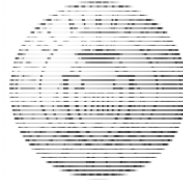




Landmarks Commission



Staff Report

Agenda Item: 1
Case # SI-2021-00858
Project # PR-2021-005579
July 14, 2021

Agent	Ken Sandoval
Applicant	Jesse & Robin Scott
Request	Certificate of Appropriateness for Alterations
Legal Description	Lot B, Block 18, Perea Addition
Address/Location	1415 Roma Avenue NW
Size	0.09 Acres
Zoning	R-1A
Historic Location	Fourth Ward Historic Protection Overlay Zone (HPO-3)

Staff Recommendation

APPROVAL of Case # SI-2021-00858, Project # PR-2021-005579, a request for a Certificate of Appropriateness for Alterations, based on the Findings beginning on page 15 and subject to the conditions on page 16.

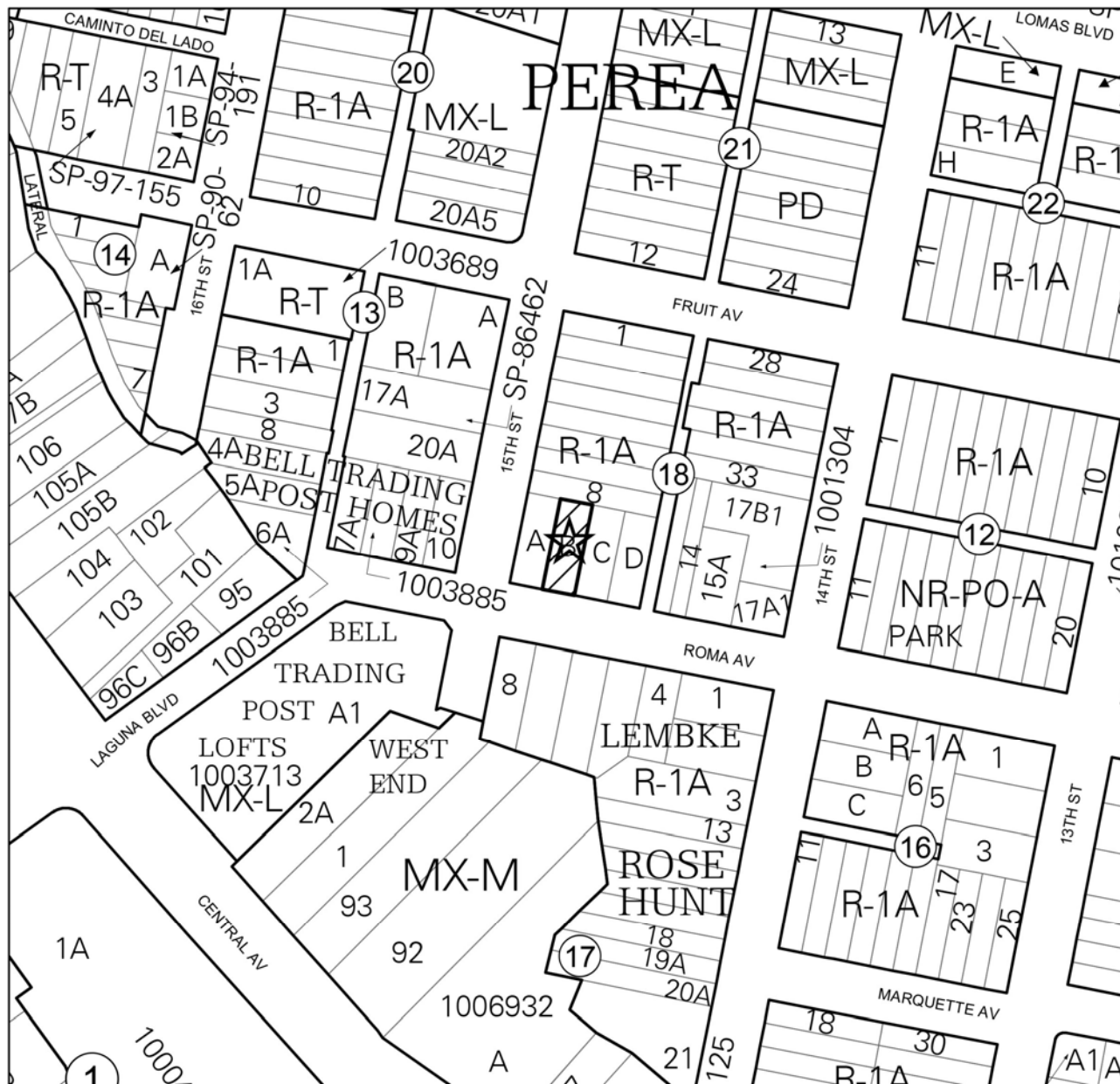
Silvia Bolivar, PLA, ASLA
Historic Preservation Planner

Summary of Analysis

The application is for a Certificate of Appropriateness for an addition to an existing house in the Fourth Ward Historic Protection Overlay Zone (HPO-3).

The principal building on the site was constructed c. 1920's in the Bungalow style and is classified as a contributing building in the Fourth Ward. The original house is approximately 592 square feet. The request is to leave the existing building as is with minimal cosmetic changes to the front and side facades. The main focus of the alteration will be to add a basement, as well as an additional 578 square feet directly behind the existing house that will tie into the residence and will be constructed to match the existing structure in height, style, and materials.

Staff has reviewed the project and finds that the addition will not harm the locally distinctive qualities of the Fourth Ward HPO. This request was reviewed against the relevant guidelines for the Fourth Ward Historic Protection Overlay Zone and the criteria for approval of a Certificate of Appropriateness. Subject to conditions, Staff considers the proposal consistent with the guidelines and the criteria.



IDO ZONING MAP

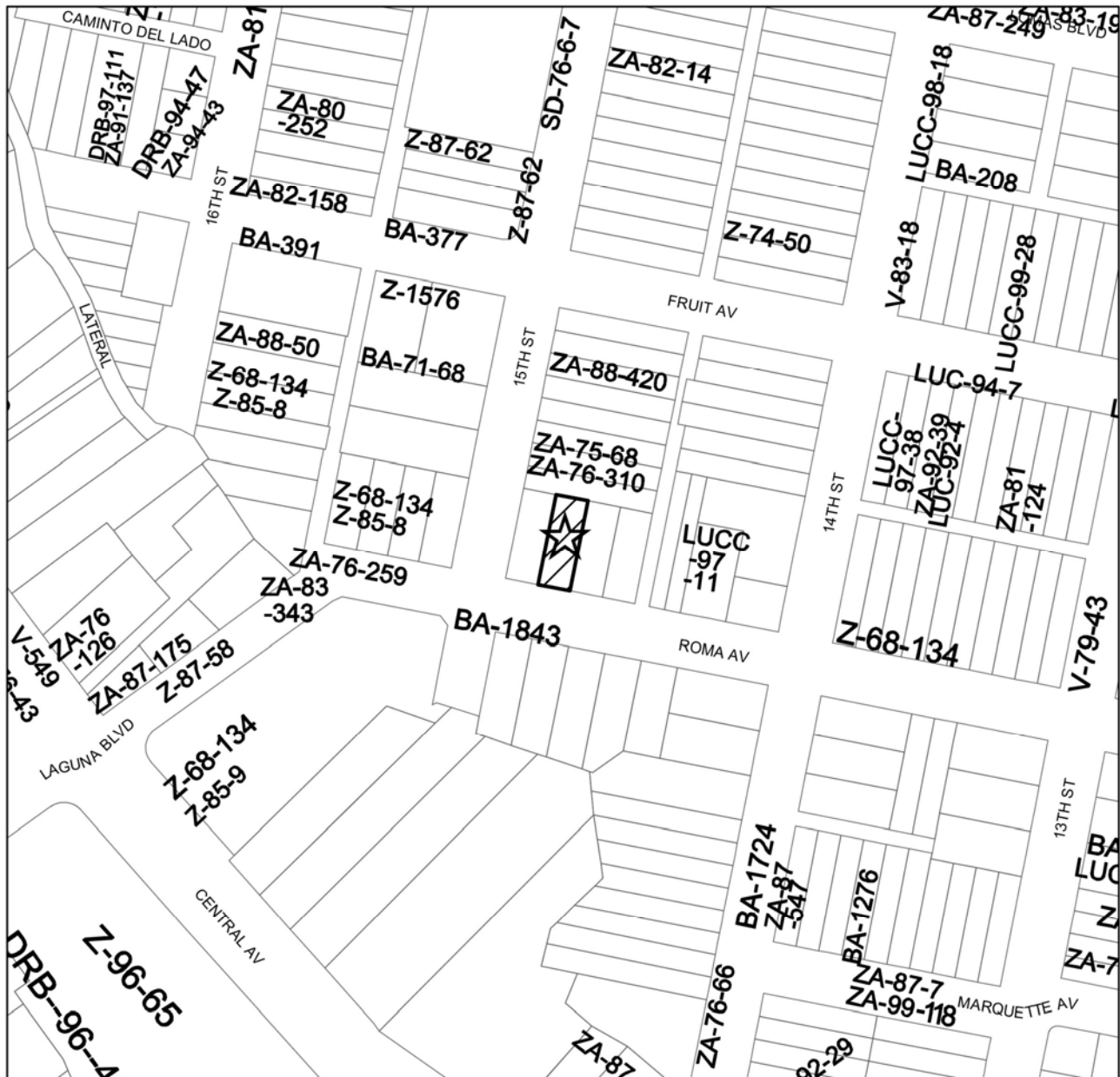
Note: Gray shading indicates County.



1 inch = 150 feet

Hearing Date:
 7/14/2021
 Project Number:
 PR-2021-005579
 Case Numbers:
 SI-2021-00858

Zone Atlas Page:
 J13



Note: Gray shading indicates County.



1 inch = 150 feet

Hearing Date:
7/14/2021

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SI-2021-00858

Zone Atlas Page:
J13



LAND USE MAP

Note: Gray shading
indicates County.

Key to Land Use Abbreviations

LDRES Low-density Residential	APRT Airport
MULT Multi-family	TRANS Transportation
COMM Commercial Retail	AGRI Agriculture
CMSG Commercial Services	PARK Parks and Open Space
OFC Office	DRNG Drainage
IND Industrial	VAC Vacant
INSMED Institutional / Medical	UTIL Utilities
ED Educational	CMTY Community
	KAFB Kirtland Air Force Base



1 inch = 150 feet

Hearing Date:
7/14/2021

Project Number:
PR-2021-005579
Case Numbers:
SI-2021-00858

Zone Atlas Page:
J13

SUMMARY OF REQUEST

<i>Request</i>	<i>Certificate of Appropriateness for Alterations (minimal cosmetic changes to front and side facades with the addition of a basement and 578 square feet directly behind the existing house).</i>
<i>Historic Location</i>	<i>Fourth Ward Historic Protection Overlay Zone</i>

I AREA HISTORY AND CHARACTER

Surrounding architectural styles, historic character and recent (re)development

	<i># of Stories</i>	<i>Roof Configuration, Architectural Style and Approximate Age of Construction</i>	<i>Historic Classification & Land Use</i>
<i>General Area</i>	1	Craftsman Bungalow; Bungalow; Spanish Pueblo Revival; Prairie; Mediterranean Revival; Colonial Revival	Contributing; Neutral; residential
<i>Site to the North</i>	1 1/2	New Mexico Vernacular, c. 1905	Contributing; residential
<i>Site to the South</i>	1	Bungalow c. 1924	Contributing; residential
<i>Sites to the East</i>	1	Bungalow c. 1920's	Contributing; residential
<i>Site to the West</i>	1	Bungalow, c. 1920's	Contributing; residential

II INTRODUCTION

Proposal and History

The request is for a Certificate of Appropriateness for construction of a 578 square foot basement, as well as an additional 578 square feet directly behind the principal building that will tie into the residence. The addition will be constructed to match the existing structure in height, style, and materials. The applicant proposes to leave the existing building as is with minimal cosmetic changes to the front and side facades.

The principal building on the site is a clapboard siding bungalow located on the north side of Roma Avenue NW, between 14th and 15th Streets NW in the Fourth Ward HPO on a 0.09-acre lot.

The construction materials for the principal building consist of painted, clapboard siding. The front porch extends across the front façade and is finished with stucco. The porch roof is supported by elephantine posts on piers that extend to the ground. The roof is a shingled, cross gable roof with

lattice work in the gable. The gable roof is a front facing gable. The windows are multi-paned (3/1), double-hung windows with a wood sash.

The south elevation reveals the existing façade and existing shingle roof to remain as is. The east and west facades show that the existing side facades will be furred out 2” to provide for added insulation. The new siding to be installed will match the existing siding.

Context

The Fourth Ward Historic District is described in the State and National Register nomination written in 1980 as “primarily important for its architecture, for its great variety of fine homes built between 1880 and 1930. As Albuquerque’s finest residential area between 1905 and 1923, it also has a cultural significance as the home of many of the city’s most influential citizens. Currently, Fourth Ward is valuable as a stable, well-preserved neighborhood on the fringes of the downtown business district”.

The original Fourth Ward comprised a much larger area than it does now. The city had been divided into four quadrants demarcated by the railroad running North and South and Central Avenue, then called Railroad Avenue, running East and West. The current Fourth Ward district represents an area located between Villa de Albuquerque or Old Town and the New Town built around the railroad itself.

The area of the current Fourth Ward Historic District, although available for development after being sold by the Perea estate after his death in 1887 to the Albuquerque Townsite Company, did not begin to flourish until after 1900. By 1908, a number of large homes had been making it the more fashionable neighborhood of town. Although it was never exclusively upper-middle class it was exclusively residential, contrary to other city neighborhoods. The area prospered until after the Second World War when resources went into building up new neighborhoods to the east of the city.

The National Registry nomination goes on to say that, ‘The architectural character and interest of the Fourth Ward District comes from the leisurely pace with which it developed and the high quality of houses built there over the years, so that the neighborhood boasts a great variety of styles and forms, finely executed. While only one or two houses can claim to be mansions, most are substantial; the well-designed homes of well-to-do people. Styles range from Italianate to Period Revival and Prairie School to Bungalow to Pueblo Revival, with building dates for significant and contributing buildings from 1882-1941.’

III. APPLICABLE PLANS, ORDINANCES, DESIGN GUIDELINES & POLICIES

Policies are written in regular text and staff analysis and comment in italic print.

Albuquerque-Bernalillo County Comprehensive Plan of 2017

The site is a Historic Asset in terms used in the *Comprehensive Plan*. The plan sets out goals and policies concerning land use, environmental protection and heritage conservation. Chapter 11, Section 2, Historic Assets (pp. 11-25 – 11-26) states:

“Preserve and enhance significant historic districts and buildings to reflect our past and we move into the future and strengthen our sense of identity.”

Applicable Historic Assets policies include:

Policy 11.2.3 Distinct Built Environments: Preserve and enhance the social, cultural, and historical features that contribute to the identities of distinct communities, neighborhoods, and districts.

The project directly addresses the ABC Comprehensive Plan by continuing to improve the quality of life in the historic Fourth Ward HPO through the renovation and upgrading of a historically contributing property. Although the change will take place at the rear of the subject site, the character of the home will remain intact.

Integrated Development Ordinance (IDO)

In May 2018, the Integrated Development Ordinance (IDO) replaced the City's Zoning Code and the property was zoned R-1C

The property is located within the Fourth Ward Historic Preservation Overlay Zone. The Integrated Development Ordinance Part 14-16-3-5 establishes control and procedures for Historic Protection Overlay Zones (HPO). Part 14-16-3-5 (H) identifies standards and guidelines for HPO-3 Fourth Ward.

6-6(D)(3) Review and Decision Criteria

An application for a Historic Certificate of Appropriateness – Major shall be approved if it complies with all of the following criteria:

6-6(D)(3)(a) The change is consistent with Section 14-16-3-5 (Historic Protection Overlay Zones), the ordinance designating the specific HPO zone where the property is located, and any specific development guidelines for the landmark or the specific HPO zone where the property is located.

The addition to the building is of a simple, traditional architectural style, with a gabled roof that will complement the original portion of the house. It sits at the rear of the site and successfully blends in with the original portion of the house. The addition remains subordinate to the contributing building and only adds a basement and an additional 578 square feet directly behind the house. The proposed addition uses the same pitch to the gabled roof allowing it to remain low profile as seen from the street.

6-6(D)(3)(b) The architectural character, historical value, or archaeological value of the structure or site itself or of any HPO zone in which it is located will not be significantly impaired or diminished.

The proposal will add approximately 578 square feet for the basement and 578 square feet to the rear of the property which will barely be visible from the street but will be compatible to the original building. The architectural character of the site and the neighborhood will not be diminished by this proposal.

6-6(D)(3)(c) The change qualifies as a "certified rehabilitation" pursuant to the Tax Reform Act of 1976, if applicable.

Not applicable.

6-6(D)(3)(d) The structure or site's distinguished original qualities or character will not be altered. For the purposes of Section 14-16-3-5 (Historic Protection Overlay Zones) and this Subsection 14-16-6-6(D), "original" shall mean as it was at the time of initial construction or as it has developed over the course of the history of the structure.

The proposal will cause no harm to the original, distinguished qualities of the contributing site.

6-6(D)(3)(e) Deteriorated architectural features shall be repaired rather than replaced, if possible. If replacement is necessary, the new material shall match the original as closely as possible in material and design.

The proposal is for replacement windows where new construction is taking place. The original portion of the house has multi-paned (3/1) double hung windows. The proposal calls for the east and west facades to be furred out 2" to provide for added insulation. The new siding to be installed will match the existing siding.

6-6(D)(3)(f) Additions to existing structures and new construction may be of contemporary design if such design is compatible with its landmark status (if any) or the HPO zone.

Not applicable – the architectural language of the addition references historic characteristics of the neighboring contributing buildings.

6-6(D)(3)(g) If the application is for a Historic Certificate of Appropriateness for demolition of a landmark or a contributing structure in an HPO zone, demolition shall only be allowed if it is determined that the property is incapable of producing a reasonable economic return as presently controlled and that no means of preserving the structure has been found. In making a determination regarding reasonable economic return, the LC or City Council may consider the estimated market value of the building, land, and any proposed replacement structures; financial details of the property, including but not limited to income and expense statements, current mortgage balances, and appraisals; the length of time that the property has been on the market for sale or lease; potential return based on projected future market conditions; the building's structural condition; and other items determined to be relevant to the application.

Not applicable. The application is for an addition of a basement that will be 578 square feet and an additional 578 square feet directly behind the house, not demolition.

