1 Per 500	1 service sink
REQUIRED	0.35	0.35	0.13	0.13	0.10	1.00
Assembly A-3 OCC: 237 M: 119 F: 119	1 per 150	1 per 75	1 per 200		1 Per 1,000	1 service sink
REQUIRED	0.79	1.59	0.60	0.60	0.24	1.00

TOTALS						
REQUIRED	13	13	9	9	12	1
PROVIDED	16WC / 15U	25	23	24	14	7

COVER SHEET

G-001

RECORD DOCUMENTS

THESE RECORD DOCUMENTS WERE DEVELOPED UNDER THE DIRECTION OF SMPC ARCHITECTS, PA. (SMPC) IN CONJUNCTION WITH THE CITY OF ALBUQUERQUE (COA) - JOB NO. 7224.002 - BETWEEN SEPTEMBER AND NOVEMBER 2021. THE ORIGINAL ARCHITECT-OF-RECORD FOR THE CITY BUILDING IS LAWRENCE A. GARCIA AND ASSOCIATES DATED 1974, AS IS COMMON WITH STRUCTURES OF THIS PERIOD. THE ORIGINAL RECORD DOCUMENTS ARE VIRTUALLY NONEXISTENT. COA COMMISSIONED SMPC TO CREATE A NEW SET OF AS-BUILT FLOOR PLANS, OR RECORD DOCUMENTS, FOR REFERENCE AND FOR FUTURE RENOVATIONS. IN THE DEVELOPMENT OF THESE RECORD DOCUMENTS, SMPC WAS NOT ABLE TO CONDUCT DESTRUCTIVE TESTING OR RELATED INVESTIGATION OF INACCESSIBLE AREAS OR SIGNIFICANTLY CONCEALED CONDITIONS. THEREFORE, SOME ASSUMPTIONS WERE MADE BY SMPC REGARDING EXISTING ORIGINAL CONDITIONS. SMPC HAS ACTED IN GOOD FAITH IN THE DISCHARGE OF THESE DUTIES AND HAVE ATTEMPTED TO COMPILER AN ACCURATE AND THOROUGH SET OF RECORD DOCUMENTS FOR THE EXISTING BUILDING. HOWEVER, BECAUSE THESE RECORD DOCUMENTS ARE BASED IN PART UPON NON-VERIFIABLE INFORMATION, SMPC CANNOT AND DOES NOT WARRANT THEIR ACCURACY AND/OR COMPLETENESS, AND FURTHERMORE, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED IN THESE RECORD DOCUMENTS. FURTHER INVESTIGATION AND VERIFICATION INCLUDING CODE ANALYSIS WILL BE REQUIRED BY OTHER PARTIES USING OR REFERENCING THESE MATERIALS.

GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36." THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

OCCUPANCY LEGEND

AREA ROOM NAME
 OCCUPANCY LOAD FACTOR 100 5 MAXIMUM OCCUPANCY

Code Occupancy Use - Level 1

Occupancy Function	Area	Occupant Load Factor	Occupant Load Type	Calculated Occupants	Occupants
--------------------	------	----------------------	--------------------	----------------------	-----------

AS-BUILT RECORD DRAWINGS

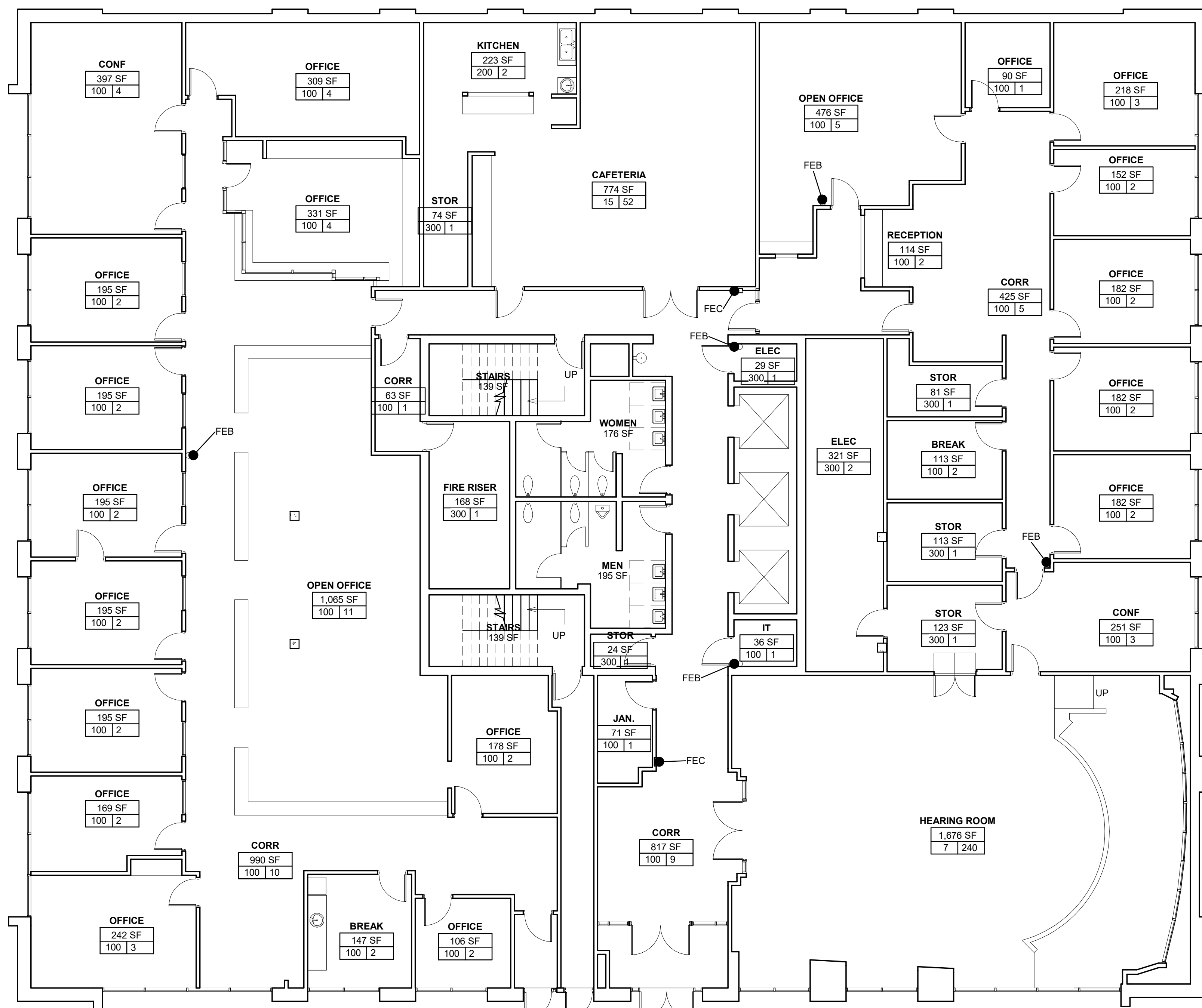
PLAZA DEL SOL AS-BUILT
AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

NO	DATE	DESCRIPTION
DATE:	03-28-2022	
PROJECT #:	21803	
DRAWN BY:	Author	
CHECKED BY:	Checker	
COPYRIGHT:	SMPC Architects © 2022	

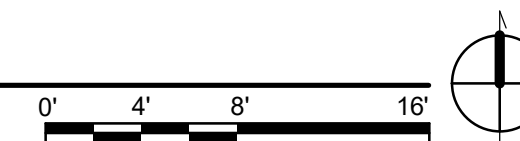
These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.

BASEMENT FLOOR PLAN

A-101



A1 FLOOR PLAN - BASEMENT
1/8" = 1'-0"



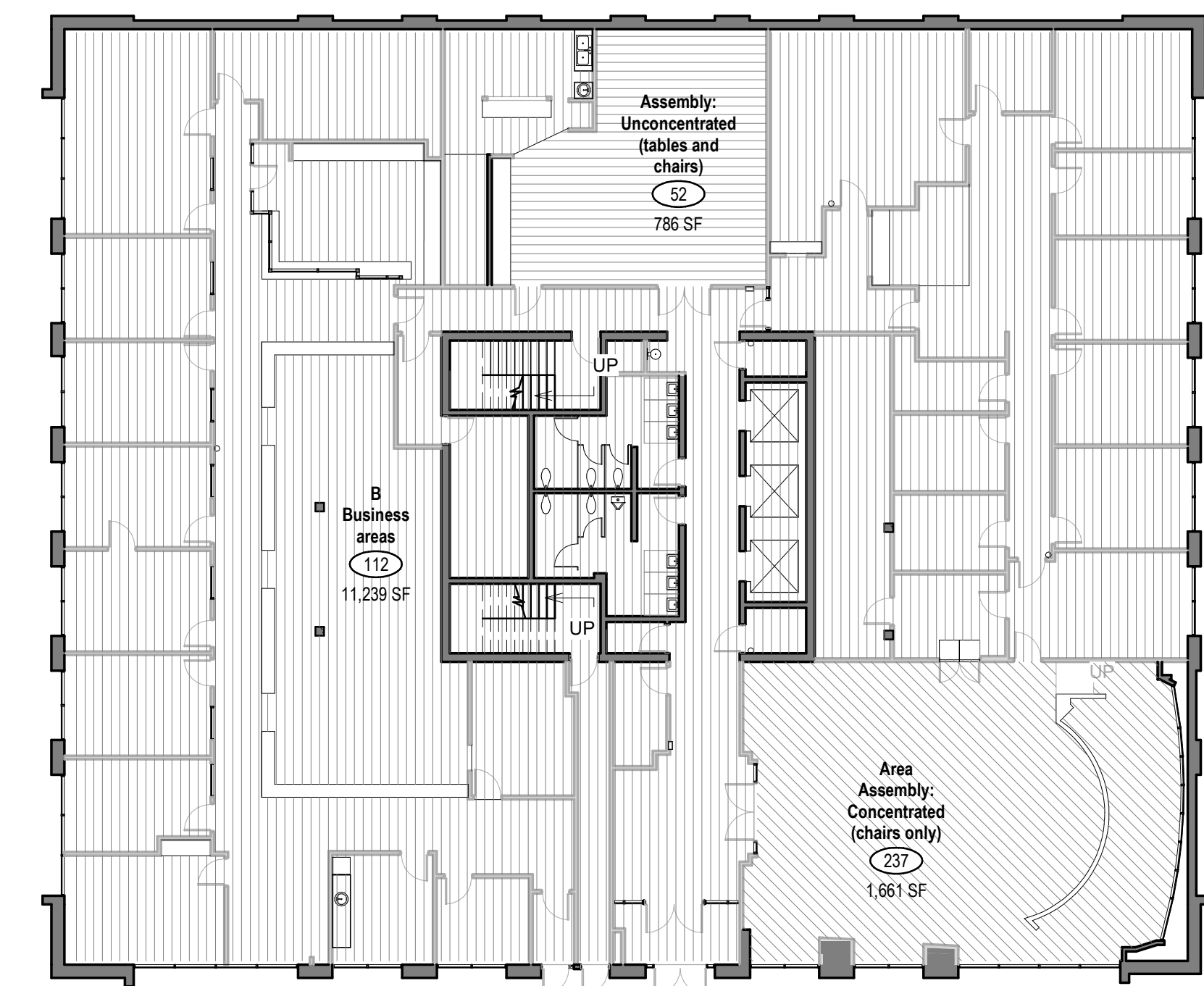
PLUMBING FIXTURE CALCULATIONS

TOTAL OCCUPANTS: 409
 MALE: 204.5 (50%) FEMALE: 204.5 (50%)

GROUP	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
	MALE	FEMALE	MALE	FEMALE		
Business B OCC: 120 M: 60 F: 60	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50		1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80		1 per 100	1 service sink
REQUIRED	2.20	2.20	1.50	1.50	1.20	1.00
Assembly A-2 OCC: 52 M: 26 F: 26	1 per 75		1 per 200		1 Per 500	1 service sink
REQUIRED	0.35	0.35	0.13	0.13	0.10	1.00
Assembly A-3 OCC: 237 M: 119 F: 119	1 per 150		1 per 75		1 Per 1,000	1 service sink
REQUIRED	0.79	1.59	0.60	0.60	0.24	1.00

TOTALS

REQUIRED	5	5	4	4	4	1
PROVIDED	2WC / 1U	3	3	3	2	1



- Building Code**
- Assembly: Concentrated (chairs only)
 - Assembly: Unconcentrated (tables and chairs)
 - Business areas

A12 CODE AREA PLAN - BASEMENT
1/16" = 1'-0"



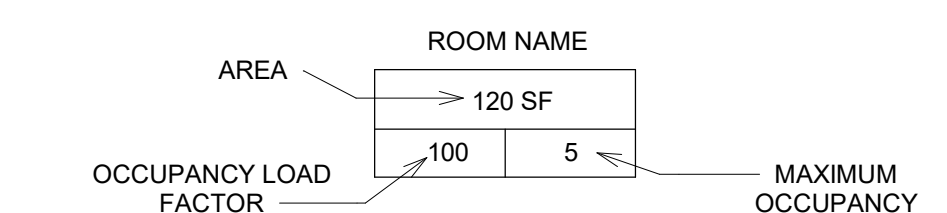
RECORD DOCUMENTS

THESE RECORD DOCUMENTS WERE DEVELOPED UNDER THE DIRECTION OF SMPC ARCHITECTS, PA (SMPC) IN CONJUNCTION WITH THE CITY OF ALBUQUERQUE (COA) - JOB NO. 7224.002 - BETWEEN SEPTEMBER AND NOVEMBER 2021. THE ORIGINAL ARCHITECT-OF-RECORD FOR THE CITY BUILDING IS LAWRENCE A. GARCIA AND ASSOCIATES DATED 1974, AS IS COMMON WITH STRUCTURES OF THIS PERIOD. THE ORIGINAL RECORD DOCUMENTS ARE VIRTUALLY NONEXISTENT. COA COMMISSIONED SMPC TO CREATE A NEW SET OF AS-BUILT FLOOR PLANS, OR RECORD DOCUMENTS, FOR REFERENCE AND FOR FUTURE RENOVATIONS. IN THE DEVELOPMENT OF THESE RECORD DOCUMENTS, SMPC WAS NOT ABLE TO CONDUCT DESTRUCTIVE TESTING OR RELATED INVESTIGATION OF INACCESSIBLE AREAS OR SIGNIFICANTLY CONCEALED CONDITIONS. THEREFORE, SOME ASSUMPTIONS WERE MADE BY SMPC REGARDING EXISTING/ORIGINAL CONDITIONS. SMPC HAS ACTED IN GOOD FAITH IN THE DISCHARGE OF THESE DUTIES AND HAVE ATTEMPTED TO COMPILE AN ACCURATE AND THOROUGH SET OF RECORD DOCUMENTS FOR THE EXISTING BUILDING. HOWEVER, BECAUSE THESE RECORD DOCUMENTS ARE BASED IN PART UPON NON-VERIFIABLE INFORMATION, SMPC CANNOT AND DOES NOT WARRANT THEIR ACCURACY AND/OR COMPLETENESS, AND FURTHERMORE, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED IN THESE RECORD DOCUMENTS. FURTHER INVESTIGATION AND VERIFICATION INCLUDING CODE ANALYSIS WILL BE REQUIRED BY OTHER PARTIES USING OR REFERENCING THESE MATERIALS.

GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36," THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

OCCUPANCY LEGEND



Code Occupancy Use - Level 2

Occupancy Function	Area	Occupant Load Factor	Occupant Load Type	Calculated Occupants	Occupants
--------------------	------	----------------------	--------------------	----------------------	-----------

GROUND LEVEL

BUSINESS AREAS	Area	Occupant Load Factor	GROSS	Calculated Occupants	Occupants
BUSINESS AREAS	13,142 SF	100	131.4	132	
BUSINESS AREAS: 1	13,142 SF		131.4	132	
Grand total: 1	13,142 SF		131.4	132	

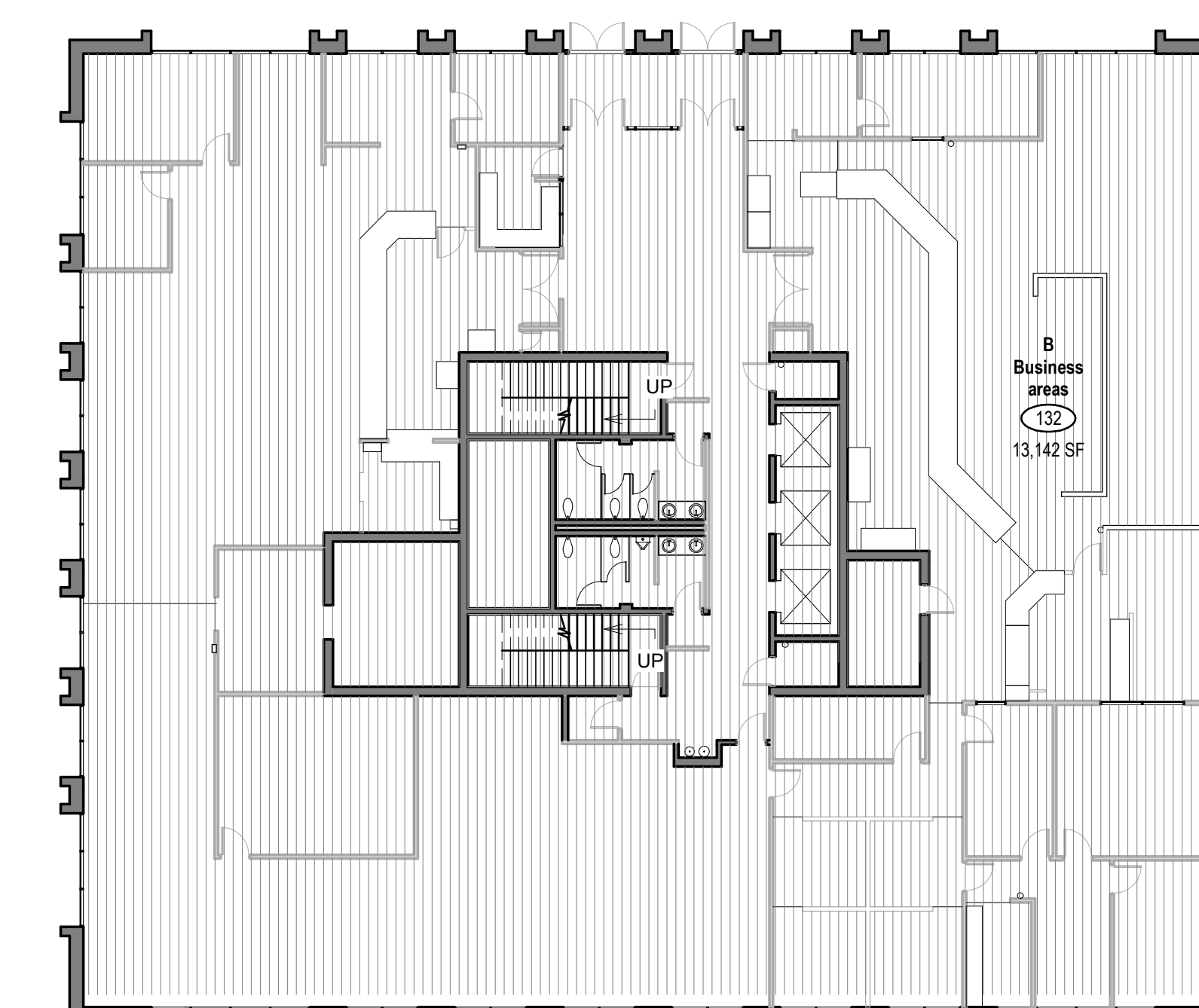
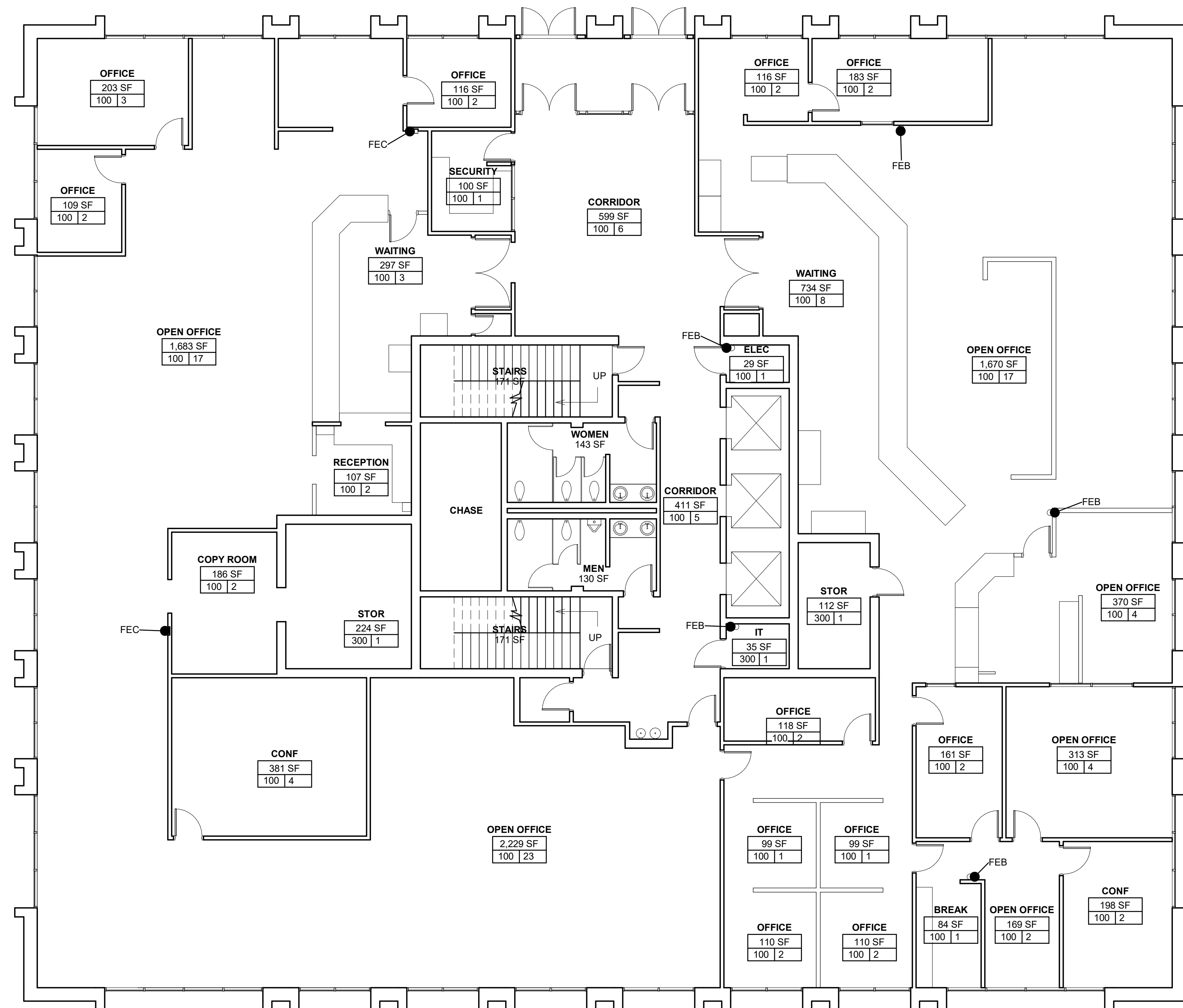
PLUMBING FIXTURE CALCULATIONS

TOTAL OCCUPANTS: 132
MALE: 66 (50%) FEMALE: 66 (50%)

GROUP	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
	MALE	FEMALE	MALE	FEMALE		
Business B OCC: 132 M: 66 F: 66	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50	1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80	1 per 100	1 service sink		
REQUIRED	2.32	2.32	1.65	1.65	1.32	1.00

TOTALS

REQUIRED	3	3	2	2	2	1
PROVIDED	2WC / 1U	3	2	2	2	1



Building Code

Business areas

A14 AREA PLAN - GROUND

1/16" = 1'-0"

0' 8' 16' 32'

A1 FLOOR PLAN - GROUND FLOOR

1/8" = 1'-0"

0' 4' 8' 16'

AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT

AS-BUILT RECORD DRAWINGS

600 2ND STREET NW, ALBUQUERQUE, NM

NO	DATE	DESCRIPTION
DATE:	03-28-2022	
PROJECT #:	21803	
DRAWN BY:	Author	
CHECKED BY:	Checker	

COPYRIGHT: SMPC Architects © 2022

These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.

SHEET TITLE

GROUND FLOOR PLAN

A-102

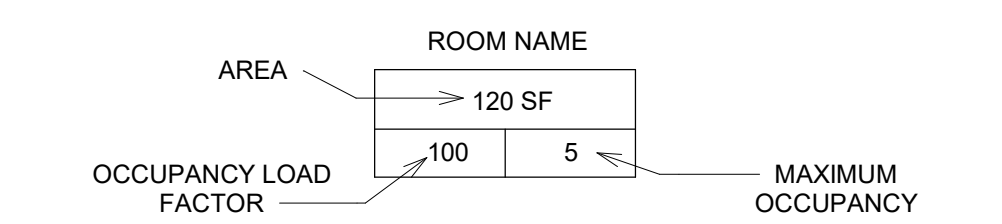
RECORD DOCUMENTS

THESE RECORD DOCUMENTS WERE DEVELOPED UNDER THE DIRECTION OF SMPC ARCHITECTS, PA (SMPC) IN CONJUNCTION WITH THE CITY OF ALBUQUERQUE (COA) - JOB NO. 7224.002 - BETWEEN SEPTEMBER AND NOVEMBER 2021. THE ORIGINAL ARCHITECT-OF-RECORD FOR THE CITY BUILDING IS LAWRENCE A. GARCIA AND ASSOCIATES DATED 1974, AS IS COMMON WITH STRUCTURES OF THIS PERIOD. THE ORIGINAL RECORD DOCUMENTS ARE VIRTUALLY NONEXISTENT. COA COMMISSIONED SMPC TO CREATE A NEW SET OF AS-BUILT FLOOR PLANS, OR RECORD DOCUMENTS, FOR REFERENCE AND FOR FUTURE RENOVATIONS. IN THE DEVELOPMENT OF THESE RECORD DOCUMENTS, SMPC WAS NOT ABLE TO CONDUCT DESTRUCTIVE TESTING OR RELATED INVESTIGATION OF INACCESSIBLE AREAS OR SIGNIFICANTLY CONCEALED CONDITIONS. THEREFORE, SOME ASSUMPTIONS WERE MADE BY SMPC REGARDING EXISTING ORIGINAL CONDITIONS. SMPC HAS ACTED IN GOOD FAITH IN THE DISCHARGE OF THESE DUTIES AND HAVE ATTEMPTED TO COMPILER AN ACCURATE AND THOROUGH SET OF RECORD DOCUMENTS FOR THE EXISTING BUILDING. HOWEVER, BECAUSE THESE RECORD DOCUMENTS ARE BASED IN PART UPON NON-VERIFIABLE INFORMATION, SMPC CANNOT AND DOES NOT WARRANT THEIR ACCURACY AND/OR COMPLETENESS, AND FURTHERMORE, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED IN THESE RECORD DOCUMENTS. FURTHER INVESTIGATION AND VERIFICATION INCLUDING CODE ANALYSIS WILL BE REQUIRED BY OTHER PARTIES USING OR REFERENCING THESE MATERIALS.

GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36," THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

OCCUPANCY LEGEND



Code Occupancy Use - Level 3

Occupancy Function	Area	Occupant Load Factor	Occupant Load Type	Calculated Occupants	Occupants
--------------------	------	----------------------	--------------------	----------------------	-----------

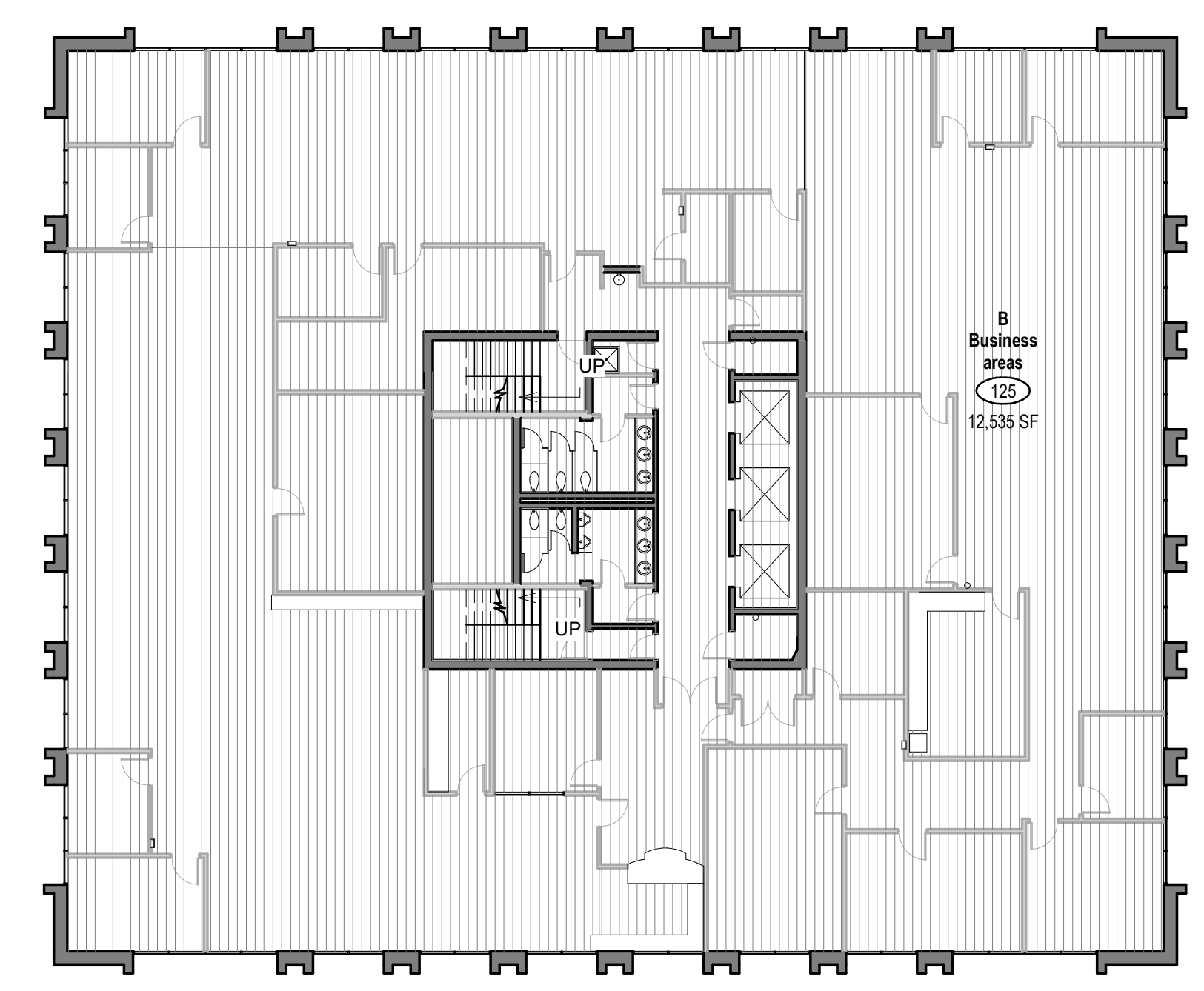
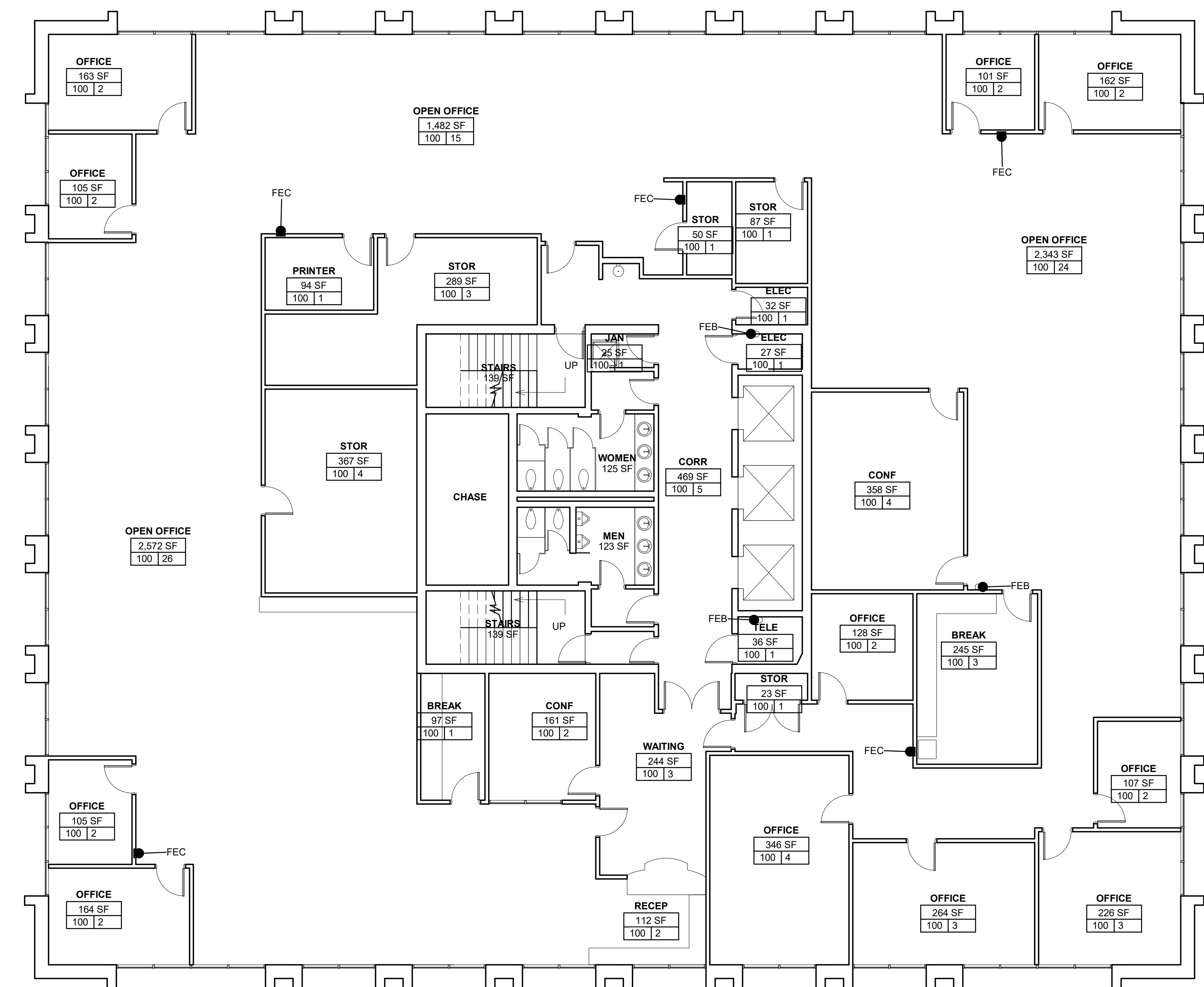
2ND LEVEL BUSINESS AREAS

BUSINESS AREAS:	Area	Occupant Load Factor	GROSS	Net
BUSINESS AREAS: 1	12,535 SF	100	125.4	125
Grand total: 1	12,535 SF		125.4	125

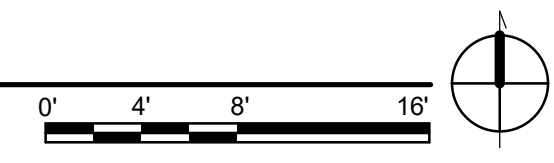
PLUMBING FIXTURE CALCULATIONS

TOTAL OCCUPANTS: 126
MALE: 63 (50%) FEMALE: 63 (50%)

GROUP	WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	OTHER
	MALE	FEMALE	MALE	FEMALE
Business B OCC: 126 M: 63 F: 63	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50	1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80	1 per 100	1 service sink
REQUIRED	2.26	2.26	1.58	1.58
REQUIRED	3	3	2	2
PROVIDED	2WC / 2U	3	3	1



A1 FLOOR PLAN - LEVEL 2
1/16" = 1'-0"



A12 AREA PLAN - LEVEL 2
1/16" = 1'-0"



AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT
AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

NO	DATE	DESCRIPTION
DATE:	03-28-2022	
PROJECT #:	21803	
DRAWN BY:	Author	
CHECKED BY:	Checker	

COPYRIGHT: SMPC Architects © 2022

These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.

2ND FLOOR PLAN

A-103

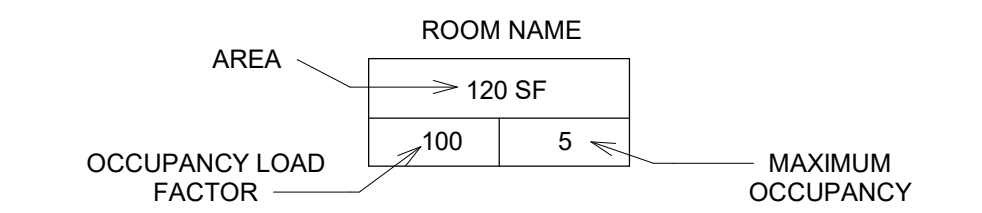
RECORD DOCUMENTS

THESE RECORD DOCUMENTS WERE DEVELOPED UNDER THE DIRECTION OF SMPC ARCHITECTS, PA. (SMPC) IN CONJUNCTION WITH THE CITY OF ALBUQUERQUE (COA) - JOB NO. 7224.002 - BETWEEN SEPTEMBER AND NOVEMBER 2021. THE ORIGINAL ARCHITECT-OF-RECORD FOR THE CITY BUILDING IS LAWRENCE A. GARCIA AND ASSOCIATES DATED 1974, AS IS COMMON WITH STRUCTURES OF THIS PERIOD. THE ORIGINAL RECORD DOCUMENTS ARE VIRTUALLY NONEXISTENT. COA COMMISSIONED SMPC TO CREATE A NEW SET OF AS-BUILT FLOOR PLANS, OR RECORD DOCUMENTS, FOR REFERENCE AND FOR FUTURE RENOVATIONS. IN THE DEVELOPMENT OF THESE RECORD DOCUMENTS, SMPC WAS NOT ABLE TO CONDUCT DESTRUCTIVE TESTING OR RELATED INVESTIGATION OF INACCESSIBLE AREAS OR SIGNIFICANTLY CONCEALED CONDITIONS. THEREFORE, SOME ASSUMPTIONS WERE MADE BY SMPC REGARDING EXISTING ORIGINAL CONDITIONS. SMPC HAS ACTED IN GOOD FAITH IN THE DISCHARGE OF THESE DUTIES AND HAVE ATTEMPTED TO COMPILER AN ACCURATE AND THOROUGH SET OF RECORD DOCUMENTS FOR THE EXISTING BUILDING. HOWEVER, BECAUSE THESE RECORD DOCUMENTS ARE BASED IN PART UPON NON-VERIFIABLE INFORMATION, SMPC CANNOT AND DOES NOT WARRANT THEIR ACCURACY AND/OR COMPLETENESS, AND FURTHERMORE, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED IN THESE RECORD DOCUMENTS. FURTHER INVESTIGATION AND VERIFICATION INCLUDING CODE ANALYSIS WILL BE REQUIRED BY OTHER PARTIES USING OR REFERENCING THESE MATERIALS.

GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36," THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

OCCUPANCY LEGEND



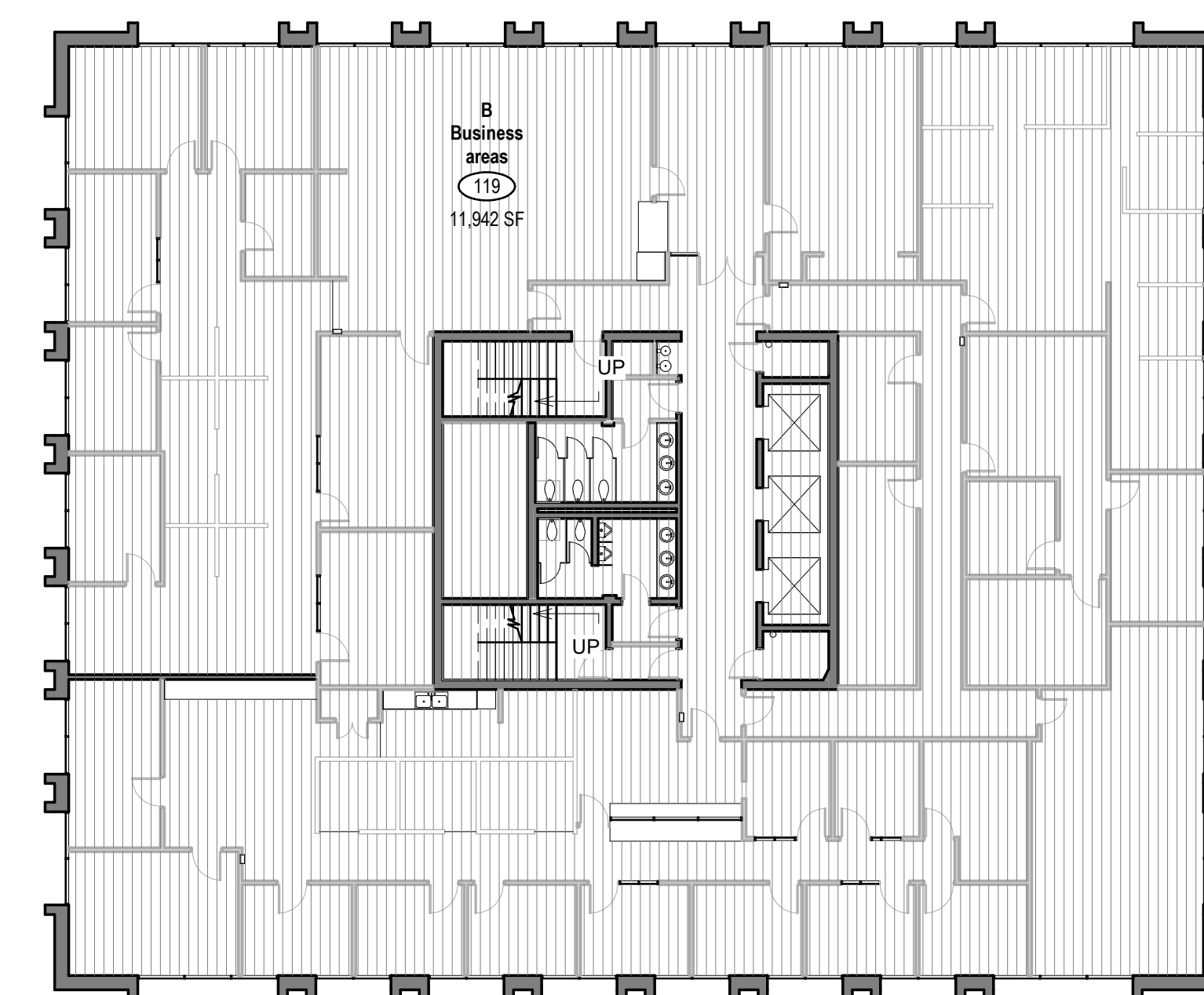
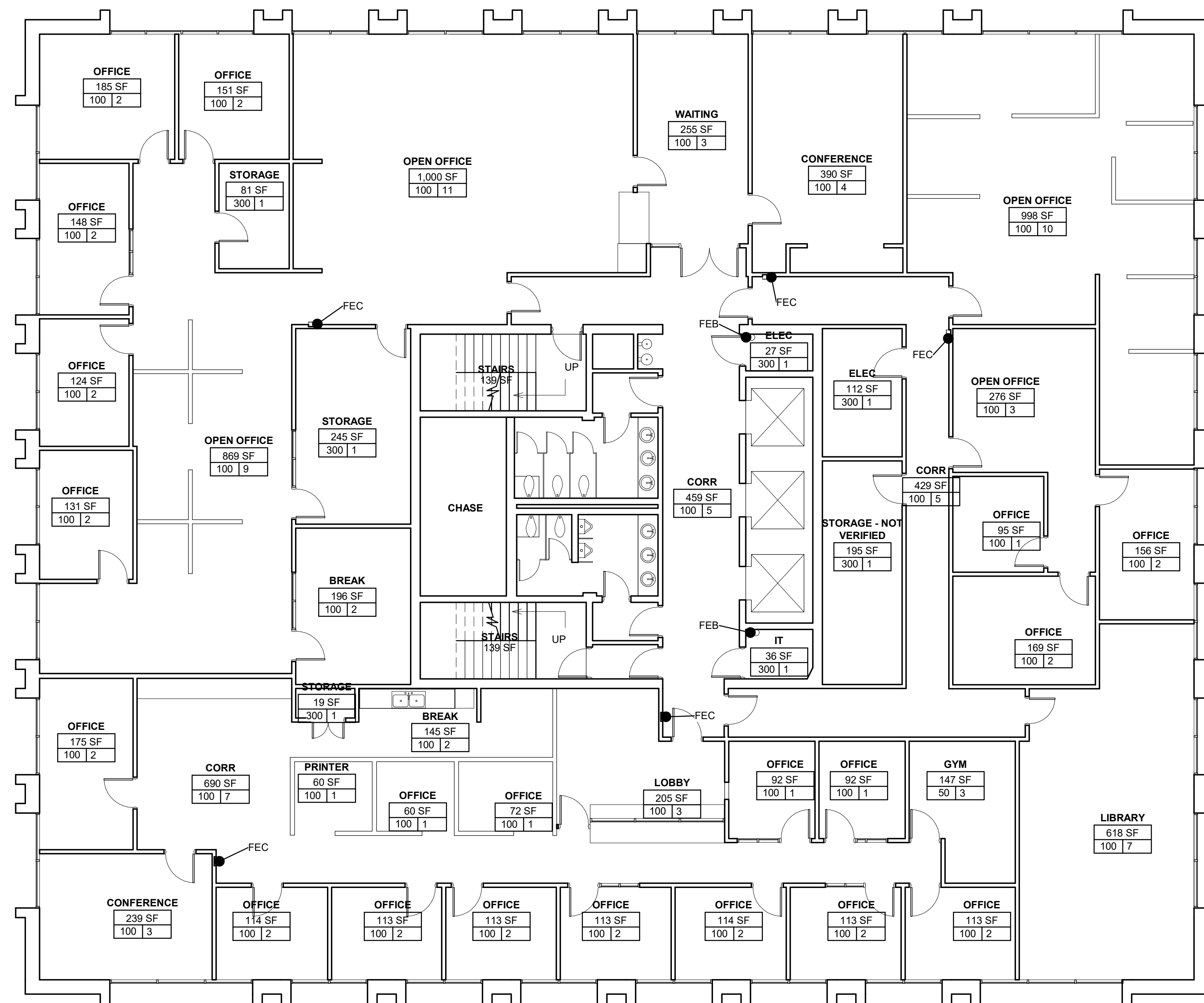
Code Occupancy Use - Level 4					
Occupancy Function	Area	Occupant Load Factor	Occupant Load Type	Calculated Occupants	Occupants

3RD LEVEL BUSINESS AREAS					
BUSINESS AREAS	11,942 SF	100	GROSS	119.4	119
BUSINESS AREAS: 1	11,942 SF			119.4	119
Grand total: 1	11,942 SF			119.4	119

PLUMBING FIXTURE CALCULATIONS

TOTAL OCCUPANTS: 120
MALE: 60 (50%) FEMALE: 60 (50%)

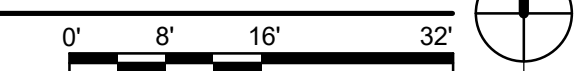
GROUP	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
	MALE	FEMALE	MALE	FEMALE		
B Business OCC: 120 M: 60 F: 60	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50		1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80		1 per 100	1 service sink
REQUIRED	2.20	2.20	1.50	1.50	1.20	1.00
TOTALS						
REQUIRED	3	3	2	2	2	1
PROVIDED	2WC / 2U	3	3	3	2	1



A1 FLOOR PLAN - LEVEL 3
1/16" = 1'-0"



A12 AREA PLAN - LEVEL 3
1/16" = 1'-0"



AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT
AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

NO	DATE	DESCRIPTION
	03-28-2022	
	21803	
	Author	
	Checker	

COPYRIGHT: SMPC Architects © 2022

These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.

SHEET TITLE

3TH FLOOR PLAN

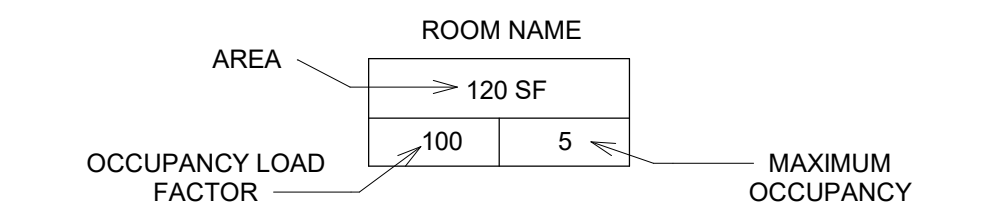
RECORD DOCUMENTS

THESE RECORD DOCUMENTS WERE DEVELOPED UNDER THE DIRECTION OF SMPC ARCHITECTS, PA. (SMPC) IN CONJUNCTION WITH THE CITY OF ALBUQUERQUE (COA) - JOB NO. 724.002 - BETWEEN SEPTEMBER AND NOVEMBER 2021. THE ORIGINAL ARCHITECT-OF-RECORD FOR THE CITY BUILDING IS LAWRENCE A. GARCIA AND ASSOCIATES DATED 1974, AS IS COMMON WITH STRUCTURES OF THIS PERIOD. THE ORIGINAL RECORD DOCUMENTS ARE VIRTUALLY NONEXISTENT. COA COMMISSIONED SMPC TO CREATE A NEW SET OF AS-BUILT FLOOR PLANS, OR RECORD DOCUMENTS, FOR REFERENCE AND FOR FUTURE RENOVATIONS. IN THE DEVELOPMENT OF THESE RECORD DOCUMENTS, SMPC WAS NOT ABLE TO CONDUCT DESTRUCTIVE TESTING OR RELATED INVESTIGATION OF INACCESSIBLE AREAS OR SIGNIFICANTLY CONCEALED CONDITIONS. THEREFORE, SOME ASSUMPTIONS WERE MADE BY SMPC REGARDING EXISTING ORIGINAL CONDITIONS. SMPC HAS ACTED IN GOOD FAITH IN THE DISCHARGE OF THESE DUTIES AND HAVE ATTEMPTED TO COMPILER AN ACCURATE AND THOROUGH SET OF RECORD DOCUMENTS FOR THE EXISTING BUILDING. HOWEVER, BECAUSE THESE RECORD DOCUMENTS ARE BASED IN PART UPON NON-VERIFIABLE INFORMATION, SMPC CANNOT AND DOES NOT WARRANT THEIR ACCURACY AND/OR COMPLETENESS, AND FURTHERMORE, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED IN THESE RECORD DOCUMENTS. FURTHER INVESTIGATION AND VERIFICATION INCLUDING CODE ANALYSIS WILL BE REQUIRED BY OTHER PARTIES USING OR REFERENCING THESE MATERIALS.

GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36," THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

OCCUPANCY LEGEND



Code Occupancy Use - Level 5				
Occupancy Function	Area	Occupant Load Factor	Occupant Load SF Type	Calculated Occupants