Resolution – 046-1991 Designating the Fourth Ward and Eighth and Forrester Historic Overlay Zone (1991)

The resolution designated, mapped, and provided general guidelines for the establishment of the Fourth Ward and Eighth and Forrester Historic Overlay Zones. For this case, this resolution will be referred to only as it applies to the Fourth Ward Historic Overlay Zone and the subject property contained therein, excluding references to the Eighth and Forrester Historic Overlay Zone. Contained within this resolution are general guidelines, of which the specific Fourth Ward Historic Overlay Zone Design Guidelines are derived.

The proposal is consistent with the designation ordinance.

New Town Neighborhoods Development Guidelines for the Huning Highland, Fourth Ward and Eighth and Forrester Historic Overlay Zones

The development guidelines are administered by the LUCC (LC) in October 2010. The development guidelines to protect neighborhood character, specifically those relating to accessory buildings and site features, are applicable to this request. The proposal is analyzed with regard to relevant sections:

An analysis of the proposal's conformance with the adopted specific development guidelines is provided below.

The guidelines for Windows and Doors state:

POLICY – WINDOWS AND DOORS

The character-defining features of historic windows & doors and their distinct arrangement shall be preserved. In addition, new windows & doors should be in character with the historic building. This is especially important on primary facades.

1. Retain and preserve the position, number, size and arrangement of historic windows and doors.

Existing windows are to remain. New windows within the new construction will be double hung to match the style and proportions of existing windows in the house.

2. Replacement of windows and doors that have been altered and no longer match the historic appearance is recommended.

Not applicable.

3. Retain and preserve functional and decorative features such as transoms and sidelights.

Not applicable.

4. Retention and repair of original windows is the preferred option. If replacement of a historic window or door feature is necessary, consider replacing only the deteriorated feature in kind rather than the entire unit.

- If replacement of a historic window or door feature is necessary, the replacement window or door shall match the original as closely as possible in size, proportion, operation (i.e. sash or casement) mullion pattern and material. The size of the opening shall not be altered.

No action is planned for original windows.

- Snap-in muntins and mullions may be acceptable for new or replacement window units on facades not visible from the public right-of-way. Snap in features should convey the scale and finish of true muntins and mullions. Snap-in muntins and mullions should be used on both the interior and exterior of the window.

N/A

- The use of plastic, vinyl, metal or other unsympathetic materials is discouraged; excepting that wood windows with exterior aluminum cladding may be approved. Metal window frames may be used when replacing historic metal windows.

N/A

- When replacing windows with multiple lites, simplified sash patterns may be approved on rear and secondary facades.

N/A

- Reglazing and adding additional layers of glass is acceptable provide the glazing is within the profile of the original window.

The new windows will have additional glazing layers that will be within the window profile.

The guidelines for Roofs and Roof Features state:

POLICY – ROOFS AND ROOF FEATURES

The character of a historical roof should be preserved, including its form. Materials should be preserved whenever feasible.

1. Retain and preserve the original roof forms.

- It is not appropriate altering the pitch of a historic roof.

Historic style and roof pitch are maintained. The new roof will match existing material (wood shingles).

- Preserve the original eave depth. It is not appropriate to alter, cover, or remove the traditional roof overhang.

N/A

- Retain and preserve original details, features and materials.

N/A

- It is not appropriate to remove character-defining roof features such as dormers, gables, vents, turrets and chimneys.

N/A

- Chimneys should be retained, particularly on primary facades. Unstable or damaged chimneys located behind the roof peak visually as seen from the street may be removed.

N/A

- Original roof materials should be retained and preserved when feasible. If replacement of a roof feature or material is necessary, the new material shall be similar to the original material in appearance and consistent with the architectural style of the building. Asphalt shingles are an acceptable replacement for wood shingles.

N/A

POLICY – ADDITIONS

Additions to contributing historic buildings have a responsibility to complement the original structure, ensuring that the original character is maintained. They should reflect the design, scale and architectural type of the original building. Older additions that have significance in their own right should be considered for preservation.

1. Retain and preserve original features and elements.

- Minimize damage to the historic building by constructing additions to be structurally self-supporting and attach the addition to the original building carefully to minimize the loss of historic fabric.

Minimal damage to the original structure will be caused by the addition.

2. Design new additions to be in proportion, but subordinate to, the original building's mass, scale, and form.

- Additions should be constructed on secondary facades and to the rear of the original building. Additions constructed on secondary facades should be set back from the primary façade.

The building addition is being added to the rear and is well set back from the original façade.

- The additions height, mass, and scale shall maintain an overall relationship to other contributing buildings on the block.

The massing of the addition is compatible with the original house.

- Additions should not visually overpower the original building.

The addition does not visually overpower the original building.

Additions should not exceed more than 50% of the original house.

The addition exceeds more than 50% of the original house but the addition will be located at the rear of property, barely visible from the street.

- Design an addition to complement existing elements and features, such as roof shape and slope. Shed roofs may be appropriate in some additions.

The addition incorporates the same roof shape as the original building and incorporates gable details in the new gable.

- Additions should not convert a secondary façade into a primary façade.

The addition does not create a new primary façade.

- Roof additions, such as dormers, should be added to rear and secondary facades.

Not applicable.

3. Design new additions to be compatible yet discernible from the original building.

- Additions should have similar materials and details, however; there should be a clear distinction between the historic building and new addition.

Similar materials are used for the overall finish to the addition.

- Consider simplifying details or slightly changing materials.

Details have been simplified.

- Additions should not reflect historic styles that pre-date the original building.

The addition does not reflect historic styles that pre-date the original building.

- Contemporary design for an addition may be appropriate if the original building's characteristic historic and architectural features are retained and the addition's exterior materials are similar to or the same as those of the original building.

N/A. A contemporary design is not being proposed.

4. Exterior materials used on new additions should complement those materials found on contributing buildings in the neighborhood.

The materials compliment the original house and the neighborhood.

5. Windows should be similar in character to the historic building.

- New windows should be of a similar type and materials.

The new windows will be similar in character, type, and materials.

- On primary facades of an addition, the solid to void ratio (percentage of windows to walls) should be similar to the historic building.

The solid to void ratio on primary faces of the addition is sufficiently similar to other facades.

6. Existing additions to historic buildings may be removed if not associated with the period of significance, or if they detract from the architectural character of the building.

N/A.

Neighborhood Notification and other Considerations.

The Neighboring Association and neighboring properties within 100 feet excluding public rights of way were notified of this application. The requisite sign was posted at the property giving notification of this application. No comments on this application have been received to date.

Conclusions

The request for a Certificate of Appropriateness for construction of a basement and addition to the rear of the existing house has been reviewed using the Development Guidelines for New Town Neighborhoods. The proposal meets the majority of the guidelines.

As discussed in the analysis above, the request complies with the applicable guidelines for the Fourth Ward Historic Preservation Overlay Zone and the criteria for approval of a Certificate of Appropriateness.

Staff concludes that the project is eligible for a Certificate of Appropriateness, subject to the recommended conditions of approval.

FINDINGS for APPROVAL of a request for a Certificate of Appropriateness for construction of an addition – Case #SI-2021-00858/Project # PR-2021-005579 (July 14, 2021).

1. The application is a request for a Certificate of Appropriateness for construction of basement and a rear addition at 1415 Roma Avenue NW, legally described as Lot B, Block 18, Perea Addition and a contributing property in the Fourth Ward Historic Preservation Overlay Zone, zoned R-1A.
2. The single story building is a wood framed bungalow with a porch that extends across the front façade and finished with stucco. The building was constructed c. 1920's. It is classified as a contributing building in the Fourth Ward HPO.
3. The proposed addition to the building is situated to the rear of the existing building. A basement will be constructed along with an additional 578 square feet.
4. The existing house is approximately 592 square feet. The addition will be 578 square feet for the basement and 578 square feet for the addition at the rear of the property (top level).
5. The IDO Section 14-16-6-6(D)(3)(a) states that a Certificate of Appropriateness shall be approved if "The change is consistent with Section 14-16-3-5 (Historic Protection Overlay Zones), the ordinance designating the specific HPO zone where the property is located, and any specific development guidelines for the landmark or the specific HPO zone where the property is located."
6. The proposed addition utilizes exterior finishing materials that match the existing building.
7. The proposed roof pitch will be an extension of the existing roof and continuing the same pitch.
8. The IDO Section 14-16-6-6(D)(3)(b) states that a Certificate of Appropriateness shall be approved if "The architectural character, historical value, or archaeological value of the structure or site itself or of any historic zone or urban conservation overlay zone in which it is located will not be significantly impaired or diminished".
9. The proposed addition is located to the rear of the house and would not adversely affect the historical integrity or value of the adjacent house, or those of the site and the wider neighborhood.
10. The IDO Section 14-16-6-6(D)(3)(3) states "Additions to existing structures and new construction may be of contemporary design if such design is compatible with its landmark status (if any) or the HPO zone in which it is to be located."

RECOMMENDATION

Case SI-2021-00858/ Project # PR-2021-005579 July 14, 2021.

APPROVAL of Case SI-2021-00330/Project # PR-2021-005225, an application for a Certificate of Appropriateness for new construction of a single family home, located at 1415 Roma Avenue NW, legally described as Lot B, Block 18, Perea Addition, a property in the Fourth Ward Historic Preservation Overlay Zone, based on the ten (10) findings and subject to the conditions of approval.

401 Walter Street SE, described as Lot 1, Block 18, Huning Highland Addition, a property in the Huning Highland Historic Preservation Overlay Zone, based on the above eight (8) findings and subject to the following condition:

Recommended Conditions of Approval

1. Applicant is responsible to acquire, and approval is contingent upon, all applicable permits and related approvals.

Silvia Bolivar

Silvia Bolivar, PLA, ASLA
Historic Preservation Planner
Urban Design and Development Division



Figure 1: Subject site. Picture taken while standing on Roma Avenue NW

Figure 2: Context – Southeast corner of subject site.



Figure 3: Subject site.



Figure 4: Context – property to the south of the subject site.

Figure 5: Context – property to the west of the subject site.

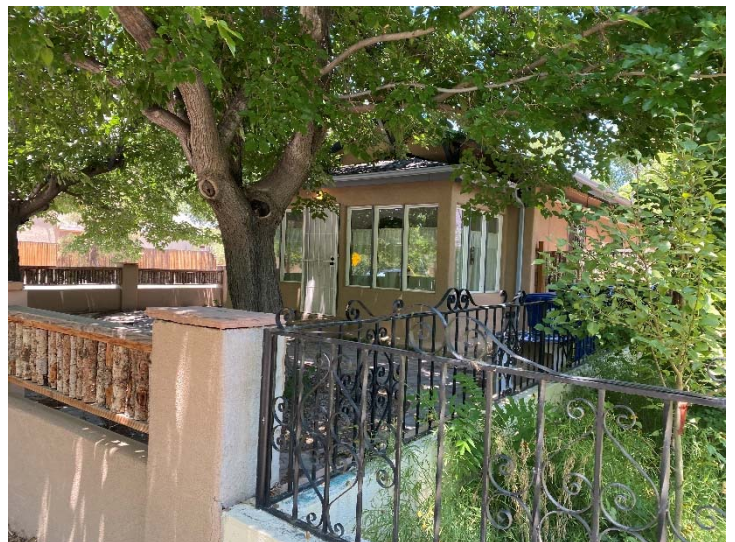


Figure 6: Roma Avenue NW facing east.

ZONING

Please refer to IDO Sub-section 14-16-2-3(B) for the Residential – Single-Family Zone District (R-1A)

Please refer to IDO Sub-section 15-16-3-5(H) for the Fourth Ward – HPO-3

APPLICANT INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input checked="" type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Jesse & Robin Scott		Phone: 505-228-5582
Address: 1415 Roma Ave. NW		Email: jesselscott@gmail.com
City: Albuquerque	State: NM	Zip: 87104
Professional/Agent (if any): Ken Sandoval		Phone: 505 379-0891
Address: 907 Forrester Ave NW		Email: quiensandoval@gmail.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site:		List all owners:

BRIEF DESCRIPTION OF REQUEST

New rear addition


SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: B	Block: 18	Unit:
Subdivision/Addition: Perea Addition	MRGCD Map No.:	UPC Code: 101305833912942402
Zone Atlas Page(s): J13	Existing Zoning: R-1A	Proposed Zoning:
# of Existing Lots: 1	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 1415 Roma NW	Between: 14th St NW	and: 15th St NW
-----------------------------------	---------------------	-----------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: 	Date: 4/24/2021
Printed Name: Jesse Scott	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
SI-2021 - 00858		
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project # 2021-005579

Form L: Historic Preservation and Landmarks Commission (LC)

Please refer to the LC hearing schedule for public hearing dates and deadlines. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

Type of Request		Historic Zone or Designation	
<input checked="" type="checkbox"/> Alteration	<input type="checkbox"/> Sign (see note below)	<input type="checkbox"/> East Downtown – HPO-1	<input type="checkbox"/> Downtown Area
<input type="checkbox"/> Demolition	<input type="checkbox"/> City Landmark Designation	<input type="checkbox"/> Eighth & Forrester – HPO-2	<input type="checkbox"/> Downtown Neighborhood Area – CPO-3
<input type="checkbox"/> New Construction	<input type="checkbox"/> City Overlay Designation	<input checked="" type="checkbox"/> Fourth Ward – HPO-3	<input type="checkbox"/> East Downtown – CPO-4
Number and Classification of Structures on Property		<input type="checkbox"/> Huning Highland – HPO-4	<input type="checkbox"/> Nob Hill/Highland – CPO-8
Contributing Structures: 1		<input type="checkbox"/> Old Town – HPO-5	<input type="checkbox"/> City Landmark
Noncontributing Structures:		<input type="checkbox"/> Silver Hill – HPO-6	
Unclassified Structures:		Residential Property? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

***PLEASE NOTE: Approval of signs in the overlay zones may also require a sign permit from Zoning in addition to LC approval.**

☐ **HISTORIC CERTIFICATE OF APPROPRIATENESS – MINOR Administrative Decision**

- ___ All materials indicated on the project drawing checklist and required by the Historic Preservation Planner
- ___ Letter detailing the scope of the proposal and justifying the request per the criteria in IDO Section 14-16-6-5(D)(3)
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ___ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ___ Sign Posting Agreement

☒ **INFORMATION REQUIRED FOR ALL LANDMARKS COMMISSION PUBLIC HEARING APPLICATIONS**

- ___ Interpreter Needed for Hearing? ___ if yes, indicate language: ___
- ___ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- ☒ Zone Atlas map with the entire site clearly outlined and labeled
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☒ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
- ☒ Proof of emailed notice to affected Neighborhood Association representatives
- ☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- ☒ Sign Posting Agreement

☐ **DEMOLITION OUTSIDE OF HPO Requires Public Hearing**

- ___ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(B)(3)

☒ **HISTORIC CERTIFICATE OF APPROPRIATENESS – MAJOR Requires Public Hearing**

- ☒ All materials indicated on the project drawing checklist (8 packets for residential projects or 9 for non-residential or mixed-use)
- ☒ Letter detailing the scope of the proposal and justifying the request per the criteria in IDO Section 14-16-6-(D)(3)


☐ **HISTORIC DESIGN STANDARDS AND GUIDELINES Requires Public Hearing**

- ___ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- ___ Proposed Design Standards and Guidelines
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(E)(3)

☐ **ADOPTION OR AMENDMENT OF HISTORIC DESIGNATION Requires Public Hearing**


- ___ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(C)(3)

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: JUNE 7, 21
Printed Name: KENNETH SANDOVAL	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	

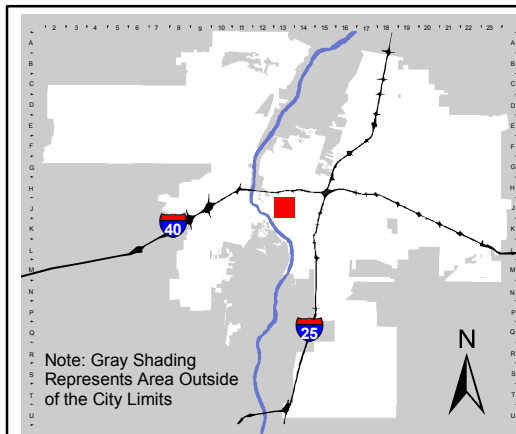




1415 Roma NW

Washington
Middle
School

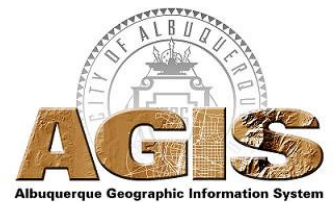
For more current information and details visit: www.cabq.gov/gis



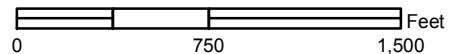
Address Map Page:

J-13-Z

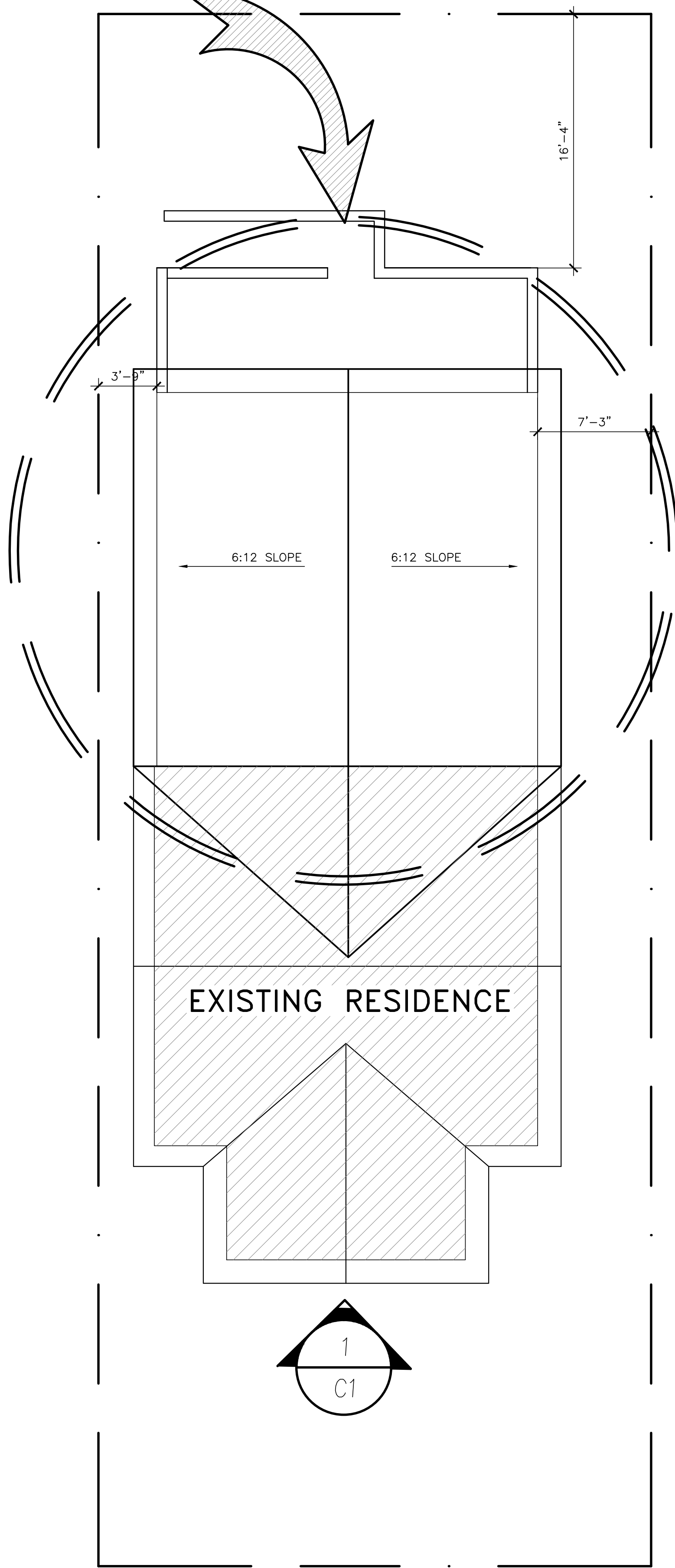
Map Amended through:
3/17/2017



These addresses are for informational
purposes only and are not intended
for address verification.



SCOPE OF WORK



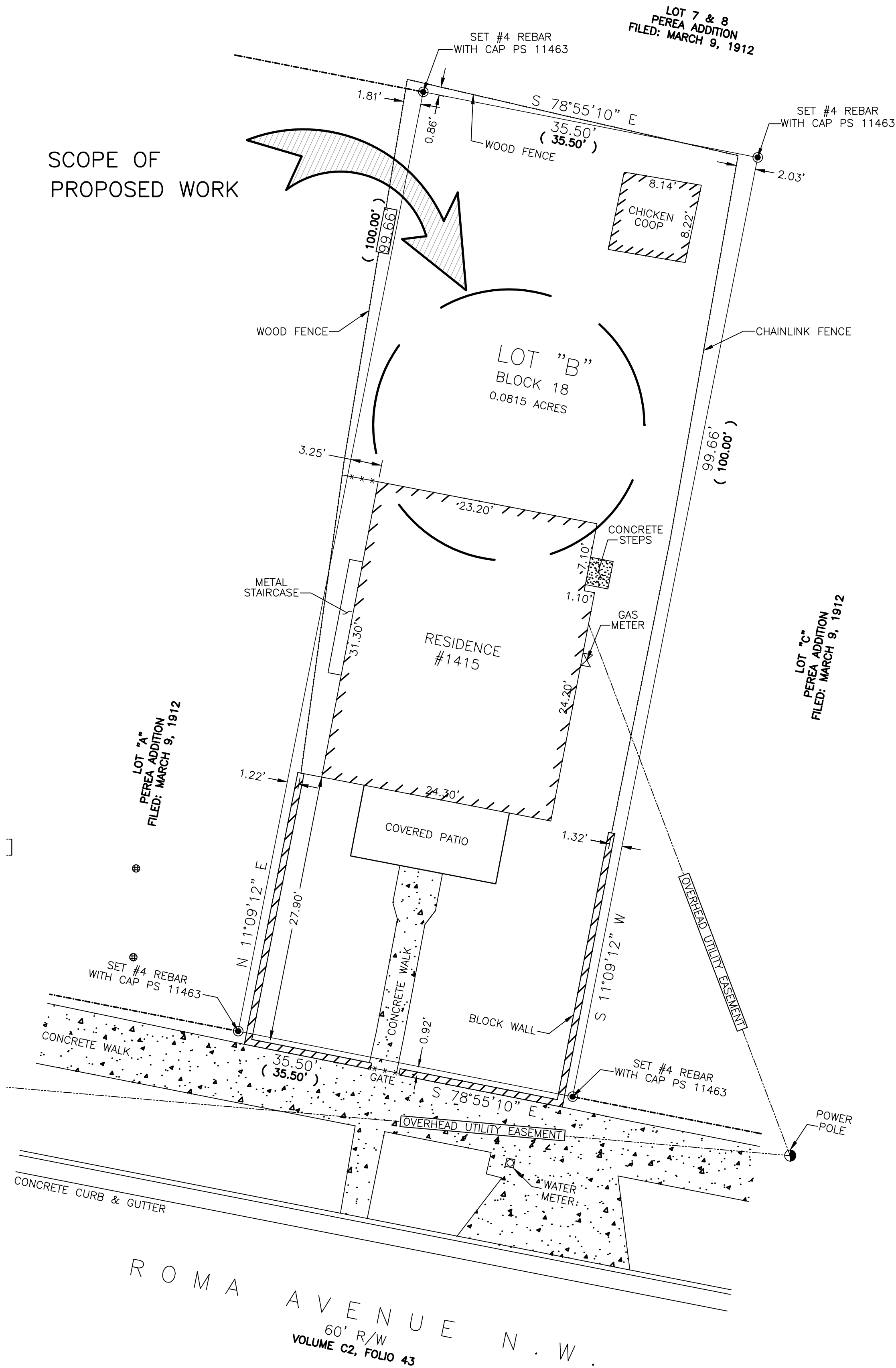
1415 ROMAN AVE. NW

SITE PLAN WITH ADDITION

SCALE: 3/16"=1'-0"

3
C1

SCOPE OF
PROPOSED WORK



SURVEY. EXISTING CONDITIONS

SCALE: 1/8"=1'-0"

2
C1

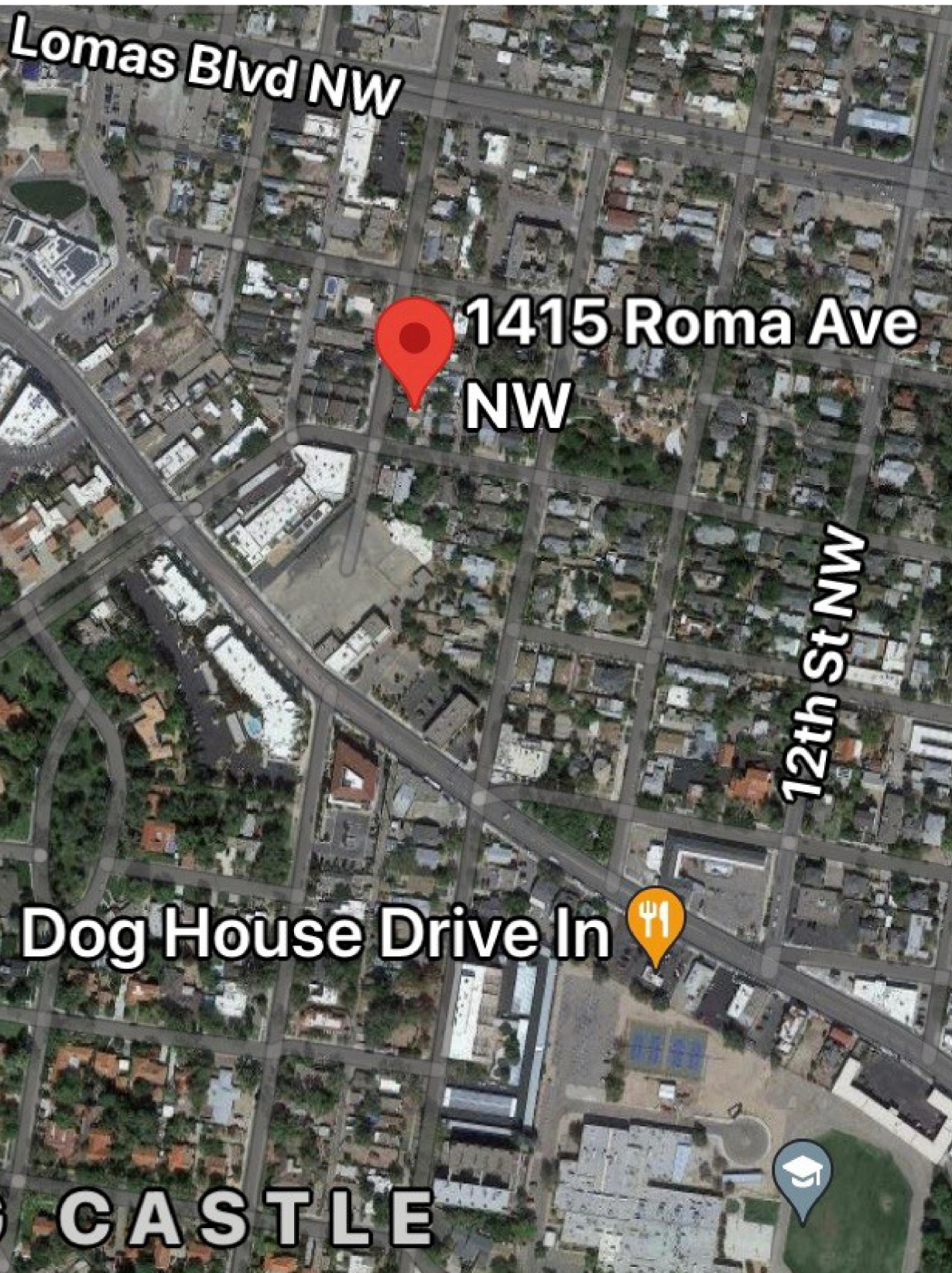
DATA:

EXISTING RESIDENCE:	592 SF
EXISTING FRONT PORCH:	115 SF
EXISTING LOT:	3538 SF
PROPOSED HEATED ADDITION:	576 SF
PROPOSED UN HEATED BASEMENT:	576 SF
OUTDOOR PATIO SPACE:	192 SF

SCOPE OF WORK:

EXISTING STRUCTURE TO BE ADDED ON TO WITH THE CONCENTRATION OF WORK BEING FOCUSED ON THE BACK OF THE STRUCTURE WITH NO WORK BEING PERFORMED ON THE EXISTING FRONT AND SIDE FACADES. PROPOSED ADDITION WILL MATCH EXISING STRUCUTRES HEIGHT AND WIDTH, AND WILL BE FACED WITH SIMILAR MATERIALS AND DETAILS. NEW WINDOWS, AND DOORS WILL BE SIMILAR IN STYLE TO EXISTING STRUCTURE. A NEW BASEMENT IS ALSO PROPOSED TO BE BELOW THE ADDITION.

HEATED AREA 578 SF
VALUATION:
R-3, V-B => 77.73/SF = \$44,927.00
AREA OF BASEMENT 578 SF
VALUATION:
U, V-B => 30.43/SF = \$17,588.00
TOTAL VALUATION:
\$62, 515.00



VICINITY MAP

NTS

1
C1



EXISTING VIEW OF RESIDENCE

NTS

1
C1

HOUSE RENOVATION AND ADDITION
SCOTT
1415 ROMA AVE. NW
ALBUQUERQUE, NEW MEXICO

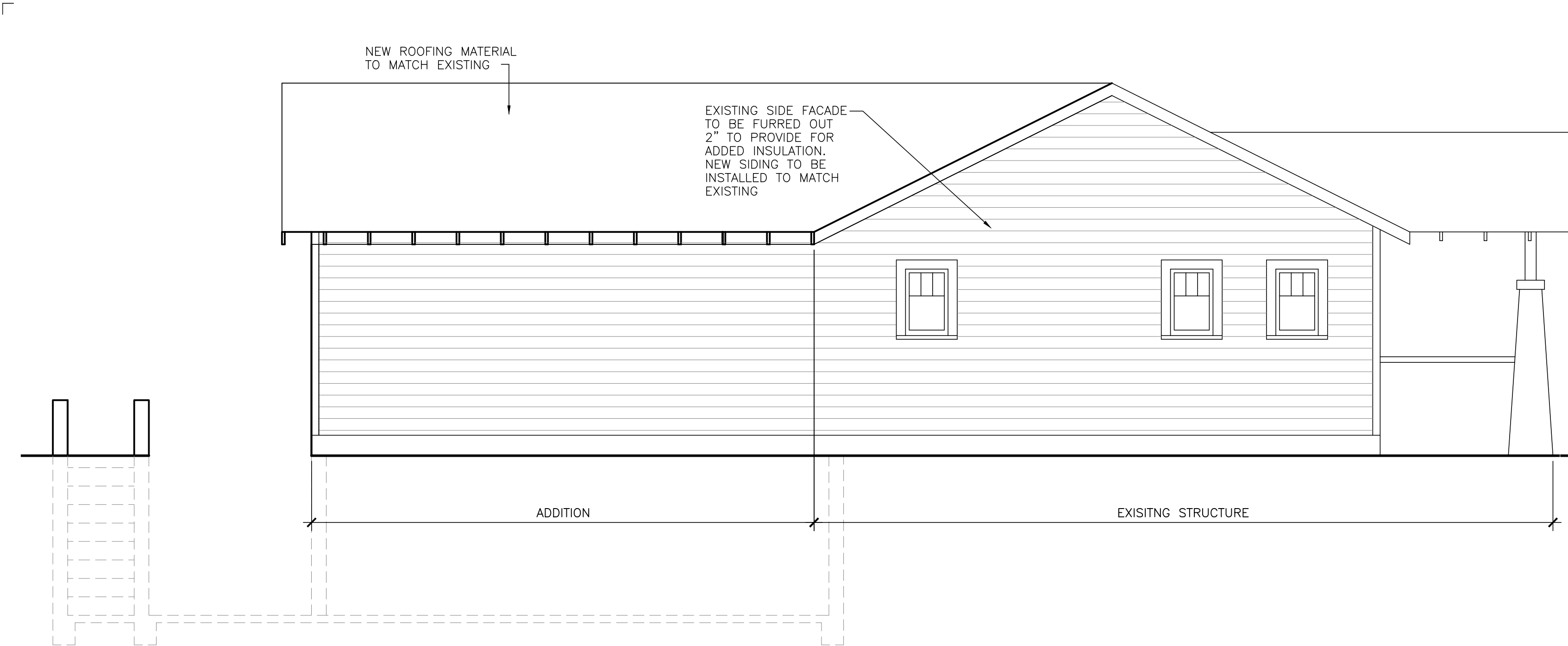
JOB TITLE:

SITE PLAN
AND DATA

SHEET TITLE:

REVISIONS:

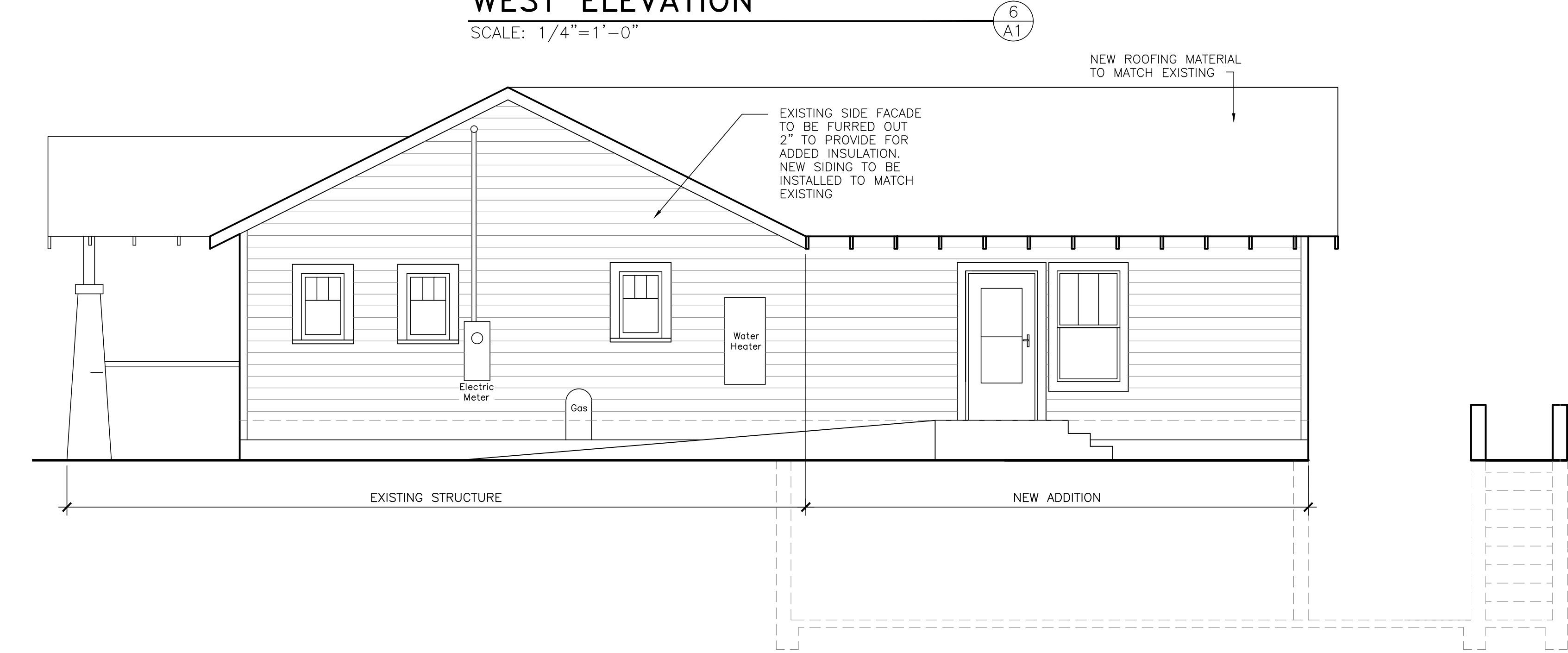
SHEET NO: C1
STATUS:
JOB NO. 008
DATE: 9/09/20



WEST ELEVATION

SCALE: 1/4"=1'-0"