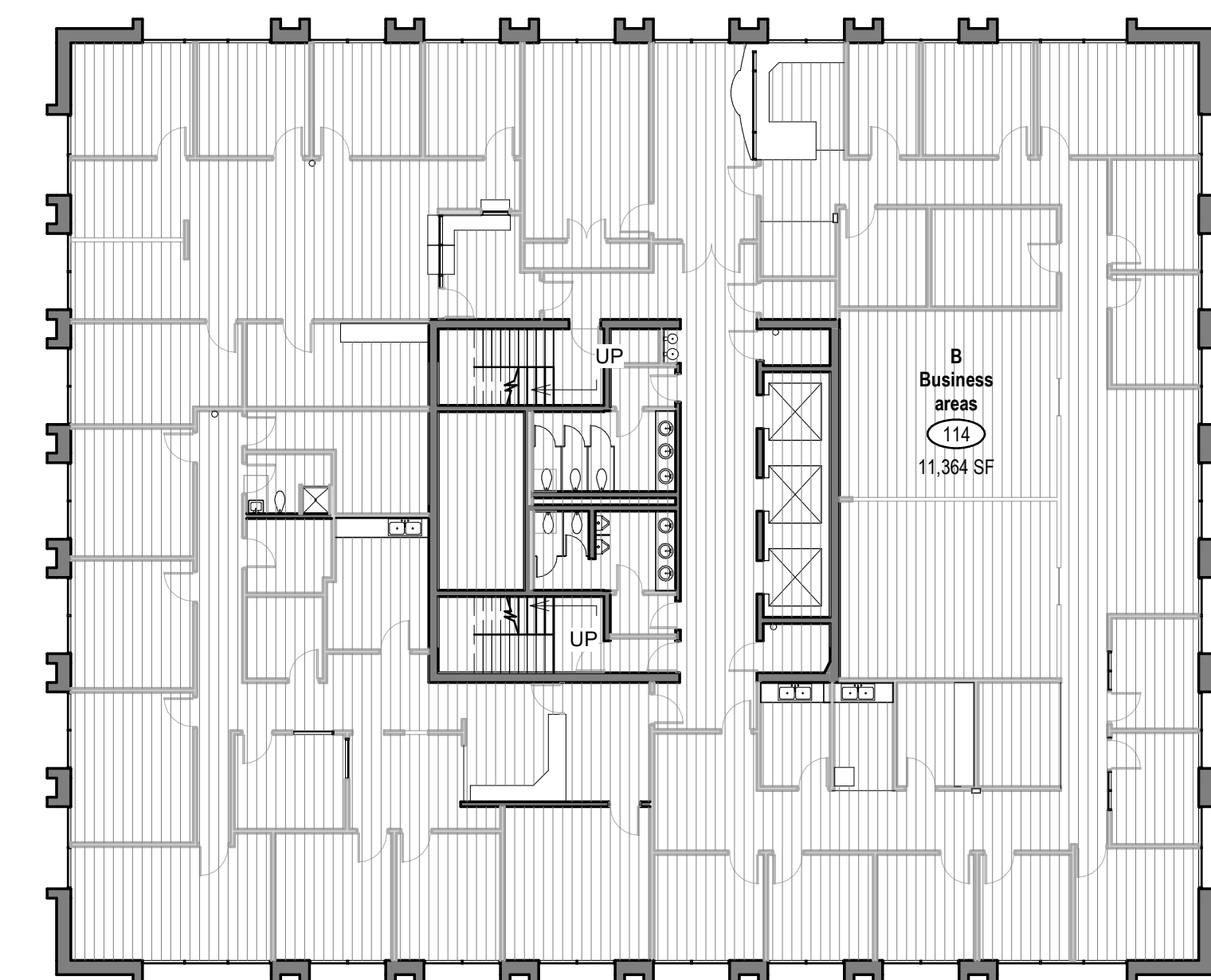
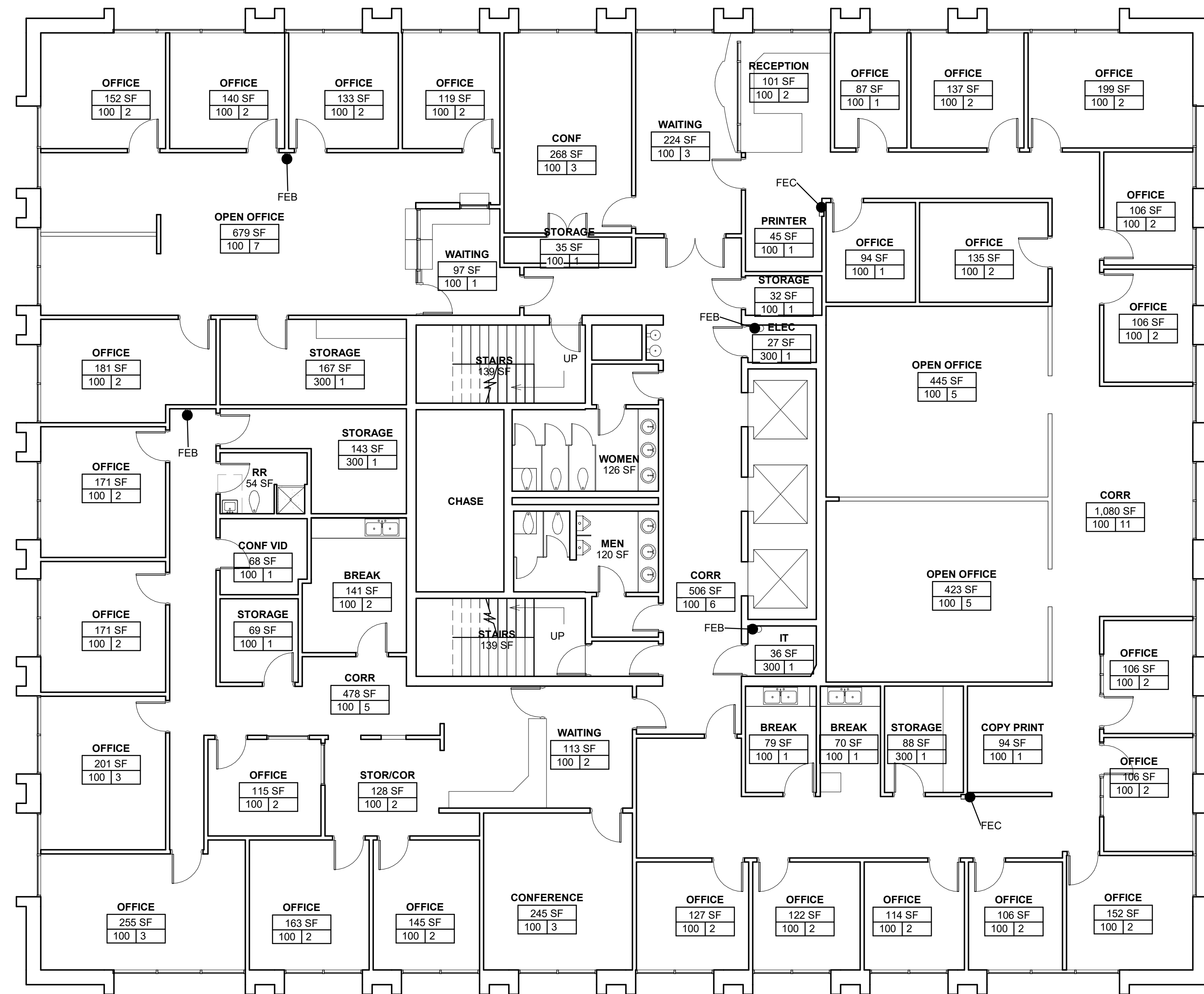
4TH LEVEL				
BUSINESS AREAS				
BUSINESS AREAS:	Area	Occupant Load Factor	GROSS	Occupants
BUSINESS AREAS: 1	11,364 SF	100	113.6	114
Grand total:	11,364 SF		113.6	114

PLUMBING FIXTURE CALCULATIONS

TOTAL OCCUPANTS: 114
MALE: 57 (50%) FEMALE: 57 (50%)

GROUP	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER	BATHTUBS SHOWERS
	MALE	FEMALE	MALE	FEMALE			
Business B OCC: 114 M: 57 F: 57	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50		1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80		1 per 100	1 service sink	No Requirements
REQUIRED	2.14	2.14	1.43	1.43	1.14	1.00	0.00

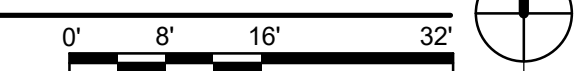
TOTALS							
REQUIRED	3	3	2	2	2	1	NA
PROVIDED	2WC / 2U	3	3	4	2	1	1



A1 FLOOR PLAN - LEVEL 4
1/8" = 1'-0"



A12 AREA PLAN - LEVEL 4
1/16" = 1'-0"



AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT
AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

NO	DATE	DESCRIPTION
DATE:	03-28-2022	
PROJECT #:	21803	
DRAWN BY:	Author	
CHECKED BY:	Checker	

COPYRIGHT: SMPC Architects © 2022

These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.

SHEET TITLE

4TH FLOOR PLAN

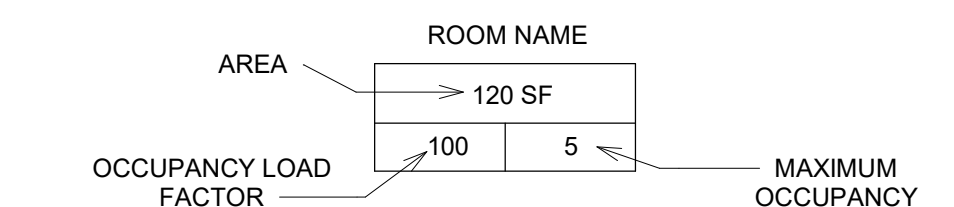
RECORD DOCUMENTS

THESE RECORD DOCUMENTS WERE DEVELOPED UNDER THE DIRECTION OF SMPC ARCHITECTS, PA. (SMPC) IN CONJUNCTION WITH THE CITY OF ALBUQUERQUE (COA) - JOB NO. 7224.002 - BETWEEN SEPTEMBER AND NOVEMBER 2021. THE ORIGINAL ARCHITECT-OF-RECORD FOR THE CITY BUILDING IS LAWRENCE A. GARCIA AND ASSOCIATES DATED 1974, AS IS COMMON WITH STRUCTURES OF THIS PERIOD. THE ORIGINAL RECORD DOCUMENTS ARE VIRTUALLY NONEXISTENT. COA COMMISSIONED SMPC TO CREATE A NEW SET OF AS-BUILT FLOOR PLANS, OR RECORD DOCUMENTS, FOR REFERENCE AND FOR FUTURE RENOVATIONS. IN THE DEVELOPMENT OF THESE RECORD DOCUMENTS, SMPC WAS NOT ABLE TO CONDUCT DESTRUCTIVE TESTING OR RELATED INVESTIGATION OF INACCESSIBLE AREAS OR SIGNIFICANTLY CONCEALED CONDITIONS. THEREFORE, SOME ASSUMPTIONS WERE MADE BY SMPC REGARDING EXISTING ORIGINAL CONDITIONS. SMPC HAS ACTED IN GOOD FAITH IN THE DISCHARGE OF THESE DUTIES AND HAVE ATTEMPTED TO COMPILER AN ACCURATE AND THOROUGH SET OF RECORD DOCUMENTS FOR THE EXISTING BUILDING. HOWEVER, BECAUSE THESE RECORD DOCUMENTS ARE BASED IN PART UPON NON-VERIFIABLE INFORMATION, SMPC CANNOT AND DOES NOT WARRANT THEIR ACCURACY AND/OR COMPLETENESS, AND FURTHERMORE, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED IN THESE RECORD DOCUMENTS. FURTHER INVESTIGATION AND VERIFICATION INCLUDING CODE ANALYSIS WILL BE REQUIRED BY OTHER PARTIES USING OR REFERENCING THESE MATERIALS.

GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36," THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

OCCUPANCY LEGEND



Code Occupancy Use - Level 6					
Occupancy Function	Area	Occupant Load Factor	Occupant Load Type	Calculated Occupants	Occupants

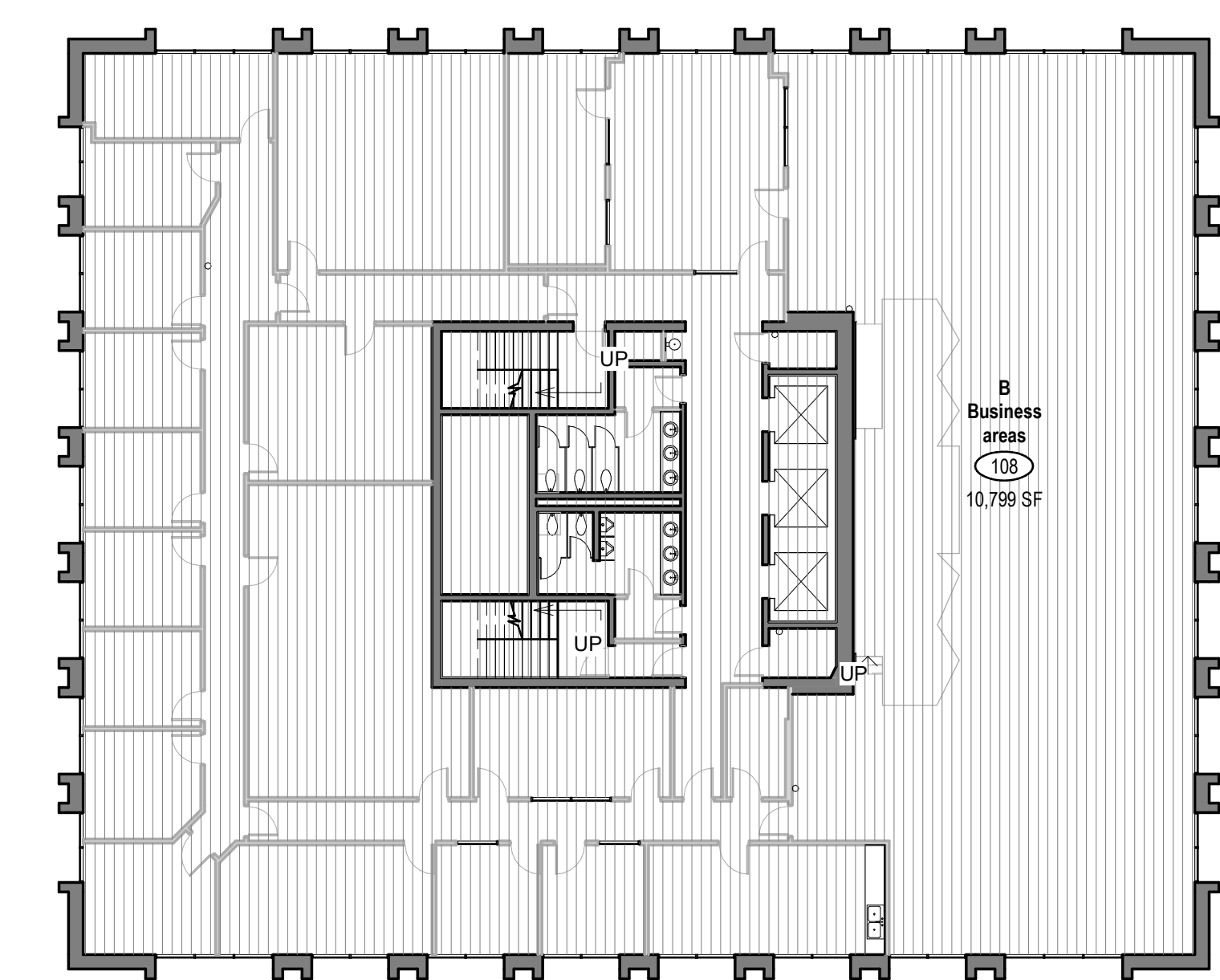
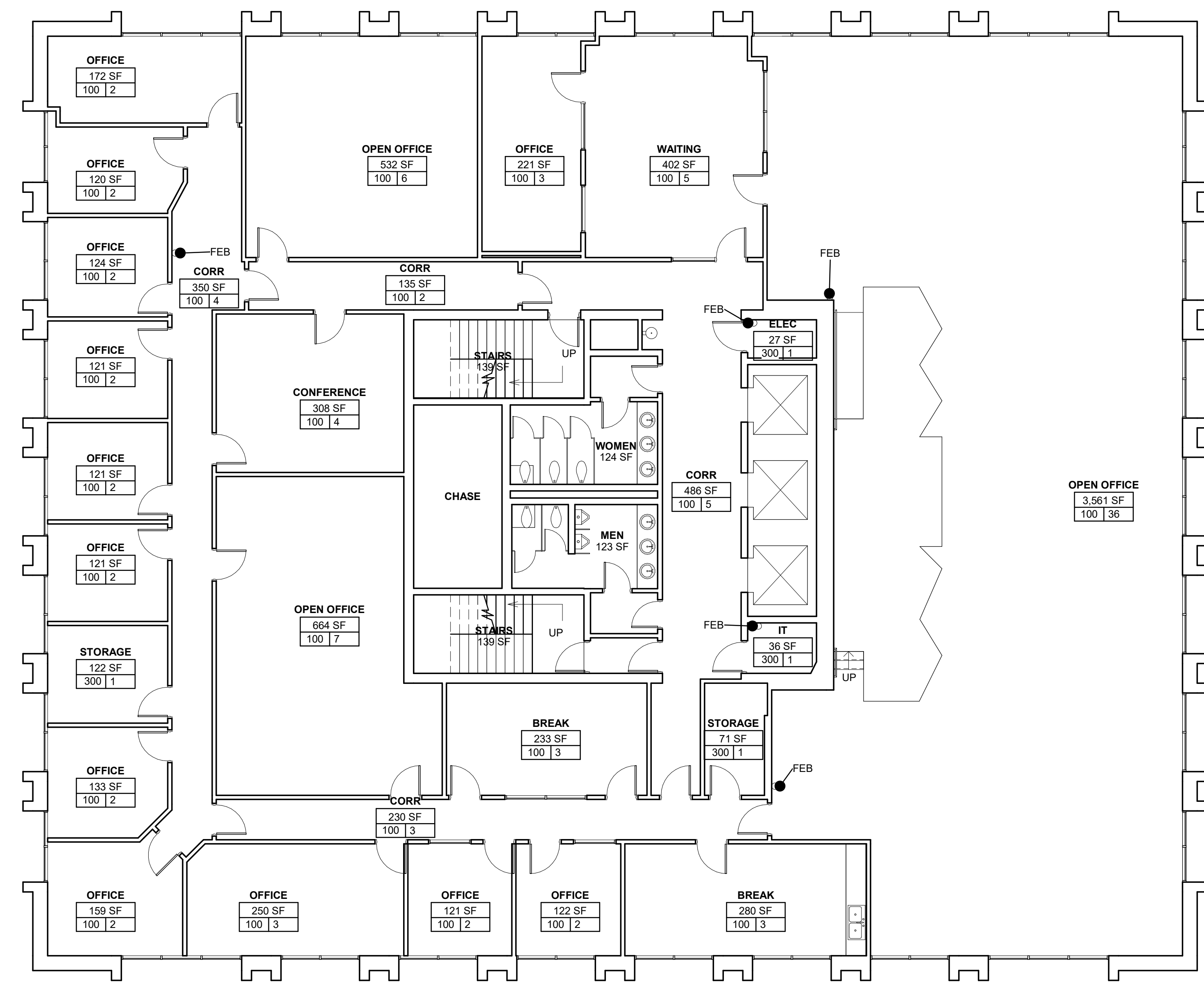
5TH LEVEL BUSINESS AREAS					
BUSINESS AREAS	Area	Occupant Load Factor	GROSS	Calculated Occupants	Occupants
BUSINESS AREAS: 1	10,799 SF	100	108.0	108	108
Grand total: 1	10,799 SF		108.0	108	108