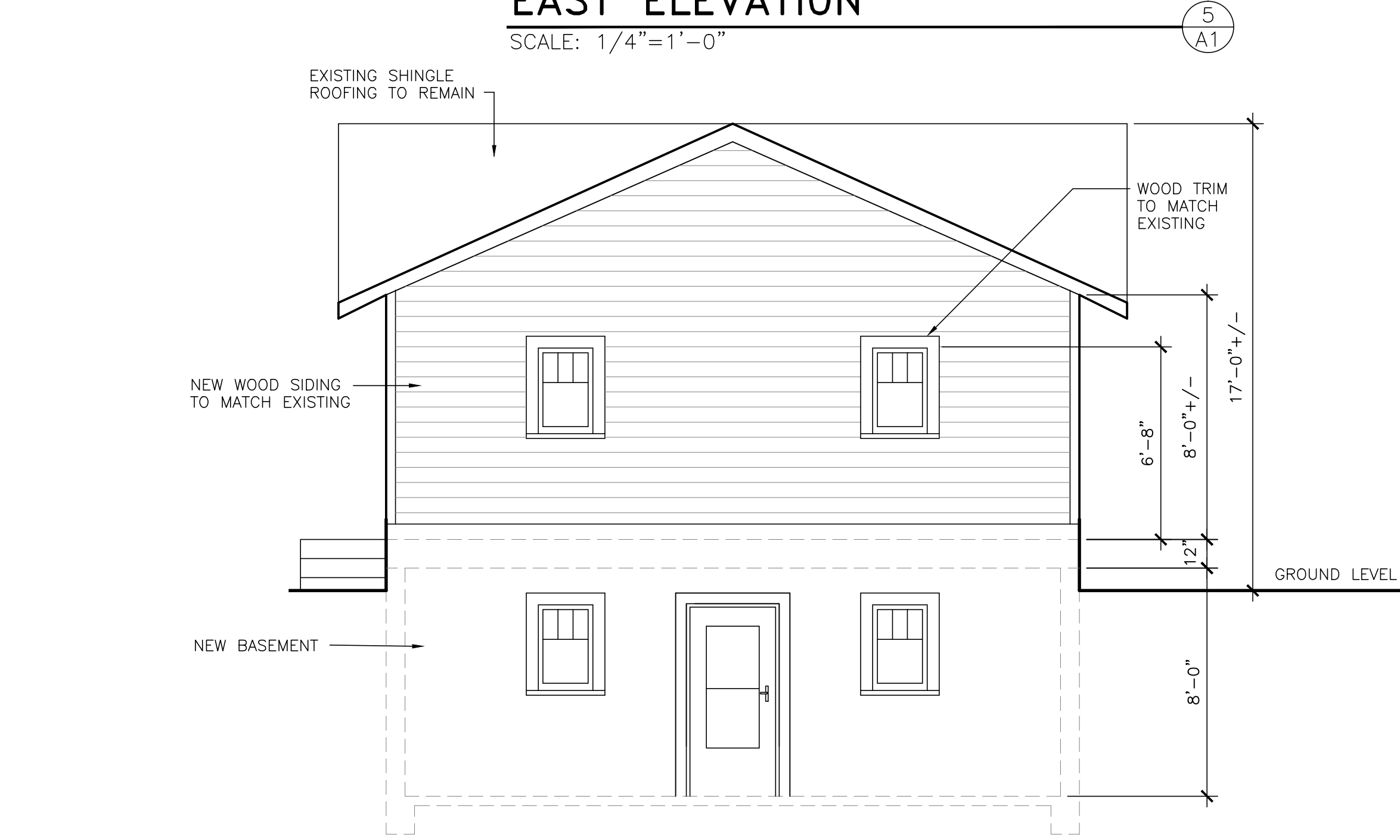
6
A1



EAST ELEVATION

SCALE: 1/4"=1'-0"

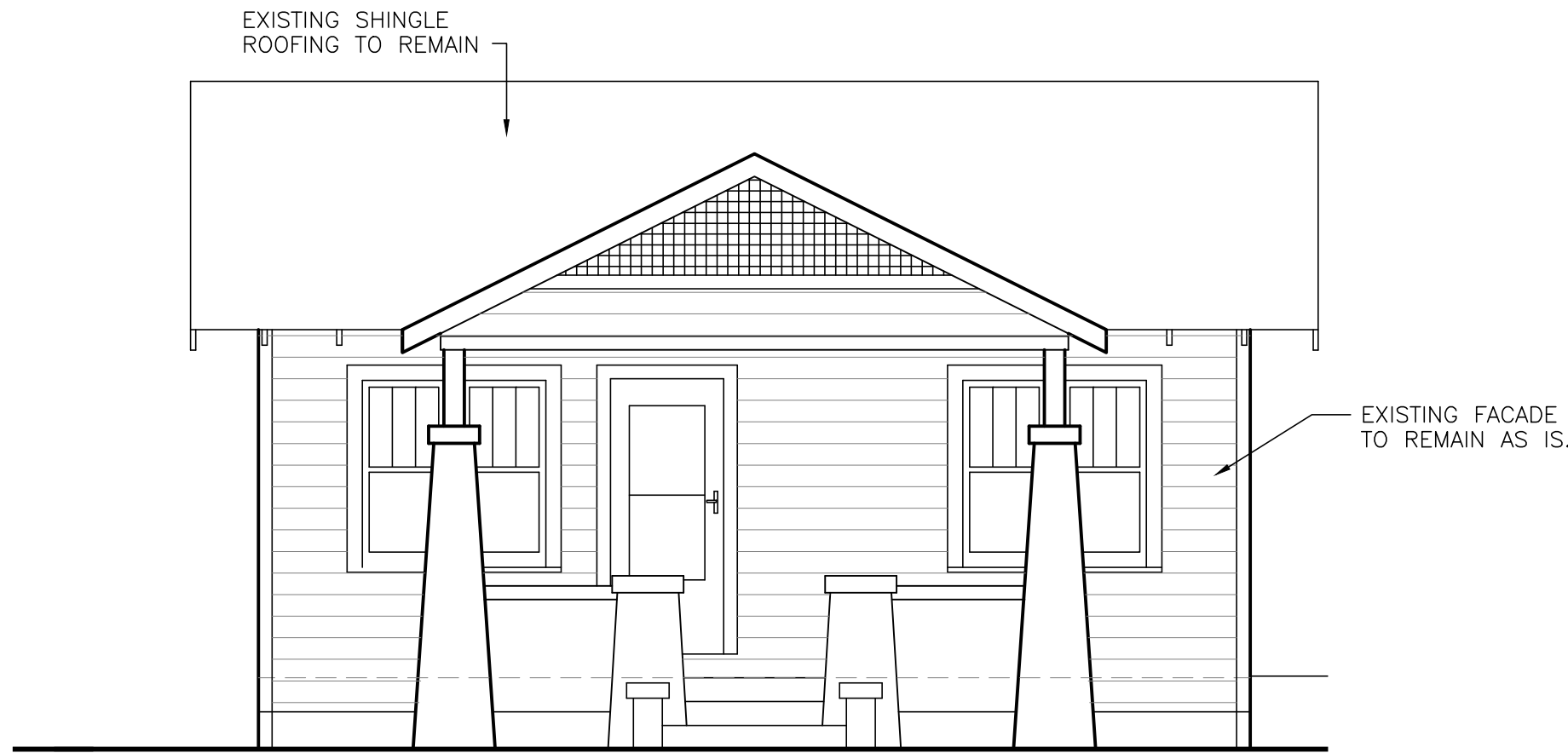
5
A1



NORTH ELEVATION

SCALE: 1/4"=1'-0"

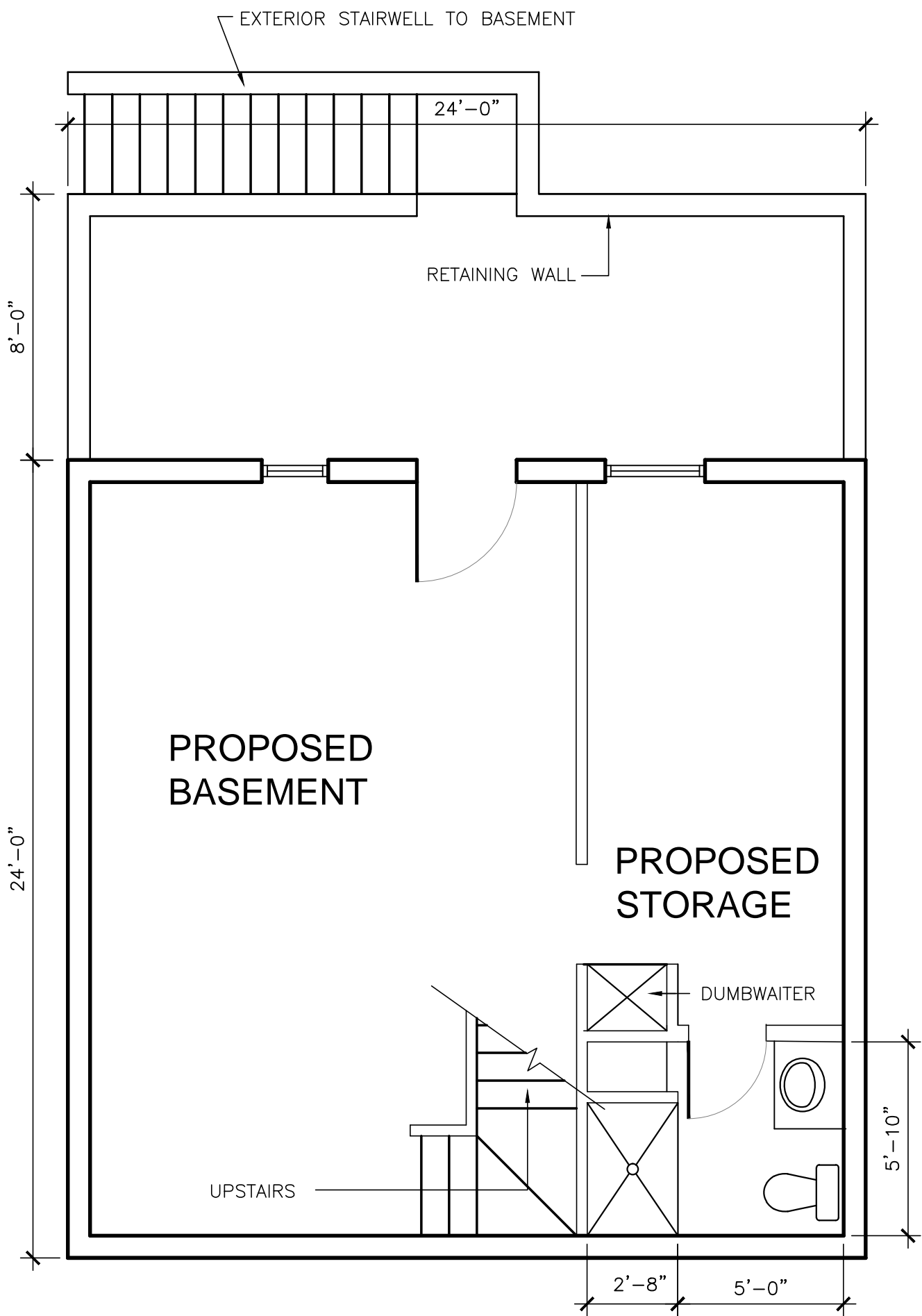
4
A1



SOUTH ELEVATION

SCALE: 1/4"=1'-0"

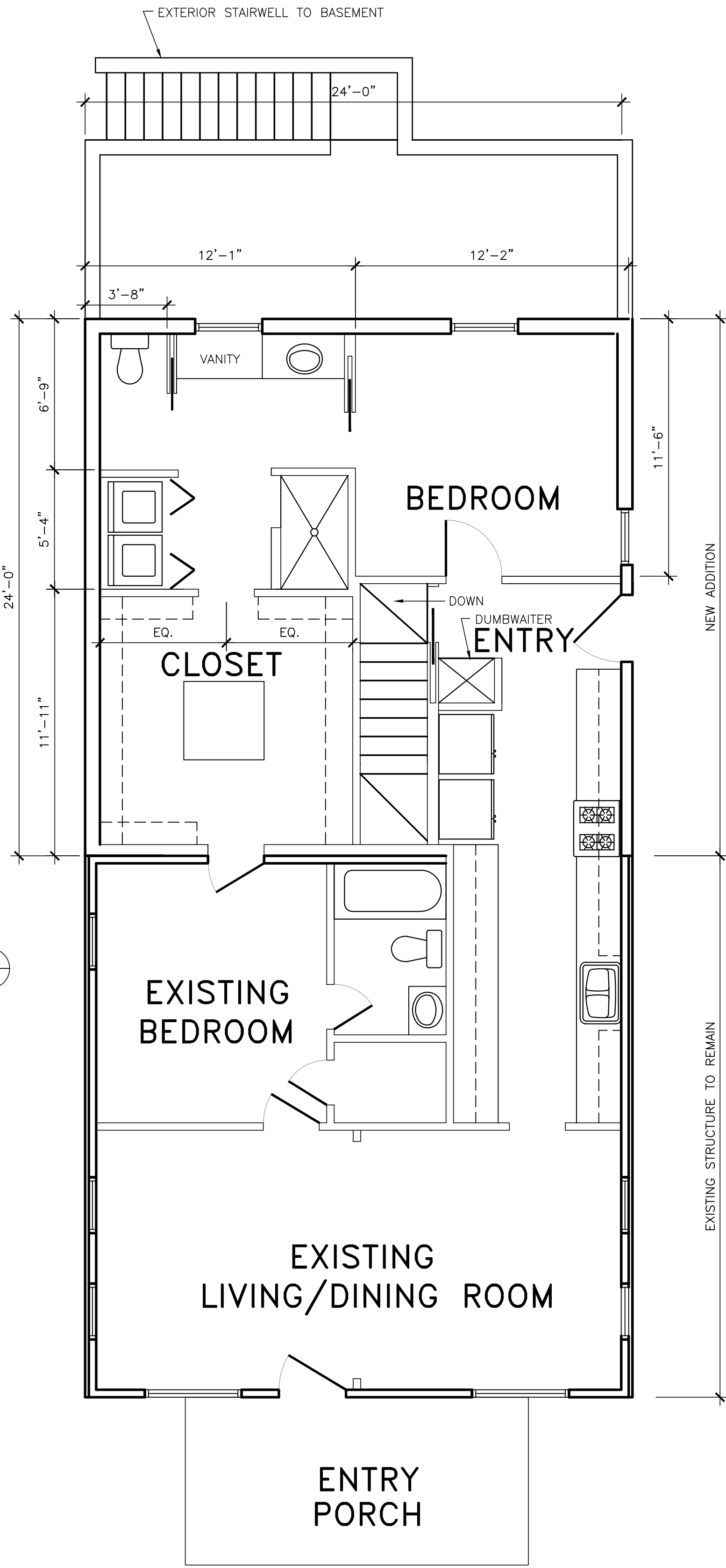
3
A1



BASEMENT LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"

2
A1



FIRST LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"

1
A1

HOUSE RENOVATION AND ADDITION

SCOTT

1415 ROMA AVE. NW

ALBUQUERQUE, NEW MEXICO

JOB TITLE:

SCHEMATIC PLANS
AND ELEVATIONS

SHEET TITLE:

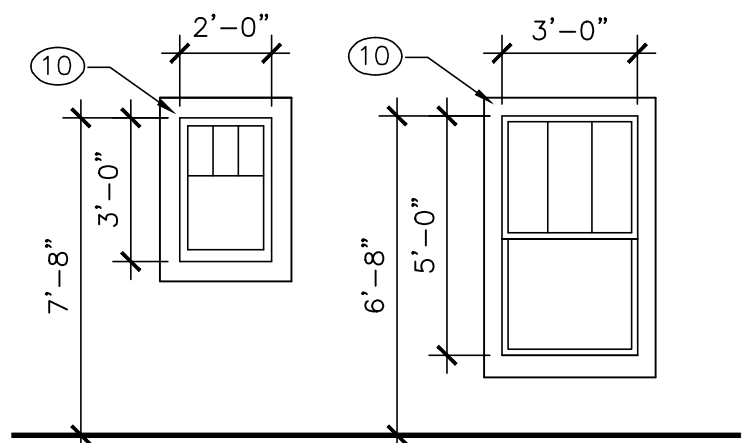
REVISIONS:

SHEET NO: A1

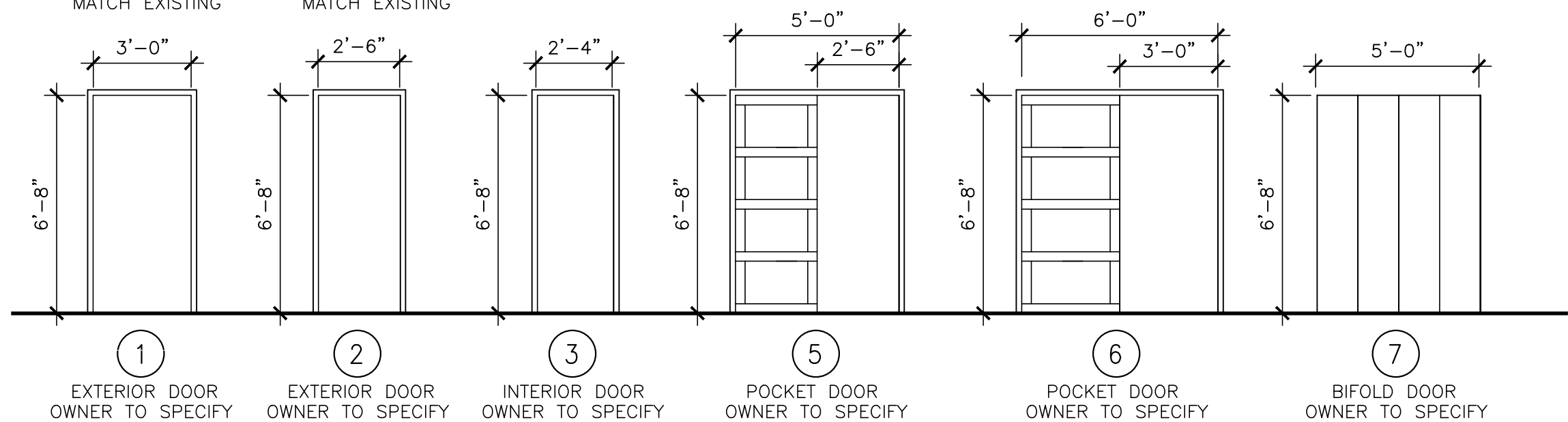
STATUS:

JOB NO.008

DATE:9/09/20



A DOUBLE HUNG MATCH EXISTING
B DOUBLE HUNG MATCH EXISTING



DETAIL

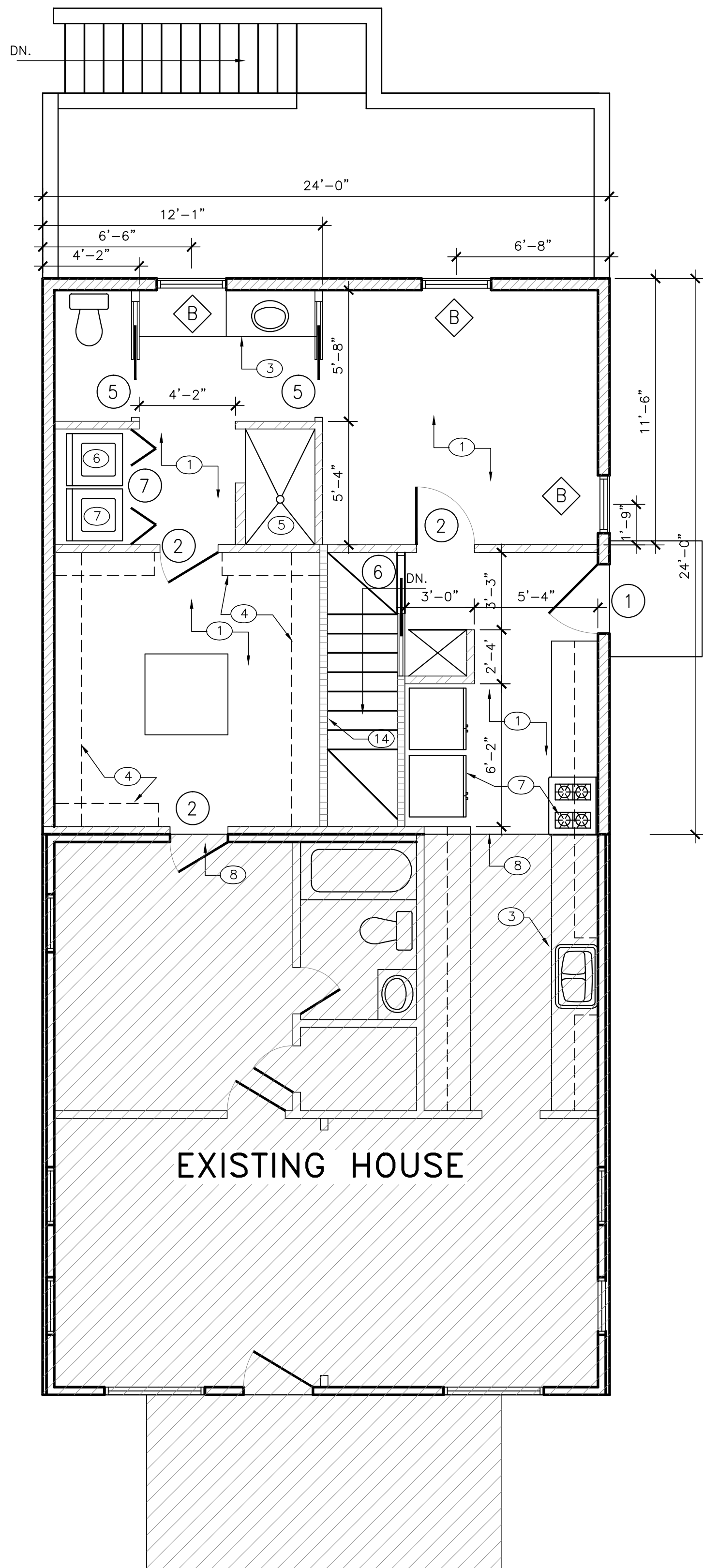
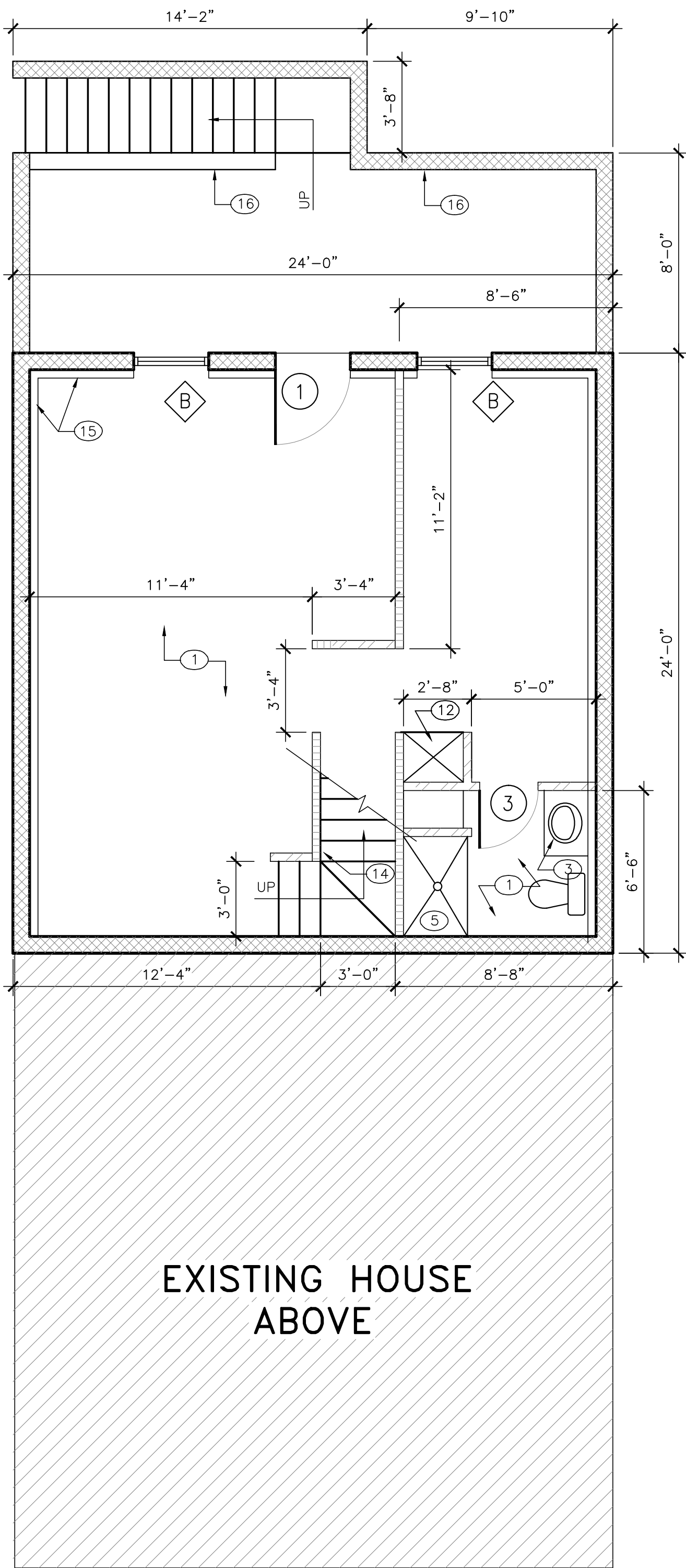
SCALE: 1/4"=1'-0"

4
A2

BASEMENT LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"

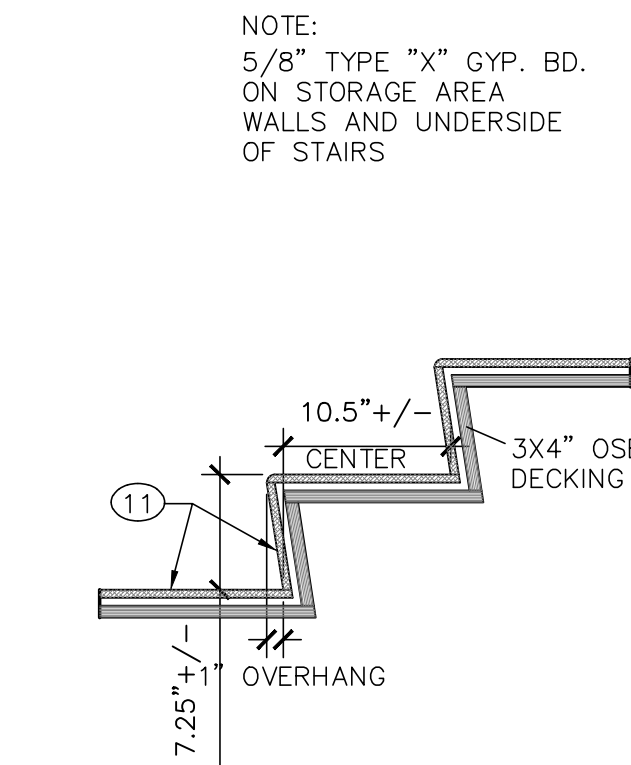
2
A2



FIRST LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"

1
A2



DETAIL

SCALE: 1"=1'-0"

3
A2

GENERAL NOTES:

- DIMENSIONS SHOWN ARE TO FACE OF STUD. UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS SHALL BE INSULATED W/ R22 FIBERGLASS INSULATION UNLESS NOTED OTHERWISE
- VERIFY DIMENSIONS PRIOR TO CONSTRUCTION
- ALL KITCHEN APPLIANCES & CABINETS TO BE SPECIFIED BY OWNER
- INTERIOR FINISH TO BE SPECIFIED BY OWNER
- DISPOSAL TO BE PROVIDED IN KITCHEN
- FLR. MATERIALS TO BE SPECIFIED BY OWNER
- CONSTRUCTION SITE TO BE CLEAN AND SAFE AT ALL TIMES
- COUNTERTOPS AND AND WALL TILES TO BE SPECIFIED BY OWNER
- ALL CONSTRUCTION SHALL BE IN STRICT COMPLIANCE WITH ALL PROVISIONS OF APPLICABLE BLDG CODES. CODE COMPLIANCE SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTORS. IN CASE OF CONFLICT BETWEEN THE DRAWINGS AND APPLICABLE CODES OR CONFLICT WITHIN THE DRAWINGS THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- ALL BATHROOMS TO BE EQUIPED WITH MIRROR AND MEDICINE CABINET
- SEE SITE PLAN FOR MORE INFORMATION ON SITE ISSUES
- ALL CLOSET TO HAVE PAINTED RODS AND SHELVES

KEYED NOTES:

- FLOOR FINISH TO BE SPECIFIED BY OWNER.
- EXTERIOR FINISH TO MATCH EXISTING.
- CABINET, SINK AND COUNTERTOP TO BE SPECIFIED BY OWNER.
- CLOSET ROD AND SHELVING TO BE SPECIFIED BY OWNER
- TILED SHOWER TO BE SPECIFIED BY OWNER AND BUILT AS REQUIRED BY CODE
- LOCATION OF WASHER AND DRYER. VENT AS REQ'D
- NEW APPLIANCES TO BE PROVIDED BY OWNER.
- REMOVE EXISTING WALL. REINFORCE CEILING AND TAKE PROPER PRECAUTIONS.
- REMOVE EXISTING WINDOW OR DOOR. SALVAGE TO OWNER.
- WOOD TRIM TO MATCH EXISTING.
- 12" WOOD TREADS, AND 7.5" RISERS.
- DUMB WAITER. SPECIFICATIONS TO BE PROVIDED BY OWNER.
- FINISH AS SPECIFIED BY OWNER.
- FROVIDE HANDRAIL ON ONE SIDE OF STAIRWELL.
- FUTURE 2x4 WALL WITH R-15 INSULATION
- CMU BLOCK.

WALL LEGEND

- | | |
|--|---|
| | RETAINING WALL (SEE ENGINEERED DETAIL FOR MORE DETAILS) |
| | INTERIOR WALL, 2 X 4 STUDS @ 16" O.C. W/ 1/2" GYP. BD. BOTH SIDES. INSULATE WHERE SPECIFIED BY OWNER. |
| | INTERIOR STRUCTURAL WALL, 2 X 4 STUDS @ 16" O.C. W/ 1/2" W.P. GYP. BD. BOTH SIDES. |
| | EXTERIOR STRUCTURAL WALL, 2 X 6 STUDS @ 16" O.C. W/ 1/2" GYP. BD. INSIDE & WOOD SIDING TO MATCH EXISTING OUTSIDE WITH R-22 INSULATION MINIMUM |
| | EXISTING WALL TO REMAIN. PATCH AND PAINT IF NEEDED. |

HOUSE RENOVATION AND ADDITION
SCOTT
1415 ROMA AVE. NW
ALBUQUERQUE, NEW MEXICO

JOB TITLE:

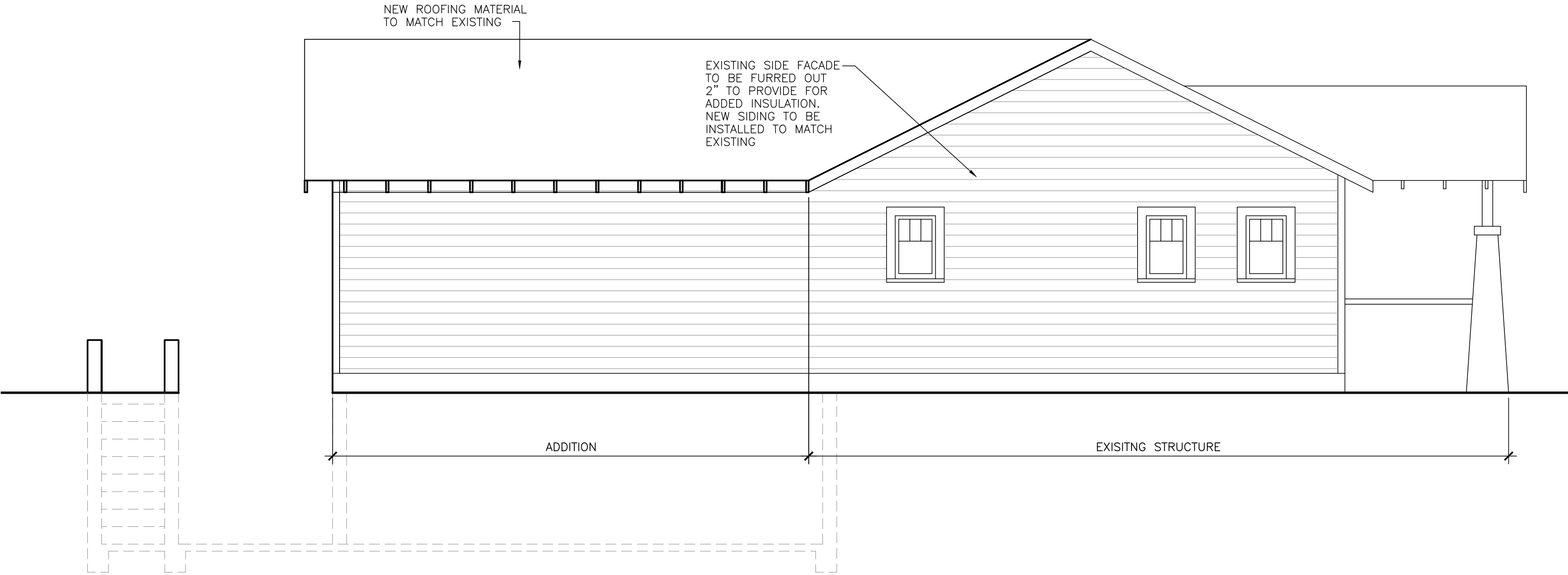
FLOOR PLANS AND
INFORMATION

SHEET TITLE:

REVISIONS:

SHEET NO: **A2**

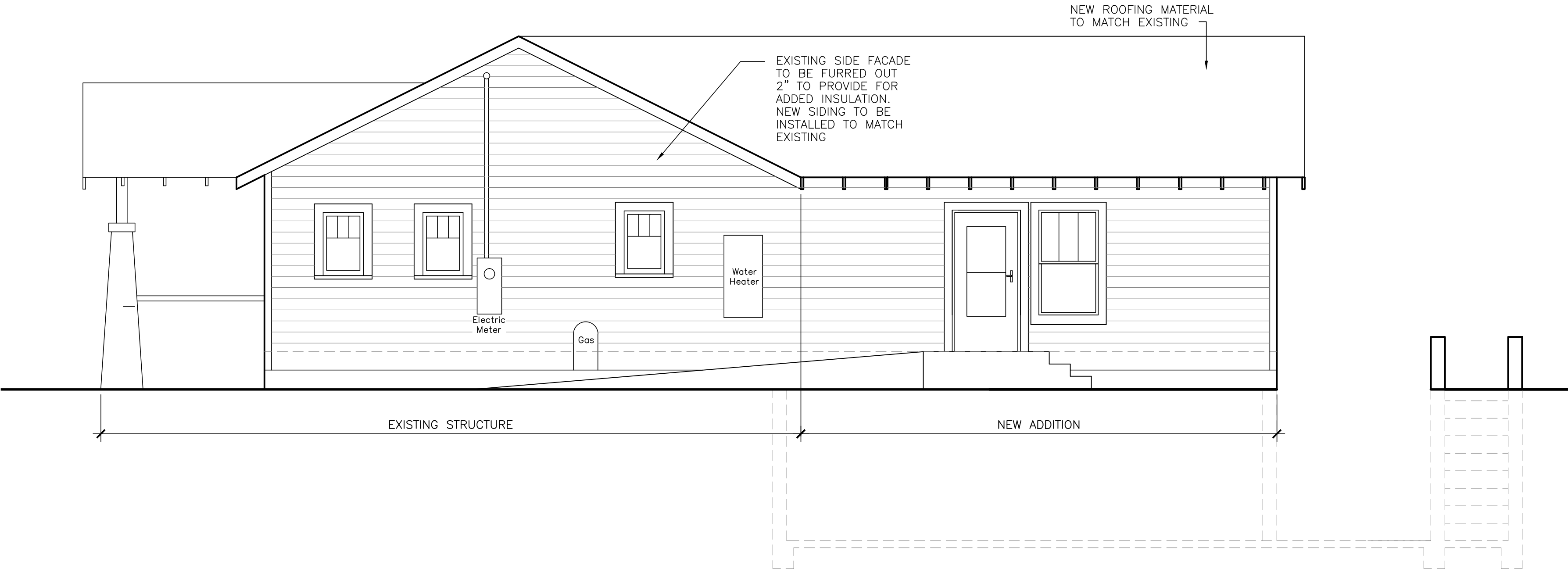
STATUS:
JOB NO.008
DATE:9/09/20



WEST ELEVATION

SCALE: 1/4"=1'-0"