PLUMBING FIXTURE CALCULATIONS

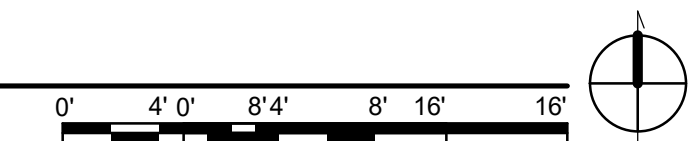
TOTAL OCCUPANTS: 108
MALE: 54 (50%) FEMALE: 54 (50%)

GROUP	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
	MALE	FEMALE	MALE	FEMALE		
Business B OCC: 108 M: 54 F: 54	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50		1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80		1 per 100	1 service sink
REQUIRED	2.08	2.08	1.35	1.35	1.08	1.00

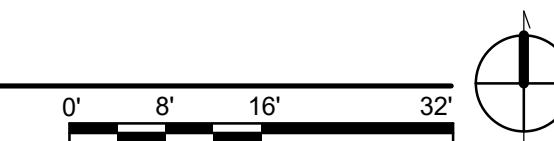
TOTALS						
REQUIRED	3	3	2	2	2	1
PROVIDED	2WC / 2U	3	3	3	1	1



A1 FLOOR PLAN - LEVEL 5
1/8" = 1'-0"



A12 AREA PLAN - LEVEL 5
1/16" = 1'-0"



AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT
AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

NO	DATE	DESCRIPTION
DATE:	03-28-2022	
PROJECT #:	21803	
DRAWN BY:	Author	
CHECKED BY:	Checker	

COPYRIGHT: SMPC Architects © 2022

These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.

SHEET TITLE

5TH FLOOR PLAN

A-106

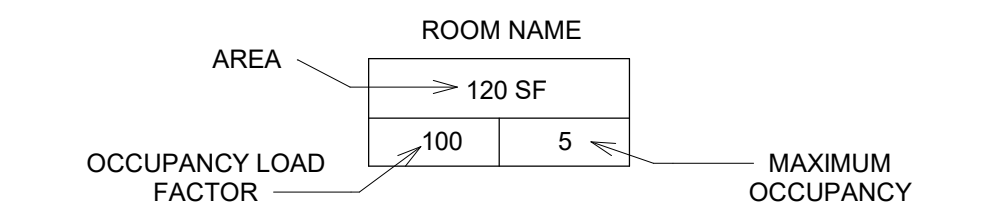
RECORD DOCUMENTS

THESE RECORD DOCUMENTS WERE DEVELOPED UNDER THE DIRECTION OF SMPC ARCHITECTS, PA. (SMPC) IN CONJUNCTION WITH THE CITY OF ALBUQUERQUE (COA) - JOB NO. 724.002 - BETWEEN SEPTEMBER AND NOVEMBER 2021. THE ORIGINAL ARCHITECT-OF-RECORD FOR THE CITY BUILDING IS LAWRENCE A. GARCIA AND ASSOCIATES DATED 1974, AS IS COMMON WITH STRUCTURES OF THIS PERIOD. THE ORIGINAL RECORD DOCUMENTS ARE VIRTUALLY NONEXISTENT. COA COMMISSIONED SMPC TO CREATE A NEW SET OF AS-BUILT FLOOR PLANS, OR RECORD DOCUMENTS, FOR REFERENCE AND FOR FUTURE RENOVATIONS. IN THE DEVELOPMENT OF THESE RECORD DOCUMENTS, SMPC WAS NOT ABLE TO CONDUCT DESTRUCTIVE TESTING OR RELATED INVESTIGATION OF INACCESSIBLE AREAS OR SIGNIFICANTLY CONCEALED CONDITIONS. THEREFORE, SOME ASSUMPTIONS WERE MADE BY SMPC REGARDING EXISTING ORIGINAL CONDITIONS. SMPC HAS ACTED IN GOOD FAITH IN THE DISCHARGE OF THESE DUTIES AND HAVE ATTEMPTED TO COMPILE AN ACCURATE AND THOROUGH SET OF RECORD DOCUMENTS FOR THE EXISTING BUILDING. HOWEVER, BECAUSE THESE RECORD DOCUMENTS ARE BASED IN PART UPON NON-VERIFIABLE INFORMATION, SMPC CANNOT AND DOES NOT WARRANT THEIR ACCURACY AND/OR COMPLETENESS, AND FURTHERMORE, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED IN THESE RECORD DOCUMENTS. FURTHER INVESTIGATION AND VERIFICATION INCLUDING CODE ANALYSIS WILL BE REQUIRED BY OTHER PARTIES USING OR REFERENCING THESE MATERIALS.

GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36," THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

OCCUPANCY LEGEND



Code Occupancy Use - Level 7				
Occupancy Function	Area	Occupant Load Factor	Occupant Load SF Type	Calculated Occupants

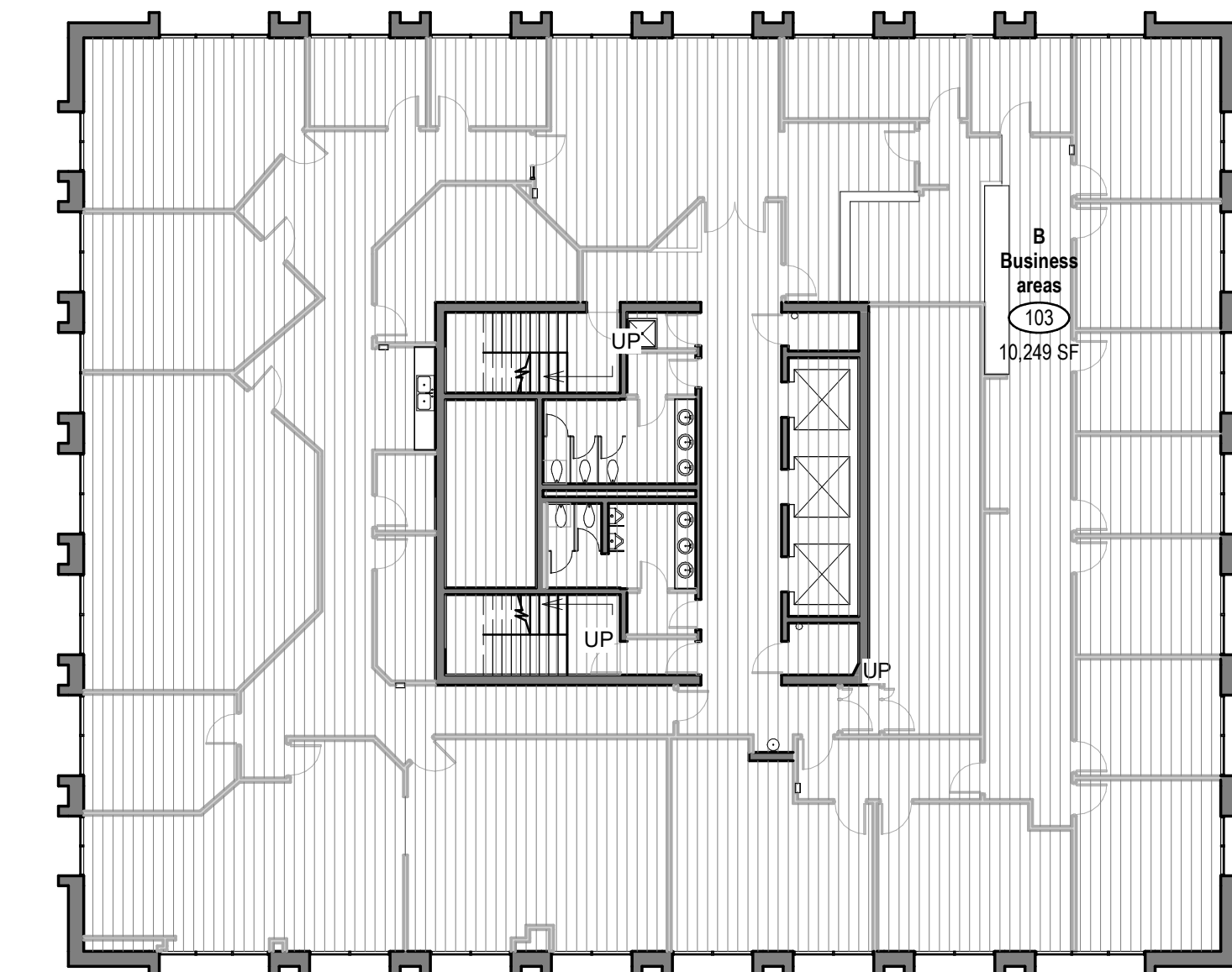
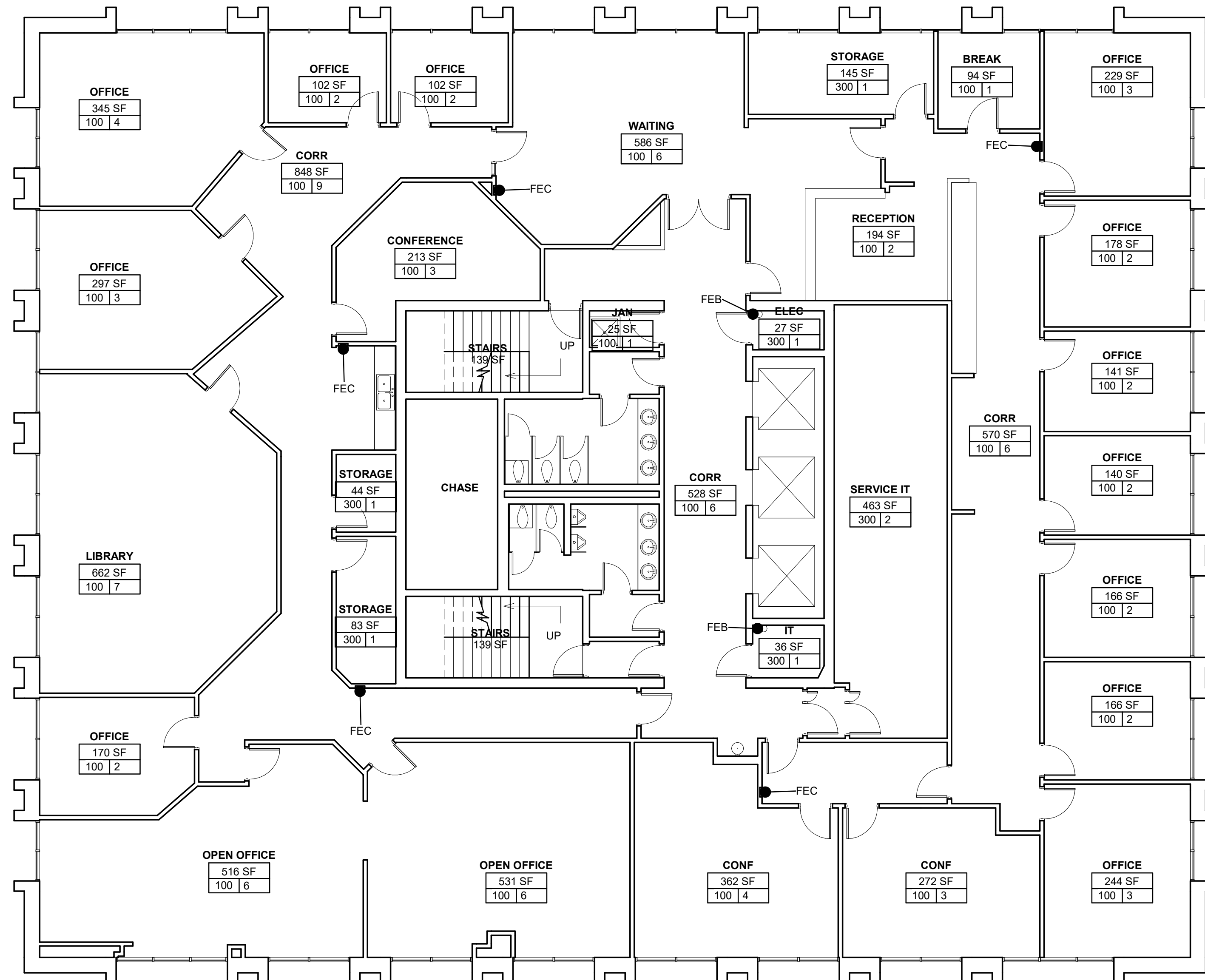
6TH LEVEL BUSINESS AREAS				
BUSINESS AREAS	Area	Occupant Load Factor	GROSS	Occupants
BUSINESS AREAS: 1	10,249 SF	100	102.5	103
Grand total: 1	10,249 SF		102.5	103