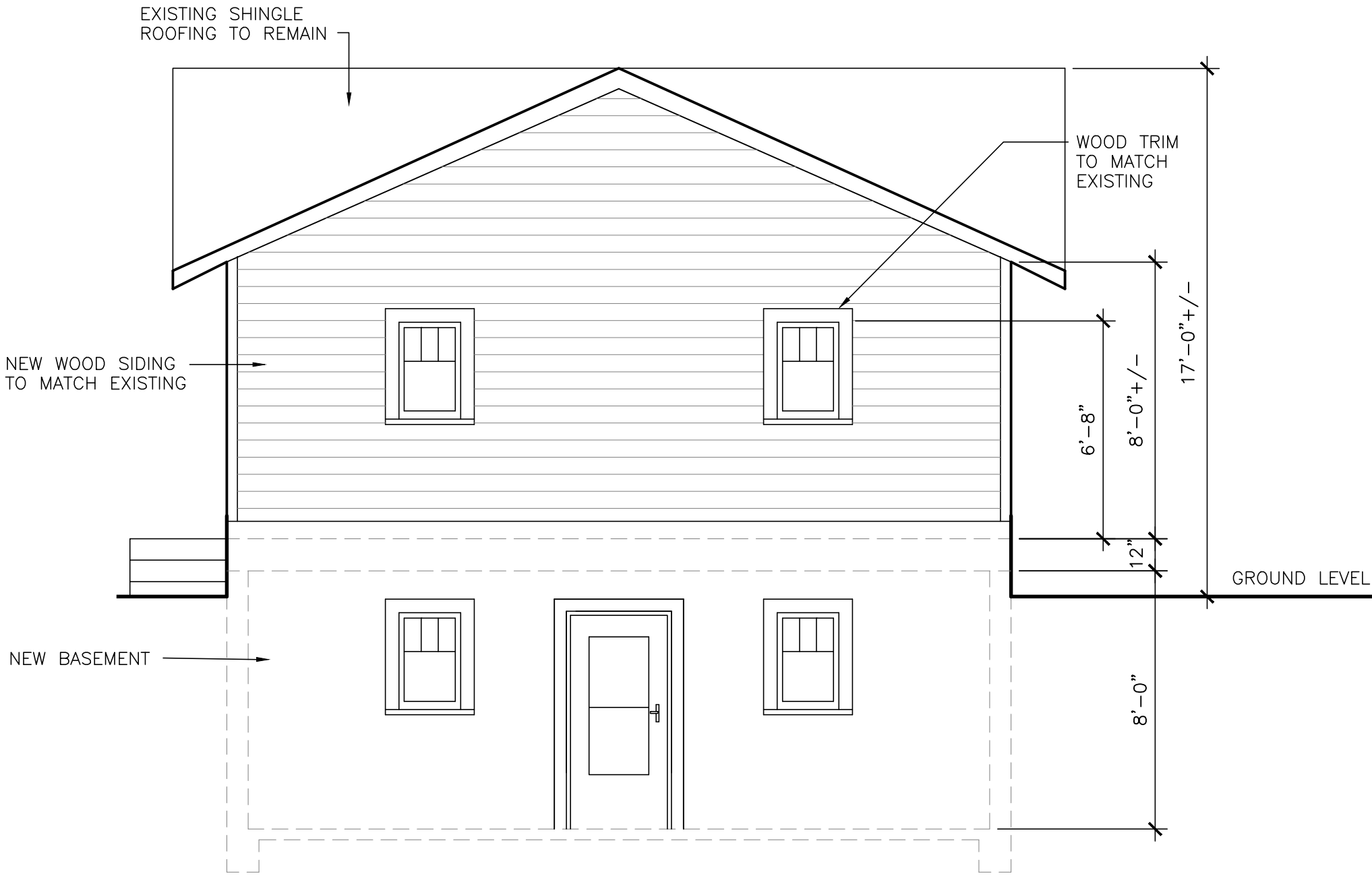
6
A1



EAST ELEVATION

SCALE: 1/4"=1'-0"

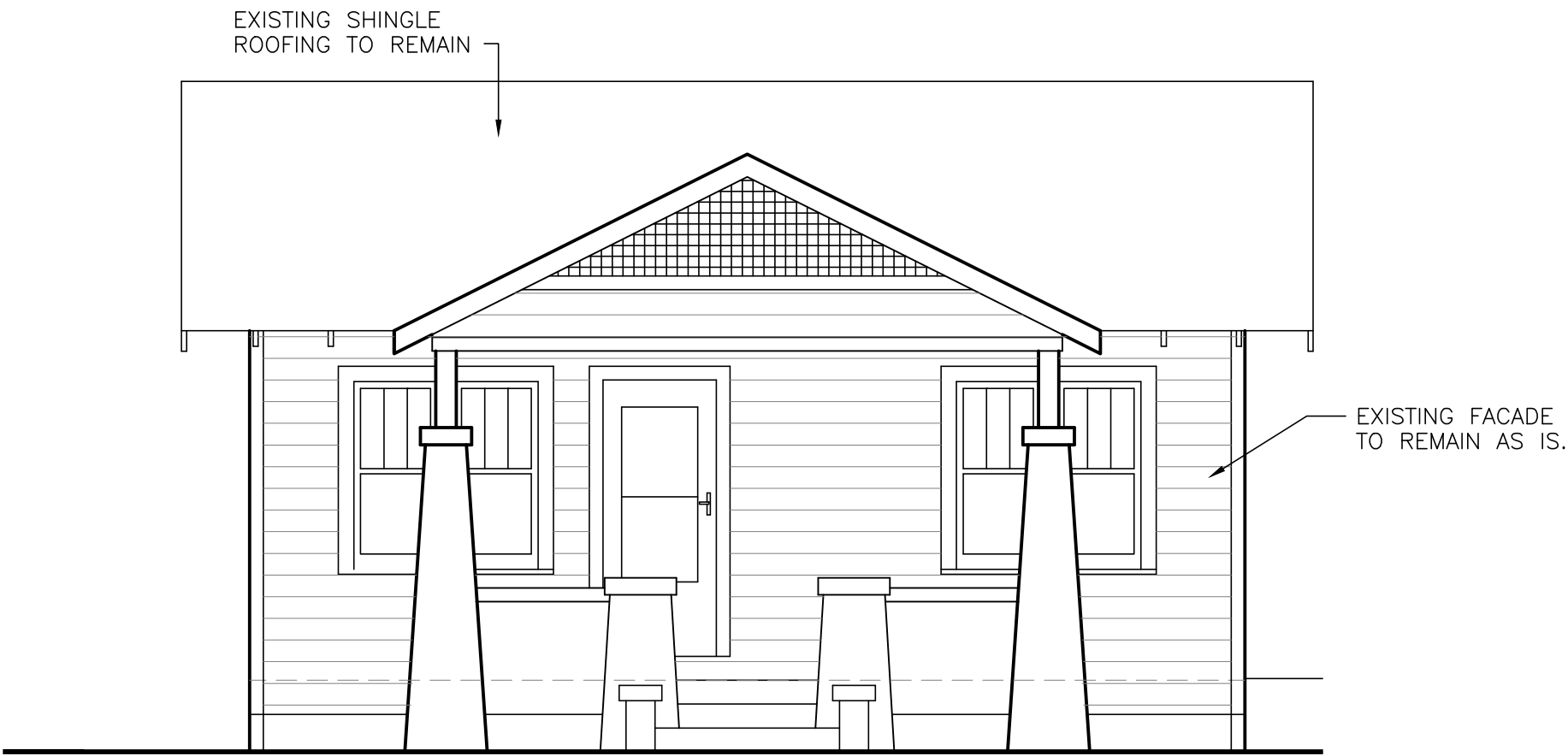
5
A1



NORTH ELEVATION

SCALE: 1/4"=1'-0"

4
A1



SOUTH ELEVATION

SCALE: 1/4"=1'-0"

3
A1

HOUSE RENOVATION AND ADDITION

SCOTT

1415 ROMA AVE. NW

ALBUQUERQUE, NEW MEXICO

JOB TITLE:

ELEVATIONS

SHEET TITLE:

REVISIONS:

SHEET NO: A4

STATUS:

JOB NO.008

DATE:9/09/20

June 4, 2021

LUCC notification for hearing (7-14-2021, 3:00pm)

1415 Roma ave, NW. Albuquerque, NM

87104

Owners Jesse and Robin Scott

jesselscott@gmail.com

Dear Neighbor,

This letter is to inform you of our proposal for an addition to our existing structure at 1415 Roma ave. NW. We are proposing to add to our residence, but our intention is to leave the existing house as is, with minimal cosmetic changes to the front and side facades. Our main focus will be to add a basement, as well and an additional 576 square feet directly behind the existing house that will tie into the residence and will be constructed to match the existing structure in height, style and materials. We will take the up-most steps in preserving the existing home, while contributing to it in a sensitive and respectful manner.

The hearing for this case will be July 14, 2021 at 3:00pm

With much thanks and appreciation,

Kenneth M. Sandoval (representing agent)

505 379 0891

quiensandoval@gmail.com

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION
- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.

B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.

C. No barrier shall prevent a person from coming within five feet of the sign to read it.
2. NUMBER
- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.

B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.
3. PHYSICAL POSTING
- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.


B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.
4. TIME
- Signs must be posted from JUNE 29.2021 To JULY 12. 2021
5. REMOVAL
- A. The sign is not to be removed before the initial hearing on the request.

B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

(Applicant or Agent)

(Date)

I issued 1 signs for this application, 6.10.2021,  (Staff Member)

PROJECT NUMBER: PR-2021-005579 / SI-2021-00858

NOTIFICATION

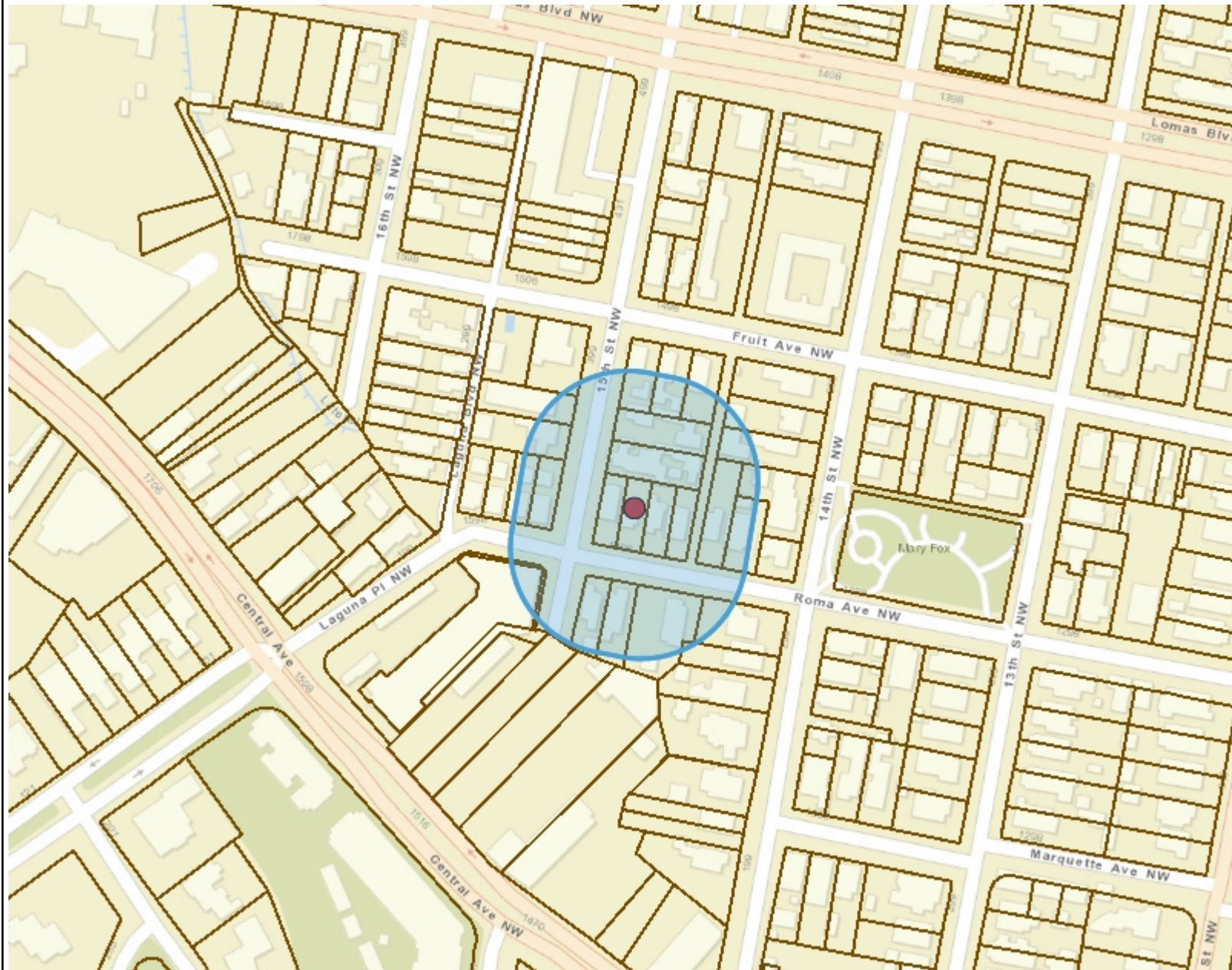


1415 Roma Ave NW



Legend

■ Bernalillo County Parcels



Notes

Buffer: 155 Ft.
ROW Roma: 55 Ft.

432 0 216 432 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
6/7/2021 © City of Albuquerque

1: 2,591

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Naji, Leslie

From: Ken Sandoval <quien_esque@me.com>
Sent: Wednesday, June 9, 2021 8:13 AM
To: chair@abqdna.com; treasurer@abqdna.com; Naji, Leslie
Subject: Public notice.
Attachments: CITY NOTICE SIGNED.pdf; S_A6-Layout1.pdf; Buffer Map - 1415 Roma Ave NW.pdf; S_C1-Layout1.pdf; jesse scott lucc.pdf

External

good morning. Please see attached regarding our residence in Roma Ave.
Much thanks,
Kenneth sandoval
505 379 0891

>
>
>

RICHARDSON AMY LOUISE
1405 ROMA AVE NW
ALBUQUERQUE NM 87104-1243

AVILA REDUCINDA B
1411 ROMA AVE NW
ALBUQUERQUE NM 87104-1243

GOMEZ ROBERTO
316 15TH ST NW
ALBUQUERQUE NM 87104-1218

JACOB RONALD J & CAMPBELL LESLIE A
317 14TH ST NW
ALBUQUERQUE NM 87104

HIGHLINE LIVING LLC
7563 WILLOW RUN DR NE
ALBUQUERQUE NM 87113-0400

SALISBURY KRISTIN L & MEEKER PAUL K
5003 12TH ST NW
ALBUQUERQUE NM 87107-3809

SCOTT JESSE
1415 ROMA AVE NW
ALBUQUERQUE NM 87104

POFFENBERGER MICHAEL
313 15TH ST NW
ALBUQUERQUE NM 87104-1251

FAMILY HOUSING DEVELOPMENT
CORPORATION
8220 LOUISIANA BLVD NE SUITE B
ALBUQUERQUE NM 87113

KELLY BRIAN J & MARIA R
1306 FRUIT AVE NW
ALBUQUERQUE NM 87104-1226

PALCZA ZSOLT
7322 WATERSIDE DR
HUNTINGTON BEACH CA 92648-3046

KRAMME NOREEN & OWEN
1420 ROMA AVE NW
ALBUQUERQUE NM 87104-1244

VIGIL BARBARA
1500 FRUIT AVE NW
ALBUQUERQUE NM 87104-1230

SENECHAL JOSEPH L
225 14TH ST NW
ALBUQUERQUE NM 87104-1212

BULLOCK JOE S & SHEILA M TRUSTEES
2008 LVT
1500 VISTA DEL VALLE
LAS CRUCES NM 88007-8900

WALKER LINDSAY
1505 ROMA AVE NW
ALBUQUERQUE NM 87104-1245

TAYLOR RONALD E ETUX
312 15TH ST NW
ALBUQUERQUE NM 87104-1218

DILTS GACO DESIGNS LLC
955 SANDRA LN
BOSQUE FARMS NM 87068-8930

TORREY COLIN G
321 TULANA DR SE
ALBUQUERQUE NM 87106-1415

SCOTT JESSE & ROBIN JOSEPHINE
1419 ROMA AVE NW
ALBUQUERQUE NM 87104-1243

BOWMAN MARILYN
1424 FRUIT AVE NW
ALBUQUERQUE NM 87104-1228

CROMEANS JACQUELINE & BELLO ROBERT
1424 ROMA AVE NW
ALBUQUERQUE NM 87104

ACHREKAR ABINASH P & SHANKER SHALINI
TRUSTEES ACHREKAR SHANKER RVT
311 14TH ST NW
ALBUQUERQUE NM 87104-1214

BLACKWELL GREG
1418 ROMA AVE NW
ALBUQUERQUE NM 87104

REYNOLDS LOU
1503 CENTRAL AVE NW UNIT 104
ALBUQUERQUE NM 87104-1181

FUNES RAYMON B
1503 CENTRAL AVE NW UNIT 105
ALBUQUERQUE NM 87104

RYAN DAVID & CLAUDIA C TRUSTEES RYAN
LVT
813 MOUNTAIN RD NW
ALBUQUERQUE NM 87102-0000

WOEHRLE SOPHIE R
1503 CENTRAL AVE NW UNIT 202
ALBUQUERQUE NM 87104-1152

BARELA CANDACE S
1503 CENTRAL AVE NW UNIT 109
ALBUQUERQUE NM 87104-1161

BLAUGRUND LEE S
PO BOX 7817
ALBUQUERQUE NM 87194

MONTOYA AVA
1503 CENTRAL AVE NW UNIT 110
ALBUQUERQUE NM 87104-1181

MCCARTHY STEPHEN R
1503 CENTRAL AVE NW UNIT 102
ALBUQUERQUE NM 87104-1181

TUCKER MATTHEW T
1503 CENTRAL AVE NW UNIT 201
ALBUQUERQUE NM 87104-1152

BELL TRADING POST OFFICE LLC
PO BOX 7817
ALBUQUERQUE NM 87194-7817

EDKIN BENJAMIN D
1503 CENTRAL AVE NW 103
ALBUQUERQUE NM 87104-1181

JERGE JEREMY G & WILLIAMS CHRISTINE M
1503 CENTRAL AVE NW UNIT 106
ALBUQUERQUE NM 87104-1181

BLAUGRUND LEE S
PO BOX 7817
ALBUQUERQUE NM 87194

HARTMAN LYNDIA
1812 PEDREGOSO CT SE
ALBUQUERQUE NM 87123-4415

BURRELL COLIN JOSEPH
1503 CENTRAL AVE NW UNIT 111
ALBUQUERQUE NM 87104-1181

HERLE HERMAN G & WILLIAMS
CHRISTINE M
1503 CENTRAL AVE NW UNIT 106
ALBUQUERQUE NM 87104-1181

DELL TRADING POST OFFICE LLC
PO BOX 7817
ALBUQUERQUE NM 87104-7817

RICHARDSON AMY LOUISE
1405 ROMA AVE NW
ALBUQUERQUE NM 87104-1243

AYLA MEDICINA B
1411 ROMA AVE NW
ALBUQUERQUE NM 87104-1243

BURRELL COLIN JOSEPH
1503 CENTRAL AVE NW UNIT 111
ALBUQUERQUE NM 87104-1181

RYAN DAVID & CLAUDIA C TRUSTEES
RYAN LV
811 MOUNTAIN RD NW
ALBUQUERQUE NM 87102-0000

WELL GREG
ROMA AVE NW
BUERQUE NM 87104

GOMEZ ROBERTO
35TH ST NW
QUERQUE NM 87104-1218

BLAUGRUND LEE S
PO BOX 7817
ALBUQUERQUE NM 87194

TORREY COLIN G
321 TULANA DR SE
ALBUQUERQUE NM 87106-1415

BLAUGRUND LEE S
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ALBUQUERQUE NM 87194

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1503 CENTRAL AVE NW UNIT 201
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BULLOCK JOE S & SHEILA M TRUSTEES
2008 LV
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LAS CRUCES NM 88007-8900