PLUMBING FIXTURE CALCULATIONS

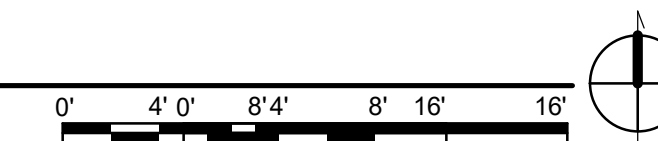
TOTAL OCCUPANTS: 103
MALE: 51.5 (50%) FEMALE: 51.5 (50%)

GROUP	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
	MALE	FEMALE	MALE	FEMALE		
Business B Occ: 103 M: 52 F: 52	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50	1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80	1 per 100	1 service sink		
REQUIRED	2.04	2.04	1.30	1.30	1.03	1.00

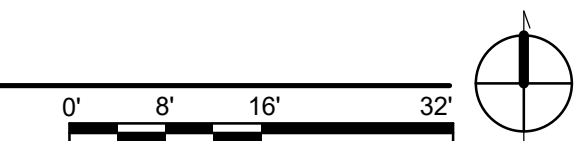
TOTALS						
REQUIRED	3	3	2	2	2	1
PROVIDED	2WC / 2U	3	3	3	1	1



A1 FLOOR PLAN - LEVEL 6
1/16" = 1'-0"



A12 AREA PLAN - LEVEL 6
1/16" = 1'-0"



AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT

AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

NO	DATE	DESCRIPTION
DATE:	03-28-2022	
PROJECT #:	21803	
DRAWN BY:	Author	
CHECKED BY:	Checker	

COPYRIGHT: SMPC Architects © 2022

These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.

SHEET TITLE

6TH FLOOR PLAN

A-107

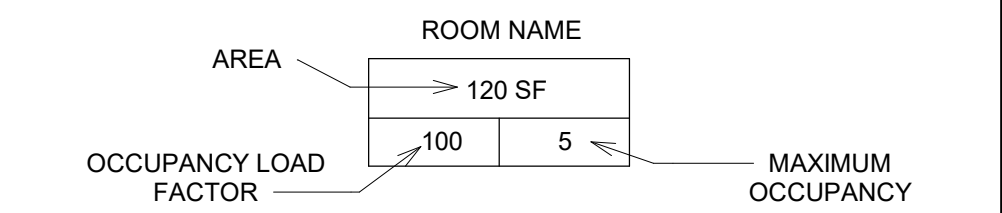
RECORD DOCUMENTS

THESE RECORD DOCUMENTS WERE DEVELOPED UNDER THE DIRECTION OF SMPC ARCHITECTS, PA. (SMPC) IN CONJUNCTION WITH THE CITY OF ALBUQUERQUE (COA) - JOB NO. 7224.002 - BETWEEN SEPTEMBER AND NOVEMBER 2021. THE ORIGINAL ARCHITECT-OF-RECORD FOR THE CITY BUILDING IS LAWRENCE A. GARCIA AND ASSOCIATES DATED 1974, AS IS COMMON WITH STRUCTURES OF THIS PERIOD. THE ORIGINAL RECORD DOCUMENTS ARE VIRTUALLY NONEXISTENT. COA COMMISSIONED SMPC TO CREATE A NEW SET OF AS-BUILT FLOOR PLANS, OR RECORD DOCUMENTS, FOR REFERENCE AND FOR FUTURE RENOVATIONS. IN THE DEVELOPMENT OF THESE RECORD DOCUMENTS, SMPC WAS NOT ABLE TO CONDUCT DESTRUCTIVE TESTING OR RELATED INVESTIGATION OF INACCESSIBLE AREAS OR SIGNIFICANTLY CONCEALED CONDITIONS. THEREFORE, SOME ASSUMPTIONS WERE MADE BY SMPC REGARDING EXISTING ORIGINAL CONDITIONS. SMPC HAS ACTED IN GOOD FAITH IN THE DISCHARGE OF THESE DUTIES AND HAVE ATTEMPTED TO COMPILER AN ACCURATE AND THOROUGH SET OF RECORD DOCUMENTS FOR THE EXISTING BUILDING. HOWEVER, BECAUSE THESE RECORD DOCUMENTS ARE BASED IN PART UPON NON-VERIFIABLE INFORMATION, SMPC CANNOT AND DOES NOT WARRANT THEIR ACCURACY AND/OR COMPLETENESS, AND FURTHERMORE, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED IN THESE RECORD DOCUMENTS. FURTHER INVESTIGATION AND VERIFICATION INCLUDING CODE ANALYSIS WILL BE REQUIRED BY OTHER PARTIES USING OR REFERENCING THESE MATERIALS.

GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36," THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

OCCUPANCY LEGEND



Code Occupancy Use - Level 8					
Occupancy Function	Area	Occupant Load Factor	Occupant Load Type	Calculated Occupants	Occupants

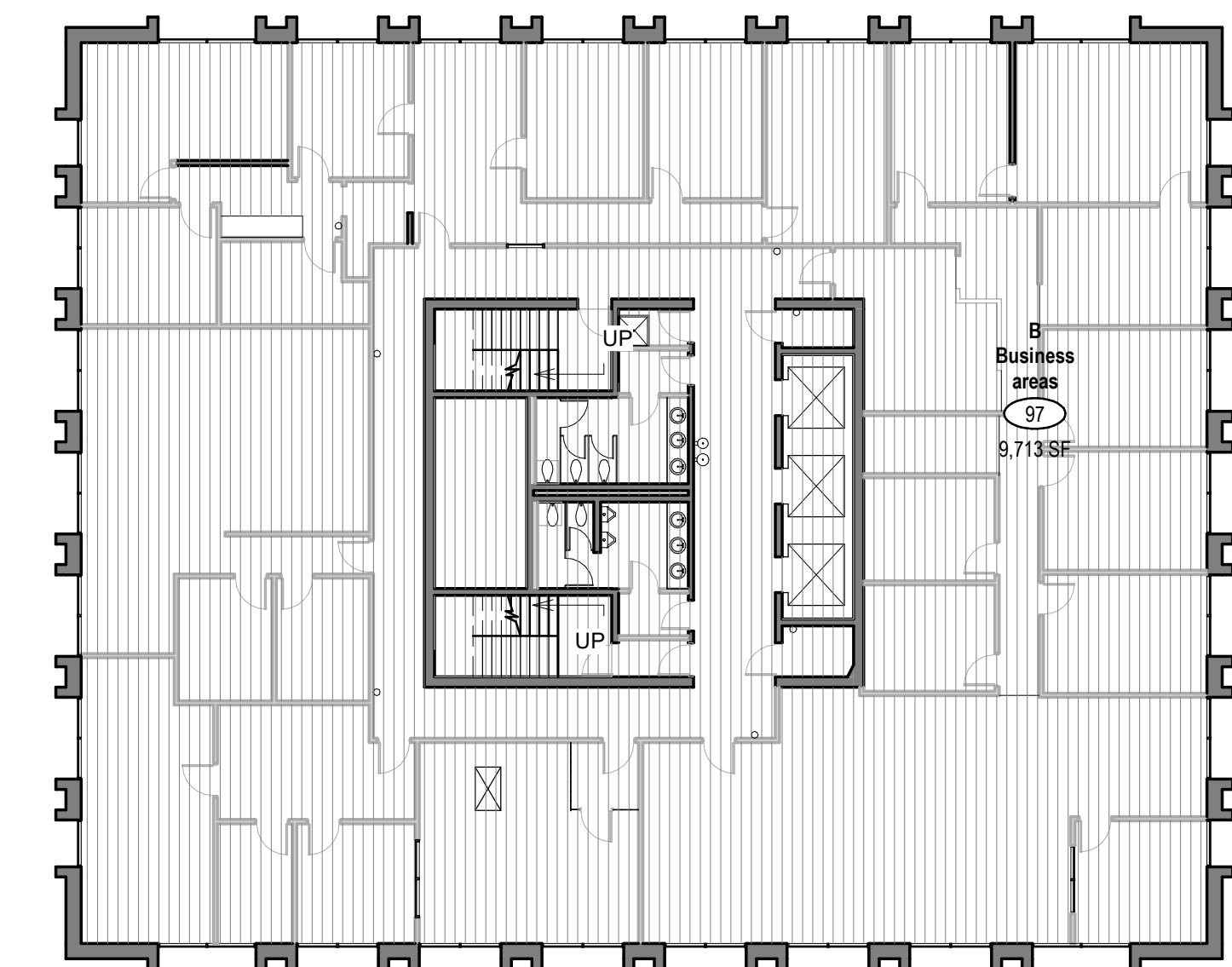
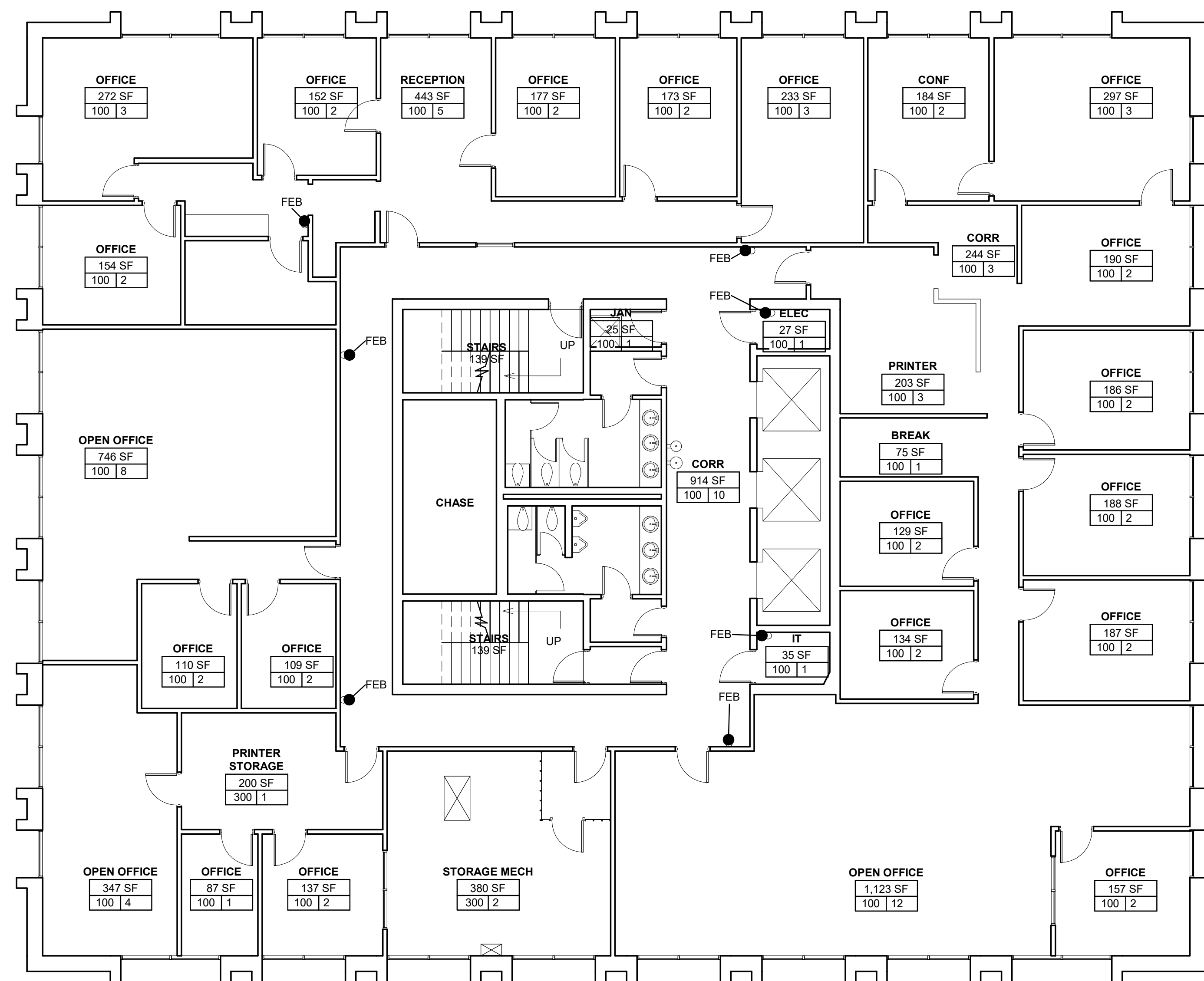
7TH LEVEL BUSINESS AREAS					
BUSINESS AREAS	Area	Occupant Load Factor	GROSS	Calculated Occupants	Occupants
BUSINESS AREAS: 1	9,713 SF	100	97.1	97	97
Grand total: 1	9,713 SF		97.1	97	97

PLUMBING FIXTURE CALCULATIONS

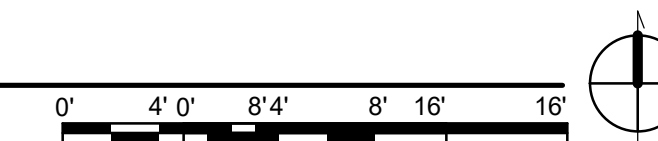
TOTAL OCCUPANTS: 97
MALE: 48.5 (50%) FEMALE: 48.5 (50%)

GROUP	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
	MALE	FEMALE	MALE	FEMALE		
Business B OCC: 97 M: 49 F: 49	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50		1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80		1 per 100	1 service sink
REQUIRED	1.96	1.96	1.23	1.23	0.97	1.00

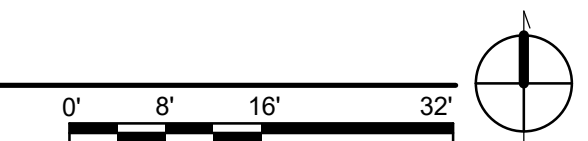
TOTALS						
REQUIRED	2	2	2	2	1	1
PROVIDED	2WC / 2U	3	3	3	2	1



A1 FLOOR PLAN - LEVEL 7
1/8" = 1'-0"



A12 AREA PLAN - LEVEL 7
1/16" = 1'-0"



AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT
AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

NO	DATE	DESCRIPTION
DATE:	03-28-2022	
PROJECT #:	21803	
DRAWN BY:	Author	
CHECKED BY:	Checker	

COPYRIGHT: SMPC Architects © 2022

These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.

SHEET TITLE

7TH FLOOR PLAN

A-108

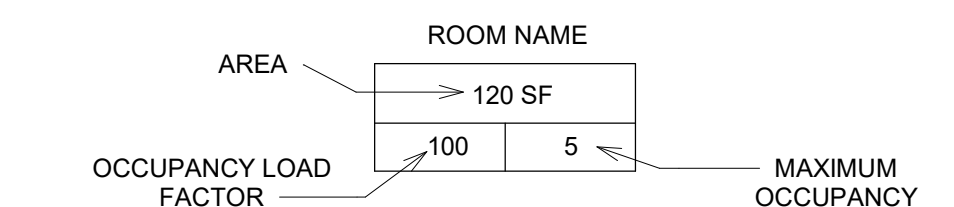
RECORD DOCUMENTS

THESE RECORD DOCUMENTS WERE DEVELOPED UNDER THE DIRECTION OF SMPC ARCHITECTS, PA. (SMPC) IN CONJUNCTION WITH THE CITY OF ALBUQUERQUE (COA) - JOB NO. 7224.002 - BETWEEN SEPTEMBER AND NOVEMBER 2021. THE ORIGINAL ARCHITECT-OF-RECORD FOR THE CITY BUILDING IS LAWRENCE A. GARCIA AND ASSOCIATES DATED 1974, AS IS COMMON WITH STRUCTURES OF THIS PERIOD. THE ORIGINAL RECORD DOCUMENTS ARE VIRTUALLY NONEXISTENT. COA COMMISSIONED SMPC TO CREATE A NEW SET OF AS-BUILT FLOOR PLANS, OR RECORD DOCUMENTS, FOR REFERENCE AND FOR FUTURE RENOVATIONS. IN THE DEVELOPMENT OF THESE RECORD DOCUMENTS, SMPC WAS NOT ABLE TO CONDUCT DESTRUCTIVE TESTING OR RELATED INVESTIGATION OF INACCESSIBLE AREAS OR SIGNIFICANTLY CONCEALED CONDITIONS. THEREFORE, SOME ASSUMPTIONS WERE MADE BY SMPC REGARDING EXISTING ORIGINAL CONDITIONS. SMPC HAS ACTED IN GOOD FAITH IN THE DISCHARGE OF THESE DUTIES AND HAVE ATTEMPTED TO COMPILER AN ACCURATE AND THOROUGH SET OF RECORD DOCUMENTS FOR THE EXISTING BUILDING. HOWEVER, BECAUSE THESE RECORD DOCUMENTS ARE BASED IN PART UPON NON-VERIFIABLE INFORMATION, SMPC CANNOT AND DOES NOT WARRANT THEIR ACCURACY AND/OR COMPLETENESS, AND FURTHERMORE, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED IN THESE RECORD DOCUMENTS. FURTHER INVESTIGATION AND VERIFICATION INCLUDING CODE ANALYSIS WILL BE REQUIRED BY OTHER PARTIES USING OR REFERENCING THESE MATERIALS.

GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36," THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

OCCUPANCY LEGEND



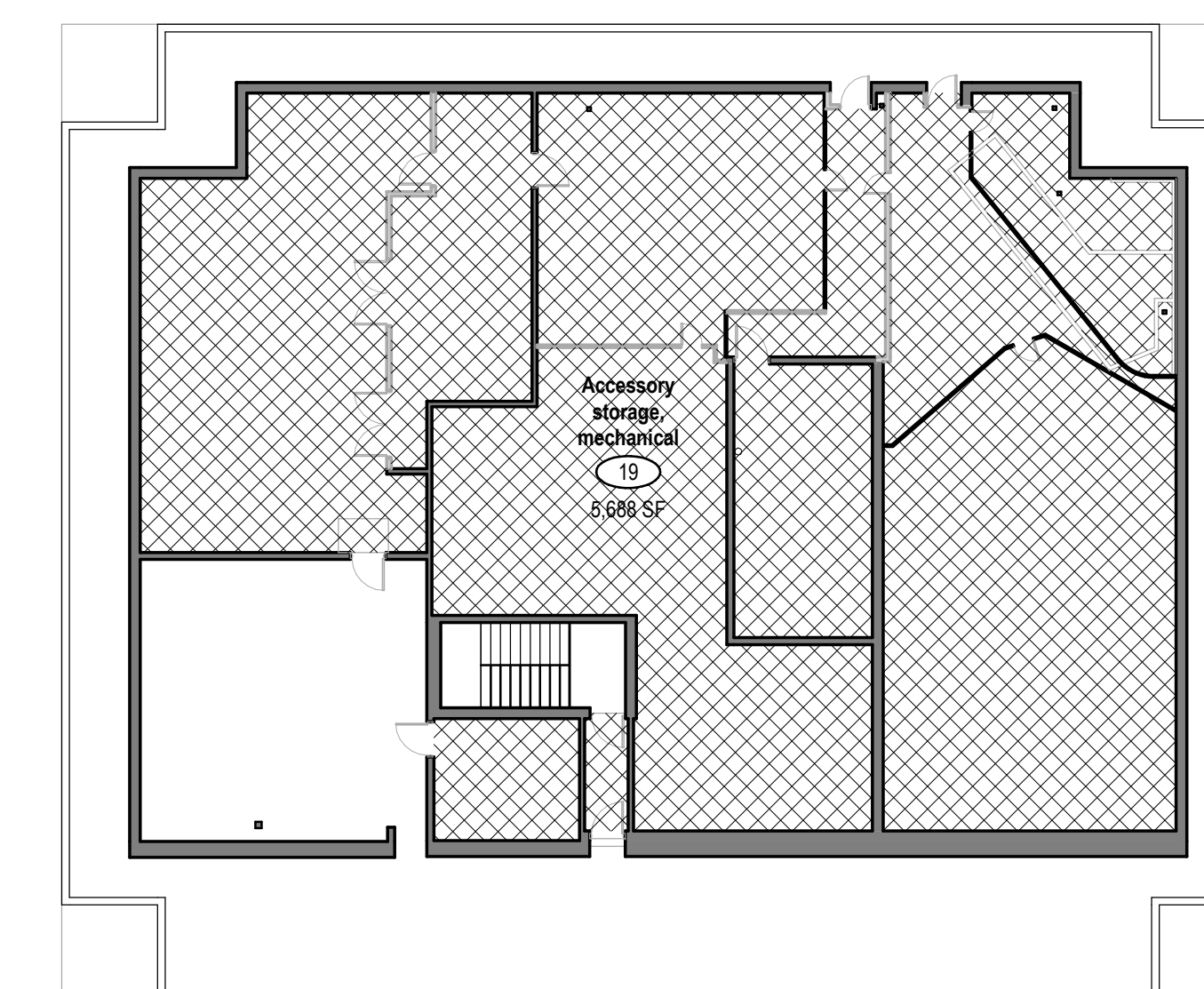
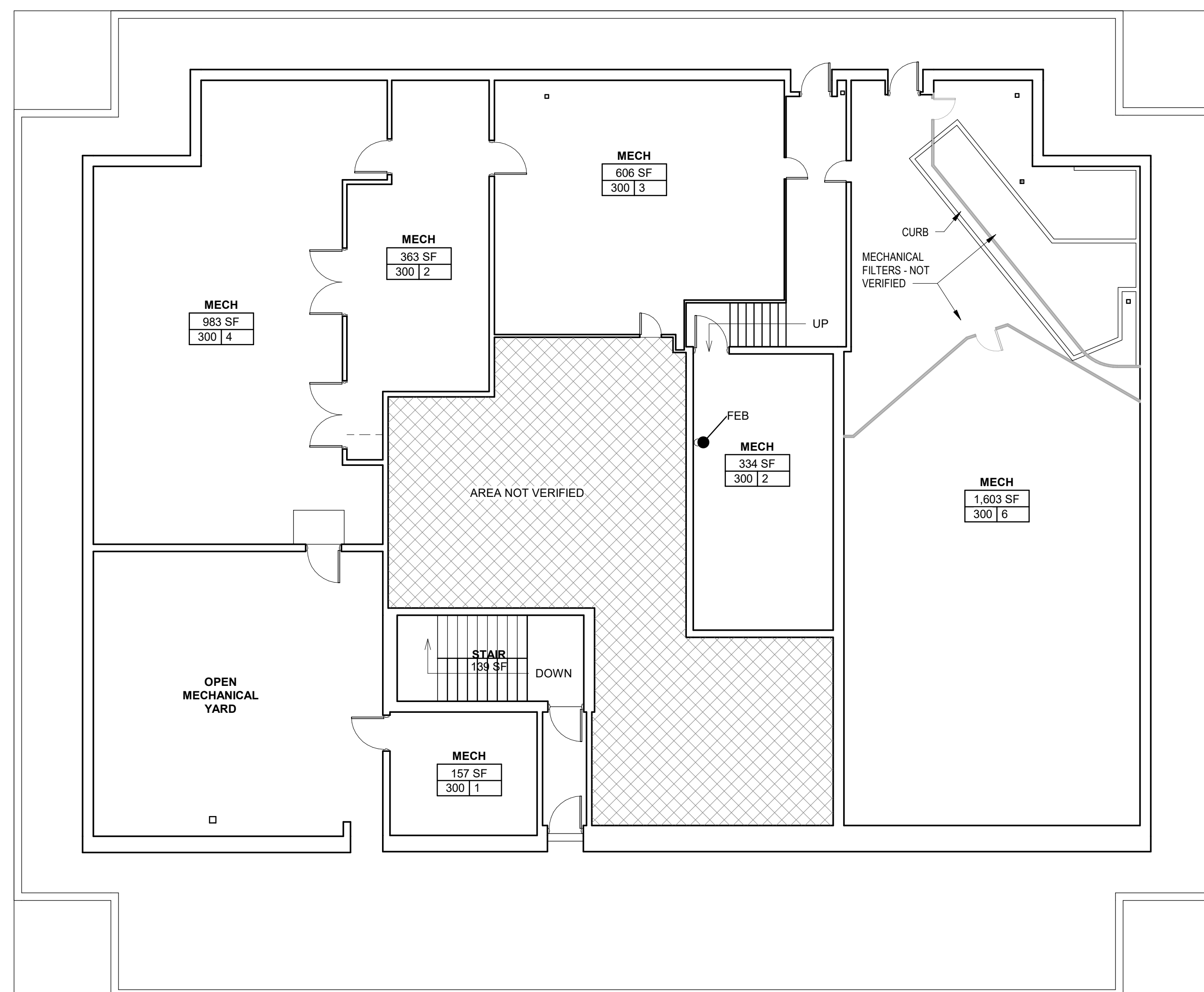
Code Occupancy Use - Level 9					
Occupancy Function	Area	Occupant Load Factor	Occupant Load SF Type	Calculated Occupants	Occupants

PENTHOUSE ACCESSORY MECHANICAL					
ACCESSORY MECHANICAL	5,688 SF	300	GROSS	19.0	19
ACCESSORY MECHANICAL: 1	5,688 SF			19.0	19
Grand total: 1	5,688 SF			19.0	19

PLUMBING FIXTURE CALCULATIONS

TOTAL OCCUPANTS: 19
MALE: 9.5 (50%) FEMALE: 9.5 (50%)

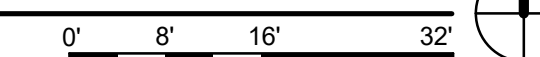
GROUP	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
	MALE	FEMALE	MALE	FEMALE		
Business B OCC: 19 M: 10 F: 10	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50		1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80		1 per 100	1 service sink
REQUIRED	0.40	0.40	0.25	0.25	0.19	1.00
TOTALS						
REQUIRED	1	1	1	1	1	1
PROVIDED	0	0	0	0	0	1



A1 FLOOR PLAN - MECHANICAL PENTHOUSE
1/8" = 1'-0"



A12 AREA PLAN - MECH PH
1/16" = 1'-0"



AS-BUILT RECORD DRAWINGS

PLAZA DEL SOL AS-BUILT

AS-BUILT RECORD DRAWINGS
600 2ND STREET NW, ALBUQUERQUE, NM

NO	DATE	DESCRIPTION
DATE:	03-28-2022	
PROJECT #:	21803	
DRAWN BY:	Author	
CHECKED BY:	Checker	

COPYRIGHT: SMPC Architects © 2022

These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.

SHEET TITLE

MECHANICAL PENTHOUSE FLOOR PLAN

A-109