PALCA ZSOFT
7322 WATERSIDE DR
HUNTINGTON BEACH CA 92648-3046

REYNOLDS LOU
1503 CENTRAL AVE NW UNIT 104

TAYLOR RONALD E ETUX
312 15TH ST NW
ALBUQUERQUE NM 87104-1218

HARTMAN LYNDIA
1812 PEDREGOSO CT SE
ALBUQUERQUE NM 87123-4415

1500 FRUIT AVE NW
ALBUQUERQUE NM 87104-1230

BARTELA CANDACE S
1503 CENTRAL AVE NW UNIT 109
ALBUQUERQUE NM 87104-1161

SALSBURY KRISTIN L & MEKKER PAUL
K
5003 12TH ST NW
ALBUQUERQUE NM 87107-3809

YES RAYMON B
13 CENTRAL AVE NW UNIT 105
UQUERQUE NM 87104

WOEHRL SOPHIE R
1503 CENTRAL AVE NW UNIT 202
ALBUQUERQUE NM 87104-1151

SENECHAL JOSEPH L
225 14TH ST NW
ALBUQUERQUE NM 87104-1212

KRAMMER NOREEN & OWEN
1420 ROMA AVE NW
ALBUQUERQUE NM 87104-1244

CHOMEANS JACQUELINE & BELLO
ROBERT
1424 ROMA AVE NW
ALBUQUERQUE NM 87104

WALKER LINDSAY
1505 ROMA AVE NW
ALBUQUERQUE NM 87104-1245

FAMILY HOUSING DEVELOPMENT
CORPORATION
8220 LOUISIANA BLVD NE SUITE B
ALBUQUERQUE NM 87113

HIGHLINE LIVING LLC
7563 WILLOW RUN DR NE
ALBUQUERQUE NM 87113-0400

MONTVOYA AVA
1503 CENTRAL AVE NW UNIT 110
ALBUQUERQUE NM 87104-1181

POFFENBERGER MICHAEL
313 15TH ST NW
ALBUQUERQUE NM 87104-1251

DAN J & MARIA R
31T AVE NW
ERQUE NM 87104-1226

BOWMAN MARILYN
1424 FRUIT AVE NW
ALBUQUERQUE NM 87104-1228

MCCARTHY STEPHEN R
1503 CENTRAL AVE NW UNIT 102
ALBUQUERQUE NM 87104-1181

EDWIN BENJAMIN D
1503 CENTRAL AVE NW 103
ALBUQUERQUE NM 87104-1181

JACOB RONALD J
317 14TH ST NW
ALBUQUERQUE NM

ACHREKAR ABINASH P & SHY
SHALINI TRUSTEES ACHREKA
SHANKER RV
311 14TH ST NW
ALBUQUERQUE NM 87104-1214

June 4, 2021

LUCC notification for hearing (7-14-2021, 3:00pm)

1415 Roma ave, NW. Albuquerque, NM

87104

Owners Jesse and Robin Scott

jesselscott@gmail.com

Dear Neighbor,

This letter is to inform you of our proposal for an addition to our existing structure at 1415 Roma ave. NW. We are proposing to add to our residence, but our intention is to leave the existing house as is, with minimal cosmetic changes to the front and side facades. Our main focus will be to add a basement, as well and an additional 576 square feet directly behind the existing house that will tie into the residence and will be constructed to match the existing structure in height, style and materials. We will take the up-most steps in preserving the existing home, while contributing to it in a sensitive and respectful manner.

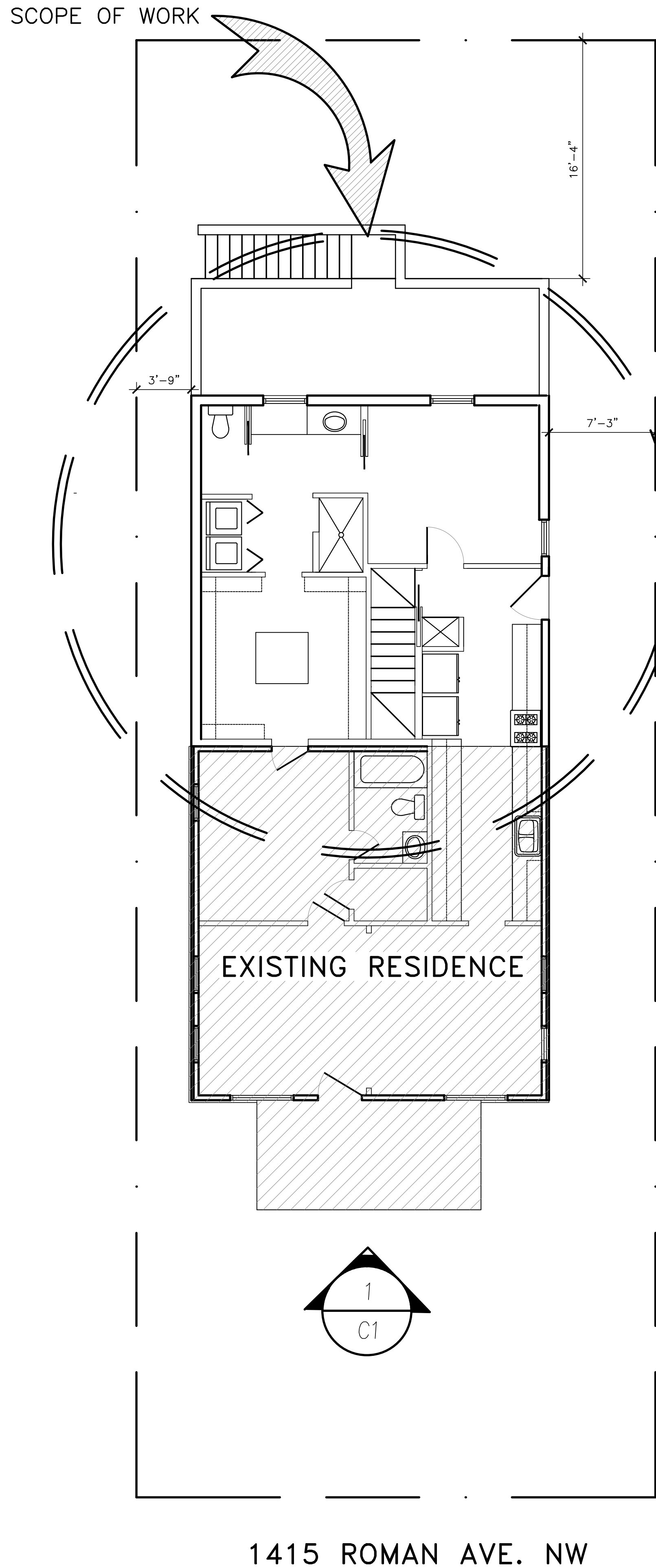
The hearing for this case will be July 14, 2021 at 3:00pm

With much thanks and appreciation,

Kenneth M. Sandoval (representing agent)

505 379 0891

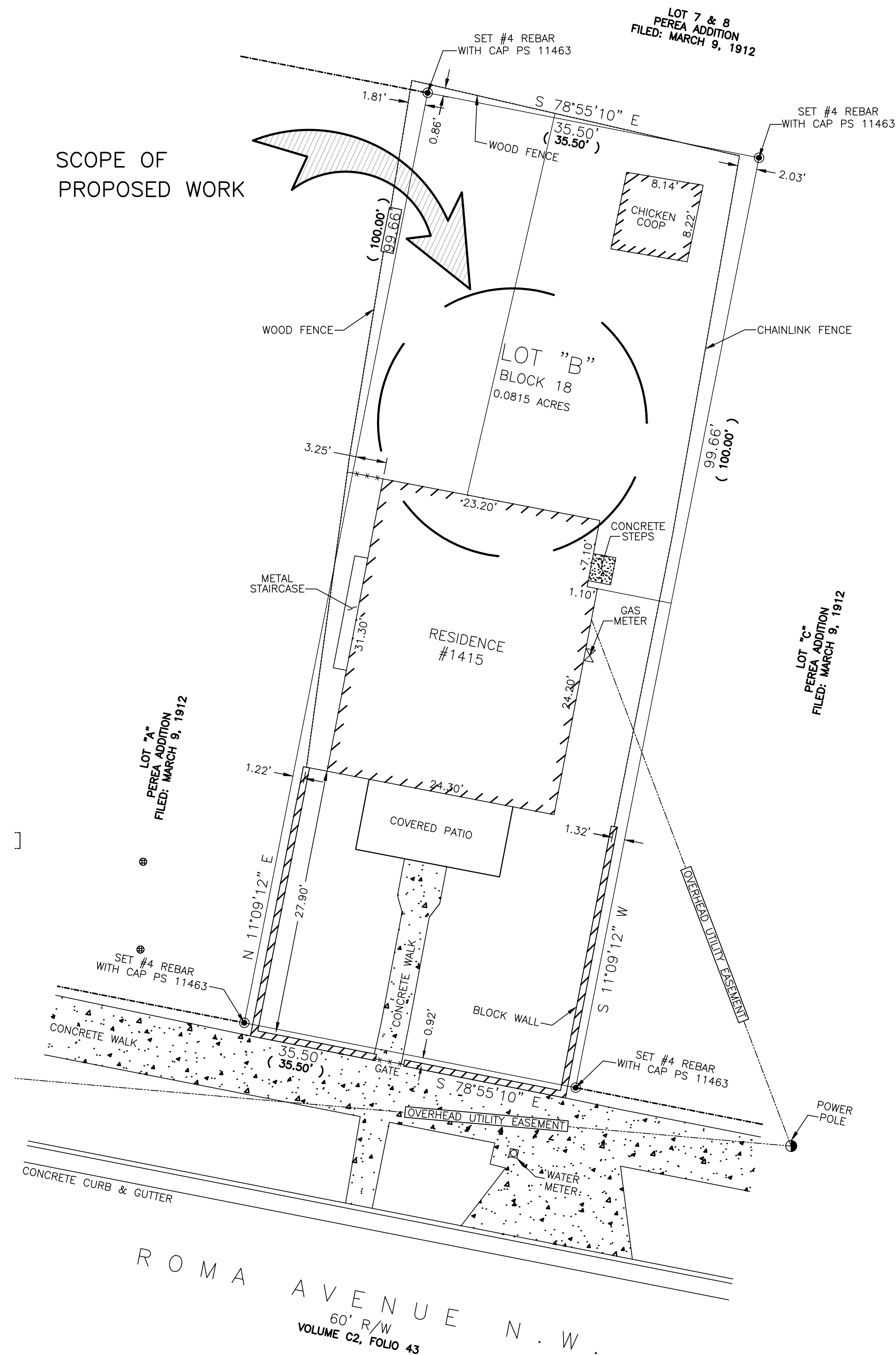
quiensandoval@gmail.com



SITE PLAN WITH ADDITION

SCALE: 3/16"=1'-0"

3
C1



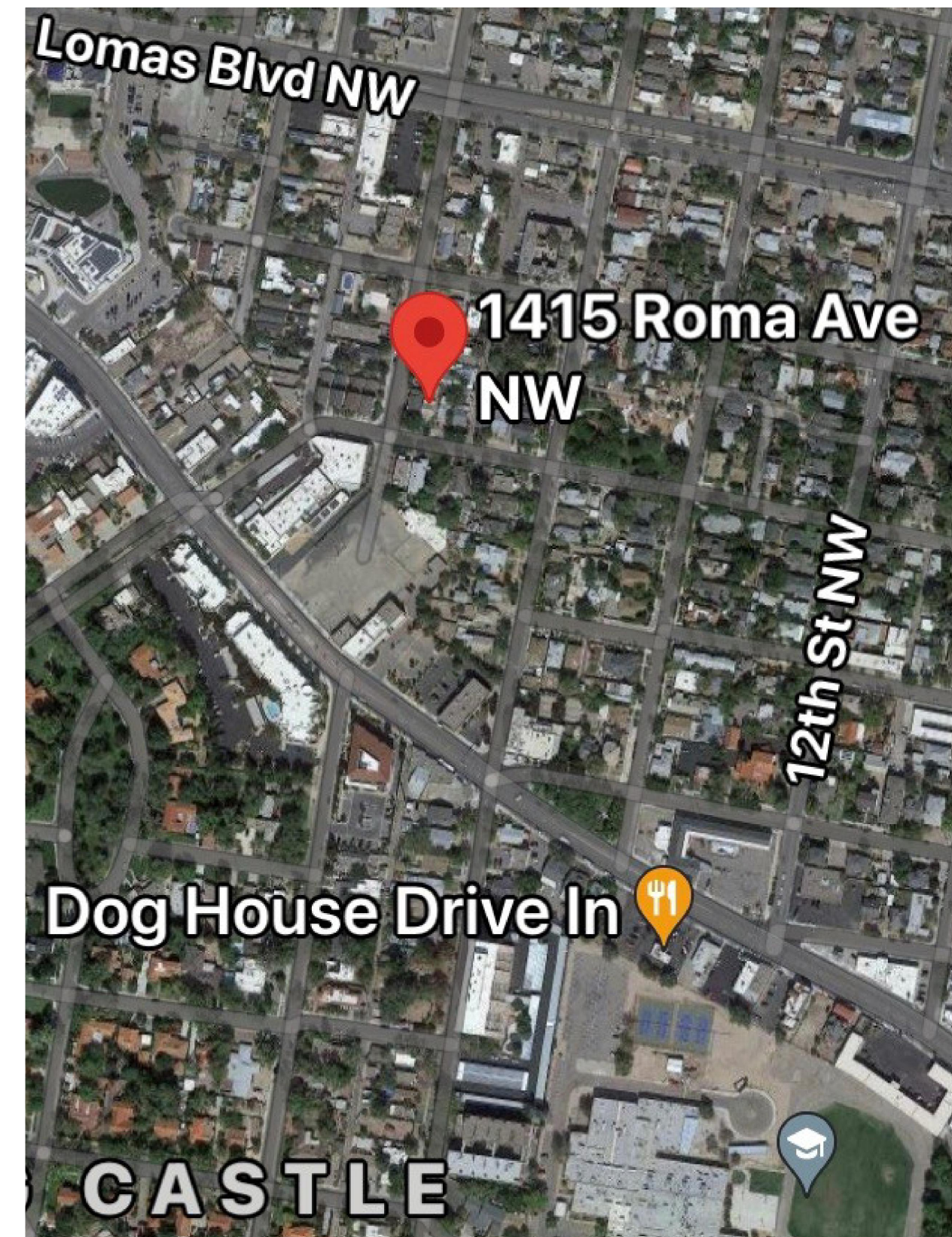
SURVEY. EXISTING CONDITIONS

SCALE: 1/8"=1'-0"

2
C1

DATA:

EXISTING RESIDENCE:	592 SF
EXISTING FRONT PORCH:	115 SF
EXISTING LOT:	3538 SF
PROPOSED HEATED ADDITION:	576 SF
PROPOSED UN HEATED BASEMENT:	576 SF
OUTDOOR PATIO SPACE:	192 SF



VICINITY MAP

NTS

1
C1



EXISTING VIEW OF RESIDENCE

NTS

1
C1

HOUSE RENOVATION AND ADDITION
SCOTT
1415 ROMA AVE. NW
ALBUQUERQUE, NEW MEXICO

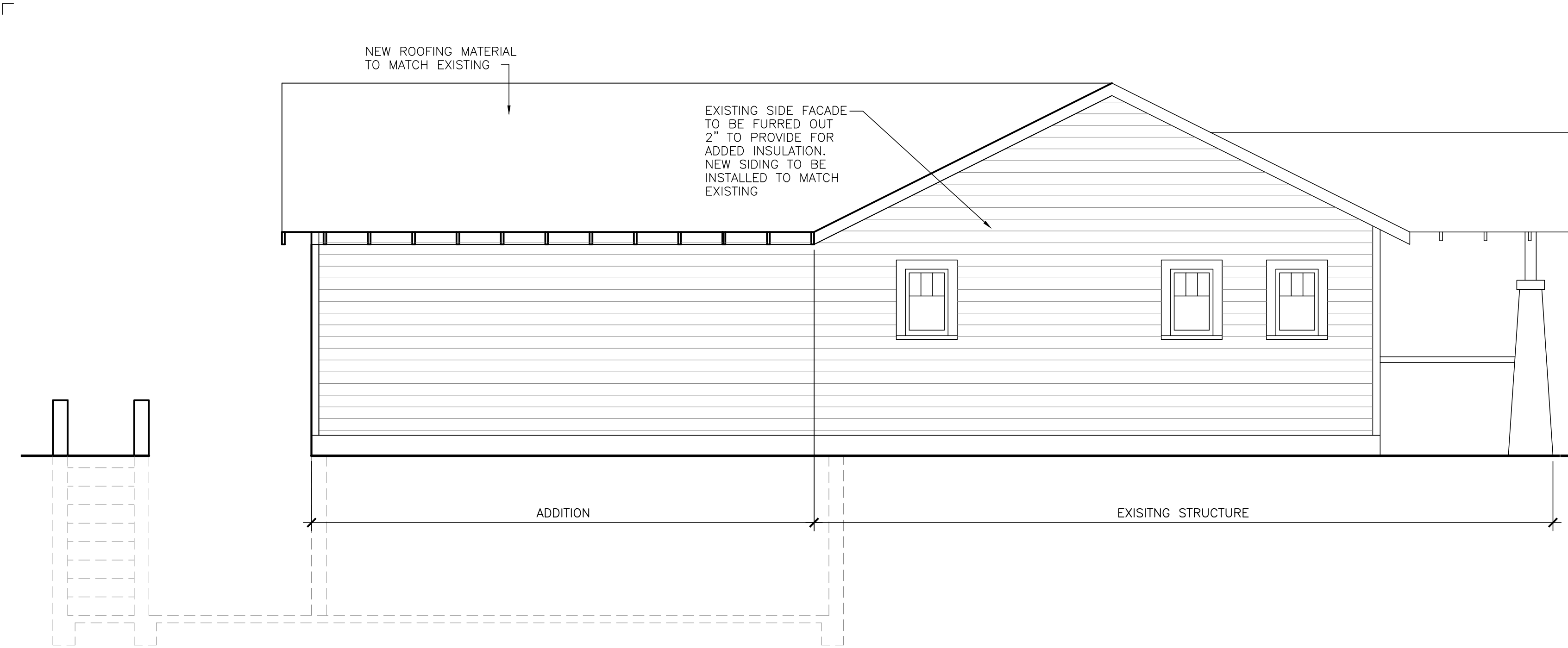
JOB TITLE:

SITE PLAN

SHEET TITLE:

REVISIONS:

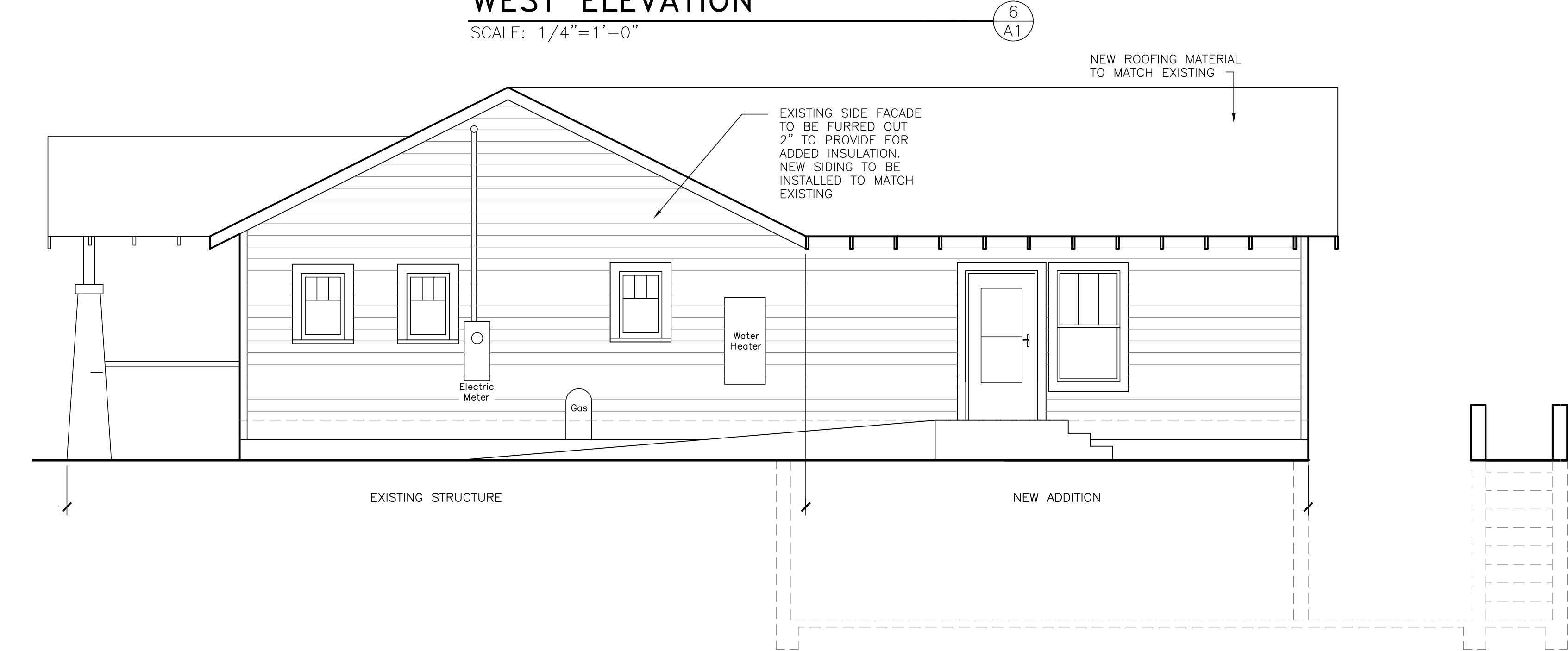
SHEET NO: C1
STATUS:
JOB NO. 008
DATE: 9/09/20



WEST ELEVATION

SCALE: 1/4"=1'-0"

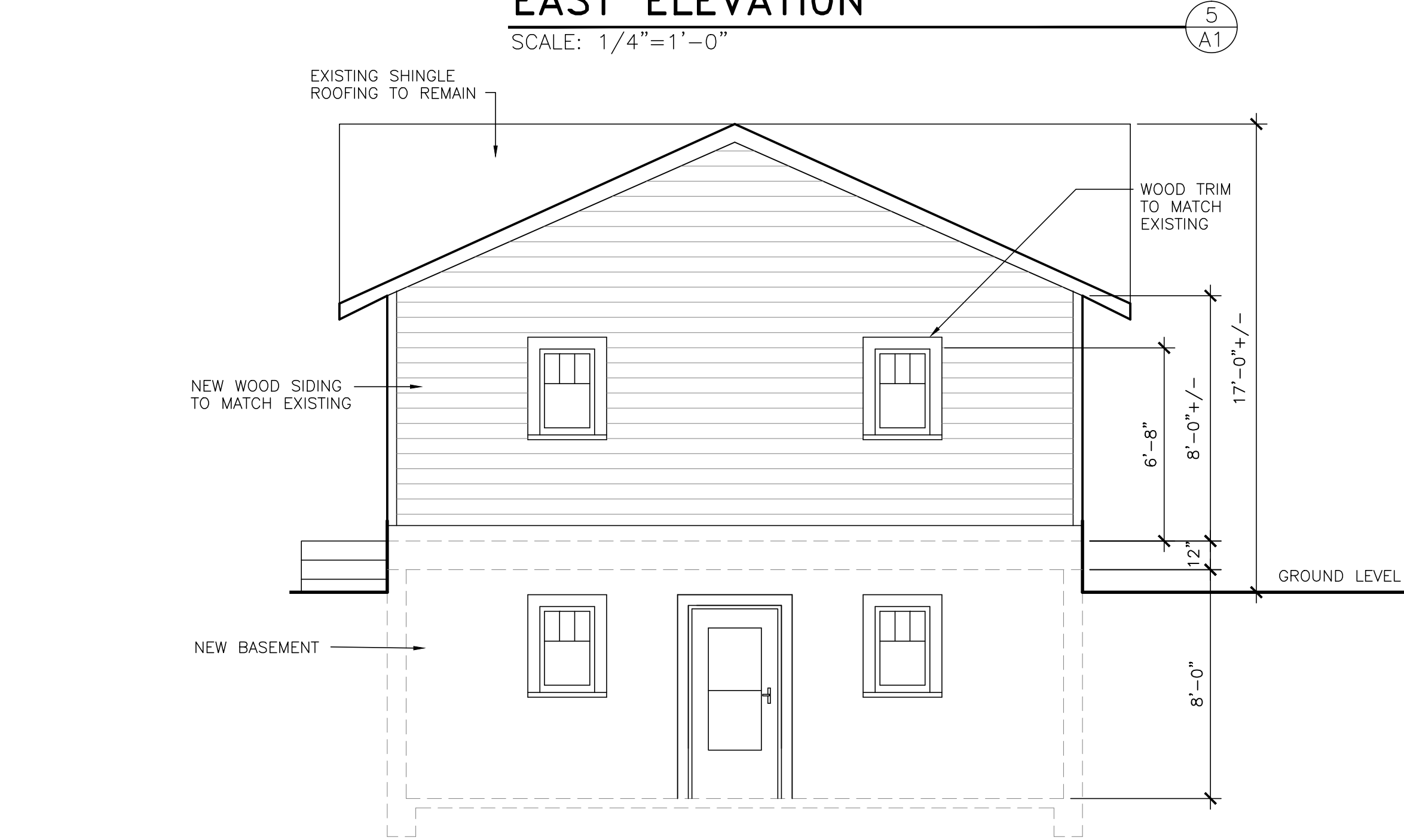
6
A1



EAST ELEVATION

SCALE: 1/4"=1'-0"

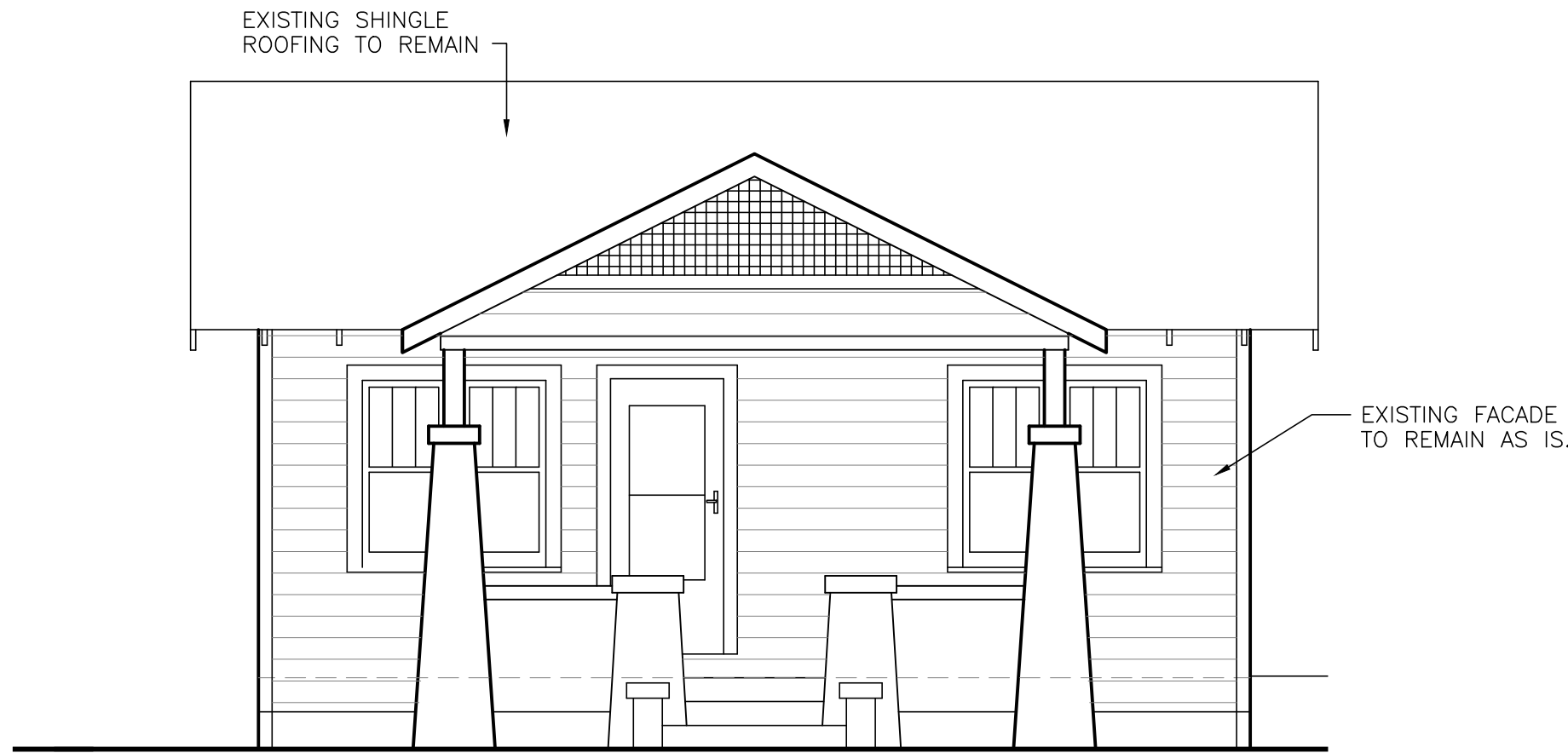
5
A1



NORTH ELEVATION

SCALE: 1/4"=1'-0"

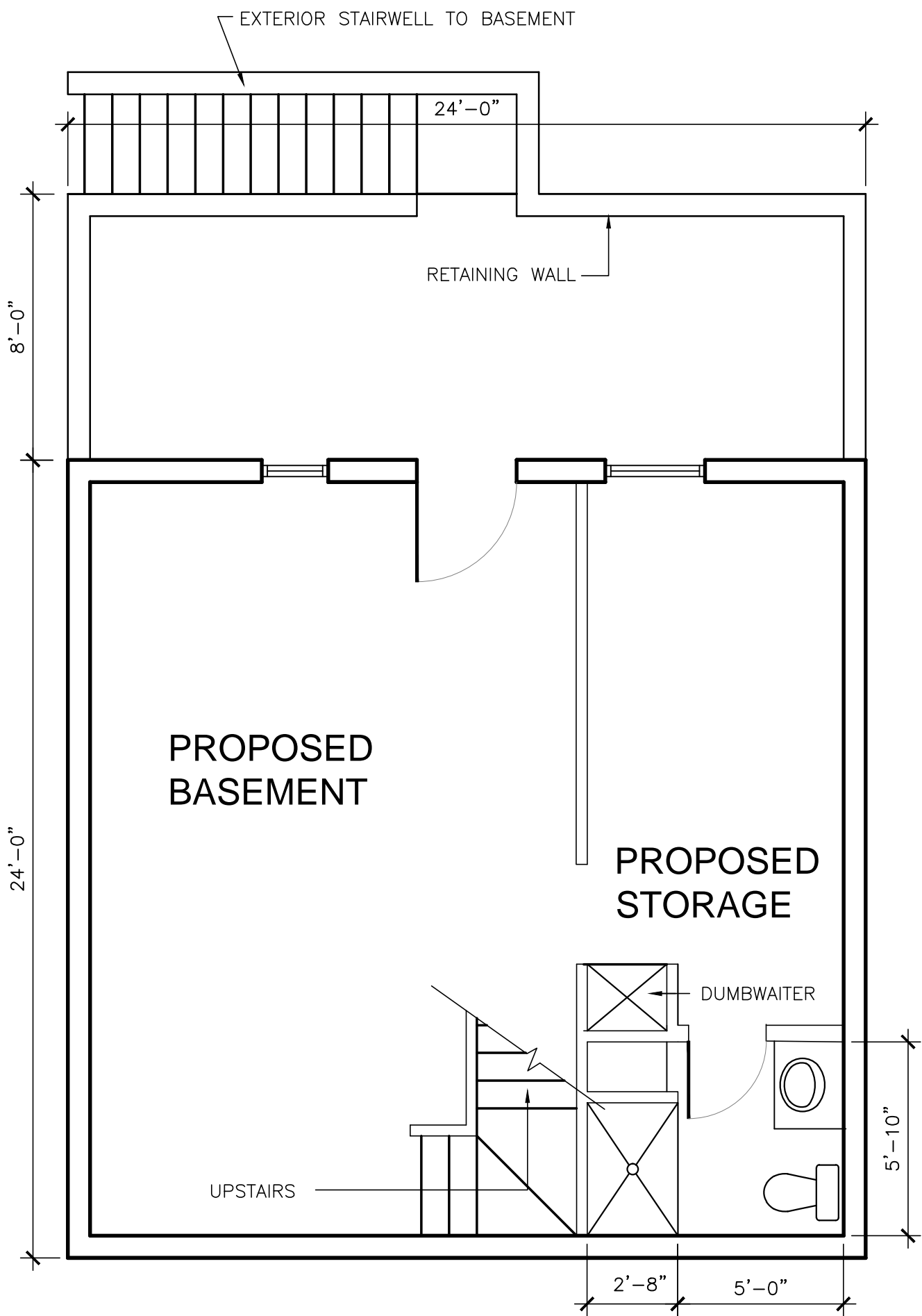
4
A1



SOUTH ELEVATION

SCALE: 1/4"=1'-0"

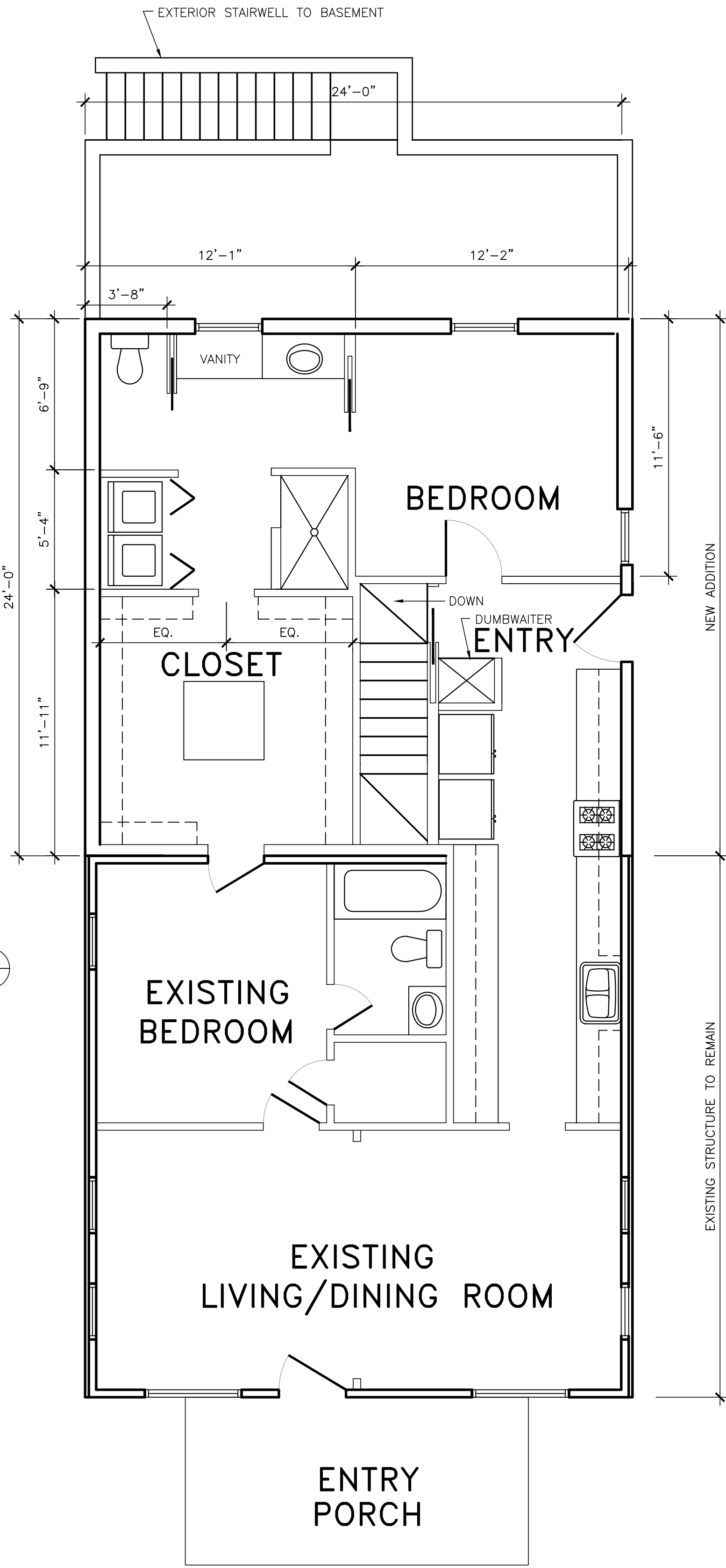
3
A1



BASEMENT LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"

2
A1



FIRST LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"

1
A1

HOUSE RENOVATION AND ADDITION

SCOTT

1415 ROMA AVE. NW

ALBUQUERQUE, NEW MEXICO

JOB TITLE:

SCHEMATIC PLANS
AND ELEVATIONS

SHEET TITLE:

REVISIONS:

SHEET NO: A1

STATUS:

JOB NO.008

DATE:9/09/20

